



## CHURCH ST. RESIDENCE 17W

### AREA SUMMARY

MAIN FLOOR FINISHED	=	918 SQ. FT.
UPPER FLOOR FINISHED	=	918 SQ. FT.
COVERED PORCH	=	86 SQ. FT.
REAR PATIO	=	48 SQ. FT.
<b>TOTAL COVERAGE</b>	<b>=</b>	<b>1052 SQ. FT.</b>
LOT SIZE	=	3558 SQ. FT.

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### GENERAL NOTES

#### THESE PLANS SHALL COMPLY WITH THE FOLLOWING CODES

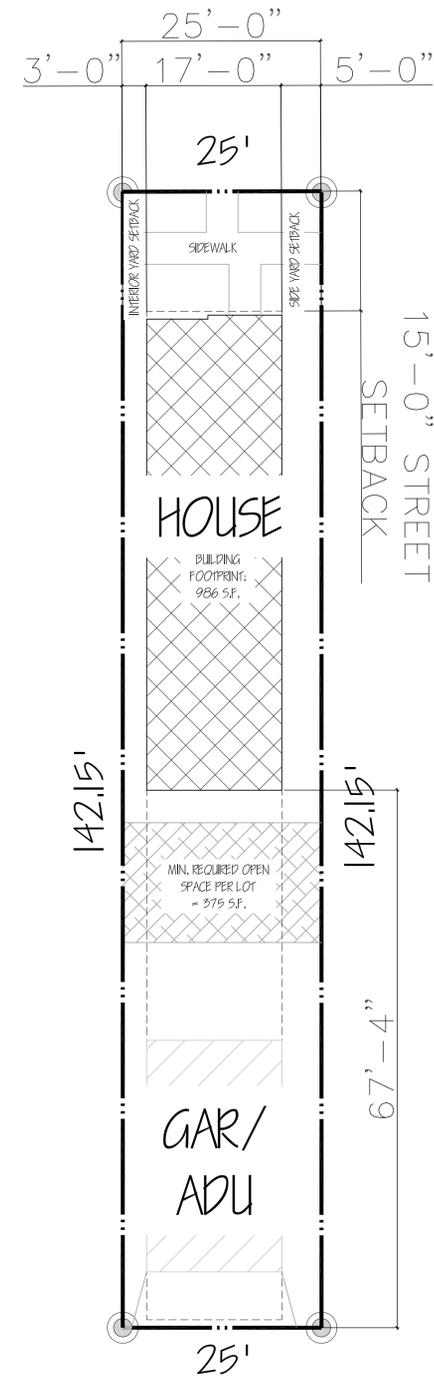
- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- ALL APPLICABLE STATE AND LOCAL CODES

#### MINIMUM DESIGN STANDARDS

- SEISMIC DESIGN CATEGORY - C
- BASIC WIND SPEED - 90 MPH (115 MPH, 3 SECOND GUSTS)
- FROST DEPTH - 24" MIN.
- ROOF SNOW LOAD - 50 PSF
- SOIL BEARING CAPACITY - 1500 PSF

1. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION AS PER (IECC 402.4.1)
2. LIGHTING - A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HI-EFFICIENCY
3. FASTENERS TO BE USED IN PRESSURE TREATED WOOD SHALL BE MINIMUM HOT DIPPED GALVANIZED STEEL
4. DRYER DUCTING LENGTH - WHERE EXHAUST DUCTS ARE CONCEALED WITHIN BUILDING CONSTRUCTION, THE EQUIVALENT LENGTH SHALL BE IDENTIFIED ON A PERMANENT LABEL OR TAG LOCATED WITHIN 6 FEET OF THE EXHAUST DUCT CONNECTION
5. REFRIGERANT CIRCUIT ACCESS PORTS LOCATED OUTDOORS SHALL BE FITTED WITH LOCKING TYPE TAMPER RESISTANT CAPS AS PER (IRC-M1411.6)
6. FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AS PER (IRC-R315.1)
7. APPROVED CONSTRUCTION DOCUMENTS SHALL BE KEPT AT THE SITE OF WORK AND SHALL BE OPEN TO INSPECTION BY THE BUILDING OFFICIAL AS PER (IRC 106.3.1)
8. VALLEY LINING IS REQUIRED - MAY USE MINIMUM 36" WIDE SMOOTH ROLL ROOFING OR ICE AND WATER SHIELD AS PER (IRC 905.2.8.2)
9. AN ICE BARRIER SHALL BE USED IN LIEU OF NORMAL ROOFING UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING AS PER (IRC R905.2.7.1)
10. FLOOR INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF THE SUBFLOOR DECKING AS PER (IECC 402.2.6)
11. WATER RESISTIVE BARRIER SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS AS PER (IRC R703.2)
12. ALL SHEAR WALLS TO BE MARKED WITH A PAINTED "S" PER THE PLANS
13. TYPE X GYP. BD. FOR GARAGE CEILINGS BENEATH HABITABLE ROOMS SHALL BE INSTALLED PERPENDICULAR TO THE CEILING FRAMING AND SHALL BE FASTENED AT MAXIMUM 6 INCHES O.C. BY MINIMUM 1-7/8" 6d COATED NAILS OR EQUIVALENT DRYWALL SCREWS AS PER (IRC R702.3.5 FOOTNOTE e)
14. SLAB ON GRADE REMOVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL IN AREA WITHIN FOUNDATION WALLS AS PER (IRC 506.2)
15. ALL JOINTS, SEAMS AND OTHER CONNECTIONS IN DUCTWORK SHALL BE SECURELY FASTENED AND SEALED.

