



CITY OF SHEBOYGAN
SPECIAL USE AND SITE PLAN REVIEW
APPLICATION

Fee: \$100

Review Date: _____

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Name (Ind., Org. or Entity) KURT DAVIS - ABACUS	Authorized Representative KURT DAVIS	Title ARCHITECT	
Mailing Address 1135A MICHIGAN AVE.	City SHEBOYGAN	State WI	ZIP Code 53081
Email Address KDAV@ABACUSARCHITECTS.NET	Phone Number (incl. area code) 920-207-4829		
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Name (Ind., Org. or Entity) VOLZATH CO., LLC	Contact Person GARY SAUER	Title FACILITIES DIRECTOR	
Mailing Address 1236 NORTH 18th P.O. 611	City SHEBOYGAN	State WI	ZIP Code 53081
Email Address GARYSAUER@VOLZATHCO.COM	Phone Number (incl. area code) 920-459-5205		
SECTION 3: Architect Information			
Name KURT DAVIS			
Mailing Address 1135A MICHIGAN AVE.	City SHEBOYGAN	State WI	Zip 53081
Email Address KDAV@ABACUSARCHITECTS.NET	Phone Number (incl. area code) 920-207-4829		
SECTION 4: Contractor Information			
Name TBD			
Mailing Address	City	State	Zip
Email Address	Phone Number (incl. area code)		
SECTION 5: Certification and Permission			
Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Site Plan Review Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.			
Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.			
Name of Owner/Authorized Representative (please print) KURT DAVIS	Title ARCHITECT	Phone Number 920-207-4829	
Signature of Applicant 	Date Signed 2-17-25		

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$100 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

SECTION 6: Description of the Subject Site/Proposed Project

Parcel No.	59281214074	Zoning Classification	SUBURBAN-INDUSTRIAL
Name of Proposed/Existing Business:	VOLLRATH CO., INC.		
Address of Property Affected:	1236 Nth 18th ST. SHREBOYLAN, WI 53081		
New Building:	<input checked="" type="checkbox"/>	Addition:	<input type="checkbox"/>
		Remodeling:	<input type="checkbox"/>

SECTION 7: Brief Description of Type of Structure

VOLLRATH CO., INC. IS CONSTRUCTING A NEW 40' x 60' METAL POLE BUILDING ON EXISTING PARCEL TO BE USED FOR STORAGE IN PLACE OF AREA (BUILDING) TO BE REMOVED AS PART OF A MASTER PLAN FOR NEW BUILDING STRUCTURE(S)

SECTION 8: Description of EXISTING Operation or Use

N/A

SECTION 9: Description of the PROPOSED Operation or Use

STORAGE

SPECIAL USE AND SITE PLAN USE APPLICATION SUBMITTAL REQUIREMENTS

A. Name of project/development.

B. Summary of general operation and proposed use:

- Description of existing use
- Description of proposed use (indoor, outdoor, etc.), why was this site selected?
- All services, products, etc. to be provided
- Projected number of residents, employees, and/or daily customers
- Proposed number of dwelling units, floor area, landscape area, and parking area expressed in square feet and acreage to the nearest one-hundredth of an acre
- Description of proposed building and all new site improvements (square footage of new and existing structure(s), traffic, ingress/egress, parking, sidewalk, retaining walls, storm drainage, landscaping, lighting, dumpster enclosure, screening of mechanicals, etc.)
- A written description of the proposed general orientation, design, arrangement, texture, material and color of the building or structure and how it is compatible with the development and redevelopment in and around the area
- An explanation of any interior and/or exterior renovations
- Is access appropriate and is their sufficient customers/resident off-street parking?
- Proposed signage
- Project timeline and estimated value of project
- Compatibility of the proposed use and design with adjacent and other properties in the area.
- How will you insure that the business will not become a nuisance to adjacent properties (i.e. parking, noise, smells, hours of operations, etc.
- Other information that would be considered pertinent by the Plan Commission.

C. Submit TWO (2) copies of a property site plan drawing, which includes:

- A certified survey map showing existing property boundaries and improvements
- A map providing the following information:
 - The map and all its parts shall be clearly reproducible with a photocopier at a size of 11" X 17" and map scale not less than 1' = 600' with lot dimensions of the subject property provided and a graphic scale and north arrow
 - All lands for which the conditional use is proposed
 - All other lands within 100 feet of the boundaries of the subject property
 - The current zoning of the subject property and its environs (200 feet)
- A site plan (conforming to the requirements of Section 15.908(3) of the subject property as proposed for development):
 - Submit TWO (2) hardcopies of the site plan and ONE (1) 11" X 17" reduction of the site plan
 - Submit digital plans and drawings of the project by email, flash drive, etc.
 - Title block that provides all contact information for the petitioner and/or owner, if different
 - Full name and contact information of petitioner's engineers/surveyors/architects, or other design professionals used in the plan preparation
 - The date of the original plan and latest date of revision to the plan
 - A north arrow and graphic scale. Said scale is not to be smaller than one inch equals 100 feet
 - All property lines & existing/proposed right-of-way lines with bearings & dimensions clearly labeled

- Existing /proposed easement lines and dimensions with an explanation of ownership and purpose
- All required building setback lines
- Existing and proposed buildings, structures and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities and walls
- Location and dimension of all curb cuts and throat widths of all access points onto public streets or alleys
- The location and dimension of all on-site parking including a summary of the number of parking stalls provided versus the requirements of the ordinance
- The location and dimension of all loading and service areas on subject property
- The location of all outdoor storage areas and the design of all screening devices
- Location of all outdoor storage and refuse disposal areas and the design and materials used for construction and operation
- The location, type, height, size and lighting of all signage
- Location, height, design, illumination power and orientation of all exterior lighting on the property including a photometrics plan
- Location of all exterior mechanical equipment and utilities and elevations of proposed screening devices where applicable (i.e. visible from a public street or residential use or district). Mechanical equipment includes, but is not limited to; HVAC equipment, electrical transformers and boxes, exhaust flues, plumbing vents, gas regulators, generator
- Location of all existing and proposed landscape areas, storm water areas, etc.

✓ D. Building elevations and perspectives.

NOTE: A Traffic Impact Study (TIA) may be required with large development proposals.

NOTE

Initiation of Land Use or Development Activity

Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the site plan by the City Plan Commission. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

Modification of an Approved Site Plan

Any and all unauthorized variations between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan may be revised so as to clearly and completely depict any and all proposed modifications to a previously approved site plan by the City Plan Commission. Prior to the initiation of said modifications, the City Plan Commission must approve the revised plan.

Office Use Only

ACTION BY CITY PLAN COMMISSION

DATE OF MEETING: _____

APPROVED: _____ CONDITIONALLY APPROVED: _____ DENIED: _____

CONDITIONS

SIGNATURE: _____

Director or Representative
Department of City Development

DATE: _____

NOTES

Permit may be revoked without notice if misrepresentation of any of the above information or attachments is found to exist.

Permit shall expire within six (6) months from date of approval unless substantial work has commenced.

Permit is null and void if issued in error. It is understood that any permit issued on this application will not grant any right or privilege to erect any structure or to use any permits for any purpose that is prohibited by the City Zoning Ordinance or any other state or local laws.

Changes in the plans or specifications submitted in the original application shall not be made without prior written approval of the City Plan Commission.

Check sidewalk grades from City Engineering Department with finished site grade.

APPLICATION SUBMITTAL

STEP 1: Initial Meeting with City Planning Office:

An initial meeting is to ensure that both the applicant and the city staff have a proper understanding of what is being requested and to explain the approvals necessary. An engineered drawing is not required for this meeting, but an accurate sketch and any applicable background information may be needed. Additional meetings can be arranged by calling the Department of City Development.

STEP 2: Official Submission:

A special use permit and site plan application may be filed at the City of Sheboygan Planning and Development office located on the 2nd floor of City Hall or may be submitted electronically via email: Steve.Sokolowski@SheboyganWI.gov

If submitting electronically, please verify application has been accepted and will be placed on the next Plan Commission agenda.

Payment of the application fee must be received prior to the application filing deadline. Payment may be submitted via postal delivery, in person, or by phone using credit card.

Mailing Address: Department of City Development
828 Center Ave. Suite 208
Sheboygan, WI 53081

NOTE: Applications will not be accepted until complete. A complete application includes all items in the respective checklists above. Applications must be complete before they are scheduled for a meeting before the Plan Commission.

PLAN COMMISSION MEETING

Meeting Date: The Plan Commission meets on the 2nd and 4th Tuesdays of the month at 4:00 p.m. in the Council Chambers of City Hall, 828 Center Ave. The project applicant or a representative must attend the Plan Commission meeting to present the request and answer questions regarding the proposal. Public comment will be invited at the Plan Commission meeting.

Project Review: The purpose of a special use permit and site plan is to assure compatibility between land uses. City staff analyzes a proposal and prepares a recommendation for the Plan Commission. The project analysis considers the location of the affected property, surrounding uses, and the operational details of a proposed use.

Plan Commission: The Plan Commission is charged with the authority to approve or deny a special use permit and site plan request. In the event an applicant wishes to contest the decision of the Plan Commission, the applicant may appeal the decision to the Sheboygan County Circuit Court.

**Plan Commission meeting agendas and minutes may be viewed on the City's website:
www.SheboyganWI.gov**

FOR INFORMATION OR ASSISTANCE CONTACT THE ZONING MANAGER: (920) 459-3382

February 18th, 2025

City of Sheboygan
828 Center Avenue
Sheboygan, WI 53081

SITE PLAN REVIEW

*The Vollrath Company, Inc. – Pole Building
Sheboygan, WI*

THE VOLLRATH COMPANY

The Vollrath Co., Inc., founded in 1874 has been providing high quality, commercial cooking and serving equipment that provides efficiency and ease of use in the demanding environment of commercial kitchens and foodservice operations.

Vollrath offers OEM Solutions, Wholesale Food Service Products, and advanced cleaning products.

Vollrath serve both U.S. and International Markets.

PROJECT DESCRIPTION

The Vollrath Co., Inc. will be constructing a new Metal Pole Building (approx. 40' x 60') on their property to accommodate storage needs for equipment. This is required as they prepare for new and improve existing building areas to accommodate future growth. The structure will be located in the vicinity of the existing Production area on the North end of the site approx. a few hundred feet from Superior Avenue to the North. Site plan and Survey are attached.

The structure itself is a Pre-Engineered Metal Pole Building (plans and elevations attached). This type of Architectural Design will match existing buildings on the Vollrath Campus and surrounding buildings such as S.E.A.S. on the Northeast corner of 18th and Superior Avenue. Materials – Colors will be similar to many other buildings on The Vollrath Campus so that new building blends in with Architectural character of surrounding building on property and those adjoining.

SITE

The existing site is zoned Suburban Industrial. Please find attached to this submittal an overall Site Plan and Zoning classification of adjacent properties.

PROJECT TIMELINE

Project Start will be as soon as possible relative to City of Sheboygan Plan Commission, Architectural Review Board and Building Inspection Approvals.



OTHER PROJECT INFORMATION

The Pole Building is required to facilitate growth at The Vollrath Company. It is the first piece of Long-Range Master Planning to not only improve current operations, but to efficiently and methodically build for the next generation.

The structure will not require additional parking, revised loading and/ or service areas, Site Lighting, Signage or new lighting-illumination.

Please call me directly if you have any questions that I can answer before the Plan Commission Meeting.

Sincerely,

Kurt Davis, Vice President
Abacus Architects, Inc.



P.O Box 930220
 Verona, WI 53593-0220
 Phone: (608) 845-9700
 Fax: (608) 845-7070

1/15/2025
 CHAPPA, TYLER
 Doc ID: 21183220250115125039

Cleary/Owner Project Proposal - Material Only

Roof Finish and Accessories for Building 1

Exterior Finishes

Roof: Premium Steel Panel
 - Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

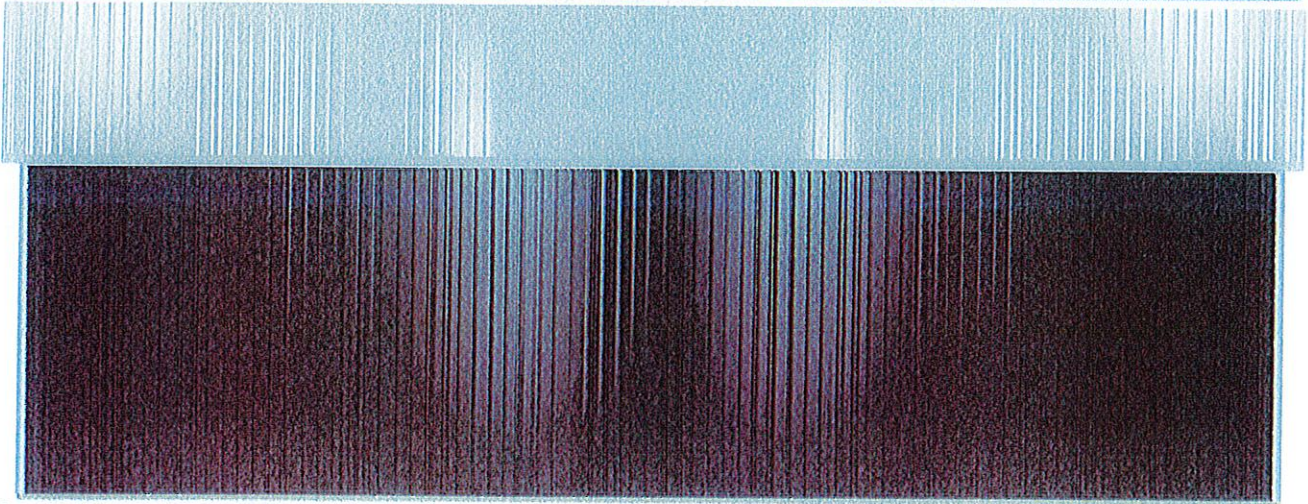
Ventilation

Roof
 Ridge Cap(s):
 62' 0" of Standard Ridge Cap. Marco LP2 Weather-Tite Ridge Vent "Low Profile" (Add ventilation to ridge).

Accessories

Roof
 Condensation Control for Building 1: None
 Weathervane: Cleary weathervane not included with building

Elevations for Building 1



South Side Wall 1 on Building 1

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

Exterior Finishes

Side Wall 1 on Building 1
 Siding: Premium Steel Panel
 - Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.
 House Wrap: None
 Wainscot: None
 Eave Filler Strips: None



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Cleary/Owner Project Proposal - Material Only

Treated Plank Filler Strips: None

Ventilation

Side Wall 1 on Building 1

Overhang: 12" Aluminum soffit (Sidewall) with vented soffit

Bird Screening for the interior to prevent birds from nesting in overhang.

Accessories

Side Wall 1 on Building 1

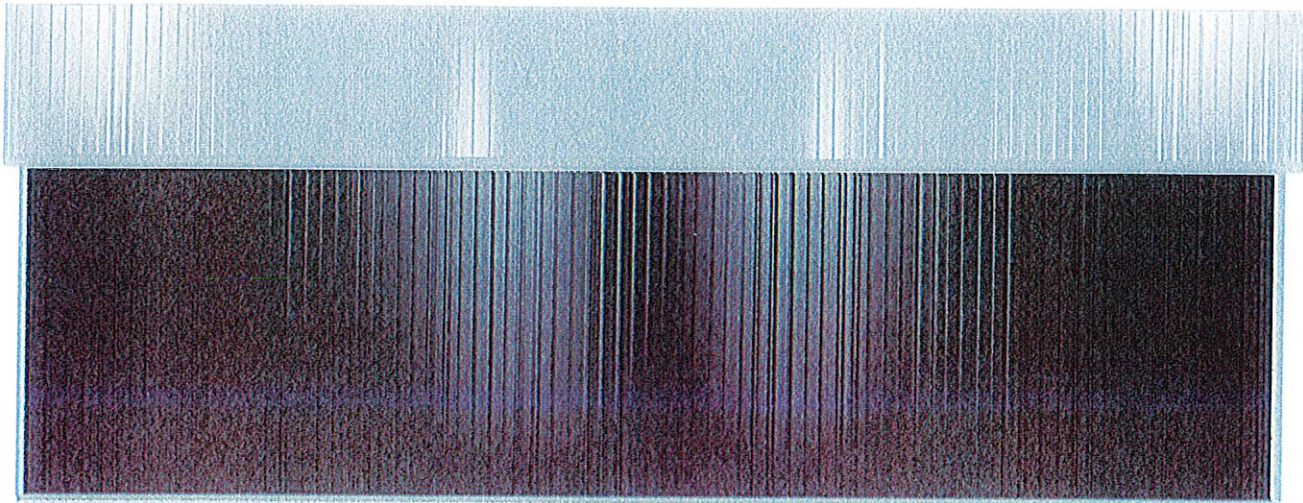
None

Interior Finishes / Insulation

Side Wall 1 on Building 1

Condensation Control: None

Insulation: None



North Side Wall 2 on Building 1

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

Exterior Finishes

Side Wall 2 on Building 1

Siding: Premium Steel Panel

- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

House Wrap: None

Wainscot: None

Eave Filler Strips: None

Treated Plank Filler Strips: None

Ventilation

Side Wall 2 on Building 1

Overhang: 12" Aluminum soffit (Sidewall) with vented soffit

Bird Screening for the interior to prevent birds from nesting in overhang.

Accessories



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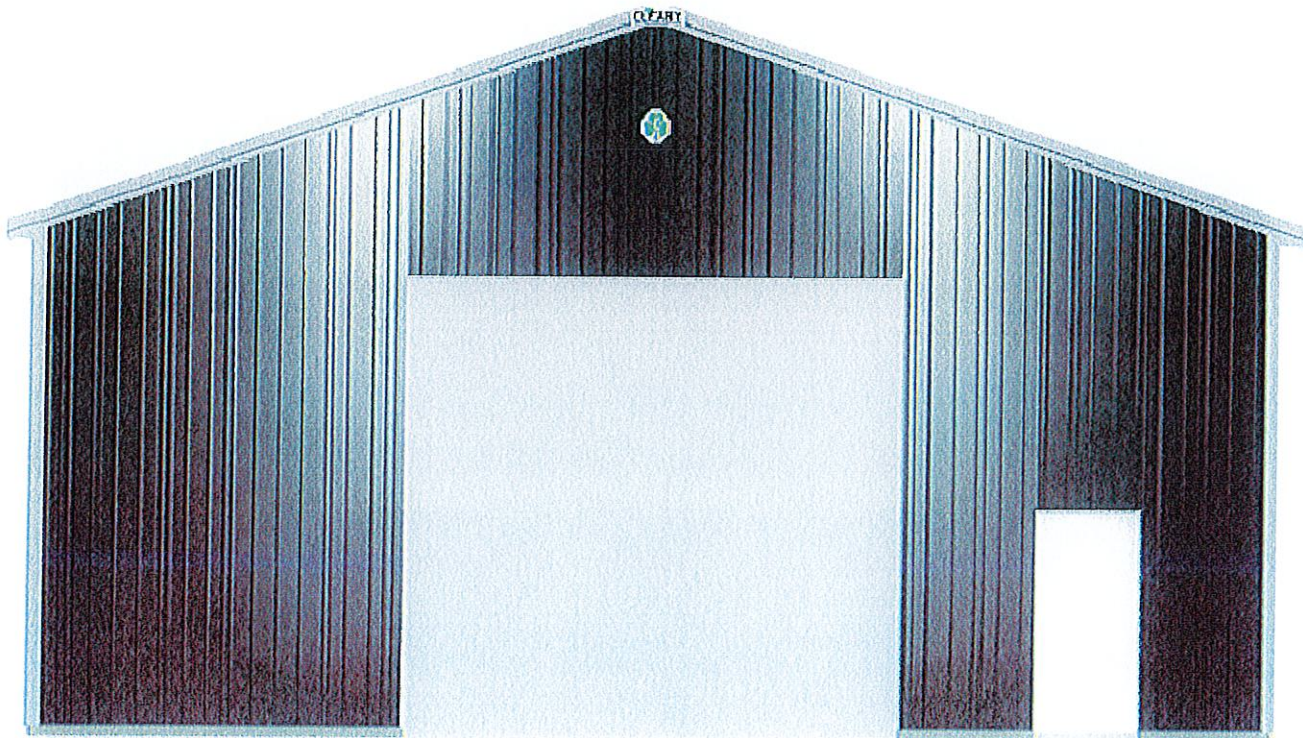
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Cleary/Owner Project Proposal - Material Only

Side Wall 2 on Building 1
None

Interior Finishes / Insulation

Side Wall 2 on Building 1
Condensation Control: None
Insulation: None



East End Wall 1 on Building 1

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.


Exterior Finishes

End Wall 1 on Building 1
Siding: Premium Steel Panel
- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.
House Wrap: None
Wainscot: None
Gable Filler Strips: Gable filler strips not included.
Treated Plank Filler Strips: None

Ventilation

End Wall 1 on Building 1
Overhang: 12" Aluminum soffit (Endwall) with vented soffit

C-110
v12/10

built with pride before the  *is applied*®

6 of 13



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Cleary/Owner Project Proposal - Material Only

Accessories

End Wall 1 on Building 1

Overhead Frame Out(s):

16' 0" Width x 14' 0" Height

Headroom Available: 1' 10"

Additional Header material required: Overhead Frame Out with 13" to 20" of Required Headroom without Liner

Distance from left edge of wall to left edge: 12' 0 1/4"

Distance from 100'+0" mark to bottom of the overhead frame out plus: 4"

Inside edge of overhead frame out to be trimmed with door edge.

OVERHEAD DOOR NOT INCLUDED UNLESS OTHERWISE NOTED IN WRITING IN THE ADDITIONAL BUILDING COMPONENTS OR CLOPAY BUILDING PRODUCTS SECTION.

