



CHURCH ST. RESIDENCE 19W

AREA SUMMARY

MAIN FLOOR FINISHED	=	912 SQ. FT.
UPPER FLOOR FINISHED	=	912 SQ. FT.
COVERED PORCH	=	77 SQ. FT.
REAR PATIO	=	48 SQ. FT.
TOTAL COVERAGE	=	1037 SQ. FT.
LOT SIZE	=	3558 SQ. FT.

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GENERAL NOTES

THESE PLANS SHALL COMPLY WITH THE FOLLOWING CODES

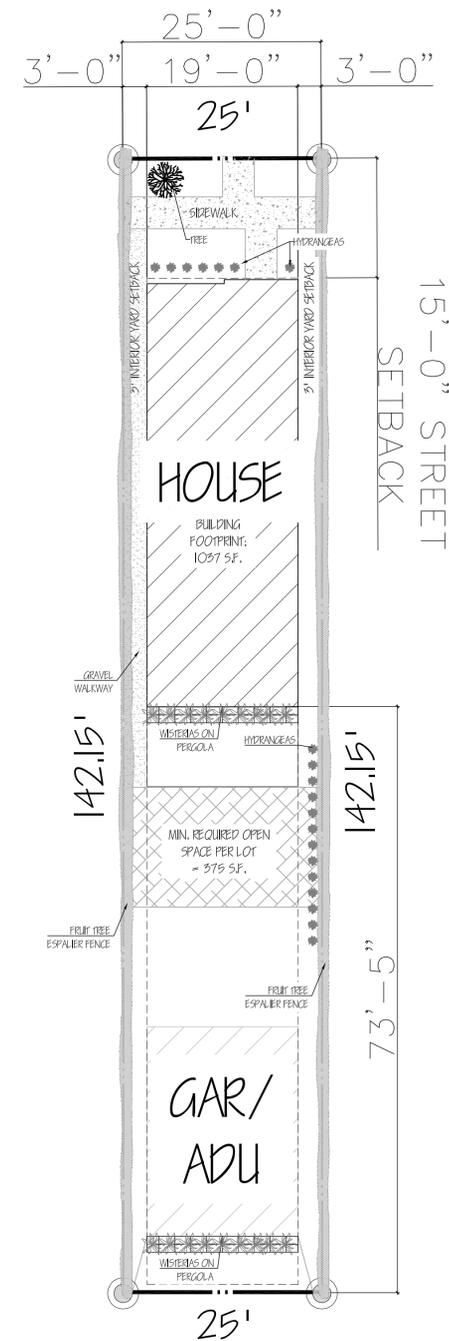
- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- ALL APPLICABLE STATE AND LOCAL CODES

MINIMUM DESIGN STANDARDS

- SEISMIC DESIGN CATEGORY - C
- BASIC WIND SPEED - 90 MPH (115 MPH, 3 SECOND GUSTS)
- FROST DEPTH - 24" MIN.
- ROOF SNOW LOAD - 55 PSF
- SOIL BEARING CAPACITY - 1500 PSF

- THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION AS PER (IECC 402.4.1)
- LIGHTING - A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HI-EFFICIENCY
- FASTENERS TO BE USED IN PRESSURE TREATED WOOD SHALL BE MINIMUM HOT DIPPED GALVANIZED STEEL
- DRYER DUCTING LENGTH - WHERE EXHAUST DUCTS ARE CONCEALED WITHIN BUILDING CONSTRUCTION, THE EQUIVALENT LENGTH SHALL BE IDENTIFIED ON A PERMANENT LABEL OR TAG LOCATED WITHIN 6 FEET OF THE EXHAUST DUCT CONNECTION
- REFRIGERANT CIRCUIT ACCESS PORTS LOCATED OUTDOORS SHALL BE FITTED WITH LOCKING TYPE TAMPER RESISTANT CAPS AS PER (IRC-M1411.6)
- FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AS PER (IRC-R315.1)
- APPROVED CONSTRUCTION DOCUMENTS SHALL BE KEPT AT THE SITE OF WORK AND SHALL BE OPEN TO INSPECTION BY THE BUILDING OFFICIAL AS PER (IRC 106.3.1)
- VALLEY LINING IS REQUIRED - MAY USE MINIMUM 36" WIDE SMOOTH ROLL ROOFING OR ICE AND WATER SHIELD AS PER (IRC 905.2.8.2)
- AN ICE BARRIER SHALL BE USED IN LIEU OF NORMAL ROOFING UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING AS PER (IRC R905.2.7.1)
- FLOOR INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF THE SUBFLOOR DECKING AS PER (IECC 402.2.6)
- WATER RESISTIVE BARRIER SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS AS PER (IRC R703.2)
- ALL SHEAR WALLS TO BE MARKED WITH A PAINTED "S" PER THE PLANS
- TYPE X GYP. BD. FOR GARAGE CEILINGS BENEATH HABITABLE ROOMS SHALL BE INSTALLED PERPENDICULAR TO THE CEILING FRAMING AND SHALL BE FASTENED AT MAXIMUM 6 INCHES O.C. BY MINIMUM 1-7/8" 6d COATED NAILS OR EQUIVALENT DRYWALL SCREWS AS PER (IRC R702.3.5 FOOTNOTE e)
- SLAB ON GRADE REMOVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL IN AREA WITHIN FOUNDATION WALLS AS PER (IRC 506.2)
- ALL JOINTS, SEAMS AND OTHER CONNECTIONS IN DUCTWORK SHALL BE SECURELY FASTENED AND SEALED.

Selkirk Design Company LLC, a residential design firm and not being an engineering firm stands no liability for structural or architectural design integrity. Every effort has been made to ensure all dimensions are correct and governmental regulations have been met. If an error or omission does occur it is the sole responsibility of the contractor and/or the owner to correct the error and/or omission at his own expense and not the responsibility of Selkirk Design Company.



LEGEND

SETBACK LINE	---
EASEMENT	----
PROPERTY LINE
BUILDING OUTLINE	_____
STREET CENTERLINE	-----
DRIVEWAY	=====

SITE INFO.	
ZONE:	SUB PRIME RM
SETBACKS:	
STREET:	15'
FLANKING STREET:	10'
SIDE YARD:	5'
INTERIOR YARD:	3'
REAR:	1'
MAX. ALLOWED COVERAGE:	N/A
COVERAGE:	29.1%
MAX. BLDG. HT.:	35'
BLDG. HT.:	26'-9"

PROPERTY LINES ARE APPROXIMATE AND WERE BASED OFF THE GIS



CHURCH ST. TOWNHOMES 19W
1331 CHURCH ST.
SANDPOINT, ID 83864

SITE PLAN
COVER PAGE/

SCALE: 3/32"=1'-0"

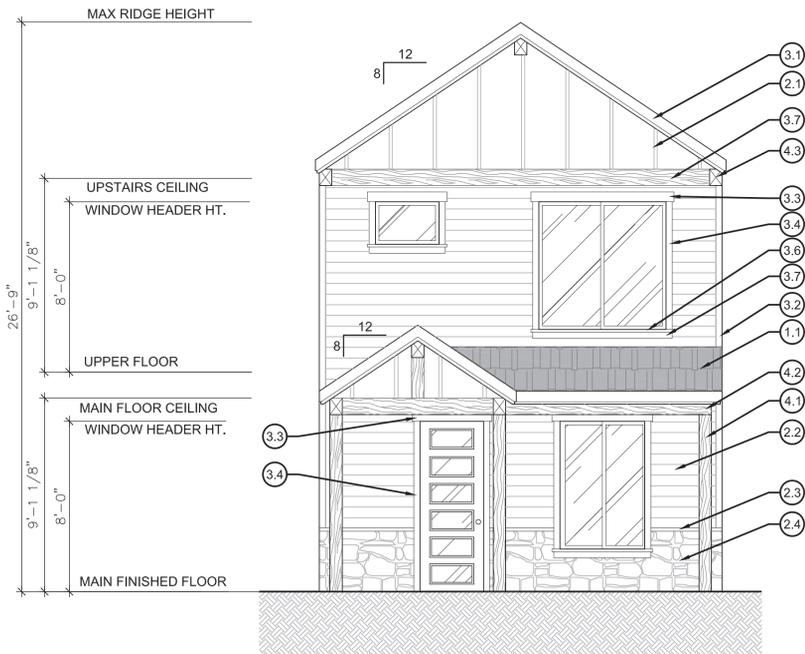
SCALES SHOWN ARE FOR
24" X 36" PRINTS ONLY
DATE: 08-04-2025

THE DIMENSIONS
SHOWN ON THE
PLANS SHALL BE
ATTAINED WITHIN
LIMITS OF
PRECISION THAT
GOOD CONSTRUCTION
PRACTICES
WILL PERMIT



SITE PLAN SCALE 3/32"=1'-0"
CITY OF SANDPOINT, ID 83864

A-0



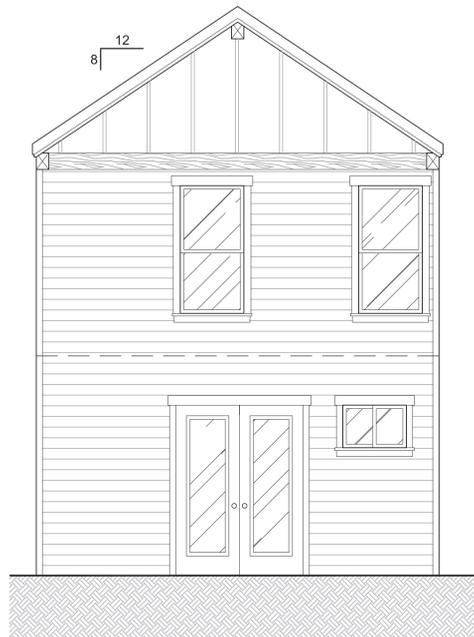
STREET FACADE GLAZING	
TOTAL WINDOW COVERAGE	= 90 SQ. FT.
TOTAL WALL AREA	= 448 SQ. FT.
PERCENT COVERED	= 20.0%

1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

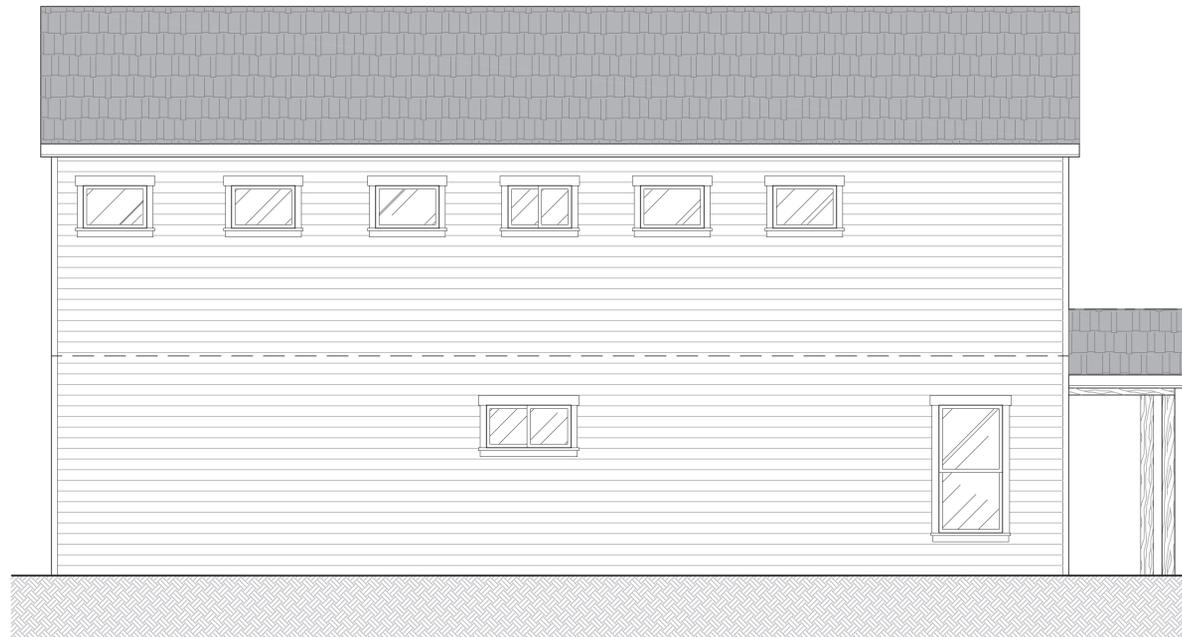


STREET FACADE GLAZING	
TOTAL WINDOW COVERAGE	= 215 SQ. FT.
TOTAL WALL AREA	= 944 SQ. FT.
PERCENT COVERED	= 22.8%

2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

ROOF KEYNOTES	
1.1	30 YEAR ASPHALT COMPOSITION SHINGLES OVER 15# BUILDING FELT (DOUBLE AT EAVES) ON 7/16" SOLID APA RATED SHEATHING WITH H-CLIPS, PREFABRICATED ROOF TRUSSES AT 24" O.C., 5/8" GYP. BD. CEILING FINISH, R-38 INSULATION.
WALL KEYNOTES	
2.1	PANEL SIDING W/ PROTRIM BATTS @ 16" O.C.
2.2	8" HARDI-PLANK LAP SIDING OVER TYVEK BLDG. WRAP
2.3	CULTURED STONE WATER TABLE W/FLASHING AT TOP EDGE
2.4	CULTURE STONE VENEER WAINSCOTING
TRIM KEYNOTES	
3.1	6" PROTRIM TRIM OVER 5/4"x8" FASCIA
3.2	5/4" X 4" PROTRIM CORNER
3.3	5/4" X 6" PROTRIM HEADPIECE W/ FLASHING AT TOP EDGE
3.4	5/4" X 4" LEG TRIM
3.5	5/4" X 4" APRON
3.6	BEVELED CUT 2X4 PROJECTED SILL
3.7	5/4x10 SMART TRIM
POST KEYNOTES	
4.1	8x8 POST
4.2	STRUCTURAL BEAM - REFER TO FRAMING PLANS
4.3	8x10 CORBEL

THESE CALL-OUTS ARE TYPICAL AND MEANT TO BE CARRIED THROUGHOUT THE DESIGN, THEREFORE NOT ALL ELEMENTS OF DESIGN HAVE BEEN CALLED OUT TO MINIMIZE REDUNDANCY. COORDINATE THROUGH CONTRACTOR/OWNER FOR QUESTIONS.