Selkirk Design Company LLC, a residential design firm and not being an engineering firm stands no liability for structural or architectural design integrity. Every effort has been made to ensure all dimensions are correct and governmental regulations have been met. If an error or omission does occur it is the sole responsibility of the contractor and/or the owner to correct the error and/or omission at his own expense and not the responsibility of Selkirk Design Company.



### LEGEND

SETBACK LINE	---
EASEMENT	----
PROPERTY LINE	.....
BUILDING OUTLINE	_____
STREET CENTERLINE	-----
DRIVEWAY	_____

SITE INFO.	
ZONE:	SUB PRIME RM
SETBACKS:	
FRONT:	15'
SIDES:	5'
INTERIOR YARD:	3'
REAR:	1'
MAX. ALLOWED COVERAGE:	N/A
COVERAGE:	29.5%
MAX. BLDG. HT.:	35'
BLDG. HT.:	26'-1"

PROPERTY LINES ARE APPROXIMATE AND WERE BASED OFF THE GIS



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CHURCH ST. TOWNHOMES 17W  
1331 CHURCH ST.  
SANPOINT, ID 83864

SITE PLAN  
COVER PAGE/

SCALE: 3/32"=1'-0"

SCALES SHOWN ARE FOR 24" X 36" PRINTS ONLY

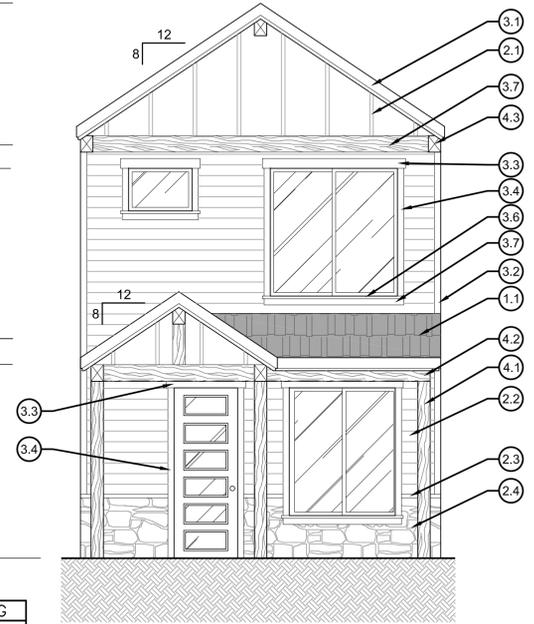
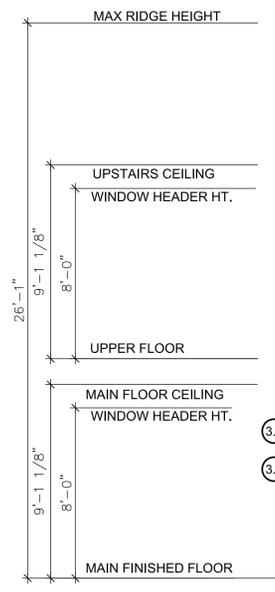
DATE: 04-25-2025

THE DIMENSIONS SHOWN ON THE PLANS SHALL BE ATTAINED WITHIN LIMITS OF PRECISION THAT GOOD CONSTRUCTION PRACTICES WILL PERMIT