Walk Door(s):

Standard, Steel Jamb 3 1/2" 3'-0"x6'-8"

Distance from left edge of wall to left edge: 32' 7"

Distance from 100'+0" mark to bottom of door plus: 4"

Anchor: ANCHOR KIT (WOOD)

Closer: No Closer

Dead Bolt: Key/Latch

Door Chain: No Chain

Embossment: No Embossment

Frame: 2x6

Hinge: 4" 304 STAINLESS STEEL FIXED PIN

Jamb: 3 1/2" Jamb

Kick Plate: No Kick Plate

Latch Guard: No Latch Guard

Latch: None

Lockset: Knob/Knob

Panic Hardware: No Panic Hardware

Skin: Blank

Swing: Right Hand Swing In Single Door

Window: None

Keyed Alike. Group 1

Interior Finishes / Insulation

End Wall 1 on Building 1

Condensation Control: None

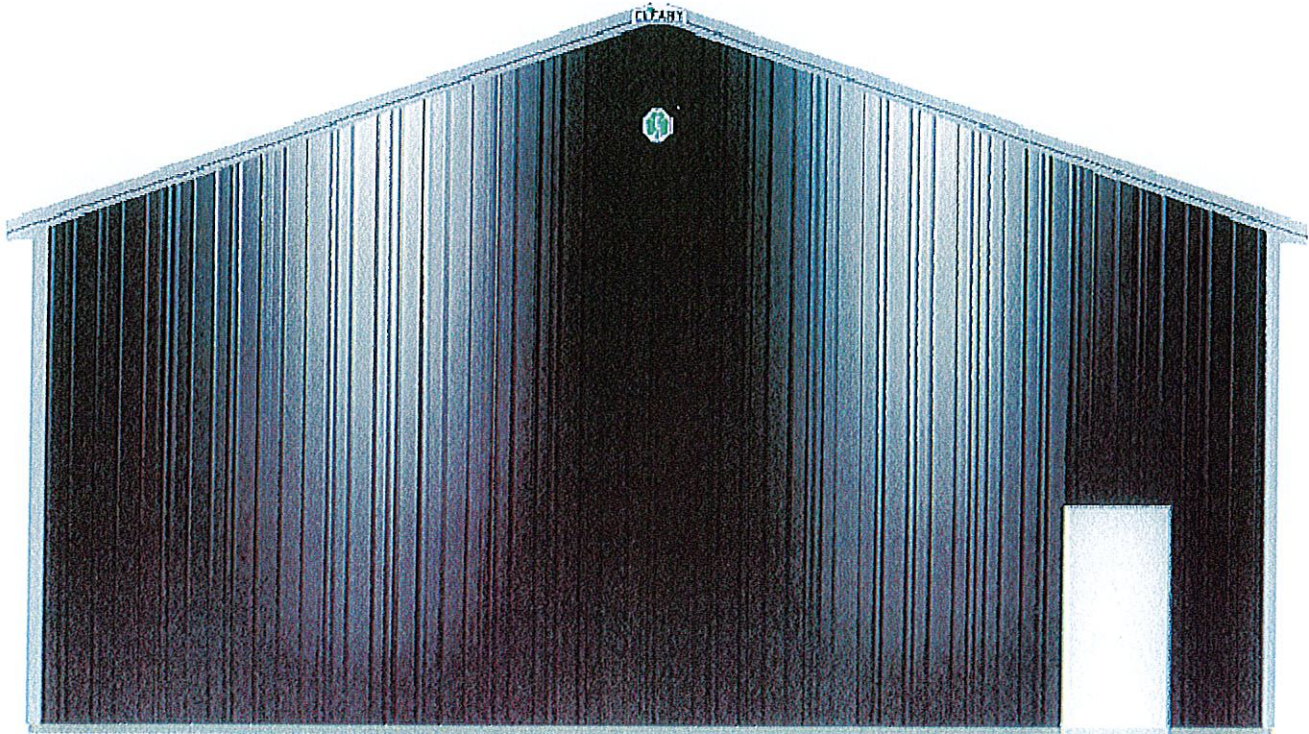
Insulation: None



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Cleary/Owner Project Proposal - Material Only



West End Wall 2 on Building 1

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Exterior Finishes

End Wall 2 on Building 1

Siding: Premium Steel Panel

- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

House Wrap: None

Wainscot: None

Gable Filler Strips: Gable filler strips not included.

Treated Plank Filler Strips: None

Ventilation

End Wall 2 on Building 1

Overhang: 12" Aluminum soffit (Endwall) with vented soffit

Accessories

End Wall 2 on Building 1

Walk Door(s):

Standard, Steel Jamb 3 1/2" 3'-0"x6'-8"

Distance from left edge of wall to left edge: 33' 6"

Distance from 100'+0" mark to bottom of door plus: 4"

Anchor: ANCHOR KIT (WOOD)



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Cleary/Owner Project Proposal - Material Only

Closer: No Closer
Dead Bolt: Key/Latch
Door Chain: No Chain
Embossment: No Embossment
Frame: 2x6
Hinge: 4" 304 STAINLESS STEEL FIXED PIN
Jamb: 3 1/2" Jamb
Kick Plate: No Kick Plate
Latch Guard: No Latch Guard
Latch: None
Lockset: Knob/Knob
Panic Hardware: No Panic Hardware
Skin: Blank
Swing: Right Hand Swing In Single Door
Window: None
Keyed Alike. Group 1

Interior Finishes / Insulation

End Wall 2 on Building 1
Condensation Control: None
Insulation: None

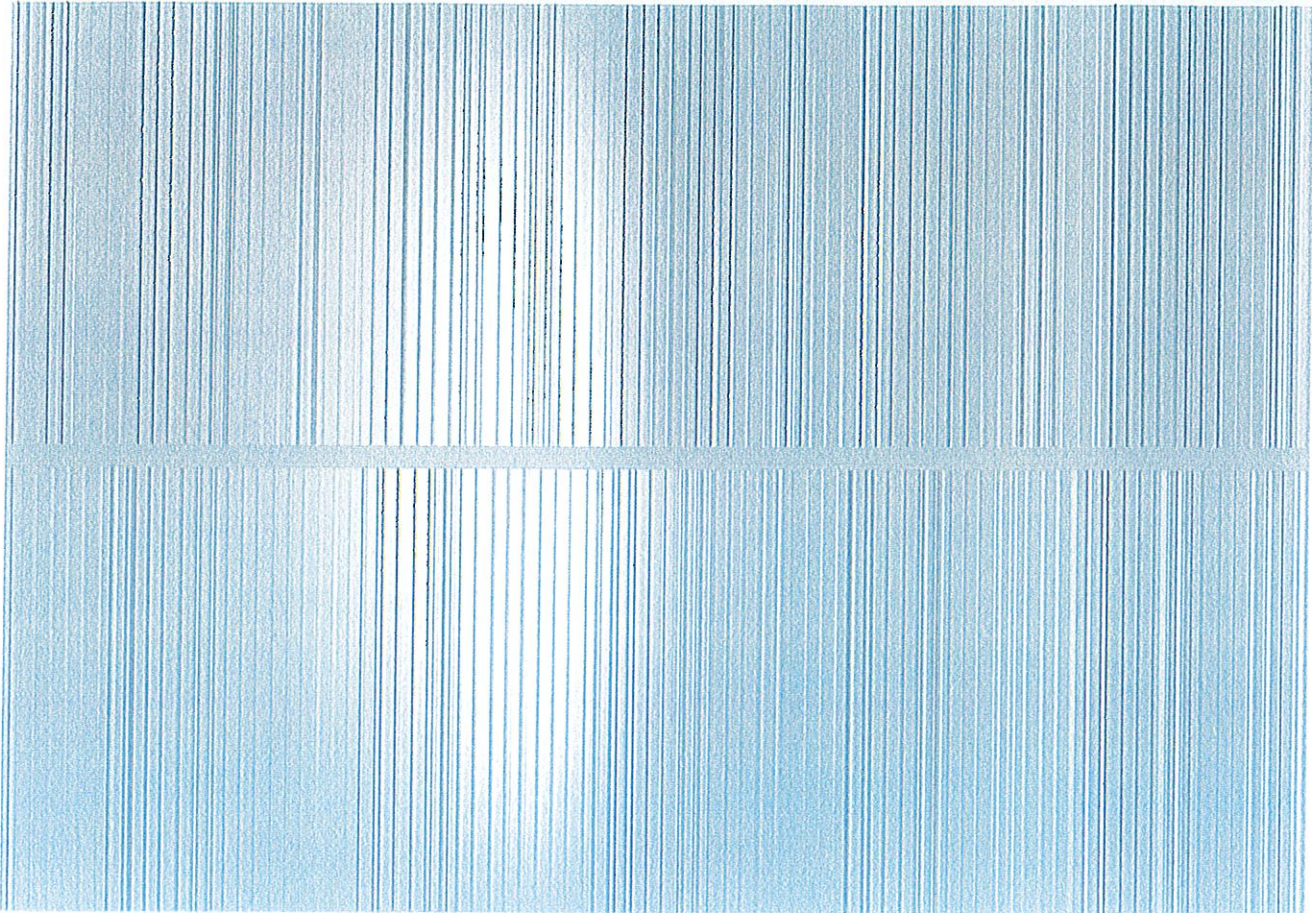


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Aerial View



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Cleary/Owner Project Proposal - Material Only

Project Colors

Building - Exterior

Siding

- Premium Steel Panel: Umber
- Corner Trim: Light Gray
- Bottom Trim: Light Gray

Roof

- Premium Steel Panel: Light Gray

Trim

- Gable: Light Gray
- Eave/Fascia: Light Gray
- Ridge Cap: Light Gray
- Trim Color Unless Otherwise Specified: Light Gray

Overhangs

- Soffit: Light Gray
- WallToSoffitTrim: Light Gray
- CeilingEnclosureTrim: Light Gray

Overhead Frameout

- J-Trim: Light Gray
- InsideTrim: Light Gray

Walk Doors

- Standard Blocked 3068: Brilliant
- J-Trim: Light Gray

Project Color Chip Review

All applicable Wall Steel, Roof Steel, Walk Door, and Trim colors have been reviewed using steel color chips.

Purchaser Initials

Purchaser and BSS to meet at a later date to confirm colors with color chips. This will be documented with a change order.

Purchaser Initials

Overhead Frameout & Headroom

GENERAL NOTES AND SPECIFICATIONS

1. The materials and labor shown on these plans that are provided by Cleary Building Corp. are limited to those materials and labor as defined by the Cleary Building Corp. contract. Additional materials or accessories that are not being provided by Cleary Building Corp. may be shown on plans for context or building code compliance.

2. This building is designed in accordance with the following codes and specifications as applicable:

- 2018 Wisconsin Administrative Code chs. SPS 361-366
- 2015 International Building Code (IBC) as amended by SPS 362
- 2015 International Energy Conservation Code (IECC) as amended by SPS 363
- 2015 International Existing Building Code (IEBC) as amended by SPS 365
- 2015 National Design Specification for Wood Construction (NDS)

Risk Category: II
 Use Group(s) Classification: S-1
 Building Use: Storage
 Type of Construction: Type VB
 Building Area: 2400 Sq. Ft.

Building Design Loads:
 Snow Design Data:
 Ground Snow Load (Pg): 47 PSF
 Snow Exposure Factor (Ce): 1
 Slope Factor (Cs): 0.94
 Thermal Factor (Ct): 1.2
 Snow Load Importance Factor (Is): 1.0
 Flat Roof Snow Load (Pf): 39.5 PSF
 Sloped Roof Snow Load (Ps): 37 PSF
 Unbalanced Snow Loads:
 11.1 PSF Windward
 37 PSF Leeward
 20.39 PSF Leeward surcharge
 8.1 Ft. Width of surcharge

Wind Design Data:
 Basic Design Wind Speed (V): 125 MPH
 Wind Exposure: C
 Design Internal Pressure Coefficient: ± 0.18

Earthquake Design Data:
 Basic Seismic Force Resisting System: Building Frame System/Light Frame Walls Sheathed with Wood Structural Panels or Steel Sheets
 Design Base Shear: 430 LBS
 Seismic Response Coefficient (Cs): 0.012
 Analysis Procedure Used: Equivalent Lateral Force Procedure
 Seismic Design Category: A
 Mapped Spectral Response Accelerations (Ss): 6.6%g
 (S1): 3.9%g
 Spectral Response Coefficients (Sps): 0.07g
 (Sp1): 0.063g
 Site Class: D
 Seismic Importance Factor (Ie): 1.0
 Response Modification Factor (R): 6

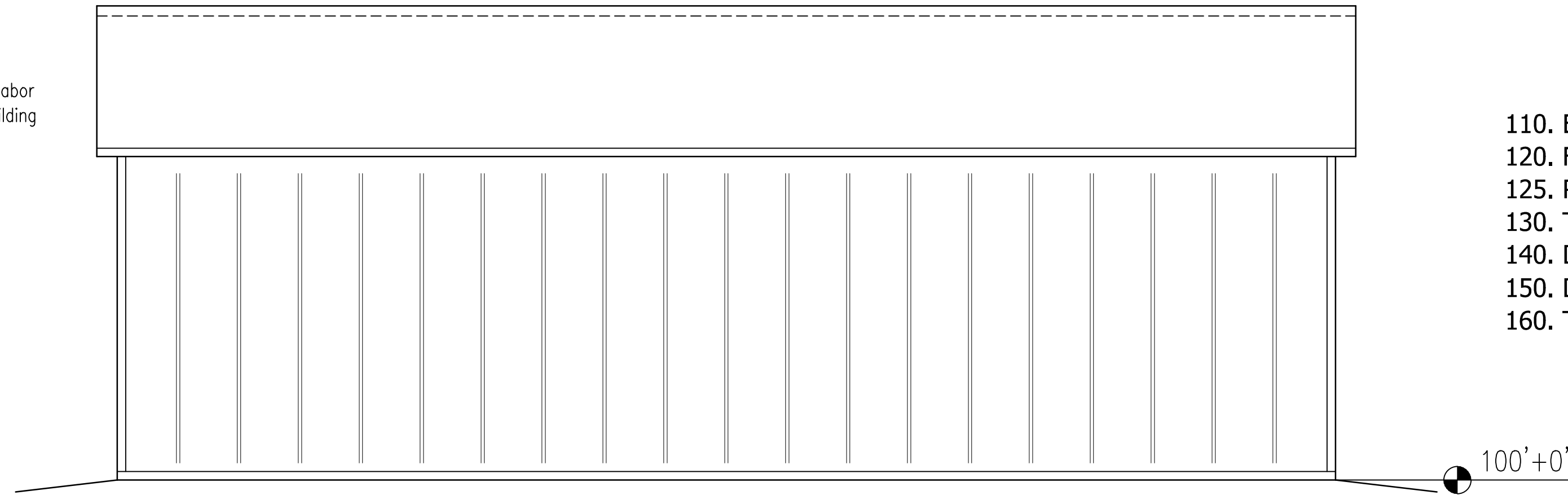
3. All lumber, unless noted otherwise, shall be S4S #2 SPF or better. All lumber embedded in the ground shall be treated with Chromated Copper Arsenate to a retention level of .60 lbs. per cubic foot. AWP4 U1, UC4B.
4. All nails are to be threaded hardened steel unless otherwise noted.
5. Grading should be such that the surface water is drained away from the foundation. Minimum grade would be six inches of vertical drop per ten feet of horizontal away from the foundation (5%).
6. Fill used for concrete floor slab sub grade, if present, shall be reasonably graded granular material. Fill used in columns holes shall be the excavated soil unless noted otherwise. All fill shall be free from debris, stones over 4"Ø and frozen material.
7. Electrical work, heating, ventilating, air conditioning, plumbing, and site draining is not a part of this drawing and shall be installed as per applicable codes.
8. This design is based on a building site with sand, silty sand, clayey sand, silty gravel, clayey gravel soil. As per the IBC building code and Referenced Standard ASAE 486.1, an assumed soil bearing design value of 1500 psf with increases for depth and width has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

NOTE:
 This building, as depicted, must be constructed 10 feet or more from any and all lot lines and 20 feet or more from any other buildings on the same lot. See IBC code and/or the local building official for exceptions.

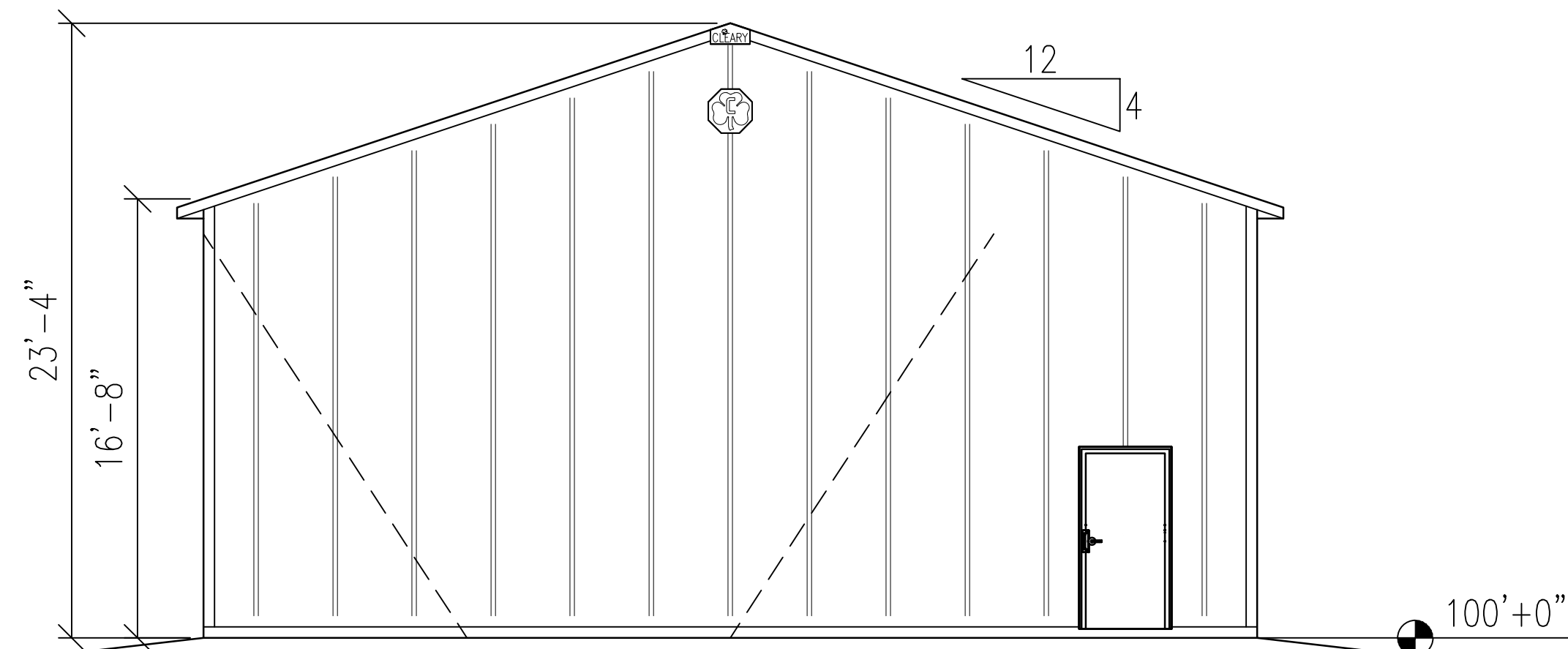
NOTE:
 This document, as presented and sealed, is not intended to be, nor should it be construed as such, a complete building design. It is intended to represent just the building itself. It should also be noted that the designer is unaware of any subsoil investigation reports. Footings have been sized on assumed values as per note 8.0 under General Specifications and Notes. The designer excludes determination that the assumed soil conditions are present at the site. If a concrete floor will be installed, the design of the concrete floor is not part of these plans, nor is it intended to be. If shown, the concrete floor is only depicted to show its location with respect to related components of the building. The client or general contractor is encouraged to contract with other professional engineers or architects for the design of the concrete floor and its subgrade.

