



Staff Report

To: Planning & Zoning Commission

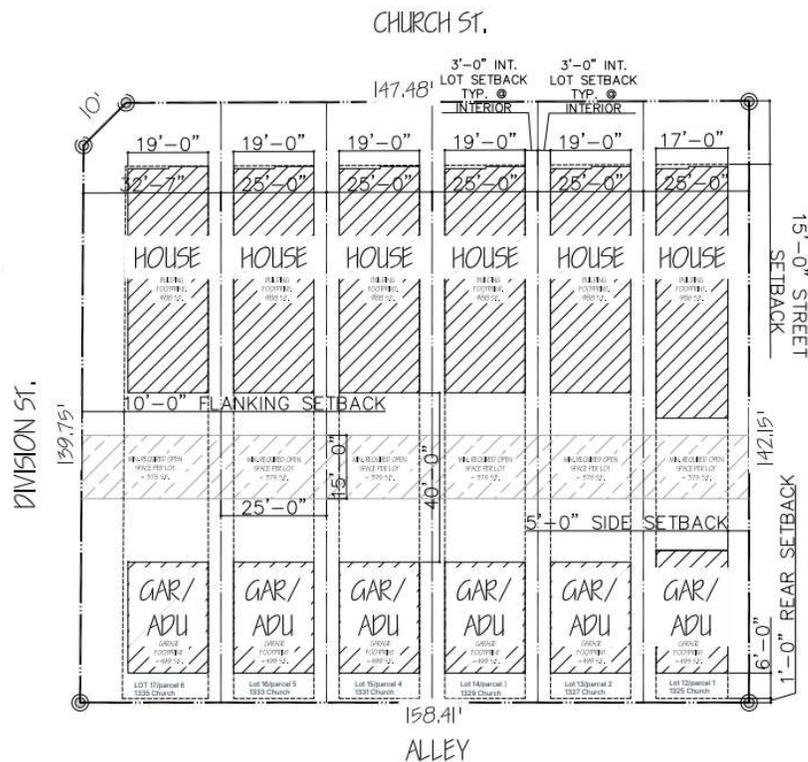
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Date: October 15, 2025

P & Z Meeting: October 21, 2025

P & Z Design Review: PSPR25-0008 Planning and Zoning Commission will provide Design Review required for the new construction of Six Single Family residences, each with a detached Garage/Accessory Dwelling Units(ADU's) on six adjoining original lots of record, as shown on Figure 1, Basic Site Plan. The subject site is located at 1331 Church St. The lots are oriented to front on Church St., the side street is Division Ave., and the rear of the lots are on Church-Pine Alley.

Figure 1 Basic Site Plan



Introduction

Property Owners Hazen Development, LLC, and applicant Ethan Hazen are seeking approval to develop Six Single Family residences, each with a detached Garage/Accessory Dwelling Units (ADU's) on six original substandard lots of record. The site is currently vacant and was previously the location of a mobile home court. The property is zoned Residential Multifamily (RM) which permits the development of original substandard lots of record for residential uses subject to permit approvals described below. (See Figure 2, Vicinity and Zoning Map)

Sandpoint City Code requires a two-step process when developing on 4 or more contiguous substandard lots of record. The first step is to obtain Design Review approval and the second step is to obtain a Site Plan Review Permit. Development of this type, on several contiguous substandard lots, is the only type of development requiring a separate Design Review process in addition to (and prior to) the more customary Site Plan Review permit. Excerpts from Sandpoint City Code that establish these requirements are listed below. This agenda item relates to Step 1.

- Step 1: Design Review approval: City Code §9-4-6-3.A. requires design review by the Planning Commission for development on 4 or more contiguous substandard original lots of record. City Code has two sets up criteria for reviewing substandard lot development: Objective standards located in §9-4-6-3: Development Standards which is administered by staff; and design guidelines which can be found in §9-4-6-9: Design Guidelines for Substandard Lots. These guidelines, in conjunction with the Comprehensive Plan are the standards by which this project should be reviewed.
- Step 2: Site Plan Review Permit approval: City Code §9-1-4.B requires a Site Plan Review Permit prior to obtaining a building permit for all construction except exempt activities (e.g. small additions, or less than four single-family homes on a conforming lot). Each Site Plan Review Permit requires notice to adjoining neighbors, review against the aforementioned objective standards, and an appeal period after a decision has been made on the permit. Staff has begun the noticing requirements and has initiated its review of this Site Plan Review Permit for this development; action on this permit is pending completion of the Design Review (Step 1) by the Planning and Zoning Commission.



