

PROPERTY USE AGREEMENT

BRIDGE STREET SIDEWALK IMPROVEMENTS PROJECT

This Property Use Agreement ("Agreement") is entered into this ____ day of _____, 2025 ("Effective Date"), by and between: BRIDGE STREET, LLC, a Nevada Limited Liability Company, whose address is 1800 Quail Street, Suite 110, Newport Beach, California 92660 ("Owner"), and THE CITY OF SANDPOINT, a municipal corporation and political subdivision of the State of Idaho, whose address is 1123 Lake Street, Sandpoint, Idaho 83864 ("City"). Owner and City may be referred to individually as a "Party" or collectively as the "Parties."

RECITALS

WHEREAS, on March 7, 2022, the Parties entered into an Agreement for Exchange of Real Property, recorded as Bonner County Instrument No. 1002959 (the "Original Agreement"), whereby the City exchanged City-owned property for property owned by Owner consisting of additional right-of-way along Bridge Street;

WHEREAS, pursuant to Section 6 of the Original Agreement, Owner agreed to perform certain improvements along the Bridge Street right-of-way, specifically:

- a. Remove the existing access ramp to Farmin's Landing and construct a retaining wall along the east boundary of the property acquired by Owner, with an assigned value of \$182,680.00 (the "Retaining Wall Work");
- b. Remove the existing sidewalk and construct a twelve-foot (12') sidewalk adjacent to the southern boundary of the property acquired by Owner, including new curbs, ornamental lights, and street furniture, subject to the final design approval by City, with an assigned value of \$74,055.00 (the "Sidewalk Work"); and
- c. Pay the City \$75,000.00 toward the cost of constructing access stairs to Farmin's Landing;

WHEREAS, to secure performance of its obligations under Sections 6.a and 6.b of the Original Agreement, Owner provided the City with \$385,102.50 at closing, representing 150% of the Retaining Wall Work and Sidewalk Work obligations, to be held in reserve by the City;

WHEREAS, pursuant to Section 6.d of the Original Agreement, the City was to release such funds to Owner upon completion and acceptance of Owner's obligations, but in the event Owner failed to perform its obligations under Sections 6.a or 6.b, the City was entitled to retain the monies and use them to complete any of Owner's obligations in the City's sole discretion and direction;

WHEREAS, on August 1, 2022, the Parties executed Amendment No. 1 to the Agreement for Exchange of Real Property, recorded as Bonner County Instrument No. 1009172, which extended the completion dates for the improvements from May 31, 2023 to August 30, 2023;

WHEREAS, Owner has not performed its obligations under Sections 6.a and 6.b of the Original Agreement by the August 30, 2023 deadline or at any time thereafter;

WHEREAS, the City now intends to construct the Bridge Street Sidewalk Improvements Project (the "Project"), which encompasses, in part, the improvements that Owner was obligated to perform under the Original Agreement, using the funds held in reserve;

WHEREAS, construction of the Project requires temporary use of certain real property owned by Owner and commonly referred to as Bonner County Parcel Nos. RPS3967000001AA and RPS3967000001BA and legally described as Lot 1 of the Replat of a Portion of Lot 8, Block 2, Bridge Addition and a Portion of Kelch's Addition, located in the Northeast Quarter of Section 22, Township 57 North, Range 2 West, Boise Meridian, City of Sandpoint, according to the plat thereof, recorded in Book 20 of Plats, Page 36, Instrument Number 1019475, records of Bonner County, Idaho (collectively, "Owner's Property");

WHEREAS, Owner acknowledges that temporary sheet piles currently occupy the southern property line of Owner's Property along Bridge Street, and Owner agrees to coordinate removal of such sheet piles as necessary for construction of the Project;

WHEREAS, the Parties desire to memorialize Owner's acknowledgment of non-performance, Owner's consent to the City's use of the reserve funds for the Project, and Owner's grant of access to Owner's Property for Project construction;

WHEREAS, the City owns real property commonly referred to as Farmin's Landing and more particularly described as Lot 1 of Farmin's Landing located in the Northeast Quarter of Section 22, Township 57 North, Range 2 West, Boise Meridian, City of Sandpoint, according to the plat thereof, recorded in Book 11 of Plats, Page 96, records of Bonner County, Idaho (the "Farmin's Landing Parcel"), and the Parties desire to memorialize the City's commitment to maintain public vehicular and pedestrian access over the existing paved portion of the Farmin's Landing Parcel as it currently exists;

NOW, THEREFORE, in consideration of the mutual covenants and agreements contained herein, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

AGREEMENT

1. ACKNOWLEDGMENT OF NON-PERFORMANCE AND RELEASE OF FUNDS

1.1 Acknowledgment. Owner acknowledges and agrees that:

(a) Owner has not performed its obligations under Sections 6.a and 6.b of the Original Agreement by the deadline established in Amendment No. 1 or at any time thereafter;

(b) Pursuant to Section 6.d of the Original Agreement, the City has the right to retain the \$385,102.50 held in reserve (the "Reserve Funds") and to use those funds to complete the improvements described in Sections 6.a and 6.b of the Original Agreement;

(c) The City is entitled to construct the Project at the City's sole discretion and direction.

1.2 Full Release of Reserve Funds. Owner hereby fully and unconditionally releases to the City any and all interest Owner may have in and to the Reserve Funds. The City is hereby authorized to utilize the Reserve Funds to pay for all costs associated with the Project, including but not limited to design, engineering, construction, inspection, materials testing, project management, and any other costs related to the Project, all at the City's sole discretion and direction.

1.3 No Refund or Accounting. Owner acknowledges and agrees that:

(a) The Reserve Funds shall not be refunded to Owner;

(b) The City has no obligation to provide Owner with an accounting of expenditures from the Reserve Funds; and

(c) Any Reserve Funds remaining after completion of the Project and payment of all Project costs may be retained by the City or applied to related public improvements at the City's sole discretion.

2. GRANT OF ACCESS AND EASEMENT

2.1 Temporary Construction Easement. Owner hereby grants to the City, its contractors, subcontractors, agents, employees, and representatives (collectively, "City's Contractor") a temporary construction easement and right of access over, across, and upon Owner's Property for the purpose of constructing the Project, including without limitation:

(a) Access, ingress, and egress to and from Owner's Property for personnel, equipment, vehicles, and materials;

(b) Grading, excavation, fill placement, and other earthwork activities;

(c) Installation and construction of the retaining wall, pedestrian guardrail, sidewalk, drainage facilities, and related improvements as depicted in the Project construction drawings;

(d) Relocation, protection, or temporary interruption of utilities as necessary;

(e) Staging of equipment and materials;

(f) Removal of construction debris; and

(g) Any and all other activities reasonably necessary or incidental to construction of the Project.

2.2 Access Areas. The areas subject to the temporary construction easement shall include all portions of Owner's Property depicted in the Project construction drawings attached as Exhibit A,

and such additional areas as may be reasonably necessary for construction activities, as determined by the City's Contractor in consultation with Owner.

2.3 Duration of Easement. The temporary construction easement and access rights granted herein shall commence on the Effective Date and shall continue until the earlier of: (i) completion and final acceptance of the Project by the City; or (ii) December 31, 2026, provided that the City may extend this period upon written notice to Owner if necessary to complete the Project.

2.4 Minimize Interference. The City shall direct its Contractor to make reasonable efforts to minimize interference with Owner's use and enjoyment of Owner's Property and any commercial activities conducted thereon. Owner acknowledges and agrees that some interference is inherent and unavoidable during construction of the Project.

3. SHEET PILE REMOVAL

3.1 Existing Sheet Piles. Owner acknowledges that temporary sheet piles currently occupy the southern property line of Owner's Property along Bridge Street, and that such sheet piles must be removed to facilitate construction of the Project retaining wall.

3.2 Coordination of Removal. At Owner's sole expense, Owner agrees to remove the temporary sheet piles that are currently occupying the southern property line of the above list of parcels along Bridge Street. Coordination with the sheet pile owner will be directed by the city's representative as it relates to the construction of this project, as indicated on the project plans.

3.3 Default. If Owner fails to coordinate timely removal of the sheet piles after receiving notice from the City, the City may arrange for removal and seek reimbursement from Owner for the reasonable costs thereof.

4. OWNER'S OBLIGATIONS

4.1 Grant of Access. Owner shall permit the City's Contractor to access Owner's Property as provided in Section 2 above and shall not unreasonably interfere with, obstruct, or hinder construction activities.

4.2 Cooperation. Owner shall cooperate with the City and City's Contractor in connection with construction of the Project, including:

- (a) Coordinating removal of sheet piles as provided in Section 3;
- (b) Responding to reasonable requests for information; and
- (c) Refraining from activities that would interfere with or endanger construction activities.

4.3 Hazardous Conditions. Owner shall promptly notify the City of any known hazardous conditions, environmental issues, or other matters on Owner's Property that may affect construction of the Project or the safety of the City's Contractor.

5. CITY'S OBLIGATIONS

5.1 Retaining Wall. The City agrees to install the proposed retaining wall as outlined in the approved construction drawings along the southern property line of the subject parcel. Attached hereto as Exhibit A.

5.2 Drainage. The City agrees to install foundation drainage for the proposed retaining wall to assist with the mitigation of seasonal groundwater. The City's Contractor may need to coordinate with the owner as the project progresses through construction.

5.3 Guardrail. The City agrees to install pedestrian guardrail along the proposed retaining wall.

5.4 Remove Debris. Upon completion of construction, the City shall cause all construction debris, excess materials, and equipment to be removed from Owner's Property.

5.5 Restoration. The City shall cause any areas of Owner's Property temporarily disturbed by construction activities outside the permanent improvements area to be restored to a condition reasonably similar to their pre-construction condition, including grading, compaction, and re-seeding of disturbed areas.

5.6 Notice. The City shall provide Owner with reasonable advance notice of commencement of construction and substantial completion of the Project.

5.7 Maintenance of Public Access to Farmin's Landing. The City agrees to maintain public vehicular and pedestrian access over the existing paved portion of the Farmin's Landing Parcel as it currently exists. The City shall not close, obstruct, or eliminate such public access without providing alternative reasonable public vehicular and pedestrian over the Farmin's Landing Parcel in and to the northern boundary of Owner's Property. This obligation shall run with the land and bind the City and its successors and assigns for so long as the City owns the Farmin's Landing Parcel. Owner acknowledges that such public access benefits the general public and is not exclusive to Owner's Property.

5.8 No Lien. At no point during or after completion of the Project shall the City, a contractor of the City or any subcontractor of such contractor, lien any portion of the Owner's Property for unpaid work related to the Project.

6. INSURANCE

6.1 City's Insurance. The City shall require its contractors to maintain commercial general liability insurance and automobile liability insurance in amounts customary for projects of this nature.

6.2 Owner's Insurance. Owner shall maintain property insurance covering Owner's Property in amounts adequate to protect Owner's interest. Owner's property insurance shall be primary with respect to any damage to Owner's Property.

7. GENERAL PROVISIONS

7.1 Governing Law and Venue. This Agreement shall be governed by the laws of the State of Idaho. Any action arising under or relating to this Agreement shall be brought in the District Court of the First Judicial District of the State of Idaho, in and for Bonner County.

7.2 Entire Agreement. This Agreement, together with the Original Agreement and Amendment No. 1 (to the extent not superseded by this Agreement) and Exhibit A, constitutes the entire agreement between the Parties with respect to the subject matter hereof and supersedes all prior negotiations and understandings, including any draft Second Amendment to Agreement for Exchange of Real Property.

7.3 Amendments. No amendment, modification, or supplement to this Agreement shall be effective unless in writing and signed by authorized representatives of both Parties.

7.4 Severability. If any provision of this Agreement is held invalid or unenforceable, the remainder shall continue in full force and effect.

7.5 Notices. All notices required or permitted under this Agreement shall be in writing and delivered to:

If to City:

City of Sandpoint
Attn: Holly Ellis
1123 Lake Street
Sandpoint, Idaho 83864
Email: hellis@sandpointidaho.gov

If to Owner:

Bridge Street, LLC
Attn: Managing Member
1800 Quail Street, Suite 110
Newport Beach, California 92660
Email: _____

7.6 Binding Effect. This Agreement shall be binding upon and inure to the benefit of the Parties and their respective successors and assigns.

7.7 Authority. Each Party represents that the person executing this Agreement on its behalf is duly authorized to do so and has full authority to bind such Party.

7.8 Counterparts. This Agreement may be executed in counterparts, each of which shall be deemed an original. Electronic signatures shall be deemed original signatures.

7.9 Recording. This Agreement shall be recorded in the real property records of Bonner County, Idaho. Upon completion of the Project, the Parties shall execute a termination document releasing the temporary easement granted herein, provided that the City's obligations under Section 5.7 and 5.8 shall survive such termination and continue in full force and effect.

/Signatures on following page/

EXECUTION

IN WITNESS WHEREOF, the Parties have executed this Property Use Agreement as of the Effective Date first written above.

CITY OF SANDPOINT

By: _____

Jeremy Grimm, Mayor

Date: _____

ATTEST:

By: _____

Melissa Ward, City Clerk

State of _____)
) ss.
County of _____)

This record was acknowledged before me on the _____ day of _____, 2025, by _____ the _____ of the CITY OF SANDPOINT.

Signature of Notary Public

My Commission Expires _____

BRIDGE STREET, LLC

By: _____

Name: _____

Title: Managing Member

Date: _____

State of _____)
) ss.
County of _____)

This record was acknowledged before me on the _____ day of _____, 2025, by _____ the Managing Member of the BRIDGE STREET, LLC, a Nevada Limited Liability Company.

Signature of Notary Public

My Commission Expires _____

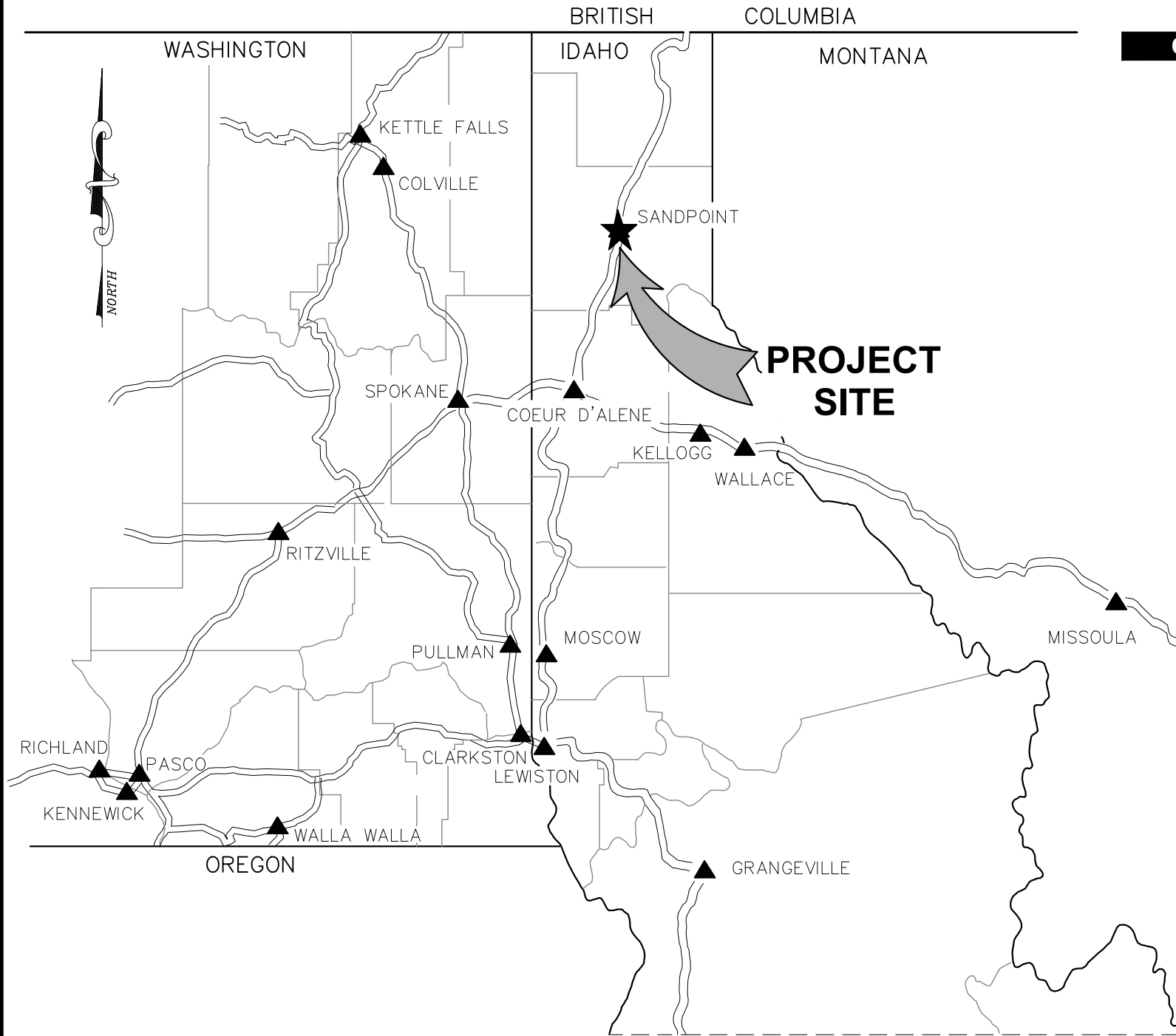
CONSTRUCTION DRAWINGS

CITY OF SANDPOINT
BONNER COUNTY, IDAHO

**BRIDGE STREET
SIDEWALK
IMPROVEMENTS**

PROJECT NO. 44050.020

AUGUST 2025



08/06/2025

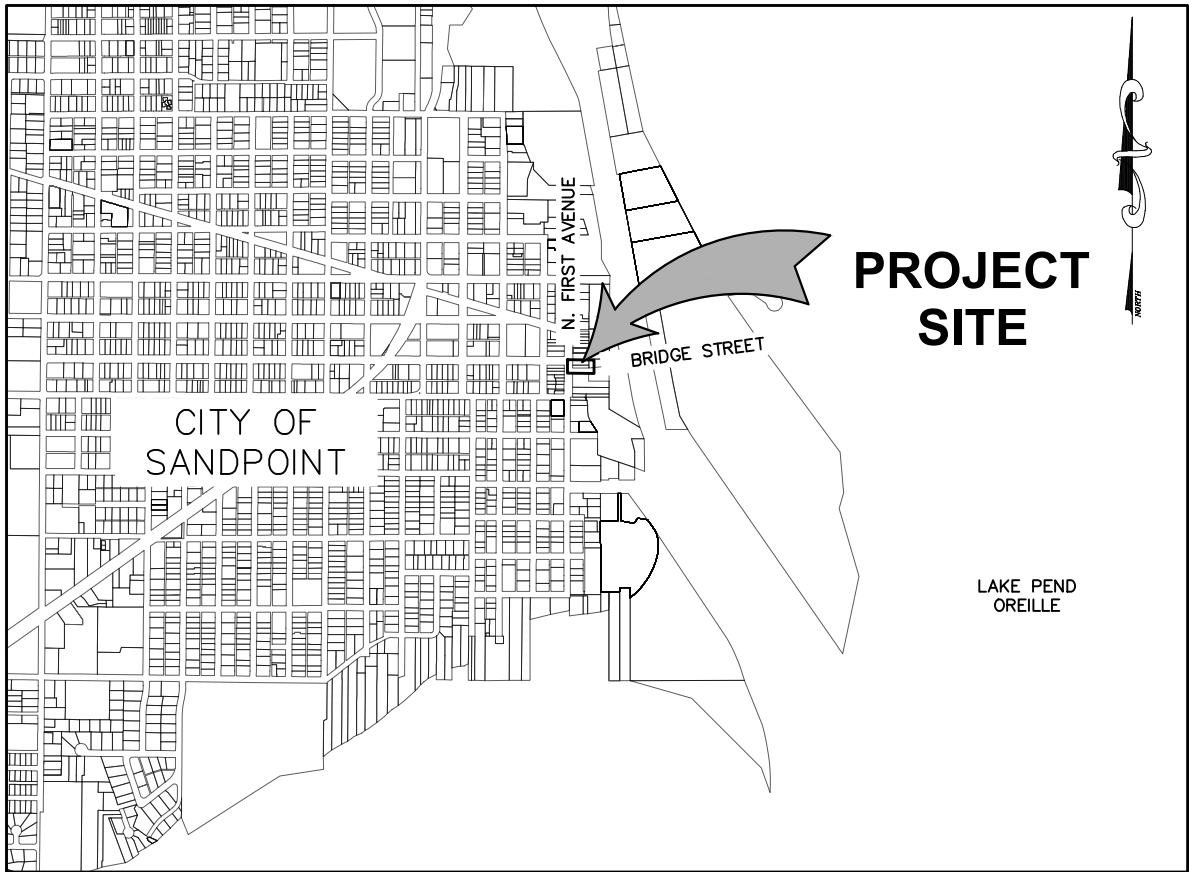
www.welchcomer.com
208-664-9382
877-815-5672 (toll free)
208-664-5946 (fax)
330 E. Lakeside Ave, Suite 101
Coeur d'Alene, ID 83814

QAQC PLAN REVIEW

	REVIEWED BY	DATE
ENGINEERING	PFB	03-19-2025
SURVEY	MLH	08-06-2025
CONST. SVCS.	RT	04-21-2025

WELCH-COMER

N:\Civil3D Projects\44050.020\Production Drawings\44050.020CS01.dwg, 8/6/2025 12:52:44 PM, sandra, 1:2



VICINITY MAP
NTS

CIVIL SHEET INDEX	
SHEET NO.	SHEET TITLE
A1	COVER SHEET
A2	VICINITY MAP, SHEET INDEX, DATUM, GENERAL NOTES
A3	PROJECT GENERAL NOTES
A4	ABBREVIATIONS AND LEGEND
TS1	RETAINING WALL TYPICAL SECTION
C1	OVERALL SITE PLAN
C2	ALLEY APPROACH ENLARGED VIEW
C3	RETAINING WALL PLAN AND PROFILE
DT1	CIVIL DETAILS
DT2	CIVIL DETAILS
DT3	CIVIL DETAILS
DT4	CIVIL DETAILS
XS1	WALL CROSS SECTIONS
XS2	WALL CROSS SECTIONS
XS3	WALL CROSS SECTIONS
XS4	WALL CROSS SECTIONS
XS5	WALL CROSS SECTIONS
XS6	WALL CROSS SECTIONS
XS7	WALL CROSS SECTIONS

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION", (ISPMC) CURRENT EDITION, AND THE CITY OF SANDPOINT STANDARD DRAWINGS AND SPECIFICATIONS. IN THE CASE OF CONFLICT, THE MOST STRINGENT STANDARD SHALL APPLY.
- NO REVISIONS SHALL BE MADE TO THESE PLANS WITHOUT THE APPROVAL OF THE CITY ENGINEER AND ENGINEER OF RECORD. ALL PROPOSED REVISIONS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL BY THE CITY.
- NO REVISIONS SHALL BE MADE TO THE CITY STANDARD DRAWINGS OR NOTES WITHOUT WRITTEN APPROVAL OF THE CITY ENGINEER. REVISIONS OF CITY STANDARD DRAWINGS SHALL BE CLEARLY IDENTIFIED UPON THE APPROVED DRAWINGS; REVISIONS OR ADDITIONS TO STANDARD NOTES SHALL BE PROVIDED ONLY WITHIN THE SUPPLEMENTAL NOTES.
- ALL SAFETY STANDARDS AND REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND COMPLY WITH OSHA.
- EXISTING UTILITIES SHALL BE LOCATED BY CONTACTING CALL BEFORE YOU DIG AT 811, AT LEAST 48 HOURS PRIOR TO STARTING ANY EXCAVATION. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK NEAR ANY FACILITIES AND SHALL COORDINATE THEIR WORK WITH COMPANY REPRESENTATIVES.
- WORK SHALL NOT BEGIN UNTIL A PERMIT AND NOTICE TO PROCEED IS ISSUED BY THE CITY AND WRITTEN NOTIFICATION TO ENGINEER OF RECORD.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEERING INSPECTOR AT LEAST 48 HOURS PRIOR TO STARTING WORK OR PROCEEDING WITH NEW PHASES OF CONSTRUCTION. ALL INSPECTIONS SHALL BE SCHEDULED WITH A MINIMUM 24-HOUR NOTICE PRIOR TO TESTING.
- AN APPROVED SET OF IMPROVEMENT PLANS SHALL BE KEPT ON THE JOB SITE AT ALL TIMES.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USEABLE CONDITION. ALL SOIL, ROCK, OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION, AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY; PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USEABLE CONDITION.
- TREES NOT IDENTIFIED FOR REMOVAL SHALL BE PRESERVED OR PROTECTED IN AN APPROVED MANNER PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- THE ENGINEER OF RECORD SHALL VERIFY THE ADEQUACY OF EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION, AND AS NECESSARY DURING THE COURSE OF THE PROJECT. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS, AND THE "CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES FOR IDAHO CITIES AND COUNTIES" AS PREPARED BY THE IDAHO DIVISION OF ENVIRONMENTAL QUALITY.
- ALL PROJECTS HAVING THE POTENTIAL FOR RUNOFF DISCHARGE TO ANY SURFACE WATER BODY; SHALL FILE A NOTICE OF INTENT (NOI), WITH THE IDEQ. COPIES OF ANY REQUIRED STORM WATER POLLUTION PREVENTION PLANS (SWPPP) OR NOI SHALL BE PROVIDED TO THE CITY PRIOR TO START OF CONSTRUCTION.
- ALL CONCRETE, UNLESS OTHERWISE SPECIFIED, SHALL BE COMMERCIAL GRADE PORTLAND CEMENT WITH AIR ENTRAINMENT (6.5% +/- 1.5%), AND A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- ALL UNDERGROUND UTILITY LATERALS SHALL BE INSTALLED AND APPROVED BY CITY ENGINEER AND ENGINEER OF RECORD BEFORE CONSTRUCTION OF CURBS, CROSS GUTTERS, SIDEWALKS OR THE SURFACING OF STREETS.
- SURFACE RESTORATION OF ROADWAY CUTS SHALL COMPLY WITH THE CITY STANDARDS, AND BE PLACED WITHIN 7 DAYS OF THE INITIAL ROADWAY CUT. TEMPORARY PATCHING THAT UTILIZES A MINIMUM OF 2 INCHES OF ASPHALT CONCRETE (COLD MIX) SHALL BE PLACED WITHIN 24 HOURS OF THE INITIAL ROADWAY CUT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL TEMPORARY PATCHING AND SHALL WARRANT ALL PERMANENT PATCHING FOR A PERIOD OF 2-YEARS.
- ALL TRENCHES AND ROADWAY CUTS WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY SHALL BE COMPACTED IN ACCORDANCE WITH SD 301. COMPACTION TEST RESULTS SHALL BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE CITY ENGINEER FOR APPROVAL PRIOR TO FINAL ACCEPTANCE OF WORK.
- ALL OPERATIONS CONDUCTED ON THE PREMISES SHALL BE RESTRICTED TO THE HOURS BETWEEN 8:00 A.M. AND 5:00 P.M., UNLESS OTHERWISE APPROVED BY THE CITY. THIS INCLUDES THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT OR ANY OTHER ASSOCIATED EQUIPMENT.
- ALL IMPROVEMENTS SHALL BE JOINED OR MATCHED IN A MANNER SATISFACTORY TO THE CITY ENGINEER. THIS INCLUDES ALL UTILITY CONNECTIONS AND NECESSARY SAW CUTTING, REMOVAL, REPLACEMENT, EXTENSION, AND CAPPING ASSOCIATED WITH CURB AND GUTTER, SIDEWALKS, SWALES, ASPHALT, CONCRETE OR OTHER PAVING.
- THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR ALL PROJECT INSPECTIONS, INCLUDING MATERIALS TESTING AND QUALITY CONTROL. COPIES OF DAILY REPORTS AND TEST RESULTS SHALL BE MADE AVAILABLE TO THE CITY ENGINEER FOR REVIEW ON A WEEKLY BASIS, FAILURE TO PROVIDE REPORTS MAY RESULT IN SUSPENSION OF CONSTRUCTION. PROJECT CERTIFICATION AND AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE CITY ENGINEER PRIOR TO FINAL ACCEPTANCE AND IN CONFORMANCE WITH SUBMITTAL STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, IN ACCORDANCE WITH THE M.U.T.C.D., CURRENT EDITION. AT LEAST 72 HOURS PRIOR TO DISRUPTION OF ANY TRAFFIC, TRAFFIC CONTROL PLANS SHALL BE PREPARED AND SUBMITTED TO THE CITY ENGINEERING DIVISION FOR APPROVAL. NO WORK SHALL COMMENCE UNTIL A PERMIT IS ISSUED AND ALL APPROVED TRAFFIC CONTROL IS IN PLACE.
- ALL DISTURBED AREAS OF THE PUBLIC RIGHT-OF-WAY SHALL BE TOP COATED WITH A MINIMUM OF 1 INCH OF TOPSOIL AND SEEDED WITH A DRY LAND MIX OR EQUIVALENT.
- ALL PAVING PROJECTS WILL NEED TO ADHERE TO THE CITY OF SANDPOINT PAVEMENT CUT POLICY.
- DURING THE PREPARATION OF THE CONSTRUCTION DRAWINGS, REVIEW OF AVAILABLE RECORDS AND A FIELD SEARCH WAS CONDUCTED UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR TO LOCATE EXISTING SURVEY MONUMENTS WITHIN AND ADJACENT TO THE PROJECT CONSTRUCTION LIMITS IN ACCORDANCE WITH IDAHO CODE 55-1613. EXISTING SURVEY MONUMENTS ARE IDENTIFIED WITHIN THE PLANS. MONUMENTS IDENTIFIED AS 'OWNER TO REPLACE' WILL BE REPLACED AT THE EXPENSE OF THE OWNER. ALL OTHER MONUMENTS ARE INTENDED TO BE PRESERVED AND IF DESTROYED THE REPLACEMENT OF SAID MONUMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR. REF (IC 55-1613). IF MONUMENTS ARE REPLACED BY THE CONTRACTOR THE ENGINEER AND OWNER WILL BE NOTIFIED BY THE CONTRACTOR UPON RE-ESTABLISHMENT OF THE MONUMENTS.

HORIZONTAL AND VERTICAL DATUM:

HORIZONTAL DATUM: NAD 83/11 AT GROUND WITH A GRID SCALE FACTOR OF 0.999879810747193
VERTICAL DATUM: NAVD 88, GEOID18

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08/06/2025

	208-664-9382 (toll free) 877-815-5672 (fax) 208-664-5946	BY
	www.welchcomer.com 330 E. Lakeside Ave, Suite 101 Coeur d'Alene, ID 83814	DATE
		REVISION DESCRIPTION
		NO.

CITY OF SANDPOINT
 BRIDGE STREET
 SIDEWALK IMPROVEMENTS
 VICINITY MAP, SHEET INDEX, DATUM,
 GENERAL NOTES

PROJ NO:	44050.020
DESIGNED BY:	MG / JT
DRAWN BY:	JT
CHECKED BY:	
DWG:	44050.020CS01.DWG
DATE:	08-05-2025
SHEET NO:	

UNDERGROUND SERVICE ALERT
 ONE-CALL NUMBER
811
 CALL TWO BUSINESS DAYS BEFORE YOU DIG

A2

GRADING AND GEOTECHNICAL NOTES:

- ALL CUTS AND FILLS SHALL BE CONFINED TO THE LIMITS INDICATED WITHIN THE APPROVED GRADING PLANS.
- THE CONTRACTOR SHALL INSURE THAT ALL TEMPORARY SLOPES ARE STABLE AND THAT APPROPRIATE EROSION MEASURES ARE IN PLACE AND MAINTAINED.
- GROUNDWATER OR UNANTICIPATED GEOLOGIC CONDITIONS SHALL BE REPORTED TO THE ENGINEER OF RECORD AND THE GEOTECHNICAL ENGINEER FOR ASSESSMENT AND RECOMMENDATIONS.
- ALL COMPACTION EFFORTS SHALL BE MONITORED AND TESTED BY AN EXPERIENCED SOILS TECHNICIAN, UNDER THE SUPERVISION OF A LICENSED GEOTECHNICAL ENGINEER REPRESENTING THE OWNER.
- ALL MASS GRADING SHALL BE MONITORED, TESTED, AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER (GEOTECHNICAL ENGINEER).
- CONTRACTOR IS TO NOTIFY THE GEOTECHNICAL ENGINEER, THE ENGINEER OF RECORD AND CITY ENGINEERING INSPECTOR 48 HOURS PRIOR TO EACH AND EVERY START OR STOPPING OF CONSTRUCTION, EACH TIME A LIFT OF GRADING IS READY FOR INSPECTION, AND EACH AND EVERY TIME THE CONTRACTOR IS REQUESTING GRADING INSPECTION FROM CITY. FAILURE TO NOTIFY MAY RESULT IN CONTRACTOR REMOVING ANY MATERIAL THAT HAS NOT BEEN INSPECTED.
- ALL AREAS SHALL BE STRIPPED OF ORGANIC TOP SOIL AND NON-ENGINEERED FILL; IN ADDITION TO ALL BRUSH, STUMPS, AND ROOTS. ONSITE DISPOSAL OF ORGANIC MATERIALS IS NOT ALLOWED. THE GEOTECHNICAL ENGINEER SHALL REVIEW AND APPROVE ALL STRIPPED AND CLEARED AREAS PRIOR TO PLACEMENT OF FILL. PRIOR TO PLACING FILL, THE CLEARED AREAS SHALL BE SCARIFIED AND COMPACTED.
- FILLS SHALL CONSIST OF WELL GRADED SANDS AND GRAVELS, WITH A MAXIMUM PARTICLE SIZE OF SIX INCHES, AND NO MORE THAN 20% PASSING THE NO. 200 SIEVE. THE GEOTECHNICAL ENGINEER SHALL PRE-APPROVE ALL IMPORT SOIL SOURCES.
- BOULDERS AND COBBLES GREATER THAN 6 INCHES APPEARING IN THE EXCAVATION TO A DEPTH OF AT LEAST 4 INCHES BELOW SUBGRADE SHALL BE REMOVED.
- ALL FILL MATERIAL SHALL BE DRIED OR MOISTENED TO WITHIN 2% OF THE OPTIMUM MOISTURE, PRIOR TO PLACEMENT. LIFTS SHALL NOT EXCEED EIGHT INCHES. ALL FILL SHALL BE COMPACTED TO AT LEAST 90% OF MODIFIED PROCTOR (ASTM D-1557, AASHTO T-180), WITH THE TOP 12 INCHES WITHIN THE ROADWAY PRISM COMPACTED TO 95% OF THE MODIFIED PROCTOR. MATERIAL TOO COARSE TO TEST PER THE SPECIFIED STANDARDS SHALL BE PLACED IN CONTROLLED LIFTS UNDER A PERFORMANCE BASED METHOD, AS OUTLINED WITHIN ISPCW.
- EMBANKMENTS SHALL NOT BE CONSTRUCTED ON FROZEN OR SNOW-COVERED FOUNDATIONS, OR WITH THE USE OF FROZEN MATERIALS.
- EMBANKMENTS CONSTRUCTED ON SLOPES GREATER THAN 5 HORIZONTAL TO 1 VERTICAL SHALL BE KEYED INTO THE UNDISTURBED GROUND WITH HORIZONTAL BENCHES OF SUFFICIENT WIDTH TO ALLOW FOR THE PROPER OPERATION OF COMPACTION EQUIPMENT.
- THE FINAL LIMITS OF CUT AND FILL SHALL BE RECORDED WITH THE BOUNDARY TOPOGRAPHY AND SURVEY BY THE ENGINEER OF RECORD. THE GEOTECHNICAL ENGINEER SHALL SUBMIT A CERTIFICATION OF THE FILL, ALONG WITH COPIES OF OBSERVATIONS AND TESTING.
- IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE ENGINEER OF RECORD SHALL BE IMMEDIATELY NOTIFIED IN ORDER TO PROVIDE GUIDANCE TO CONTRACTOR.

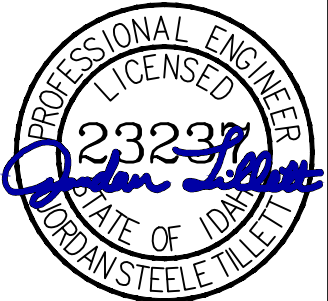
STORMWATER DRAINAGE:

- TEMPORARY EROSION CONTROL AND WATER POLLUTION MEASURES SHALL BE INSTALLED, IN ACCORDANCE WITH THE PLANS AND ACCEPTED BEST MANAGEMENT PRACTICES. ADJUSTMENTS TO ACCOMMODATE DIFFERING FIELD CONDITIONS SHALL BE MADE, AS NECESSARY, THROUGHOUT THE CONSTRUCTION PROCESS. AT NO TIME, WILL SILTS AND/OR DEBRIS BE ALLOWED TO DRAIN INTO AN EXISTING OR NEWLY INSTALLED FACILITY, ENGINEER OF RECORD SHALL BE NOTIFIED.
- SWALES WITHIN AREAS OF MASS GRADING SHALL BE SCARIFIED A MINIMUM OF 24 INCHES PRIOR TO SHAPING, AND AFTER INSTALLATION OF CURB AND GUTTER.
- ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM 1-INCH DRESSING OF TOP SOIL AND BE HYDRO SEEDED OR SODDED, AS INDICATED ON THE PLANS. SEEDED AREAS WILL NOT BE ACCEPTED UNTIL THE SEED HAS GERMINATED, AND THE GRASS IS THOROUGHLY ESTABLISHED. SODDED AREAS WILL NOT BE ACCEPTED UNTIL THE ROOTS HAVE TAKEN HOLD, AND THE GRASS HAS RECEIVED TWO CUTTINGS.
- CARE SHALL BE TAKEN TO PREVENT COMPACTION OF THE SUB-GRADE IN THE GRASS INFILTRATION AREAS OF SWALES. IN THE EVENT THE SUB-GRADE SHOULD BE COMPACTED OR INSUFFICIENT PERCOLATION IS OBSERVED, TESTING OF THE SUB-GRADE MAY BE REQUIRED AT THE DISCRETION OF THE CITY ENGINEER. IF A SUFFICIENT PERCOLATION IS NOT OBSERVED, THE SUB-GRADE MUST BE REMOVED AND REPLACED, OR SCARIFIED TO A MINIMUM DEPTH OF 24" AND RETESTED.
- TOPSOIL PLACED WITHIN THE SWALES SHALL BE FREE DRAINING, AND PLACED AT A DEPTH GREATER THAN 1-INCH AND LESS THAN 3-INCHES. AT CONCRETE SPILLWAYS, FINISHED TOP SOIL SHALL BE KEPT 1"-2" BELOW THE FINISHED CONCRETE SURFACE. TO PREVENT COMPACTION OF THE SUB-GRADE AND TOPSOIL, WHEELED EQUIPMENT SHOULD NOT BE USED WITHIN THE SWALE AREA. THE MINIMUM PERCOLATION RATE THROUGH A CONSTRUCTED SWALE SHALL MEET DESIGN REQUIREMENTS. TESTING OF PERCOLATION RATES THROUGH A CONSTRUCTED SWALE MAY BE REQUIRED AT THE DISCRETION OF THE CITY ENGINEER.
- DRYWELLS SHALL BE INSTALLED TO THE ELEVATIONS INDICATED ON THE PLANS. THE ELEVATION OF THE DRYWELL RIM SHALL BE AT LEAST 0.2 FEET BELOW LOWEST ADJOINING CURB CUT. FINISHED TOP SOIL ADJACENT TO THE DRYWELL SHALL BE AT LEAST 2-INCHES BELOW THE DRYWELL RIM.
- GRASS INFILTRATION AREAS SHALL BE HYDRO SEEDED WITH 50 LB. / 1,000 SQUARE FEET, CONSISTING OF A MIXTURE WITH EQUAL PORTIONS OF CANADA BLUEGRASS, CRESTED WHEATGRASS, HARD FESCUE AND SHEEP FESCUE. SEEDED AREAS SHALL BE FERTILIZED WITH A COMMERCIAL FERTILIZER PER THE MANUFACTURES SPECIFICATIONS AND MULCHED WITH "SILVA FIBER PLUS", OR APPROVED EQUAL WOOD FIBER CELLULOSE AT A RATE OF 1 TON PER ACRE.
- ALL SEWER MAINS SHALL BE AIR TESTED IN ACCORDANCE WITH ISPCW, SECTION 501.
- STORM SEWER PIPES AND DRYWELLS SHALL BE SEPARATED A MINIMUM OF 10 FEET HORIZONTALLY FROM DOMESTIC WATER MAINS. CROSSINGS OF WATER MAINS AND SEWER SYSTEMS SHALL HAVE A MINIMUM 18-INCH VERTICAL SEPARATION. ANY ANTICIPATED SEPARATION LESS THAN MINIMUM STANDARDS CONTAINED HEREIN, SHALL CONFORM TO THE IDAHO RULES FOR WASTE WATER, (IDAPA 58.01.16).
- FLOOD TESTING OF ALL SWALES SHALL BE CONDUCTED PRIOR TO FINAL ACCEPTANCE IF REQUIRED BY THE CITY ENGINEER.
- INSTALL SWALE CHECK DAM FOR SWALES EXCEEDING 1.5% SLOPE TO PROMOTE INFILTRATION, WITH A 50' MAXIMUM STATION.