A-0

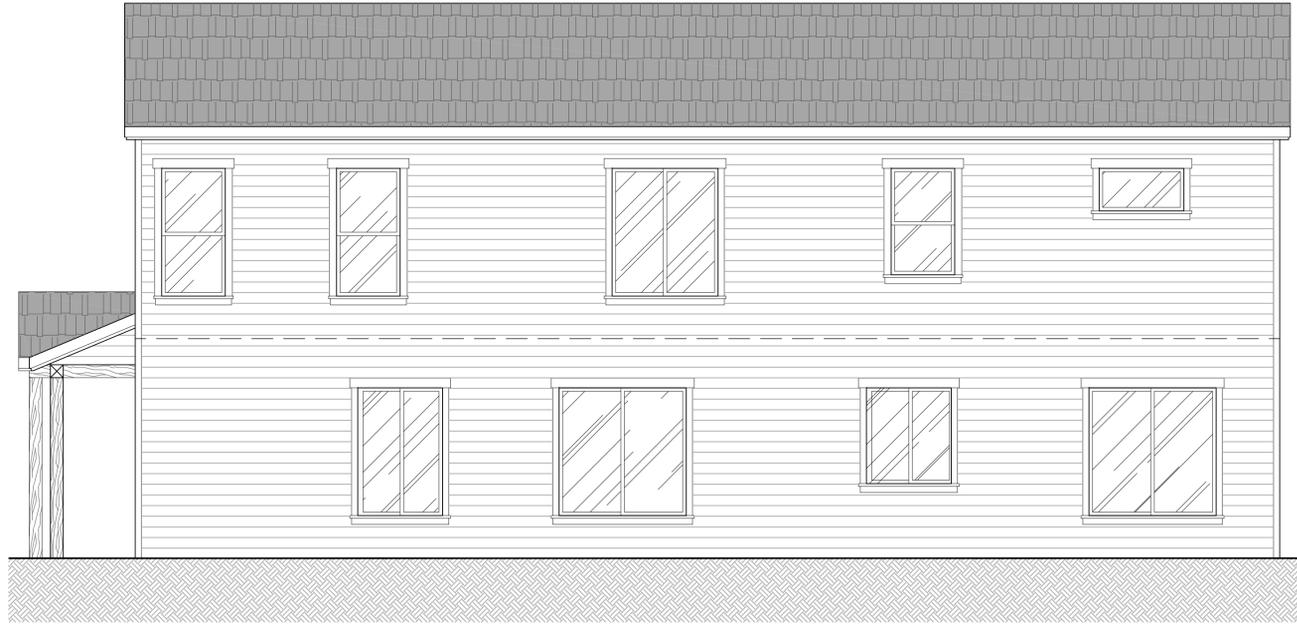


SITE PLAN SCALE 3/32"=1'-0"  
CITY OF SANDPOINT, ID 83864

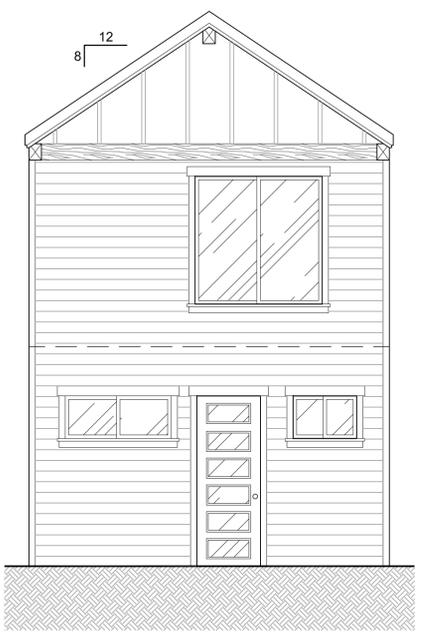


STREET FACADE GLAZING	
TOTAL WINDOW COVERAGE =	96 SQ. FT.
TOTAL WALL AREA =	395 SQ. FT.
PERCENT COVERED =	24.3%

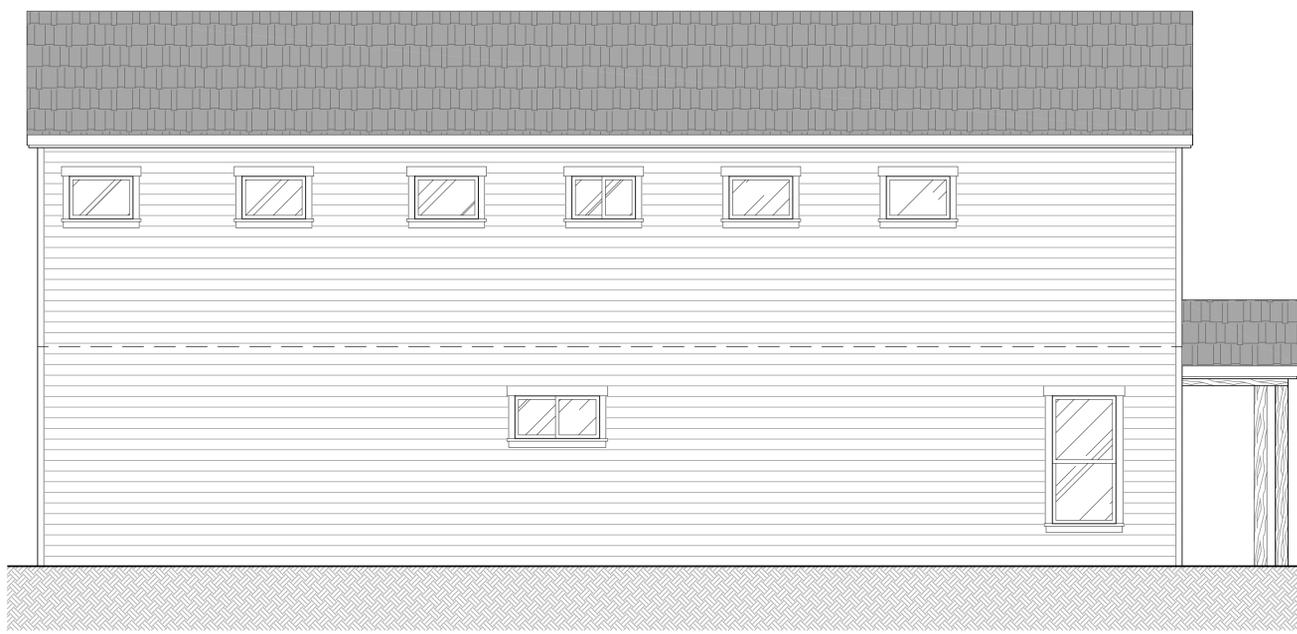
**1 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

ROOF KEYNOTES	
1.1	30 YEAR ASPHALT COMPOSITION SHINGLES OVER 15# BUILDING FELT (DOUBLE AT EAVES) ON 7/16" SOLID APA RATED SHEATHING WITH H-CLIPS, PREFABRICATED ROOF TRUSSES AT 24" O.C., 5/8" GYP. BD. CEILING FINISH, R-38 INSULATION.
WALL KEYNOTES	
2.1	PANEL SIDING W/ PROTRIM BATTS @ 16" O.C.
2.2	8" HARDI-PLANK LAP SIDING OVER TYVEK BLDG. WRAP
2.3	CULTURED STONE WATER TABLE W/FLASHING AT TOP EDGE
2.4	CULTURE STONE VENEER WAINSCOTING
TRIM KEYNOTES	
3.1	6" PROTRIM TRIM OVER 5/4"x8" FASCIA
3.2	5/4" X 4" PROTRIM CORNER
3.3	5/4" X 6" PROTRIM HEADPIECE W/ FLASHING AT TOP EDGE
3.4	5/4" X 4" LEG TRIM
3.5	5/4" X 4" APRON
3.6	BEVELED CUT 2X4 PROJECTED SILL
3.7	5/4x10 SMART TRIM
POST KEYNOTES	
4.1	6x8 POST
4.2	STRUCTURAL BEAM - REFER TO FRAMING PLANS
4.3	8x10 CORBEL

THESE CALL-OUTS ARE TYPICAL AND MEANT TO BE CARRIED THROUGHOUT THE DESIGN, THEREFORE NOT ALL ELEMENTS OF DESIGN HAVE BEEN CALLED OUT TO MINIMIZE REDUNDANCY. COORDINATE THROUGH CONTRACTOR/OWNER FOR QUESTIONS.