Figure 2 Vicinity & Zoning Map

Request

The Site Plan Review Permit application states that the request is for Six Urban Farmhouse Townhome Style Single Family homes. The homes will front on Church Street, each with detached accessory structures having garage door access off the alley and ADU's with second story access facing the rear yard. The SFD's are two story, have a building footprint of ±988sf, and 1824sf of interior living space. The application documents show front porches, front yard landscaping, and individual mailboxes. The applicant is proposing public improvements along the Church Street frontage including elimination of curb cuts, a sidewalk, street trees, planting strip and an entry walk to each residence. The rear yards includes >375sf of open space as required. The proposed accessory structures consist of a 19-foot wide by 26-foot-deep garage with ADU above. (See Figures 3-5 Below and attached plan set)

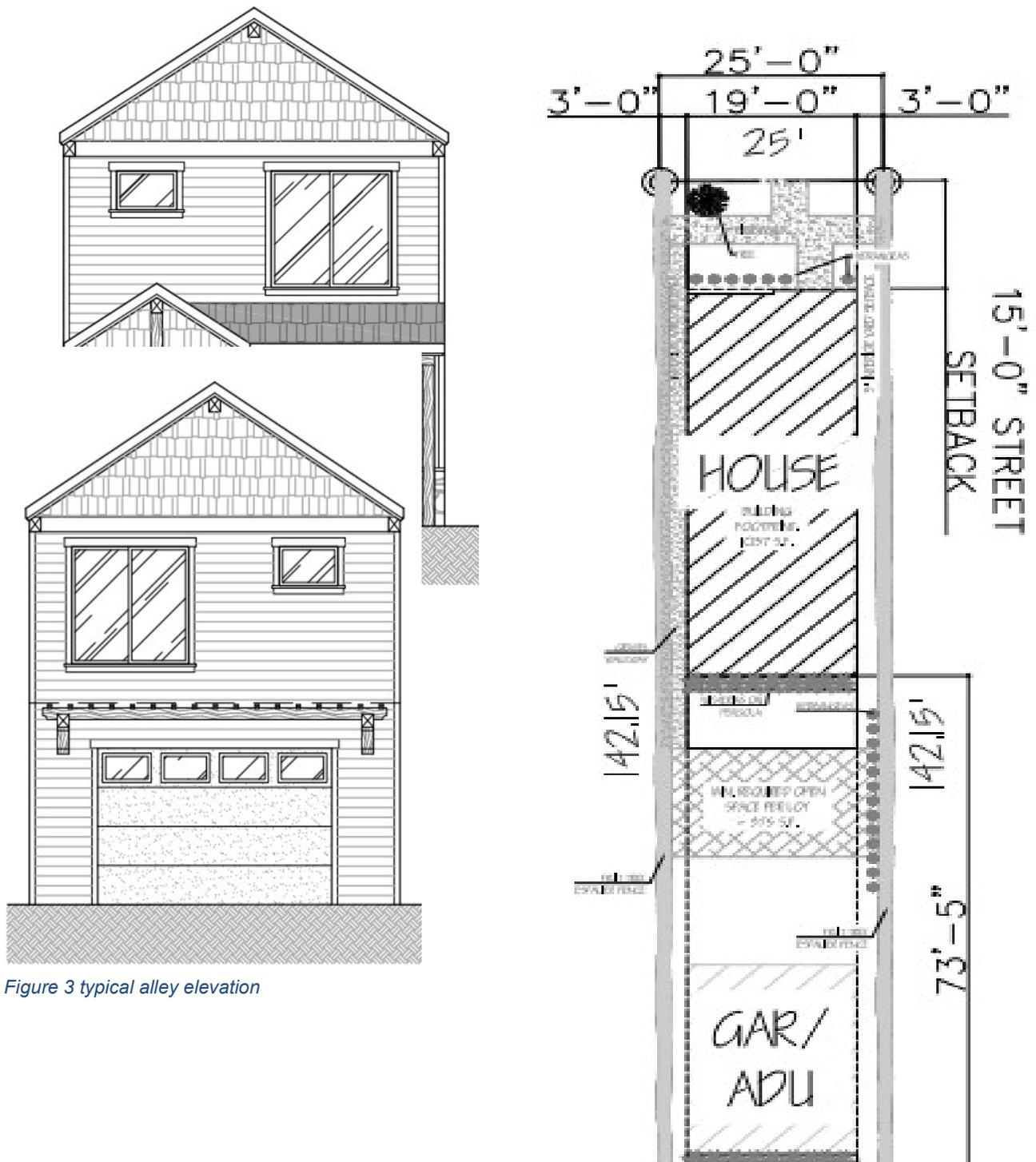


Figure 3 typical alley elevation

Applicable Sandpoint City Code

This application is subject to review and compliance with the following code. Staff review of the Site Plan Review Permit will address standards set forth in PCC§9-4-6-3 through 7. But they are included here for context. The planning and zoning commission will serve in its capacity as the design review body as no design review subcommittee has been otherwise designated. Code sections PCC§9-4-6-9 and 10 address design guidelines subject to review.

9-4-6: Standards for Development of Residential Substandard Original Lots of Record:

9-4-6-1: Purpose and Intent:

The purpose of these provisions is to guide residential development on substandard lots, ensuring that the developments are compatible with the character and the scale of established housing.