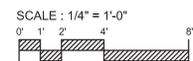
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ELEVATIONS

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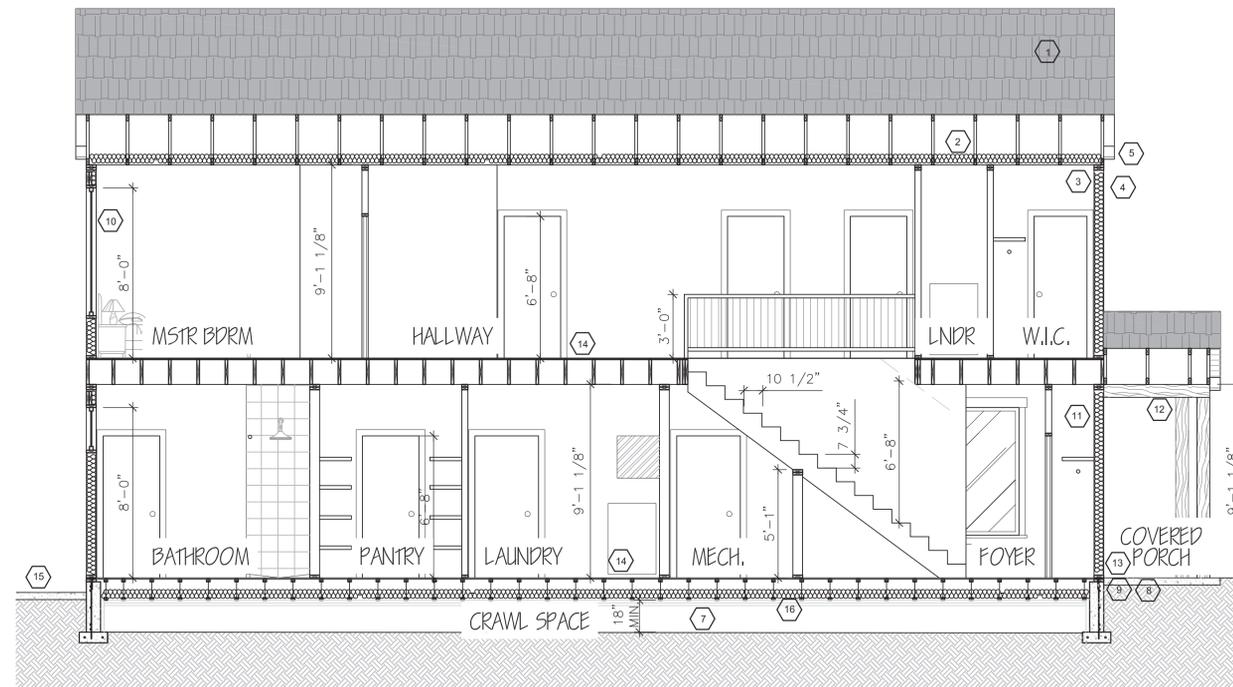
THE DIMENSIONS SHOWN ON THE PLANS SHALL BE ATTAINED WITHIN LIMITS OF PRECISION THAT GOOD CONSTRUCTION PRACTICES WILL PERMIT

A-1



BUILDING SECTION KEY NOTES:

- 1 COMP. SHINGLE ROOFING OVER 15# FELT, 7/16" SOLID APA RATED SHEATHING (MIN. SPAN RATING 32/16) AND PRE-ENGINEERED TRUSSES AT 24" O.C. OR 2x OVERFRAMED RAFTERS-SEE ROOF FRAMING PLAN.
- 2 R-38 MIN. INSULATION PROVIDE 1" AIR GAP AT EAVES WITH INSULATION BAFFLE.
- 3 1/2" G.W.B. ON WALLS W/ PVA (POLYVINYL ACETATE) 6 MIL VAPOR BARRIER, 5/8" ON CEILINGS.
- 4 7/16" STRUCTURAL PANEL SHEATHING OVER 2x6 STUDS AT 16" O.C. w/ R-21 INSULATION.
- 5 COMPOSITE WOOD FASCIA PANEL.
- 6 COMPOSITE WOOD SOFFIT PANEL WITH CONTINUOUS EAVE VENT.
- 7 6 MIL VAPOR BARRIER
- 8 4" CONCRETE SLAB OVER COMPACTED STRUCT. FILL OVER 6 MIL VAPOR BARRIER
- 9 REINF. CONC. FOUNDATION WALL, VERIFY FOUNDATION WALL STEPS WITH FINAL GRADE AND ADJUST WALL HEIGHTS AS REQUIRED. REFER TO FOUNDATION PLAN.
- 10 DUAL GLAZED WINDOW, REFER TO FLOOR PLANS AND ENERGY CALCS FOR ADDITIONAL REQUIREMENTS (LOW E, ETC.)
- 11 R-21 BATT WALL INSULATION
- 12 STRUCTURAL BEAM, REFER TO ROOF AND FLOOR FRAMING PLANS.
- 13 CONTRACTOR IS TO PROVIDE AND INSTALL SILL PLATE W/ 1/2" DIA. x16" ANCHOR BOLTS EMBEDDED IN CONCRETE 7" MIN. @ 6'-0" O.C. W/ BOLT LOCATED 1'-0" MIN. FROM END OF EACH PIECE.
- 14 3/4" T&G SHEATHING OVER PRE-ENGINEERED FLOOR JOIST - SEE FLOOR FRAMING PLAN
- 15 PROPOSED LINE OF EXTERIOR GRADE
- 16 R-30 BATT FLOOR INSULATION



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

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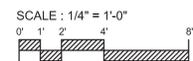
SECTIONS

SCALE: 1/4" = 1'-0"

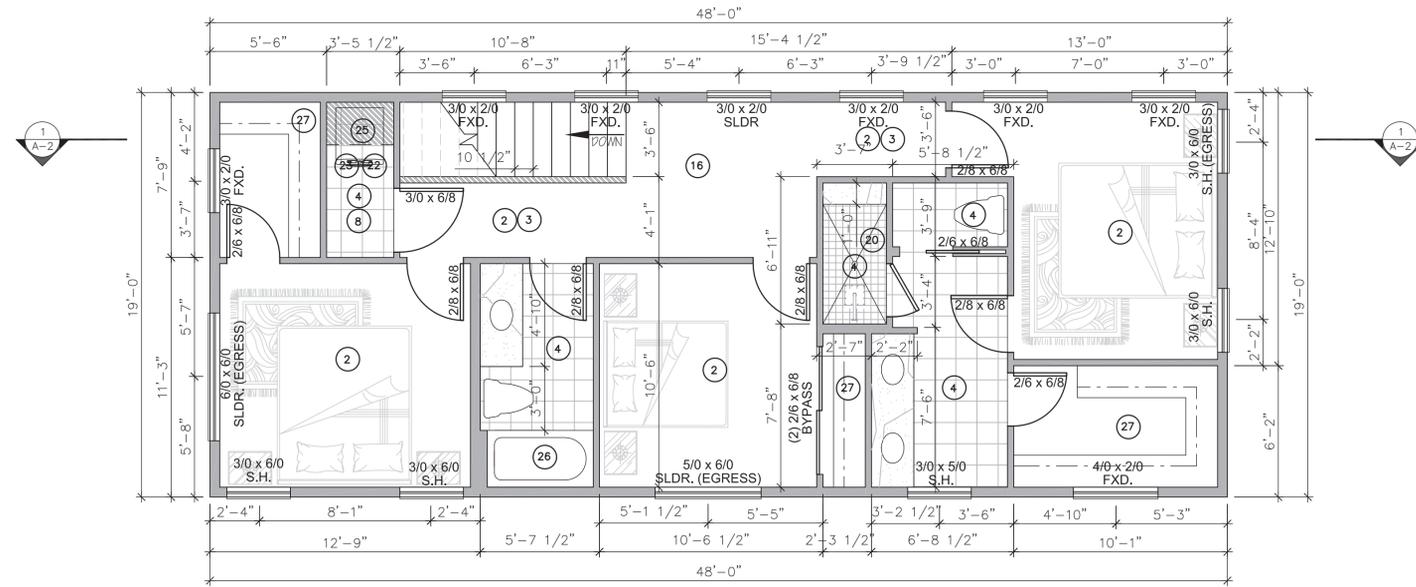
SCALES SHOWN ARE FOR 24" X 36" PRINTS ONLY

DATE: 06-05-2025

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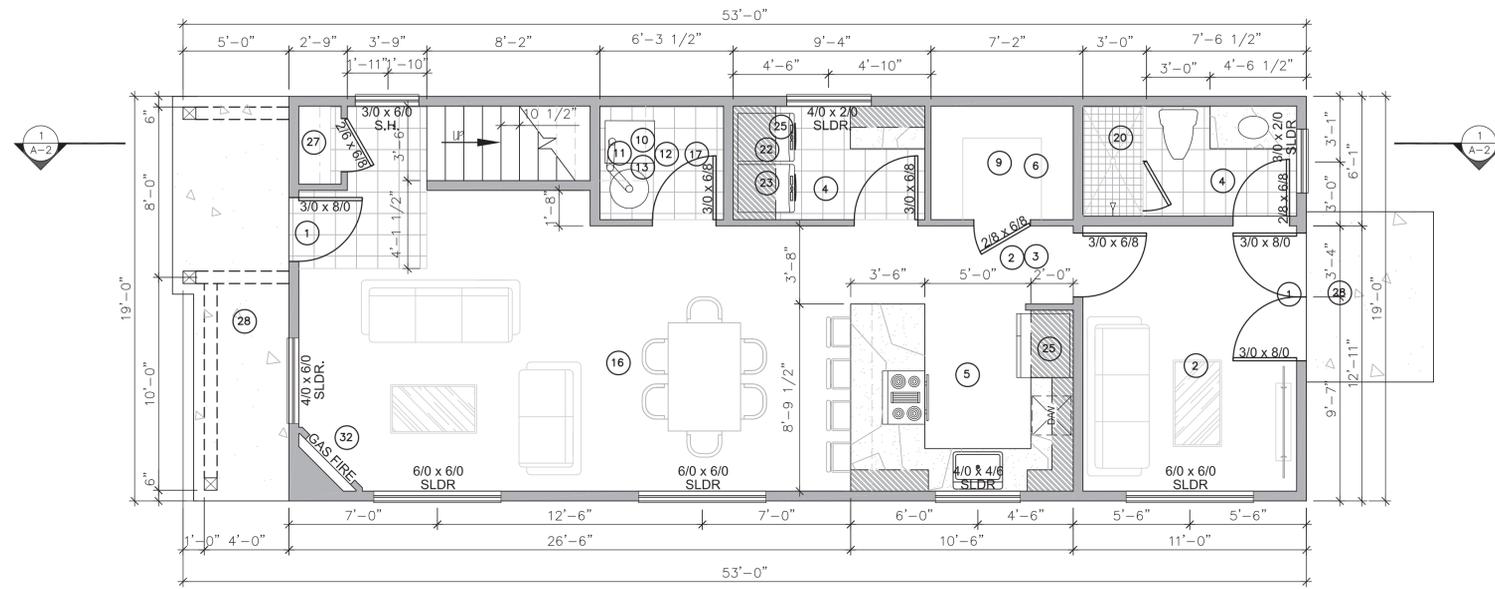


A-2



1 UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"
FINISHED SPACE = 912 S.F.



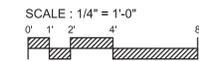
2 MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"
FINISHED SPACE = 912 S.F.
COVERED PORCH = 77 S.F.
BACK PATIO = 48 S.F.