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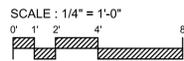
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SANPOINT, ID 83864

ELEVATIONS

SCALE: 1/4" = 1'-0"  
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R905.2.7.1  
AN ICE BARRIER SHALL BE USED IN LIEU OF NORMAL ROOFING UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.



**A-1**



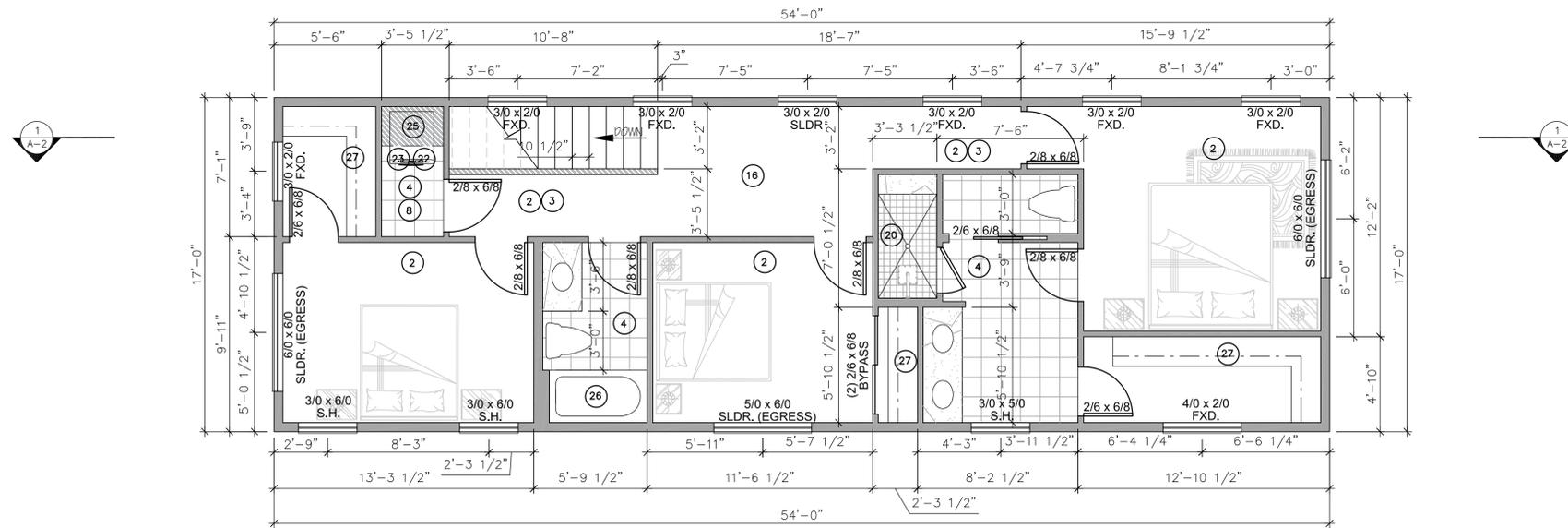
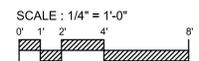