- A. Applicability and General Provisions: The following standards and procedures apply to residential development of substandard lots as defined in section 9-1-3 of this title, and apply to:
1. Substandard lots in the residential single-family zone having a lot area of less than five thousand (5,000) square feet and/or a lot width of less than fifty feet (50'), and
 2. Substandard lots in the residential multi-family zone having a lot area of less than five thousand (5,000) square feet.
 3. Development of single substandard corner lots with a width of less than thirty feet (30') shall not be allowed. Reconfiguration of two (2) contiguous substandard lots where one is a corner lot may be accomplished as provided for in title 10, chapter 2 of this code so long as their lot area is not reduced.
 4. These standards do not apply to lots that are part of a planned unit development and they do not take precedence over any note recorded on a subdivision plat.
 5. These standards do not apply to remodels of or expansions to legally established dwellings previously constructed on such lots, so long as other area requirements of the district are met.

Staff Review will include the following:

9-4-6-3: Development Standards:

- A. Design Review Required For Development of Substandard Lots: Development of three (3) or fewer dwelling units on three (3) contiguous substandard lots shall be subject to staff level review in conjunction with their building permit application.

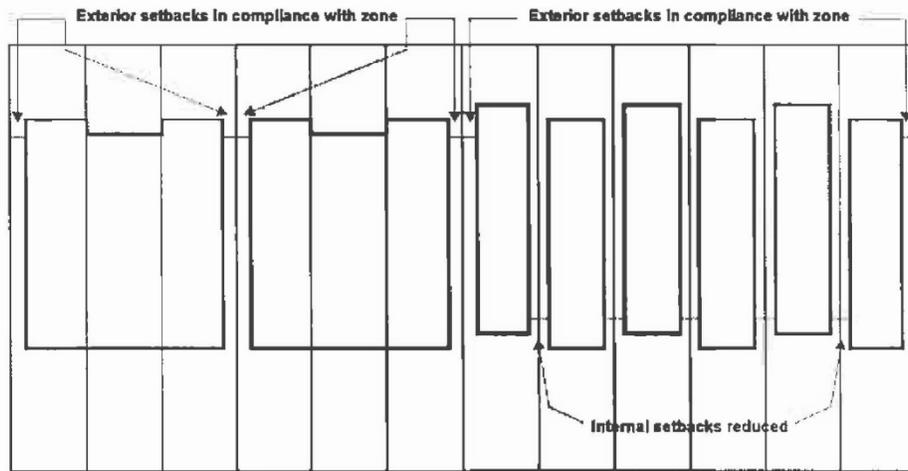
Except as otherwise provided herein, design review for the development of four (4) or more dwelling units, as well as the development of units with front loading garages, shall include referral to the planning commission or such design review subcommittee as may be created for such purpose, in conjunction with site plan review as provided for in subsection 9-1-4C of this title. Additional design review standards and guidelines are contained herein.

