



CONTRACT A24-3620-1 FIRST AMENDMENT

Date: February 19, 2025

Agreement Title: A24-3620-1 – Lease Agreement – Marsha’s Snack Shack
Agreement Execution Date: May 15, 2024
Department: Community Planning & Development
Lessee: Nick and Vanessa Watson
Lessee Address: PO Box 1603, Sandpoint, Idaho 83864

This First Amendment to Agreement A24-3620-1 shall become part of the original Agreement.


1. **Section II – TERM AND REVERSION:** shall be amended to extend the Agreement one additional season beginning 12 Noon PST on May 16, 2025 through 12:00 Noon PST on September 12, 2025.
2. **Section III – CONSIDERATION:** shall be amended as follows:
 - a. Rent: Lessee shall pay \$2,500 per month for facility rent and \$225.00 per month for utilities – electric, water, sewer, and Wi-Fi.
 - b. Lessee shall pay a prorated rent amount of \$1,174.10 for 15.5 days @ \$82.20 per day. This shall be paid to the Lessor no later than May 01, 2025.
 - c. Lessee shall pay a prorated utilities amount of \$114.70 for 15.5 days @ \$7.40 per day. This shall be paid to the Lessor no later than May 01, 2025.
 - d. Final September 2025 rent and utilities will be paid within 10 days after exiting the facility but no later than September 18, 2025. Final September rent and utilities will be calculated based on occupancy days and prorated @ \$82.20 per day for rent and \$7.40 per day for utilities.
3. **Section VII – MISCELLANEOUS:** shall be amended as follows:
 - a. Lessee’s hours of operation for 2025 Season shall be as follows:
 - i. Monday – Thursday: 11 am – 6 pm
 - ii. Friday-Saturday: 11 am – 7 pm
 - iii. Sunday: 12 pm – 5 pm

First day of Marsha’s Snack Shack operations for 2025 Season will be May 23, 2025 and last day of operations will be September 06, 2025.

- b. **Section VIII – PARKING:** shall be amended as follows:
 - i. Lessee will be provided a temporary sign that will provide Lessee with one parking space in front of Marsha’s Snack Shack. Lessor does not guarantee space will be available. Lessee is responsible for ensuring that Lessee is parked in designated, allowed parking spaces and Lessor will not waive any violations received as a result of not parking in allowed spaces.


The City of Sandpoint and Nick and Vanessa Watson hereby agree to amend or modify the above referenced Agreement as set forth herein.

City of Sandpoint

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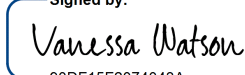
 Jeremy Grimm Date
 Mayor

Nick Watson

Signed by:
 2/27/2025
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 Date

Vanessa Watson

Signed by:
 2/27/2025
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 Date