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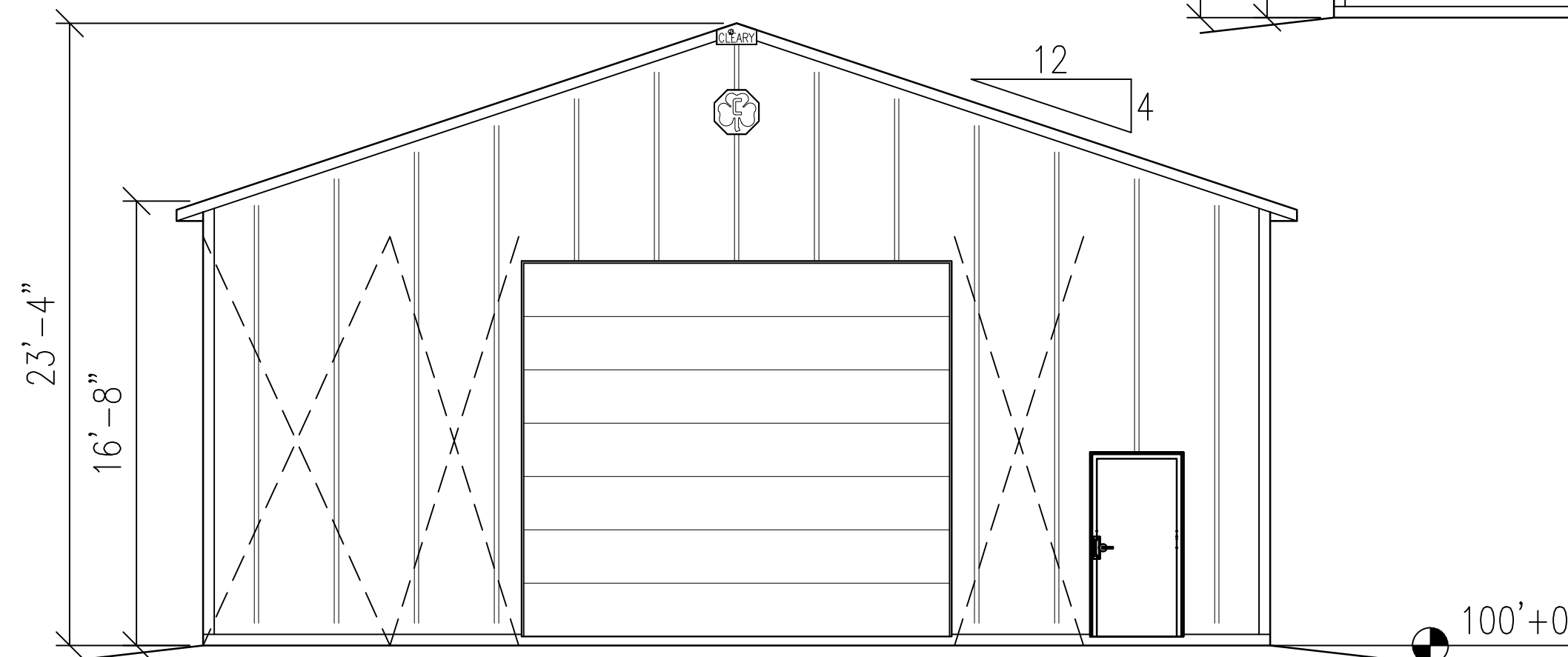
- 110. ELEVATIONS
- 120. FLOOR PLAN
- 125. ROOF FRAMING PLAN
- 130. TYPICAL SECTION
- 140. DIAGONAL BRACING DETAILS
- 150. DIAPHRAGM ACTION and MISC. DETAILS
- 160. TRUSS DIAGRAMS



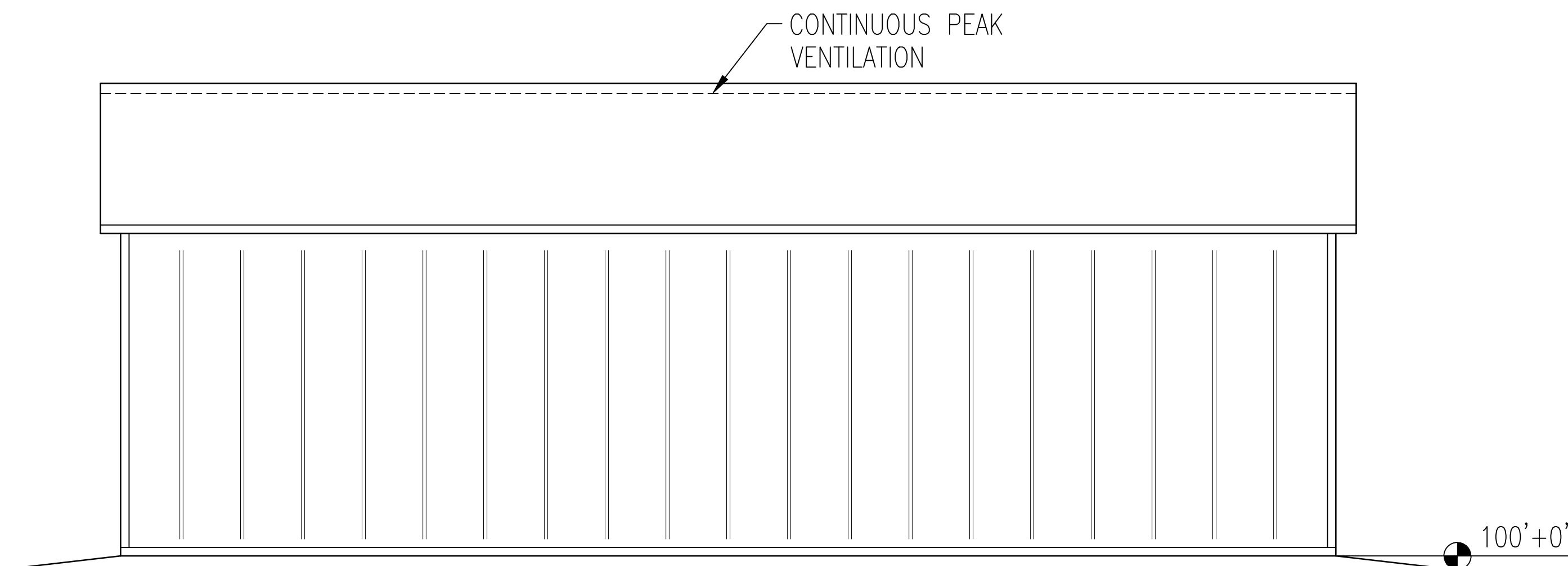
SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



190 PAOLI STREET / P.O. BOX 930220
 VERONA, WI 53593 / (800) 373-5550

DRAWN BY: JENKINS

DATE DRAWN: 02/10/25

PLAN REVISIONS:

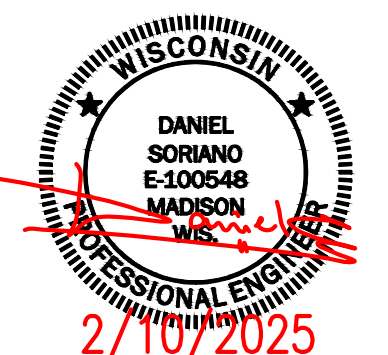
NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
CHAPPA, TYLER
 PROJECT SITE ADDRESS:
 1236 N 18TH ST
 SHEBOYGAN, WI 53083 (SHEBOYGAN)
 BUILDING SIZE:
 40' 0" x 60' 0" x 16' 8"
 SHEET NAME:
 ELEVATIONS

PROJECT NUMBER:
2025100424

SHEET NUMBER:
110

WHEN PRINTED ON 24"x36"
 PAPER SCALE IS 3/16"=1'-0"



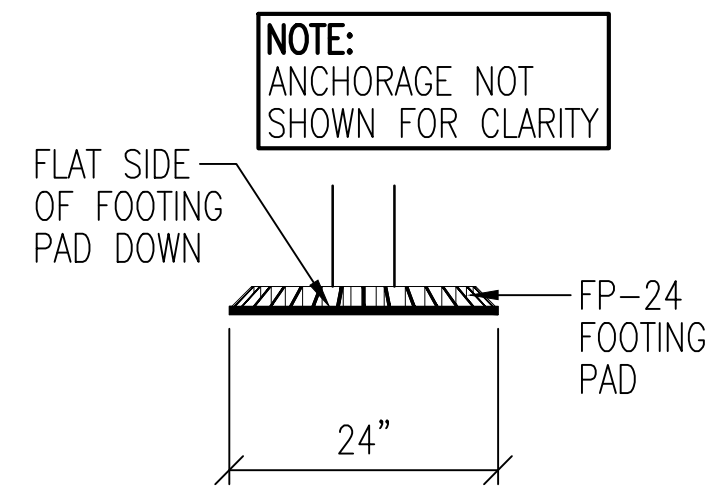
2/10/2025

COLUMNS	COLUMN SIZE	HOLE DEPTH	HOLE DIAMETER	FOOTING SIZE	NUMBER OF COLUMNS REQUIRED	BUILDING ACCESSORY SCHEDULE					
						ITEM	SIZE	B.E./T.E.	QTY	ROUGH OPENING & ACCESSORY FEATURES	
(A) CORNER	3-PLY 2x6x22'-0"	5'-6"	18"Ø	4"x14"Ø PRECAST CONCRETE FOOTING	4	1	SOLID WALK DOOR	3' 0"x6' 8"	B.E. =100' 4"	2	R.O. 3' 4 3/8"x6' 9 3/4", STANDARD, BRILLIANT, LEV./LEV. LOCKSET, LATCH GUARD, KEYED ALIKE, CLOSER, H.CAP THRESHOLD
(B) SIDEWALL	4-PLY 2x6x22'-0"	5'-6"	24"Ø	AGCO FP-24 FOOTING PAD (SEE NOTE/DETAIL)	10	2	OVERHEAD DOOR	16' 0"x14' 0"	B.E. =100' 4"	1	I.D. =15' 11 1/2", 13-20" HEADROOM OPTION WITHOUT LINER, TRIM INSIDE EDGE, DOOR NOT BY CLEARY
(C) VERT. BRACE	2-PLY 2x6x9'-2"	---	---	VERTICAL BRACE B.E.=14' 1 1/2"	1						
(D) ENDWALL	3-PLY 2x6x24'-4"	5'-6"	18"Ø	4"x14"Ø PRECAST CONCRETE FOOTING	2						
(E) ENDWALL	3-PLY 2x6x25'-4"	5'-6"	18"Ø	4"x14"Ø PRECAST CONCRETE FOOTING	2						
(F) ENDWALL	3-PLY 2x6x26'-0"	5'-6"	18"Ø	4"x14"Ø PRECAST CONCRETE FOOTING	2						
(G) ENDWALL	3-PLY 2x6x28'-8"	5'-6"	18"Ø	4"x14"Ø PRECAST CONCRETE FOOTING	1						

- NOTES:**
- FIELD VERIFY ALL DOOR AND WINDOW ROUGH OPENING SIZES PRIOR TO INSTALLING FRAME-OUTS
 - ENDWALL COLUMNS ARE 3-PLY TO THE BUILDING EAVE HEIGHT AND 1-PLY FROM THERE TO THE ROOF PLANE
 - 2x6 STANDARD DIAGONAL CORNER BRACING AT ALL CORNERS (UNLESS OTHERWISE NOTED)
 - END WALL 1 ON BUILDING 1 (EAST) - INSTALL STANDARD 15" SHAMROCK
 - END WALL 2 ON BUILDING 1 (WEST) - INSTALL STANDARD 15" SHAMROCK

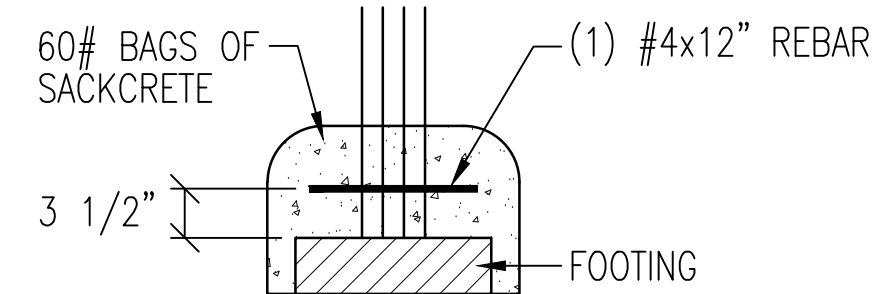
NOTE:
75 TOTAL BAGS OF SACKCRETE
REQUIRED FOR COLUMN ANCHORAGE

NOTE:
THE FOOTING PAD IS THE AGCO
MOLDED COMPOSITE CIRCULAR
FOOTING PAD (SEE ESR-2147)



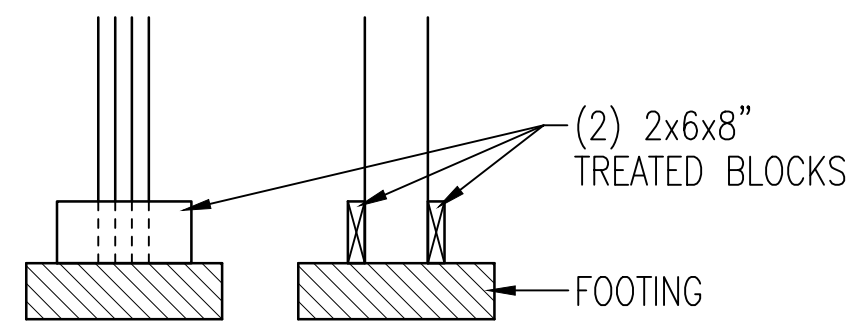
FOOTING PAD DETAIL

- △ = ANCHOR COLUMNS WITH (6) 60# BAGS OF SACKCRETE AND (1) #4x12" REBAR FOR UPLIFT
 - ◇ = ANCHOR COLUMNS WITH (3) 60# BAGS OF SACKCRETE AND (1) #4x12" REBAR FOR UPLIFT
- NOTE: COLUMN SETS ON TOP OF FOOTING - CHECK COLUMN CHART FOR EXACT FOOTING SIZE REQUIREMENTS

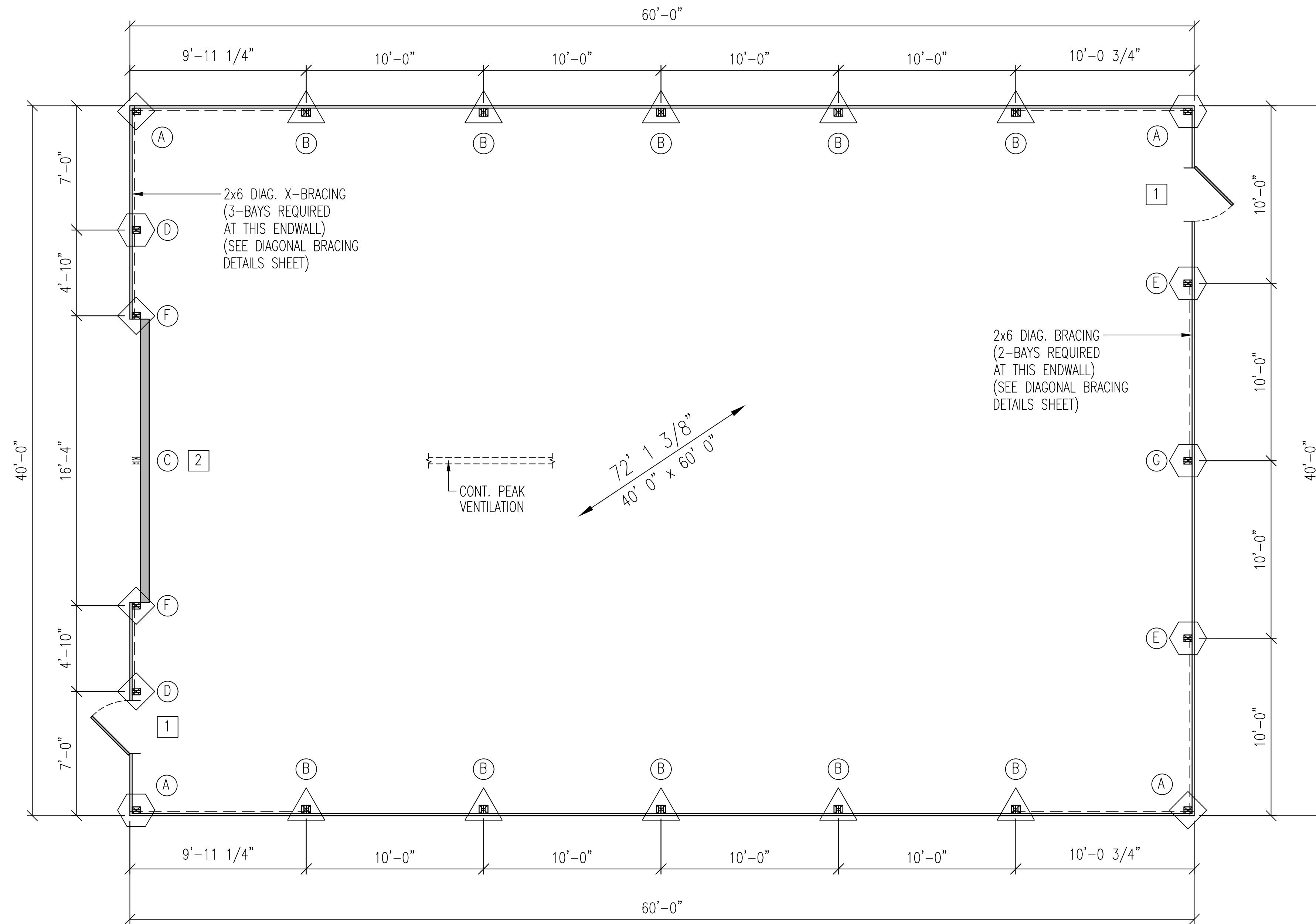


COLUMN ANCHOR DETAIL

- ◊ = ANCHOR COLUMNS WITH (2) 2x6x8" TREATED BLOCKS ATTACHED TO COLUMN WITH (3) 20d NAILS PER EACH BLOCK FOR UPLIFT
- NOTE: COLUMN SETS ON TOP OF FOOTING - CHECK COLUMN CHART FOR EXACT FOOTING SIZE REQUIREMENTS



COLUMN ANCHOR DETAIL



CLEARY BUILDING CORP.
190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: JENKINS
DATE DRAWN: 02/10/25

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
CHAPPA, TYLER

PROJECT SITE ADDRESS:
1236 N 18TH ST
SHEBOYGAN, WI 53083 (SHEBOYGAN)

BUILDING SIZE:
40' 0" x 60' 0" x 16' 8"

SHEET NAME:
FLOOR PLAN

PROJECT NUMBER:
2025100424

SHEET NUMBER:
120

WHEN PRINTED ON 24"x36"
PAPER SCALE IS 1/4"=1'-0"



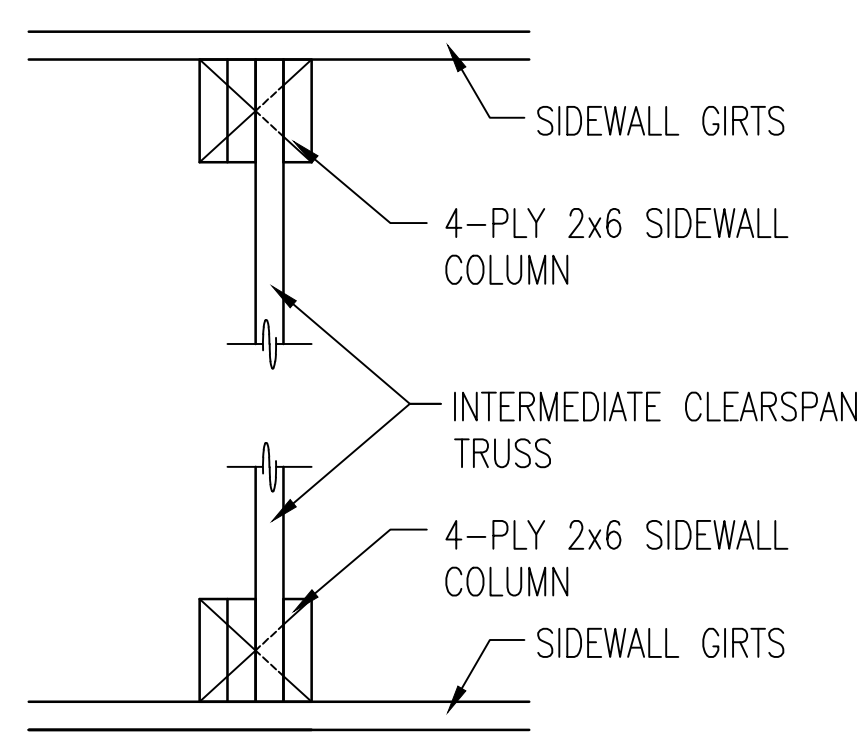
NUMBER	DATE	BY
1		
2		
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4		



TRUSS INFORMATION			
#	DESCRIPTION	SCREW PLACEMENT	HOLE
1	TB39-9SEW4WO-H12HEEL125W	PURLINS NAILED	NONE
2	TA39-9PLSC37STNO100C4TRUSS125W	PURLINS NAILED	NONE
3	TA39-9PLSC37STNO100C4TRUSS125W	PURLINS NAILED	NONE
4	TA39-9PLSC37STNO100C4TRUSS125W	PURLINS NAILED	NONE
5	TA39-9PLSC37STNO100C4TRUSS125W	PURLINS NAILED	NONE
6	TA39-9PLSC37STNO100C4TRUSS125W	PURLINS NAILED	NONE
7	TB39-9SEW4WO-H12HEEL125W	PURLINS NAILED	NONE

- NOTES:**
- 2x6 JACKBRACING AT ENDWALL COLUMNS (NOT NEEDED AT FULL LENGTH COLUMNS)
 — = LOCATION ON THIS SHEET FOR JACKBRACING (SEE DETAIL THIS SHEET)
 - 2x4 PURLIN BLOCKING AT ENDWALL TRUSSES
 - (X) = BAYS WITH 2x4 ROOFLINE X-BRACING (SEE DETAIL THIS SHEET)