NUMBERS ARE NON-SEQUENTIAL AND FOR REFERENCE ONLY

FLOOR PLAN KEYNOTES

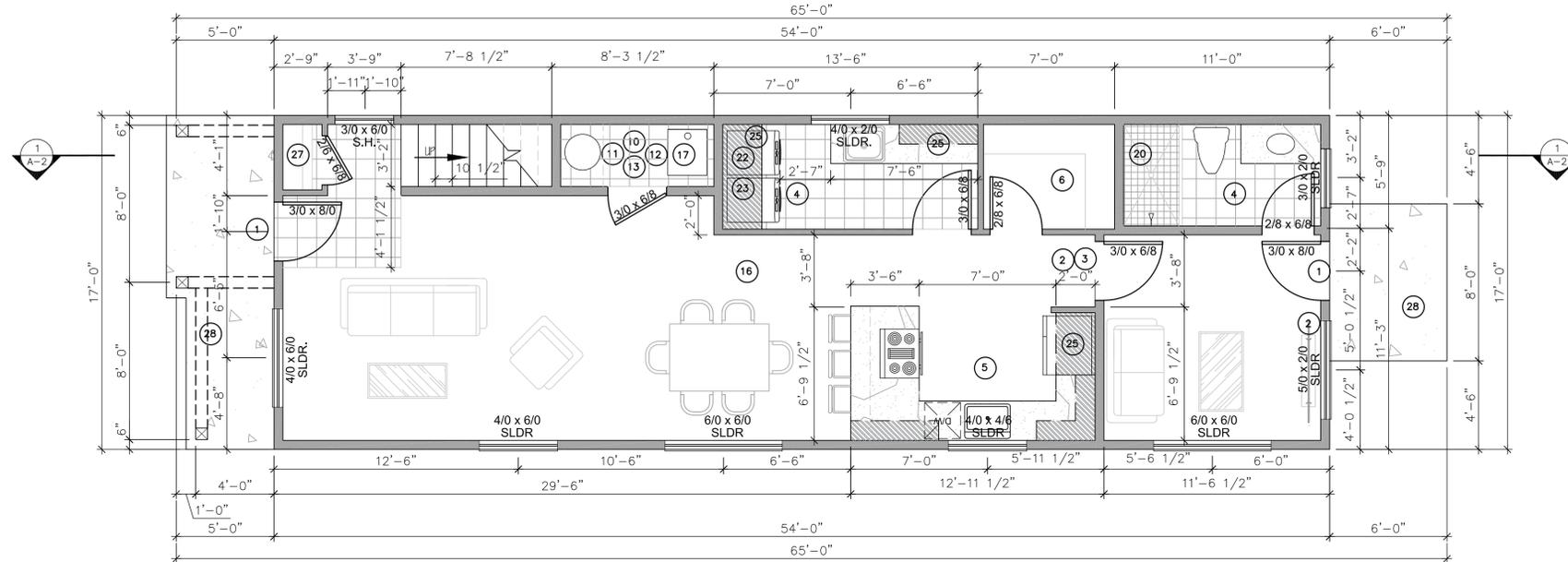
- LANDINGS AT DOORS: THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EACH EXTERIOR DOOR.
- EXCEPTION: WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE OF A DOOR, OTHER THAN THE REQUIRED EXIT DOOR, A LANDING IS NOT REQUIRED.
- 1 FLOOR OR LANDING AT REQUIRED EXIT DOORS SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD.
- FLOOR OR LANDING AT EXTERIOR DOORS OTHER THAN REQUIRED EXIT DOORS SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING.
- 2 SMOKE DETECTORS: PROVIDE SMOKE DETECTORS INSIDE OF ALL SLEEPING ROOMS AND CENTERED IN CORRIDORS USED FOR BEDROOMS. WIRE DIRECT WITH BATTERY BACKUP.
- 3 CARBON MONOXIDE DETECTOR IN CORRIDORS OUTSIDE SLEEPING ROOMS
- 4 BATH & LAUNDRY EXHAUST FAN: MINIMUM 50 CFM FAN VENTED TO EXTERIOR WITH SMOOTH DUCT AND EQUIPPED WITH BACK-DRAFT DAMPER AT TERMINATION POINT. TERMINATION POINT SHALL NOT BE WITHIN 3 FEET OF OPENINGS INTO THE BUILDING.
- 5 KITCHEN: 100 CFM MIN. VENTED OUTSIDE ON SEPARATE TERMINATION POINT, AND DUCT SHALL BE EQUIPPED WITH BACK-DRAFT DAMPER. DUCT SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES.
- 6 PANTRY - EQUALLY SPACED SHELVES
- 7 OCCUPANCY SEPARATION: SEPARATION BETWEEN GARAGE AND LIVING AREAS. PROTECT WALLS, CEILING, SUPPORT BEAMS AND POSTS WITH (1) LAYER 5/8" TYPE "X" G.W.B. ON WALLS, (2) LAYERS 5/8" TYPE "X" G.W.B. ON CEILINGS WITH HABITABLE SPACE ABOVE.
- 8 ATTIC ACCESS: PROVIDE 22"x30" MIN. ATTIC ACCESS WITH 30" CLEAR HEADROOM. (INSULATED TO CEILING INSULATION VALUE)
- 9 CRAWL SPACE ACCESS: PROVIDE 18"x24" MIN. CRAWL SPACE ACCESS (INSULATED TO FLOOR INSULATION VALUE).
- 10 ALL HEATING, VENTILATING, AIR CONDITIONING, AND WATER HEATING EQUIPMENT SHALL MEET ALL OF THE REQUIREMENTS OF THE APPLIANCE EFFICIENCY STANDARDS AND SHALL BE CERTIFIED TO THE GOVERNING STATE ENERGY COMMISSION.
- 11 THERMOSTATS SHALL BE EQUIPPED WITH AN AUTOMATIC SETBACK. AT LEAST ONE PROGRAMMABLE THERMOSTAT IS REQUIRED.
- 12 EQUIPMENT WHICH REQUIRES PREVENTIVE MAINTENANCE TO MAINTAIN EFFICIENT OPERATION SHALL BE FURNISHED WITH COMPLETE NECESSARY MAINTENANCE INFORMATION.
- 13 ALL GAS-FIRED TYPE CENTRAL FURNACES, GAS-FIRED FAN TYPE WALL FURNACES, AND COOKING APPLIANCES SHALL BE EQUIPPED WITH AN INTERMITTENT IGNITION DEVICE. ALL GAS WATER HEATERS, FURNACES, FIREPLACES SHALL TAKE COMBUSTION AIR DIRECTLY FROM THE EXTERIOR OF THE BUILDING, AND SHALL BE VENTED BY EITHER FORCED DRAFT, DIRECT VENTING OR OTHER SIMILAR VENTING METHODS.
- 14 EQUIPMENT PLATFORM. 18" HIGH X 36" DEEP X PLAN WIDTH.
- 15 SAFETY GLASS REQUIRED AT LOCATIONS NOTED ON PLANS.
- 16 MIN. 90% OF FIXED LIGHT FIXTURES MUST HAVE HIGH EFFICACY LAMPS.
- 17 MECHANICAL CHASE
- 18 3/0 X 6/8 20 MINUTE FIRE RATED DOOR WITH SELF-CLOSING HINGES.
- 19 NOT USED
- 20 TILE WALK-IN SHOWER
- 21 LINEN CLOSET - EQUALLY SPACED SHELVES
- 22 DRYER LOCATION-PROVIDE VENT TO OUTSIDE WITH DAMPER IRC M1502
- 23 WASHER LOCATION-PROVIDE HOT AND COLD WATER WITH DRAIN BOX IN WALL
- 24 WOOD FIREPLACE WITH CULTURED STONE - FACE AND HEARTH TO CEILING AND INCLUDE WOOD STRG. INSTALL GAS SELF IGNITER.
- 25 UPPER CABINETS
- 26 FIBERGLASS TUB INSERT
- 27 SHELF AND ROD CLOSET SYSTEM
- 28 CONCRETE PATIO W/ BROOM FINISH
- 29 BEAM COLUMN ACCENT
- 30 HALF WALL
- 31 EARTHWORK RETAINING WALLS-FIELD VERIFY
- 32 GAS FIREPLACE WITH CULTURED STONE - FACE AND HEARTH TO CEILING AND INSTALL GAS SELF IGNITER