FLOOR PLAN KEYNOTES	
LANDINGS AT DOORS:	THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EACH EXTERIOR DOOR.
EXCEPTION:	WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE OF A DOOR, OTHER THAN THE REQUIRED EXIT DOOR, A LANDING IS NOT REQUIRED.
1	FLOOR OR LANDING AT REQUIRED EXIT DOORS SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD.
	FLOOR OR LANDING AT EXTERIOR DOORS OTHER THAN REQUIRED EXIT DOORS SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING.
2	SMOKE DETECTORS: PROVIDE SMOKE DETECTORS INSIDE OF ALL SLEEPING ROOMS AND CENTERED IN CORRIDORS USED FOR BEDROOMS. WIRE DIRECT WITH BATTERY BACKUP.
3	CARBON MONOXIDE DETECTOR IN CORRIDORS OUTSIDE SLEEPING ROOMS
4	BATH & LAUNDRY EXHAUST FAN: MINIMUM 50 CFM FAN VENTED TO EXTERIOR WITH SMOOTH DUCT AND EQUIPPED WITH BACK-DRAFT DAMPER AT TERMINATION POINT. TERMINATION POINT SHALL NOT BE WITHIN 3 FEET OF OPENINGS INTO THE BUILDING.
5	KITCHEN: 100 CFM MIN. VENTED OUTSIDE ON SEPARATE TERMINATION POINT, AND DUCT SHALL BE EQUIPPED WITH BACK-DRAFT DAMPER. DUCT SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES.
6	PANTRY - EQUALLY SPACED SHELVES
7	OCCUPANCY SEPARATION: SEPARATION BETWEEN GARAGE AND LIVING AREAS. PROTECT WALLS, CEILING, SUPPORT BEAMS AND POSTS WITH (1) LAYER 5/8" TYPE "X" G.W.B. ON WALLS. (2) LAYERS 5/8" TYPE "X" G.W.B. ON CEILINGS WITH HABITABLE SPACE ABOVE.
8	ATTIC ACCESS: PROVIDE 22"x30" MIN. ATTIC ACCESS WITH 30" CLEAR HEADROOM. (INSULATED TO CEILING INSULATION VALUE)
9	CRAWL SPACE ACCESS: PROVIDE 18"x24" MIN. CRAWL SPACE ACCESS (INSULATED TO FLOOR INSULATION VALUE)
10	ALL HEATING, VENTILATING, AIR CONDITIONING, AND WATER HEATING EQUIPMENT SHALL MEET ALL OF THE REQUIREMENTS OF THE APPLIANCE EFFICIENCY STANDARDS AND SHALL BE CERTIFIED TO THE GOVERNING STATE ENERGY COMMISSION.
11	THERMOSTATS SHALL BE EQUIPPED WITH AN AUTOMATIC SETBACK. AT LEAST ONE PROGRAMMABLE THERMOSTAT IS REQUIRED.
12	EQUIPMENT WHICH REQUIRES PREVENTIVE MAINTENANCE TO MAINTAIN EFFICIENT OPERATION SHALL BE FURNISHED WITH COMPLETE NECESSARY MAINTENANCE INFORMATION.
13	ALL GAS-FIRED TYPE CENTRAL FURNACES, GAS-FIRED FAN TYPE WALL FURNACES, AND COOKING APPLIANCES SHALL BE EQUIPPED WITH AN INTERMITTENT IGNITION DEVICE. ALL GAS WATER HEATERS, FURNACES, FIREPLACES SHALL TAKE COMBUSTION AIR DIRECTLY FROM THE EXTERIOR OF THE BUILDING, AND SHALL BE VENTED BY EITHER FORCED DRAFT, DIRECT VENTING OR OTHER SIMILAR VENTING METHODS.
14	EQUIPMENT PLATFORM. 18" HIGH X 36" DEEP X PLAN WIDTH.
15	SAFETY GLASS REQUIRED AT LOCATIONS NOTED ON PLANS.
16	MIN. 90% OF FIXED LIGHT FIXTURES MUST HAVE HIGH EFFICACY LAMPS.
17	MECHANICAL CHASE
18	3/0 X 6/8 20 MINUTE FIRE RATED DOOR WITH SELF-CLOSING HINGES.
19	NOT USED
20	TILE WALK-IN SHOWER - HALF WALL W/ GLASS
21	LINEN CLOSET - EQUALLY SPACED SHELVES
22	DRYER LOCATION-PROVIDE VENT TO OUTSIDE WITH DAMPER IRC M1502
23	WASHER LOCATION-PROVIDE HOT AND COLD WATER WITH DRAIN BOX IN WALL
24	WOOD FIREPLACE WITH CULTURED STONE - FACE AND HEARTH TO CEILING AND INCLUDE WOOD STRG. INSTALL GAS SELF IGNITER.
25	UPPER CABINETRY
26	FIBERGLASS TUB INSERT
27	SHELF AND ROD CLOSET SYSTEM
28	CONCRETE PATIO W/ BROOM FINISH
29	BEAM COLUMN ACCENT
30	HALF WALL
31	EARTHWORK RETAINING WALLS-FIELD VERIFY
32	GAS FIREPLACE WITH CULTURED STONE - FACE AND HEARTH TO CEILING

R315.1 CARBON MONOXIDE ALARM SYSTEM OUTSIDE EACH SEPARATE SLEEPING AREA IN IMMEDIATE VICINITY OF THE BEDROOMS

NUMBERS ARE NON SEQUENTIAL AND FOR REFERENCE ONLY



CHURCH ST. TOWNHOMES 19W
1331 CHURCH ST.
SANPOINT, ID 83864

FLOOR PLANS

SCALE: 1/4" = 1'-0"
SCALES SHOWN ARE FOR 24" X 36" PRINTS ONLY
DATE: 06-05-2025

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ATTIC VENT CALCULATION

1 SQ. FT. NET AREA / 150 SQ. FT. ATTIC AREA
 $\frac{912 \text{ sf (ATTIC AREA)}}{150} \times 144 = 876 \text{ sq. in. (TTL REQ'D)}$

VENTS PROVIDED
 48 # RIDGE VENT AT 13.5 sq. in./LIN. FT. = 648 sq. in. NET
 36 # 1/2" EAVE VENT AT 6sq. in./LIN. FT. = 576 sq. in. NET

TTL NET AREA PROVIDED 1224 SQ. IN. NET

PROVIDE RIDGE AND HIP VENTING INTEGRAL TO COMPOSITE SHINGLE ROOF SYSTEM.
 PROVIDE CONTINUOUS SCREENED SOFFIT VENTS W/ INSULATION BAFFLES.

APA RATED ROOF SHEATHING NAILED
 8dx2 1/2" @ 6" O.C. ON EDGES, 12" O.C. IN FIELD

FRAMING NOTES ROOF FRAMING

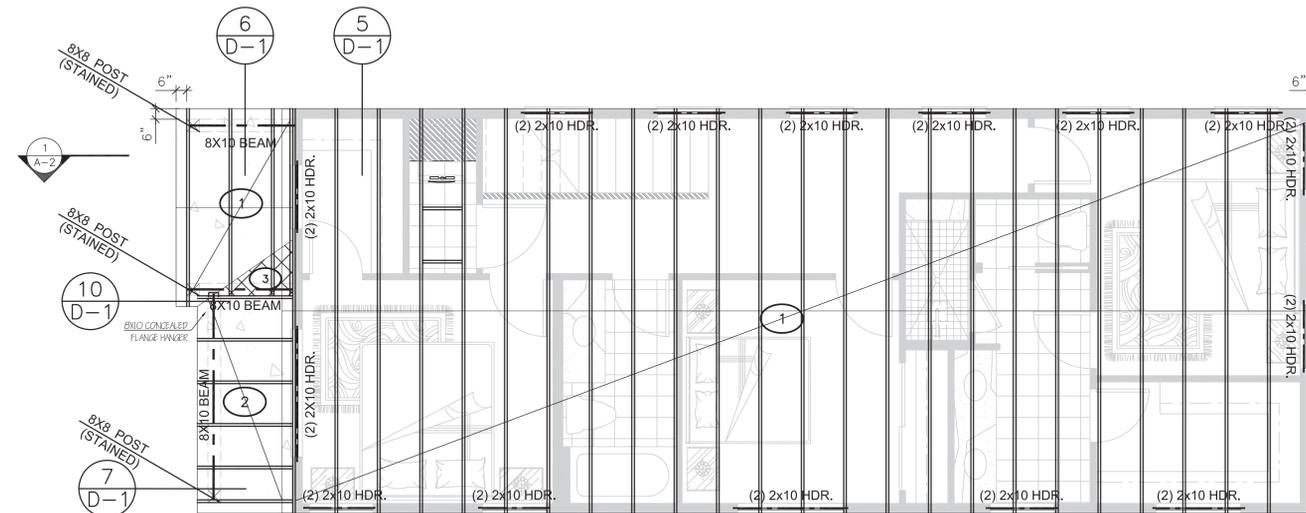
- 1 PREFABRICATED STANDARD ROOF TRUSS AT 24" O.C. DESIGNED AND ENGINEERED BY THE TRUSS MANUFACTURER.
- 2 PREFABRICATED MONO-TRUSSES AT 24" O.C. DESIGNED AND ENGINEERED BY THE TRUSS MANUFACTURER.
- 3 2X10 DF #2 OVER-FRAMING AT 24" O.C. OR PRE ENGINEERED TRUSS OVER FRAMING BY SUPPLIER

TRUSS LAYOUT SHOWN HERE IS MEANT ONLY AS A SCHEMATIC. THE TRUSS MANUFACTURER SHALL PROVIDE A TRUSS LAYOUT THAT IS BEST SUITED

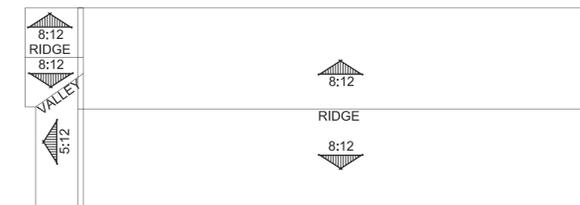
TRUSS PLANS ON SITE DURING FRAMING INSPECTION

TRUSS NOTES

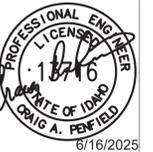
1. MANUFACTURED WOOD TRUSS SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE I.R.C., AND CONSTRUCTED IN THE SHOP OF AN APPROVED FABRICATOR, CERTIFIED BY THE BUILDING DEPARTMENT IN ACCORDANCE WITH I.R.C. STANDARDS, AND SHALL BE SO STAMPED.
2. SUPPLIER SHALL SUBMIT ENGINEERED SHOP DRAWINGS AND CALCULATIONS, SIGNED BY A STATE CERTIFIED ENGINEER, FOR REVIEW AND APPROVAL. TO THE BUILDER, DESIGN ENGINEER AND THE BUILDING DEPARTMENT PRIOR TO FABRICATION.
3. PROTECT TRUSSES AT TIME OF DELIVERY FROM PACKING AND OTHER DAMAGE. STORE TRUSSES A MINIMUM OF 4" ABOVE GRADE ON SOLID BLOCKING.
4. PROVIDE TEMPORARY BRACING DURING TRUSS INSTALLATION AS REQUIRED BY TRUSS ENGINEER AND AS SHOWN ON TRUSS SHOP DRAWINGS.
5. VERIFY SIZE AND TYPE OF TRUSS HANGERS WITH THE MANUFACTURER PRIOR TO INSTALLATION.
6. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS SPECIFICATIONS.
7. ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OR ENGINEERING CALCULATIONS.
8. ENGINEERED TRUSS SHEETS MUST BE ON THE JOB SITE FOR FRAMING INSPECTION
9. NON BEARING WALLS SHOULD BE HELD DOWN FROM THE TRUSS BOTTOM CHORD W/ SIMPSON STC TO INSURE THAT THE TRUSS BOTTOM CHORD WILL NOT BEAR ON THE WALL.
10. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.
11. SIMPSON H-2.5 HURRICANE CLIPS @ EACH TRUSS
12. PROVIDE MAX INTERIOR VAULT PITCH WHEN VAULTS ARE INDICATED
13. ROOF OVERHANGS TO BE 12" AT GABLE ENDS AND 16" AT EAVES UNLESS NOTED OTHERWISE ON PLANS.
14. ALL HEADERS TO BE (2) 2X10'S WITH SINGLE TOP PLATE OVER AND (2) JACK STUDS UNLESS OTHERWISE NOTED. OPENINGS OVER 5' REQUIRE (4) JACK STUDS, (2) PER SIDE.