STREETS:

- ALL FILL PLACED WITHIN THE ROADWAY PRISM SHALL BE COMPACTED TO 90% OF THE MODIFIED PROCTOR, WITH THE EXCEPTION OF THE TOP 12 INCHES OF SUB-GRADE THAT SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR (ASTM D-1557).
- PRIOR TO PLACING BASE MATERIAL, THE FOLLOWING SHALL BE COMPLETED:
- ALL PUBLIC UTILITIES SHALL BE INSTALLED, TESTED AND APPROVED.
- THE ENGINEER OF RECORD SHALL CERTIFY AND PROVIDE COPIES OF COMPACTION TEST RESULTS TO THE CITY ENGINEER, FOR ALL TRENCHES AND SUB-GRADE.
- THE LINE AND GRADE OF THE SUB-GRADE SHALL BE INSPECTED AND APPROVED.
- PROOF-ROLL OF THE SUB-GRADE SHALL BE PERFORMED AND OBSERVED BY THE ENGINEER OF RECORD AND CITY ENGINEERING INSPECTOR.
- OBTAIN AUTHORIZATION FROM THE ENGINEER OF RECORD AND CITY ENGINEERING INSPECTOR, TO PROCEED WITH PLACEMENT OF BASE MATERIAL. THE CITY ENGINEERING INSPECTOR SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO PLACEMENT OF BASE MATERIAL.
- CRUSHED AGGREGATE BASE SHALL CONFORM TO THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION, SECTION 802, (TYPE 1) ¾-INCH MAXIMUM AGGREGATE SIZE, AND SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS:
 - A. ROADWAY: 95%-MODIFIED PROCTOR.
 - B. CURB BASE AND DRIVEWAY APPROACHES: 92%-MODIFIED PROCTOR.
 - C. SIDEWALKS OR TRAILS: 90%-MODIFIED PROCTOR.
 - D. PRIOR TO PLACING ASPHALT CONCRETE, THE FOLLOWING SHALL BE COMPLETED:
 - E. THE ENGINEER OF RECORD SHALL CERTIFY AND PROVIDE COMPACTION TEST RESULT FOR BASE MATERIAL TO THE CITY ENGINEER.
 - F. ALL UTILITIES SHALL BE ADJUSTED TO GRADE AND THICKENED COLLARS INSTALLED.
- OBTAIN AUTHORIZATION FROM THE ENGINEER OF RECORD AND CITY ENGINEER TO PROCEED WITH ASPHALT PAVING. THE CITY ENGINEERING INSPECTOR SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO PLACEMENT OF ASPHALT PAVEMENT.
- ASPHALT PAVEMENT SHALL CONFORM WITH IDAHO TRANSPORTATION DEPARTMENT (ITD) SPECIFICATIONS FOR SUPERPAVE. PAVEMENT SHALL BE SP3 PG 58-28 WITH ½" MAX AGGREGATE SIZE. PAVEMENTS WITH A SECTION OF 3" OR LESS MAY BE PLACED WITH 1 LIFT. PAVEMENTS WITH A SECTION GREATER THAN 3" SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS OF 1.5" AND MAXIMUM THICKNESS OF 3".
- NO ASPHALT SHALL BE PLACED ON WET OR FROZEN SURFACES, OR WHEN THE AIR OR GROUND TEMPERATURE IS LESS THAN 40°F. TOP COURSES OR PAVEMENT THICKNESS LESS THAN 2.5 INCHES SHALL NOT BE PLACED WHEN AIR OR GROUND TEMPERATURE IS LESS THEN 50°F, WITHOUT APPROVAL BY THE CITY ENGINEER.
- A TACK COAT SHALL BE APPLIED TO ALL ADJACENT CURBS AND JOINTS, PRIOR TO PLACEMENT OF ASPHALTIC CONCRETE.
- DURING PAVING OPERATIONS, THE ENGINEER OF RECORD SHALL OBSERVE PAVING OPERATIONS, AND PERFORM COMPACTION AND QUALITY CONTROL TESTING.
- THE CITY ENGINEER MAY REQUIRE THE PAVEMENT SECTIONS SHOWN ON THE PLANS TO BE VERIFIED BY "R" VALUE TESTS TAKEN FROM EXPOSED SUB-GRADE.
- EXTRACTION, CORING, AND GRADATION TESTS MAY BE REQUIRED AT THE DISCRETION OF THE CITY ENGINEER TO VERIFY PAVEMENT THICKNESS, COMPACTION, AND OR TO VERIFY COMPLIANCE OF MATERIALS TO SPECIFICATIONS.
- FORMS, SUB-GRADE AND STRING-LINE INSPECTION IS REQUIRED PRIOR TO POURING CONCRETE. A MINIMUM NOTICE OF 24 HOURS IS REQUIRED PRIOR TO INSPECTION.
- CONCRETE SHALL NOT BE PLACED ON FROZEN SURFACES, ICE OR SNOW, OR SURFACES WITH A TEMPERATURE GREATER THAN 90°F. UNLESS OTHERWISE AUTHORIZED BY THE CITY ENGINEER, CONCRETE PLACEMENT SHALL BE DISCONTINUED WHEN AIR TEMPERATURES REACH 35°F AND FALLING.
- CURB AND GUTTER SHALL BE CONSTRUCTED WITH FULL DEPTH CONSTRUCTION EXPANSION JOINTS ADJACENT TO CATCH BASINS, AT COLD JOINTS, AND AT ALL RETURNS. WEAKENED PLANE JOINTS ARE REQUIRED EVERY 10 FEET.
- SIDEWALKS SHALL BE CONSTRUCTED WITH FULL DEPTH EXPANSION JOINTS EVERY 20 FEET, AT COLD JOINTS, AND ADJACENT TO STRUCTURES. WEAKENED PLANE JOINTS SHALL BE LOCATED EVERY 5 FEET. JOINTS IN THE SIDEWALK SHALL BE ALIGNED WITH CURB JOINTS, AS NEARLY AS PRACTICAL.

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NO.	DATE	REVISION DESCRIPTION

CITY OF SANDPOINT
BRIDGE STREET
SIDEWALK IMPROVEMENTS
PROJECT GENERAL NOTES

PROJ NO: 44050.020
DESIGNED BY: MG / JT
DRAWN BY: JT
CHECKED BY:
DWG: 44050.020CS01.DWG
DATE: 08-05-2025
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LEGEND

	EXISTING SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING ECCENTRIC SANITARY SEWER MANHOLE
	EXISTING CLEANOUT
	EXISTING AIR RELEASE VALVE
	EXISTING CATCH BASIN
	EXISTING DRYWELL
	EXISTING DRYWELL
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING ECCENTRIC STORM SEWER MANHOLE
	EXISTING SPRINKLER HEAD
	EXISTING FIRE HYDRANT
	EXISTING WELL
	EXISTING YARD HYDRANT
	EXISTING WATER VALVE
	EXISTING CURB STOP
	EXISTING WATER METER
	EXISTING POST INDICATOR VALVE
	EXISTING POWER POLE
	EXISTING GUY WIRE
	EXISTING LIGHT POLE
	EXISTING POWER WARNING SIGN
	EXISTING POWER VAULT
	EXISTING TELEPHONE PEDESTAL
	EXISTING CABLE TV PEDESTAL
	EXISTING JUNCTION BOX
	EXISTING TELEPHONE VAULT
	EXISTING TELEPHONE WARNING SIGN
	EXISTING GAS METER
	EXISTING GAS VALVE
	EXISTING GAS RISER
	EXISTING GAS WARNING SIGN
	EXISTING TELEPHONE MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING UNKNOWN
	EXISTING SHRUB
	EXISTING TREE
	EXISTING BUILDING
	WATER LEVEL

	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED ECCENTRIC SANITARY SEWER MANHOLE
	PROPOSED CLEANOUT
	PROPOSED AIR RELEASE VALVE
	PROPOSED DRYWELL
	PROPOSED CATCH BASIN
	PROPOSED CATCH BASIN
	PROPOSED INLET CATCH BASIN
	PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED ECCENTRIC STORM SEWER MANHOLE
	PROPOSED WATER VALVE
	PROPOSED CURB STOP
	PROPOSED FIRE HYDRANT
	PROPOSED DOWN SPOUT
	PROPOSED YARD HYDRANT
	PROPOSED BLOW OFF ASSEMBLY
	PROPOSED SINGLE WATER METER SERVICE
	PROPOSED WELL
	PROPOSED REDUCER
	PROPOSED BENDS/FITTINGS
	PROPOSED IRRIGATION BOX
	PROPOSED GAS METER
	PROPOSED GAS VALVE
	PROPOSED JUNCTION BOX
	PROPOSED GUY WIRE
	PROPOSED UTILITY POLE
	PROPOSED LIGHT
	PROPOSED LIGHT
	PROPOSED TELEPHONE PEDESTAL
	PROPOSED TV PEDESTAL
	PROPOSED SIGN
	PROPOSED MAILBOX
	OWNERSHIP DELINEATION
	DIRECTION AND SLOPE
	FOUND SURVEY MONUMENT
	SURVEY CONTROL MONUMENT
	TEST HOLE
	TYPICAL SECTION REFERENCE
	DETAIL SHEET REFERENCE

	EXISTING EASEMENT
	EXISTING RIGHT-OF-WAY
	EXISTING PROPERTY LINE
	EXISTING FENCE
	EXISTING CURB
	EXISTING CURB AND GUTTER
	EXISTING DITCH
	EXISTING CENTERLINE OF ROAD
	EXISTING SHOULDER
	EXISTING EDGE OR GRAVEL OR DIRT
	EXISTING EDGE OF ASPHALT
	EXISTING CULVERT
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING SEWER STUB
	EXISTING STORM SEWER LINE
	EXISTING BURIED TELEPHONE LINE
	EXISTING OVERHEAD TELEPHONE LINE
	EXISTING BURIED POWER LINE
	EXISTING POWER LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING GAS LINE
	EXISTING BURIED CABLE TV LINE
	EXISTING OVERHEAD CABLE TV LINE
	EXISTING IRRIGATION LINE
	EXISTING 5' CONTOURS
	EXISTING 1' CONTOURS
	EXISTING TREE LINE
	EXISTING TOP OF BANK
	EXISTING TOE OF BANK
	PROPOSED EASEMENT
	PROPOSED RIGHT-OF-WAY
	PROPOSED PROPERTY LINE
	SECTION LINE
	PHASE BOUNDARIES
	PROPOSED FENCE
	PROPOSED SILT FENCE
	PROPOSED CURB
	PROPOSED CURB AND GUTTER
	PROPOSED GRADE BREAK
	PROPOSED DITCH
	PROPOSED CENTERLINE OF ROAD
	PROPOSED SHOULDER
	PROPOSED EDGE OF ASPHALT
	PROPOSED CULVERT

	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED SEWER STUB
	PROPOSED STORM SEWER LINE
	PROPOSED BURIED TELEPHONE LINE
	PROPOSED OVERHEAD TELEPHONE LINE
	PROPOSED BURIED POWER LINE
	PROPOSED OVERHEAD POWER LINE
	PROPOSED GAS LINE
	PROPOSED BURIED CABLE TV LINE
	PROPOSED OVERHEAD CABLE TV LINE
	PROPOSED IRRIGATION LINE
	PROPOSED SIDEWALK
	PROPOSED CURB DROP
	PROPOSED SIDEWALK UNDERDRAIN

ABBREVIATIONS

AC	ASPHALT CEMENT PAVEMENT
BOW	BOTTOM OF WALL
C1	CURVE DATA REFERENCE NUMBER
FG	FINISH GRADE ELEVATION
FL	FLOW LINE
FOC	FACE OF CURB
GIA	GRASSSED INFILTRATION AREA
GRD BRK	GRADE BREAK
IE	INVERT ELEVATION
L1	LINE DATA REFERENCE NUMBER
L or LT	LEFT
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
ROW	RIGHT-OF-WAY
R or RT	RIGHT
SWR	SEWER
TA	TOP OF ASPHALT
TBC	TOP BACK OF CURB
TC	TOP CONCRETE
TFC	TOP FACE OF CURB
TOW	TOP OF WALL
WTR	WATER
XING	CROSSING

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CITY OF SANDPOINT
BRIDGE STREET
SIDEWALK IMPROVEMENTS

ABBREVIATIONS AND LEGEND

PROJ NO: 44050.020
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DATE: 08-05-2025
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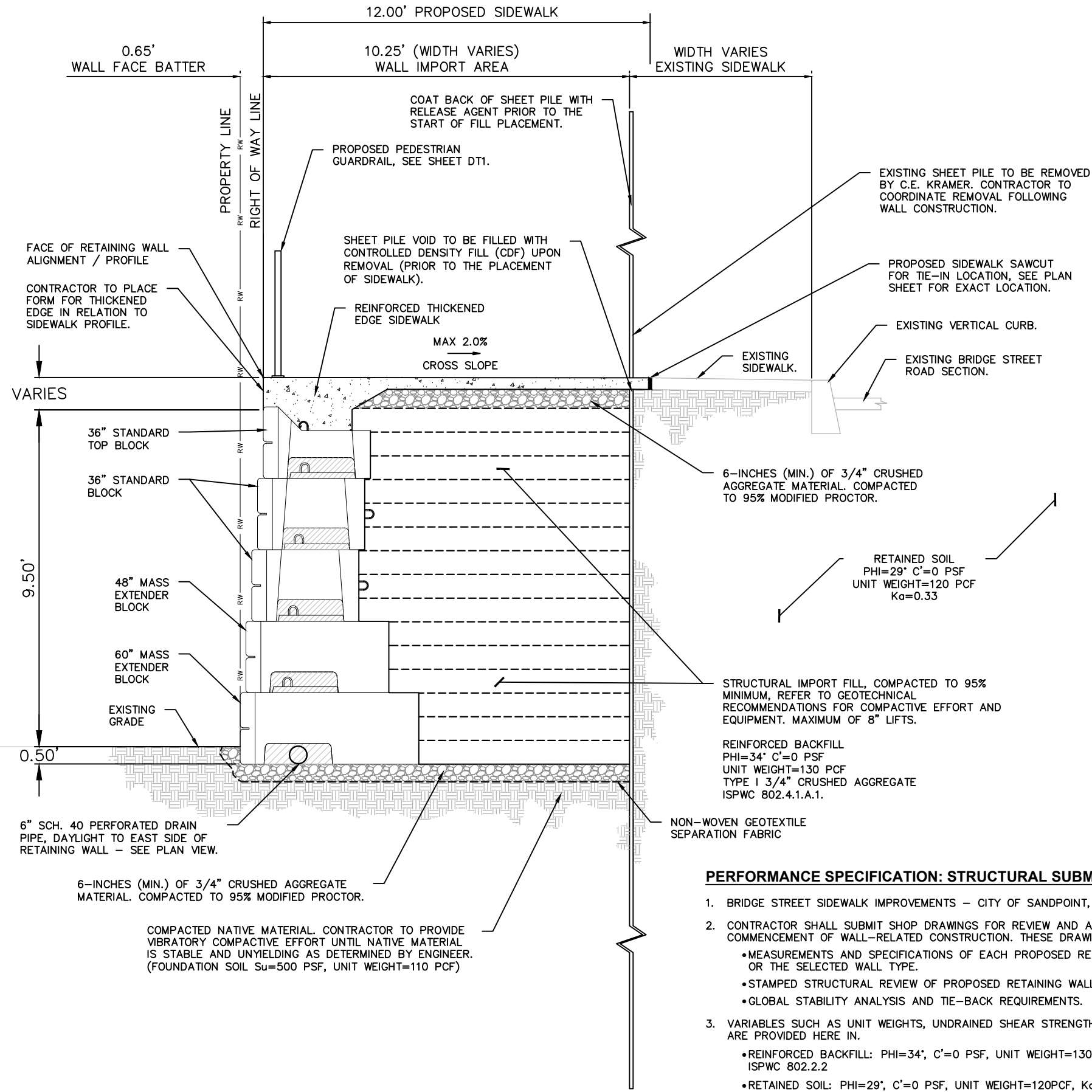
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CITY OF SANDPOINT
 BRIDGE STREET
 SIDEWALK IMPROVEMENTS

RETAINING WALL TYPICAL SECTION

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TS1

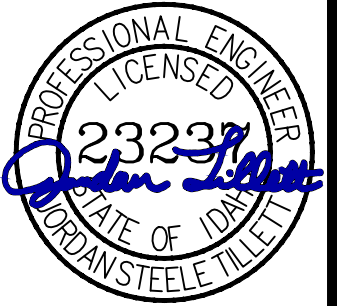


PERFORMANCE SPECIFICATION: STRUCTURAL SUBMITTALS REQUIRED

- BRIDGE STREET SIDEWALK IMPROVEMENTS - CITY OF SANDPOINT, IDAHO
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WALL-RELATED CONSTRUCTION. THESE DRAWINGS SHALL INCLUDE:
 - MEASUREMENTS AND SPECIFICATIONS OF EACH PROPOSED RETAINING WALL BLOCS OR THE SELECTED WALL TYPE.
 - STAMPED STRUCTURAL REVIEW OF PROPOSED RETAINING WALL.
 - GLOBAL STABILITY ANALYSIS AND TIE-BACK REQUIREMENTS.
- VARIABLES SUCH AS UNIT WEIGHTS, UNDRAINED SHEAR STRENGTH, AND SOIL TYPE ARE PROVIDED HERE IN.
 - REINFORCED BACKFILL: PHI=34°, C'=0 PSF, UNIT WEIGHT=130 PCF, TYPE I 3/4" ISPCW 802.2.2
 - RETAINED SOIL: PHI=29°, C'=0 PSF, UNIT WEIGHT=120PCF, Ka=0.33
 - FOUNDATION SOIL: Su=500 PSF, UNIT WEIGHT=110 PCF

1
TS1
RETAINING WALL TYPICAL SECTION
 NO SCALE

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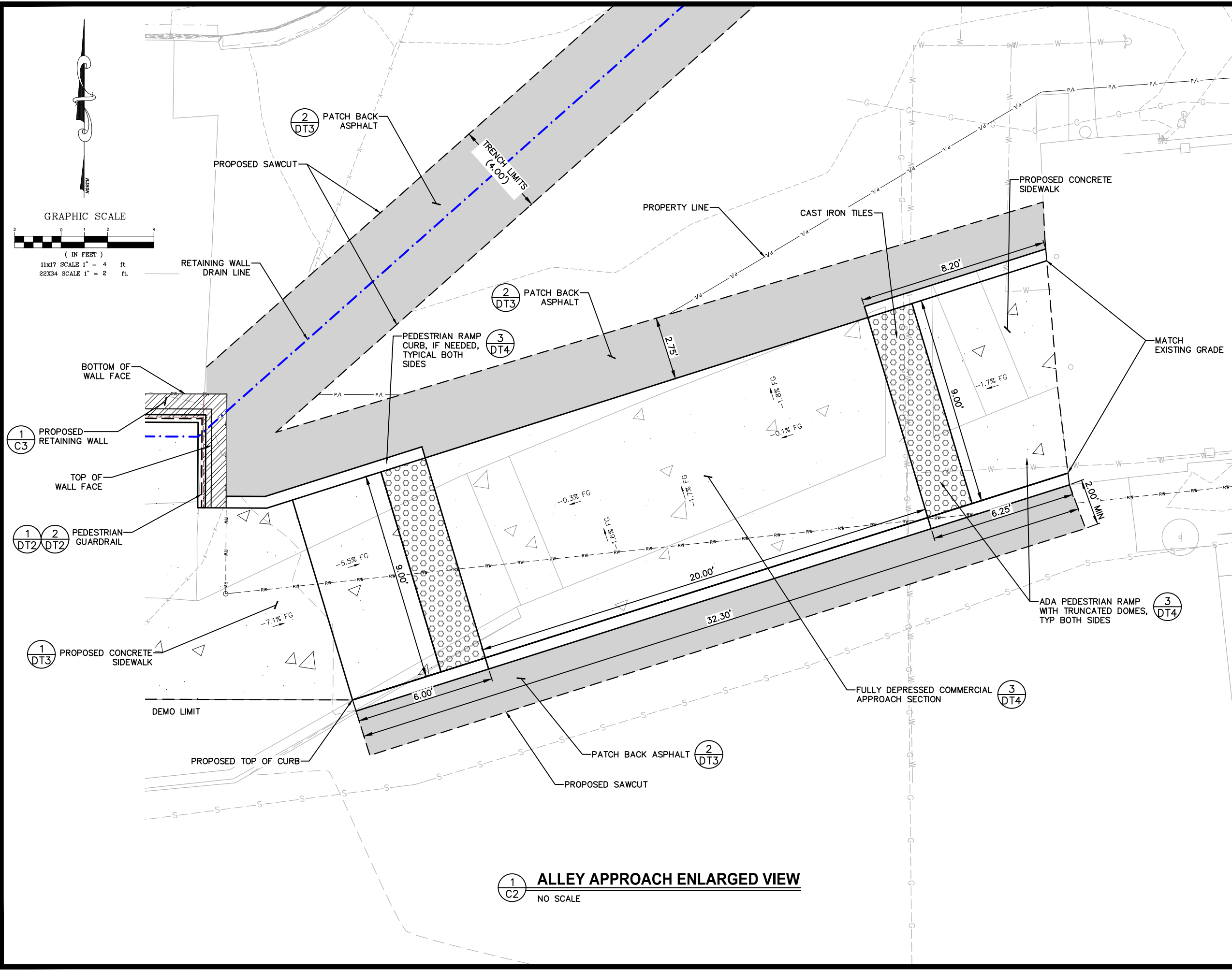
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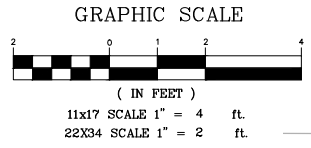
CITY OF SANDPOINT
 BRIDGE STREET
 SIDEWALK IMPROVEMENTS
 ALLEY APPROACH ENLARGED VIEW

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1
C2 **ALLEY APPROACH ENLARGED VIEW**
 NO SCALE



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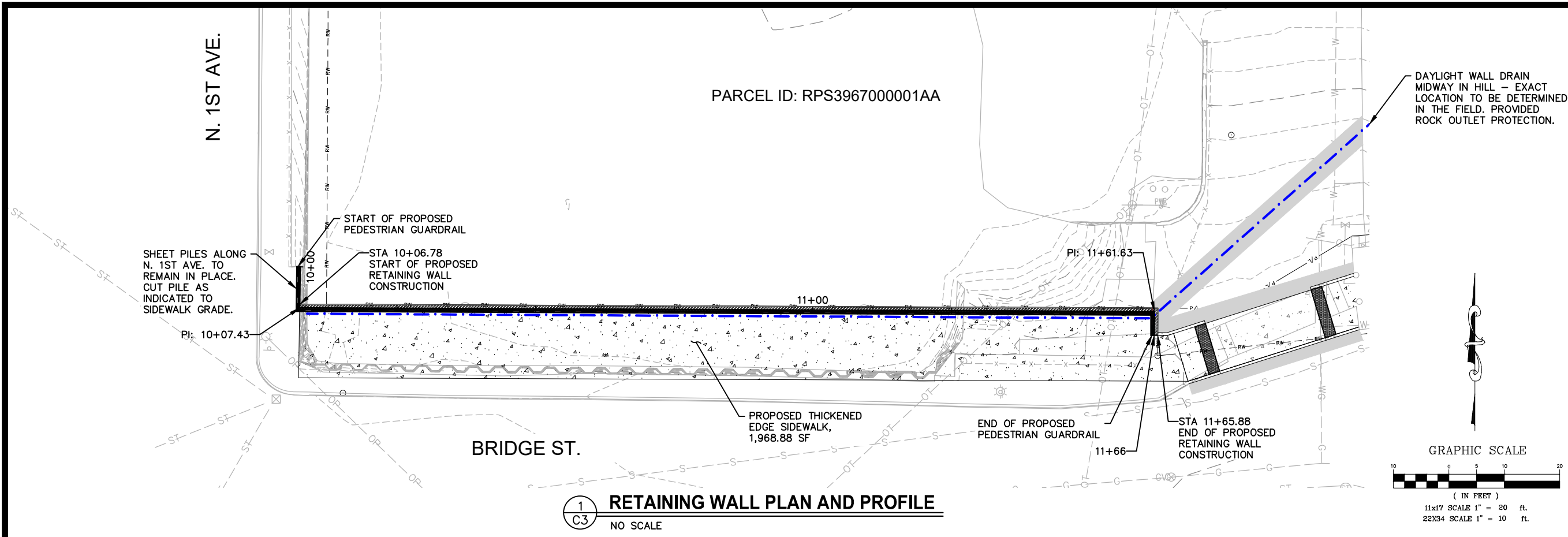


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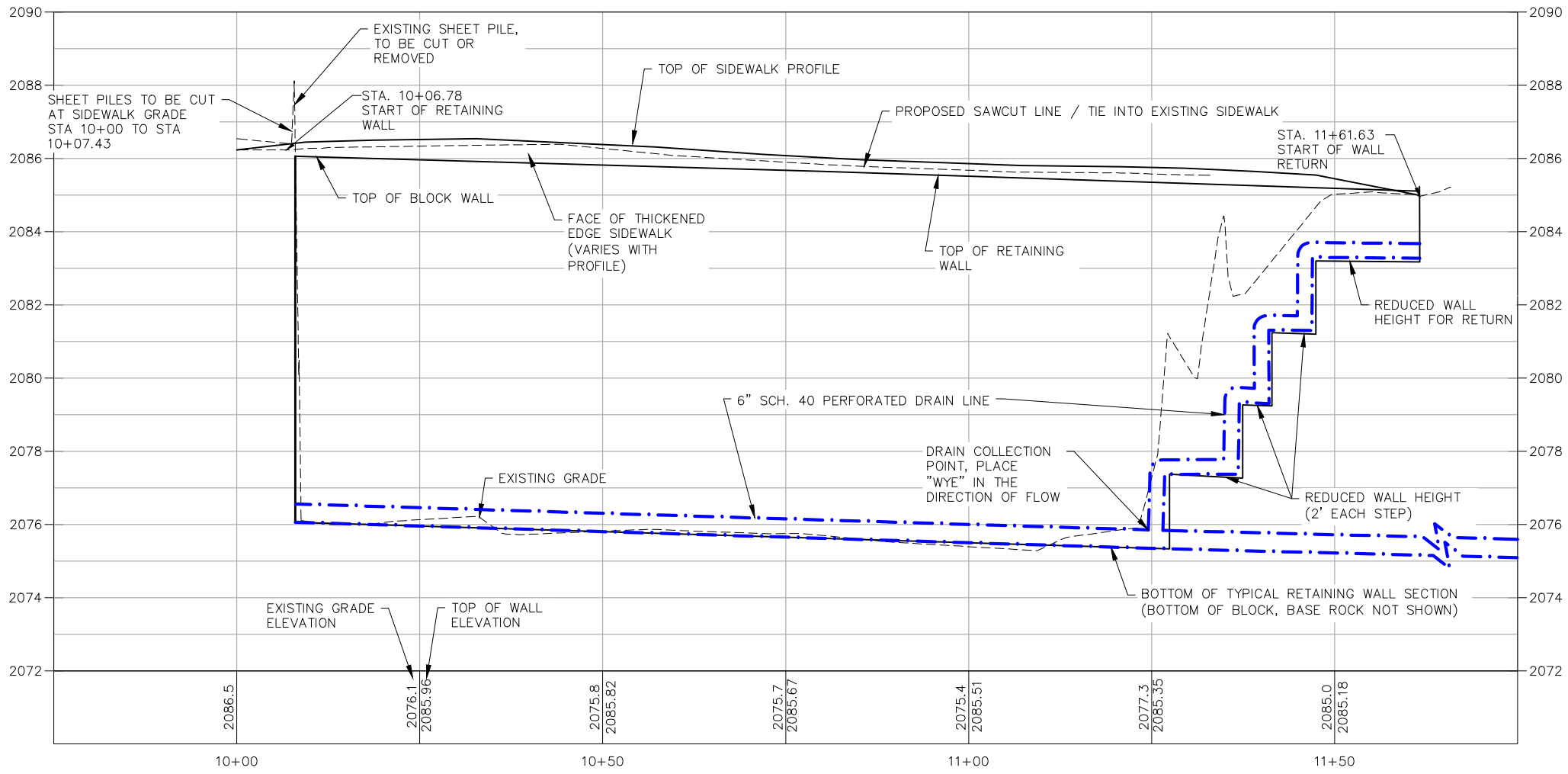


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1
C3 RETAINING WALL PLAN AND PROFILE
 NO SCALE



11X17 SCALE:
 HORIZ 1" = 20', VERT 1" = 4'
 22X24 SCALE:
 HORIZ 1" = 10', VERT 1" = 2'

CITY OF SANDPOINT
 BRIDGE STREET
 SIDEWALK IMPROVEMENTS

RETAINING WALL
 PLAN AND PROFILE

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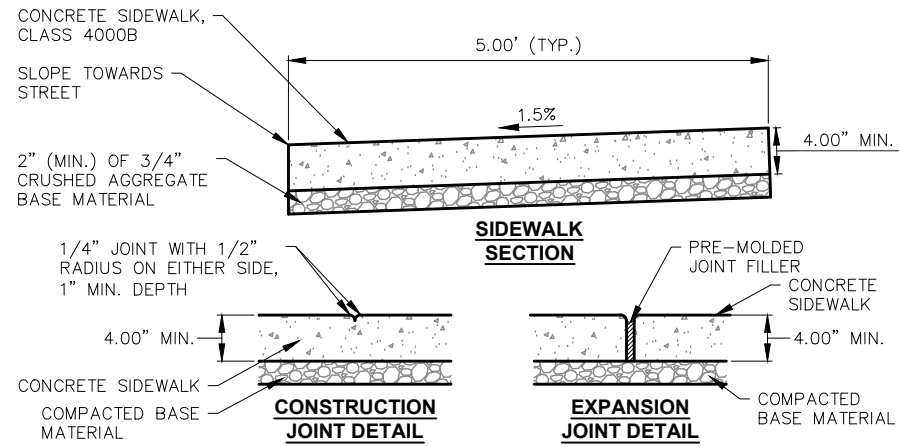


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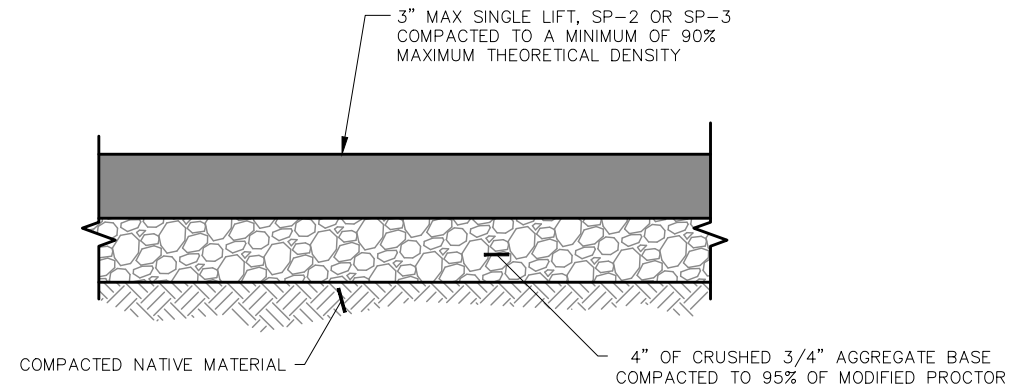
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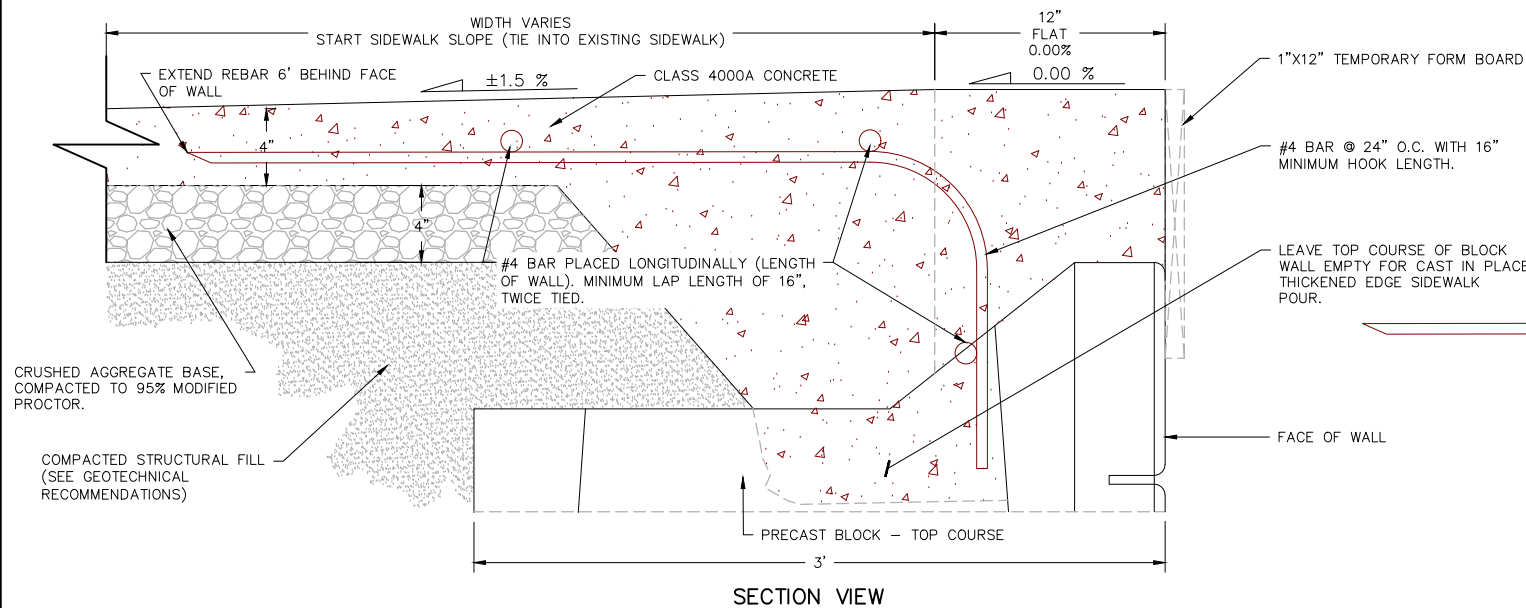
1. ALL 3/4" BASE MATERIAL SHALL TO BE COMPACTED TO A MINIMUM OF 90% MODIFIED PROCTOR.
2. SLOPE SIDEWALK TOWARD STREET IF NOT OTHERWISE SPECIFIED.
3. CROSS SLOPE SHALL NOT EXCEED ±0.5%, UNLESS OTHERWISE SPECIFIED BY ENGINEER.
4. SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5' SPACING
5. EXPANSION JOINTS SHALL NOT EXCEED 15'
6. EXPANSION JOINT ARE REQUIRED WHEN CONNECTING TO EXISTING CONCRETE SIDEWALK
7. 28-DAY CONCRETE COMPRESSIVE STRENGTH 4000 PSI MIN.
8. MATERIALS AND CONSTRUCTION ACCORDING TO ISPC SPECIFICATIONS

1
 DT3
TYPICAL CONCRETE SIDEWALK DETAIL
 NO SCALE

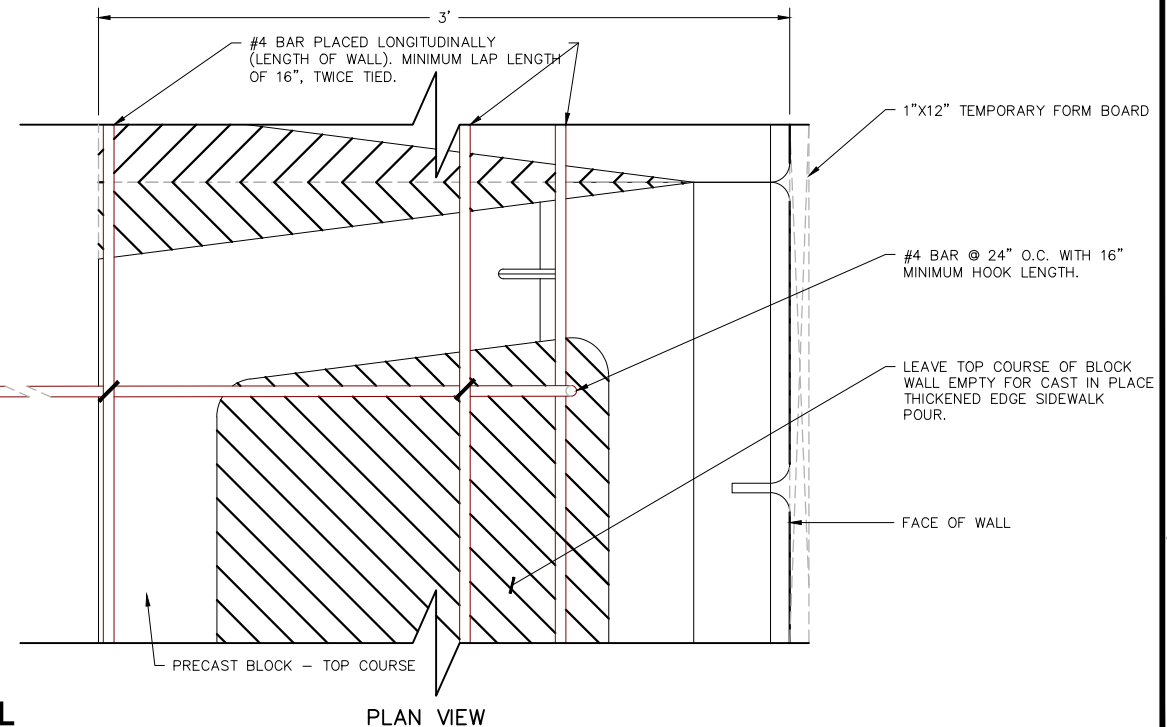


2
 DT3
ASPHALT PATCH DETAIL
 NO SCALE

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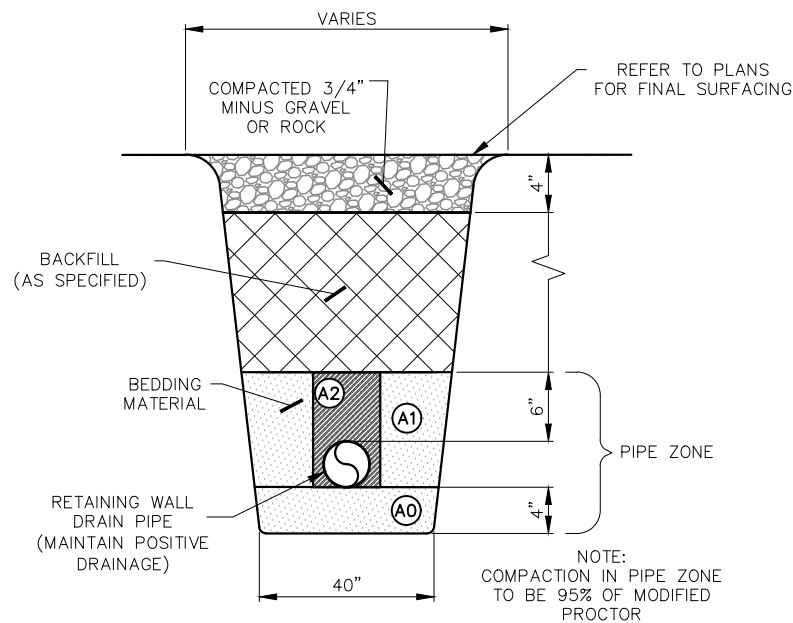
3
 DT3
REINFORCED SIDEWALK DETAIL
 NO SCALE