Adjoining property owners shall be notified of any development proposed under these provisions that is subject to review by the commission as noted above. Said notice shall inform such owners they may comment on the application during a period of not less than fifteen (15) days after mailing of the notice and prior to final action on said application.

B. Setbacks:

1. Front Setbacks: The front yard setback for livable space and porches shall be allowed as provided in the property's underlying zone. Adjoining lots developed at the same time shall contain different setbacks.
2. Side Setbacks: Interior side setbacks shall be in accordance with the applicable zone; street side yard setbacks shall be ten feet (10') for livable space and porches and twenty-five feet (25') for parking, unless one of the following is applied:
 - a. Common Lot Line Attached Units: Up to three (3) units may be attached at the common lot lines, provided that the exterior setbacks (unattached side setbacks) adhere to those required by the zone.

- b. Detached Units On Contiguous Lots: When two (2) or more single-family units are proposed on contiguous lots, the interior side yard setbacks may be reduced to three feet (3') provided that the exterior setbacks to the development adhere to the setbacks that are required by the zone.



Such reduced interior side yard setback shall be measured from property line to eave rather than building wall as may otherwise be allowed and may require compliance with additional building and fire code provisions (i.e., roof designed for higher snow load and provision of snow stops, installation of residential sprinkler system).

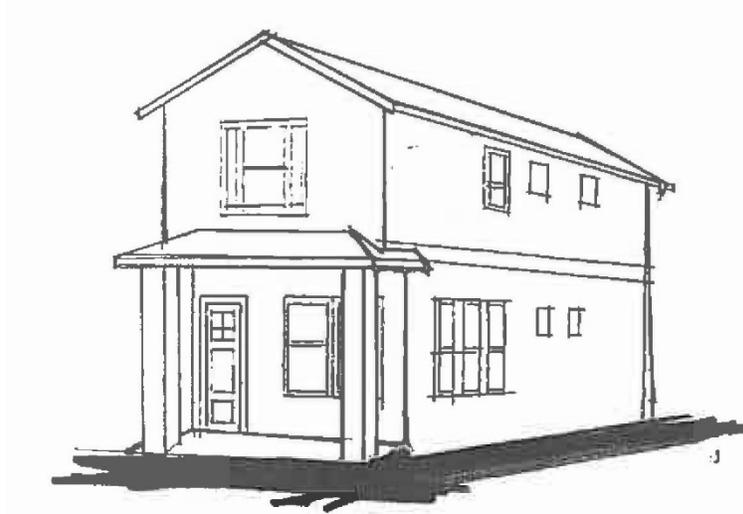


- 3. Rear Setbacks: Rear yard setbacks shall be as required by the zoning district in which the substandard lot is located.
- 4. Garage: A single-story, detached garage, a maximum of five hundred (500) square feet, accessed off of an alley may have a three foot (3') side setback.

(Ord. 1263, 12-29-2011)

9-4-6-4: Building Height:

- A. In the RM zone, substandard lot structures shall not exceed two (2) stories or thirty feet (30'), whichever is lower.



- B. In the RS zone, substandard lot structures shall not exceed twenty feet (20') or one and a half stories, whichever is lower. A one and a half story structure can be defined as:
1. A structure that includes a daylight basement that is sunk into the ground a minimum of four feet (4').



2. A structure that contains the second story within the pitched roofline.



- C. In the RS zone, a two-story structure less than twenty-five feet (25') may be permitted where:
1. Both adjacent properties are developed with two-story structures; or
 2. The development has been designed to minimize impacts to adjoining properties, as determined by the planning director. The factors to consider shall include: the size and height of the adjacent dwelling units; privacy impacts on adjacent properties; the height, mass, window placement and roofline pitch of the proposed structure; and the overall design of the upper story of the proposed structure. Upper story limitations or setbacks on the new building may be an acceptable means of ensuring compatibility with adjacent structures of smaller size.