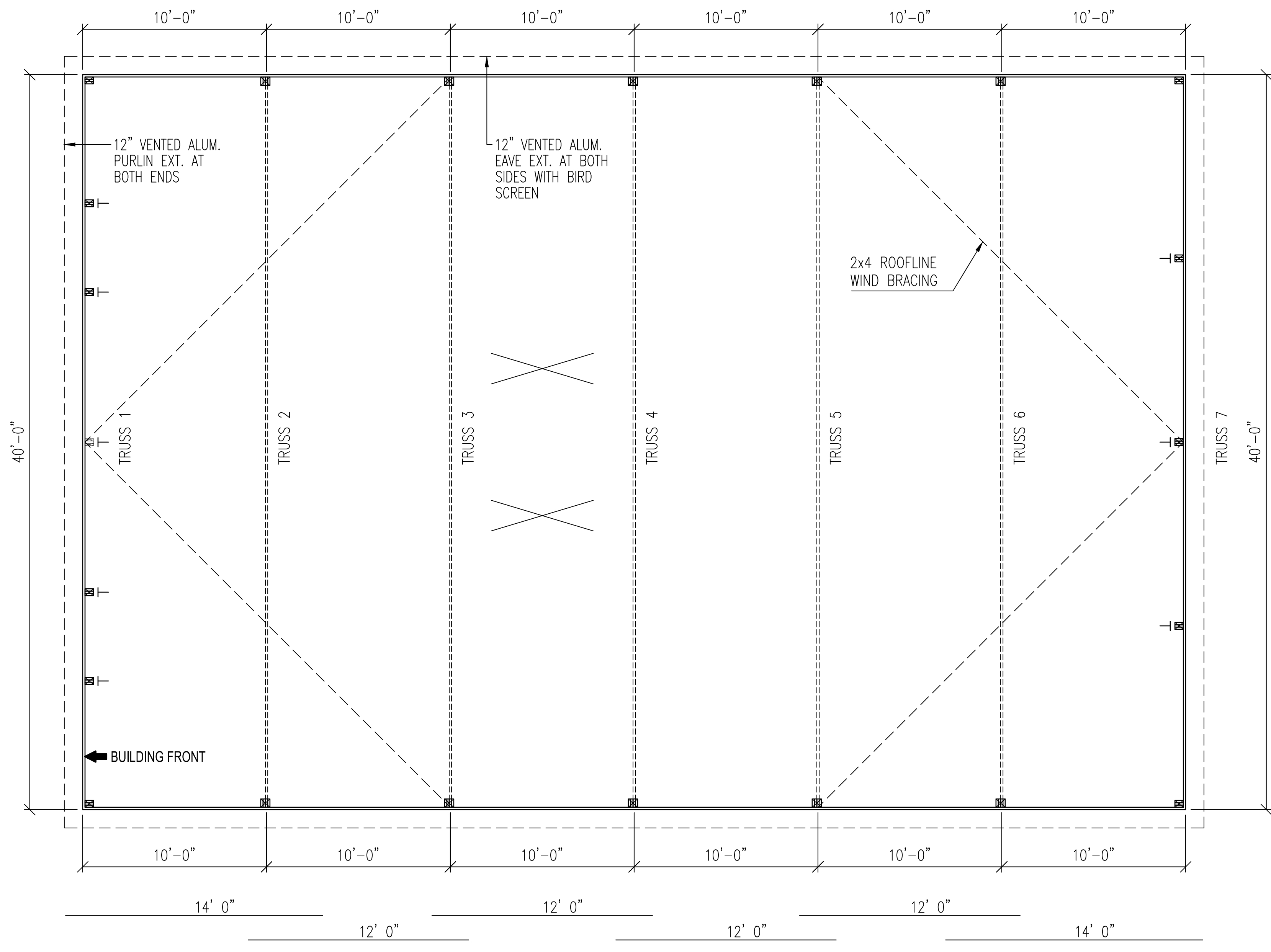
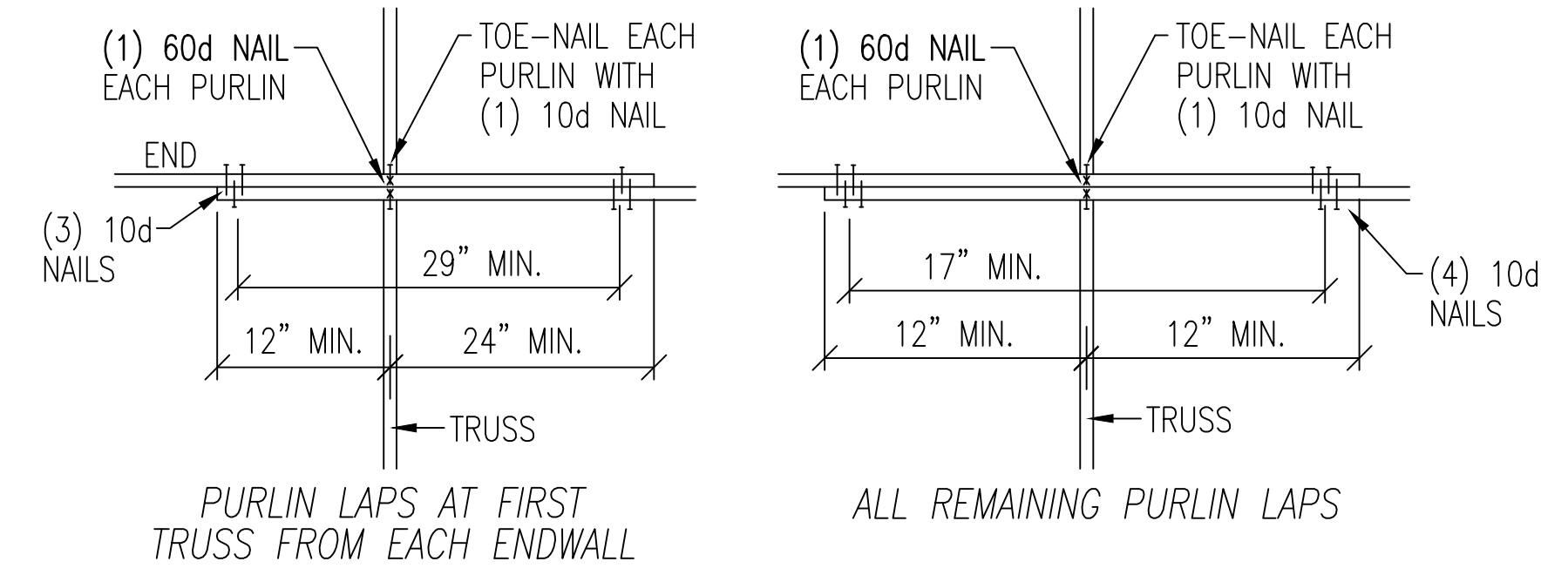
NOTE:
ATTACH ALL PURLINS TO TRUSS WITH (1) 60d NAIL AND TOE-NAIL WITH (1) 10d NAIL, ALSO ATTACH ROOF STEEL TO PURLINS AT 9" O.C.



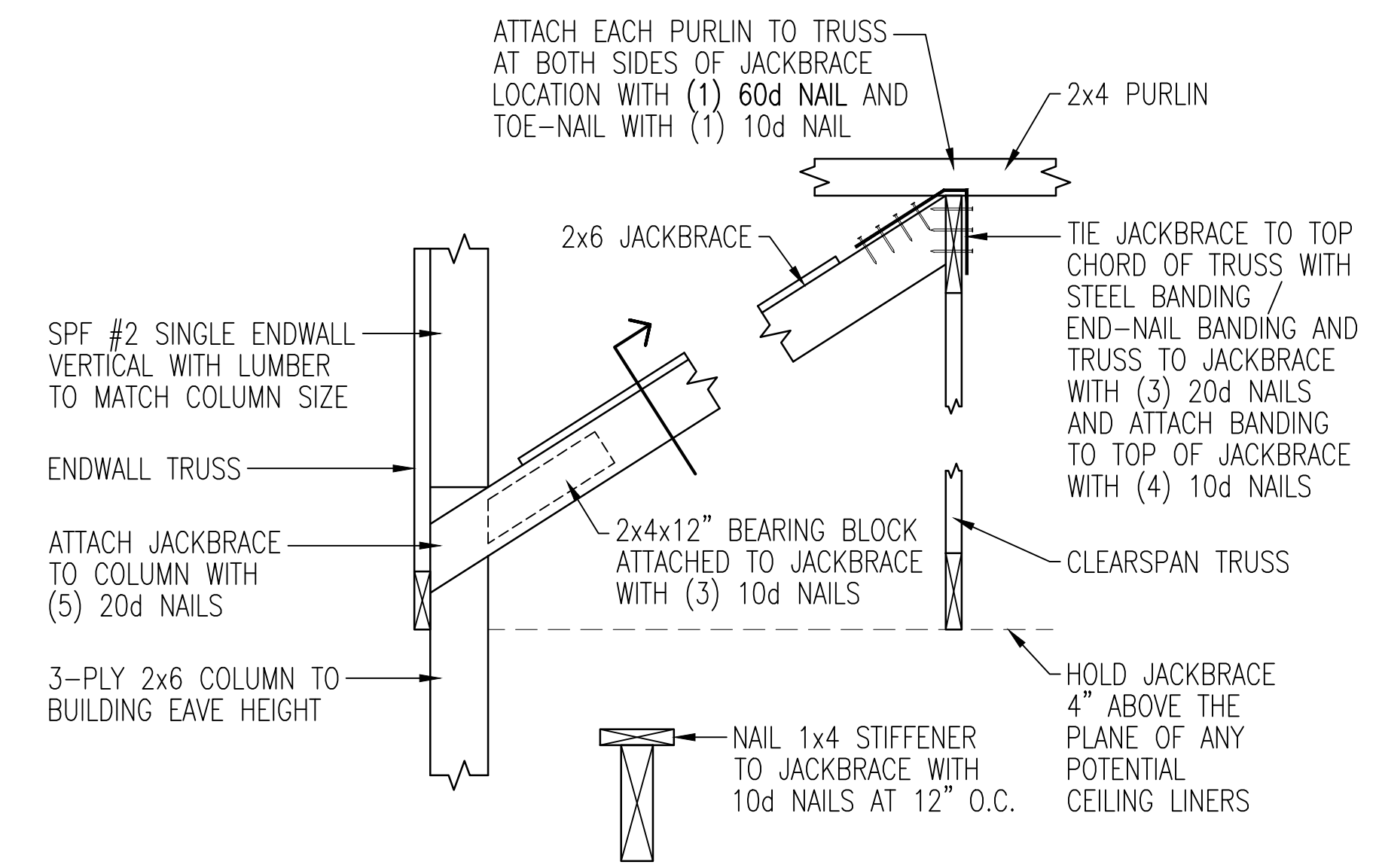
TYPICAL TRUSS PLACEMENT DETAIL

CONT. PURLIN DESIGN

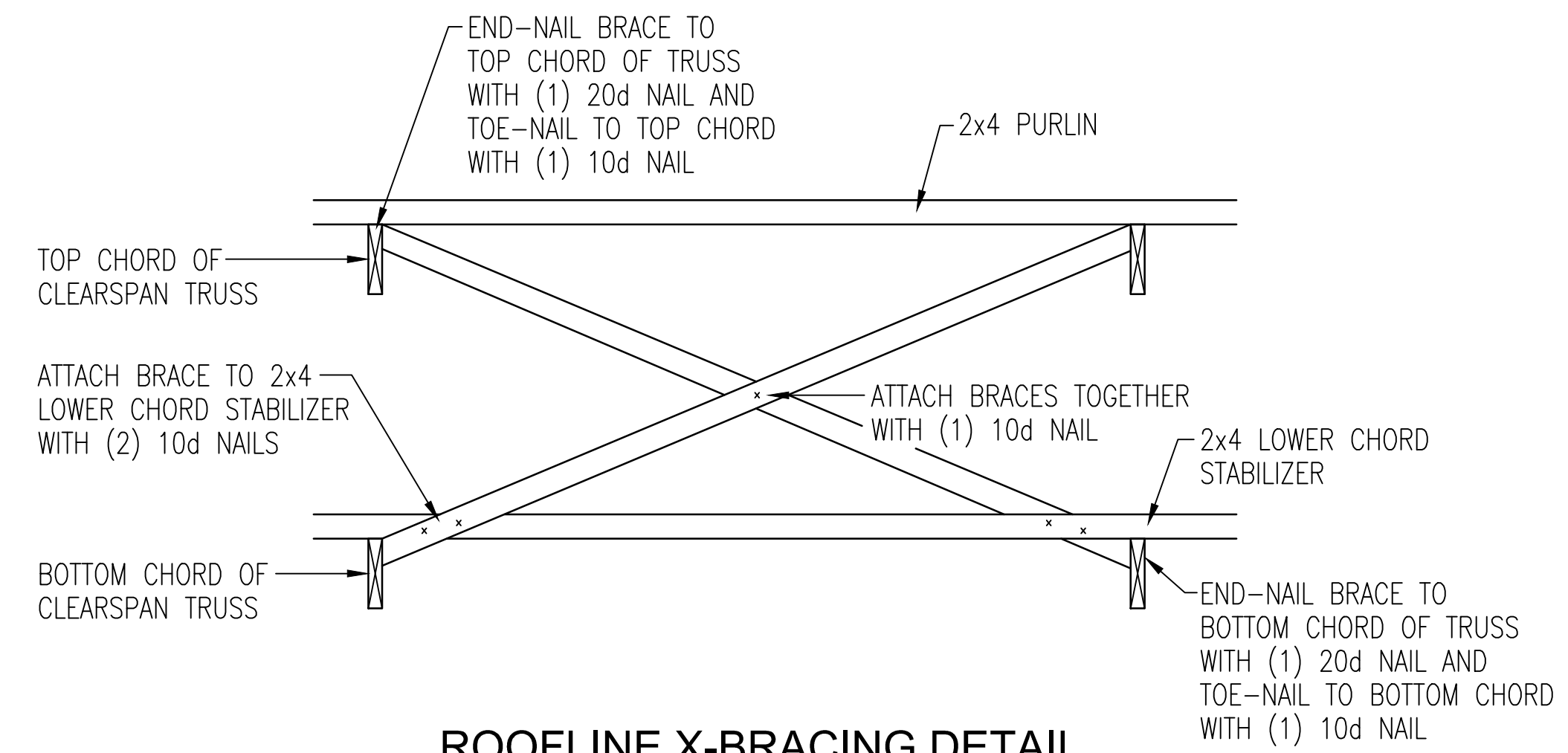
CONSTRUCTION FOREMAN NOTE:
BE SURE TO MAINTAIN THE OVERALL LAP DISTANCE AND THE SPACING FROM PURLIN END TO CENTER OF TRUSS AS SHOWN



PURLIN LAYOUT



JACKBRACE DETAIL AT ENDWALL COLUMNS



ROOFLINE X-BRACING DETAIL
X-BRACING IS ATTACHED TO LOWER CHORD STABILIZER

PROJECT NAME:
CHAPPA, TYLER

PROJECT SITE ADDRESS:
1236 N 18TH ST
SHEBOYGAN, WI 53083 (SHEBOYGAN)

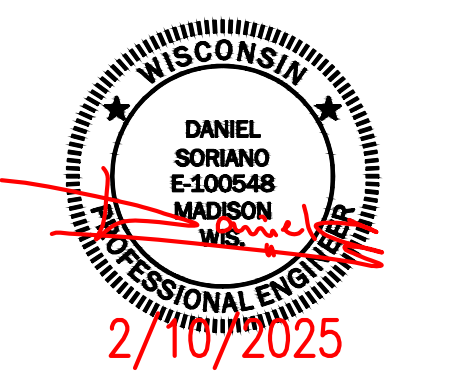
BUILDING SIZE:
40' 0" x 60' 0" x 16' 8"

SHEET NAME:
ROOF FRAMING PLAN

PROJECT NUMBER:
2025100424

SHEET NUMBER:
125

WHEN PRINTED ON 24"x36" PAPER SCALE IS 1/4"=1'-0"



NUMBER	DATE	BY
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ROOF NOTES:

- ATTACH EACH PURLIN WITH (1) 60d NAIL AND TOE-NAIL WITH (1) 10d NAIL
- ATTACH ROOF STEEL WITH SCREWS AT ALL MAJOR RIBS (9" O.C.)

PREPAINTED 29 GAUGE CORRUGATED ROOF AND SIDE STEEL

#2 SPF 2x4 PURLINS SPACED WITH BOTTOM (7) AT 19" O.C. AND TOP (10) AT 12" O.C.

SEE HEEL DETAIL

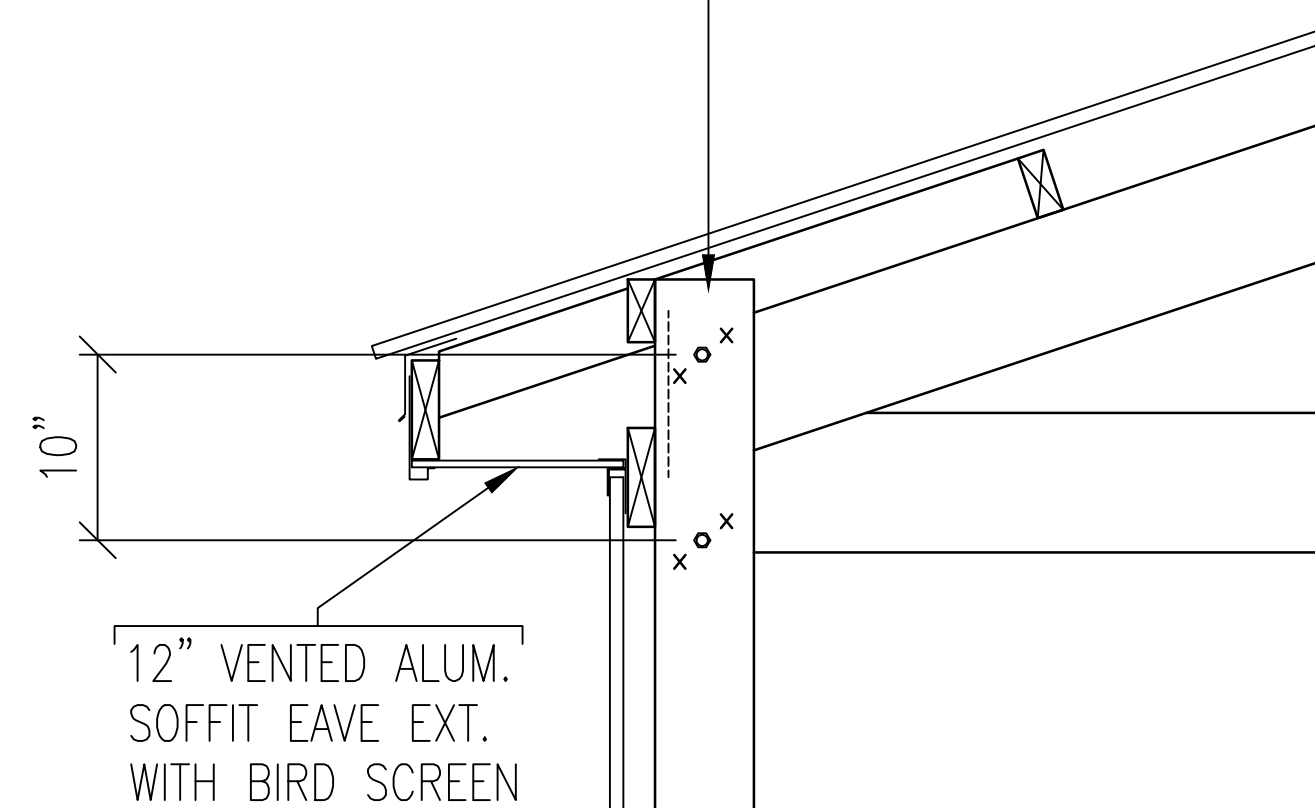
SEE TRUSS DIAGRAMS

(4) ROWS
2x4 L.C.S.
SPACED EVENLY

NOTE:
TRUSS NOT
DESIGNED FOR
CEILING LOAD

USE SP 2400F-2.0E 2x6 GIRTS AT 29 7/8" O.C. AT SIDEWALLS
USE SPF #2 2x6 GIRTS AT 30 3/8" O.C. AT EAST ENDWALL
(5) ROWS: GS=24 7/8"
USE SP 2400F-2.0E 2x6 GIRTS AT 30 3/8" O.C. AT WEST ENDWALL
(5) ROWS: GS=24 7/8"

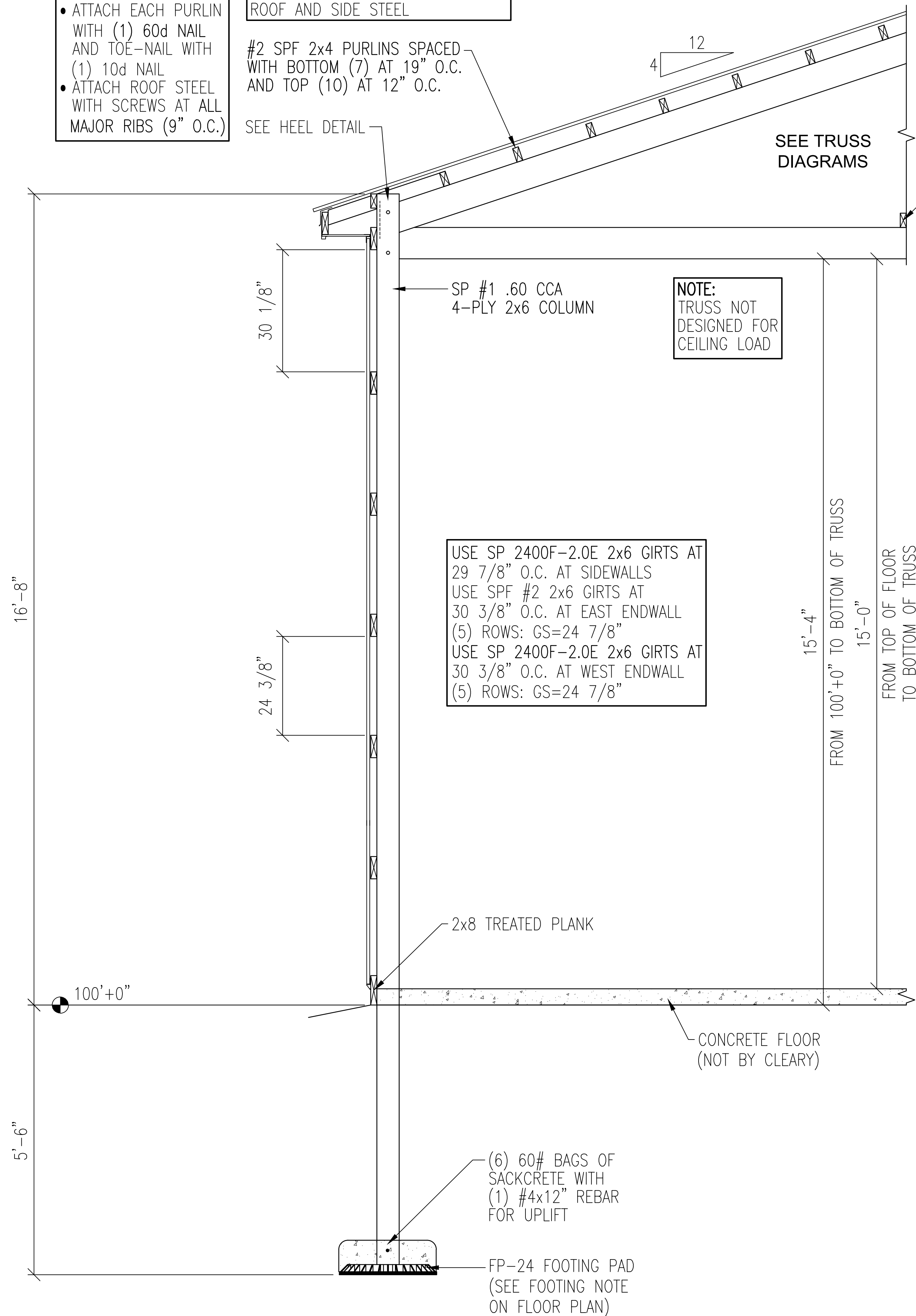
ATTACH TRUSS TO COLUMN WITH (2) 1/2"Øx7" BOLTS AND NAIL WITH (2) 20d NAILS PER BOLT