CITY OF SANDPOINT
 BRIDGE STREET
 SIDEWALK IMPROVEMENTS
 CIVIL DETAILS

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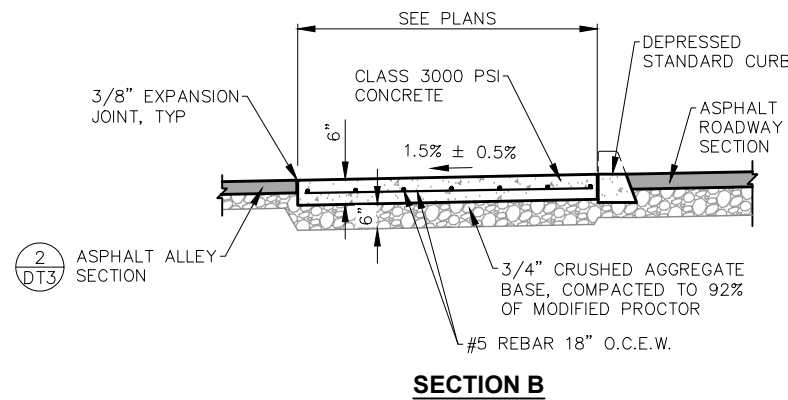
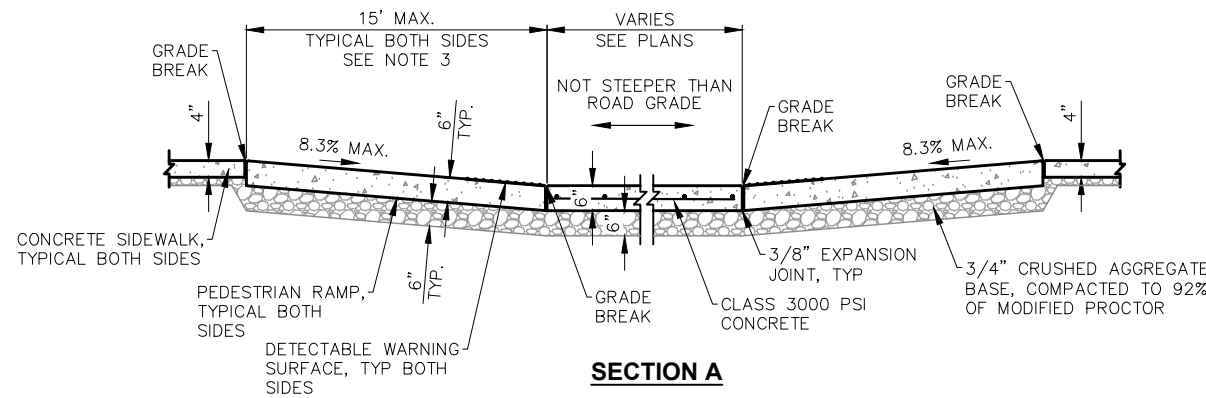
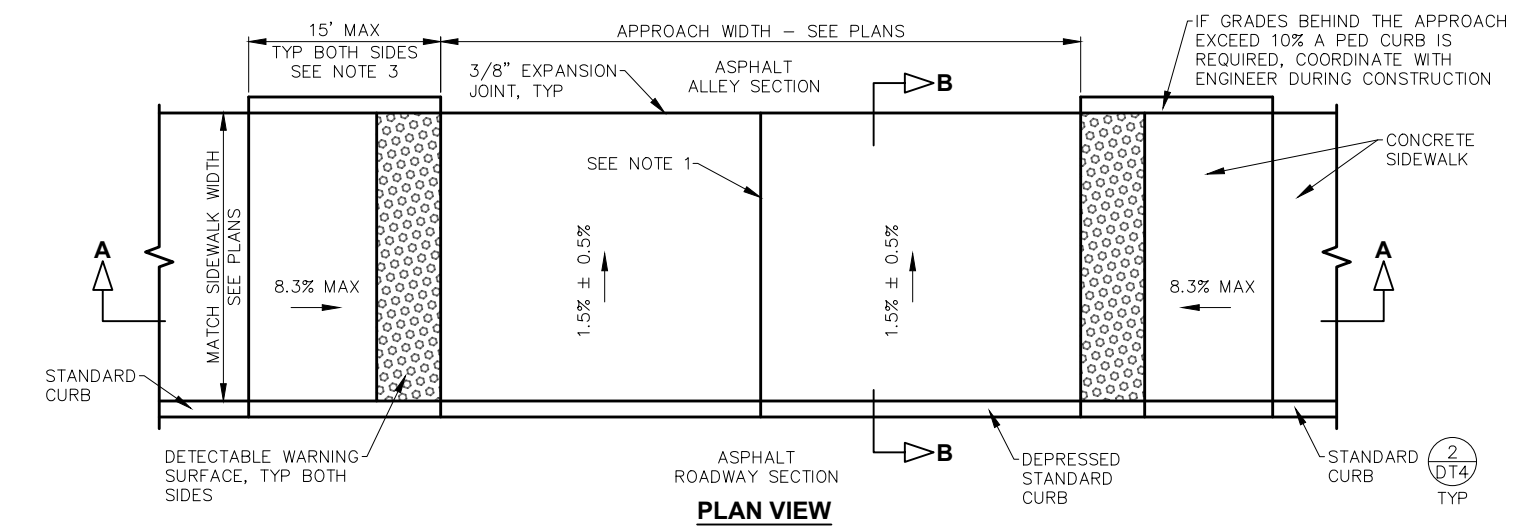
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GENERAL NOTES:

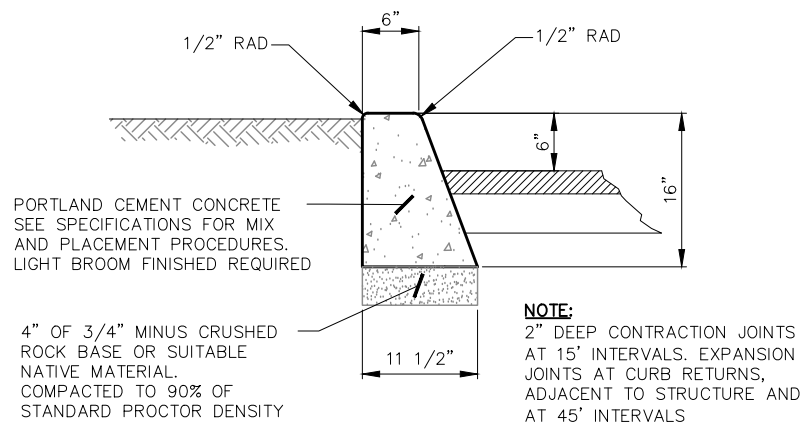
- AREA 0 - COMPACTED TO MINIMUM 92% OF MODIFIED PROCTOR
- AREA 1 - COMPACTED TO MINIMUM 95% OF MODIFIED PROCTOR
- AREA 2 - UTILIZE STATIC COMPACTION EFFORTS OVER PIPE

1
DT4
STORM PIPE TRENCH DETAIL
NO SCALE



NOTES:

- WHEN THE DRIVEWAY WIDTH EXCEEDS 15 FEET, CONSTRUCT A FULL DEPTH EXPANSION JOINT WITH 3/8" JOINT FILLER ALONG THE DRIVEWAY CENTERLINE. CONSTRUCT EXPANSION JOINTS PARALLEL WITH THE CENTERLINE AS REQUIRED AT 15 FEET MAXIMUM SPACING WHEN DRIVEWAY WIDTHS EXCEED 30 FEET. SEE DETAIL 1, SHEET DT3.
- WHERE "GRADE BREAK" IS CALLED OUT, THE ENTIRE LENGTH OF THE LINE BETWEEN THE TWO ADJACENT SURFACE PLANES SHALL BE FLUSH.
- THE CURB RAMP MAXIMUM RUNNING SLOPE SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15 FOOT MAX. LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE AS FLAT AS FEASIBLE.



2
DT4
STANDARD STRAIGHT CONCRETE CURB DETAIL
NO SCALE

3
DT4
FULLY DEPRESSED COMMERCIAL APPROACH AND PEDESTRIAN RAMP DETAIL
NO SCALE

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08/06/2025

WELCH-COMER
ENGINEERS & SURVEYORS

208-664-9382
330 E. Lakeside Ave, Suite 101
Coeur d'Alene, ID 83814

NO. DATE REVISION DESCRIPTION BY

CITY OF SANDPOINT
BRIDGE STREET
SIDEWALK IMPROVEMENTS

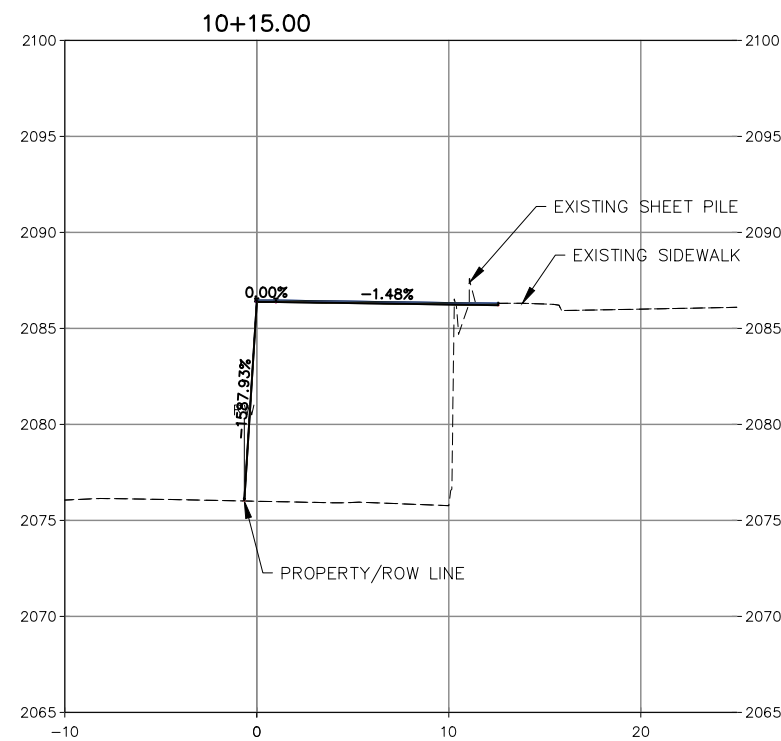
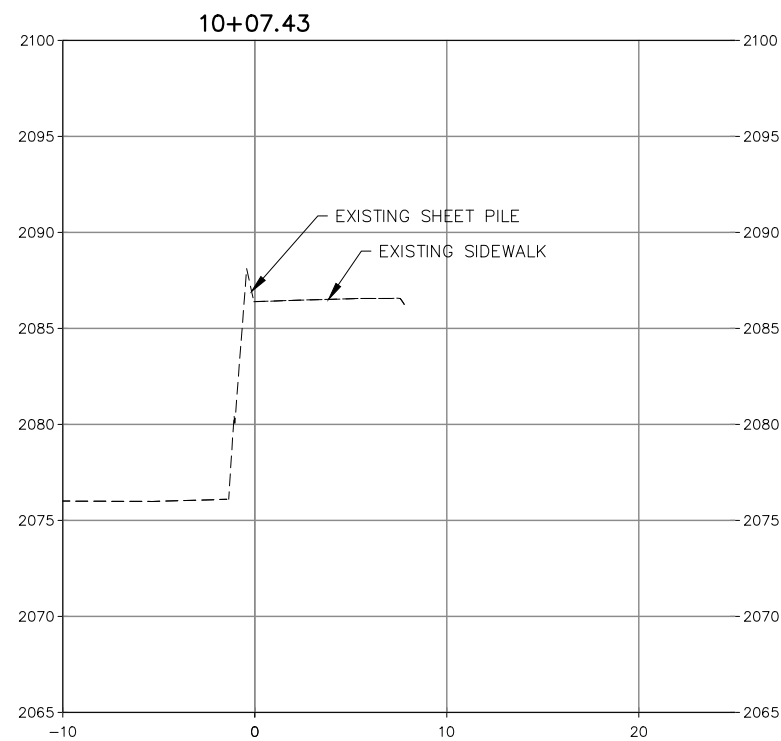
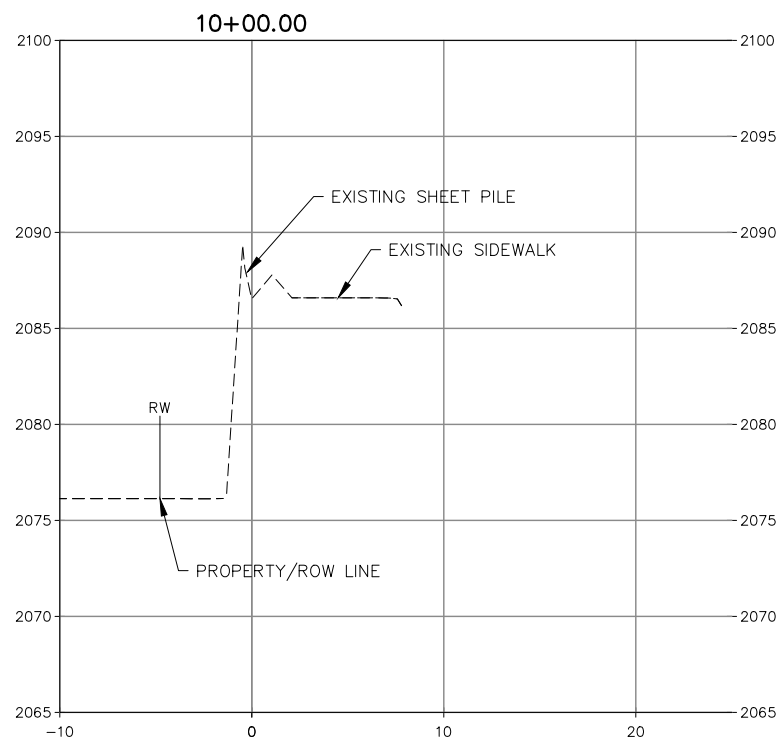
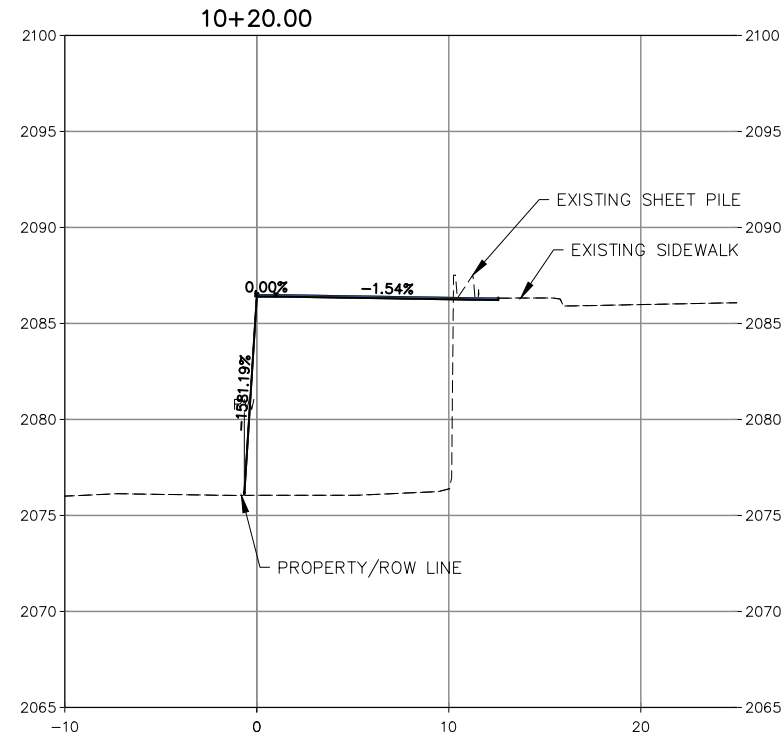
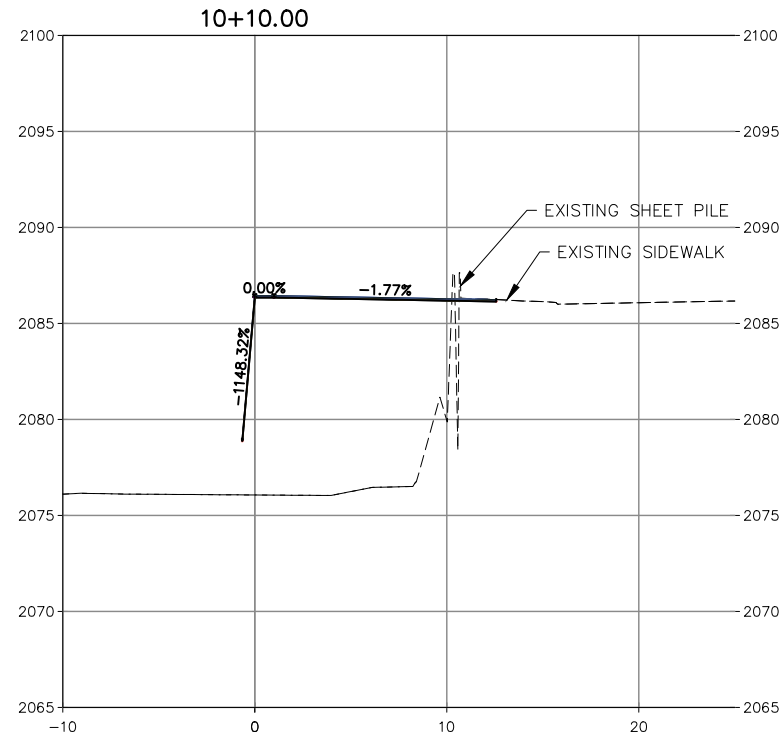
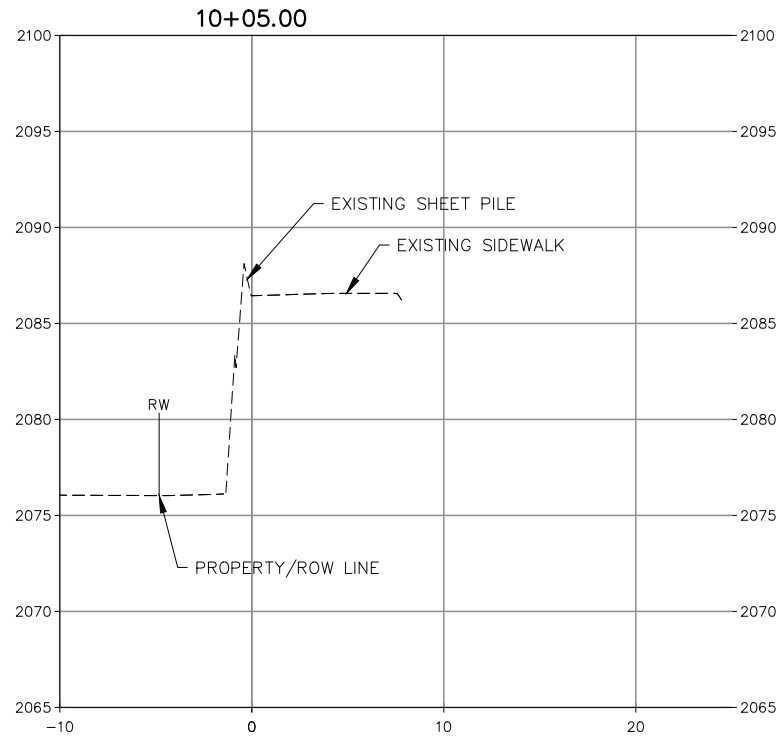
CIVIL DETAILS

PROJ NO: 44050.020
DESIGNED BY: MG / JT
DRAWN BY: JT
CHECKED BY:
DWG: 44050.020DT01.DWG
DATE: 08-05-2025
SHEET NO:

DT4

GENERAL NOTES

1. PROPOSED SITE IMPROVEMENTS AND RELATED GRADING WILL EXTEND TO THE RIGHT-OF-WAY.
2. THE CROSS-SECTIONS PROVIDED ARE BASED ON THE BEST AVAILABLE INFORMATION, AND ARE INTENDED TO BE USED FOR REFERENCE PURPOSES ONLY. THEY SHOULD NOT BE CONSIDERED AN EXACT REPRESENTATION OF PROJECT CONDITIONS.



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	Coeur d'Alene, ID 83814	(fax) 208-664-5946	DATE
			REVISION DESCRIPTION

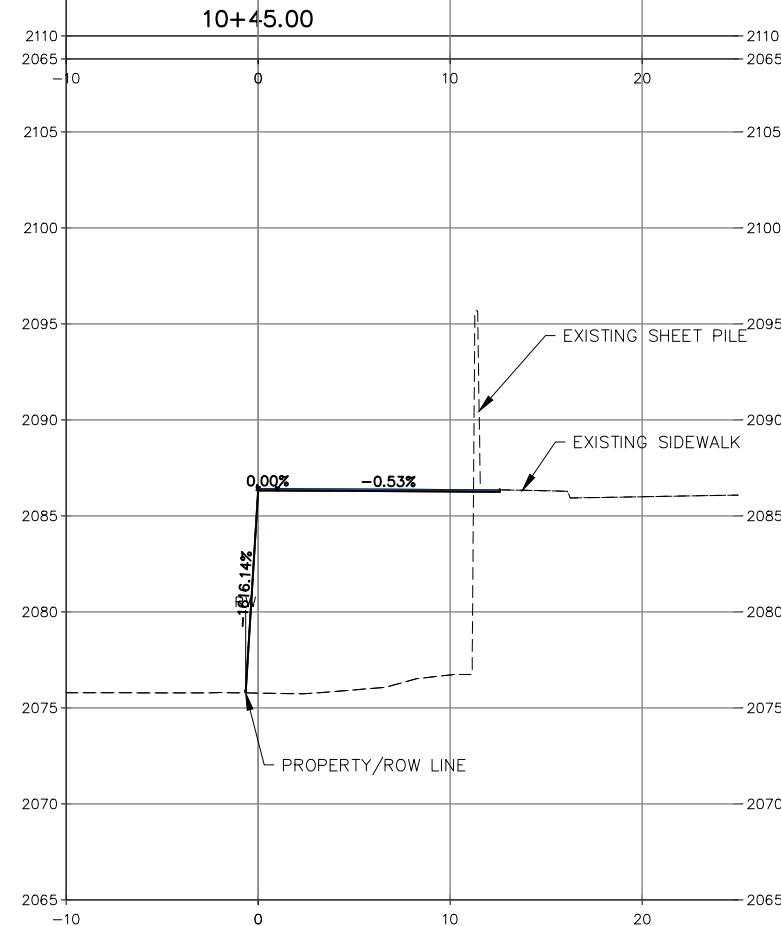
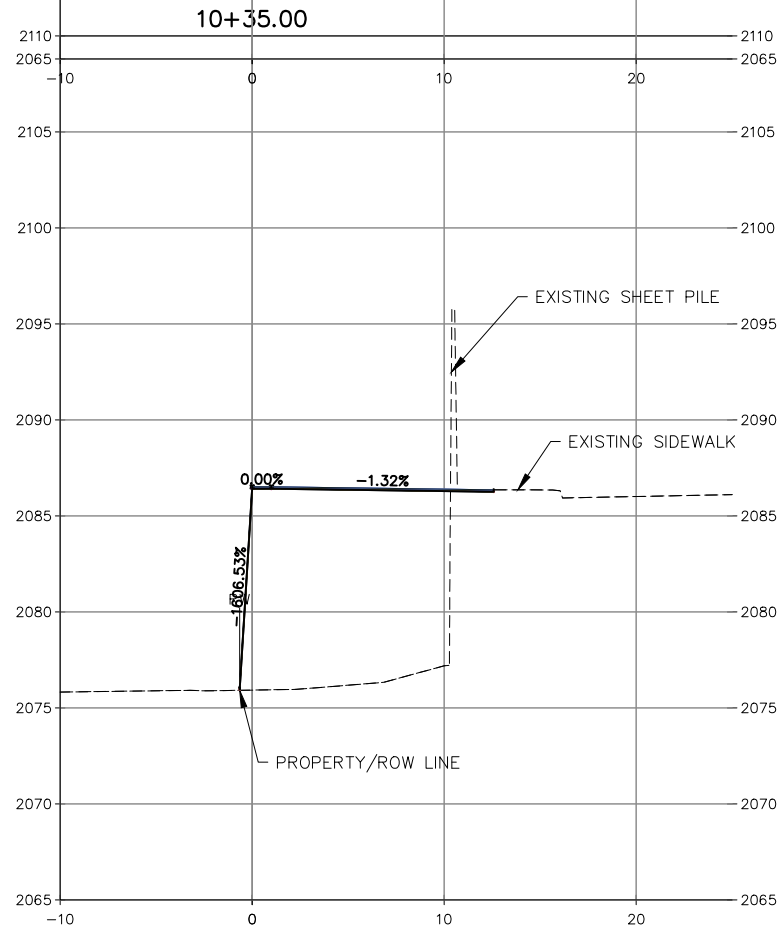
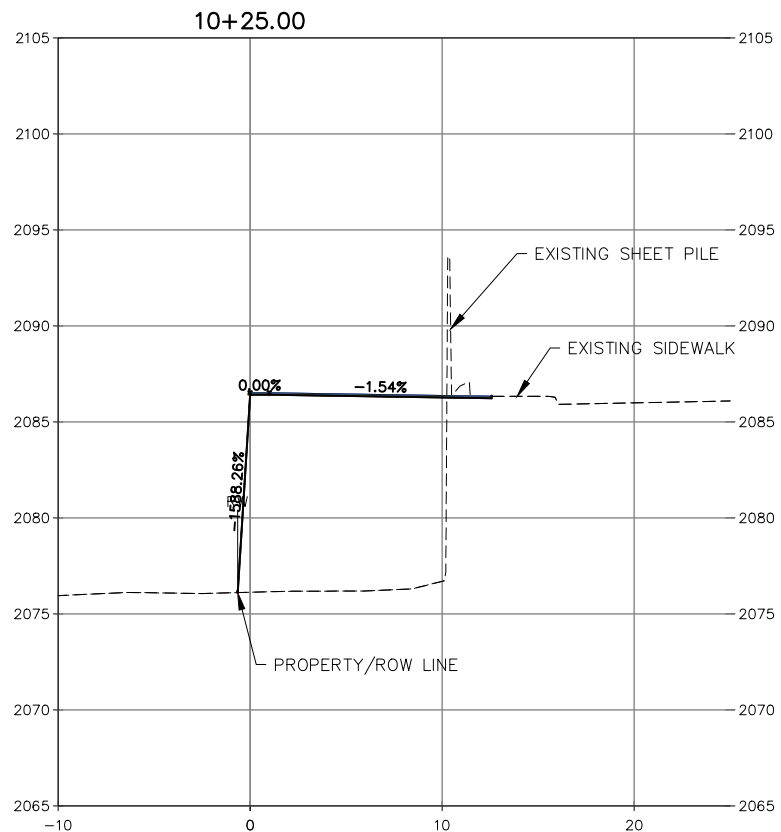
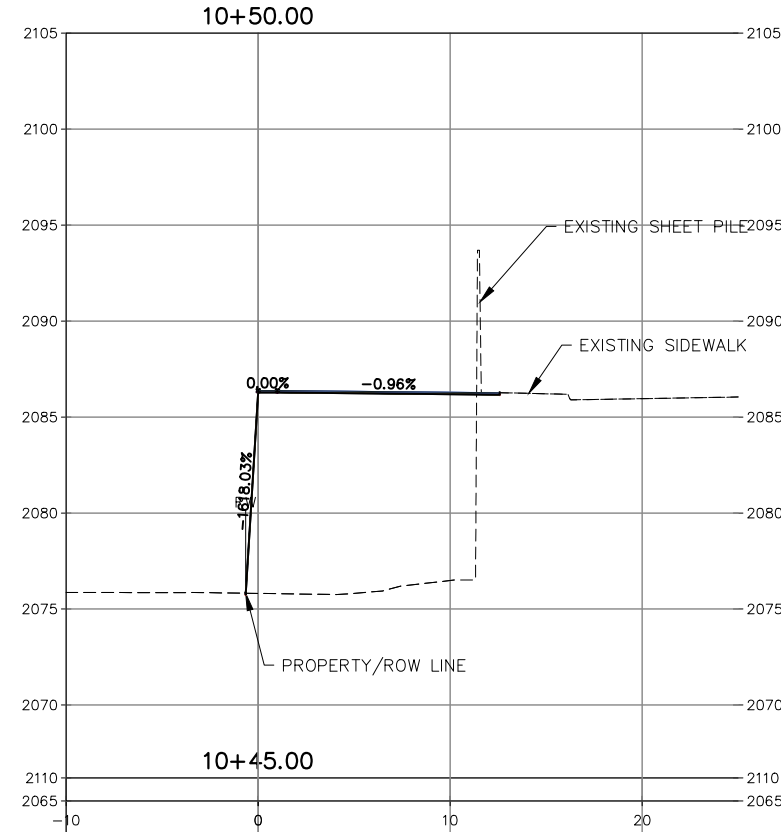
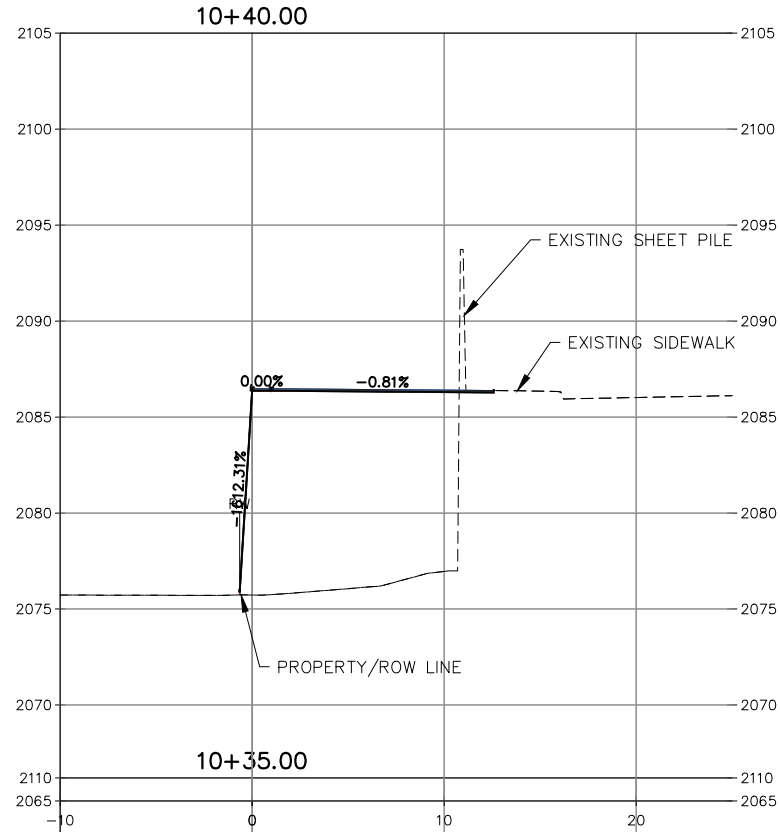
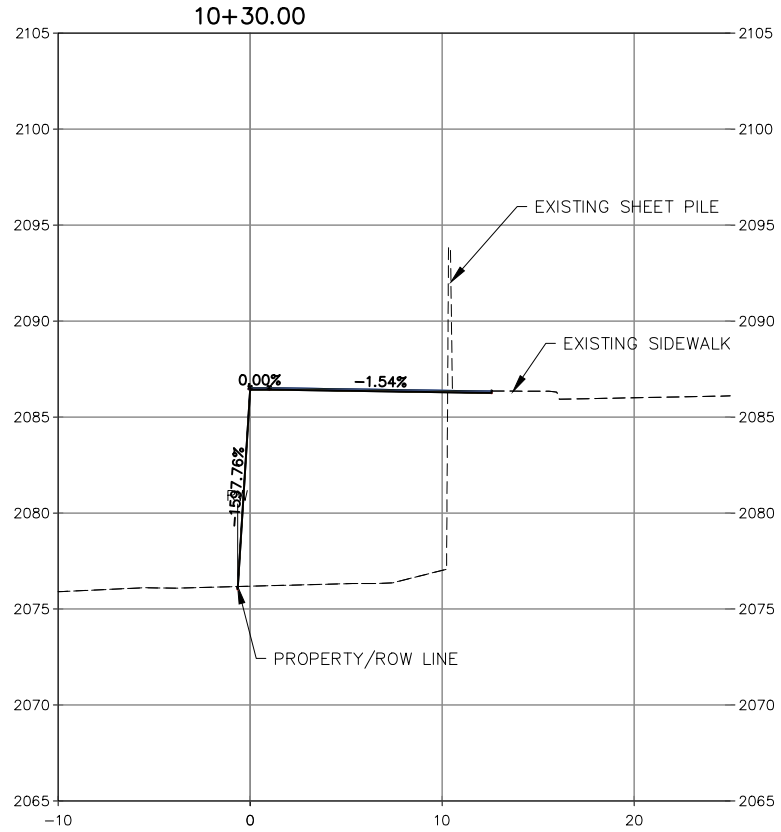
CITY OF SANDPOINT
 BRIDGE STREET
 SIDEWALK IMPROVEMENTS
 WALL CROSS SECTIONS

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 DWG: 44050.020XS01.DWG
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XS1