(Ord. 1263, 12-29-2011)

9-4-6-7: Parking:

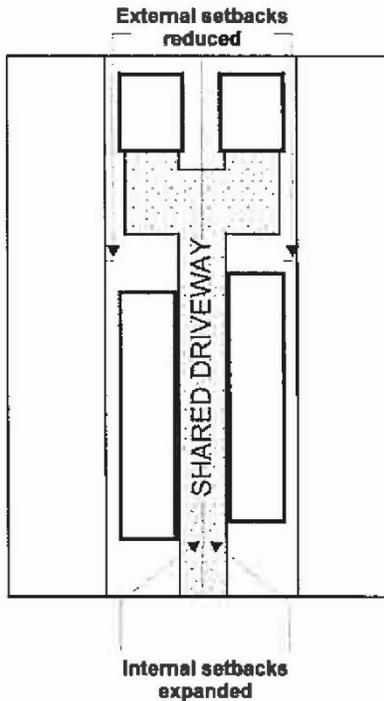
- A. Each dwelling shall be provided with off-street parking in accordance with chapter 5 of this title.
- B. Vehicular access and parking shall be provided according to the following standards:
 1. Parking accessed via alleys is encouraged.
 2. Units with front loading garages (where access to alley is not available or practical):
 - a. Any attached, front loading garage shall include design elements that will provide varied rooflines, dormers within the roofline or other architectural treatments that will avoid the appearance of garage domination. The setback of the garage face shall be twenty-five feet (25').
 - b. Porches, living space, or other projecting features above such front loading garages are required. Structures incorporating such features above a front loading garage shall not be subject to review by the commission.



- c. Attached, front loading garages shall be limited to single car width; two (2) car garages must be designed for tandem parking.

- d. The use of a ten foot (10') wide shared driveway providing access to rear yard garages that are attached with a common wall on the property line is allowed.
- e. Where a shared driveway is proposed between two (2) units, each unit may be allowed to reduce the outside side yard setback from five feet (5') to three feet (3') to provide for a driveway width greater than ten feet (10').

Such reduction is contingent upon approval of a stormwater plan. In addition, the reduced setback shall be measured from property line to eave rather than building wall as may otherwise be allowed and may require compliance with additional building and fire code provisions (i.e., roof designed for higher snow load and provision of snow stops, installation of residential sprinkler system).



- 3. The driveway may be designed with concrete wheel strips or grass pavers that are separated by vegetation.
(Ord. 1263, 12-29-2011)

Planning and Zoning Commission acting as the Design Review board will address the following:

9-4-6-9: Design Guidelines for Substandard Lots:

Development on substandard lots requires site plan review approval. As applicable to their required review process, city staff and the planning commission or such design review subcommittee as may be created for such purpose shall take into account the location and design of adjacent buildings, landscaping and right-of-way improvements, and shall apply the following criteria as appropriate:

- A. Front Facade Design Requirements:
 - 1. Homes shall have a front door that faces the street. When a unit is built on a corner lot, the door shall face the dominant street.
 - 2. In lieu of a street facing front door, the applicant may construct a prominent front porch that is a minimum of six feet (6') in depth, and the dwelling shall have a minimum of twenty-five percent (25%) of the front facade comprised of windows and/or door openings. For homes with front loaded garages, the garage door shall not count toward the window opening requirements. The

garage door shall include design elements such as: panels, windows, trim features, cross members, or other architectural features as determined by the commission or staff.

3. Detached dwelling units shall provide a facade that substantially differs from the facade of adjacent structures. Variations in materials alone will not be considered sufficient. The unique facade may be obtained through the use of structural changes or through the use of substantial design elements. In addition to complying with the preceding design guidelines, the front facade shall include multiple design elements such as: multipaned windows, varied rooflines, dormers, bay windows, wainscoting, a covered front door, a usable front porch or other elements as approved by the commission or staff that create a unique facade. Articulated designs may repeat on noncontiguous lots.
 4. Attached units shall provide modulation and architectural design features to prevent flat facade wall planes.
- B. Orientation of Buildings: All buildings shall be oriented toward a public street. When buildings cannot be oriented toward a public street due to inadequate street frontage or similar circumstances, the buildings shall be oriented toward a private street or lane that conforms to city standards.
- C. Stormwater Runoff: Stormwater runoff shall be directed to the front or rear yard and shall be treated in accordance with standards of the Sandpoint stormwater ordinance.