12" VENTED ALUM. SOFFIT EAVE EXT. WITH BIRD SCREEN

ADJUSTING BLOCK BETWEEN TRUSS HEEL AND CENTER PLY OF COLUMN TO BE FIELD CUT TO FIT

HEEL DETAIL



30 1/8"

24 3/8"

15'-4"

15'-0"

16'-8"

5'-6"

100'+0"

2x8 TREATED PLANK

CONCRETE FLOOR (NOT BY CLEARY)

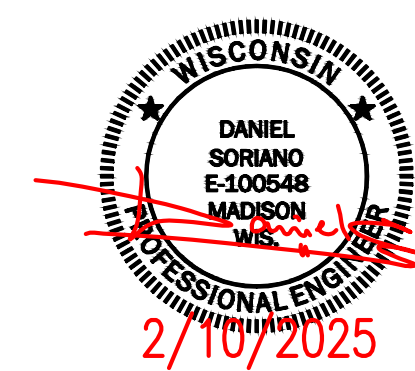
(6) 60# BAGS OF SACKCRETE WITH (1) #4x12" REBAR FOR UPLIFT

FP-24 FOOTING PAD (SEE FOOTING NOTE ON FLOOR PLAN)

PROJECT NAME:
CHAPPA, TYLER
PROJECT SITE ADDRESS:
1236 N 18TH ST
SHEBOYGAN, WI 53083 (SHEBOYGAN)
BUILDING SIZE:
40' 0" x 60' 0" x 16' 8"
SHEET NAME:
TYPICAL SECTION

PROJECT NUMBER:
2025100424
SHEET NUMBER:
130

WHEN PRINTED ON 24"x36" PAPER SCALE IS 3/4"=1'-0"



NUMBER	DATE	BY
1		
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4		

PROJECT NAME:
CHAPPA, TYLER

PROJECT SITE ADDRESS:
1236 N 18TH ST
SHEBOYGAN, WI 53083 (SHEBOYGAN)

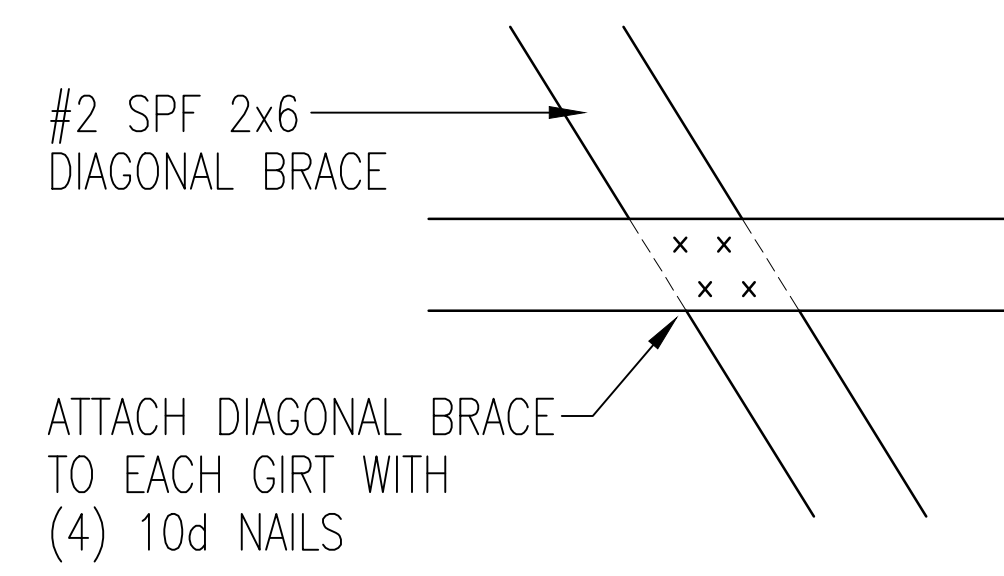
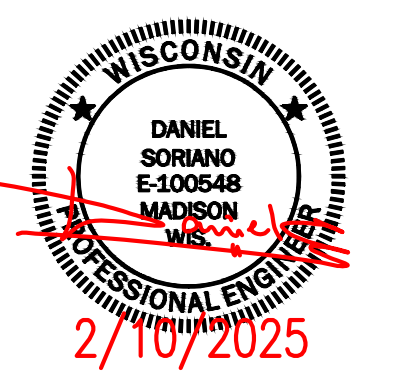
BUILDING SIZE:
40' 0" x 60' 0" x 16' 8"

SHEET NAME:
DIAGONAL BRACING DETAILS

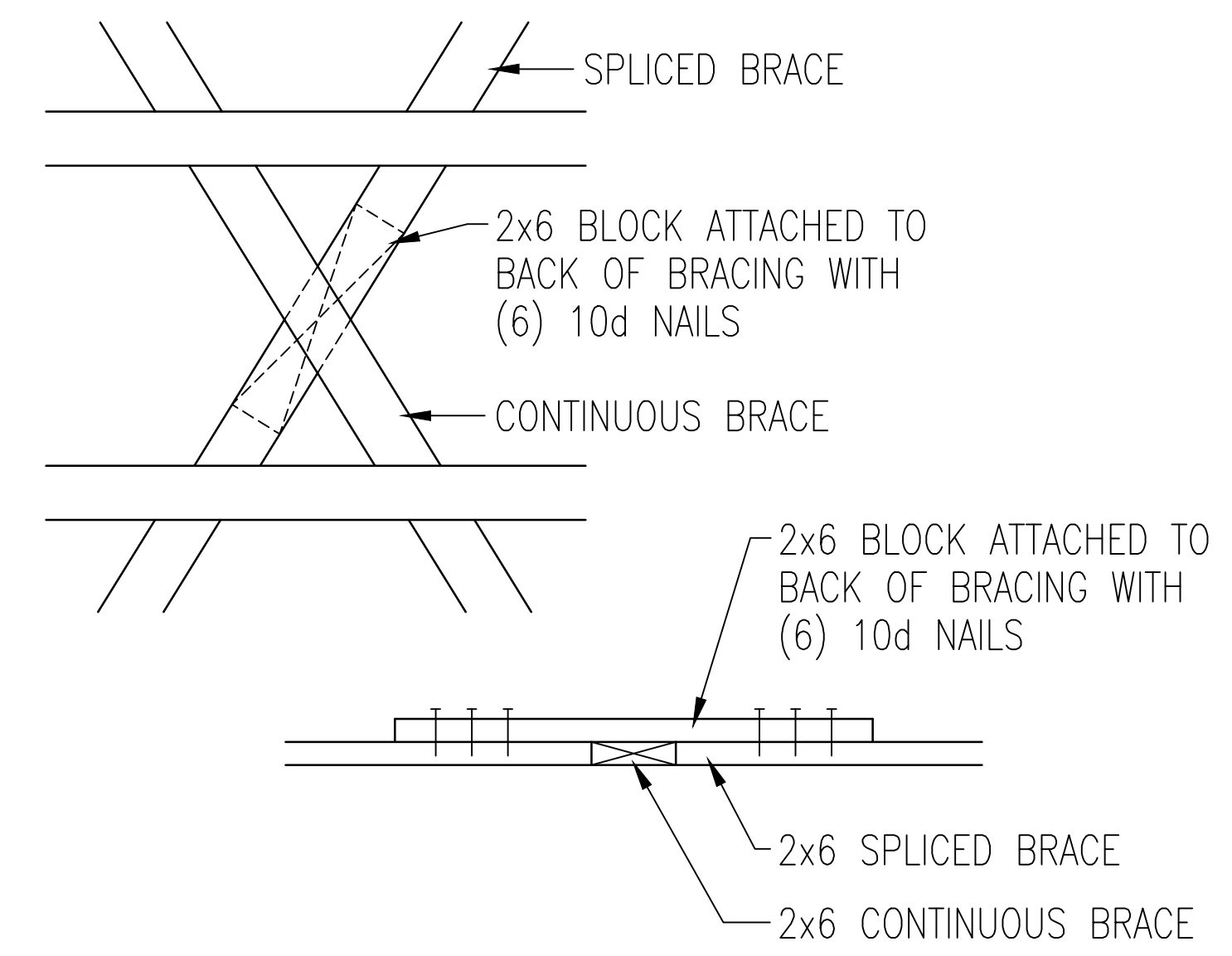
PROJECT NUMBER:
2025100424

SHEET NUMBER:
140

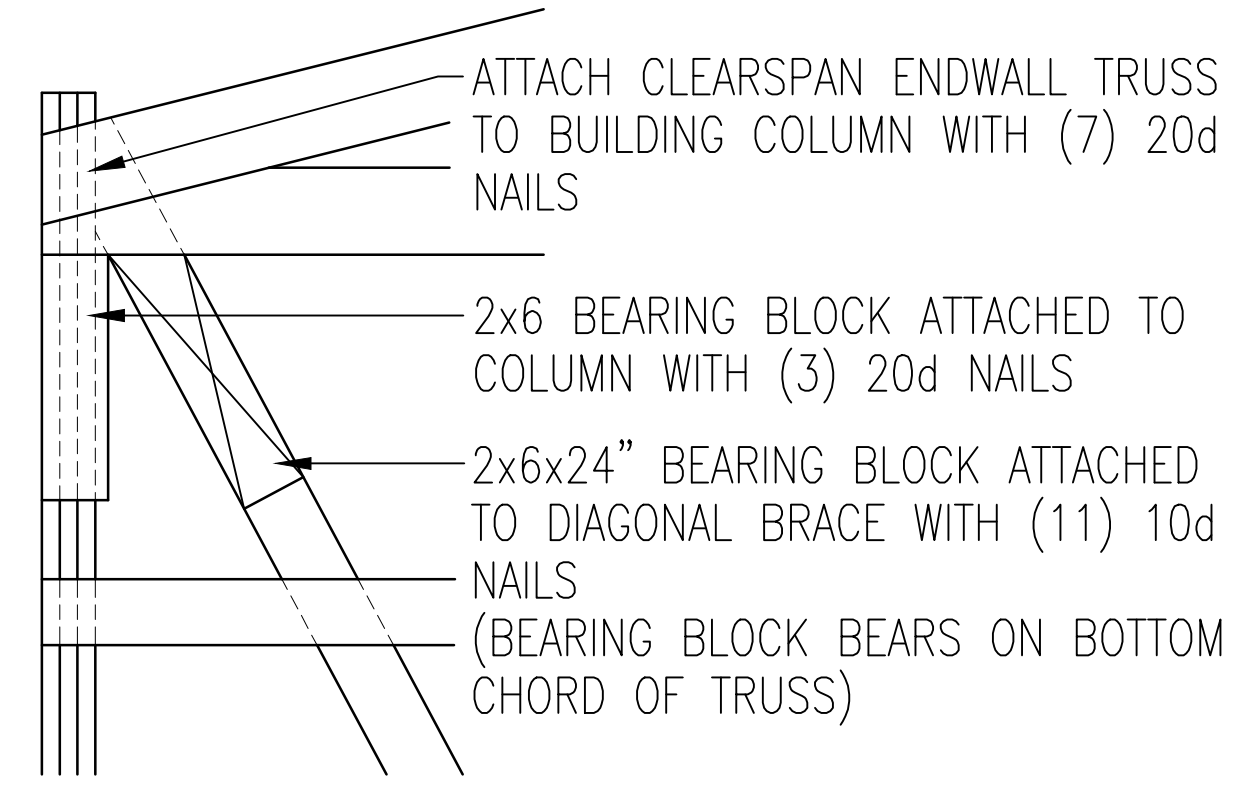
PAPER SCALE IS N.T.S.



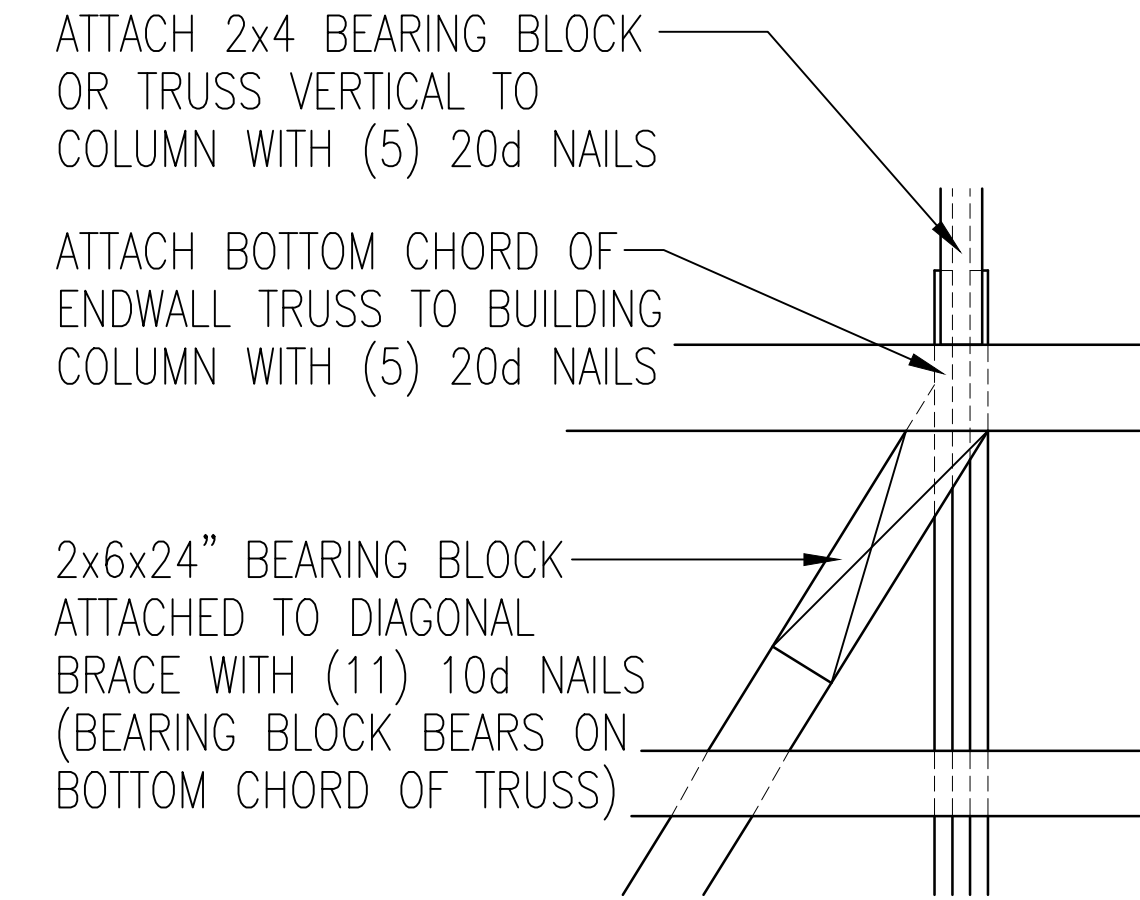
BRACE TO GIRT CONNECTION DETAIL



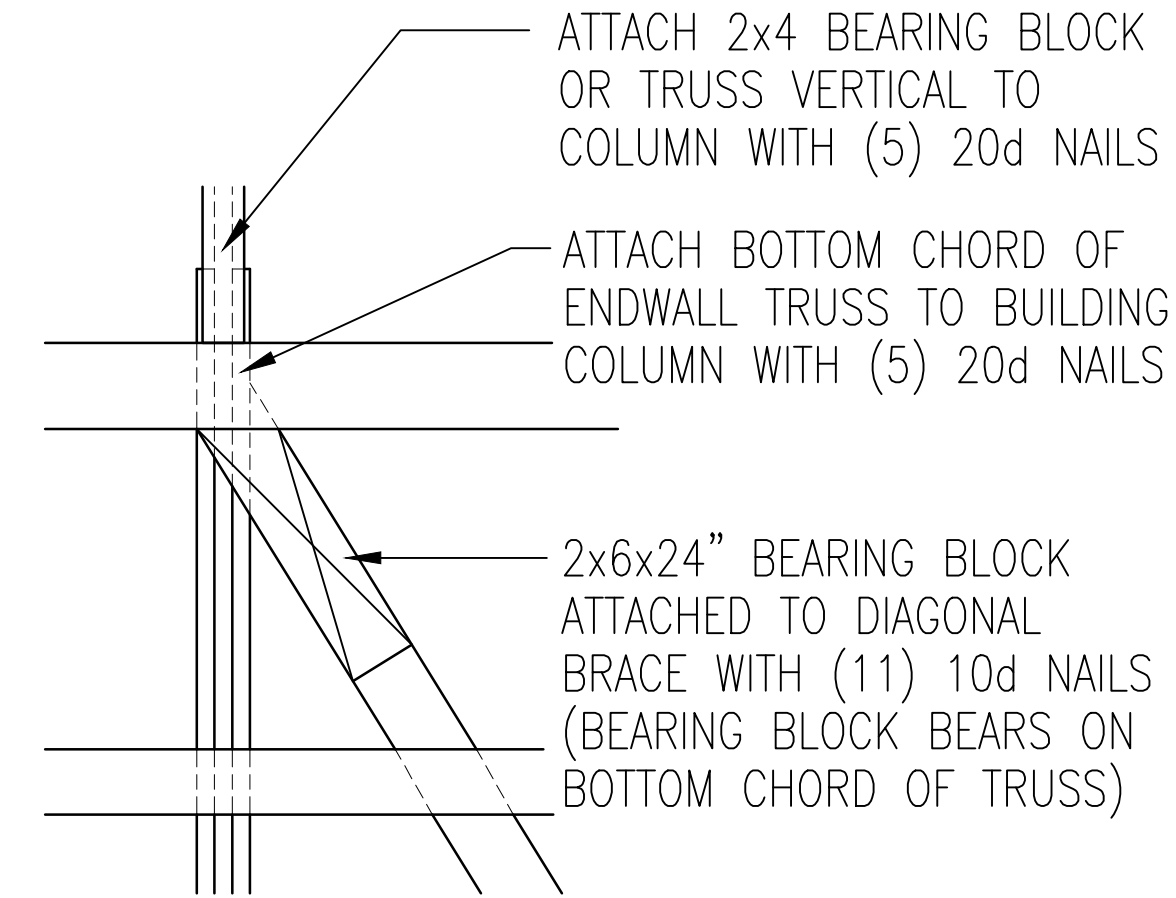
BRACE SPLICE DETAIL
AT CENTER OF X-BRACING



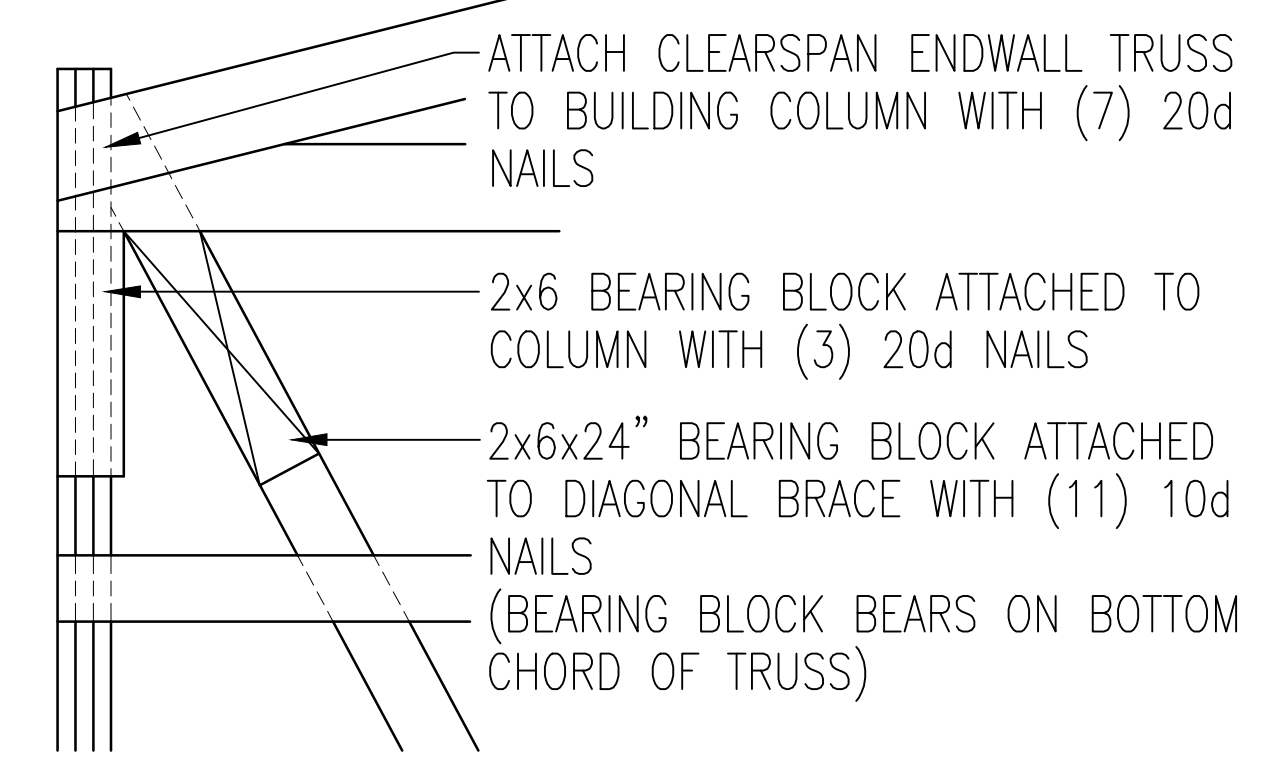
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT CORNER COLUMN