R315.1 CARBON MONOXIDE ALARM SYSTEM OUTSIDE EACH SEPARATE SLEEPING AREA IN IMMEDIATE VICINITY OF THE BEDROOMS



1 UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"  
FINISHED SPACE = 918 S.F.



2 MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"  
FINISHED SPACE = 918 S.F.  
COVERED PORCH = 86 S.F.  
BACK PATIO = 48 S.F.

**CRAWL SPACE VENT CALCULATION**

1 SQ. FT. NET AREA / 150 SQ. FT. UNDERFLOOR AREA

$$\frac{825 \text{ sf (CRAWL AREA)}}{150} \times 144 = 792 \text{ sq. in. (TTL AREA REQ'D)}$$

$$\frac{792 \text{ sq. in. (TTL AREA REQ'D)}}{115 \text{ sq. in. (NET AREA PER VENT)}} = 6.88 \text{ VENTS (USE 7)}$$

VENTS ARE TO BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS OF 1/4" DIMENSION. EQUALLY DISTRIBUTE VENTS ALONG THE LENGTH OF AT LEAST TWO SIDES.

FLOOR FRAMING LAYOUT SHOWN HERE IS MEANT ONLY AS A SCHEMATIC. THE FLOOR JOIST MANUFACTURER SHALL PROVIDE A FLOOR FRAMING LAYOUT THAT IS BEST SUITED.

FLOOR FRAMING PLANS ON SITE DURING FRAMING INSPECTION.

2018 IECC 402.2.8 FLOOR INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF THE SUBFLOOR DECKING.

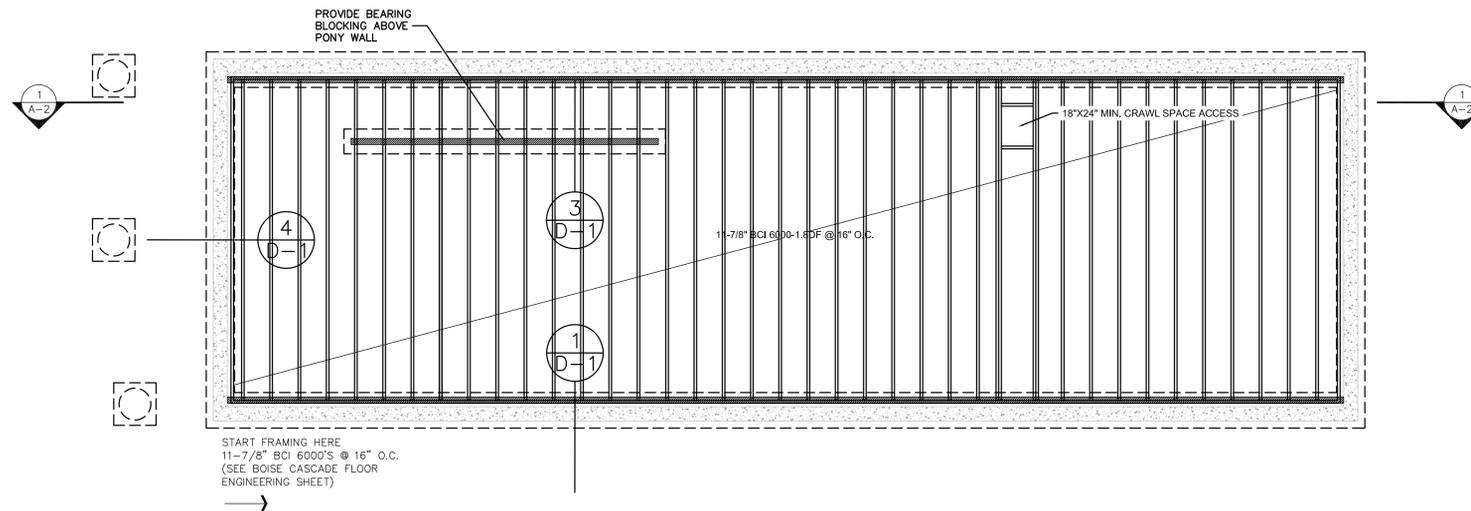
SEE DETAIL IF FLOOR JOISTS ARE TO BE RECESSED DOWN INTO FOUNDATION WALLS. WIDEN FOOTING PER DETAIL TO CARRY PONY WALL.

3/4" APA RATED T&G SHEATHING GLUED AND NAILED 8dX2 1/2" @ 6" O.C. ON EDGE, 12" O.C. IN FIELD

THE CONCEALED SPACE BELLOW THE FLOOR OF THE BONUS ROOM MUST BE BLOCKED, INSULATED, AND AIR SEALED.

2 LAYERS OF 5/8" DRYWALL ON GARAGE SIDE MUST BE INSTALLED PERPENDICULAR TO THE FLOOR JOISTS WITH APPROVED FASTENERS @ 6" O.C.