1 ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"



2 ROOF PLAN
 SCALE: 1/4" = 1'-0"



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 1331 CHURCH ST.
 SANPOINT, ID 83864

ROOF FRAMING PLAN

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A-6

REQUIRED BRACED WALL / R602.10.1.2
 MINIMUM TOTAL LENGTH OF BRACED WALL PANELS AS A FUNCTION OF BRACED WALL LINE SPACING

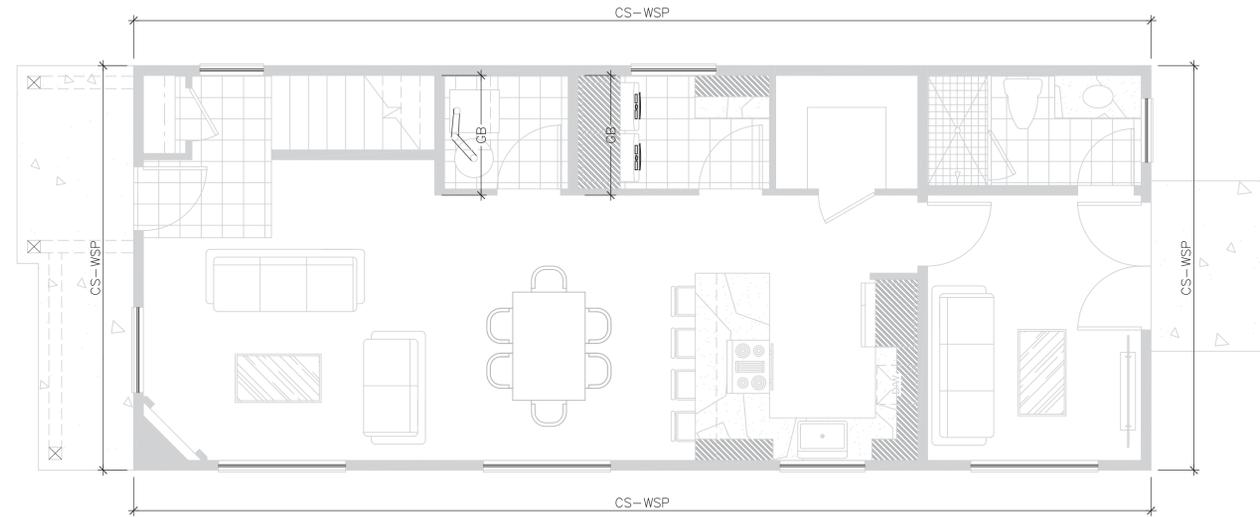
FIRST FLOOR OF A ONE STORY STRUCTURE AND SECOND FLOOR OF A TWO STORY STRUCTURE
 MINIMUM TOTAL LENGTH OF BRACED WALL PANELS REQUIRED ALONG EACH BRACED WALL LINE

FREQUENCY	MIN. TOTAL LENGTH	ADJUSTMENT FOR 15' EAVE TO RIDGE (X 1.30)	9" PLATE ADJUSTMENT MULTIPLIER (X .95)	ADJUSTMENT FOR (3) BRACED WALL LINES (X 1.30)	ADJUSTMENT FOR (4) BRACED WALL LINES (X 1.45)
60" BRACED WALL LINE SPACING	9.0'	11.70'	11.11'	14.44'	16.10'
50" BRACED WALL LINE SPACING	7.5'	9.75'	9.26'	12.03'	13.42'
40" BRACED WALL LINE SPACING	6.0'	7.80'	7.41'	9.63'	10.74'
30" BRACED WALL LINE SPACING	5.0'	6.50'	6.17'	8.02'	8.94'
20" BRACED WALL LINE SPACING	3.5'	4.55'	4.32'	5.61'	6.26'
10" BRACED WALL LINE SPACING	2.0'	2.60'	2.47'	3.21'	3.58'

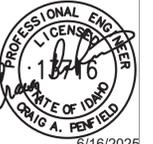
REQUIRED LENGTH FOR INDIVIDUAL BRACED WALL PANEL			
METHOD	ADJACENT OPENING HEIGHT	WALL HEIGHT	MIN. BRACED WALL PANEL LENGTH
CS-WSP	UP TO 80"	9'-0"	30"
	84"		33"
	88"		36"
	92"		39"
	96"		42"
GB	N/A	9'-0"	96"-SINGLE SIDED, 48"-DOUBLE SIDED
CS-PF	80"	9'-3"	18.5" (6:1 HEIGHT-TO-LENGTH RATIO)

BRACED WALL METHODS

- CS-WSP ENTIRE EXTERIOR SHALL BE CONTINUOUSLY SHEATHED W/ 7/16" OSB AND FASTENED W/ 8d COMMON NAILS AT 6" O.C. AT EDGES AND 12" O.C. AT FIELD
- CS-PF BRACED WALL PANELS LESS THAN 33" W REFER TO $\frac{1}{D-2}$
- GB INTERIOR BRACED WALLS SHALL CONSIST OF 1/2" GYPSUM WALL BOARD FASTENED WITH 1 1/4" TYPE W OR S SCREWS AT 7" O.C. AT EDGES AND 7" O.C. AT FIELD. (NO HORIZONTAL BLOCKING REQUIRED AT PANEL JOINTS)
- WITH 1 5/8" TYPE W OR S SCREWS AT 7" O.C. AT EDGES AND 7" O.C. AT FIELD. (NO HORIZONTAL BLOCKING REQUIRED AT PANEL JOINTS)
- CONNECT BRACED WALL PANELS TO FLOOR PER $\frac{-}{D-2}$



1 BRACED WALL PLAN
 SCALE: 1/4" = 1'-0"



CHURCH ST. TOWNHOMES 19W
 1331 CHURCH ST.
 SANPOINT, ID 83864

BRACED WALL PLAN

SCALE: 1/4" = 1'-0"
 SCALES SHOWN ARE FOR 24" X 36" PRINTS ONLY
 DATE: 06-05-2025

THE DIMENSIONS SHOWN ON THE PLANS SHALL BE ATTAINED WITHIN LIMITS OF PRECISION THAT GOOD CONSTRUCTION PRACTICES WILL PERMIT

A-7

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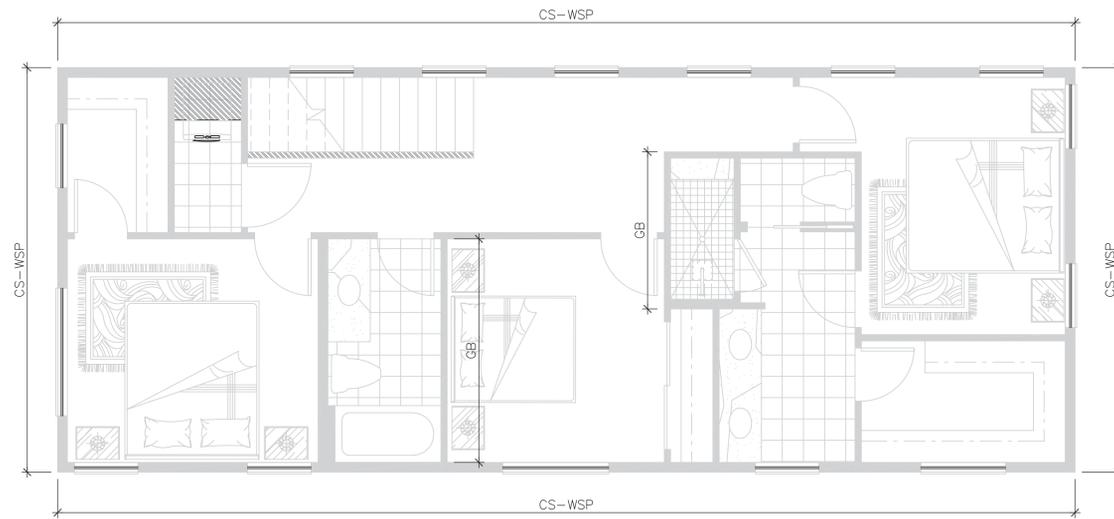
REQUIRED BRACED WALL / R602.10.1.2
 MINIMUM TOTAL LENGTH OF BRACED WALL PANELS AS A FUNCTION OF BRACED WALL LINE SPACING

FREQUENCY	MIN. TOTAL LENGTH	ADJUSTMENT FOR 15' EAVE TO RIDGE (X 1.30)	9" PLATE ADJUSTMENT MULTIPLIER (X .95)	ADJUSTMENT FOR (3) BRACED WALL LINES (X 1.30)	ADJUSTMENT FOR (4) BRACED WALL LINES (X 1.45)
60" BRACED WALL LINE SPACING	9.0'	11.70'	11.11'	14.44'	16.10'
50" BRACED WALL LINE SPACING	7.5'	9.75'	9.26'	12.03'	13.42'
40" BRACED WALL LINE SPACING	6.0'	7.80'	7.41'	9.63'	10.74'
30" BRACED WALL LINE SPACING	5.0'	6.50'	6.17'	8.02'	8.94'
20" BRACED WALL LINE SPACING	3.5'	4.55'	4.32'	5.61'	6.26'
10" BRACED WALL LINE SPACING	2.0'	2.60'	2.47'	3.21'	3.58'

REQUIRED LENGTH FOR INDIVIDUAL BRACED WALL PANEL			
METHOD	ADJACENT OPENING HEIGHT	WALL HEIGHT	MIN. BRACED WALL PANEL LENGTH
CS-WSP	UP TO 80"	9'-0"	30"
	84"		33"
	88"		36"
	92"		39"
	96"		42"
GB	N/A	9'-0"	96"-SINGLE SIDED, 48"-DOUBLE SIDED
CS-PF	80"	9'-3"	18.5" (6:1 HEIGHT-TO-LENGTH RATIO)

BRACED WALL METHODS

- ENTIRE EXTERIOR SHALL BE CONTINUOUSLY SHEATHED W/ 7/16" OSB AND FASTENED W/ 8d COMMON NAILS AT 6" O.C. AT EDGES AND 12" O.C. AT FIELD
- BRACED WALL PANELS LESS THAN 33" W REFER TO
- INTERIOR BRACED WALLS SHALL CONSIST OF 1/2" GYPSUM WALL BOARD FASTENED WITH 1 1/4" TYPE W OR S SCREWS AT 7" O.C. AT EDGES AND 7" O.C. AT FIELD. (NO HORIZONTAL BLOCKING REQUIRED AT PANEL JOINTS)
- WITH 1 5/8" TYPE W OR S SCREWS AT 7" O.C. AT EDGES AND 7" O.C. AT FIELD. (NO HORIZONTAL BLOCKING REQUIRED AT PANEL JOINTS)
- CONNECT BRACED WALL PANELS TO FLOOR PER



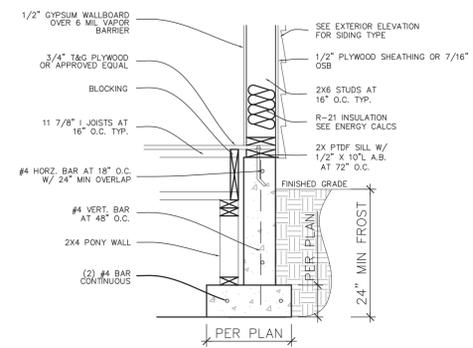
1 UPPER BRACED WALL PLAN
 SCALE: 1/4" = 1'-0"

CHURCH ST. TOWNHOMES 19W
 1331 CHURCH ST.
 SANPOINT, ID 83864

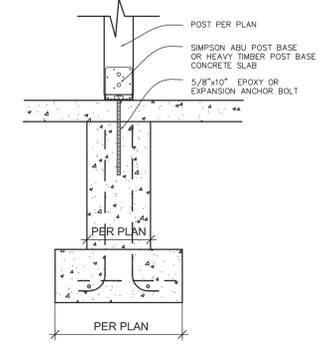
UPPER BRACED
 WALL PLAN

SCALE: 1/4" = 1'-0"
 SCALES SHOWN ARE FOR
 24" X 36" PRINTS ONLY
 DATE: 06-05-2025

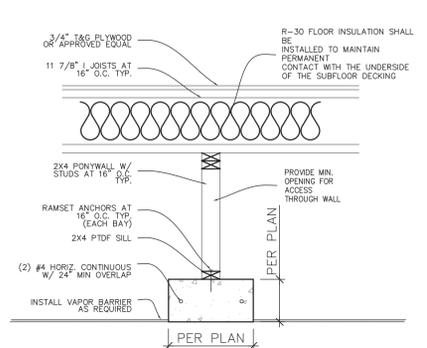
THE DIMENSIONS
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 PLANS SHALL BE
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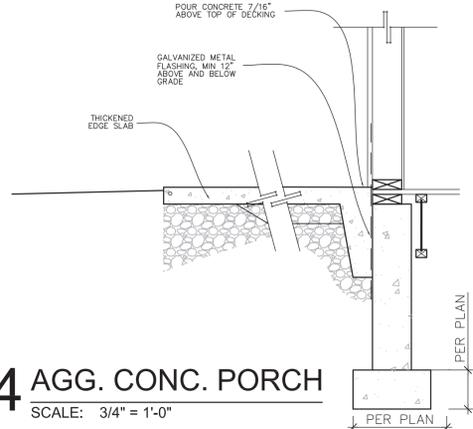
1 EXT. FTG. (DROPPED FLOOR)
SCALE: 3/4" = 1'-0"