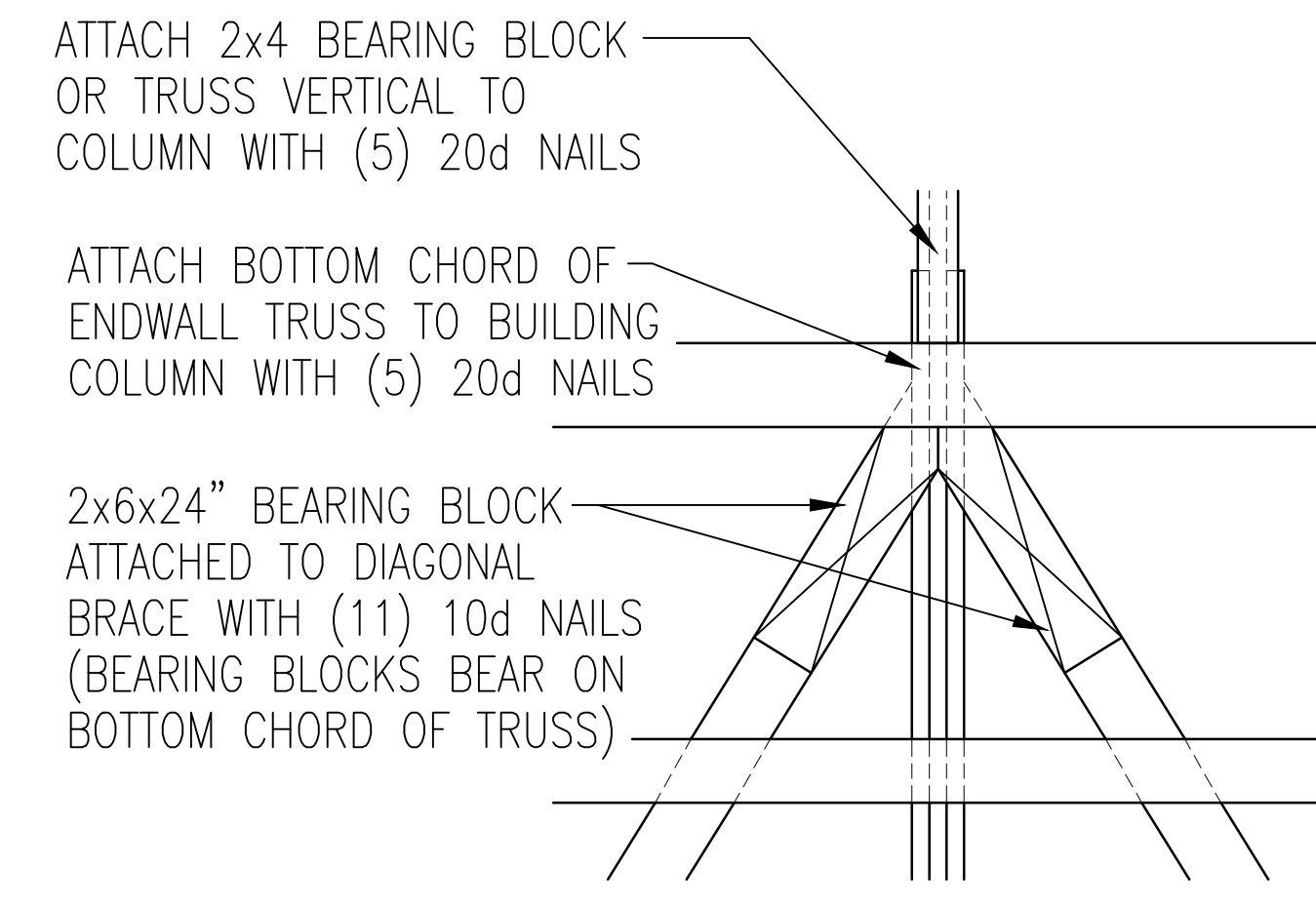
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT ENDWALL COLUMN



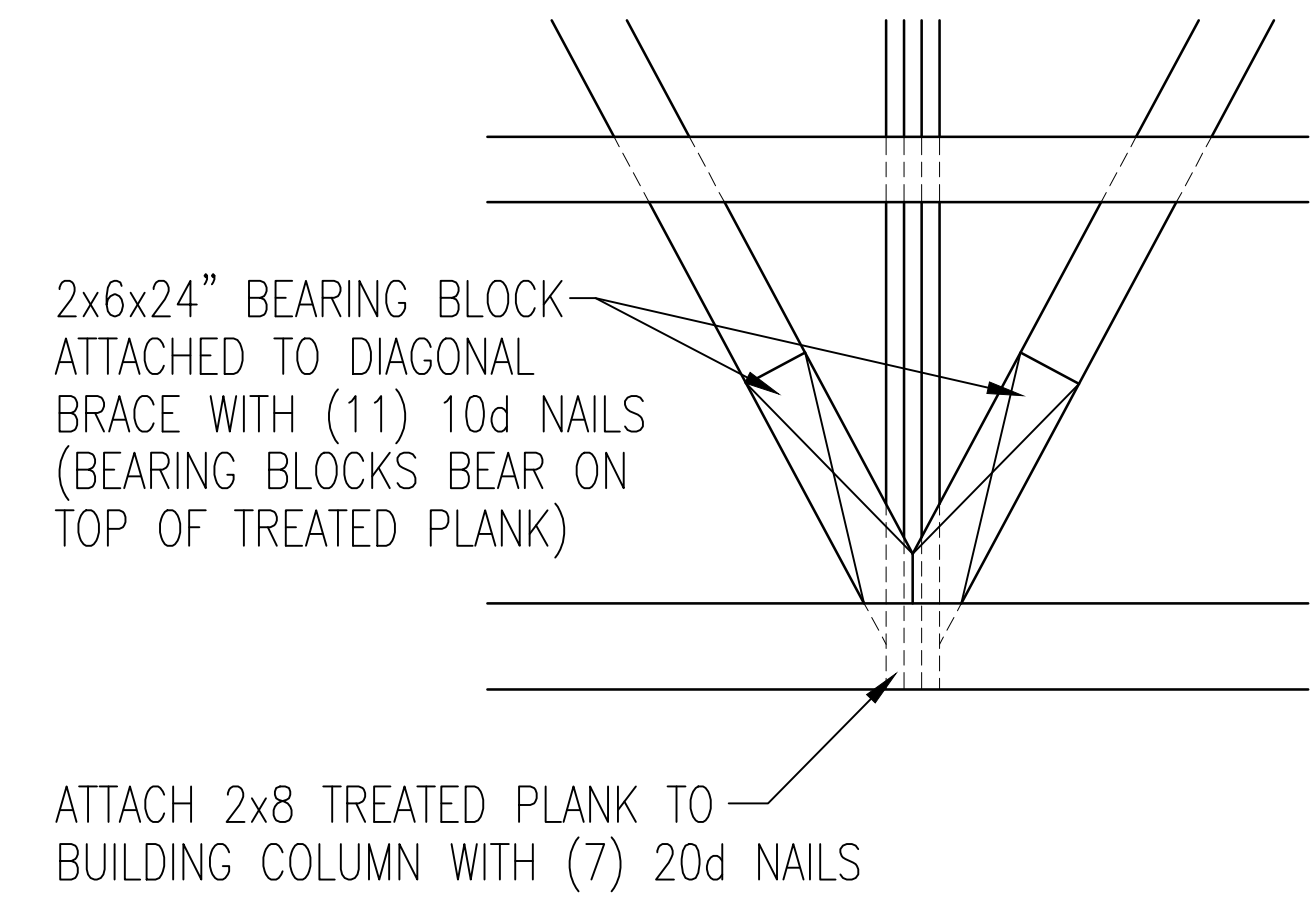
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT ENDWALL COLUMN



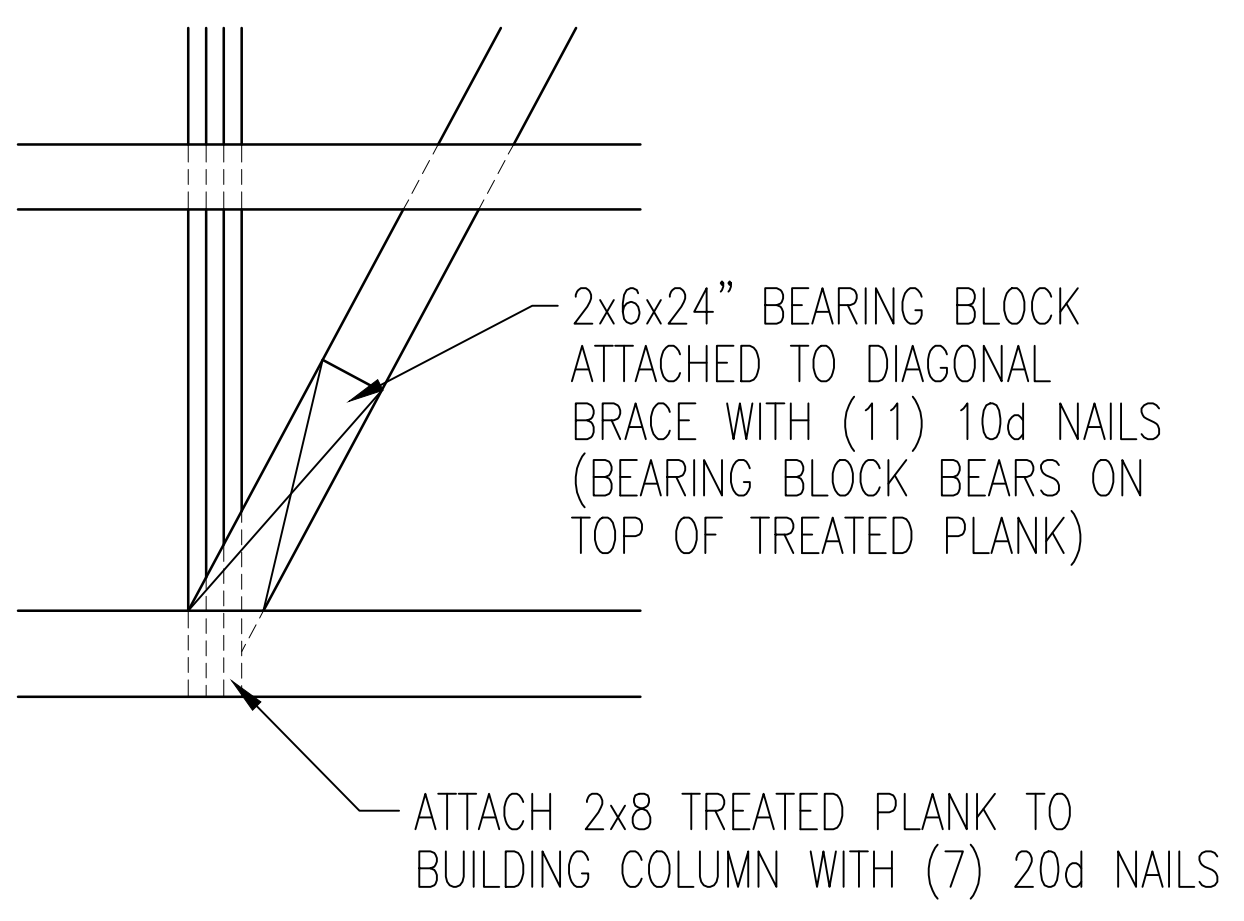
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT CORNER COLUMN



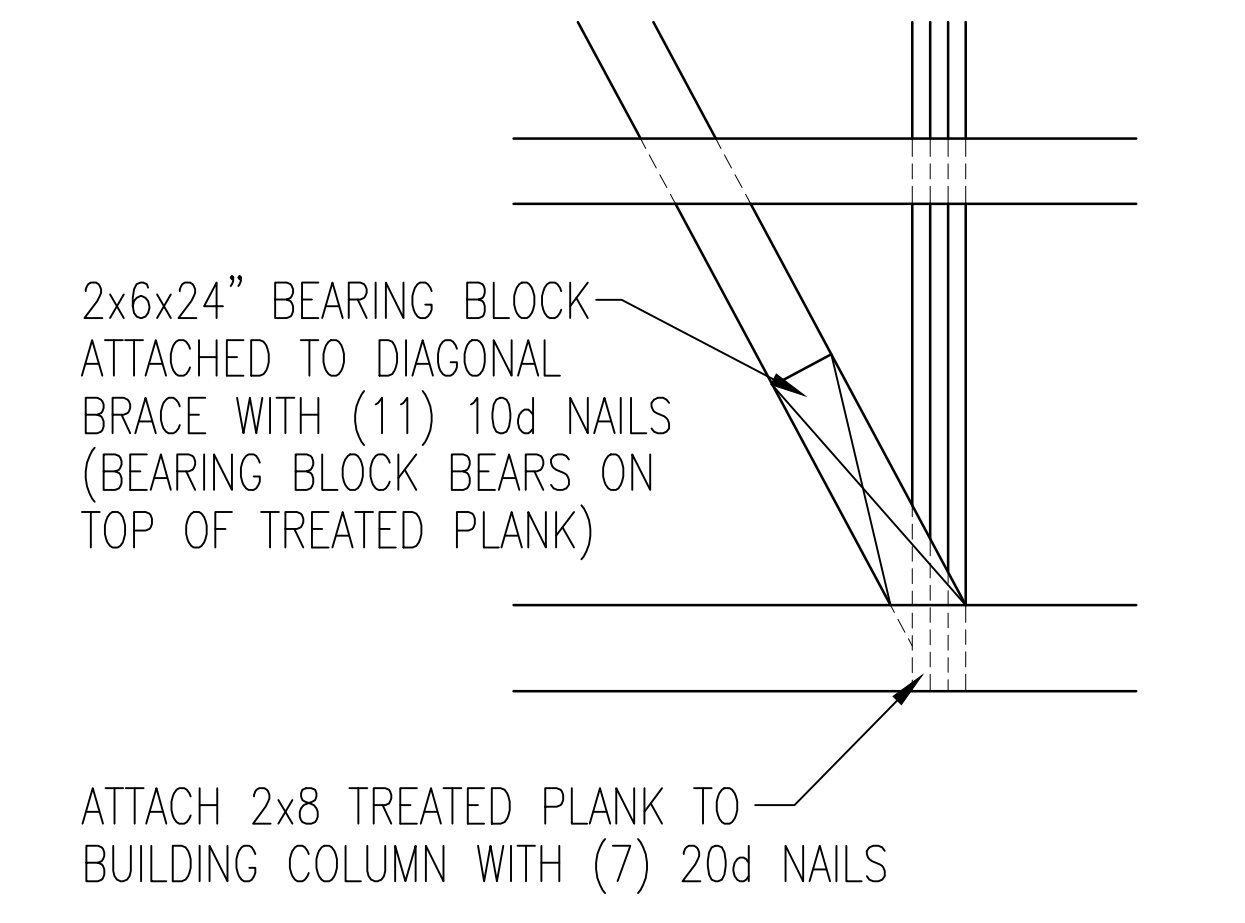
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT ENDWALL COLUMN



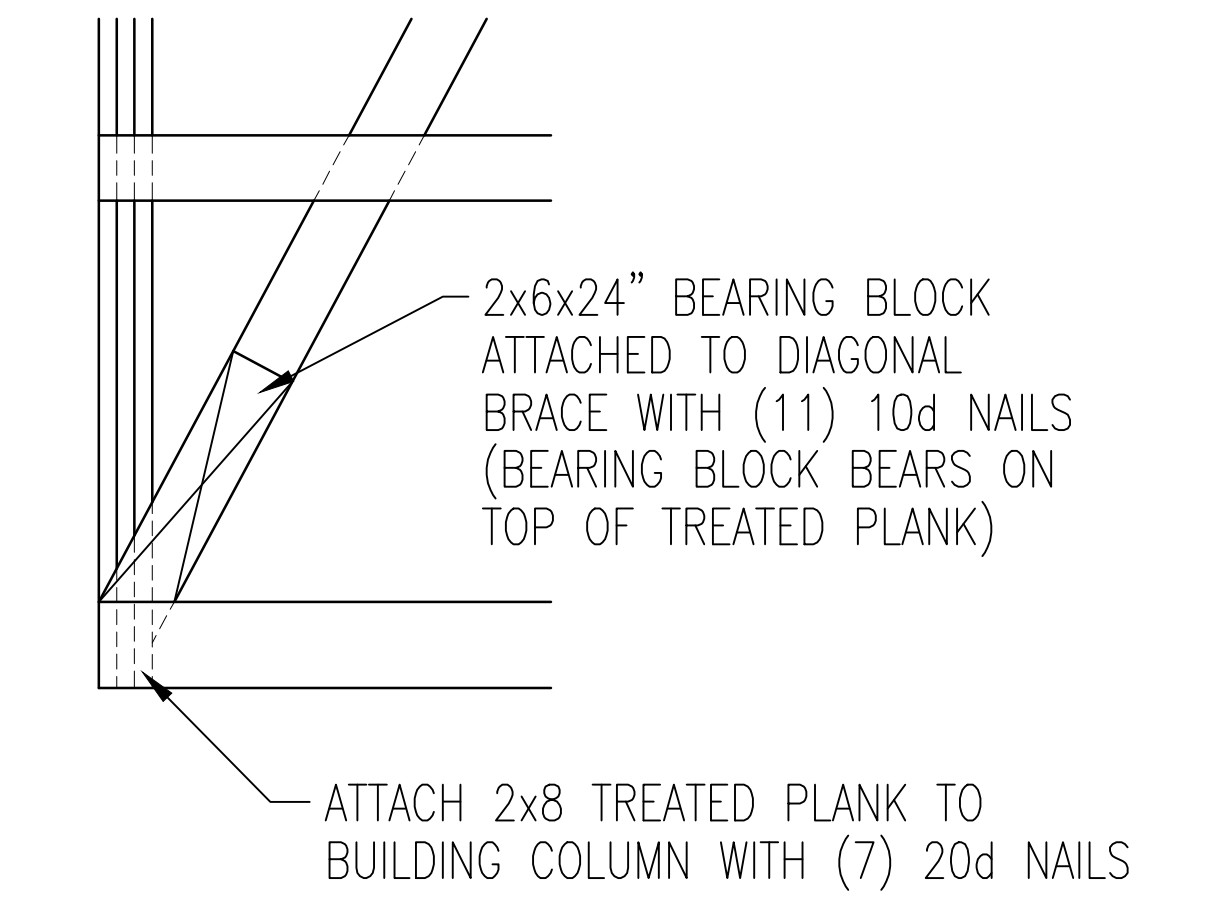
BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN



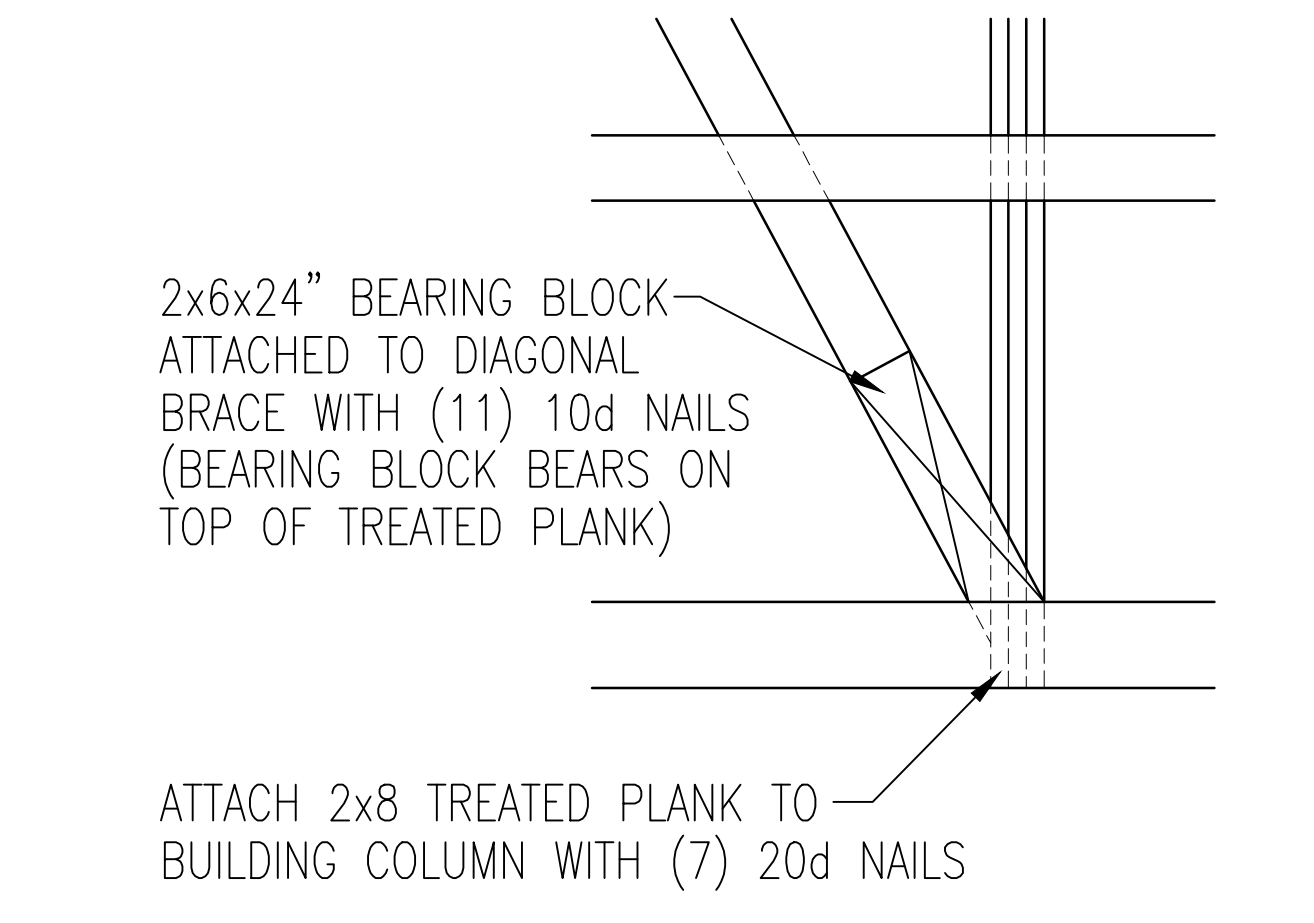
BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN



BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN



BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN

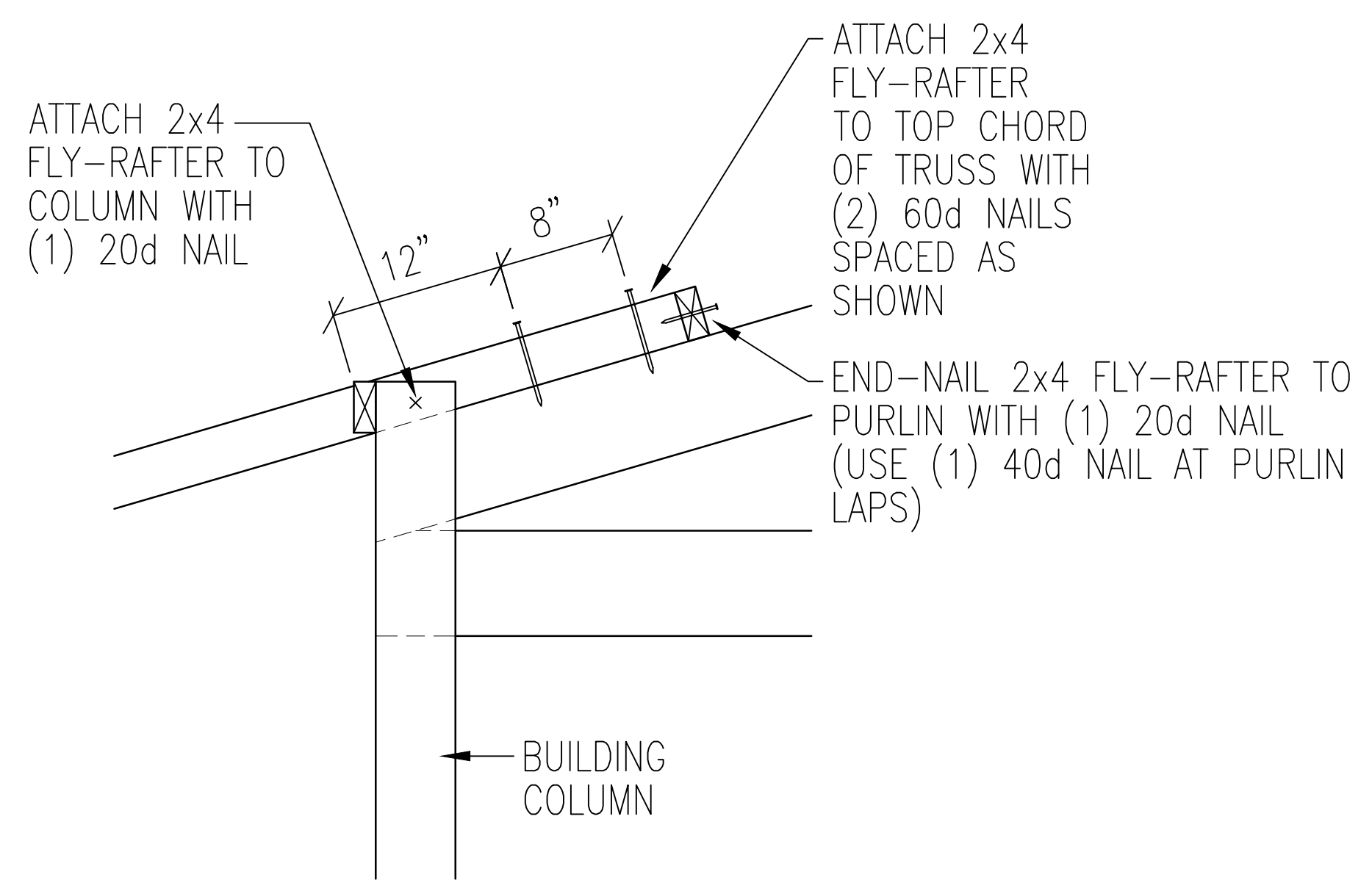


BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN

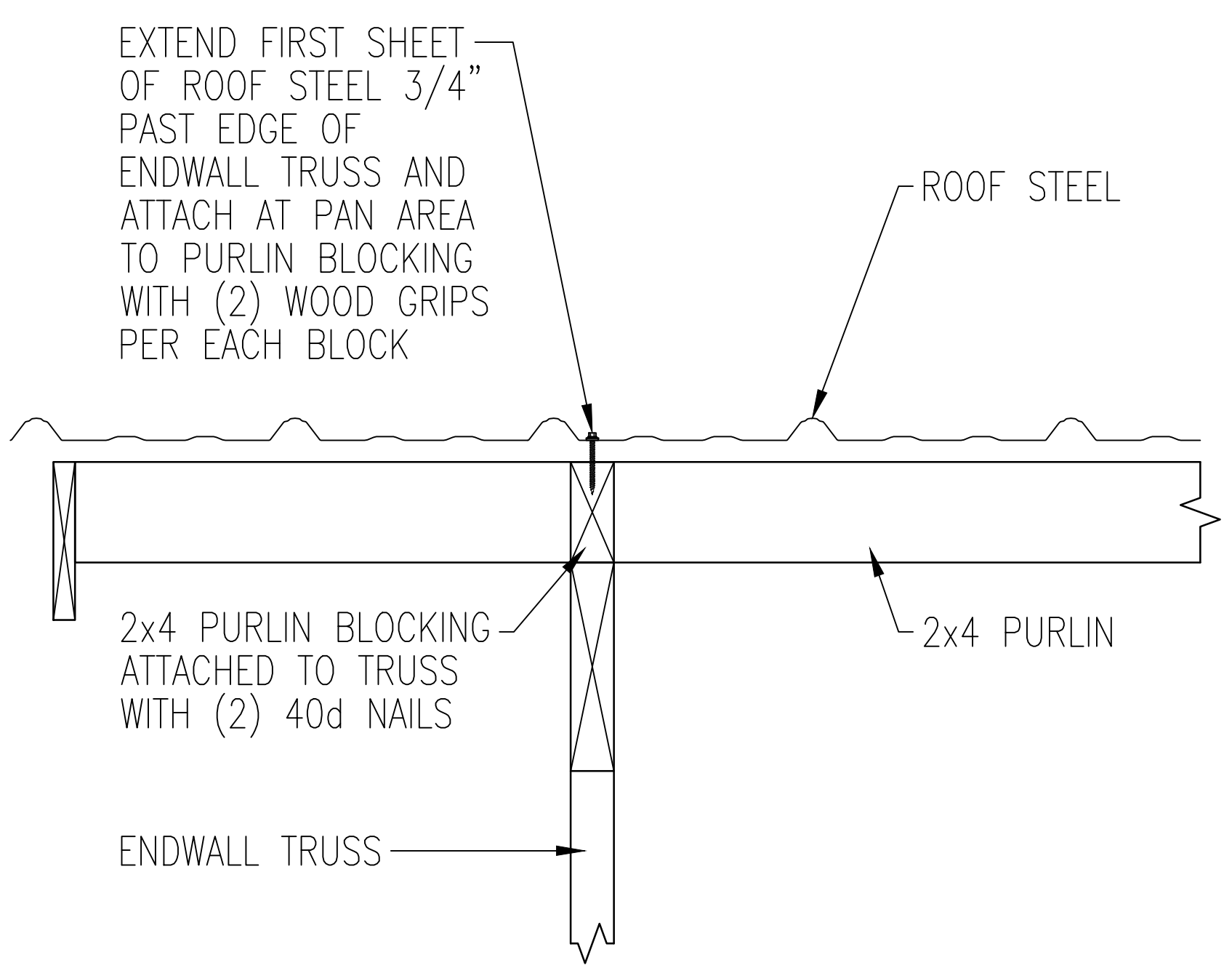
ENDWALL DIAGONAL BRACING DETAIL
AT WEST ENDWALL

ENDWALL DIAGONAL X-BRACING DETAIL
AT EAST ENDWALL

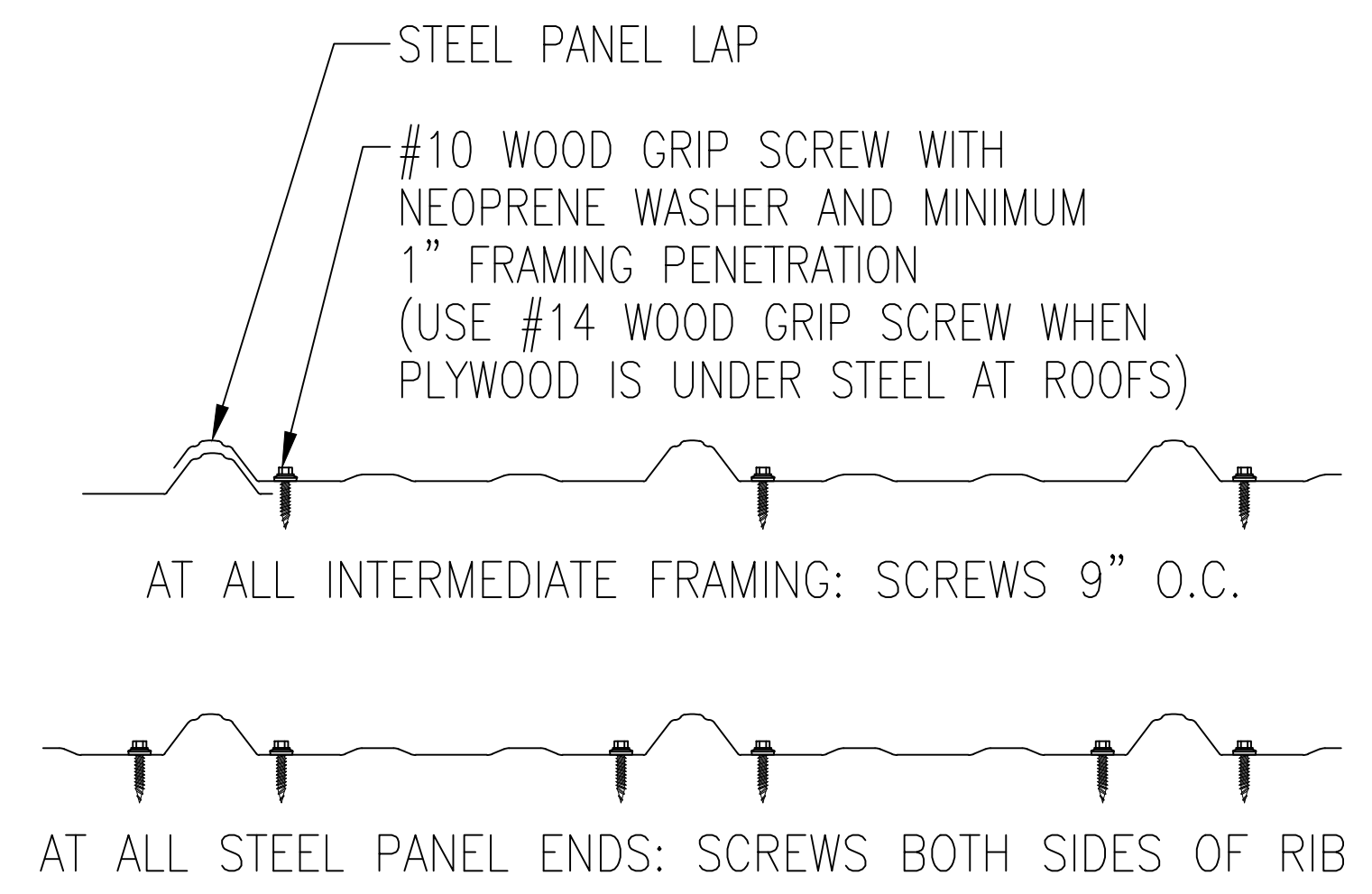
NUMBER	DATE	BY
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FLY-RAFTER CONNECTION DETAIL

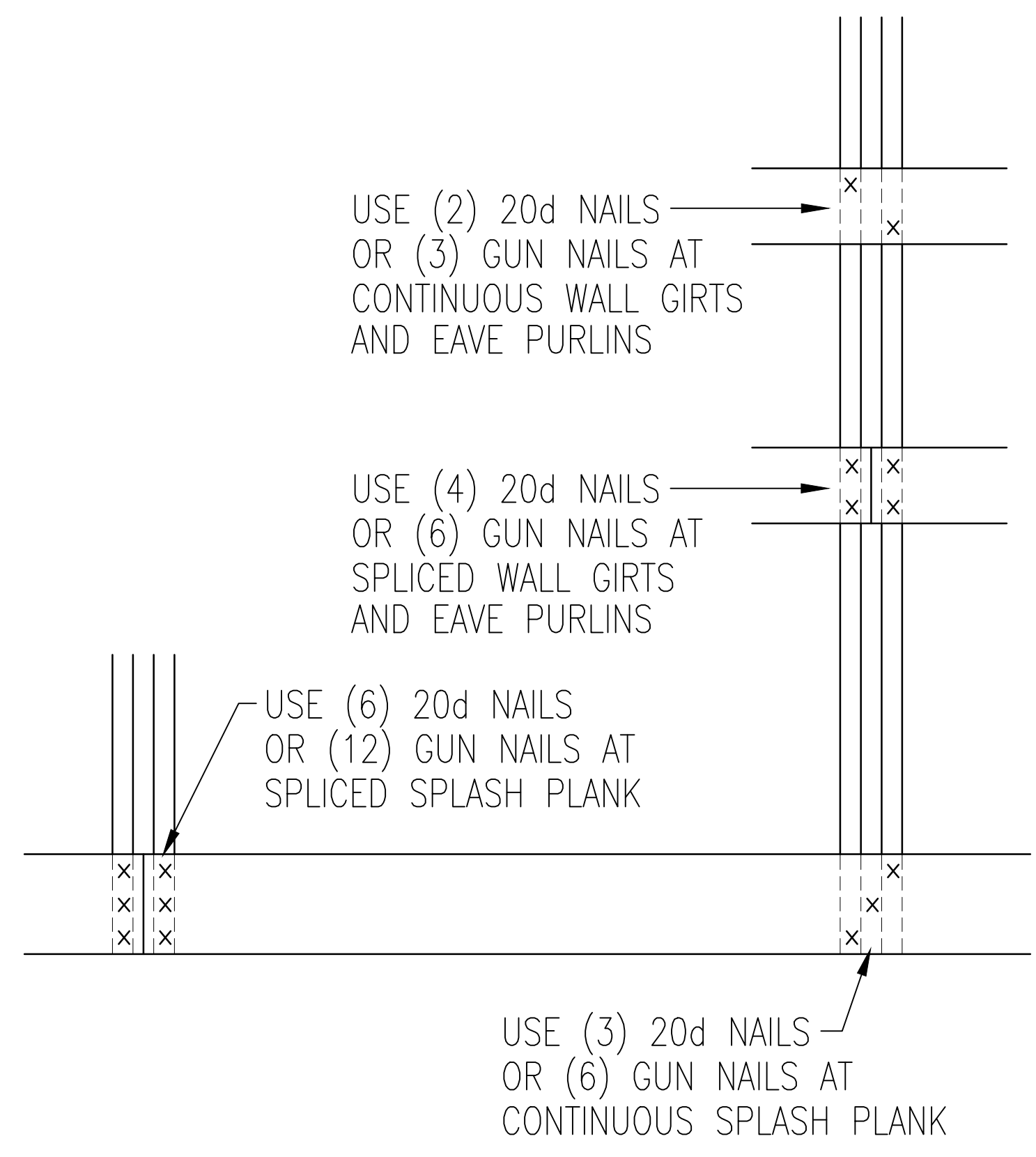


**GABLE DETAIL
WITH PURLIN EXTENSION**



NOTE: PAN NAILS MAY BE SUBSTITUTED FOR PANEL END FASTENERS WHEN CONCEALED BY FLASHING

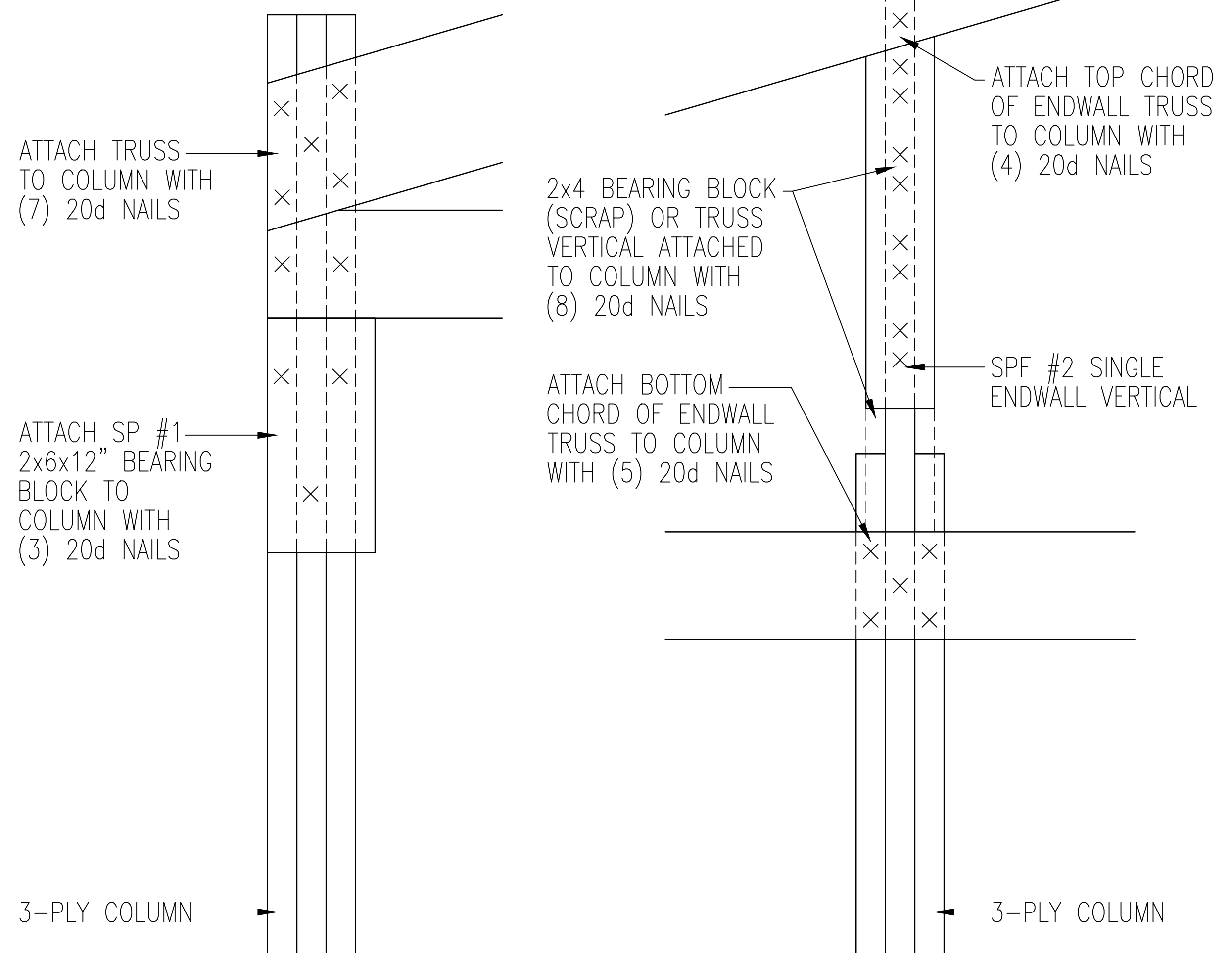
ROOF AND SIDE STEEL ATTACHMENT DETAIL



NOTE: 20d NAILS TO BE RING SHANK HOT DIPPED GALVANIZED GUN NAIL ALTERNATE = 0.131x3 1/2 RS-TLN

NOTE: SPLASH PLANK AT BRACING LOCATIONS REQUIRE ADDITIONAL FASTENERS (SEE BRACING DETAIL SHEET)

STANDARD WALL FRAMING NAILING

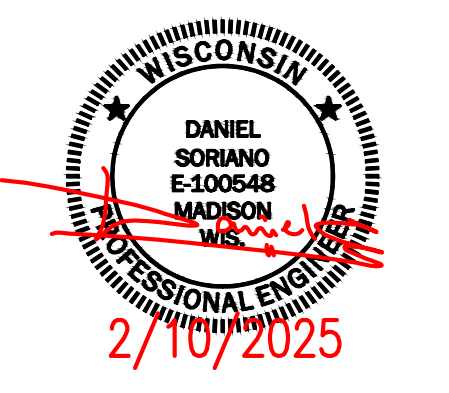


**STRUCTURAL ENDWALL TRUSS CONNECTION DETAILS
AT BOTH ENDWALLS**

PROJECT NAME:
CHAPPA, TYLER
PROJECT SITE ADDRESS:
1236 N 18TH ST
SHEBOYGAN, WI 53083 (SHEBOYGAN)
BUILDING SIZE:
40' 0" x 60' 0" x 16' 8"
SHEET NAME:
DIAPHRAGM ACTION AND MISC. DETAILS

PROJECT NUMBER:
2025100424
SHEET NUMBER:
150

PAPER SCALE IS N.T.S.