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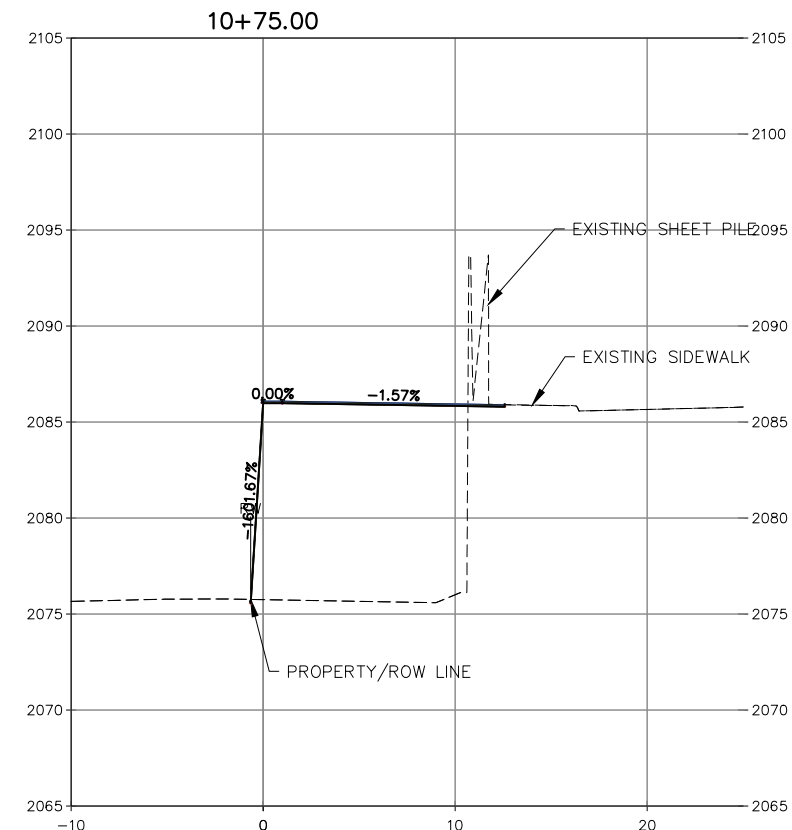
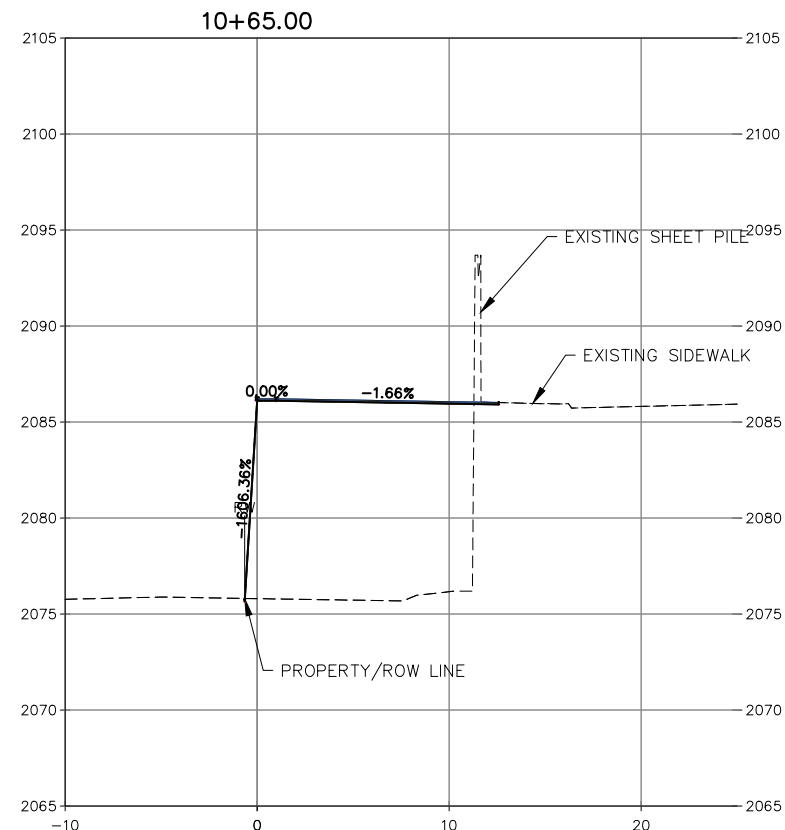
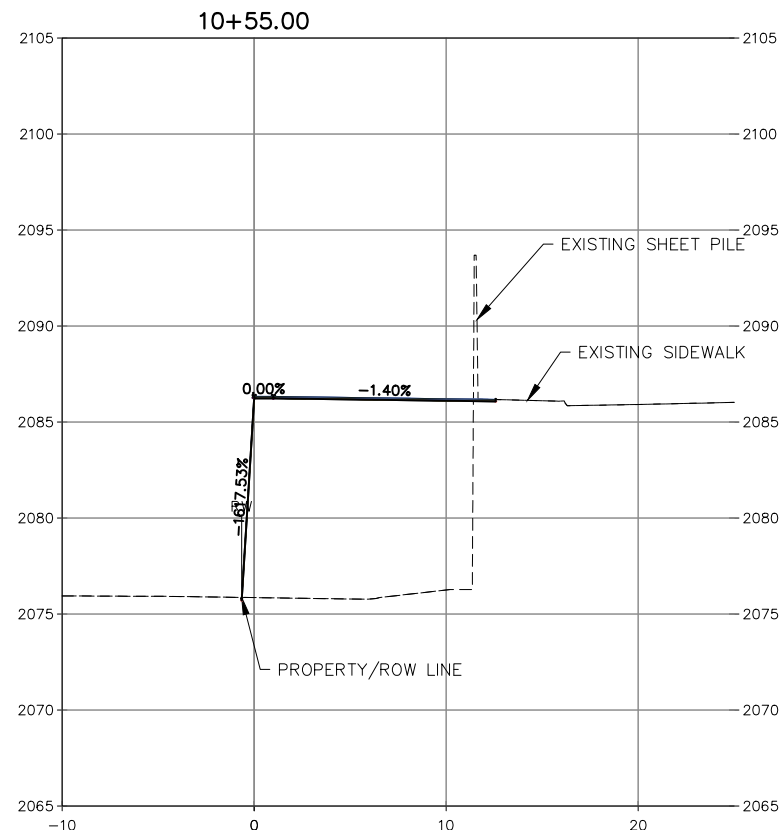
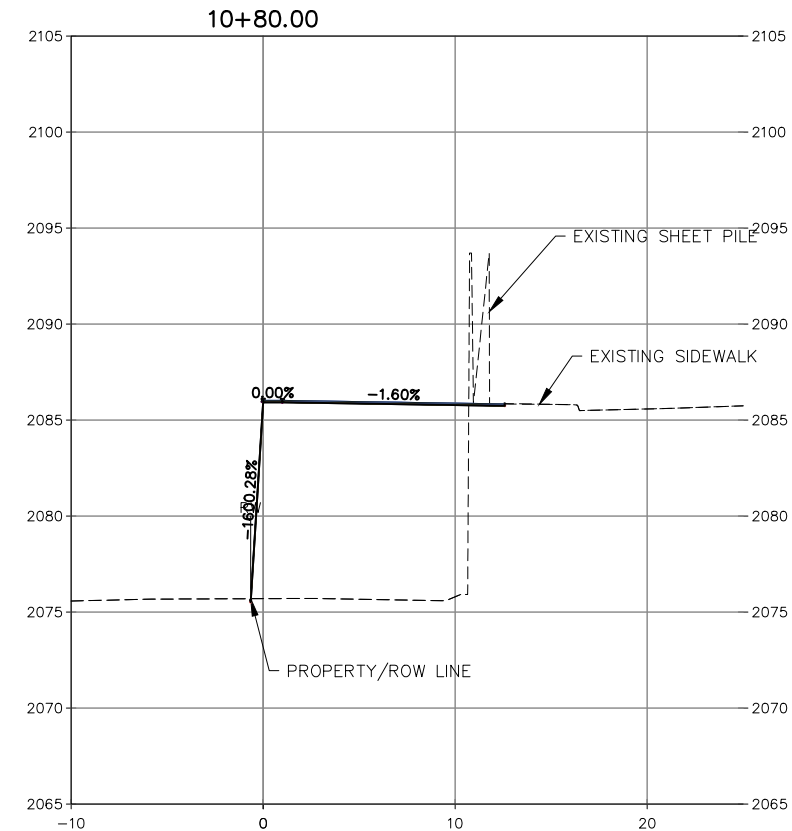
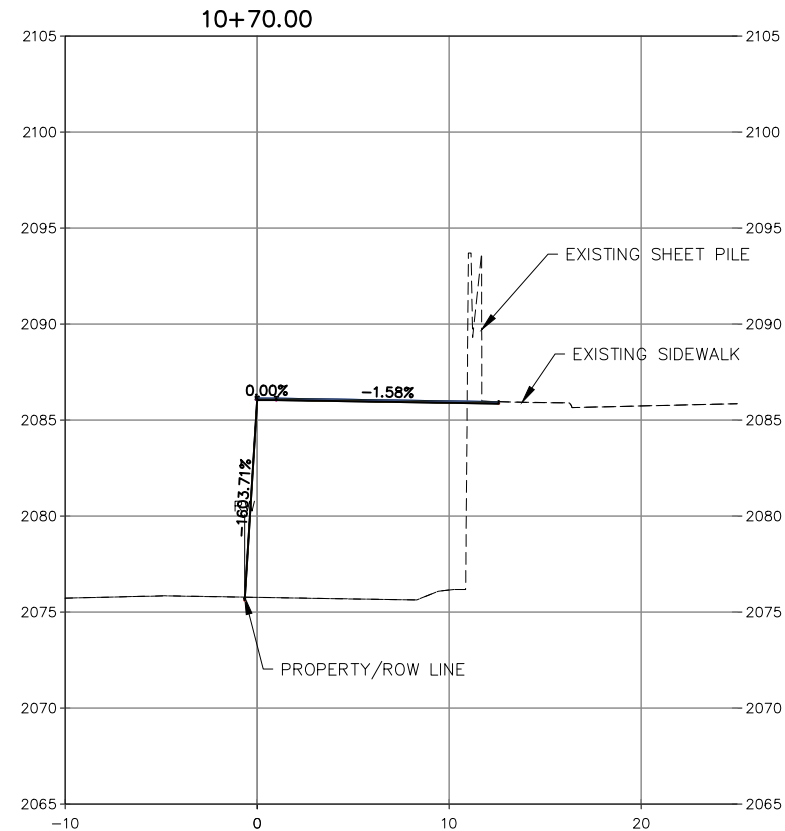
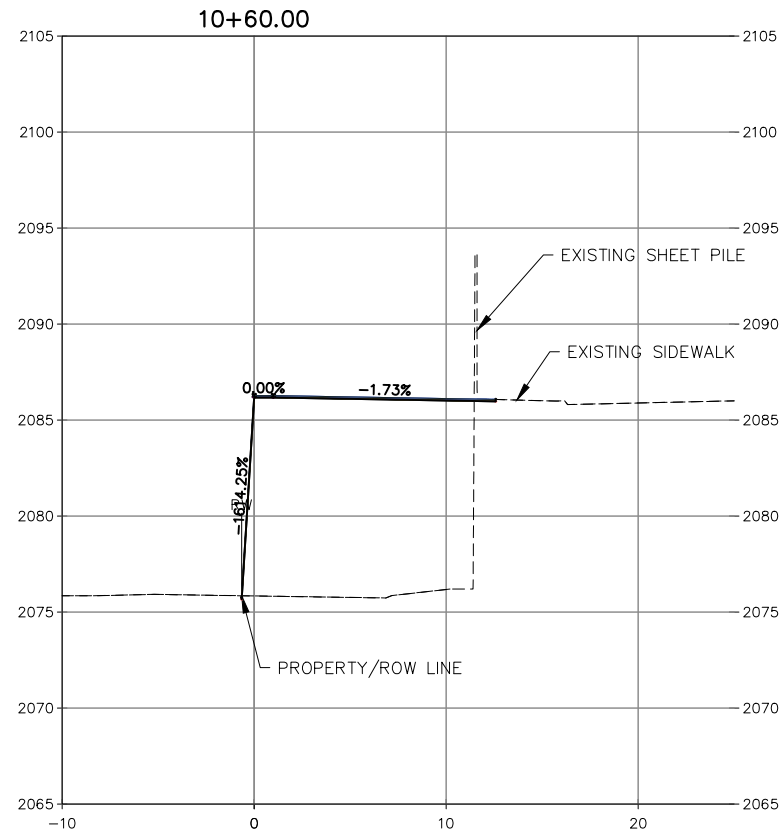
CITY OF SANDPOINT
 BRIDGE STREET
 SIDEWALK IMPROVEMENTS
 WALL CROSS SECTIONS

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XS2

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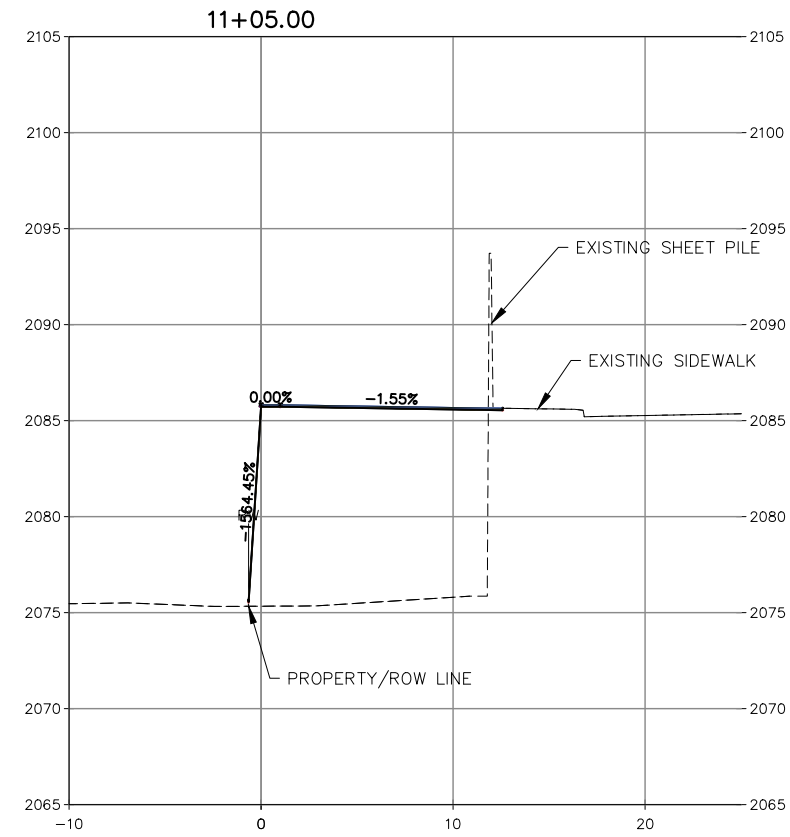
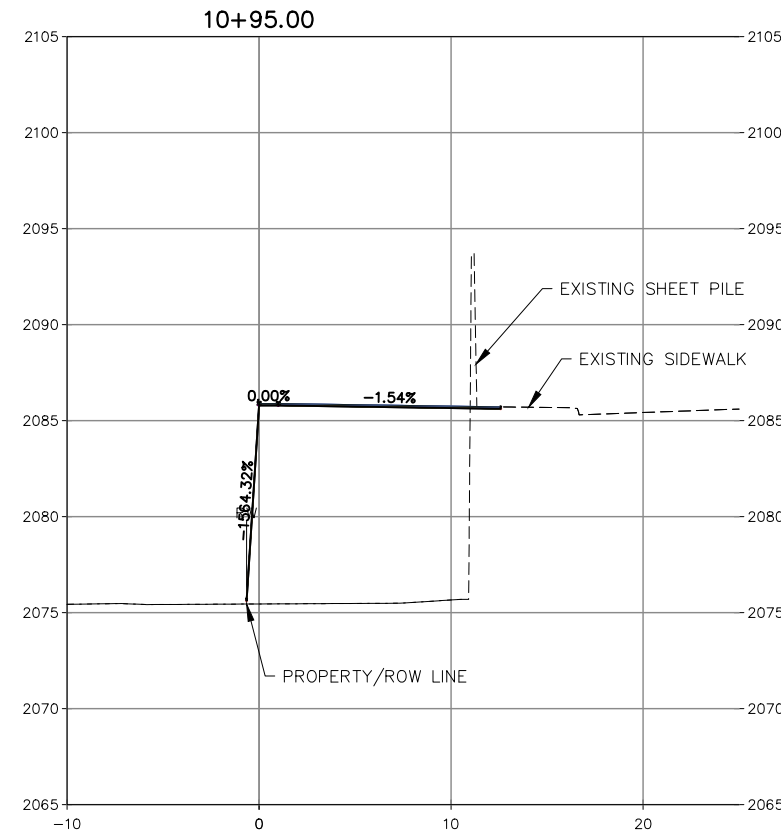
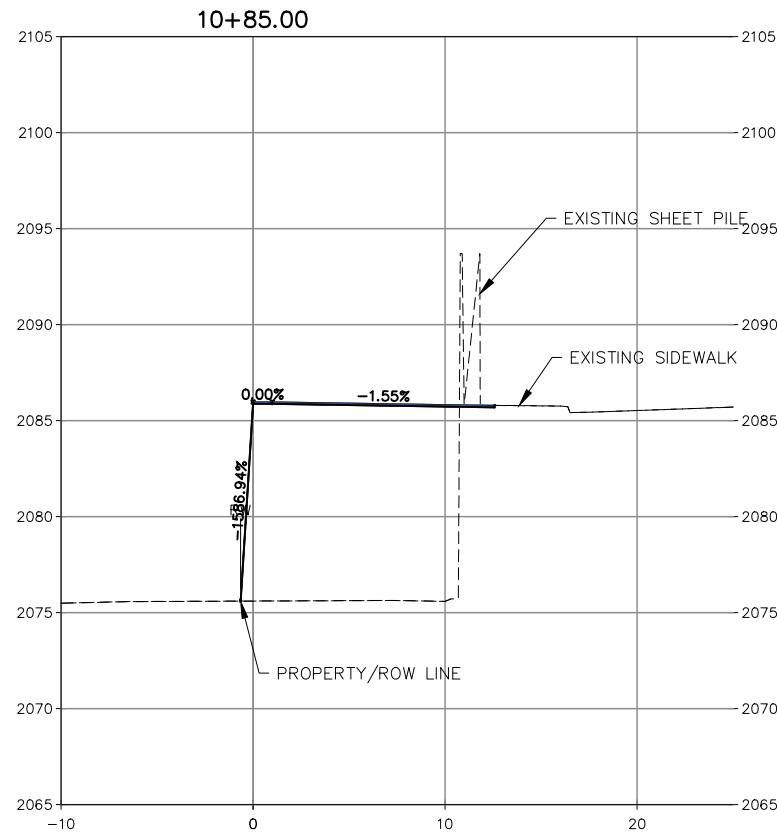
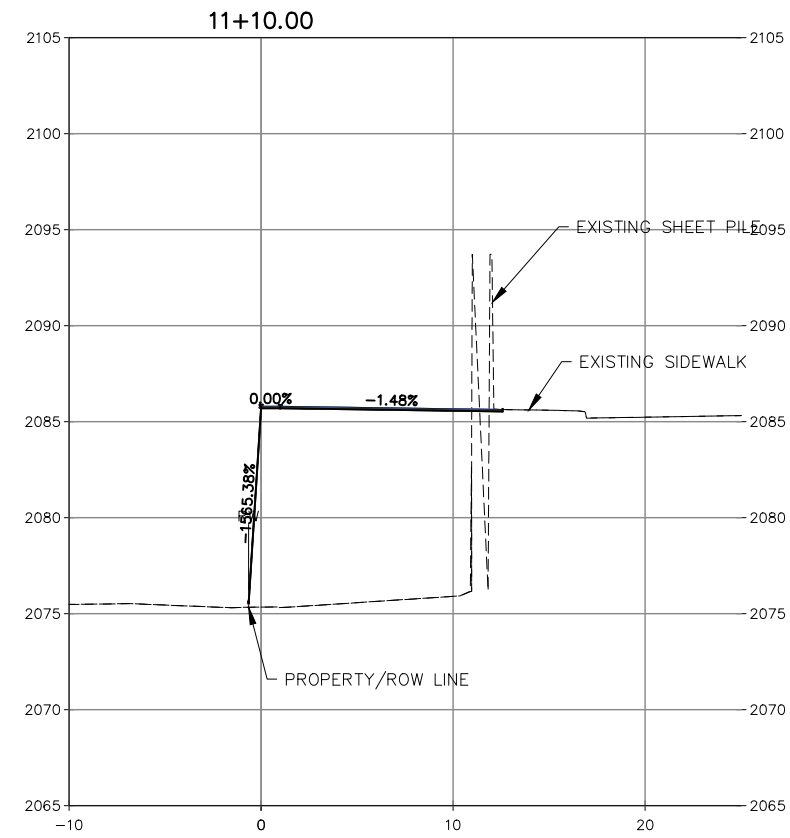
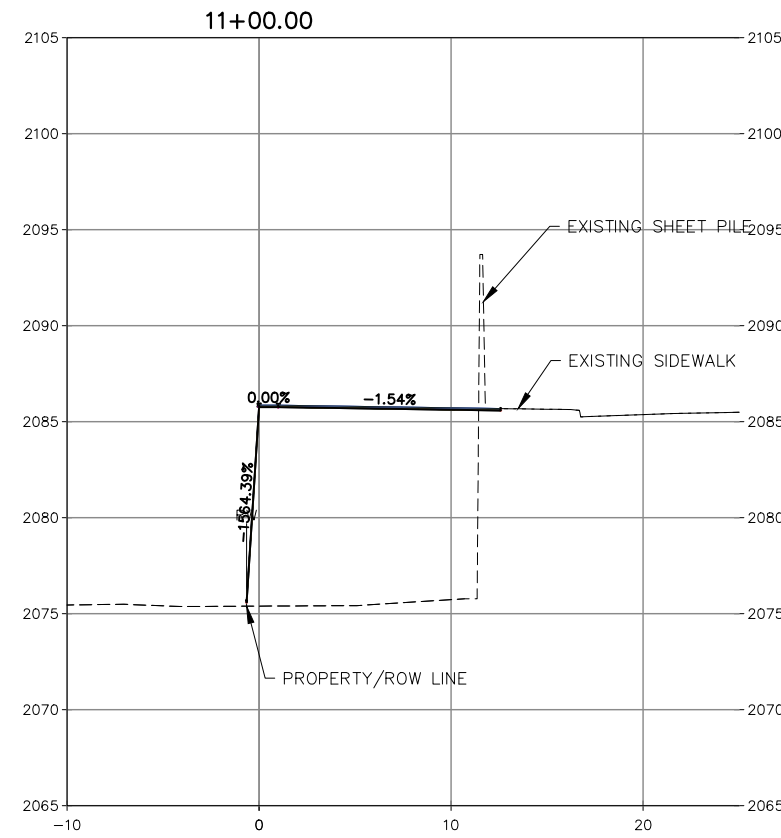
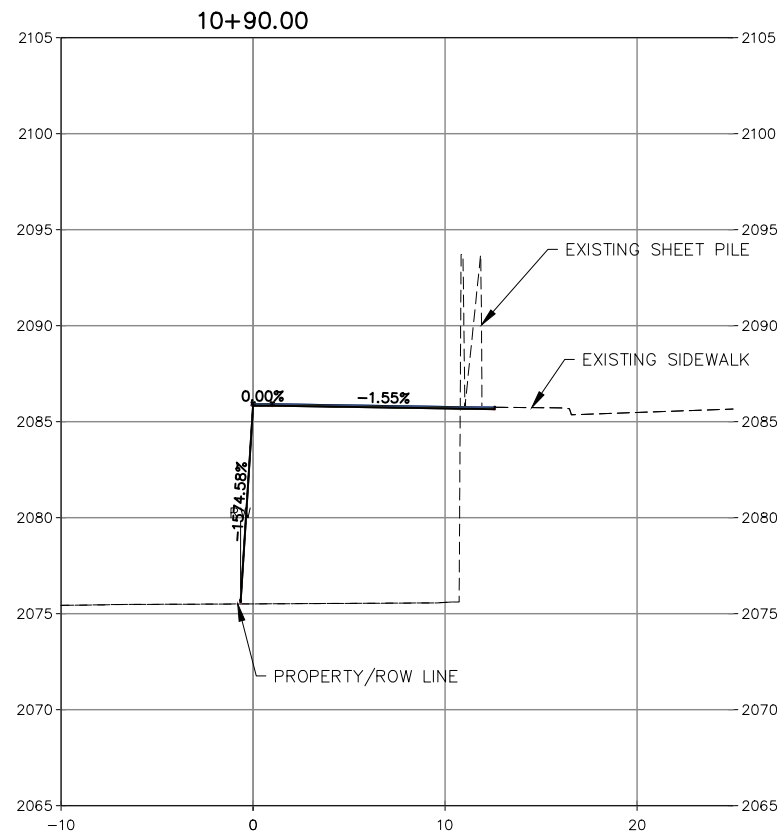
CITY OF SANDPOINT
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 SIDEWALK IMPROVEMENTS
 WALL CROSS SECTIONS

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XS3

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 BRIDGE STREET
 SIDEWALK IMPROVEMENTS
 WALL CROSS SECTIONS

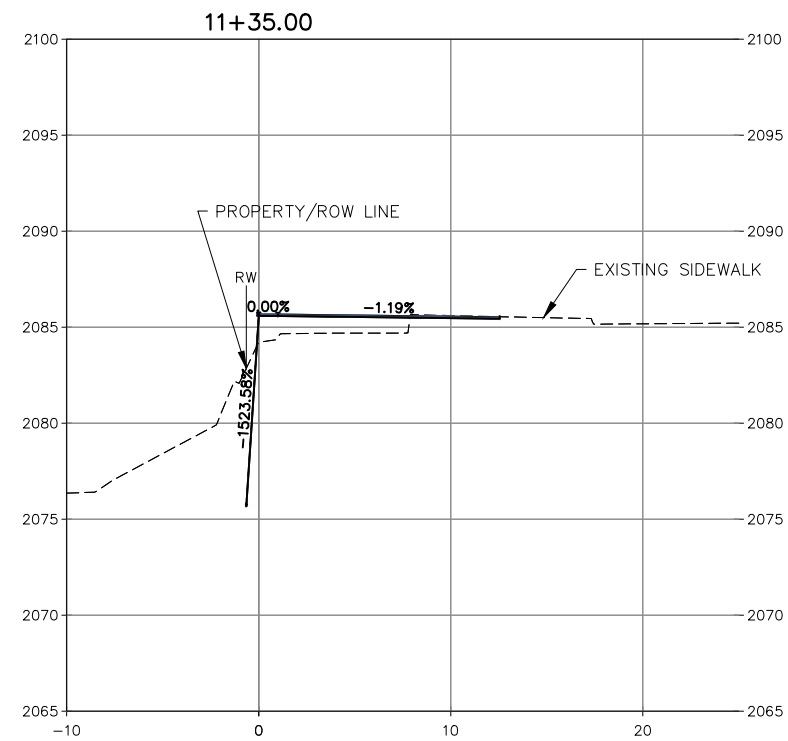
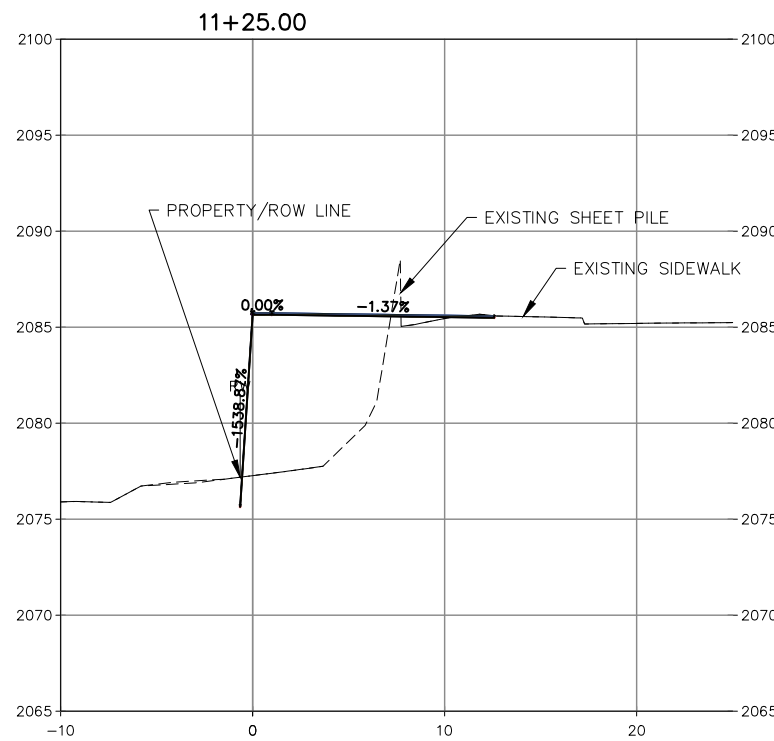
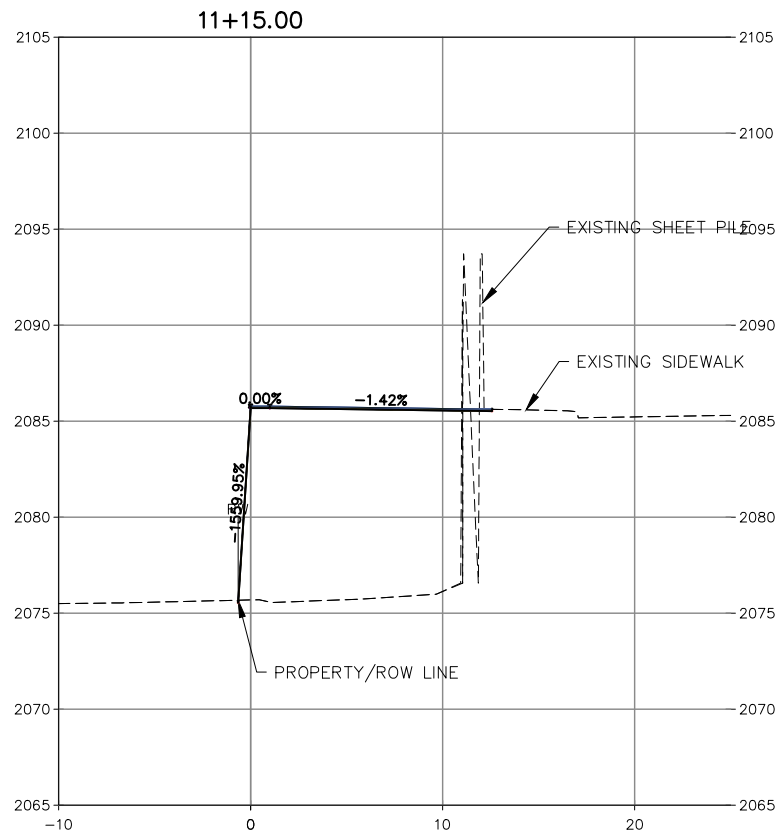
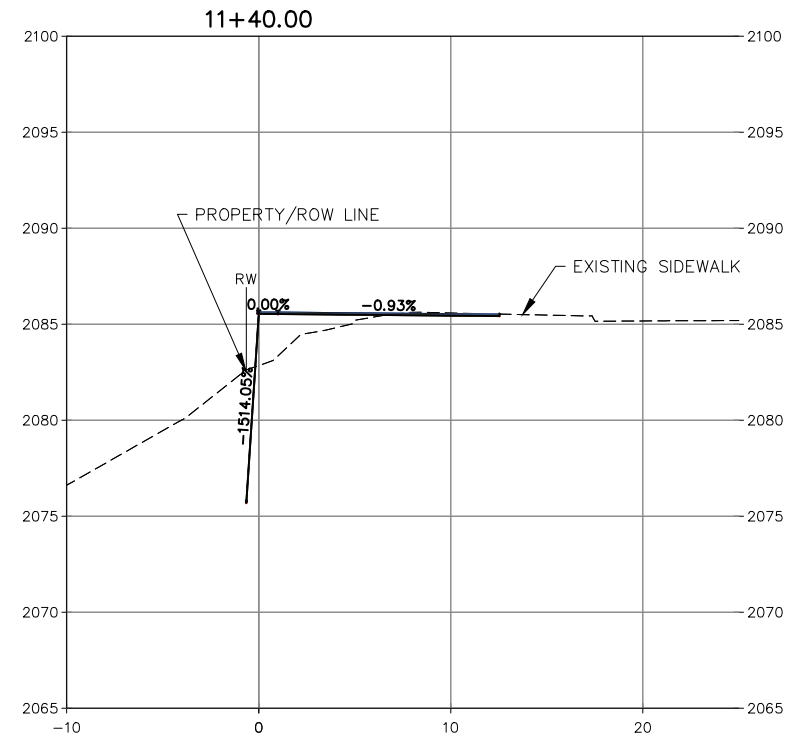
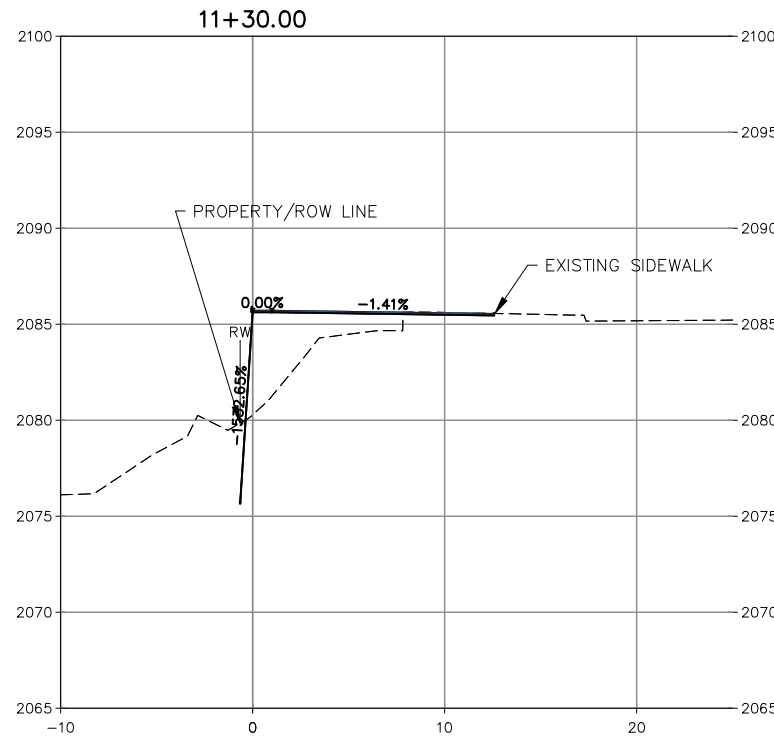
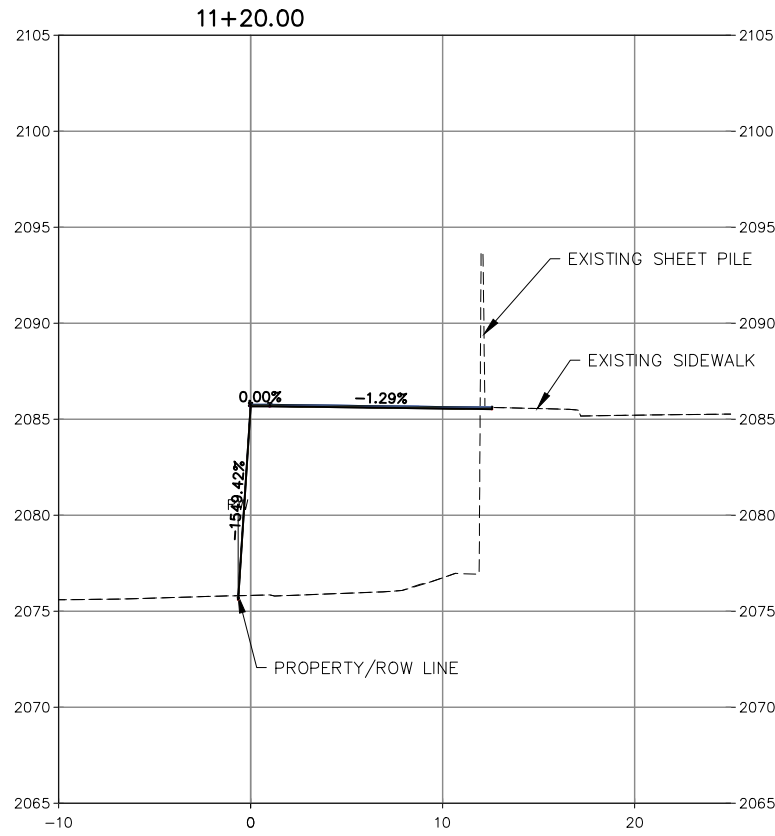
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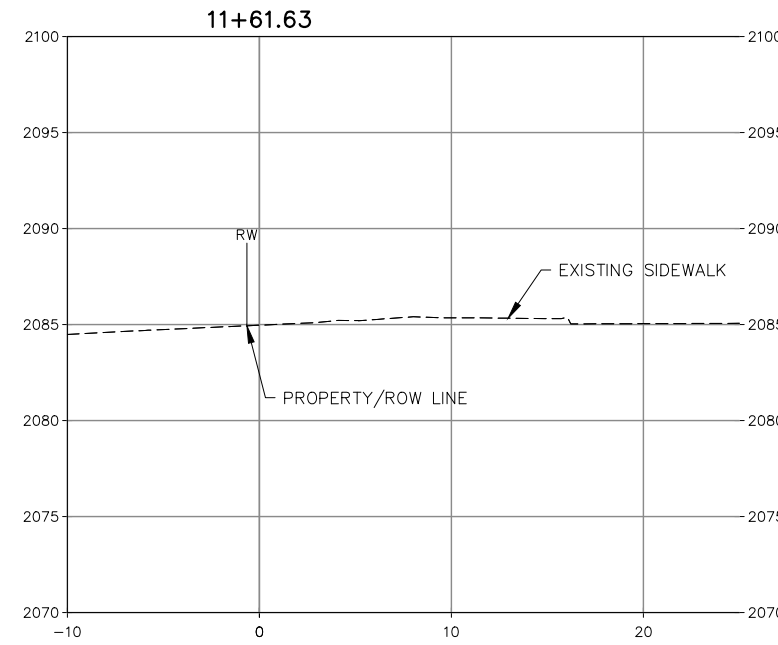
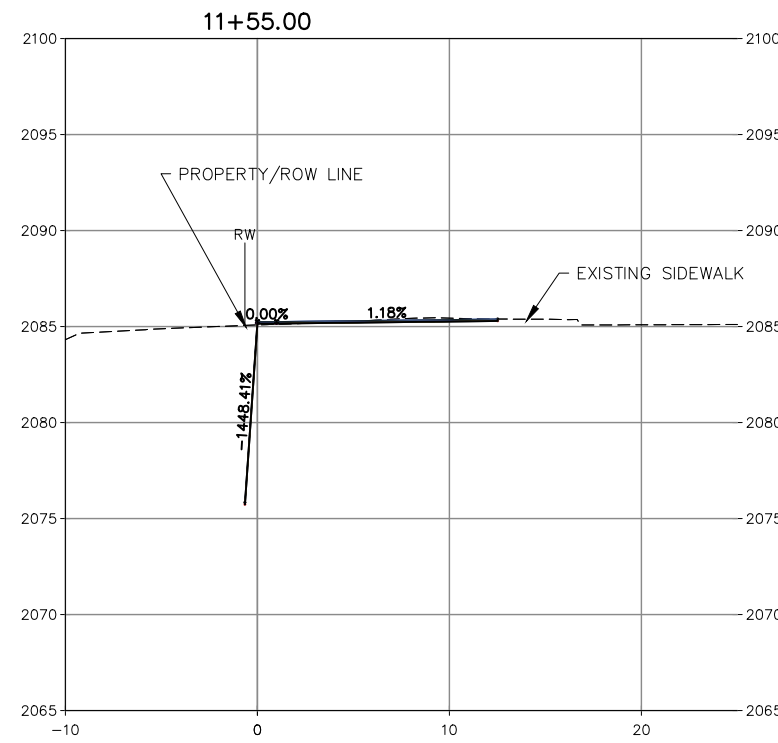
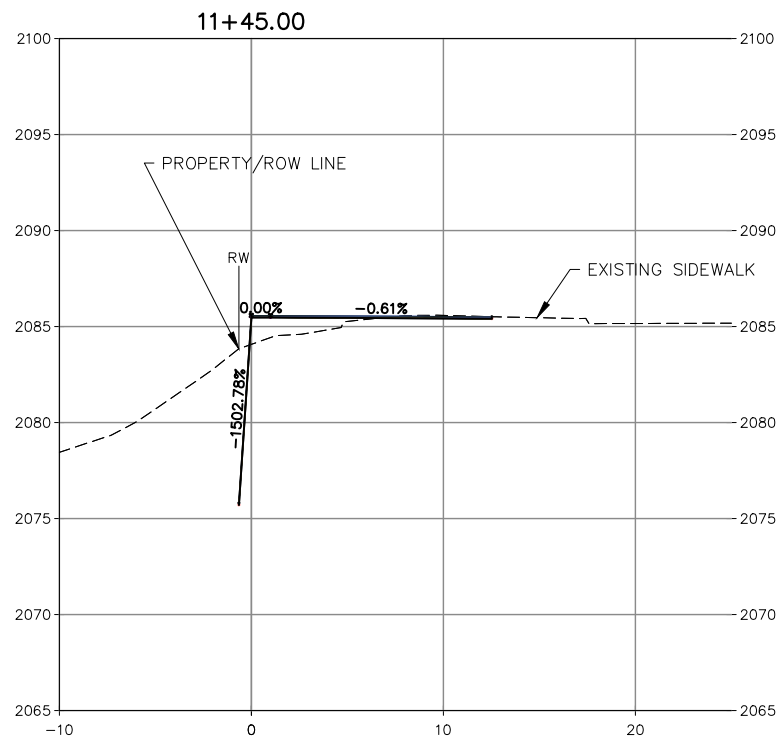
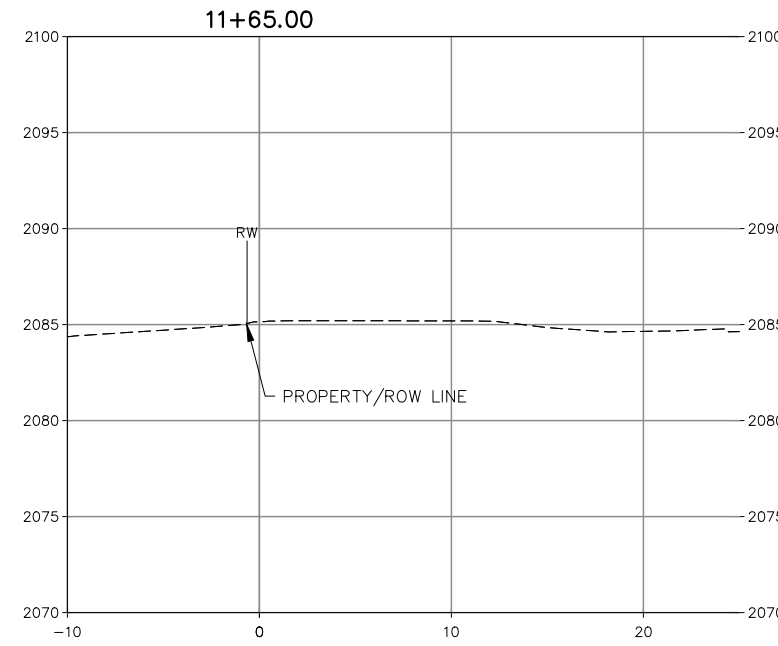
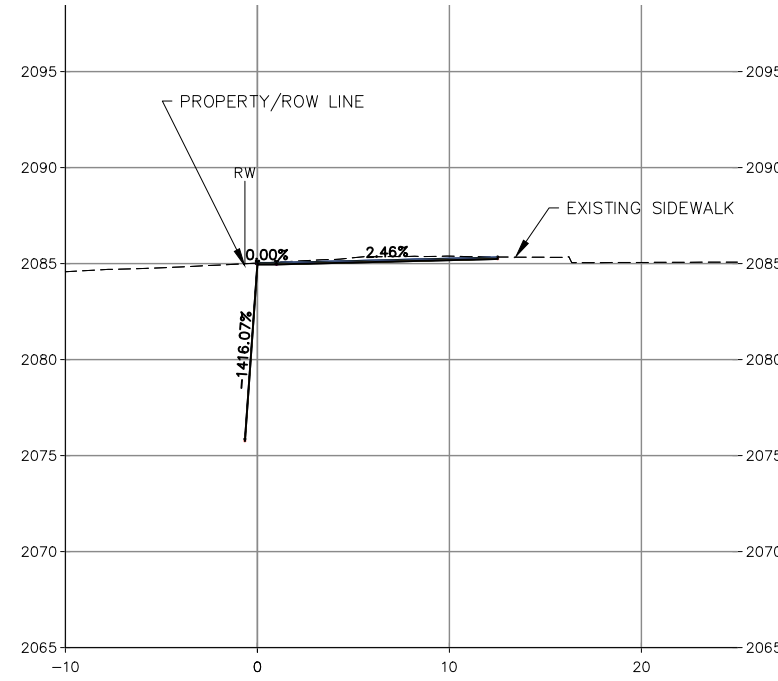
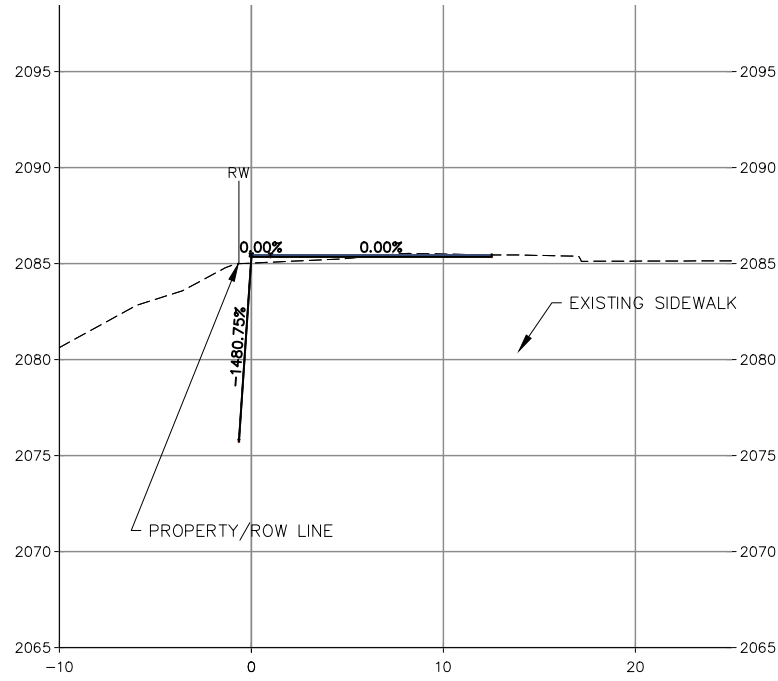
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	Coeur d'Alene, ID 83814	(fax) 208-664-5946	DATE
			REVISION DESCRIPTION