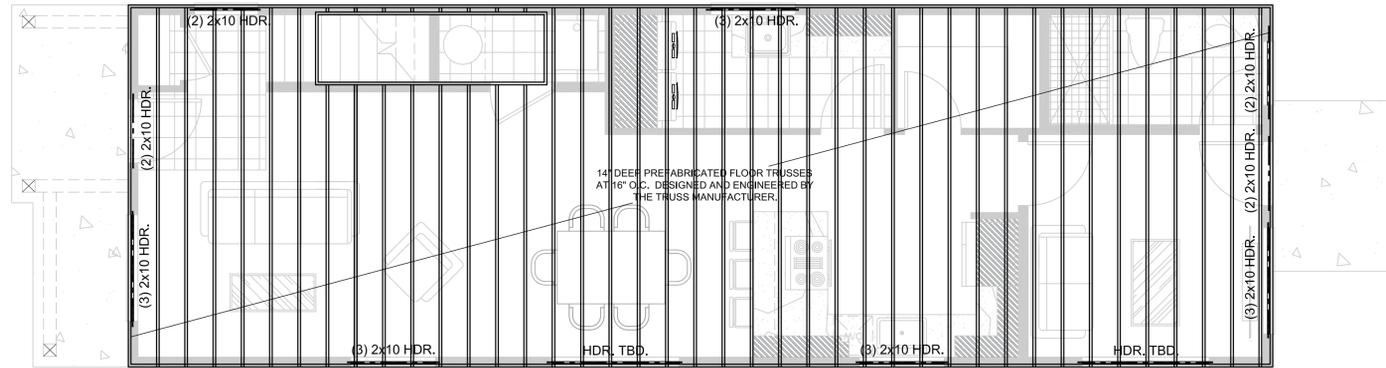
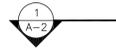
CONTRACTOR TO USE PRESSURE TREATED WOOD IN ANY AREAS THAT ARE EXPOSED TO THE ELEMENTS OR USE ROT RESISTANT MATERIAL.



**1 MAIN FLOOR FRAMING PLAN**

SCALE: 1/4" = 1'-0"

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**1 UPPER FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

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FLOOR FRAMING PLANS ON SITE DURING FRAMING INSPECTION.

3/4" APA RATED T&G SHEATHING GLUED AND NAILED 8dX2 1/2" @ 6" O.C. ON EDGE, 12" O.C. IN FIELD

CONTRACTOR TO USE PRESSURE TREATED WOOD IN ANY AREAS THAT ARE EXPOSED TO THE ELEMENTS OR USE ROT RESISTANT MATERIAL.



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UPPER FLOOR FRAMING PLAN

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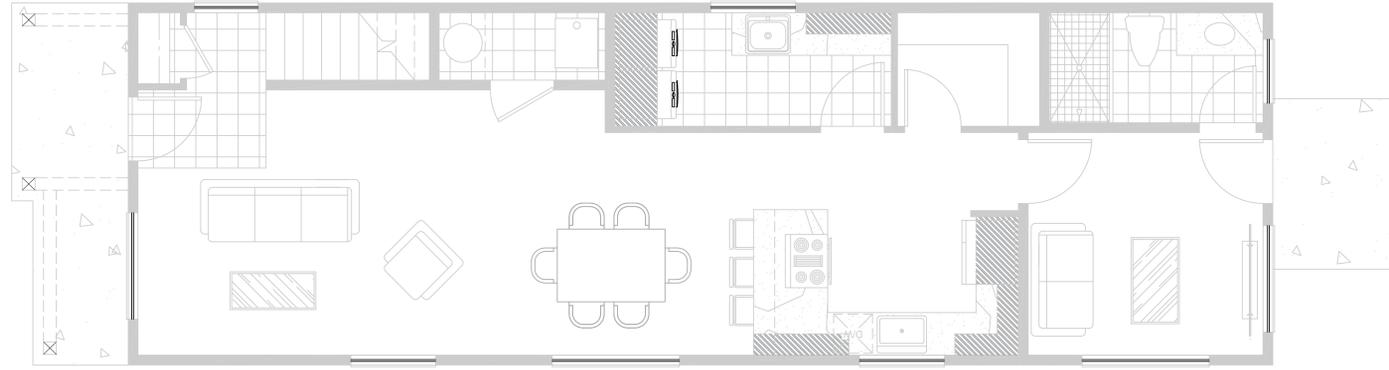
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**A-6**





# 1 BRACED WALL PLAN

SCALE: 1/4" = 1'-0"