(Ord. 1263, 12-29-2011)

9-4-6-10: Design Guideline and Development Standards Waivers for Substandard Lots:

- A. The applicant may request a waiver from one or more of the standards listed in section 9-4-6-9 of this chapter or from the height and parking requirements of sections 9-4-6-4 and 9-4-6-7 of this chapter. All requests for waivers shall be heard and decided by the planning commission or such design review subcommittee as may be created for such purpose. A waiver shall not be considered a right or special privilege but may be granted to an applicant that can meet the following findings:
1. That the granting of the waiver will not be in conflict with the intent of the substandard lot ordinance, shall not negatively impact the existing neighborhood and shall enhance the overall design quality of the project.
 2. That there is an exceptional circumstance relating to the design or configuration of the property, which is not generally applicable to other properties or otherwise anticipated by the standards in the district.
 3. The granting of such relief will not be materially detrimental to the public health, safety or welfare, or injurious to the property, improvements or the quiet enjoyment of the surrounding properties and neighborhood.
 4. The granting of such relief will not be in conflict with the goals and policies of the comprehensive plan.

(Ord. 1263, 12-29-2011)

City of Sandpoint Comprehensive Plan: The City's Comprehensive Plan establishes broad goals, and policies to guide development in the City. Below are some notable elements extracted therefrom:

Notable Element #1: The future land use component shows the subject neighborhood as Medium Density Residential. These areas are described as *"in proximity to Downtown and other commercial areas with potential for smaller lot sizes and setbacks, options for shared open space and allowance for attached and detached multifamily units. The land use category supports a mix of housing types often referred to as "missing middle" housing (single, duplex, fourplex, townhome dwellings) and smaller scale multiple-family buildings (10 or fewer units) that benefit from proximity to employment centers and multimodal transportation. The bulk and mass of the varied types of units are compatible, creating a balanced streetscape where no one structure dominates."*

Notable Element #2: The City Comprehensive Plan chapter 5 – *Housing and Neighborhoods* contains Goal Statement 1 titled Housing Variety: *A variety of quality housing types is available to serve a broad spectrum of household types and age groups.*

- *Pursue diversity in housing types by permitting detached, duplex, townhouse, stacked flats, accessory dwelling units*
- *(ADUs), co-housing, co-living, cottage communities, and other types as appropriate in neighborhoods.*
- *Encourage housing above retail in mixed-use and commercial centers for year-round and seasonal housing options and to enhance community vitality.*
- *Work with housing providers that create housing options to meet the accessibility and functional needs of households with seniors and residents with special needs.*
- *Encourage development of attached housing types in and around downtown.*
- *Encourage development of single-family housing within traditional and medium-density neighborhoods.*
- *Explore alternatives to parking requirements to encourage variety of housing types for a broad spectrum of income levels and age groups.*

Design Review Process

Design Review Process will provide the requisite recommendations necessary for Staff to complete the administrative site plan review permit determination with any conditions of approval. Planning and Zoning Commission acting as the Design Review Board must consider whether this project meets the design guidelines as required per the design guidelines within the Substandard Original Lots of Record Code (included within the body of the staff report, above) and to consider any design waivers as applicable. Staff envision that the PZC, at the meeting, will consider and discuss each required element, with staff recording/tracking the outcomes.

Action

Planning & Zoning Commission shall deliberate on the subject proposal and relevant design guidelines and make findings and take one of the following actions in accordance with Sandpoint City Code:

1. Note specific elements of the proposal that are deemed essential.
2. Address specific concerns that will result in conditions of approval or revisions.
3. Suggest alternative design elements that will result in conditions or revisions.

Attachments

The public record on this matter includes all of the following documents that can be viewed at the City's Current Projects Website: [PSPR25-0008 - Six Single Family Residential - 1331 Church | Sandpoint, ID](#)

1. Application materials as submitted by the applicant include:
 - a. Application form & Narrative
 - b. Site and Architectural plans including Site plan, Floor plans, and Building elevations
 - c. Six Lot Development Plan