CITY OF SANDPOINT
 BRIDGE STREET
 SIDEWALK IMPROVEMENTS
 WALL CROSS SECTIONS

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XS5

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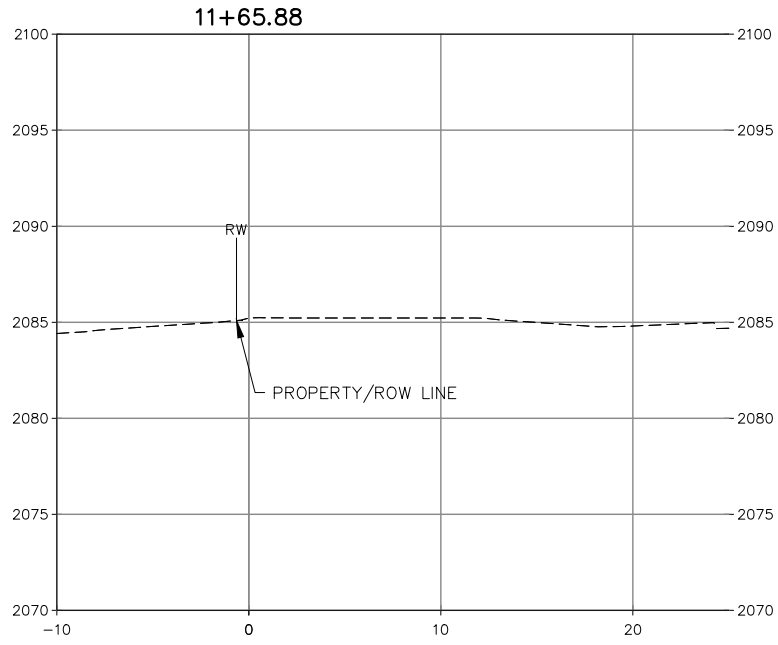
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 WALL CROSS SECTIONS

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WALL CROSS SECTIONS

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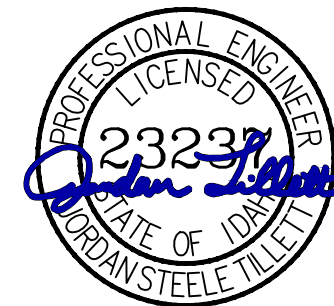
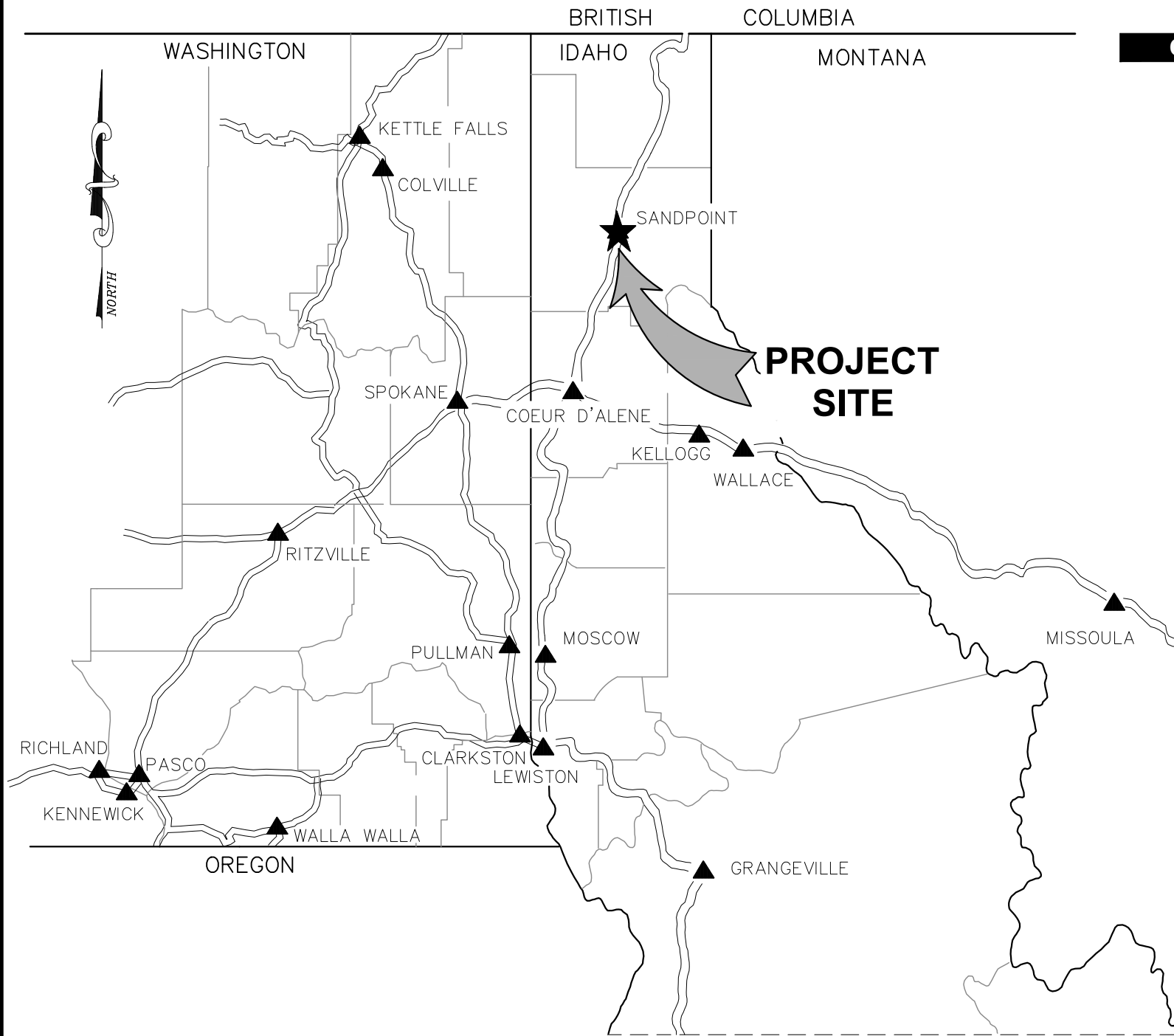
CONSTRUCTION DRAWINGS

CITY OF SANDPOINT
BONNER COUNTY, IDAHO

**BRIDGE STREET
SIDEWALK
IMPROVEMENTS**

PROJECT NO. 44050.020

AUGUST 2025



08/06/2025

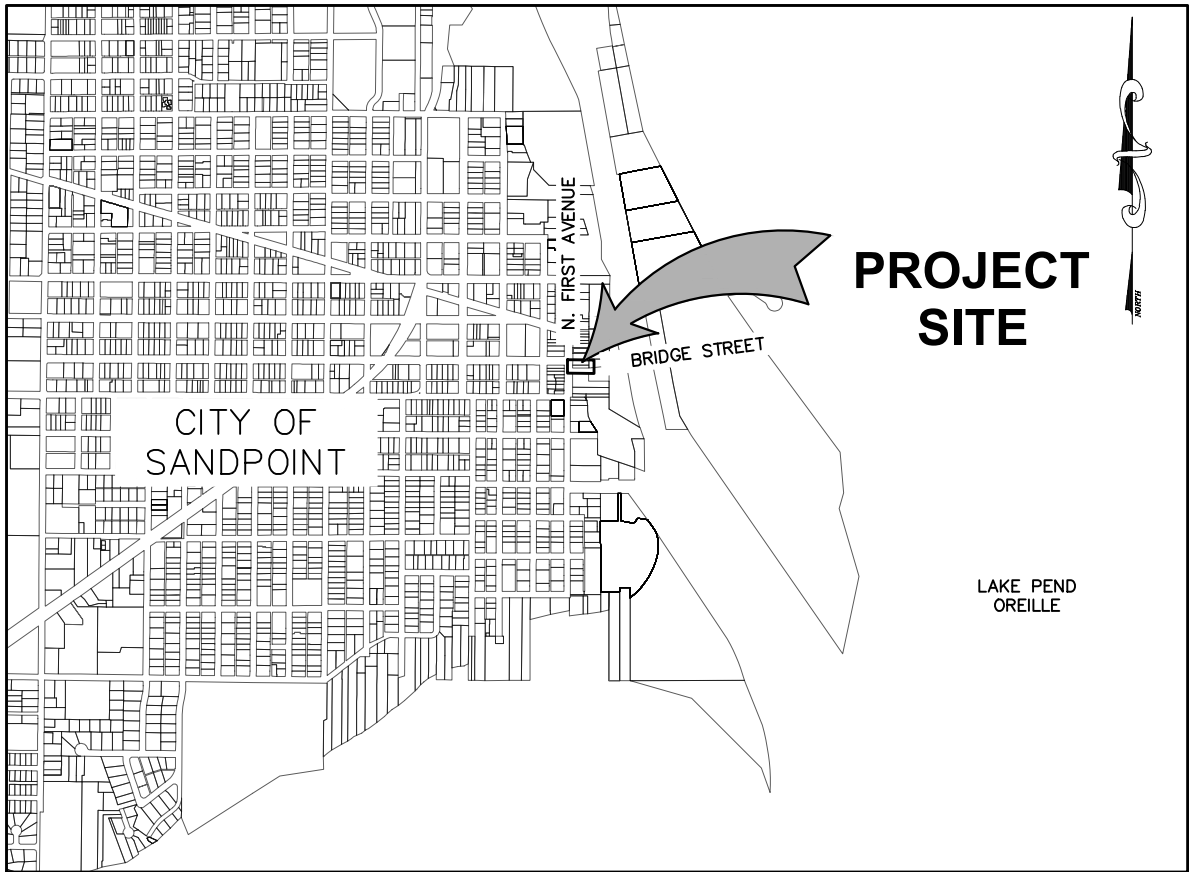
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QAQC PLAN REVIEW		
	REVIEWED BY	DATE
ENGINEERING	PFB	03-19-2025
SURVEY	MLH	08-06-2025
CONST. SVCS.	RT	04-21-2025

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VICINITY MAP
NTS

CIVIL SHEET INDEX	
SHEET NO.	SHEET TITLE
A1	COVER SHEET
A2	VICINITY MAP, SHEET INDEX, DATUM, GENERAL NOTES
A3	PROJECT GENERAL NOTES
A4	ABBREVIATIONS AND LEGEND
TS1	RETAINING WALL TYPICAL SECTION
C1	OVERALL SITE PLAN
C2	ALLEY APPROACH ENLARGED VIEW
C3	RETAINING WALL PLAN AND PROFILE
DT1	CIVIL DETAILS
DT2	CIVIL DETAILS
DT3	CIVIL DETAILS
DT4	CIVIL DETAILS
XS1	WALL CROSS SECTIONS
XS2	WALL CROSS SECTIONS
XS3	WALL CROSS SECTIONS
XS4	WALL CROSS SECTIONS
XS5	WALL CROSS SECTIONS
XS6	WALL CROSS SECTIONS
XS7	WALL CROSS SECTIONS

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION", (ISPMC) CURRENT EDITION, AND THE CITY OF SANDPOINT STANDARD DRAWINGS AND SPECIFICATIONS. IN THE CASE OF CONFLICT, THE MOST STRINGENT STANDARD SHALL APPLY.
- NO REVISIONS SHALL BE MADE TO THESE PLANS WITHOUT THE APPROVAL OF THE CITY ENGINEER AND ENGINEER OF RECORD. ALL PROPOSED REVISIONS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL BY THE CITY.
- NO REVISIONS SHALL BE MADE TO THE CITY STANDARD DRAWINGS OR NOTES WITHOUT WRITTEN APPROVAL OF THE CITY ENGINEER. REVISIONS OF CITY STANDARD DRAWINGS SHALL BE CLEARLY IDENTIFIED UPON THE APPROVED DRAWINGS; REVISIONS OR ADDITIONS TO STANDARD NOTES SHALL BE PROVIDED ONLY WITHIN THE SUPPLEMENTAL NOTES.
- ALL SAFETY STANDARDS AND REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND COMPLY WITH OSHA.
- EXISTING UTILITIES SHALL BE LOCATED BY CONTACTING CALL BEFORE YOU DIG AT 811, AT LEAST 48 HOURS PRIOR TO STARTING ANY EXCAVATION. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK NEAR ANY FACILITIES AND SHALL COORDINATE THEIR WORK WITH COMPANY REPRESENTATIVES.
- WORK SHALL NOT BEGIN UNTIL A PERMIT AND NOTICE TO PROCEED IS ISSUED BY THE CITY AND WRITTEN NOTIFICATION TO ENGINEER OF RECORD.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEERING INSPECTOR AT LEAST 48 HOURS PRIOR TO STARTING WORK OR PROCEEDING WITH NEW PHASES OF CONSTRUCTION. ALL INSPECTIONS SHALL BE SCHEDULED WITH A MINIMUM 24-HOUR NOTICE PRIOR TO TESTING.
- AN APPROVED SET OF IMPROVEMENT PLANS SHALL BE KEPT ON THE JOB SITE AT ALL TIMES.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USEABLE CONDITION. ALL SOIL, ROCK, OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION, AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY; PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USEABLE CONDITION.
- TREES NOT IDENTIFIED FOR REMOVAL SHALL BE PRESERVED OR PROTECTED IN AN APPROVED MANNER PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- THE ENGINEER OF RECORD SHALL VERIFY THE ADEQUACY OF EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION, AND AS NECESSARY DURING THE COURSE OF THE PROJECT. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS, AND THE "CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES FOR IDAHO CITIES AND COUNTIES" AS PREPARED BY THE IDAHO DIVISION OF ENVIRONMENTAL QUALITY.
- ALL PROJECTS HAVING THE POTENTIAL FOR RUNOFF DISCHARGE TO ANY SURFACE WATER BODY; SHALL FILE A NOTICE OF INTENT (NOI), WITH THE IDEQ. COPIES OF ANY REQUIRED STORM WATER POLLUTION PREVENTION PLANS (SWPPP) OR NOI SHALL BE PROVIDED TO THE CITY PRIOR TO START OF CONSTRUCTION.
- ALL CONCRETE, UNLESS OTHERWISE SPECIFIED, SHALL BE COMMERCIAL GRADE PORTLAND CEMENT WITH AIR ENTRAINMENT (6.5% +/- 1.5%), AND A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- ALL UNDERGROUND UTILITY LATERALS SHALL BE INSTALLED AND APPROVED BY CITY ENGINEER AND ENGINEER OF RECORD BEFORE CONSTRUCTION OF CURBS, CROSS GUTTERS, SIDEWALKS OR THE SURFACING OF STREETS.
- SURFACE RESTORATION OF ROADWAY CUTS SHALL COMPLY WITH THE CITY STANDARDS, AND BE PLACED WITHIN 7 DAYS OF THE INITIAL ROADWAY CUT. TEMPORARY PATCHING THAT UTILIZES A MINIMUM OF 2 INCHES OF ASPHALT CONCRETE (COLD MIX) SHALL BE PLACED WITHIN 24 HOURS OF THE INITIAL ROADWAY CUT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL TEMPORARY PATCHING AND SHALL WARRANT ALL PERMANENT PATCHING FOR A PERIOD OF 2-YEARS.
- ALL TRENCHES AND ROADWAY CUTS WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY SHALL BE COMPACTED IN ACCORDANCE WITH SD 301. COMPACTION TEST RESULTS SHALL BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE CITY ENGINEER FOR APPROVAL PRIOR TO FINAL ACCEPTANCE OF WORK.
- ALL OPERATIONS CONDUCTED ON THE PREMISES SHALL BE RESTRICTED TO THE HOURS BETWEEN 8:00 A.M. AND 5:00 P.M., UNLESS OTHERWISE APPROVED BY THE CITY. THIS INCLUDES THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT OR ANY OTHER ASSOCIATED EQUIPMENT.
- ALL IMPROVEMENTS SHALL BE JOINED OR MATCHED IN A MANNER SATISFACTORY TO THE CITY ENGINEER. THIS INCLUDES ALL UTILITY CONNECTIONS AND NECESSARY SAW CUTTING, REMOVAL, REPLACEMENT, EXTENSION, AND CAPPING ASSOCIATED WITH CURB AND GUTTER, SIDEWALKS, SWALES, ASPHALT, CONCRETE OR OTHER PAVING.
- THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR ALL PROJECT INSPECTIONS, INCLUDING MATERIALS TESTING AND QUALITY CONTROL. COPIES OF DAILY REPORTS AND TEST RESULTS SHALL BE MADE AVAILABLE TO THE CITY ENGINEER FOR REVIEW ON A WEEKLY BASIS, FAILURE TO PROVIDE REPORTS MAY RESULT IN SUSPENSION OF CONSTRUCTION. PROJECT CERTIFICATION AND AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE CITY ENGINEER PRIOR TO FINAL ACCEPTANCE AND IN CONFORMANCE WITH SUBMITTAL STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, IN ACCORDANCE WITH THE M.U.T.C.D., CURRENT EDITION. AT LEAST 72 HOURS PRIOR TO DISRUPTION OF ANY TRAFFIC, TRAFFIC CONTROL PLANS SHALL BE PREPARED AND SUBMITTED TO THE CITY ENGINEERING DIVISION FOR APPROVAL. NO WORK SHALL COMMENCE UNTIL A PERMIT IS ISSUED AND ALL APPROVED TRAFFIC CONTROL IS IN PLACE.
- ALL DISTURBED AREAS OF THE PUBLIC RIGHT-OF-WAY SHALL BE TOP COATED WITH A MINIMUM OF 1 INCH OF TOPSOIL AND SEEDED WITH A DRY LAND MIX OR EQUIVALENT.
- ALL PAVING PROJECTS WILL NEED TO ADHERE TO THE CITY OF SANDPOINT PAVEMENT CUT POLICY.
- DURING THE PREPARATION OF THE CONSTRUCTION DRAWINGS, REVIEW OF AVAILABLE RECORDS AND A FIELD SEARCH WAS CONDUCTED UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR TO LOCATE EXISTING SURVEY MONUMENTS WITHIN AND ADJACENT TO THE PROJECT CONSTRUCTION LIMITS IN ACCORDANCE WITH IDAHO CODE 55-1613. EXISTING SURVEY MONUMENTS ARE IDENTIFIED WITHIN THE PLANS. MONUMENTS IDENTIFIED AS 'OWNER TO REPLACE' WILL BE REPLACED AT THE EXPENSE OF THE OWNER. ALL OTHER MONUMENTS ARE INTENDED TO BE PRESERVED AND IF DESTROYED THE REPLACEMENT OF SAID MONUMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR. REF (IC 55-1613). IF MONUMENTS ARE REPLACED BY THE CONTRACTOR THE ENGINEER AND OWNER WILL BE NOTIFIED BY THE CONTRACTOR UPON RE-ESTABLISHMENT OF THE MONUMENTS.

HORIZONTAL AND VERTICAL DATUM:

HORIZONTAL DATUM: NAD 83/11 AT GROUND WITH A GRID SCALE FACTOR OF 0.999879810747193
VERTICAL DATUM: NAVD 88, GEOID18

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08/06/2025

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		NO.
		DATE
		REVISION DESCRIPTION

CITY OF SANDPOINT
 BRIDGE STREET
 SIDEWALK IMPROVEMENTS
 VICINITY MAP, SHEET INDEX, DATUM,
 GENERAL NOTES

PROJ NO:	44050.020
DESIGNED BY:	MG / JT
DRAWN BY:	JT
CHECKED BY:	
DWG:	44050.020CS01.DWG
DATE:	08-05-2025
SHEET NO:	A2



GRADING AND GEOTECHNICAL NOTES:

- ALL CUTS AND FILLS SHALL BE CONFINED TO THE LIMITS INDICATED WITHIN THE APPROVED GRADING PLANS.
- THE CONTRACTOR SHALL INSURE THAT ALL TEMPORARY SLOPES ARE STABLE AND THAT APPROPRIATE EROSION MEASURES ARE IN PLACE AND MAINTAINED.
- GROUNDWATER OR UNANTICIPATED GEOLOGIC CONDITIONS SHALL BE REPORTED TO THE ENGINEER OF RECORD AND THE GEOTECHNICAL ENGINEER FOR ASSESSMENT AND RECOMMENDATIONS.
- ALL COMPACTION EFFORTS SHALL BE MONITORED AND TESTED BY AN EXPERIENCED SOILS TECHNICIAN, UNDER THE SUPERVISION OF A LICENSED GEOTECHNICAL ENGINEER REPRESENTING THE OWNER.
- ALL MASS GRADING SHALL BE MONITORED, TESTED, AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER (GEOTECHNICAL ENGINEER).
- CONTRACTOR IS TO NOTIFY THE GEOTECHNICAL ENGINEER, THE ENGINEER OF RECORD AND CITY ENGINEERING INSPECTOR 48 HOURS PRIOR TO EACH AND EVERY START OR STOPPING OF CONSTRUCTION, EACH TIME A LIFT OF GRADING IS READY FOR INSPECTION, AND EACH AND EVERY TIME THE CONTRACTOR IS REQUESTING GRADING INSPECTION FROM CITY. FAILURE TO NOTIFY MAY RESULT IN CONTRACTOR REMOVING ANY MATERIAL THAT HAS NOT BEEN INSPECTED.
- ALL AREAS SHALL BE STRIPPED OF ORGANIC TOP SOIL AND NON-ENGINEERED FILL; IN ADDITION TO ALL BRUSH, STUMPS, AND ROOTS. ONSITE DISPOSAL OF ORGANIC MATERIALS IS NOT ALLOWED. THE GEOTECHNICAL ENGINEER SHALL REVIEW AND APPROVE ALL STRIPPED AND CLEARED AREAS PRIOR TO PLACEMENT OF FILL. PRIOR TO PLACING FILL, THE CLEARED AREAS SHALL BE SCARIFIED AND COMPACTED.
- FILLS SHALL CONSIST OF WELL GRADED SANDS AND GRAVELS, WITH A MAXIMUM PARTICLE SIZE OF SIX INCHES, AND NO MORE THAN 20% PASSING THE NO. 200 SIEVE. THE GEOTECHNICAL ENGINEER SHALL PRE-APPROVE ALL IMPORT SOIL SOURCES.
- BOULDERS AND COBBLES GREATER THAN 6 INCHES APPEARING IN THE EXCAVATION TO A DEPTH OF AT LEAST 4 INCHES BELOW SUBGRADE SHALL BE REMOVED.
- ALL FILL MATERIAL SHALL BE DRIED OR MOISTENED TO WITHIN 2% OF THE OPTIMUM MOISTURE, PRIOR TO PLACEMENT. LIFTS SHALL NOT EXCEED EIGHT INCHES. ALL FILL SHALL BE COMPACTED TO AT LEAST 90% OF MODIFIED PROCTOR (ASTM D-1557, AASHTO T-180), WITH THE TOP 12 INCHES WITHIN THE ROADWAY PRISM COMPACTED TO 95% OF THE MODIFIED PROCTOR. MATERIAL TOO COARSE TO TEST PER THE SPECIFIED STANDARDS SHALL BE PLACED IN CONTROLLED LIFTS UNDER A PERFORMANCE BASED METHOD, AS OUTLINED WITHIN ISPWC.
- EMBANKMENTS SHALL NOT BE CONSTRUCTED ON FROZEN OR SNOW-COVERED FOUNDATIONS, OR WITH THE USE OF FROZEN MATERIALS.
- EMBANKMENTS CONSTRUCTED ON SLOPES GREATER THAN 5 HORIZONTAL TO 1 VERTICAL SHALL BE KEYED INTO THE UNDISTURBED GROUND WITH HORIZONTAL BENCHES OF SUFFICIENT WIDTH TO ALLOW FOR THE PROPER OPERATION OF COMPACTION EQUIPMENT.
- THE FINAL LIMITS OF CUT AND FILL SHALL BE RECORDED WITH THE BOUNDARY TOPOGRAPHY AND SURVEY BY THE ENGINEER OF RECORD. THE GEOTECHNICAL ENGINEER SHALL SUBMIT A CERTIFICATION OF THE FILL, ALONG WITH COPIES OF OBSERVATIONS AND TESTING.
- IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE ENGINEER OF RECORD SHALL BE IMMEDIATELY NOTIFIED IN ORDER TO PROVIDE GUIDANCE TO CONTRACTOR.

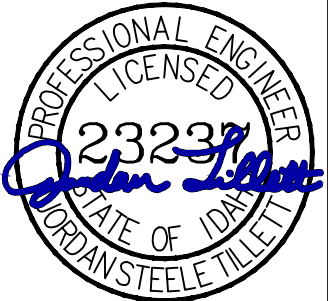
STORMWATER DRAINAGE:

- TEMPORARY EROSION CONTROL AND WATER POLLUTION MEASURES SHALL BE INSTALLED, IN ACCORDANCE WITH THE PLANS AND ACCEPTED BEST MANAGEMENT PRACTICES. ADJUSTMENTS TO ACCOMMODATE DIFFERING FIELD CONDITIONS SHALL BE MADE, AS NECESSARY, THROUGHOUT THE CONSTRUCTION PROCESS. AT NO TIME, WILL SILTS AND/OR DEBRIS BE ALLOWED TO DRAIN INTO AN EXISTING OR NEWLY INSTALLED FACILITY, ENGINEER OF RECORD SHALL BE NOTIFIED.
- SWALES WITHIN AREAS OF MASS GRADING SHALL BE SCARIFIED A MINIMUM OF 24 INCHES PRIOR TO SHAPING, AND AFTER INSTALLATION OF CURB AND GUTTER.
- ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM 1-INCH DRESSING OF TOP SOIL AND BE HYDRO SEEDED OR SODDED, AS INDICATED ON THE PLANS. SEEDED AREAS WILL NOT BE ACCEPTED UNTIL THE SEED HAS GERMINATED, AND THE GRASS IS THOROUGHLY ESTABLISHED. SODDED AREAS WILL NOT BE ACCEPTED UNTIL THE ROOTS HAVE TAKEN HOLD, AND THE GRASS HAS RECEIVED TWO CUTTINGS.
- CARE SHALL BE TAKEN TO PREVENT COMPACTION OF THE SUB-GRADE IN THE GRASS INFILTRATION AREAS OF SWALES. IN THE EVENT THE SUB-GRADE SHOULD BE COMPACTED OR INSUFFICIENT PERCOLATION IS OBSERVED, TESTING OF THE SUB-GRADE MAY BE REQUIRED AT THE DISCRETION OF THE CITY ENGINEER. IF A SUFFICIENT PERCOLATION IS NOT OBSERVED, THE SUB-GRADE MUST BE REMOVED AND REPLACED, OR SCARIFIED TO A MINIMUM DEPTH OF 24" AND RETESTED.
- TOPSOIL PLACED WITHIN THE SWALES SHALL BE FREE DRAINING, AND PLACED AT A DEPTH GREATER THAN 1-INCH AND LESS THAN 3-INCHES. AT CONCRETE SPILLWAYS, FINISHED TOP SOIL SHALL BE KEPT 1"-2" BELOW THE FINISHED CONCRETE SURFACE. TO PREVENT COMPACTION OF THE SUB-GRADE AND TOPSOIL, WHEELED EQUIPMENT SHOULD NOT BE USED WITHIN THE SWALE AREA. THE MINIMUM PERCOLATION RATE THROUGH A CONSTRUCTED SWALE SHALL MEET DESIGN REQUIREMENTS. TESTING OF PERCOLATION RATES THROUGH A CONSTRUCTED SWALE MAY BE REQUIRED AT THE DISCRETION OF THE CITY ENGINEER.
- DRYWELLS SHALL BE INSTALLED TO THE ELEVATIONS INDICATED ON THE PLANS. THE ELEVATION OF THE DRYWELL RIM SHALL BE AT LEAST 0.2 FEET BELOW LOWEST ADJOINING CURB CUT. FINISHED TOP SOIL ADJACENT TO THE DRYWELL SHALL BE AT LEAST 2-INCHES BELOW THE DRYWELL RIM.
- GRASS INFILTRATION AREAS SHALL BE HYDRO SEEDED WITH 50 LB. / 1,000 SQUARE FEET, CONSISTING OF A MIXTURE WITH EQUAL PORTIONS OF CANADA BLUEGRASS, CRESTED WHEATGRASS, HARD FESCUE AND SHEEP FESCUE. SEEDED AREAS SHALL BE FERTILIZED WITH A COMMERCIAL FERTILIZER PER THE MANUFACTURES SPECIFICATIONS AND MULCHED WITH "SILVA FIBER PLUS", OR APPROVED EQUAL WOOD FIBER CELLULOSE AT A RATE OF 1 TON PER ACRE.
- ALL SEWER MAINS SHALL BE AIR TESTED IN ACCORDANCE WITH ISPWC, SECTION 501.
- STORM SEWER PIPES AND DRYWELLS SHALL BE SEPARATED A MINIMUM OF 10 FEET HORIZONTALLY FROM DOMESTIC WATER MAINS. CROSSINGS OF WATER MAINS AND SEWER SYSTEMS SHALL HAVE A MINIMUM 18-INCH VERTICAL SEPARATION. ANY ANTICIPATED SEPARATION LESS THAN MINIMUM STANDARDS CONTAINED HEREIN, SHALL CONFORM TO THE IDAHO RULES FOR WASTE WATER, (IDAPA 58.01.16).
- FLOOD TESTING OF ALL SWALES SHALL BE CONDUCTED PRIOR TO FINAL ACCEPTANCE IF REQUIRED BY THE CITY ENGINEER.
- INSTALL SWALE CHECK DAM FOR SWALES EXCEEDING 1.5% SLOPE TO PROMOTE INFILTRATION, WITH A 50' MAXIMUM STATION.

STREETS:

- ALL FILL PLACED WITHIN THE ROADWAY PRISM SHALL BE COMPACTED TO 90% OF THE MODIFIED PROCTOR, WITH THE EXCEPTION OF THE TOP 12 INCHES OF SUB-GRADE THAT SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR (ASTM D-1557).
- PRIOR TO PLACING BASE MATERIAL, THE FOLLOWING SHALL BE COMPLETED:
- ALL PUBLIC UTILITIES SHALL BE INSTALLED, TESTED AND APPROVED.
- THE ENGINEER OF RECORD SHALL CERTIFY AND PROVIDE COPIES OF COMPACTION TEST RESULTS TO THE CITY ENGINEER, FOR ALL TRENCHES AND SUB-GRADE.
- THE LINE AND GRADE OF THE SUB-GRADE SHALL BE INSPECTED AND APPROVED.
- PROOF-ROLL OF THE SUB-GRADE SHALL BE PERFORMED AND OBSERVED BY THE ENGINEER OF RECORD AND CITY ENGINEERING INSPECTOR.
- OBTAIN AUTHORIZATION FROM THE ENGINEER OF RECORD AND CITY ENGINEERING INSPECTOR, TO PROCEED WITH PLACEMENT OF BASE MATERIAL. THE CITY ENGINEERING INSPECTOR SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO PLACEMENT OF BASE MATERIAL.
- CRUSHED AGGREGATE BASE SHALL CONFORM TO THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION, SECTION 802, (TYPE 1) ¾-INCH MAXIMUM AGGREGATE SIZE, AND SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS:
 - ROADWAY: 95%-MODIFIED PROCTOR.
 - CURB BASE AND DRIVEWAY APPROACHES: 92%-MODIFIED PROCTOR.
 - SIDEWALKS OR TRAILS: 90%-MODIFIED PROCTOR.
 - PRIOR TO PLACING ASPHALT CONCRETE, THE FOLLOWING SHALL BE COMPLETED:
 - THE ENGINEER OF RECORD SHALL CERTIFY AND PROVIDE COMPACTION TEST RESULT FOR BASE MATERIAL TO THE CITY ENGINEER.
 - ALL UTILITIES SHALL BE ADJUSTED TO GRADE AND THICKENED COLLARS INSTALLED.
- OBTAIN AUTHORIZATION FROM THE ENGINEER OF RECORD AND CITY ENGINEER TO PROCEED WITH ASPHALT PAVING. THE CITY ENGINEERING INSPECTOR SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO PLACEMENT OF ASPHALT PAVEMENT.
- ASPHALT PAVEMENT SHALL CONFORM WITH IDAHO TRANSPORTATION DEPARTMENT (ITD) SPECIFICATIONS FOR SUPERPAVE. PAVEMENT SHALL BE SP3 PG 58-28 WITH ½" MAX AGGREGATE SIZE. PAVEMENTS WITH A SECTION OF 3" OR LESS MAY BE PLACED WITH 1 LIFT. PAVEMENTS WITH A SECTION GREATER THAN 3" SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS OF 1.5" AND MAXIMUM THICKNESS OF 3".
- NO ASPHALT SHALL BE PLACED ON WET OR FROZEN SURFACES, OR WHEN THE AIR OR GROUND TEMPERATURE IS LESS THAN 40°F. TOP COURSES OR PAVEMENT THICKNESS LESS THAN 2.5 INCHES SHALL NOT BE PLACED WHEN AIR OR GROUND TEMPERATURE IS LESS THEN 50°F, WITHOUT APPROVAL BY THE CITY ENGINEER.
- A TACK COAT SHALL BE APPLIED TO ALL ADJACENT CURBS AND JOINTS, PRIOR TO PLACEMENT OF ASPHALTIC CONCRETE.
- DURING PAVING OPERATIONS, THE ENGINEER OF RECORD SHALL OBSERVE PAVING OPERATIONS, AND PERFORM COMPACTION AND QUALITY CONTROL TESTING.
- THE CITY ENGINEER MAY REQUIRE THE PAVEMENT SECTIONS SHOWN ON THE PLANS TO BE VERIFIED BY "R" VALUE TESTS TAKEN FROM EXPOSED SUB-GRADE.
- EXTRACTION, CORING, AND GRADATION TESTS MAY BE REQUIRED AT THE DISCRETION OF THE CITY ENGINEER TO VERIFY PAVEMENT THICKNESS, COMPACTION, AND OR TO VERIFY COMPLIANCE OF MATERIALS TO SPECIFICATIONS.
- FORMS, SUB-GRADE AND STRING-LINE INSPECTION IS REQUIRED PRIOR TO POURING CONCRETE. A MINIMUM NOTICE OF 24 HOURS IS REQUIRED PRIOR TO INSPECTION.
- CONCRETE SHALL NOT BE PLACED ON FROZEN SURFACES, ICE OR SNOW, OR SURFACES WITH A TEMPERATURE GREATER THAN 90°F. UNLESS OTHERWISE AUTHORIZED BY THE CITY ENGINEER, CONCRETE PLACEMENT SHALL BE DISCONTINUED WHEN AIR TEMPERATURES REACH 35°F AND FALLING.
- CURB AND GUTTER SHALL BE CONSTRUCTED WITH FULL DEPTH CONSTRUCTION EXPANSION JOINTS ADJACENT TO CATCH BASINS, AT COLD JOINTS, AND AT ALL RETURNS. WEAKENED PLANE JOINTS ARE REQUIRED EVERY 10 FEET.
- SIDEWALKS SHALL BE CONSTRUCTED WITH FULL DEPTH EXPANSION JOINTS EVERY 20 FEET, AT COLD JOINTS, AND ADJACENT TO STRUCTURES. WEAKENED PLANE JOINTS SHALL BE LOCATED EVERY 5 FEET. JOINTS IN THE SIDEWALK SHALL BE ALIGNED WITH CURB JOINTS, AS NEARLY AS PRACTICAL.