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BRACED WALL PLAN

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# A-8

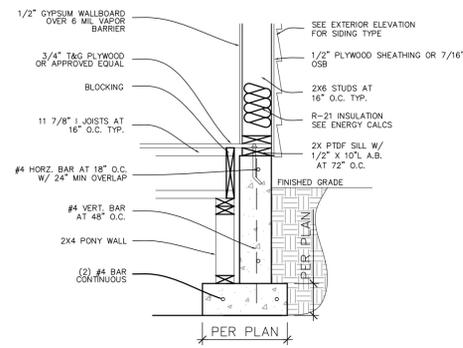
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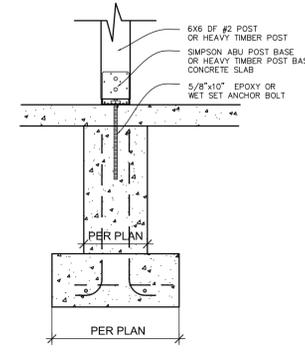
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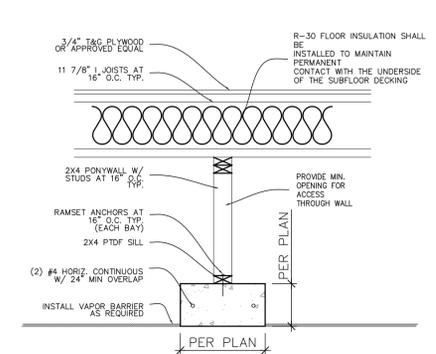
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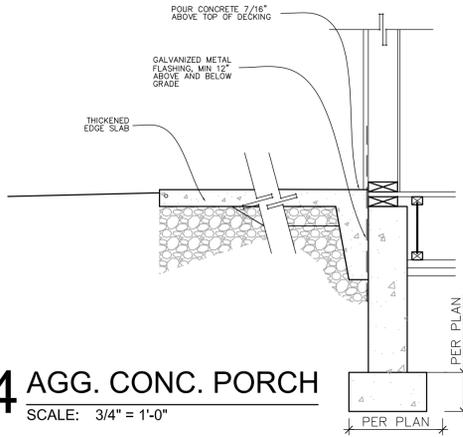
**1 EXT. FTG. (DROPPED FLOOR)**  
SCALE: 3/4" = 1'-0"



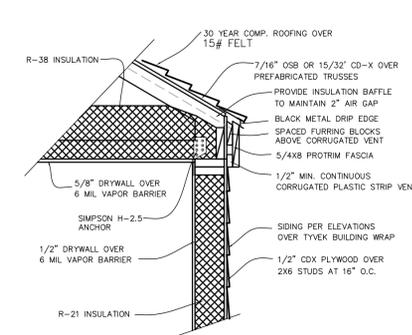
**2 PORCH POST DETAIL**  
SCALE: 3/4" = 1'-0"



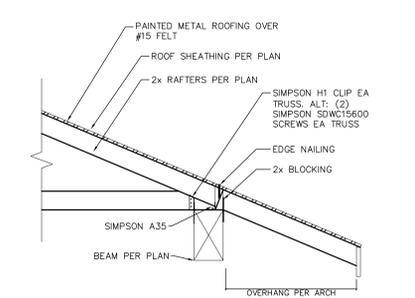
**3 INTERIOR FOOTING**  
SCALE: 3/4" = 1'-0"



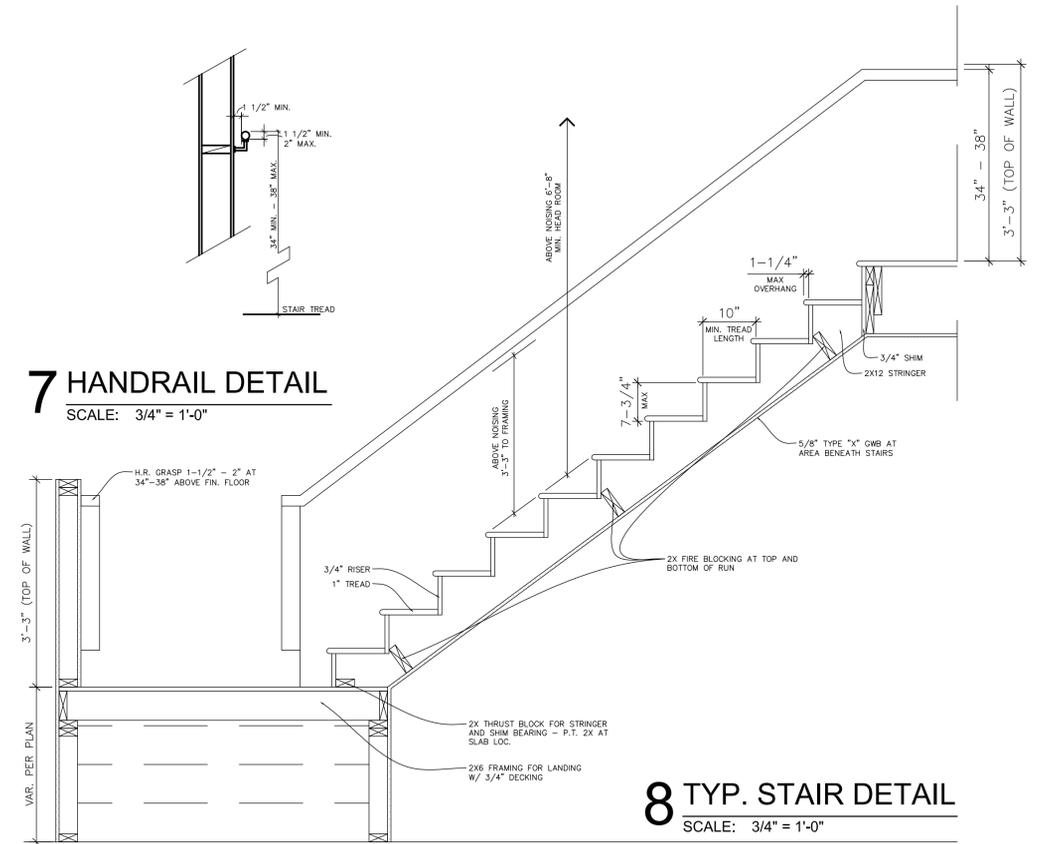
**4 AGG. CONC. PORCH**  
SCALE: 3/4" = 1'-0"



**5 TRUSS EAVE**  
SCALE: 3/4" = 1'-0"



**6 TRUSS TO EXTERIOR BEAM**  
SCALE: 3/4" = 1'-0"



**7 HANDRAIL DETAIL**  
SCALE: 3/4" = 1'-0"

**8 TYP. STAIR DETAIL**  
SCALE: 3/4" = 1'-0"