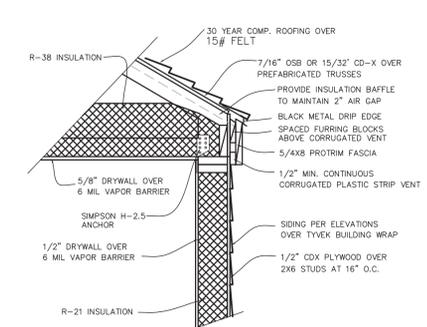
2 PORCH POST DETAIL
SCALE: 3/4" = 1'-0"



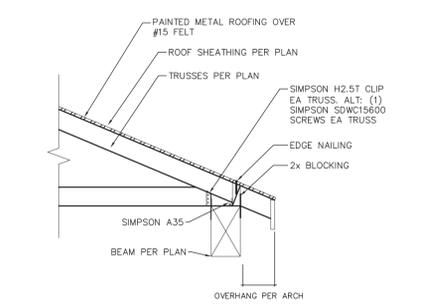
3 INTERIOR FOOTING
SCALE: 3/4" = 1'-0"



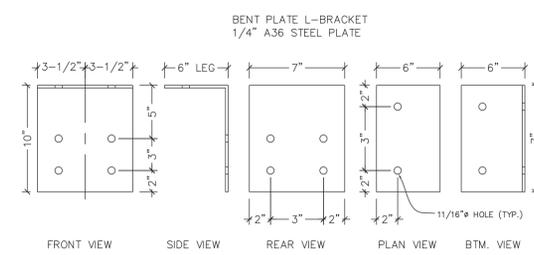
4 AGG. CONC. PORCH
SCALE: 3/4" = 1'-0"



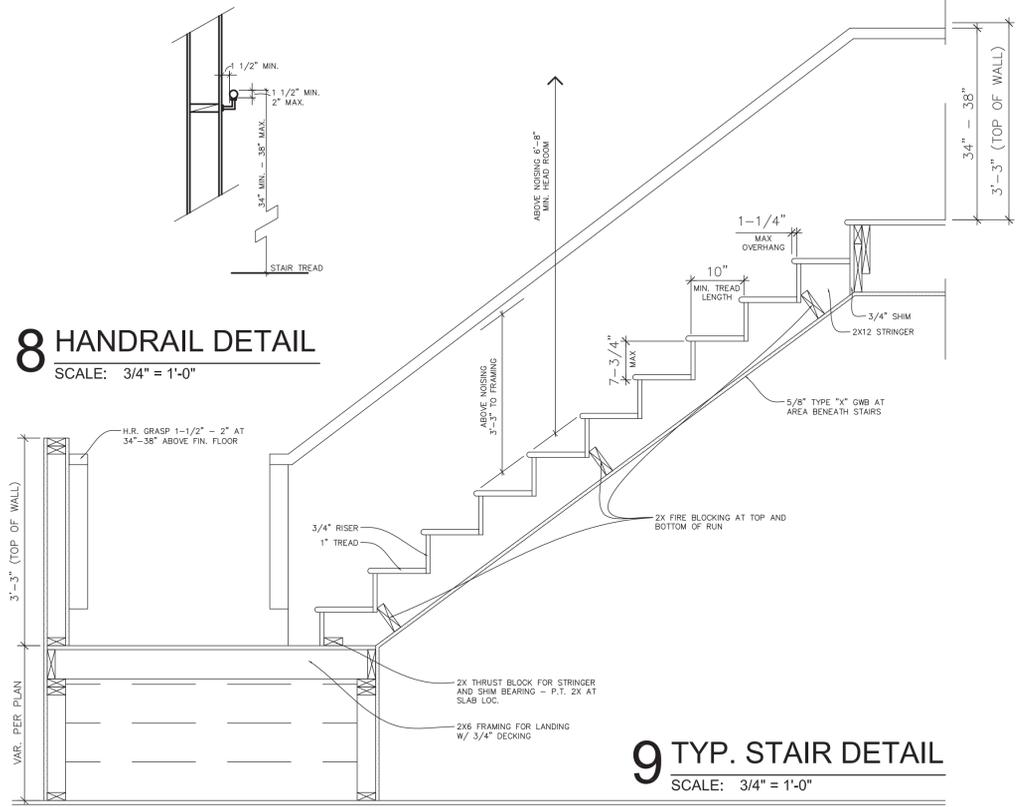
5 TRUSS EAVE
SCALE: 3/4" = 1'-0"



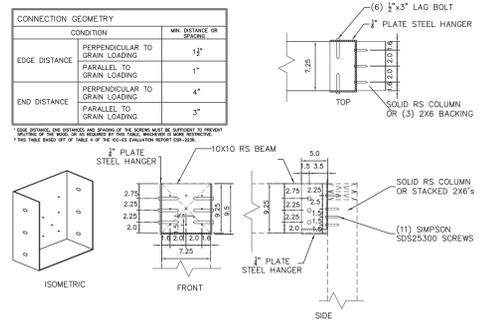
6 TRUSS TO EXTERIOR BEAM
SCALE: 3/4" = 1'-0"



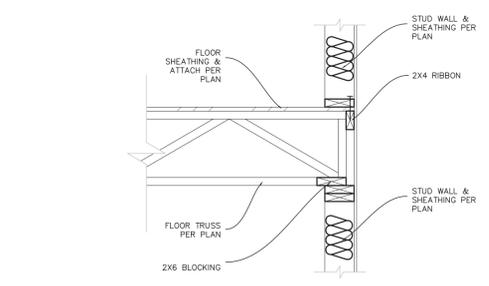
7 ANGLE BRACKET
SCALE: 1-1/2" = 1'-0"



8 HANDRAIL DETAIL
SCALE: 3/4" = 1'-0"



10 8X10 CONCEALED FLANGE HNG
SCALE: N.T.S. 4,200 MAX LOAD



11 FLOOR TRUSS TO WALL
SCALE: 3/4" = 1'-0"

PROFESSIONAL ENGINEER
LICENSED IN THE STATE OF IDAHO
ERIC A. PENFIELD
06/16/2025
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21 SOUTH PINE
SPOKANE, WY 83406
PH: 509-895-2677 FAX: 509-895-0227

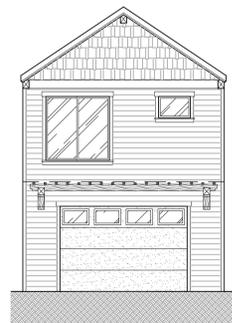
CHURCH ST. TOWNHOMES 19W
1331 CHURCH ST.
SANPOINT, ID 83864

DETAILS

SCALE: 1/4" = 1'-0"
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D-1



CHURCH ST. ADU 19W

AREA SUMMARY

UPPER FLOOR FINISHED	=	499 SQ. FT.
GARAGE	=	499 SQ. FT.
TOTAL COVERAGE	=	499 SQ. FT.
LOT SIZE	=	3558 SQ. FT.

TABLE OF CONTENTS

- A-0 COVER PAGE/SITE PLAN
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- A-6 ROOF FRAMING PLAN
- A-7 MAIN BRACED WALL PLAN
- A-8 UPPER BRACED WALL PLAN
- E-1 MAIN FLOOR ELECTRICAL PLAN
- D-1 DETAILS
- D-2 DETAILS

GENERAL NOTES

THESE PLANS SHALL COMPLY WITH THE FOLLOWING CODES

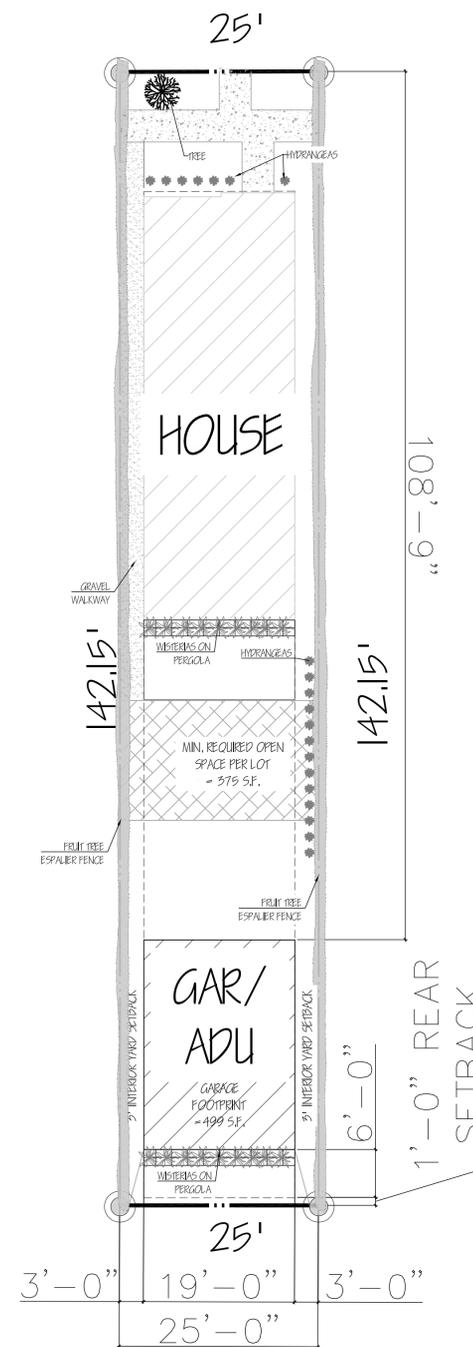
- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- ALL APPLICABLE STATE AND LOCAL CODES

MINIMUM DESIGN STANDARDS

- SEISMIC DESIGN CATEGORY - C
- BASIC WIND SPEED - 90 MPH (115 MPH, 3 SECOND GUSTS)
- FROST DEPTH - 24" MIN.
- ROOF SNOW LOAD - 55 PSF
- SOIL BEARING CAPACITY - 1500 PSF

1. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION AS PER (IECC 402.4.1)
2. LIGHTING - A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HI-EFFICIENCY
3. FASTENERS TO BE USED IN PRESSURE TREATED WOOD SHALL BE MINIMUM HOT DIPPED GALVANIZED STEEL
4. DRYER DUCTING LENGTH - WHERE EXHAUST DUCTS ARE CONCEALED WITHIN BUILDING CONSTRUCTION, THE EQUIVALENT LENGTH SHALL BE IDENTIFIED ON A PERMANENT LABEL OR TAG LOCATED WITHIN 6 FEET OF THE EXHAUST DUCT CONNECTION
5. REFRIGERANT CIRCUIT ACCESS PORTS LOCATED OUTDOORS SHALL BE FITTED WITH LOCKING TYPE TAMPER RESISTANT CAPS AS PER (IRC-M1411.6)
6. FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AS PER (IRC-R315.1)
7. APPROVED CONSTRUCTION DOCUMENTS SHALL BE KEPT AT THE SITE OF WORK AND SHALL BE OPEN TO INSPECTION BY THE BUILDING OFFICIAL AS PER (IRC 106.3.1)
8. VALLEY LINING IS REQUIRED - MAY USE MINIMUM 36" WIDE SMOOTH ROLL ROOFING OR ICE AND WATER SHIELD AS PER (IRC 905.2.8.2)
9. AN ICE BARRIER SHALL BE USED IN LIEU OF NORMAL ROOFING UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING AS PER (IRC R905.2.7.1)
10. FLOOR INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF THE SUBFLOOR DECKING AS PER (IECC 402.2.6)
11. WATER RESISTIVE BARRIER SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS AS PER (IRC R703.2)
12. ALL SHEAR WALLS TO BE MARKED WITH A PAINTED "S" PER THE PLANS
13. TYPE X GYP. BD. FOR GARAGE CEILINGS BENEATH HABITABLE ROOMS SHALL BE INSTALLED PERPENDICULAR TO THE CEILING FRAMING AND SHALL BE FASTENED AT MAXIMUM 6 INCHES O.C. BY MINIMUM 1-7/8" 6d COATED NAILS OR EQUIVALENT DRYWALL SCREWS AS PER (IRC R702.3.5 FOOTNOTE e)
14. SLAB ON GRADE REMOVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL IN AREA WITHIN FOUNDATION WALLS AS PER (IRC 506.2)
15. ALL JOINTS, SEAMS AND OTHER CONNECTIONS IN DUCTWORK SHALL BE SECURELY FASTENED AND SEALED.

Selkirk Design Company LLC, a residential design firm and not being an engineering firm stands no liability for structural or architectural design integrity. Every effort has been made to ensure all dimensions are correct and governmental regulations have been met. If an error or omission does occur it is the sole responsibility of the contractor and/or the owner to correct the error and/or omission at his own expense and not the responsibility of Selkirk Design Company.