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NO.	DATE	REVISION DESCRIPTION

CITY OF SANDPOINT
BRIDGE STREET
SIDEWALK IMPROVEMENTS
PROJECT GENERAL NOTES

PROJ NO: 44050.020
DESIGNED BY: MG / JT
DRAWN BY: JT
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DWG: 44050.020CS01.DWG
DATE: 08-05-2025
SHEET NO:

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LEGEND

	EXISTING SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING ECCENTRIC SANITARY SEWER MANHOLE
	EXISTING CLEANOUT
	EXISTING AIR RELEASE VALVE
	EXISTING CATCH BASIN
	EXISTING DRYWELL
	EXISTING DRYWELL
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING ECCENTRIC STORM SEWER MANHOLE
	EXISTING SPRINKLER HEAD
	EXISTING FIRE HYDRANT
	EXISTING WELL
	EXISTING YARD HYDRANT
	EXISTING WATER VALVE
	EXISTING CURB STOP
	EXISTING WATER METER
	EXISTING POST INDICATOR VALVE
	EXISTING POWER POLE
	EXISTING GUY WIRE
	EXISTING LIGHT POLE
	EXISTING POWER WARNING SIGN
	EXISTING POWER VAULT
	EXISTING TELEPHONE PEDESTAL
	EXISTING CABLE TV PEDESTAL
	EXISTING JUNCTION BOX
	EXISTING TELEPHONE VAULT
	EXISTING TELEPHONE WARNING SIGN
	EXISTING GAS METER
	EXISTING GAS VALVE
	EXISTING GAS RISER
	EXISTING GAS WARNING SIGN
	EXISTING TELEPHONE MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING UNKNOWN
	EXISTING SHRUB
	EXISTING TREE
	EXISTING BUILDING
	WATER LEVEL

	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED ECCENTRIC SANITARY SEWER MANHOLE
	PROPOSED CLEANOUT
	PROPOSED AIR RELEASE VALVE
	PROPOSED DRYWELL
	PROPOSED CATCH BASIN
	PROPOSED INLET CATCH BASIN
	PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED ECCENTRIC STORM SEWER MANHOLE
	PROPOSED WATER VALVE
	PROPOSED CURB STOP
	PROPOSED FIRE HYDRANT
	PROPOSED DOWN SPOUT
	PROPOSED YARD HYDRANT
	PROPOSED BLOW OFF ASSEMBLY
	PROPOSED SINGLE WATER METER SERVICE
	PROPOSED WELL
	PROPOSED REDUCER
	PROPOSED BENDS/FITTINGS
	PROPOSED IRRIGATION BOX
	PROPOSED GAS METER
	PROPOSED GAS VALVE
	PROPOSED JUNCTION BOX
	PROPOSED GUY WIRE
	PROPOSED UTILITY POLE
	PROPOSED LIGHT
	PROPOSED LIGHT
	PROPOSED TELEPHONE PEDESTAL
	PROPOSED TV PEDESTAL
	PROPOSED SIGN
	PROPOSED MAILBOX
	OWNERSHIP DELINEATION
	DIRECTION AND SLOPE
	FOUND SURVEY MONUMENT
	SURVEY CONTROL MONUMENT
	TEST HOLE
	TYPICAL SECTION REFERENCE
	DETAIL SHEET REFERENCE

	EXISTING EASEMENT
	EXISTING RIGHT-OF-WAY
	EXISTING PROPERTY LINE
	EXISTING FENCE
	EXISTING CURB
	EXISTING CURB AND GUTTER
	EXISTING DITCH
	EXISTING CENTERLINE OF ROAD
	EXISTING SHOULDER
	EXISTING EDGE OR GRAVEL OR DIRT
	EXISTING EDGE OF ASPHALT
	EXISTING CULVERT
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING SEWER STUB
	EXISTING STORM SEWER LINE
	EXISTING BURIED TELEPHONE LINE
	EXISTING OVERHEAD TELEPHONE LINE
	EXISTING BURIED POWER LINE
	EXISTING POWER LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING GAS LINE
	EXISTING BURIED CABLE TV LINE
	EXISTING OVERHEAD CABLE TV LINE
	EXISTING IRRIGATION LINE
	EXISTING 5' CONTOURS
	EXISTING 1' CONTOURS
	EXISTING TREE LINE
	EXISTING TOP OF BANK
	EXISTING TOE OF BANK
	PROPOSED EASEMENT
	PROPOSED RIGHT-OF-WAY
	PROPOSED PROPERTY LINE
	SECTION LINE
	PHASE BOUNDARIES
	PROPOSED FENCE
	PROPOSED SILT FENCE
	PROPOSED CURB
	PROPOSED CURB AND GUTTER
	PROPOSED GRADE BREAK
	PROPOSED DITCH
	PROPOSED CENTERLINE OF ROAD
	PROPOSED SHOULDER
	PROPOSED EDGE OF ASPHALT
	PROPOSED CULVERT

	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED SEWER STUB
	PROPOSED STORM SEWER LINE
	PROPOSED BURIED TELEPHONE LINE
	PROPOSED OVERHEAD TELEPHONE LINE
	PROPOSED BURIED POWER LINE
	PROPOSED OVERHEAD POWER LINE
	PROPOSED GAS LINE
	PROPOSED BURIED CABLE TV LINE
	PROPOSED OVERHEAD CABLE TV LINE
	PROPOSED IRRIGATION LINE
	PROPOSED SIDEWALK
	PROPOSED CURB DROP
	PROPOSED SIDEWALK UNDERDRAIN

ABBREVIATIONS

AC	ASPHALT CEMENT PAVEMENT
BOW	BOTTOM OF WALL
C1	CURVE DATA REFERENCE NUMBER
FG	FINISH GRADE ELEVATION
FL	FLOW LINE
FOC	FACE OF CURB
GIA	GRASSSED INFILTRATION AREA
GRD BRK	GRADE BREAK
IE	INVERT ELEVATION
L1	LINE DATA REFERENCE NUMBER
L or LT	LEFT
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
ROW	RIGHT-OF-WAY
R or RT	RIGHT
SWR	SEWER
TA	TOP OF ASPHALT
TBC	TOP BACK OF CURB
TC	TOP CONCRETE
TFC	TOP FACE OF CURB
TOW	TOP OF WALL
WTR	WATER
XING	CROSSING

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CITY OF SANDPOINT
BRIDGE STREET
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ABBREVIATIONS AND LEGEND

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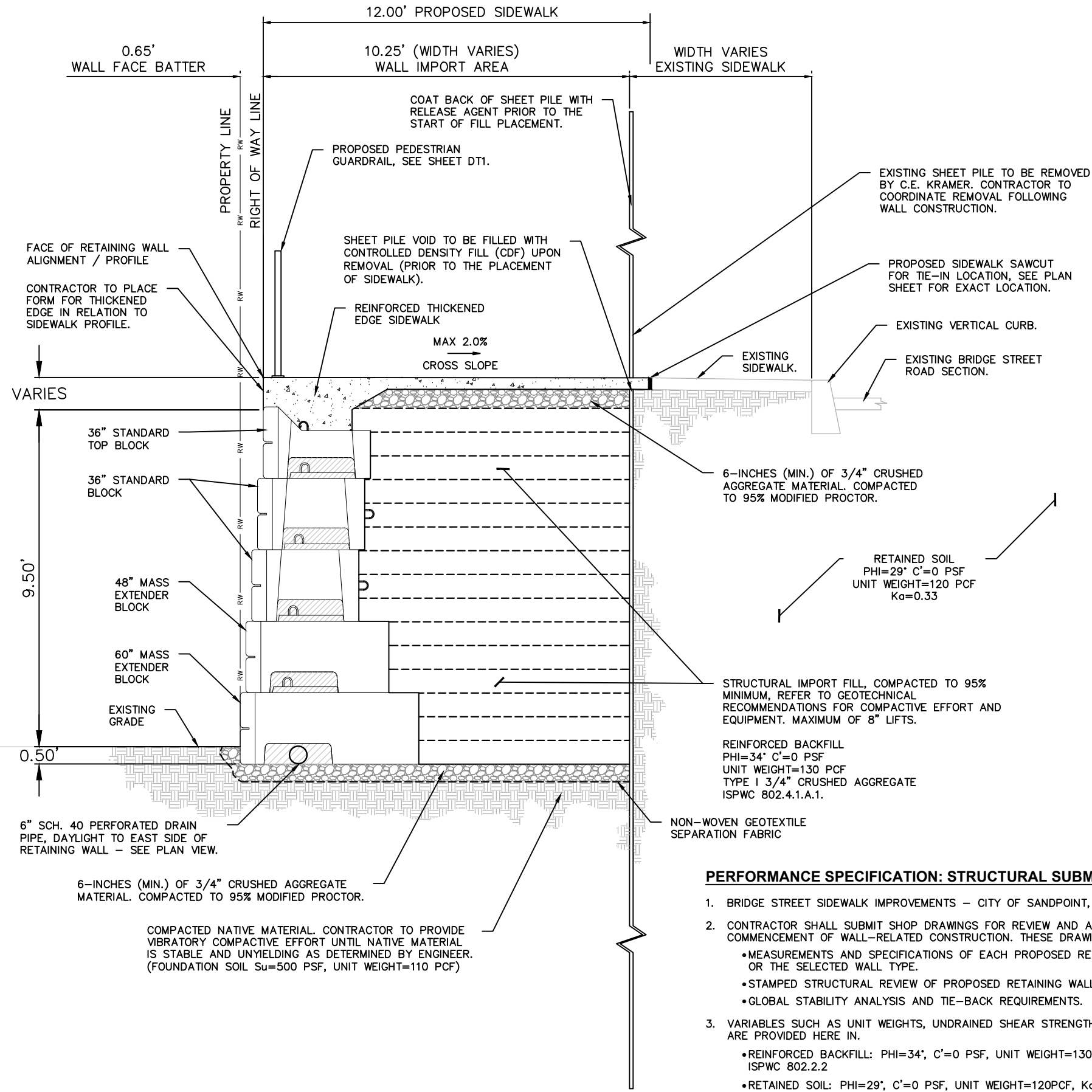
NO.	DATE	REVISION DESCRIPTION	BY

CITY OF SANDPOINT
 BRIDGE STREET
 SIDEWALK IMPROVEMENTS

RETAINING WALL TYPICAL SECTION

PROJ NO: 44050.020
 DESIGNED BY: MG / JT
 DRAWN BY: JT
 CHECKED BY:
 DWG: 44050.020\TS01.DWG
 DATE: 08-05-2025
 SHEET NO:

TS1



1
TS1
RETAINING WALL TYPICAL SECTION
 NO SCALE

PERFORMANCE SPECIFICATION: STRUCTURAL SUBMITTALS REQUIRED

- BRIDGE STREET SIDEWALK IMPROVEMENTS – CITY OF SANDPOINT, IDAHO
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WALL-RELATED CONSTRUCTION. THESE DRAWINGS SHALL INCLUDE:
 - MEASUREMENTS AND SPECIFICATIONS OF EACH PROPOSED RETAINING WALL BLOCS OR THE SELECTED WALL TYPE.
 - STAMPED STRUCTURAL REVIEW OF PROPOSED RETAINING WALL.
 - GLOBAL STABILITY ANALYSIS AND TIE-BACK REQUIREMENTS.
- VARIABLES SUCH AS UNIT WEIGHTS, UNDRAINED SHEAR STRENGTH, AND SOIL TYPE ARE PROVIDED HERE IN.
 - REINFORCED BACKFILL: PHI=34°, C'=0 PSF, UNIT WEIGHT=130 PCF, TYPE I 3/4" ISPCW 802.2.2
 - RETAINED SOIL: PHI=29°, C'=0 PSF, UNIT WEIGHT=120PCF, Ka=0.33
 - FOUNDATION SOIL: Su=500 PSF, UNIT WEIGHT=110 PCF

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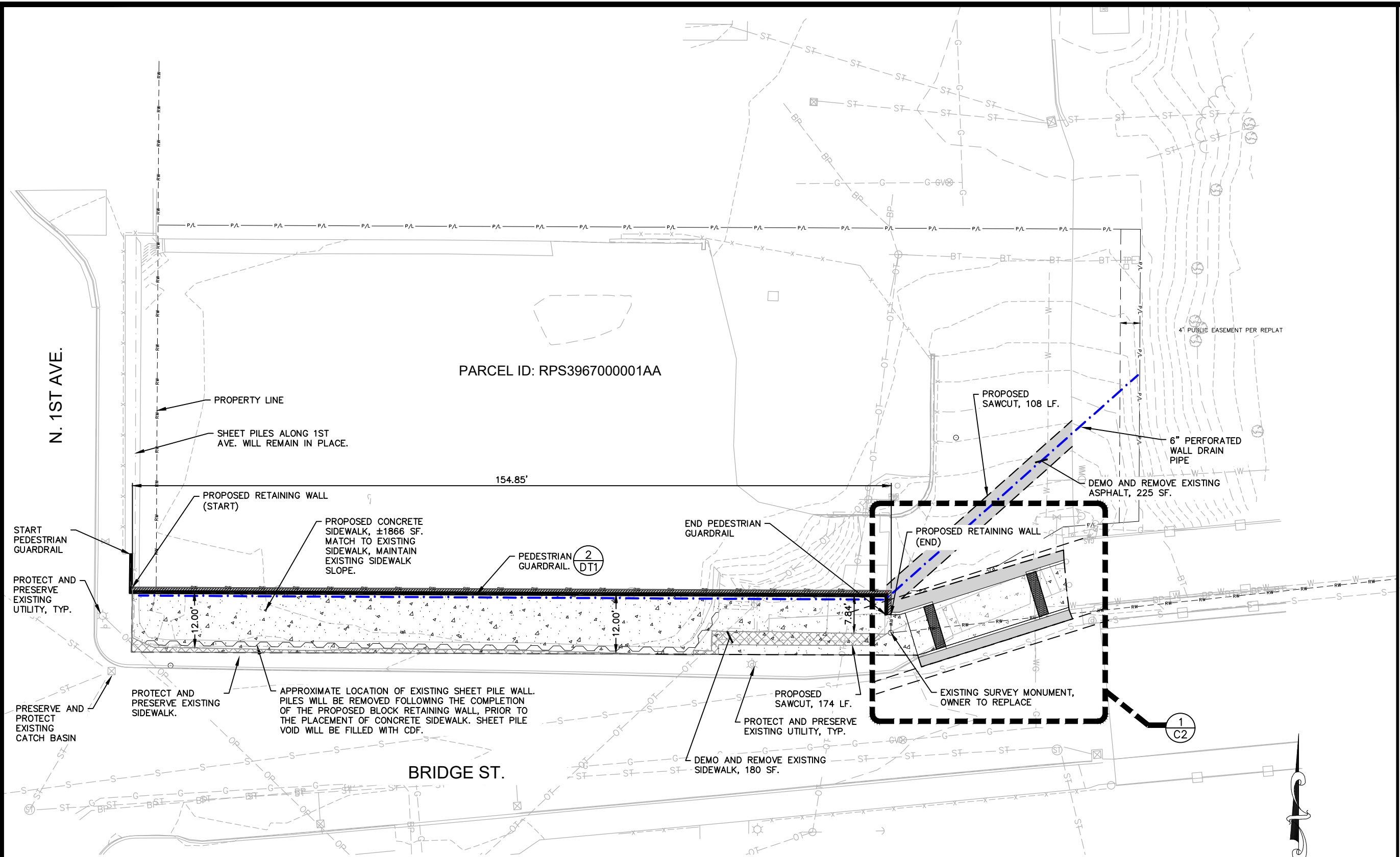
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CITY OF SANDPOINT
 BRIDGE STREET
 SIDEWALK IMPROVEMENTS
 OVERALL SITE PLAN

PROJ NO: 44050.020
 DESIGNED BY: MG / JT
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 CHECKED BY:
 DWG: 44050.020PL01.DWG
 DATE: 08-05-2025
 SHEET NO:

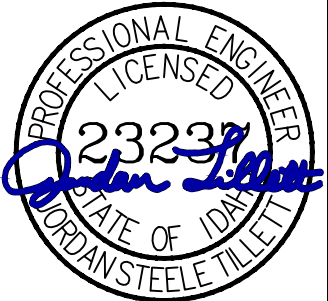
C1



- NOTES:**
- ALL CONCRETE SHALL BE 3000 PSI 28-DAY STRENGTH.
 - MAINTAIN 2" MINIMUM CLEAR SPACE AROUND ALL REINFORCEMENTS.
 - ALL REBAR REINFORCEMENTS SHALL BE FREE OF CONTAMINANTS.
 - ALL REINFORCEMENTS SHALL BE A MINIMUM OF 60 KSI STEEL.

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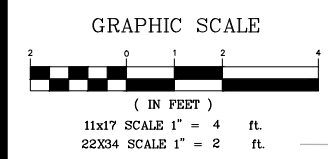
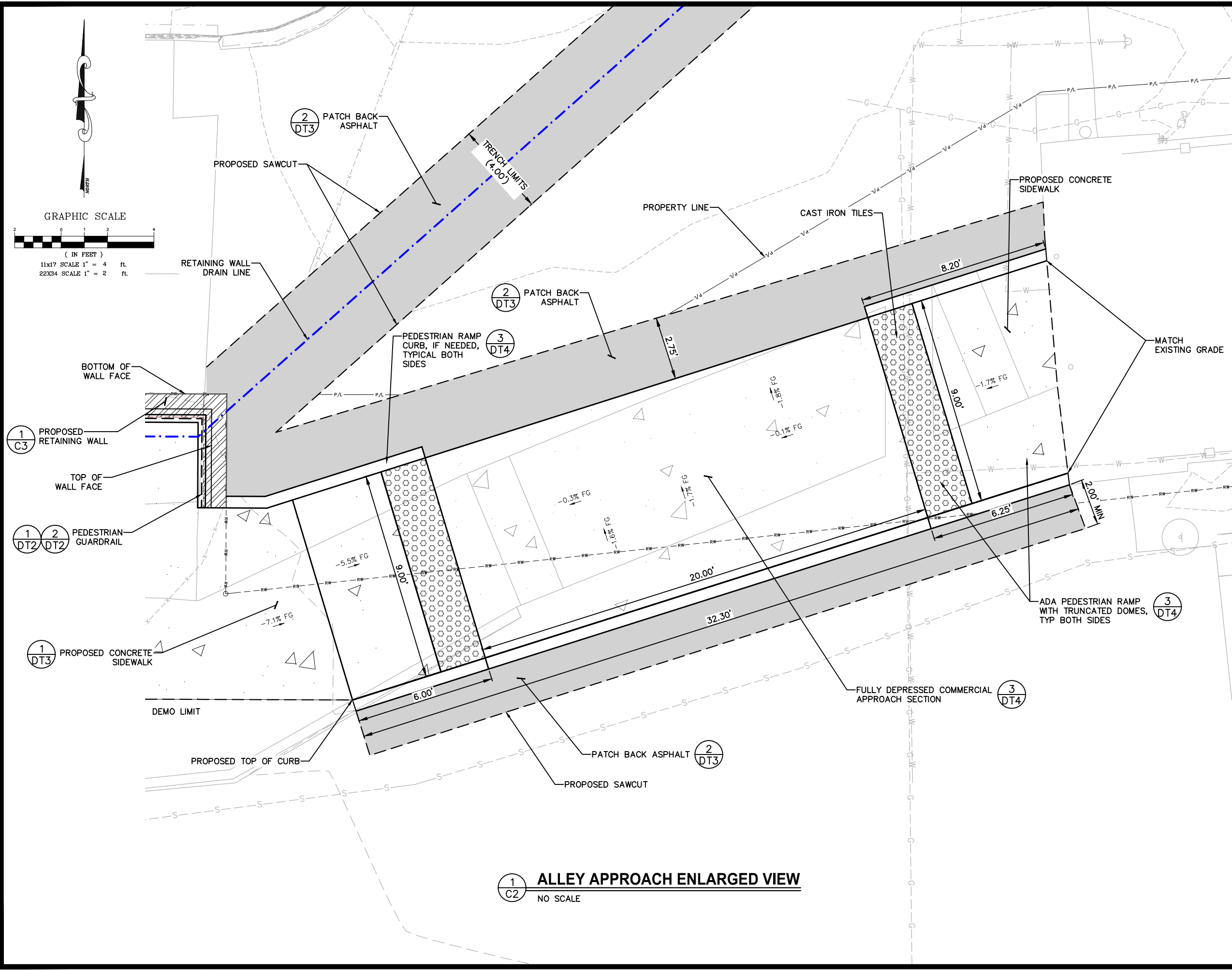
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CITY OF SANDPOINT
 BRIDGE STREET
 SIDEWALK IMPROVEMENTS
 ALLEY APPROACH ENLARGED VIEW

PROJ NO: 44050.020
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C2



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1
C2 **ALLEY APPROACH ENLARGED VIEW**
 NO SCALE

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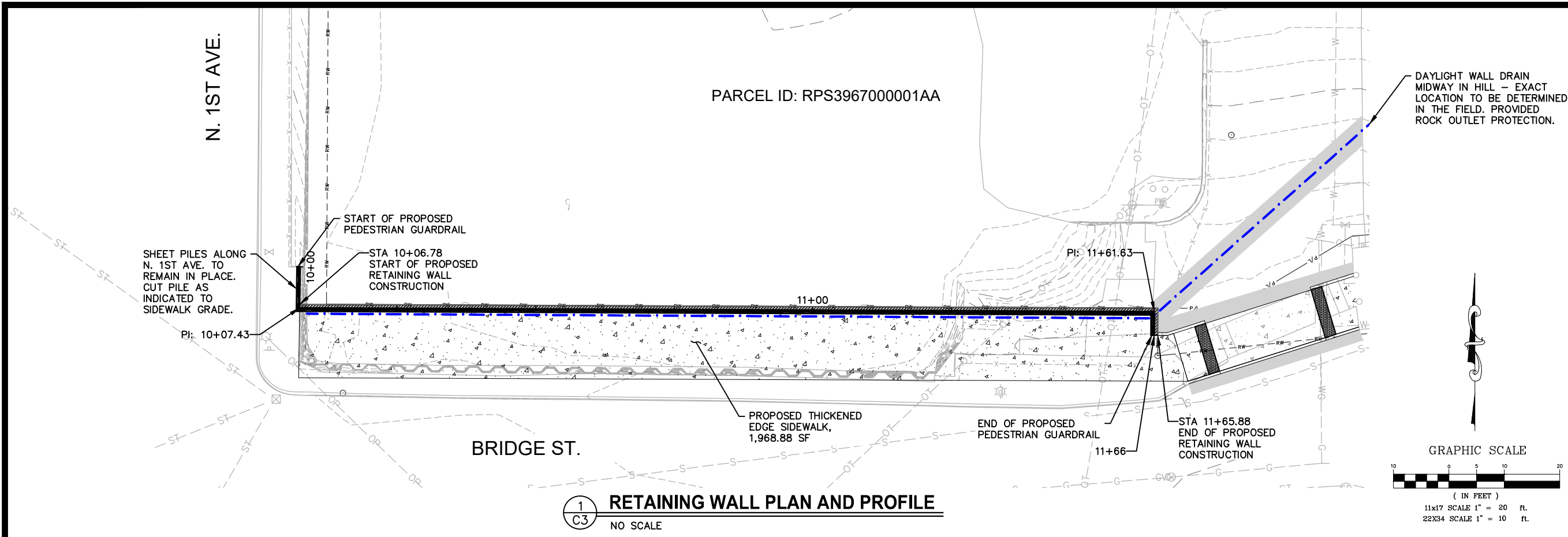


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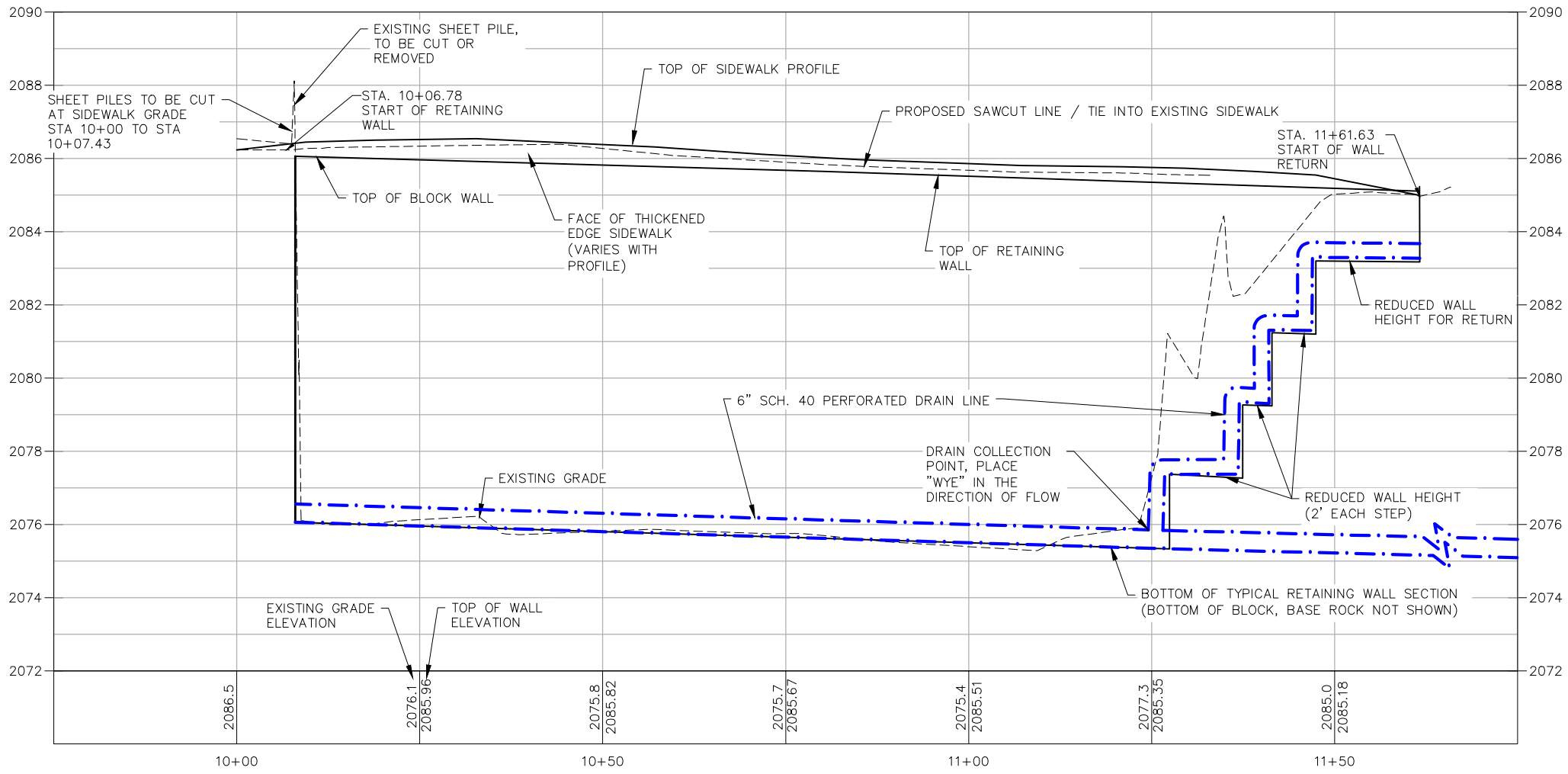


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1
C3 RETAINING WALL PLAN AND PROFILE
 NO SCALE



11X17 SCALE:
 HORIZ 1" = 20', VERT 1" = 4'
 22X24 SCALE:
 HORIZ 1" = 10', VERT 1" = 2'

CITY OF SANDPOINT
 BRIDGE STREET
 SIDEWALK IMPROVEMENTS

RETAINING WALL
 PLAN AND PROFILE

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 DWG: 44050.020PL02.DWG
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C3

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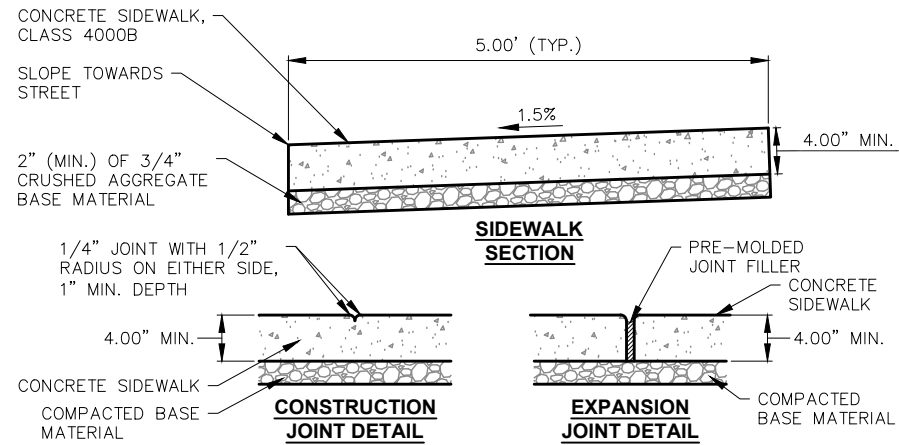


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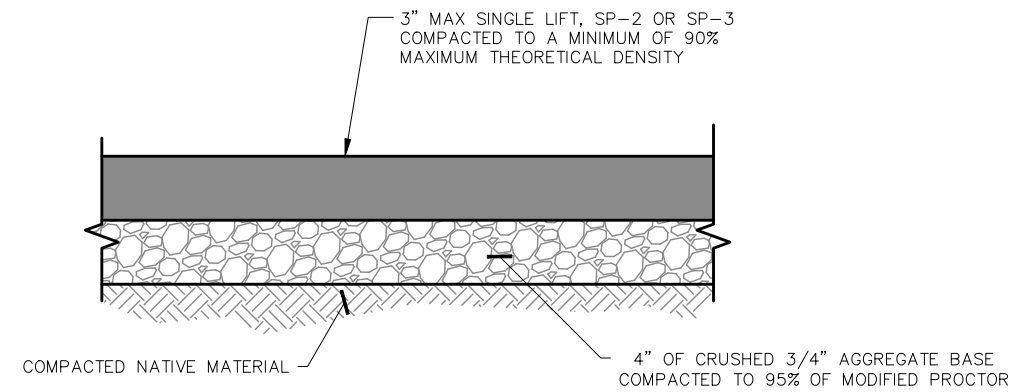
NO.	DATE	REVISION DESCRIPTION	BY



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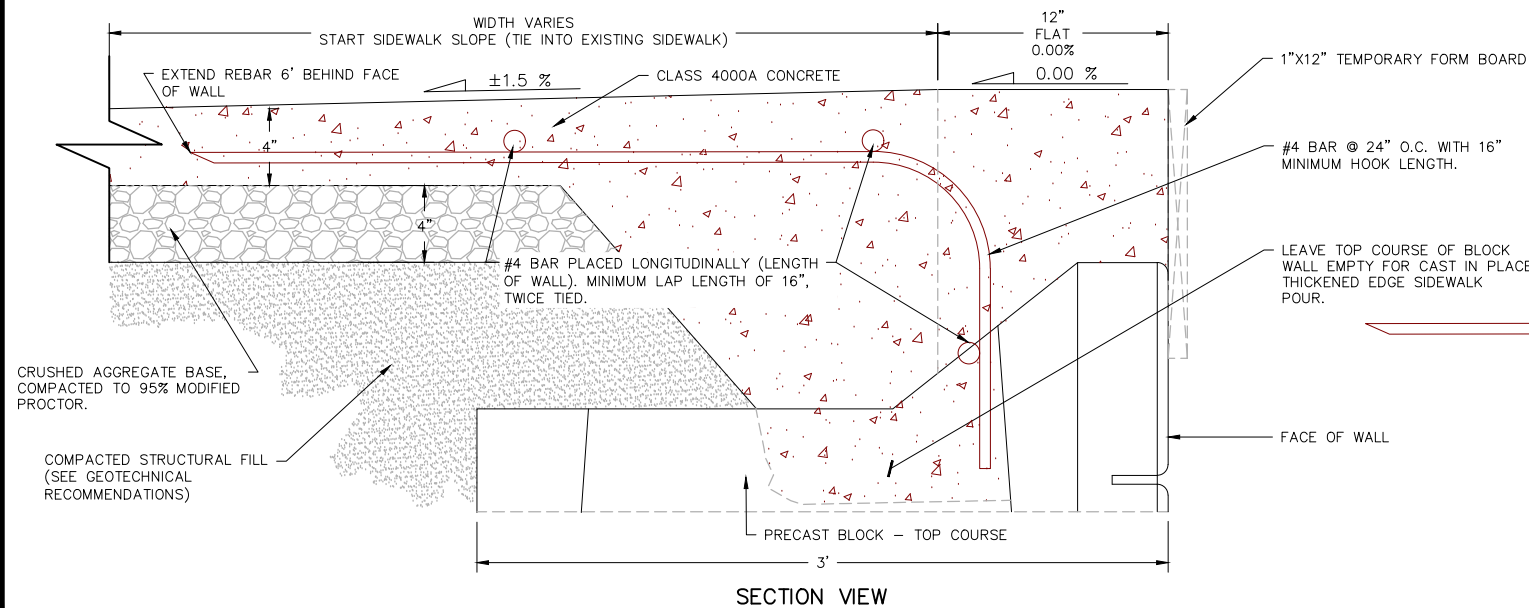
1. ALL 3/4" BASE MATERIAL SHALL TO BE COMPACTED TO A MINIMUM OF 90% MODIFIED PROCTOR.
2. SLOPE SIDEWALK TOWARD STREET IF NOT OTHERWISE SPECIFIED.
3. CROSS SLOPE SHALL NOT EXCEED ±0.5%, UNLESS OTHERWISE SPECIFIED BY ENGINEER.
4. SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5' SPACING
5. EXPANSION JOINTS SHALL NOT EXCEED 15'
6. EXPANSION JOINT ARE REQUIRED WHEN CONNECTING TO EXISTING CONCRETE SIDEWALK
7. 28-DAY CONCRETE COMPRESSIVE STRENGTH 4000 PSI MIN.
8. MATERIALS AND CONSTRUCTION ACCORDING TO ISPCW SPECIFICATIONS

1
 DT3
TYPICAL CONCRETE SIDEWALK DETAIL
 NO SCALE

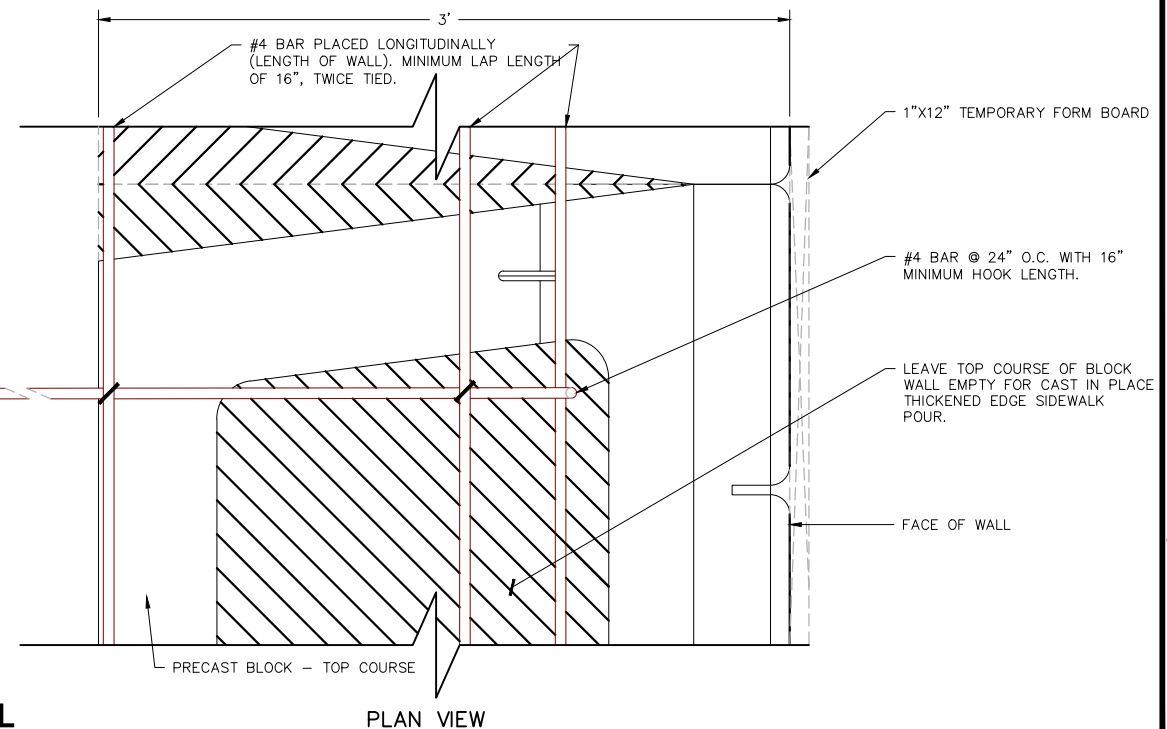


2
 DT3
ASPHALT PATCH DETAIL
 NO SCALE

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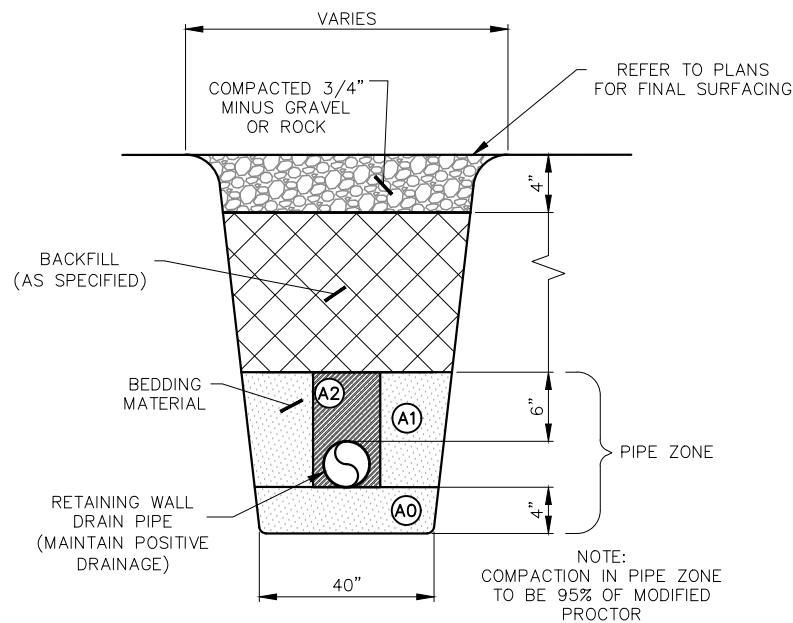
3
 DT3
REINFORCED SIDEWALK DETAIL
 NO SCALE



CITY OF SANDPOINT
 BRIDGE STREET
 SIDEWALK IMPROVEMENTS
 CIVIL DETAILS

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 DWG: 44050.020DT01.DWG
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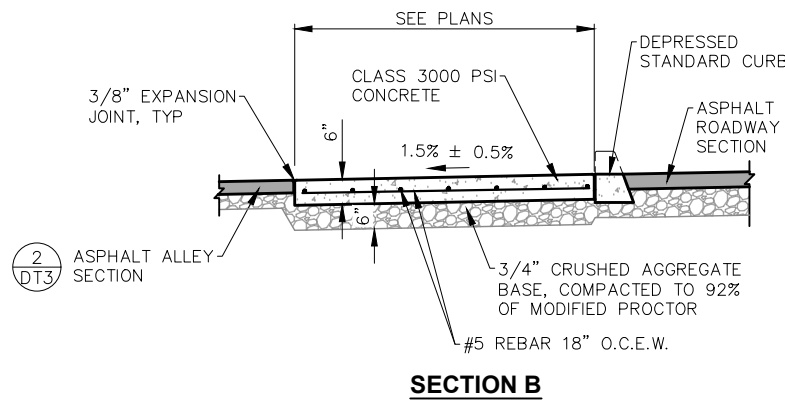
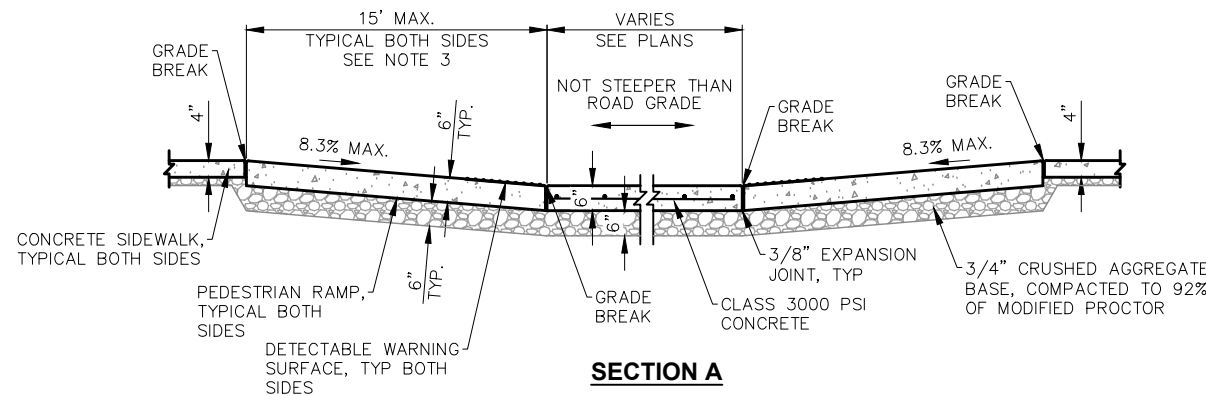
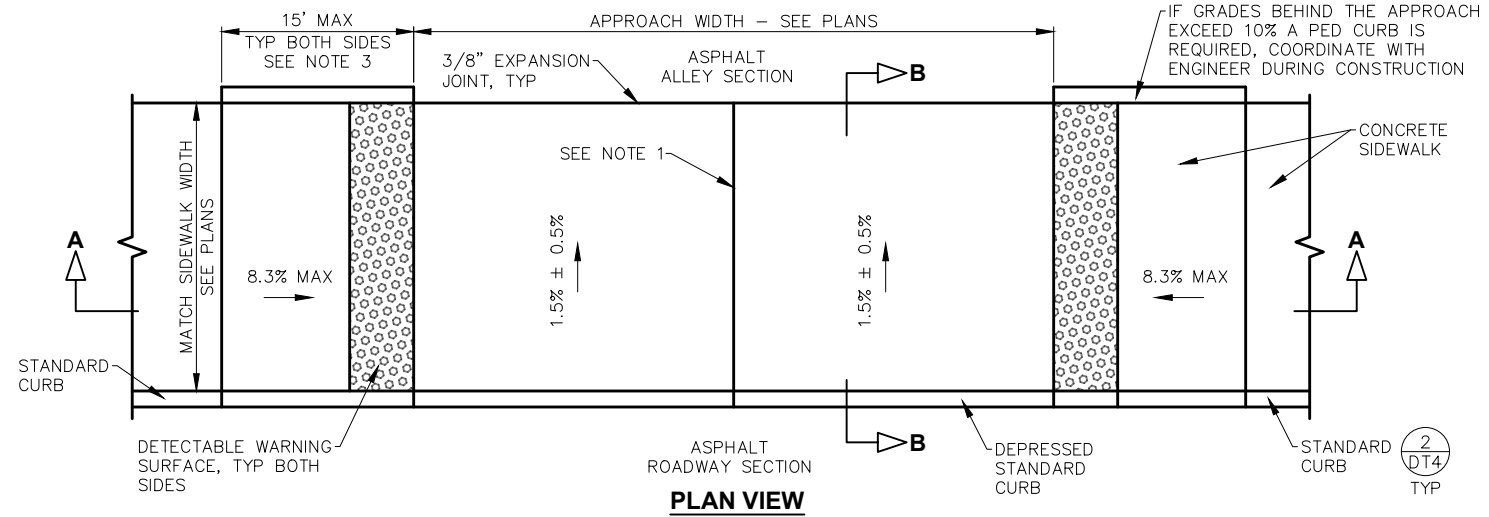
DT3



GENERAL NOTES:

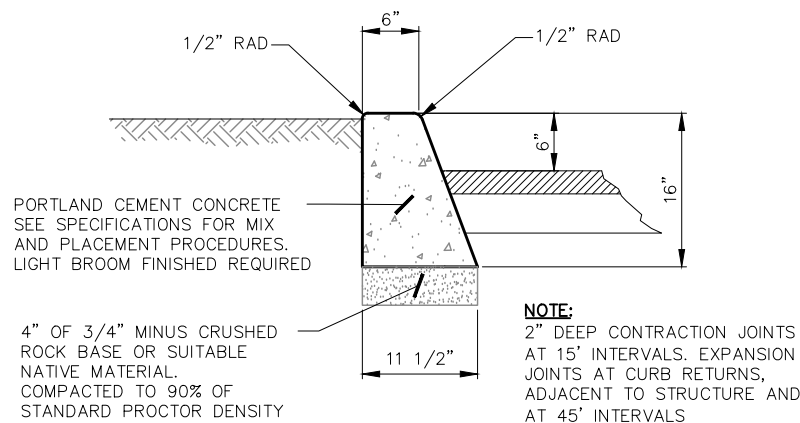
- AREA 0 - COMPACTED TO MINIMUM 92% OF MODIFIED PROCTOR
- AREA 1 - COMPACTED TO MINIMUM 95% OF MODIFIED PROCTOR
- AREA 2 - UTILIZE STATIC COMPACTION EFFORTS OVER PIPE

1
DT4
STORM PIPE TRENCH DETAIL
NO SCALE



NOTES:

1. WHEN THE DRIVEWAY WIDTH EXCEEDS 15 FEET, CONSTRUCT A FULL DEPTH EXPANSION JOINT WITH 3/8" JOINT FILLER ALONG THE DRIVEWAY CENTERLINE. CONSTRUCT EXPANSION JOINTS PARALLEL WITH THE CENTERLINE AS REQUIRED AT 15 FEET MAXIMUM SPACING WHEN DRIVEWAY WIDTHS EXCEED 30 FEET. SEE DETAIL 1, SHEET DT3.
2. WHERE "GRADE BREAK" IS CALLED OUT, THE ENTIRE LENGTH OF THE LINE BETWEEN THE TWO ADJACENT SURFACE PLANES SHALL BE FLUSH.
3. THE CURB RAMP MAXIMUM RUNNING SLOPE SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15 FOOT MAX. LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE AS FLAT AS FEASIBLE.



2
DT4
STANDARD STRAIGHT CONCRETE CURB DETAIL
NO SCALE

3
DT4
FULLY DEPRESSED COMMERCIAL APPROACH AND PEDESTRIAN RAMP DETAIL
NO SCALE

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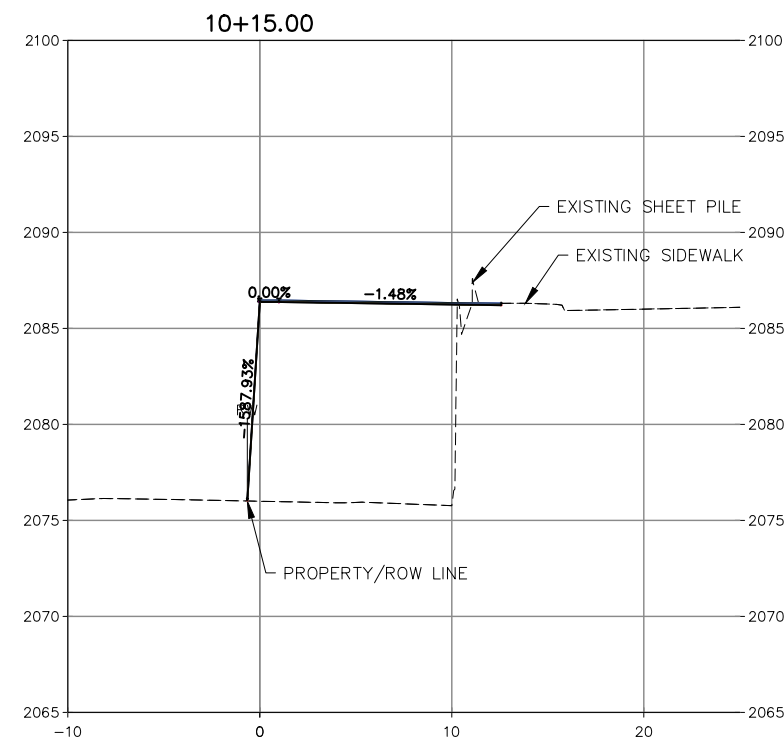
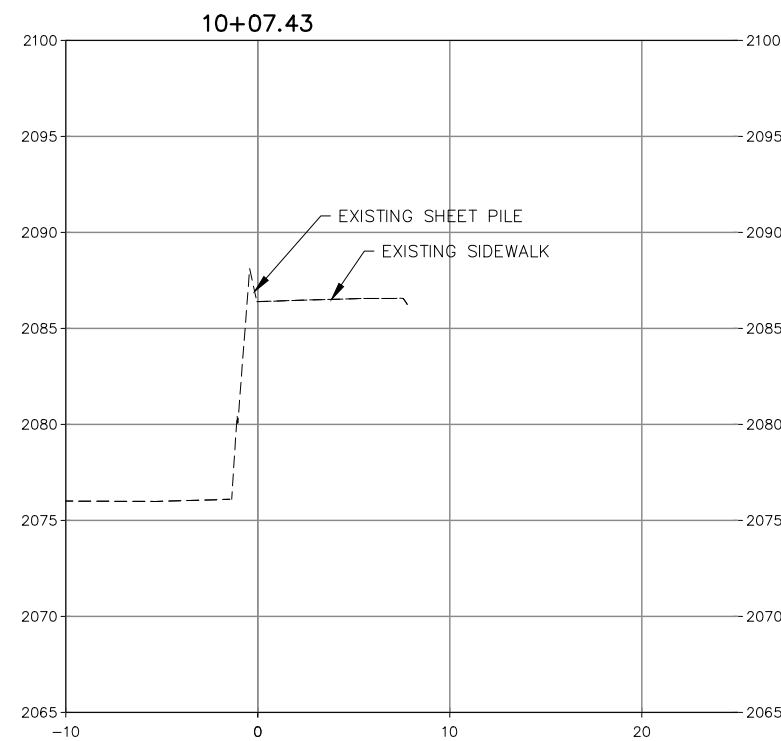
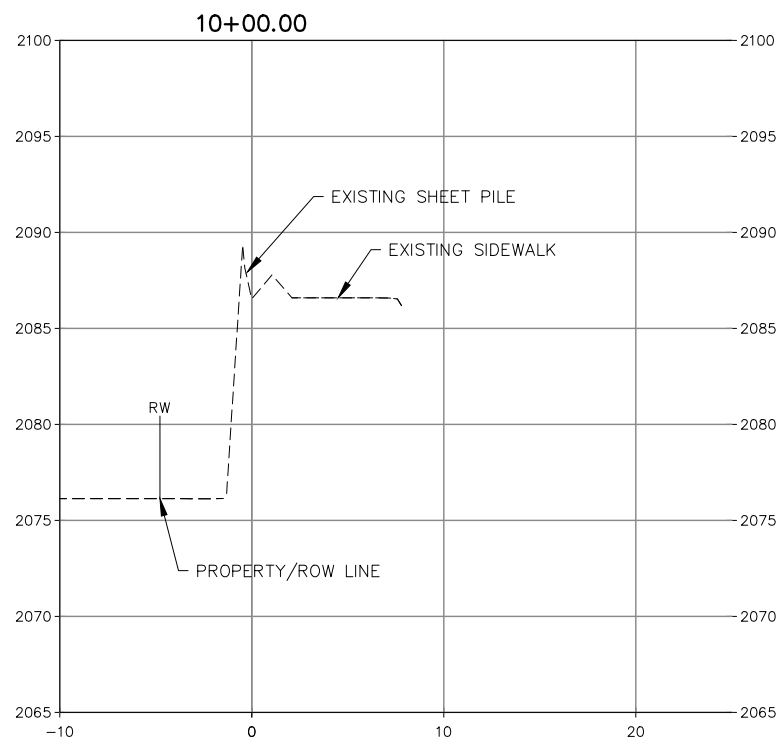
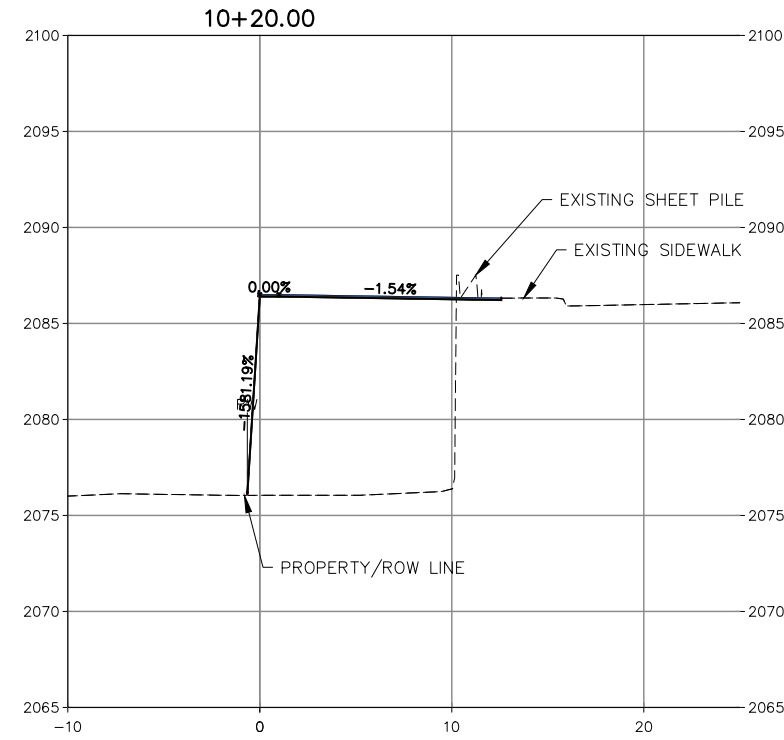
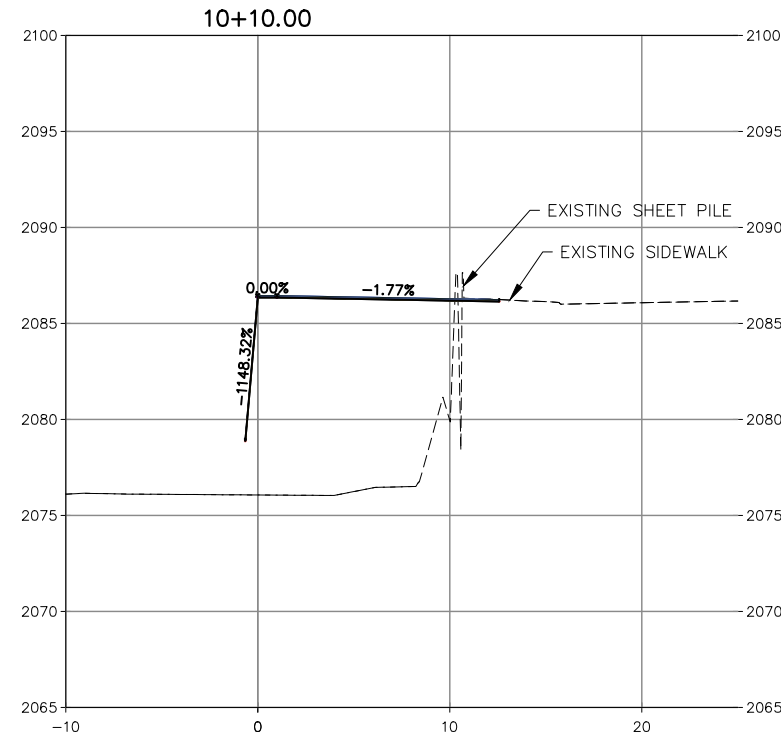
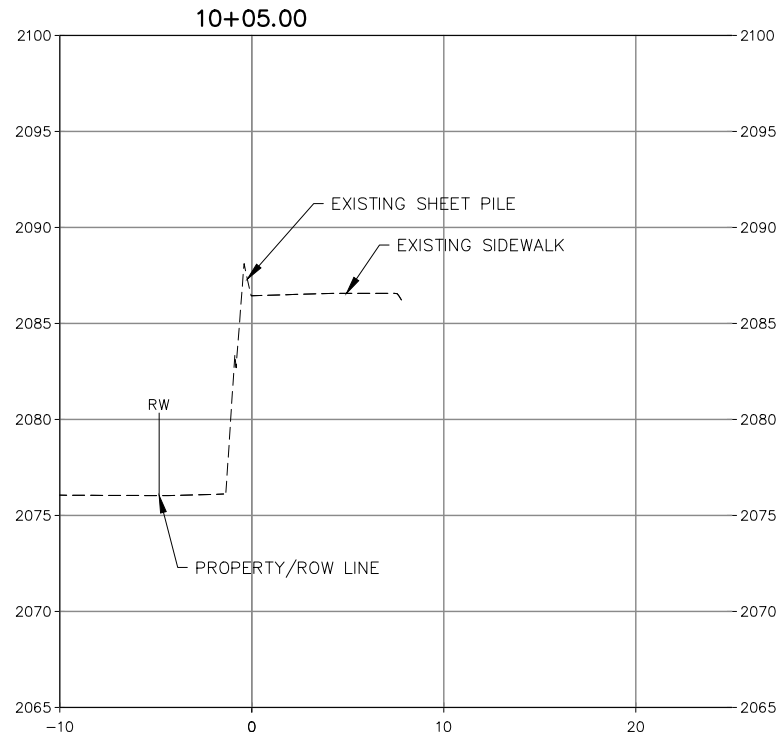
CITY OF SANDPOINT
BRIDGE STREET
SIDEWALK IMPROVEMENTS
CIVIL DETAILS

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DATE: 08-05-2025
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DT4

GENERAL NOTES

1. PROPOSED SITE IMPROVEMENTS AND RELATED GRADING WILL EXTEND TO THE RIGHT-OF-WAY.
2. THE CROSS-SECTIONS PROVIDED ARE BASED ON THE BEST AVAILABLE INFORMATION, AND ARE INTENDED TO BE USED FOR REFERENCE PURPOSES ONLY. THEY SHOULD NOT BE CONSIDERED AN EXACT REPRESENTATION OF PROJECT CONDITIONS.



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SIDEWALK IMPROVEMENTS

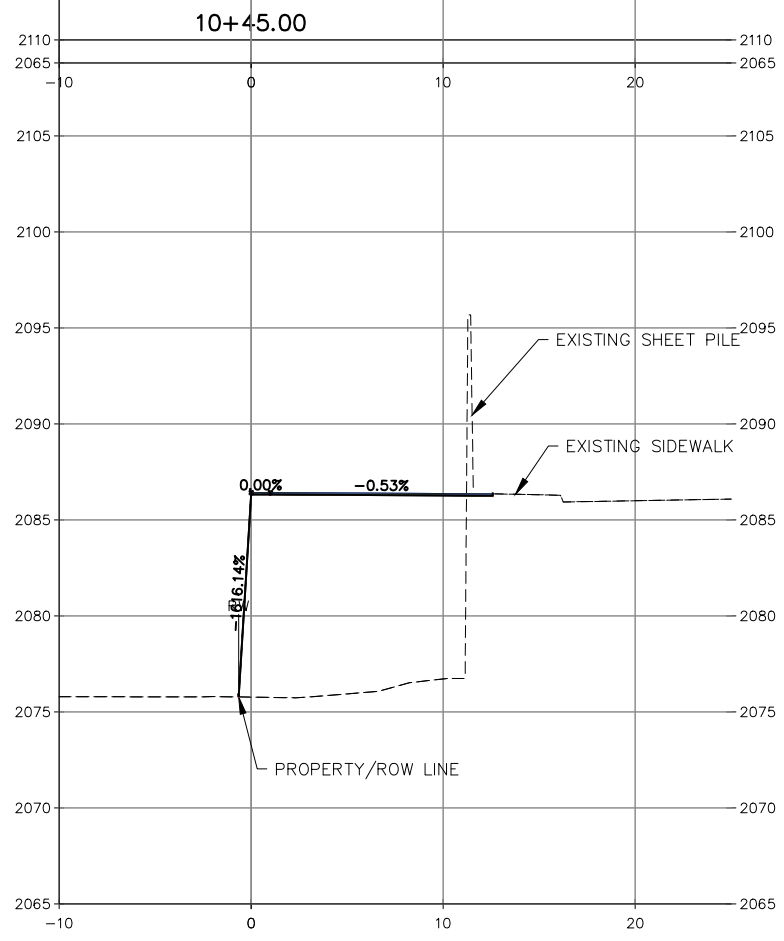
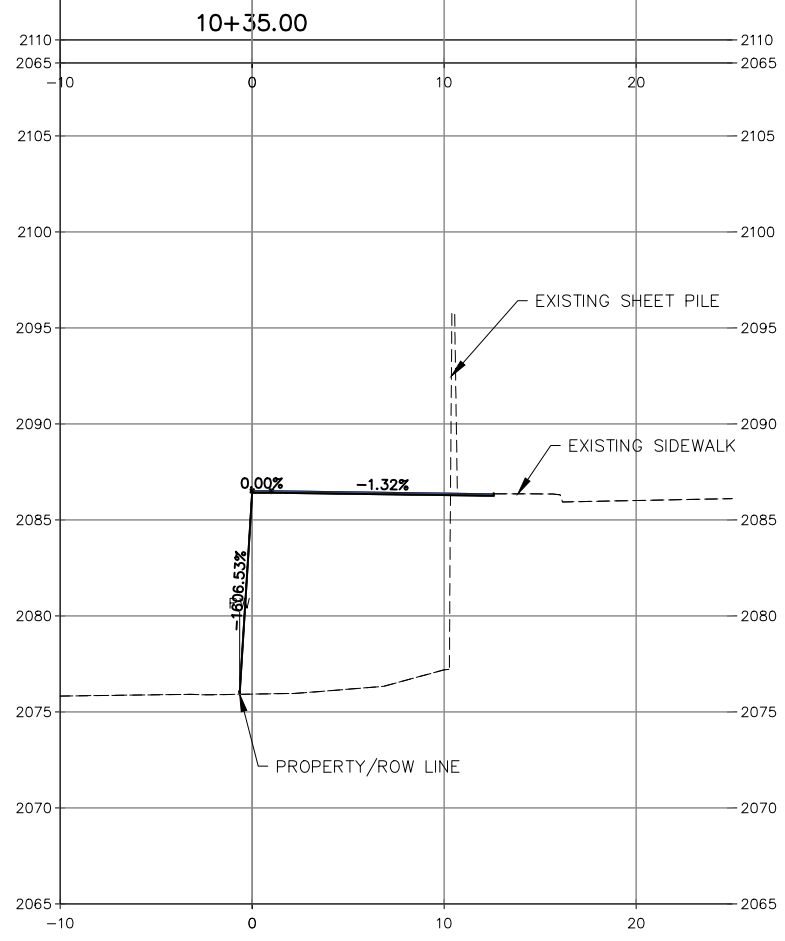
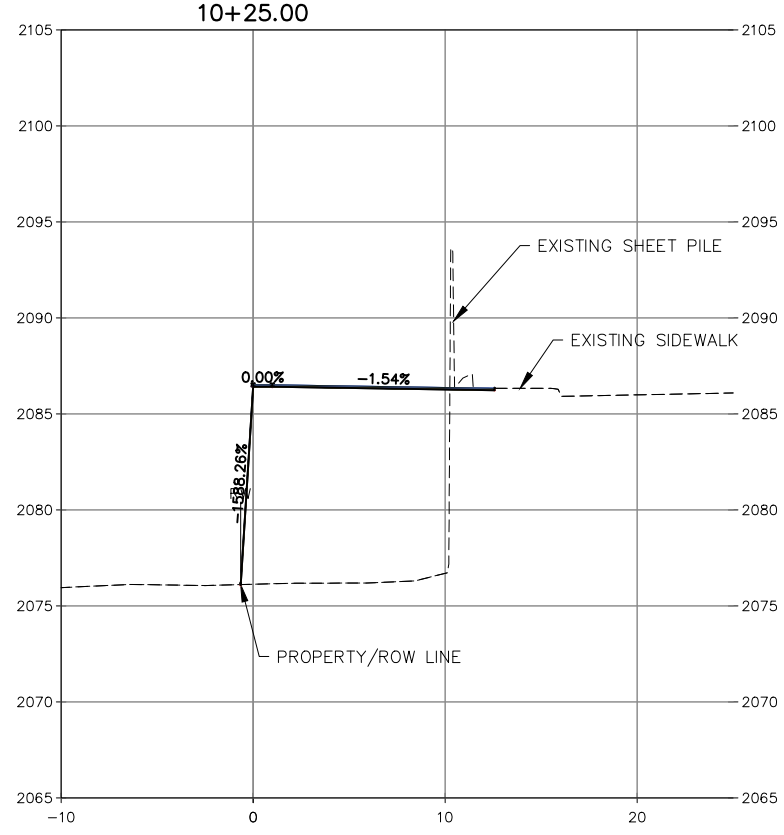
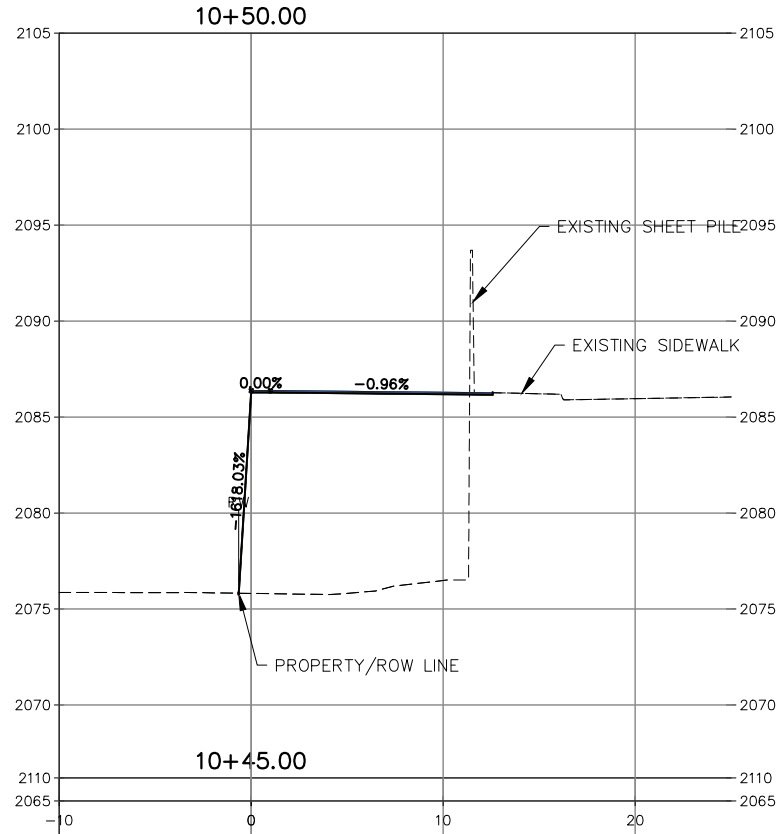
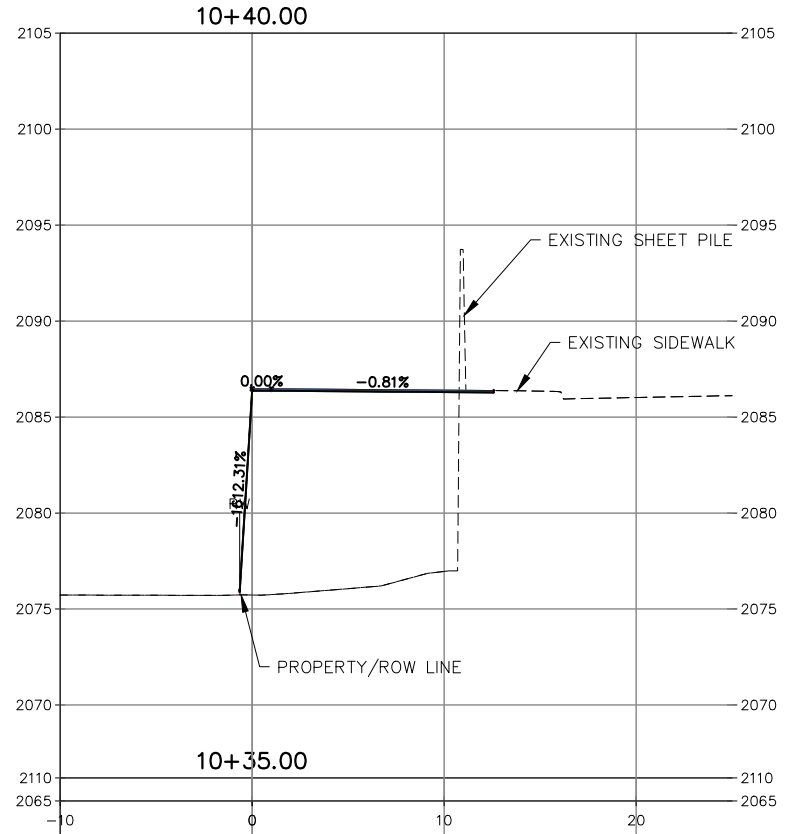
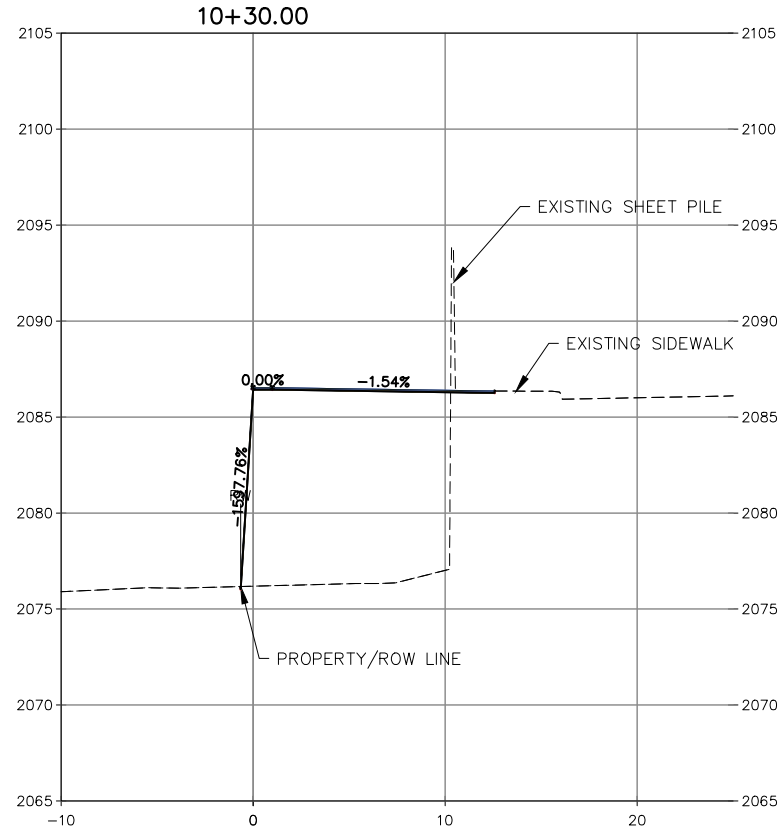
WALL CROSS SECTIONS