LEGEND

- SETBACK LINE - - - - -
- EASEMENT - - - - -
- PROPERTY LINE -
- BUILDING OUTLINE - - - - -
- STREET CENTERLINE - - - - -
- DRIVEWAY - - - - -

SITE INFO.	
ZONE:	SUB PRIME RM
SETBACKS:	
STREET:	15'
FLANKING STREET:	10'
SIDE YARD:	5'
INTERIOR YARD:	3'
REAR:	1'
MAX. ALLOWED COVERAGE:	N/A
COVERAGE:	14.0%
MAX. BLDG. HT.:	35'
BLDG. HT.:	26'-9"

PROPERTY LINES ARE APPROXIMATE AND WERE BASED OFF THE GIS



CHURCH ST. TOWNHOMES 19W
1331 CHURCH ST.
SANDPOINT, ID 83864

SITE PLAN
COVER PAGE/

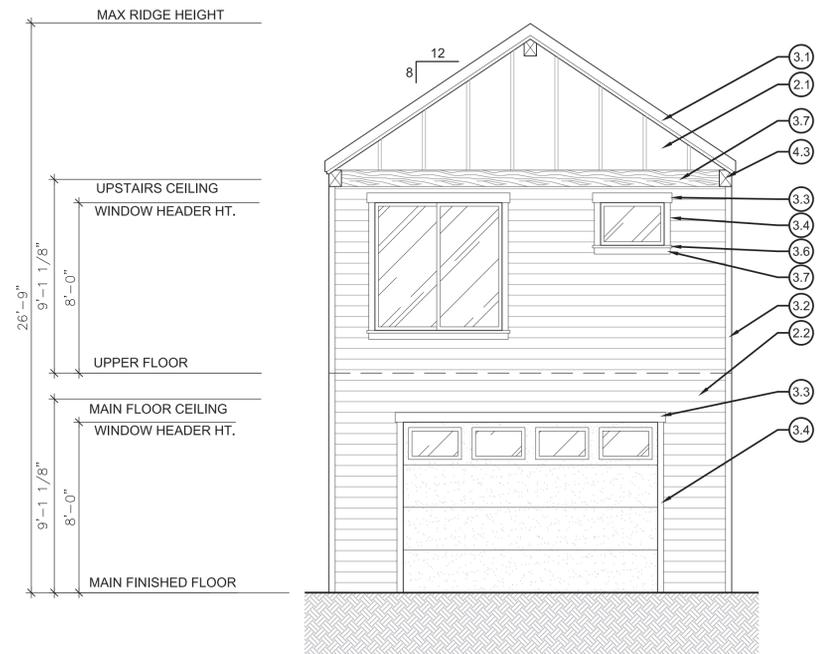
SCALE: 3/32"=1'-0"
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DATE: 08-04-2025

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A-0



SITE PLAN SCALE 3/32"=1'-0"
CITY OF SANDPOINT, ID 83864

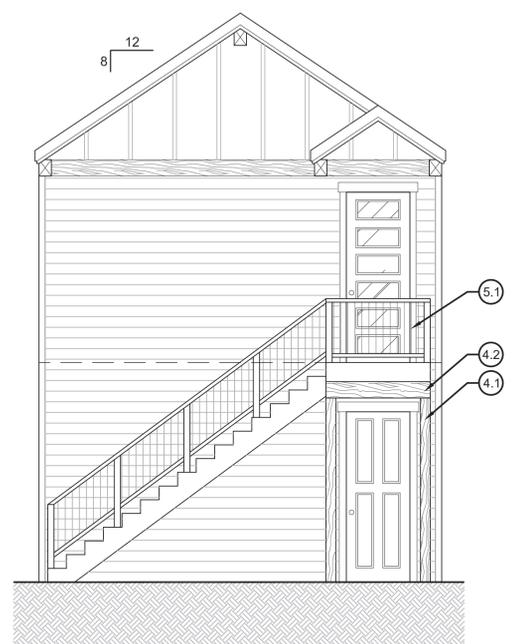


1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

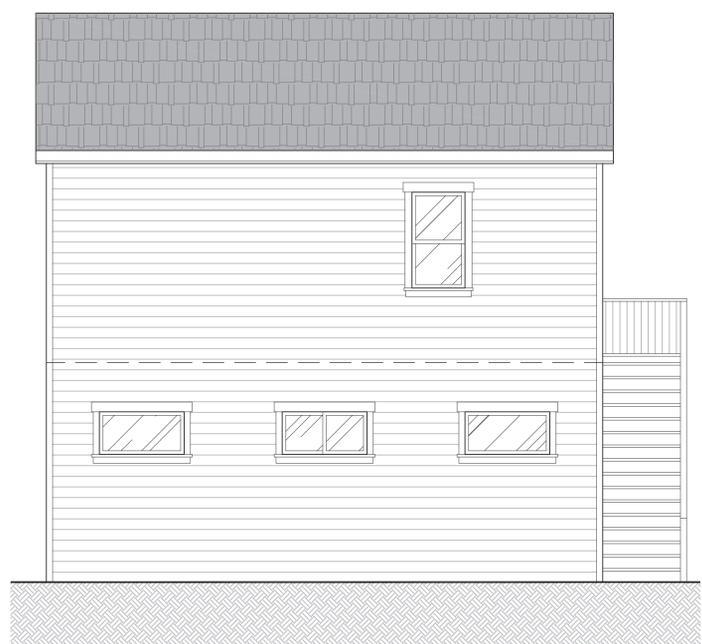


STREET FACADE GLAZING	
TOTAL WINDOW COVERAGE	= 105 SQ. FT.
TOTAL WALL AREA	= 516 SQ. FT.
PERCENT COVERED	= 20.3%

2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

ROOF KEYNOTES	
1.1	30 YEAR ASPHALT COMPOSITION SHINGLES OVER 15# BUILDING FELT (DOUBLE AT EAVES) ON 7/16" SOLID APA RATED SHEATHING WITH H-CLIPS, PREFABRICATED ROOF TRUSSES AT 24" O.C., 5/8" GYP. BD. CEILING FINISH, R-38 INSULATION.
WALL KEYNOTES	
2.1	PANEL SIDING W/ PROTRIM BATTS @ 16" O.C.
2.2	8" HARDI-PLANK LAP SIDING OVER TYVEK BLDG. WRAP
TRIM KEYNOTES	
3.1	6" PROTRIM TRIM OVER 5/4"x8" FASCIA
3.2	5/4" X 4" PROTRIM CORNER
3.3	4" WINDOW AND DOOR TRIM
3.4	5/4" X 6" PROTRIM HEADPIECE W/ FLASHING AT TOP EDGE
3.5	5/4" X 4" LEG TRIM
3.6	5/4" X 4" APRON
3.7	BEVELED CUT 2X4 PROJECTED SILL
3.8	5/4x10 SMART TRIM
POST KEYNOTES	
4.1	6x6 POST
4.2	STRUCTURAL BEAM - REFER TO FRAMING PLANS
4.3	8x10 CORBEL
MISCELLANEOUS KEYNOTES	
5.1	METAL RAILING SYSTEM

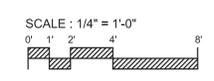
THESE CALL-OUTS ARE TYPICAL AND MEANT TO BE CARRIED THROUGHOUT THE DESIGN, THEREFORE NOT ALL ELEMENTS OF DESIGN HAVE BEEN CALLED OUT TO MINIMIZE REDUNDANCY. COORDINATE THROUGH CONTRACTOR/OWNER FOR QUESTIONS.

CHURCH ST. TOWNHOMES 19W
1331 CHURCH ST.
SANPOINT, ID 83864

ELEVATIONS

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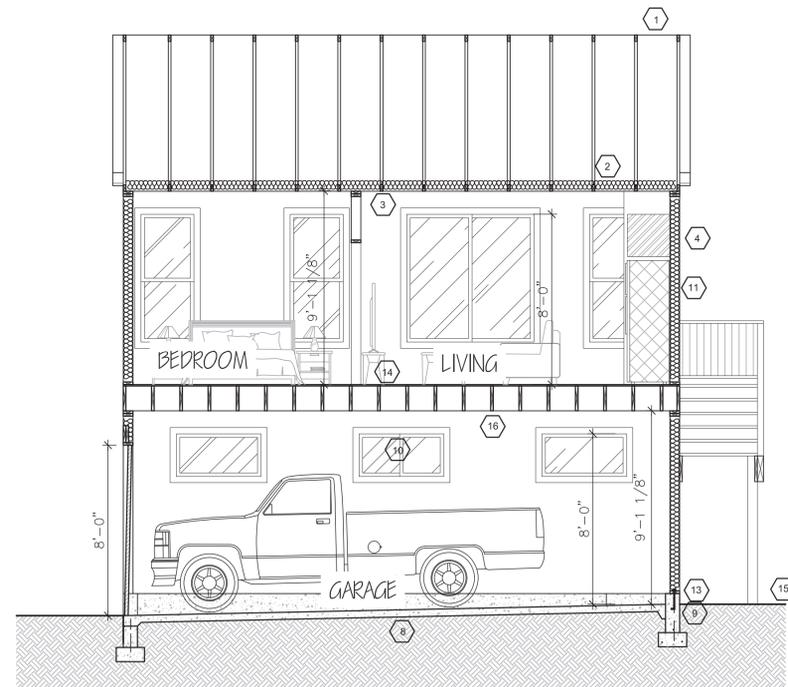
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A-1

BUILDING SECTION KEY NOTES:

- 1 COMP. SHINGLE ROOFING OVER 15# FELT, 7/16" SOLID APA RATED SHEATHING (MIN. SPAN RATING 32/16) AND PRE-ENGINEERED TRUSSES AT 24" O.C. OR 2x OVERFRAMED RAFTERS-SEE ROOF FRAMING PLAN.
- 2 R-38 MIN. INSULATION PROVIDE 1" AIR GAP AT EAVES WITH INSULATION BAFFLE.
- 3 1/2" G.W.B. ON WALLS W/ PVA (POLYVINYL ACETATE) 6 MIL VAPOR BARRIER, 5/8" ON CEILINGS.
- 4 7/16" STRUCTURAL PANEL SHEATHING OVER 2x6 STUDS AT 16" O.C. w/ R-21 INSULATION.
- 5 COMPOSITE WOOD FASCIA PANEL.
- 6 COMPOSITE WOOD SOFFIT PANEL WITH CONTINUOUS EAVE VENT.
- 7 6 MIL VAPOR BARRIER
- 8 4" CONCRETE SLAB OVER COMPACTED STRUCT. FILL OVER 6 MIL VAPOR BARRIER
- 9 REINF. CONC. FOUNDATION WALL, VERIFY FOUNDATION WALL STEPS WITH FINAL GRADE AND ADJUST WALL HEIGHTS AS REQUIRED. REFER TO FOUNDATION PLAN.
- 10 DUAL GLAZED WINDOW, REFER TO FLOOR PLANS AND ENERGY CALCS FOR ADDITIONAL REQUIREMENTS (LOW E, ETC.)
- 11 R-21 BATT WALL INSULATION
- 12 STRUCTURAL BEAM, REFER TO ROOF AND FLOOR FRAMING PLANS.
- 13 CONTRACTOR IS TO PROVIDE AND INSTALL SILL PLATE W/ 1/2" DIA. x16" ANCHOR BOLTS EMBEDDED IN CONCRETE 7" MIN. @ 6'-0" O.C. W/ BOLT LOCATED 1'-0" MIN. FROM END OF EACH PIECE.
- 14 3/4" T&G SHEATHING OVER PRE-ENGINEERED FLOOR JOIST - SEE FLOOR FRAMING PLAN
- 15 PROPOSED LINE OF EXTERIOR GRADE
- 16 R-30 BATT FLOOR INSULATION



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

CHURCH ST. TOWNHOMES 19W
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SECTIONS