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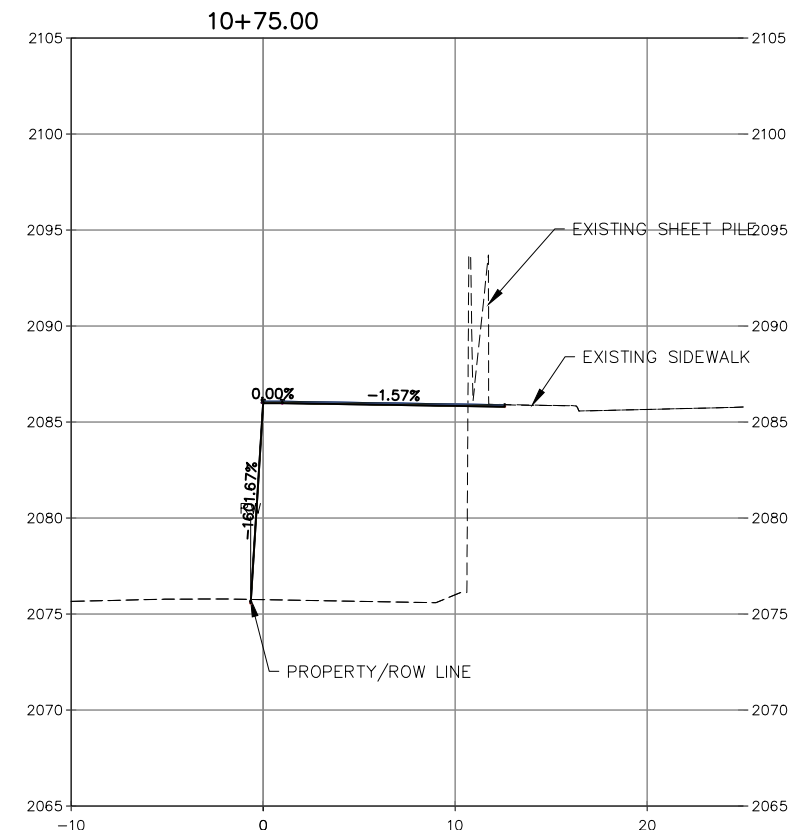
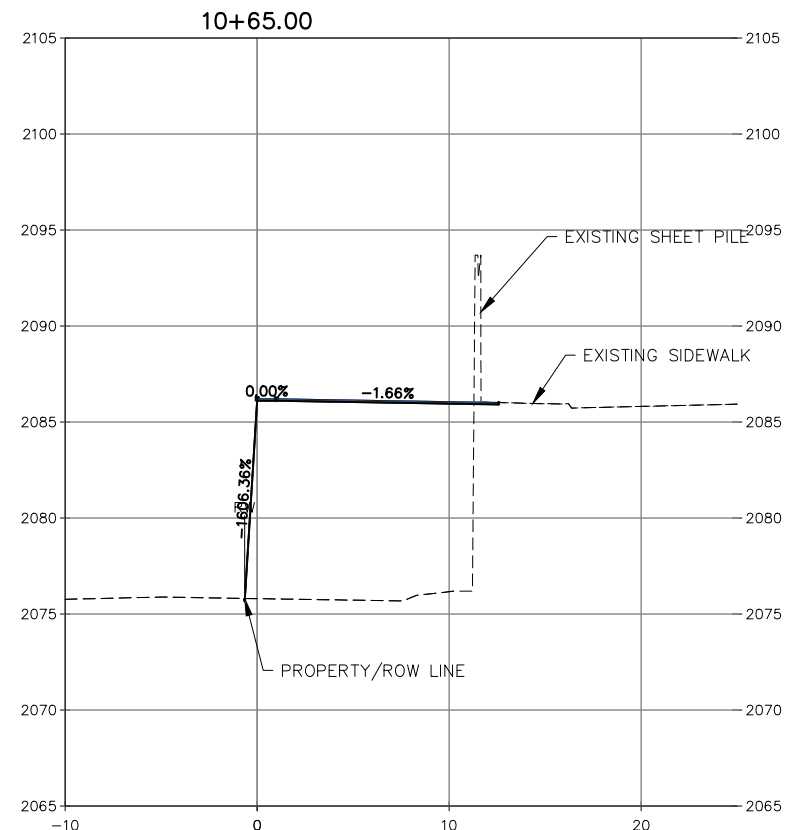
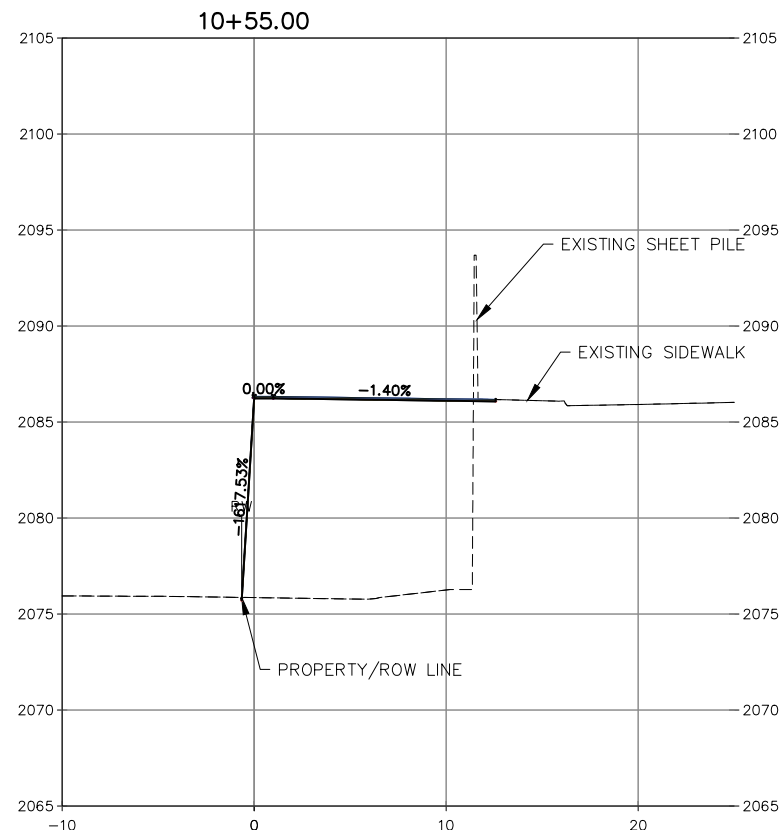
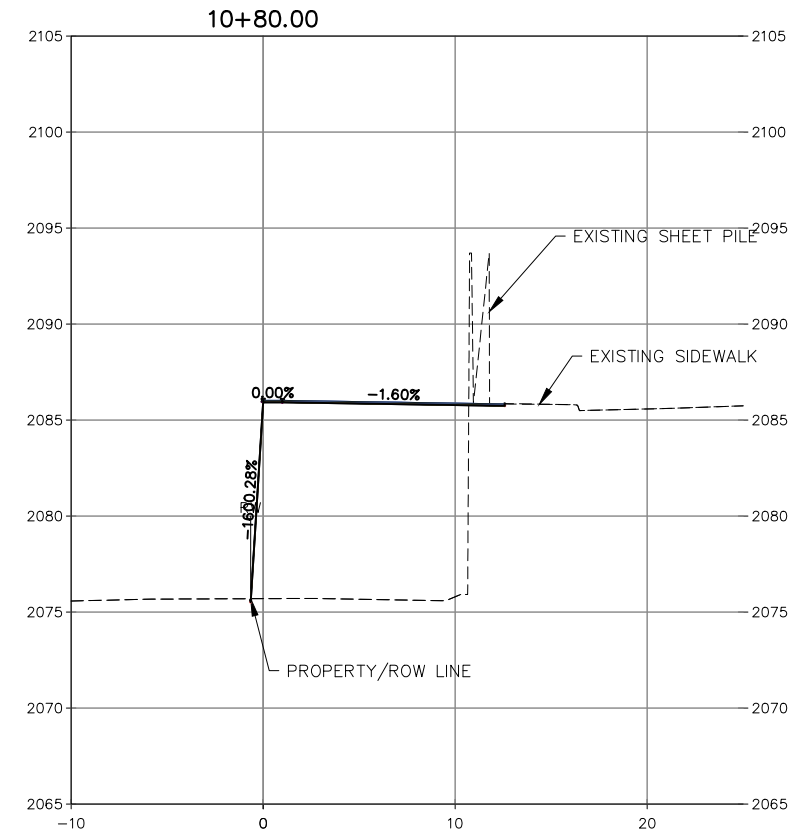
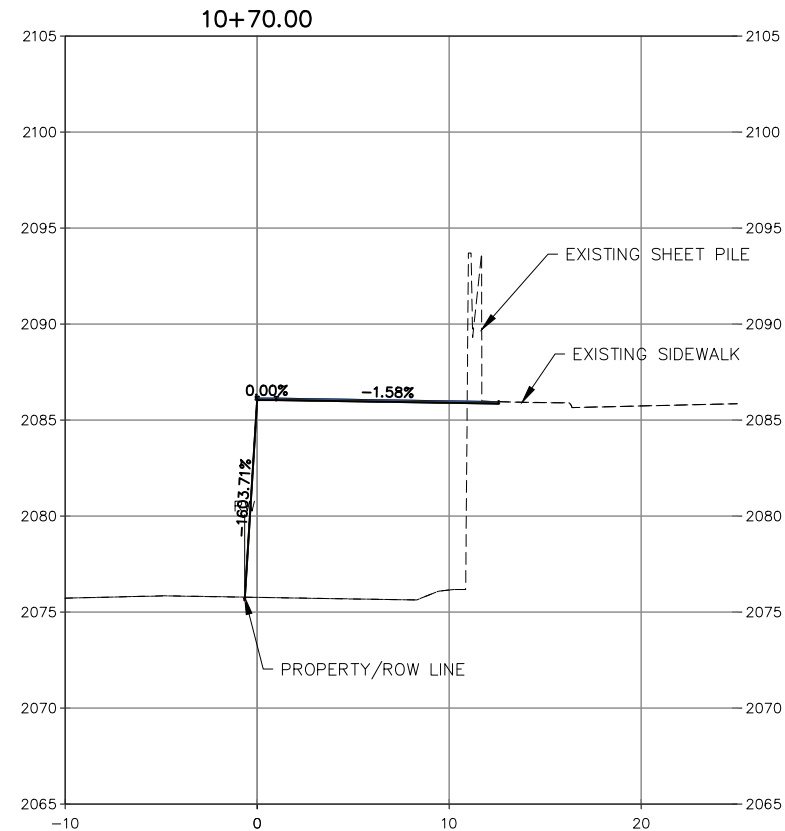
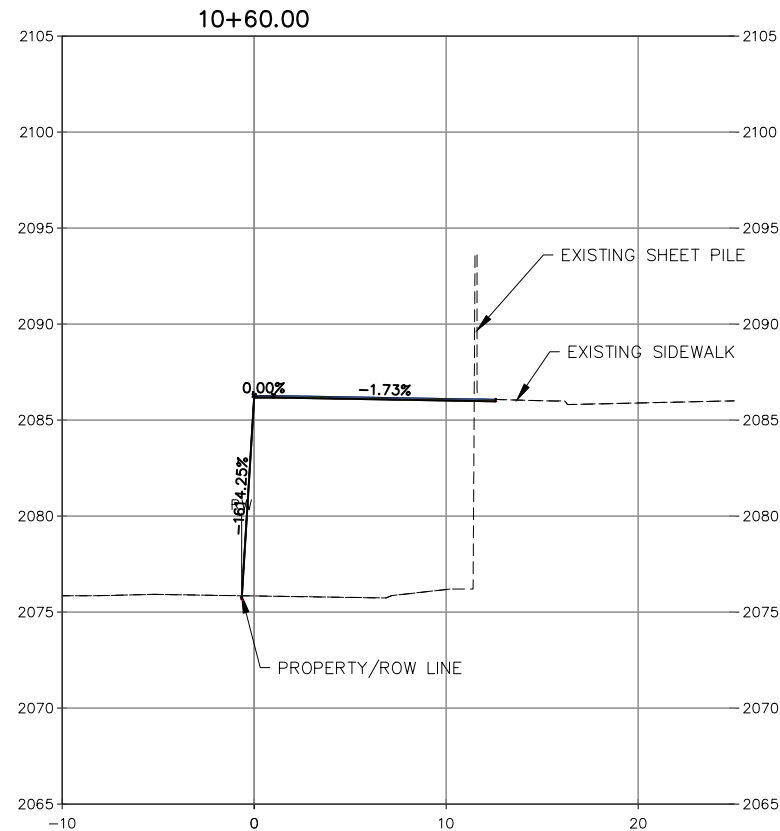
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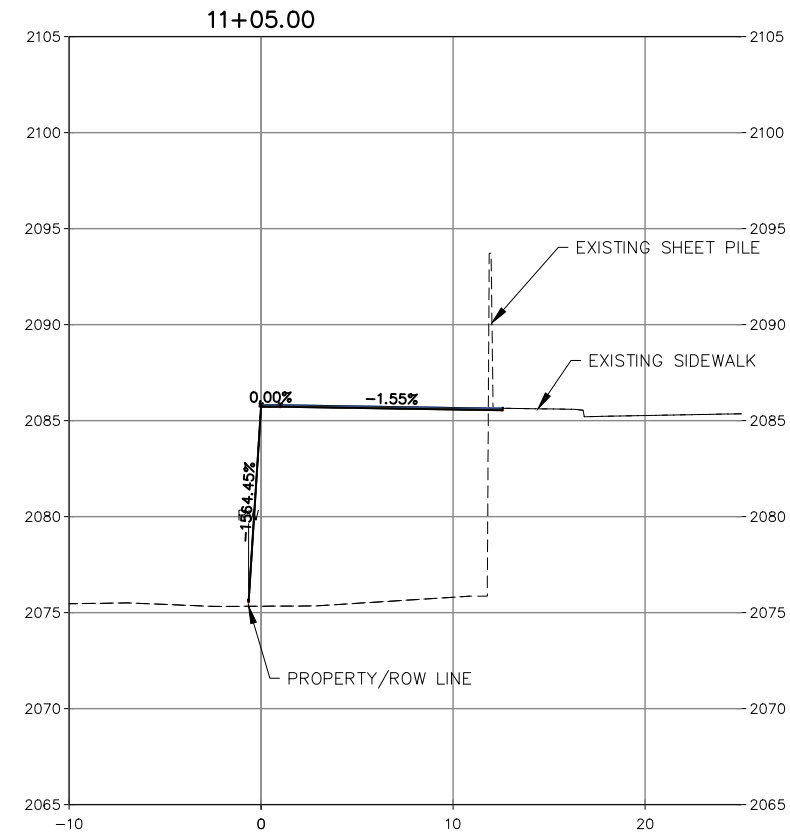
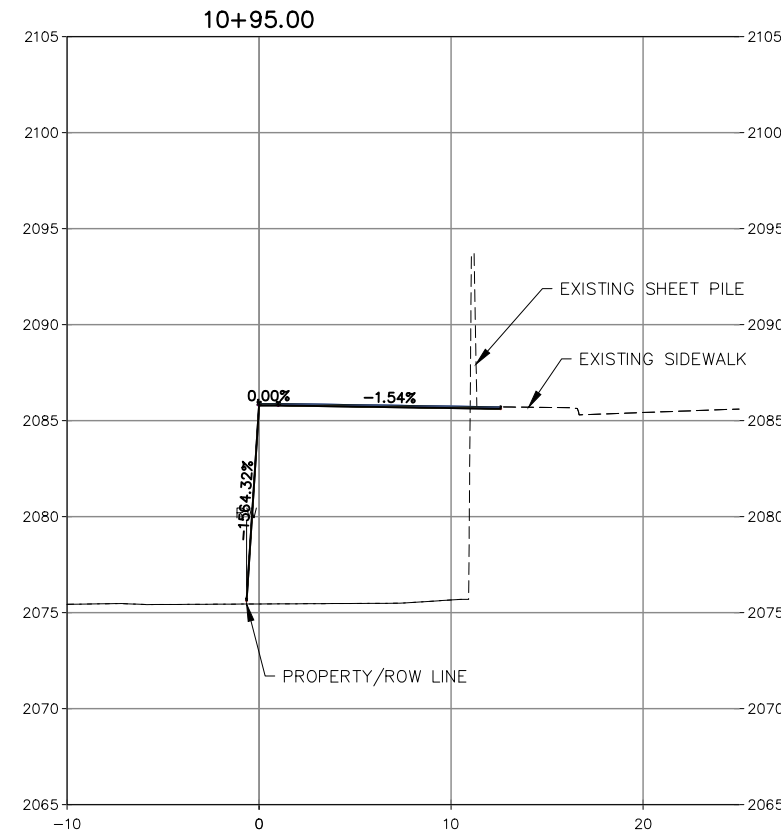
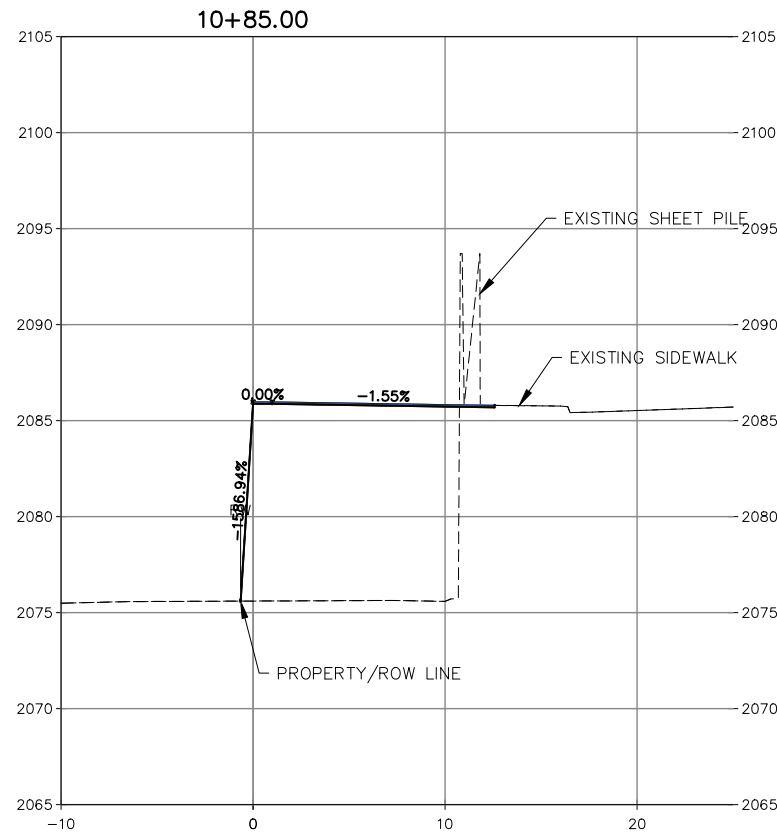
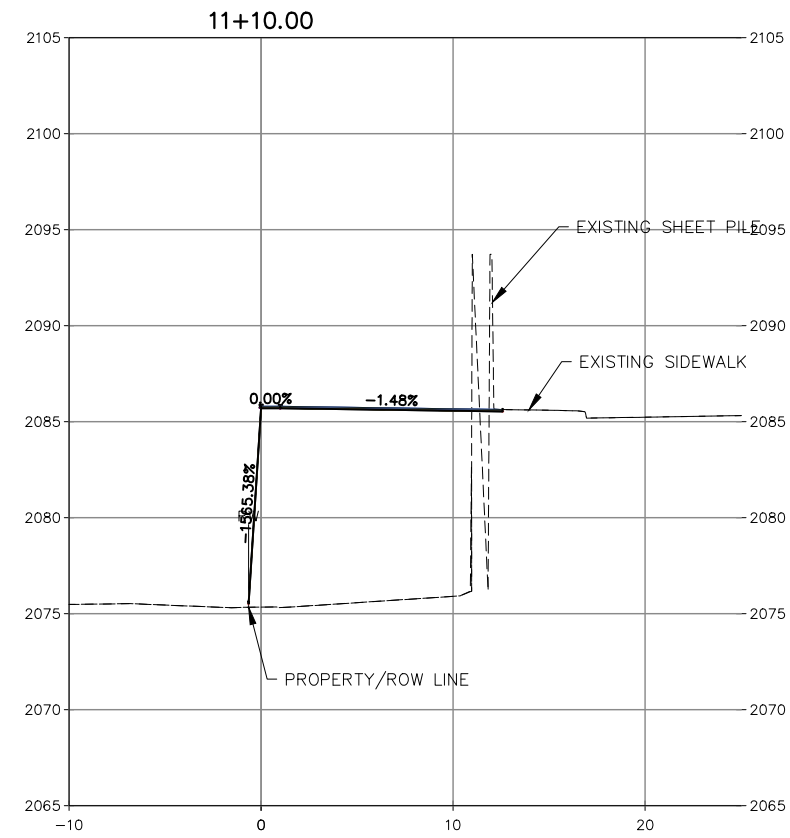
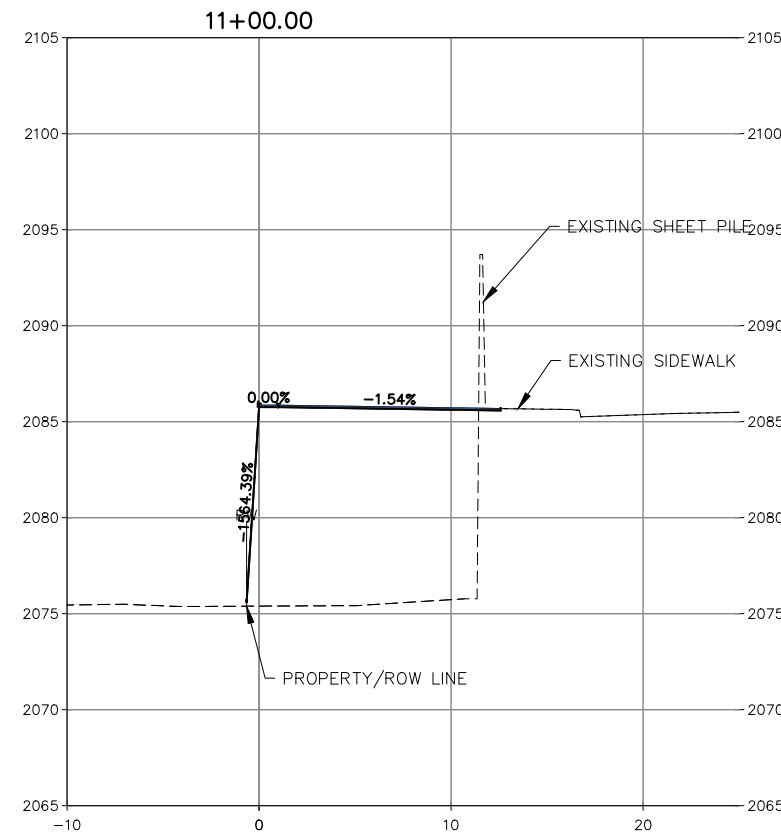
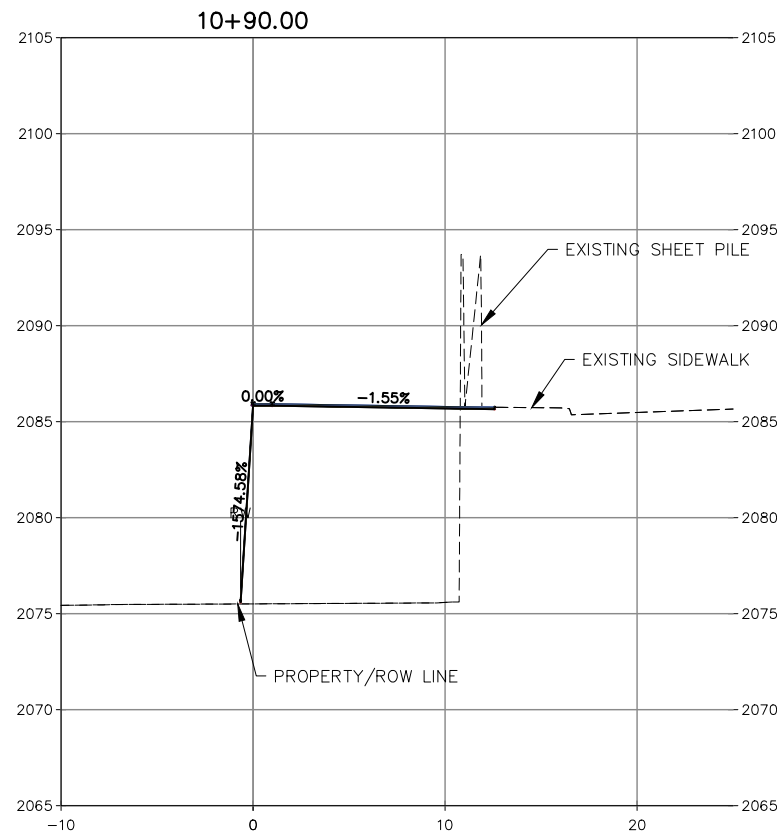


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PROJ NO: 44050.020
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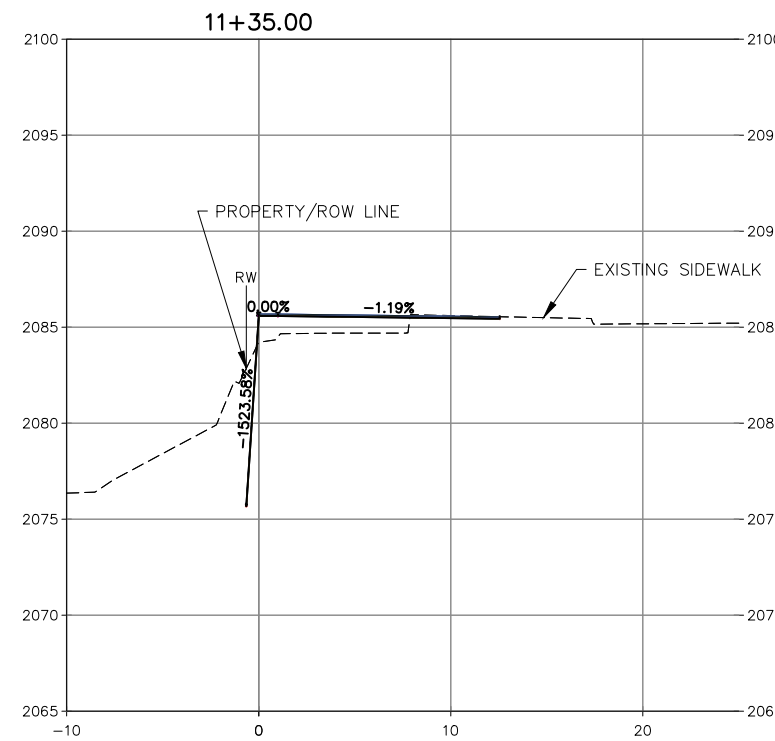
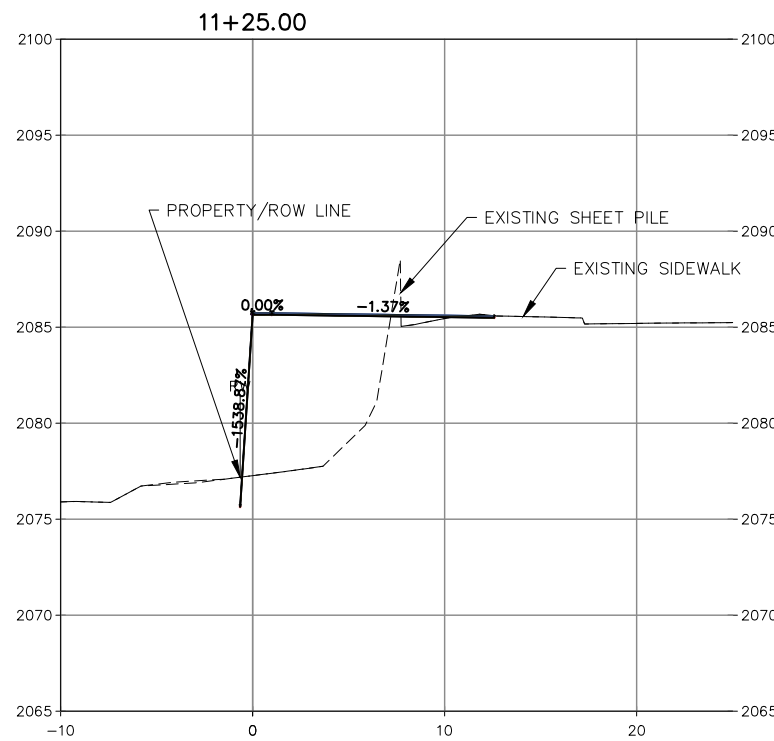
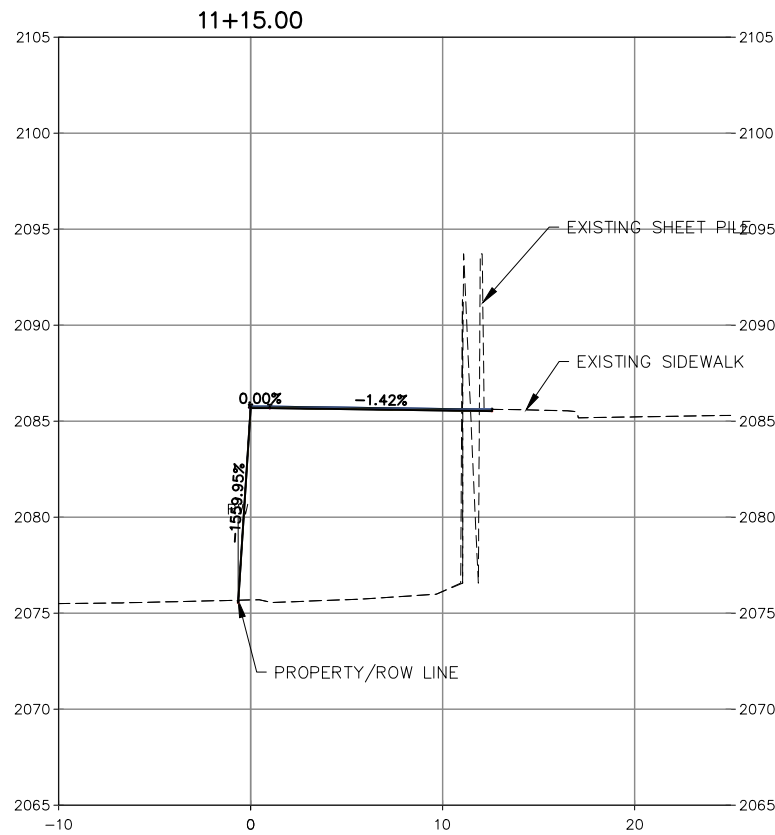
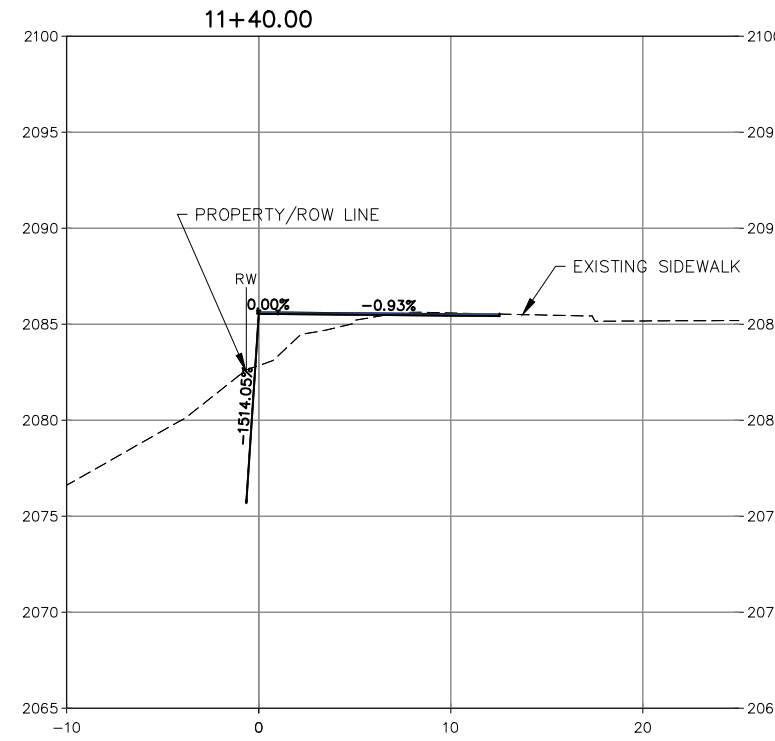
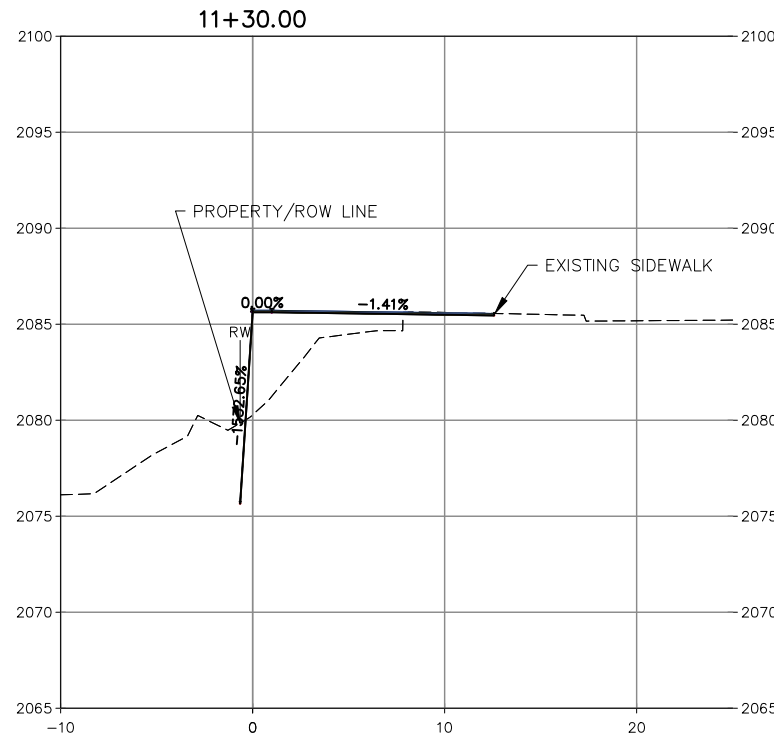
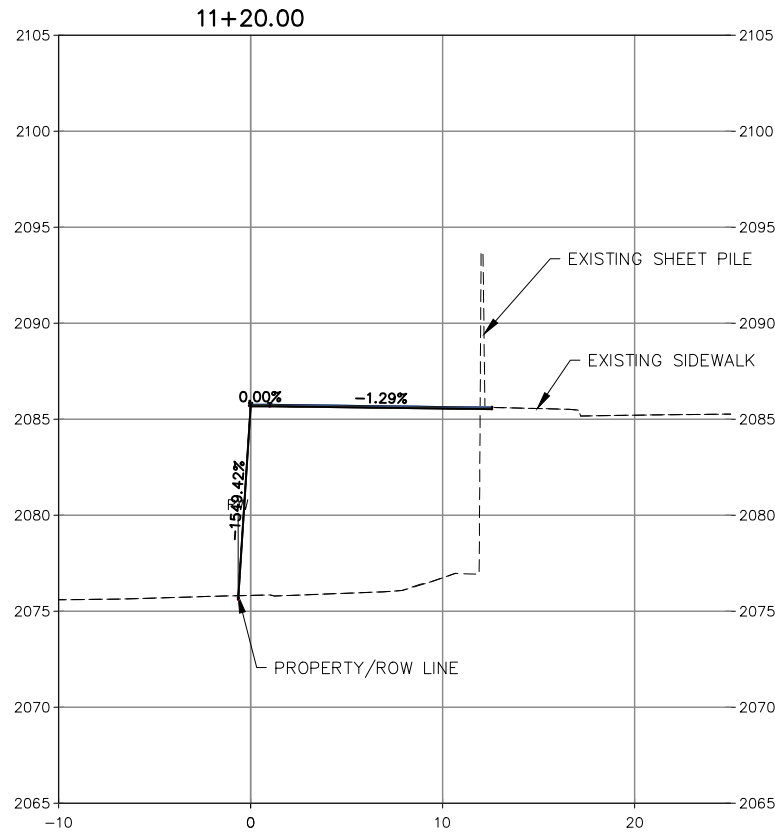
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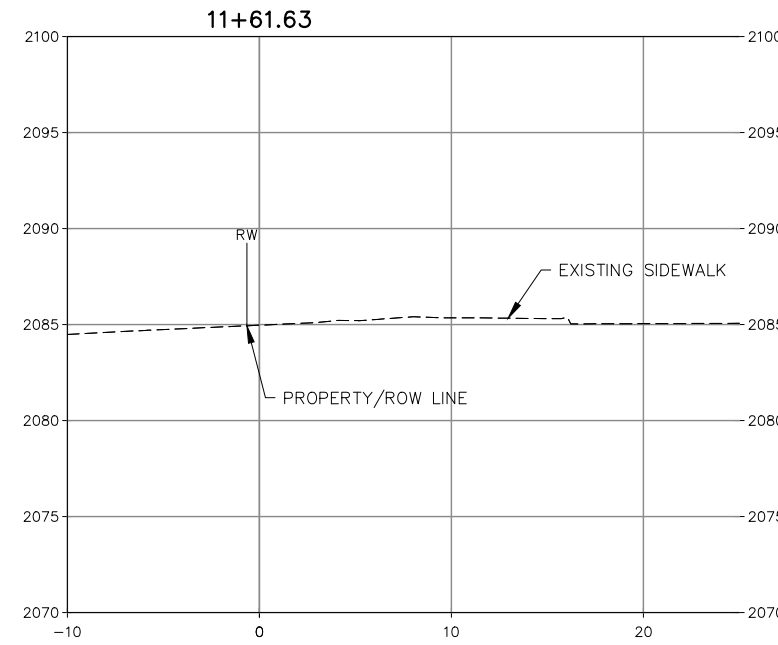
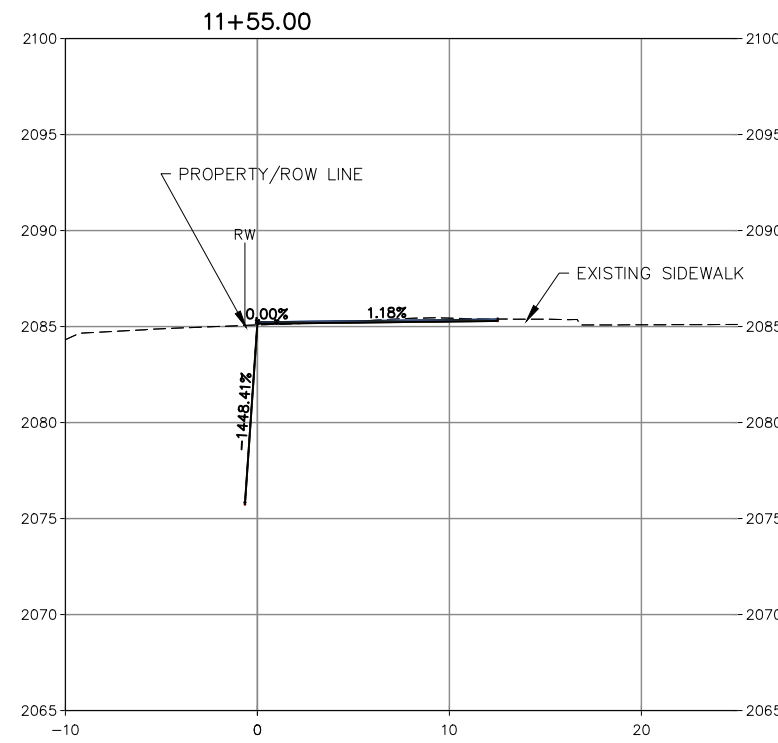
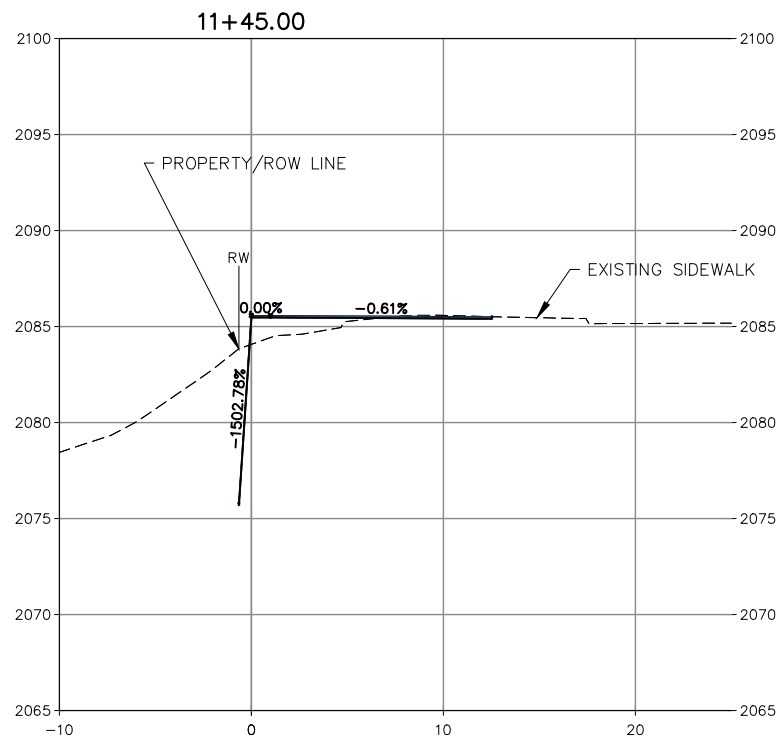
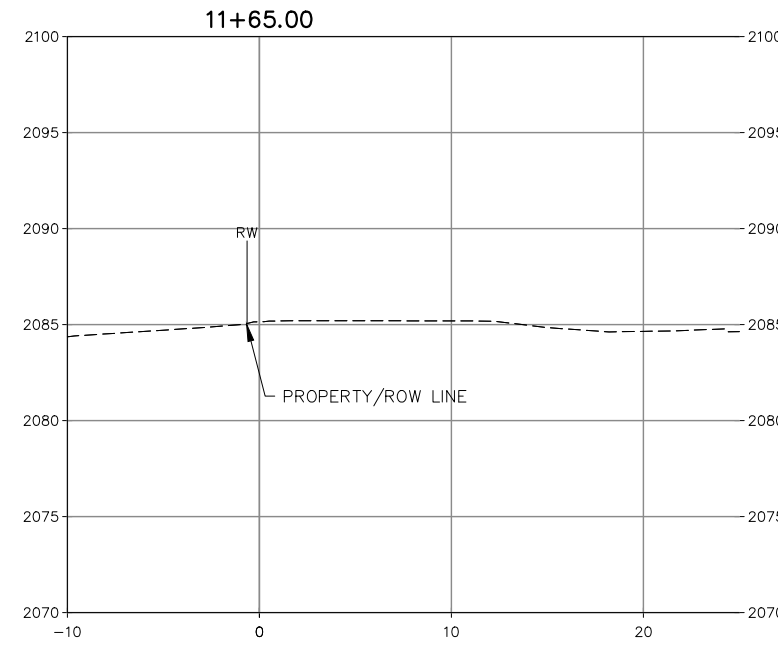
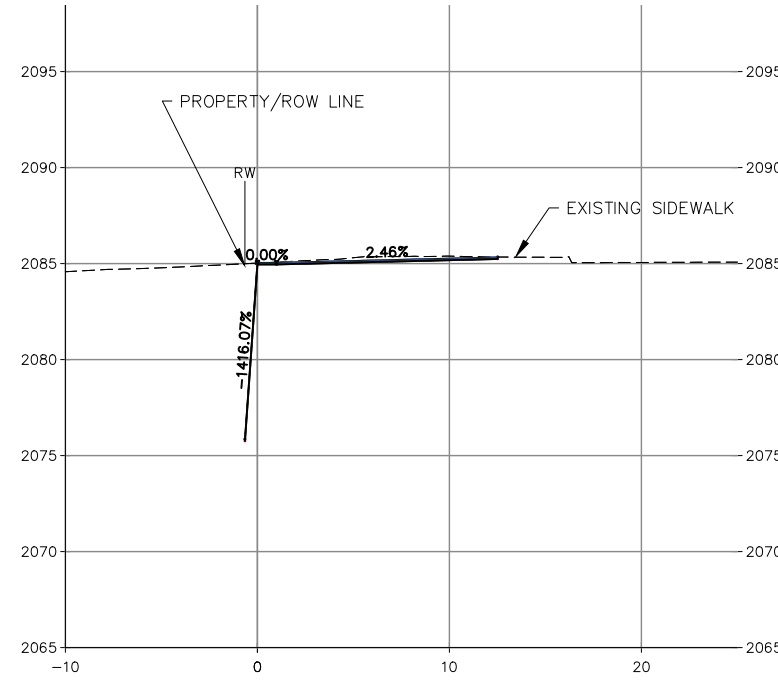
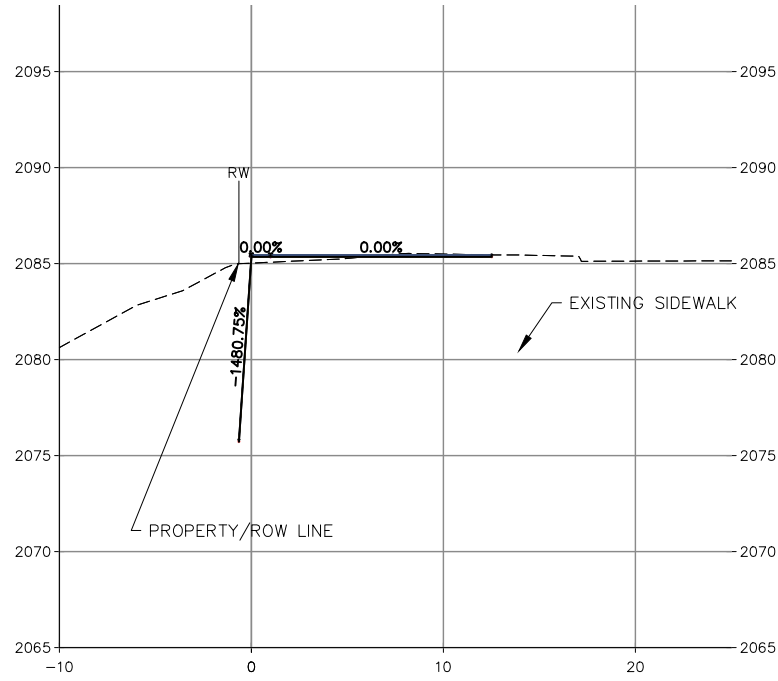
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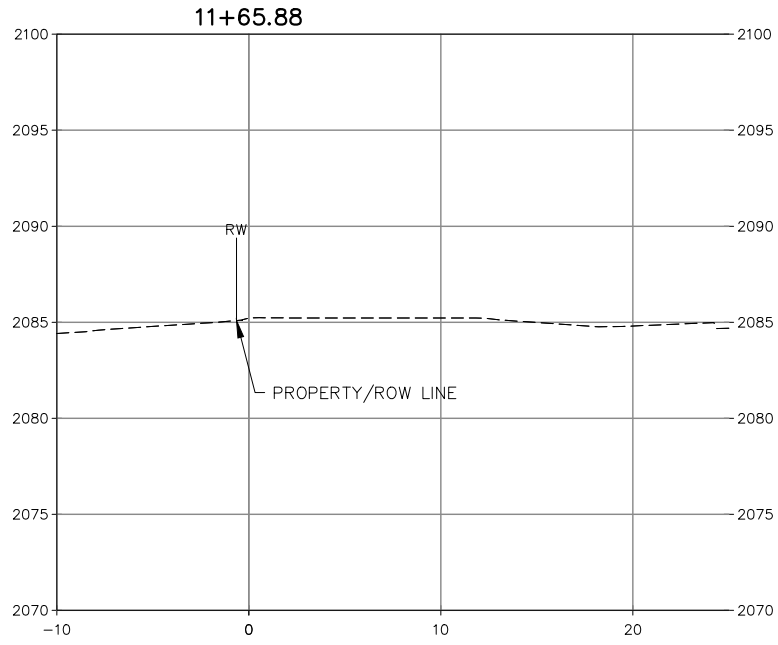
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