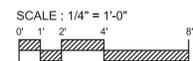
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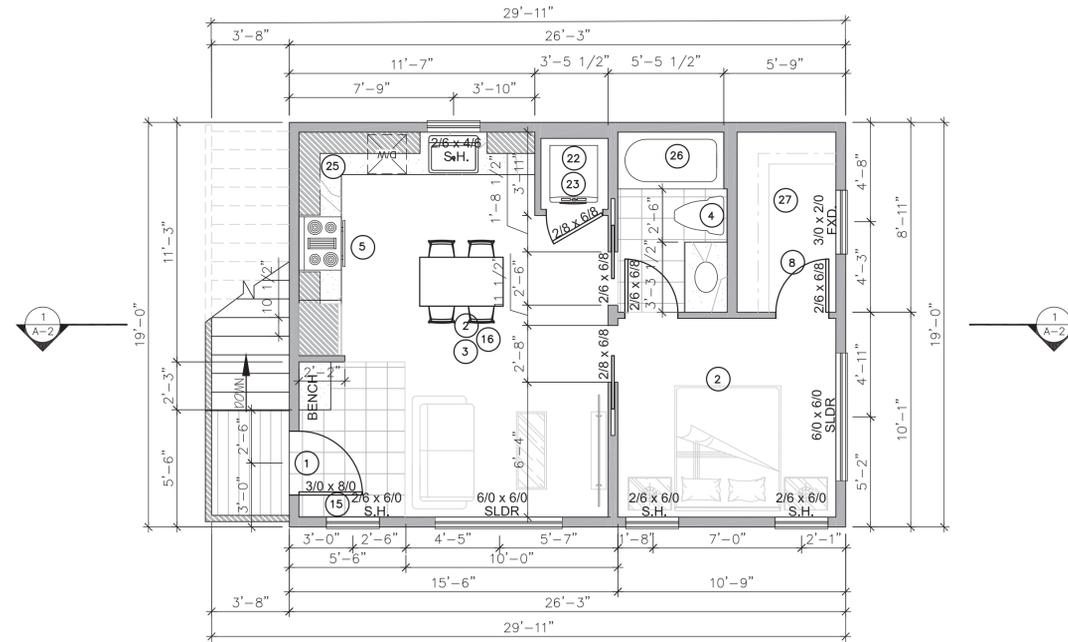
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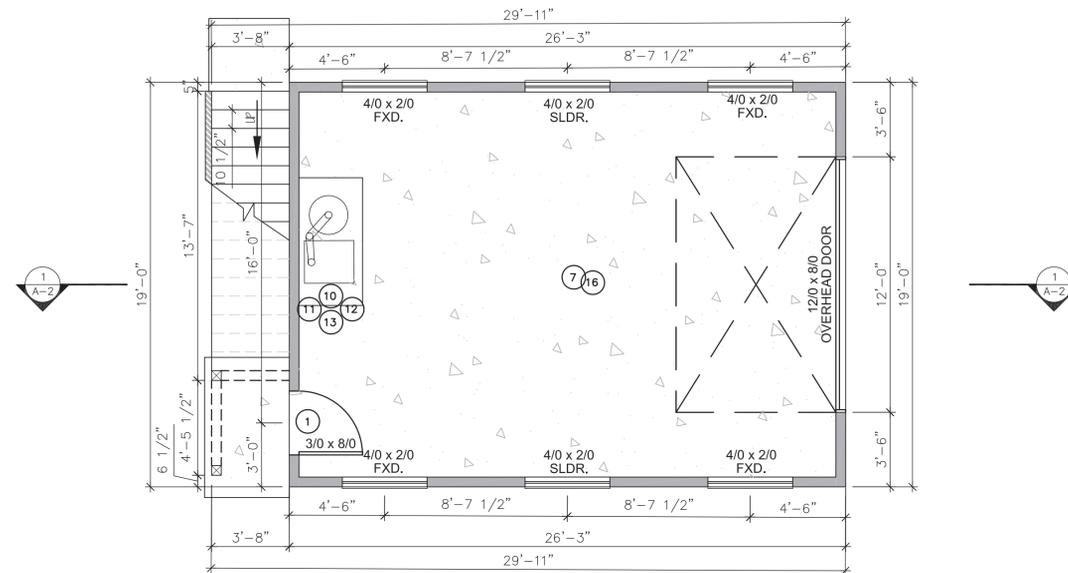
A-2





1 ADU UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"
FINISHED SPACE = 499 S.F.



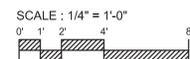
2 GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"
FINISHED SPACE = 499 S.F.

FLOOR PLAN KEYNOTES	
LANDINGS AT DOORS: THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EACH EXTERIOR DOOR.	
EXCEPTION: WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE OF A DOOR, OTHER THAN THE REQUIRED EXIT DOOR, A LANDING IS NOT REQUIRED.	
1 FLOOR OR LANDING AT REQUIRED EXIT DOORS SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD.	
FLOOR OR LANDING AT EXTERIOR DOORS OTHER THAN REQUIRED EXIT DOORS SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING.	
2 SMOKE DETECTORS: PROVIDE SMOKE DETECTORS INSIDE OF ALL SLEEPING ROOMS AND CENTERED IN CORRIDORS USED FOR BEDROOMS. WIRE DIRECT WITH BATTERY BACKUP.	
3 CARBON MONOXIDE DETECTOR IN CORRIDORS OUTSIDE SLEEPING ROOMS	
4 BATH & LAUNDRY EXHAUST FAN: MINIMUM 50 CFM FAN VENTED TO EXTERIOR WITH SMOOTH DUCT AND EQUIPPED WITH BACK-DRAFT DAMPER AT TERMINATION POINT. TERMINATION POINT SHALL NOT BE WITHIN 3 FEET OF OPENINGS INTO THE BUILDING.	
5 KITCHEN: 100 CFM MIN. VENTED OUTSIDE ON SEPARATE TERMINATION POINT, AND DUCT SHALL BE EQUIPPED WITH BACK-DRAFT DAMPER. DUCT SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES.	
6 PANTRY - EQUALLY SPACED SHELVES	
7 OCCUPANCY SEPARATION: SEPARATION BETWEEN GARAGE AND LIVING AREAS. PROTECT WALLS, CEILING, SUPPORT BEAMS AND POSTS WITH (1) LAYER 5/8" TYPE "X" G.W.B. ON WALLS. (2) LAYERS 5/8" TYPE "X" G.W.B. ON CEILINGS WITH HABITABLE SPACE ABOVE.	
8 ATTIC ACCESS: PROVIDE 22"x30" MIN. ATTIC ACCESS WITH 30" CLEAR HEADROOM. (INSULATED TO CEILING INSULATION VALUE)	
9 CRAWL SPACE ACCESS: PROVIDE 18"x24" MIN. CRAWL SPACE ACCESS (INSULATED TO FLOOR INSULATION VALUE)	
10 ALL HEATING, VENTILATING, AIR CONDITIONING, AND WATER HEATING EQUIPMENT SHALL MEET ALL OF THE REQUIREMENTS OF THE APPLIANCE EFFICIENCY STANDARDS AND SHALL BE CERTIFIED TO THE GOVERNING STATE ENERGY COMMISSION.	
11 THERMOSTATS SHALL BE EQUIPPED WITH AN AUTOMATIC SETBACK. AT LEAST ONE PROGRAMMABLE THERMOSTAT IS REQUIRED.	
12 EQUIPMENT WHICH REQUIRES PREVENTIVE MAINTENANCE TO MAINTAIN EFFICIENT OPERATION SHALL BE FURNISHED WITH COMPLETE NECESSARY MAINTENANCE INFORMATION.	
13 ALL GAS-FIRED TYPE CENTRAL FURNACES, GAS-FIRED FAN TYPE WALL FURNACES, AND COOKING APPLIANCES SHALL BE EQUIPPED WITH AN INTERMITTENT IGNITION DEVICE. ALL GAS WATER HEATERS, FURNACES, FIREPLACES SHALL TAKE COMBUSTION AIR DIRECTLY FROM THE EXTERIOR OF THE BUILDING, AND SHALL BE VENTED BY EITHER FORCED DRAFT, DIRECT VENTING OR OTHER SIMILAR VENTING METHODS.	
14 EQUIPMENT PLATFORM. 18" HIGH X 36" DEEP X PLAN WIDTH.	
15 SAFETY GLASS REQUIRED AT LOCATIONS NOTED ON PLANS.	
16 MIN. 90% OF FIXED LIGHT FIXTURES MUST HAVE HIGH EFFICACY LAMPS.	
17 MECHANICAL CHASE	
18 3/0 X 6/8 20 MINUTE FIRE RATED DOOR WITH SELF-CLOSING HINGES.	
19 NOT USED	
20 TILE WALK-IN SHOWER - HALF WALL W/ GLASS	
21 LINEN CLOSET - EQUALLY SPACED SHELVES	
22 DRYER LOCATION-PROVIDE VENT TO OUTSIDE WITH DAMPER IRC M1502	
23 WASHER LOCATION-PROVIDE HOT AND COLD WATER WITH DRAIN BOX IN WALL	
24 WOOD FIREPLACE WITH CULTURED STONE - FACE AND HEARTH TO CEILING AND INCLUDE WOOD STRG. INSTALL GAS SELF IGNITER.	
25 UPPER CABINETRY	
26 FIBERGLASS TUB INSERT	
27 SHELF AND ROD CLOSET SYSTEM	
28 CONCRETE PATIO W/ BROOM FINISH	
29 BEAM COLUMN ACCENT	
30 HALF WALL	
31 EARTHWORK RETAINING WALLS-FIELD VERIFY	
32 GAS FIREPLACE WITH CULTURED STONE - FACE AND HEARTH TO CEILING AND INSTALL GAS SELF IGNITER	

R315.1 CARBON MONOXIDE ALARM SYSTEM OUTSIDE EACH SEPARATE SLEEPING AREA IN IMMEDIATE VICINITY OF THE BEDROOMS

NUMBERS ARE NON SEQUENTIAL AND FOR REFERENCE ONLY



CHURCH ST. TOWNHOMES 19W
1331 CHURCH ST.
SANPOINT, ID 83864

MAIN
FLOOR PLAN

SCALE: 1/4" = 1'-0"
SCALES SHOWN ARE FOR 24" X 36" PRINTS ONLY
DATE: 06-05-2025

THE DIMENSIONS SHOWN ON THE PLANS SHALL BE ATTAINED WITHIN LIMITS OF PRECISION THAT GOOD CONSTRUCTION PRACTICES WILL PERMIT

FLOOR FRAMING LAYOUT SHOWN HERE IS MEANT ONLY AS A SCHEMATIC. THE FLOOR JOIST MANUFACTURER SHALL PROVIDE A FLOOR FRAMING LAYOUT THAT IS BEST SUITED.

FLOOR FRAMING PLANS ON SITE DURING FRAMING INSPECTION.

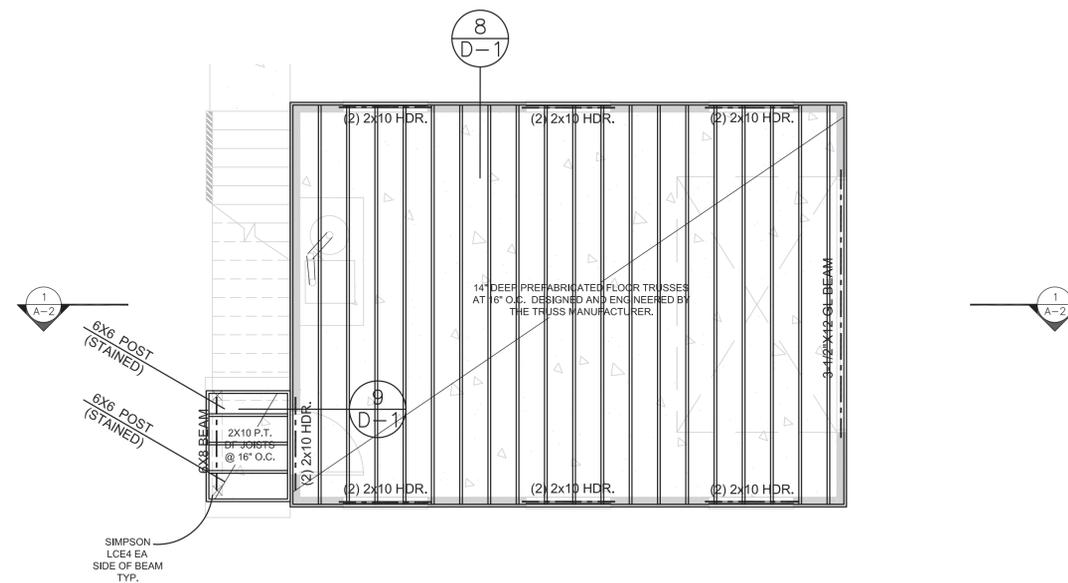
2018 IECC 402.2.8 FLOOR INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF THE SUBFLOOR DECKING.

3/4" APA RATED T&G SHEATHING GLUED AND NAILED 8dX2 1/2" @ 6" O.C. ON EDGE, 12" O.C. IN FIELD

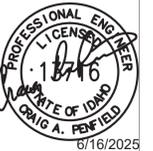
THE CONCEALED SPACE BELOW THE FLOOR OF THE UPPER FLOOR MUST BE BLOCKED, INSULATED, AND AIR SEALED.

2 LAYERS OF 5/8" DRYWALL ON GARAGE SIDE MUST BE INSTALLED PERPENDICULAR TO THE FLOOR JOISTS WITH APPROVED FASTENERS @ 6" O.C.

CONTRACTOR TO USE PRESSURE TREATED WOOD IN ANY AREAS THAT ARE EXPOSED TO THE ELEMENTS OR USE ROT RESISTANT MATERIAL.



1 UPPER FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



CHURCH ST. TOWNHOMES 19W
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FLOOR
FRAMING PLAN

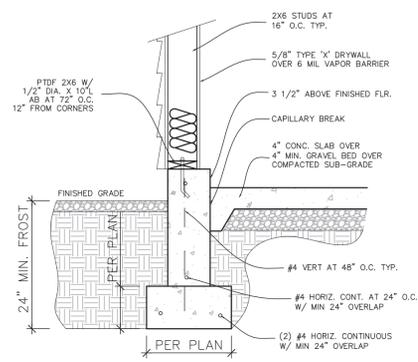
SCALE: 1/4" = 1'-0"

SCALES SHOWN ARE FOR 24" X 36" PRINTS ONLY

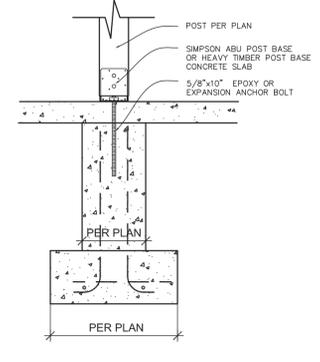
DATE: 06-05-2025

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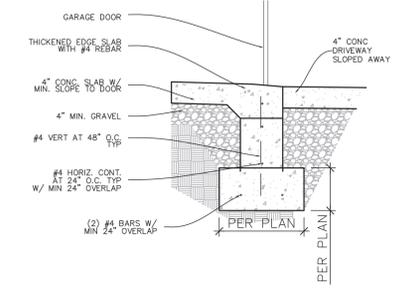
A-5



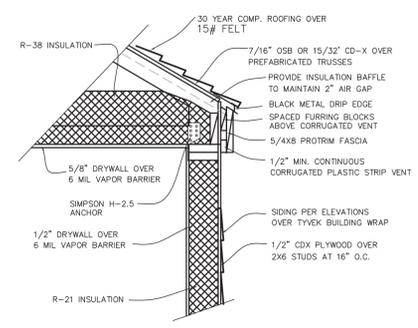
1 GARAGE FOOTING
SCALE: 3/4" = 1'-0"



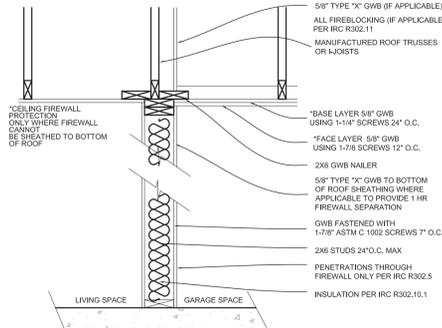
2 PORCH POST DETAIL
SCALE: 3/4" = 1'-0"



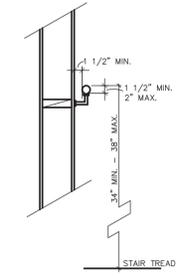
3 GARAGE DOOR FOOTING
SCALE: 3/4" = 1'-0"



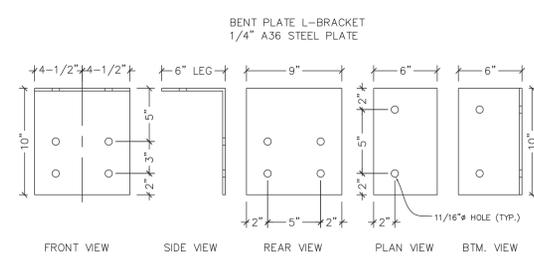
4 TRUSS EAVE
SCALE: 3/4" = 1'-0"



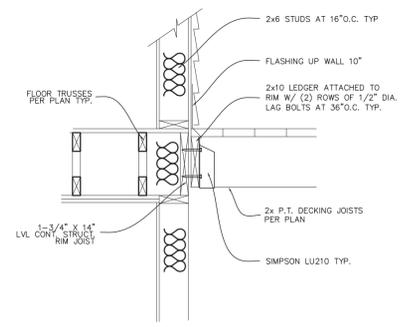
5 FIREWALL DETAIL
SCALE: 3/4" = 1'-0"



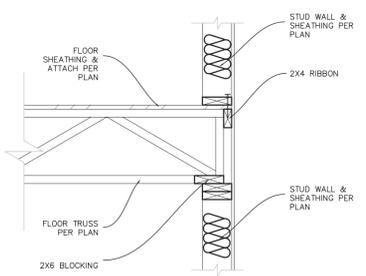
6 HANDRAIL DETAIL
SCALE: 3/4" = 1'-0"



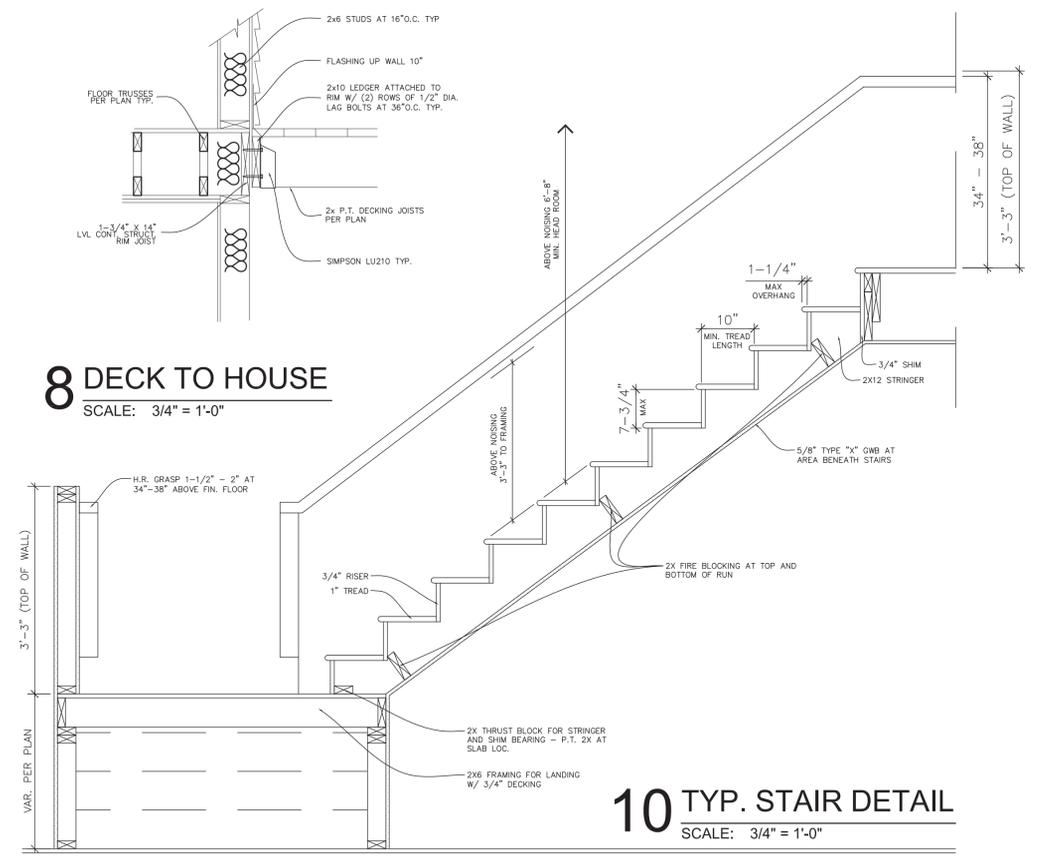
7 ANGLE BRACKET
SCALE: 1-1/2" = 1'-0"



8 DECK TO HOUSE
SCALE: 3/4" = 1'-0"



9 FLOOR TRUSS TO WALL
SCALE: 3/4" = 1'-0"



10 TYP. STAIR DETAIL
SCALE: 3/4" = 1'-0"



CHURCH ST. TOWNHOMES 19W
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DETAILS

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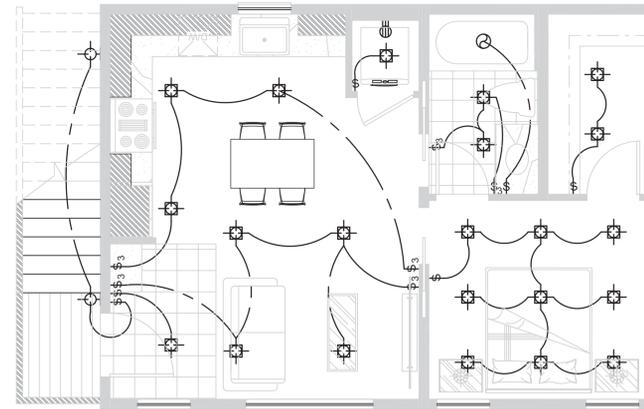
THE DIMENSIONS SHOWN ON THE PLANS SHALL BE ATTAINED WITHIN LIMITS OF PRECISION THAT GOOD CONSTRUCTION PRACTICES WILL PERMIT

D-1

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SYMBOLS

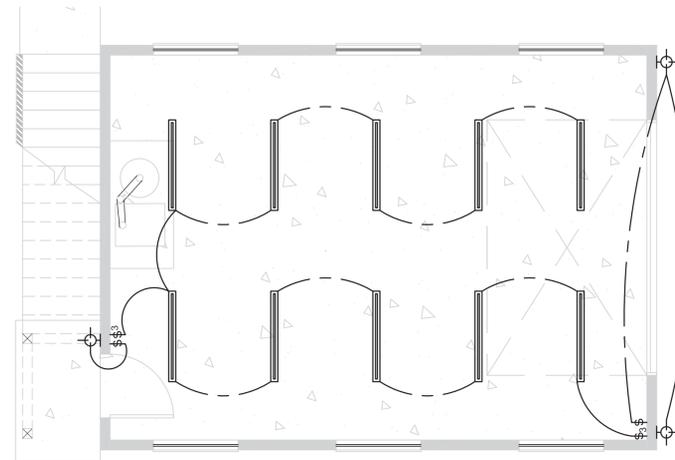
	110V OUTLET (SEE NOTE 9 BELOW)		SWITCH
	220V OUTLET		SWITCH- 3 WAY
	110V EXTERIOR WEATHER PROTECTED OUTLET		SWITCH- 4 WAY
	110 V GROUND FAULT OUTLET		DIMMER SWITCH
	110 V SWITCHED OUTLET		CABLE T.V.
	TELEPHONE		GARAGE DOOR BUTTON
	EXHAUST FAN-V.T.O.S.		THERMOSTAT
	CARBON MONOXIDE DETECTOR		NATURAL GAS
	SMOKE DETECTOR - 110 V. INTERCONNECT		HOSE BIBB
	RECESSED LIGHT - PROVIDE AIR TIGHT HOUSING		CEILING FAN
	WALL-MOUNT LIGHT (SCONCE)		CEILING FAN/LIGHT COMBO
	CEILING-MOUNT LIGHT		UNDER CABINET LIGHTING
	CEILING-MOUNT PENDANT LIGHT		24" HEADER MOUNTED FLUORESCENT FIXTURE
	TRACK LIGHTING		4' FLUORESCENT FIXTURE



1 UPPER FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

NOTES

- 1 SMOKE DETECTORS TO BE LOCATED (1) ON EACH HABITABLE STORY, (1) OUTSIDE OF EACH FINISHED SLEEPING AREA AND (1) IN ALL FINISHED BEDROOMS. SMOKE DETECTORS TO BE HARD WIRED TO 110V WITH BATTERY BACKUP AND INTERCONNECTED PER IRC - SEC. R313
- 2 50 CFM @ BATH AREAS VENTED TO THE OUTSIDE PER IRC SEC.-M1506
- 3 2X8 BLOCK CENTERED @ 51" FOR THERMOSTAT.
- 4 ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIRS, INCLUDING THE LANDINGS AND TREADS. PER IRC SEC.-R303
- 5 100 CFM VENT HOOD ABOVE RANGE, VENT TO OUTSIDE
- 6 STANDARD OUTLET HEIGHT TO BE 13" MIN. FROM FIN. FLOOR.
- 7 PROVIDE ROCKER ARM LIGHT SWITCHES THROUGHOUT HOME.
- 8 PROVIDE ELECTRICAL CONDUIT IN SLAB FOR ISLAND OUTLETS
- 9 ELECTRICAL OUTLETS SHOWN ON PLANS ARE SPECIFIC LOCATIONS REQUESTED BY HOMEOWNER. PROVIDE ALL OTHER OUTLETS IN LOCATIONS REQUIRED BY CODE.
- 10 A MINIMUM OF 75% OF THE BULBS IN PERMANENTLY INSTALLED LIGHTING FIXTURES ARE REQUIRED TO BE HIGH EFFICACY BULBS.
A. HIGH EFFICACY - COMPACT FLUORESCENT LAMPS, T-8 OR SMALLER DIAMETER LINEAR FLUORESCENT LAMPS OR LAMPS WITH A MINIMUM EFFICACY OF:
I. 80 LUMENS PER WATT FOR LAMPS OVER 40 WATTS.
II. 59 LUMENS PER WATT FOR LAMPS OVER 15 WATTS TO 40 WATTS.
III. 40 LUMENS PER WATT FOR LAMPS 15 WATTS OR LESS.
- 11 ENCLOSED LAUNDRY ROOMS TO HAVE 100 SQ. INCH TRANSFER GRILL OR OUTSIDE AIR SUPPLY
- 12 PROVIDE CARBON MONOXIDE (CO) DETECTOR OUTSIDE EACH SLEEPING AREA



2 MAIN FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

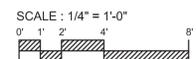
CHURCH ST. TOWNHOMES 19W
1331 CHURCH ST.
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ELECTRICAL PLAN

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ELECTRICAL BOXES USED IN FIRE RATED ASSEMBLIES SHALL BE LISTED FOR THEIR USE



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