TRUSS CHECK
(CHECK BOX AND INITIAL)

- TRUSS SIZE NJJ
- ROOF PITCH NJJ
- BAY SPACING NJJ
- SLC / RLC NJJ
- DESIGN LOADS NJJ
- OVERHANGS NJJ



190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: JENKINS

DATE DRAWN: 02/10/25

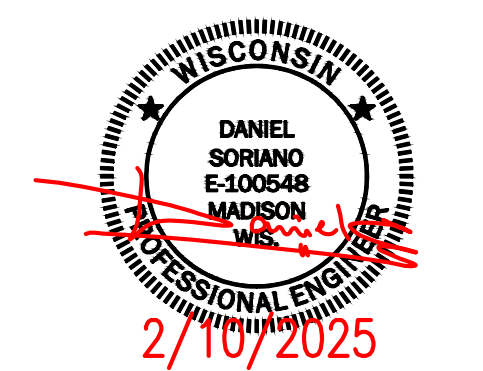
PLAN REVISIONS:

NUMBER	DATE	BY
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PROJECT NAME:
CHAPPA, TYLER
PROJECT SITE ADDRESS:
1236 N 18TH ST
SHEBOYGAN, WI 53083 (SHEBOYGAN)
BUILDING SIZE:
40' 0" x 60' 0" x 16' 8"
SHEET NAME:
TRUSS DIAGRAMS

PROJECT NUMBER:
2025100424
SHEET NUMBER:
160

PAPER SCALE IS N.T.S.



SEQN: 136600 FROM: AJY

COMN Ply: 1 Qty: 1

Job Number: 2025100424

Truss Label: TA39-9PLSC37STNO100C4truss125W

Cust: R 7054 JRef: 1Y7a70540001 T2887

DrwNo: 037.25.1022.03087 / FK 02/06/2025

SEQN: 136621 FROM: AJY

GABL Ply: 1 Qty: 1

Job Number: 2025100424

Truss Label: TB39-9SEW4WO-H12HEEL125W

Cust: R 7054 JRef: 1Y7a70540001 T2891

DrwNo: 037.25.1023.12560 / FK 02/06/2025

Loading Criteria (psf)

TCLL: 37.00
TCDL: 4.00
BCLL: 0.00
BCDL: 1.00

Des Ld: 42.00
NCBCLL: 0.00
Soffit: 2.00
Load Duration: 1.15
Spacing: 120.0"

Wind Criteria

Wind Std: ASCE 7-10
Speed: 125 mph
Enclosure: Closed
Risk Category: II
EXP: C Kzt: NA
Mean Height: 20.00 ft
TCDL: 2.4 psf
BCDL: 0.6 psf
MWFRS Parallel Dist: 0 to h/2
C&C Dist a: 3.97 ft
Loc. from endwall: Any
GCPi: 0.18
Wind Duration: 1.60

Snow Criteria (Pg.Pf in PSF)

Pg: 47.0 Ct: 1.2 CAT: II
Pf: 39.5 Ce: 1.0
Lu: 21.0 Cs: 0.94
Snow Duration: 1.15

Building Code: IBC 2015
TPI Std: 2014
Rep Fac: No
FT/RT/PT: 20(20)/10(10)/4(0)
Plate Type(s): 18SS, WAVE, HS

Defl/CSI Criteria

PP Deflection in loc L/defl L/#
VERT(LL): 0.815 M 580 240
VERT(CL): 0.930 M 508 240
HORZ(LL): 0.282 I - -
HORZ(TL): 0.322 I - -

Maximum Reactions (lbs)

Loc	R+	/R-	/Rh	/Rw	/U	/RL
P	8393	-	-	-	1135	/2817 /527
Q	8393	-	-	-	1135	/2817 /527

Wind reactions based on MWFRS
P Brg Wid = 5.5 Min Req = -
Q Brg Wid = 5.5 Min Req = -
Bearings P & Q are a rigid surface.
Members not listed have forces less than 375#
Maximum Top Chord Forces Per Ply (lbs)

Chords	Tens.Comp.	Chords	Tens. Comp.
A - B	11110 - 18818	E - F	9354 - 14729
B - C	10715 - 17579	F - G	10758 - 17426
C - D	10758 - 17426	G - H	10716 - 17579
D - E	9354 - 14729	H - I	11111 - 18818

Maximum Bot Chord Forces Per Ply (lbs)

Chords	Tens.Comp.	Chords	Tens. Comp.
A - O	17377 - 9917	L - K	15334 - 8478
O - N	15334 - 8472	K - J	15334 - 8478
N - M	15334 - 8472	J - I	17377 - 9911
M - L	12044 - 6326		

Maximum Web Forces Per Ply (lbs)

Webs	Tens.Comp.	Webs	Tens. Comp.
B - O	1305 - 1729	E - L	4689 - 2347
O - D	1629 - 1197	L - F	2395 - 4655
D - M	2395 - 4655	F - J	1629 - 1197
M - E	4689 - 2347	J - H	1305 - 1729

Lumber

Top chord: 2x10 SP 2400F-2.0E;
Bot chord: 2x8 SP 2400F-2.0E;
Webs: 2x4 SP #2; W3, W4, W5, W6 2x6 SP 2400F-2.0E;
Lt Wedge: 2x4 SP #2; Rt Wedge: 2x4 SP #2;

Plating Notes

All plates are 4X14(SP) except as noted.
(SP) Supplemental plates are not required and have not been analyzed or sized for member forces.

Additional Notes

Truss has been designed for vertical in-plane loads only. Any lateral/horizontal wind loads shall be transferred into the roof and ceiling diaphragms. Connection and design of these systems is the responsibility of the Building Designer in accordance with ANSI/TPI 1.

WI COA #2902-011

155 Harlem Ave
North Building, 4th Floor
Glenview, IL 60025

****WARNING** READ AND FOLLOW ALL NOTES ON THIS DRAWING!**
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For more information see these web sites: Alpine: alpineitw.com; TPI: tpinet.org; SBCA: sbccomponents.com; ICC: iccsafe.org; AWC: awc.org

SEQN: 136621 FROM: AJY

GABL Ply: 1 Qty: 1

Job Number: 2025100424

Truss Label: TB39-9SEW4WO-H12HEEL125W

Cust: R 7054 JRef: 1Y7a70540001 T2891

DrwNo: 037.25.1023.12560 / FK 02/06/2025

SEQN: 136621 FROM: AJY

GABL Ply: 1 Qty: 1

Job Number: 2025100424

Truss Label: TB39-9SEW4WO-H12HEEL125W

Cust: R 7054 JRef: 1Y7a70540001 T2891

DrwNo: 037.25.1023.12560 / FK 02/06/2025

Loading Criteria (psf)

TCLL: 37.00
TCDL: 4.00
BCLL: 0.00
BCDL: 1.00

Des Ld: 42.00
NCBCLL: 0.00
Soffit: 2.00
Load Duration: 1.15
Spacing: 72.0"

Wind Criteria

Wind Std: ASCE 7-10
Speed: 125 mph
Enclosure: Closed
Risk Category: II
EXP: C Kzt: NA
Mean Height: 20.00 ft
TCDL: 2.4 psf
BCDL: 0.6 psf
MWFRS Parallel Dist: 0 to h/2
C&C Dist a: 3.97 ft
Loc. from endwall: Any
GCPi: 0.18
Wind Duration: 1.60

Snow Criteria (Pg.Pf in PSF)

Pg: 47.0 Ct: 1.2 CAT: II
Pf: 39.5 Ce: 1.0
Lu: 21.0 Cs: 0.94
Snow Duration: 1.15

Building Code: IBC 2015
TPI Std: 2014
Rep Fac: No
FT/RT/PT: 20(20)/10(10)/4(0)
Plate Type(s): 18SS, WAVE, HS

Defl/CSI Criteria

PP Deflection in loc L/defl L/#
VERT(LL): 0.215 M 911 240
VERT(CL): 0.245 M 799 240
HORZ(LL): 0.103 H - -
HORZ(TL): 0.117 H - -

Maximum Reactions (lbs)

Loc	R+	/R-	/Rh	/Rw	/U	/RL
Q	1892	-	-	-	251	/471 /317
R	628	-	-	-	131	/2 /-
S	1048	-	-	-	199	/506 /-
T	628	-	-	-	100	/138 /-
U	2142	-	-	-	1293	/578 /-
V	661	-	-	-	103	/153 /-
W	2214	-	-	-	297	/609 /-
X	789	-	-	-	126	/-
Y	789	-	-	-	133	/352 /-
Z	1679	-	-	-	220	/331 /-

Wind reactions based on MWFRS
Q Brg Wid = 5.5 Min Req = 2.2
R Brg Wid = 5.5 Min Req = 1.5
S Brg Wid = 1.5 Min Req = -
T Brg Wid = 5.5 Min Req = 1.5
U Brg Wid = 1.5 Min Req = -
V Brg Wid = 5.5 Min Req = 1.5
W Brg Wid = 1.5 Min Req = -
X Brg Wid = 5.5 Min Req = 1.5
Y Brg Wid = 1.5 Min Req = -
Z Brg Wid = 5.5 Min Req = -
Bearings Q, R, T, U, V, X, & Z are a rigid surface.
Members not listed have forces less than 375#
Maximum Top Chord Forces Per Ply (lbs)

Chords	Tens.Comp.	Chords	Tens. Comp.
A - B	3077 - 5846	F - G	3673 - 5617
B - C	1717 - 2685	G - H	1676 - 2672
C - D	3730 - 5629	H - W	1640 - 2861
D - E	2094 - 2903	H - I	2684 - 5777
E - F	2078 - 2904		

Maximum Bot Chord Forces Per Ply (lbs)

Chords	Tens.Comp.	Chords	Tens. Comp.
A - P	5249 - 2076	L - K	2621 - 1037
P - O	5242 - 2072	K - J	5242 - 2074
O - N	2621 - 1036	J - V	2625 - 1040
N - M	2616 - 1032	J - I	5250 - 2080
M - L	2616 - 1032		

Lumber

Top chord: 2x8 SP 2400F-2.0E;
Bot chord: 2x8 SP #1;
Webs: 2x4 SP #2;
Lt Wedge: 2x6 SPF #1/#2; Rt Wedge: 2x6 SPF #1/#2;

Plating Notes

See Cleary Building Corp. drawing for bearing attachment and bottom chord bracing details. This designs applies to both open wall and enclosed wall buildings.
In lieu of structural panels or rigid ceiling use purfins to brace TC @ 24" OC.

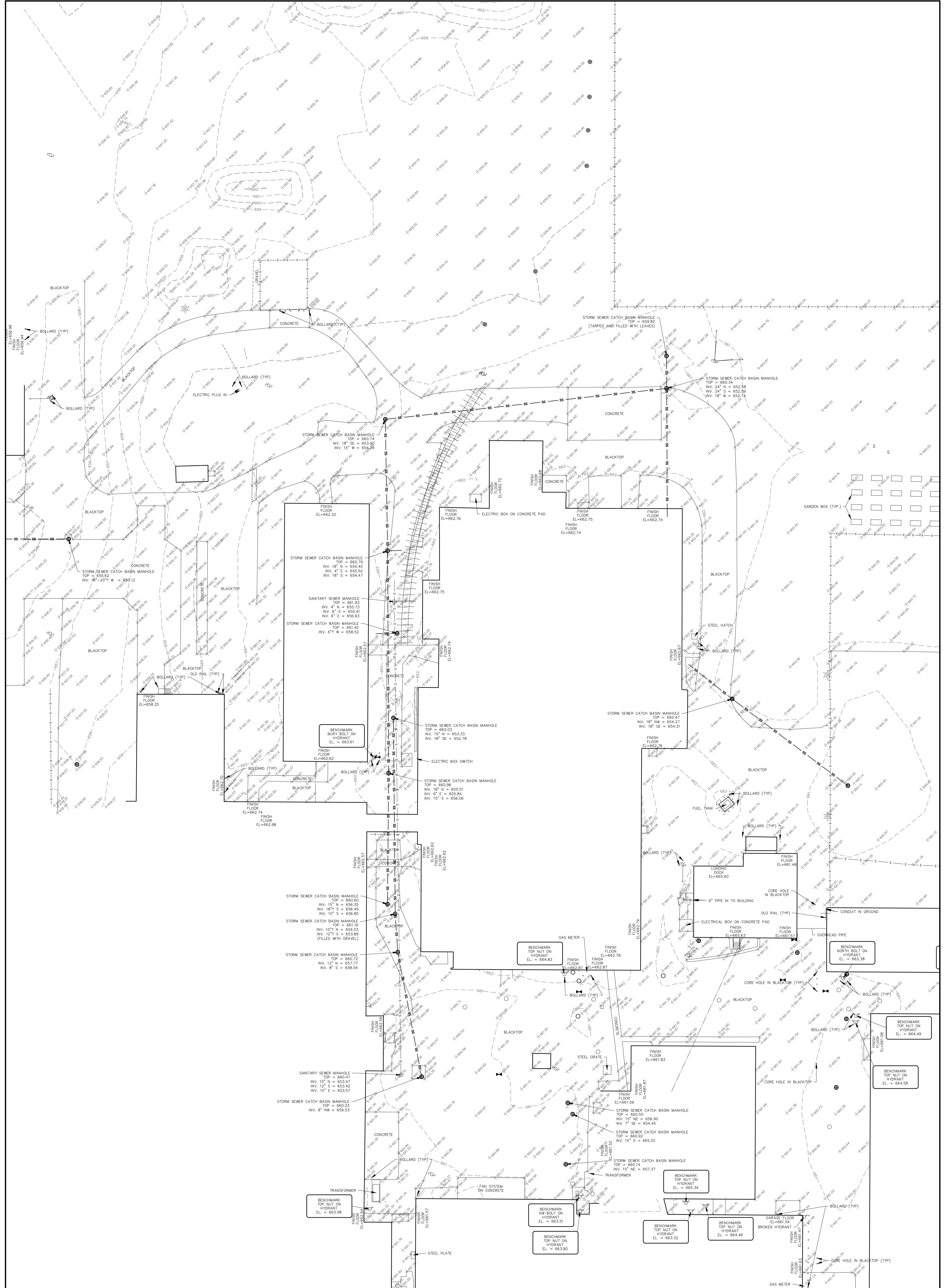
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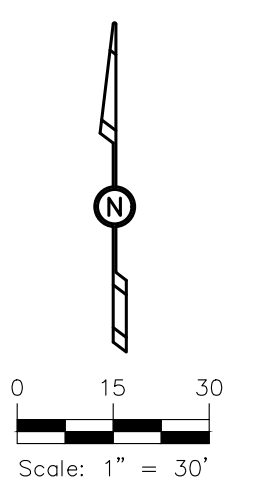
WI COA #2902-011

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For more information see these web sites: Alpine: alpineitw.com; TPI: tpinet.org; SBCA: sbccomponents.com; ICC: iccsafe.org; AWC: awc.org



TOPOGRAPHIC SURVEY
 FOR: ABACUS ARCHITECTS
 1135A MICHIGAN AVENUE
 SHEBOYGAN, WI 53081
 PART OF THE NW 1/4, SECTION 22, T15N, R23E,
 CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN



LEGEND

- ⊕ = Power Pole
- ⊙ = Light Pole
- = Guy Wire
- ⊕ = Water Valve
- ⊕ = Hydrant
- ⊕ = Manhole
- ⊕ = Catch Basin Manhole
- = Electric Line
- = Electric Overhead Line
- = Storm Sewer Line
- = Fence

Revisions:

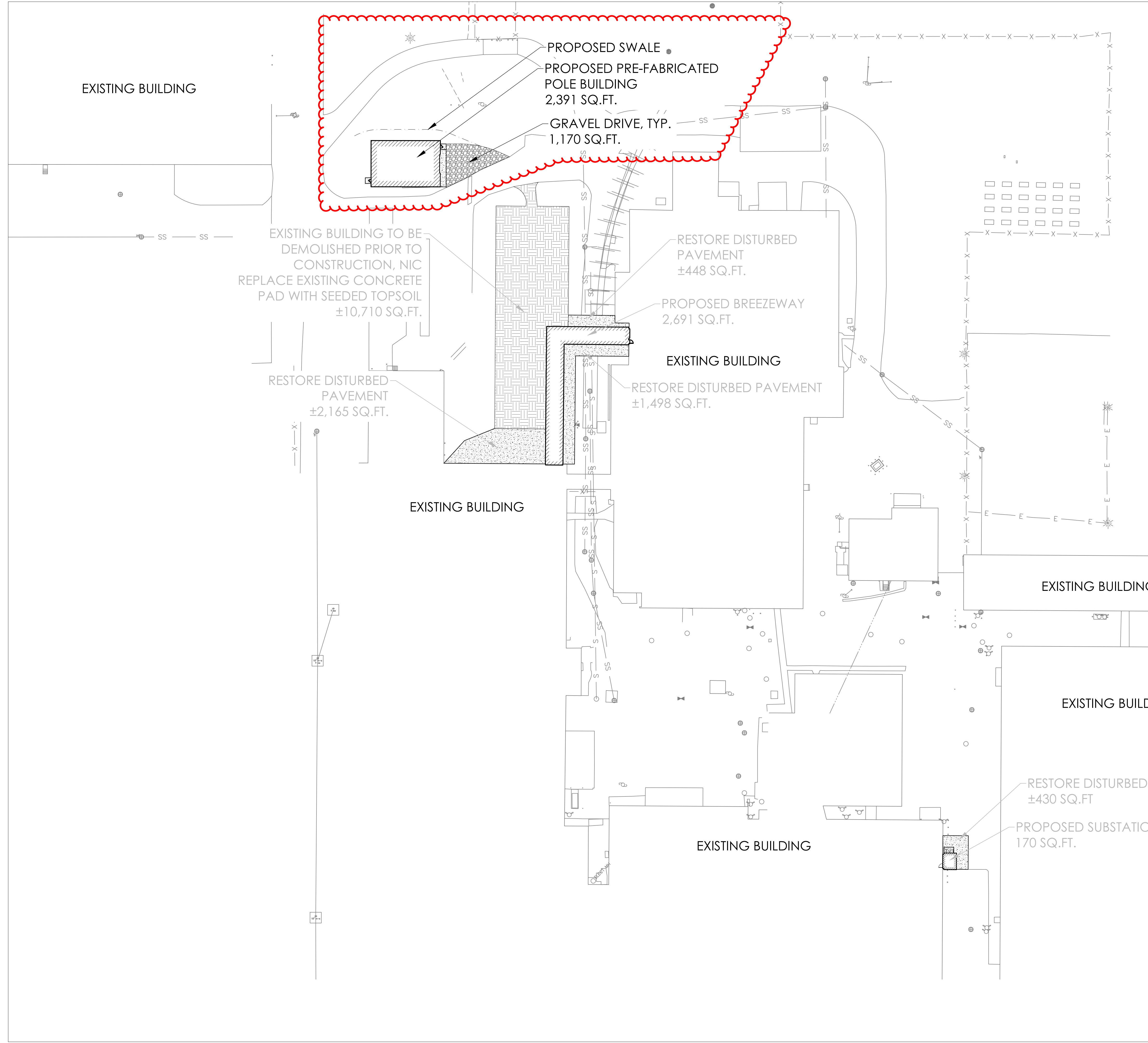
No.	Description

100 South 10th Street
 Oostburg, WI 53070
 920-547-0999

CEDAR CREEK SURVEYING, LLC
 ENGINEERS • SURVEYORS • DRAFTERS
www.cedarcreeksurveying.com

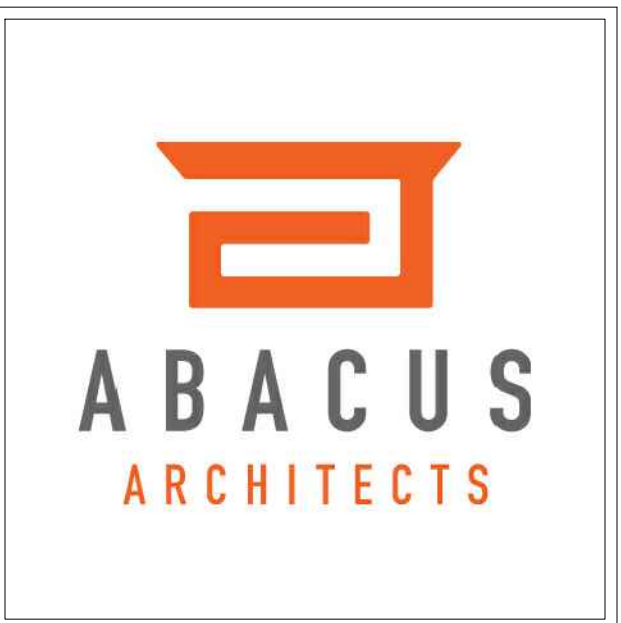
FILE No.: 2025015 DATE: 2/17/2025 PAGE: 1 OF 1

P:\2025-CONTRACTS\2025-009_1_Vollrath Remodel\Phase - 2\Construction Documents\3_Site\2025-9_1 - Rose.dwg
February 17, 2025



SITE LEGEND

- EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
- PROPOSED SEEDED GREENSPACE HATCH, TYP.
- PROPOSED GRAVEL HATCH, TYP.
- PROPOSED LIGHT DUTY CONCRETE HATCH. SEE DETAIL.



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DATE	ISSUE

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FACILITIES RENOVATION FOR:
VOLLRATH COMPANY LLC
1236 NORTH 18th STREET, SHEBOYGAN, WI 53081
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE, WI 53203

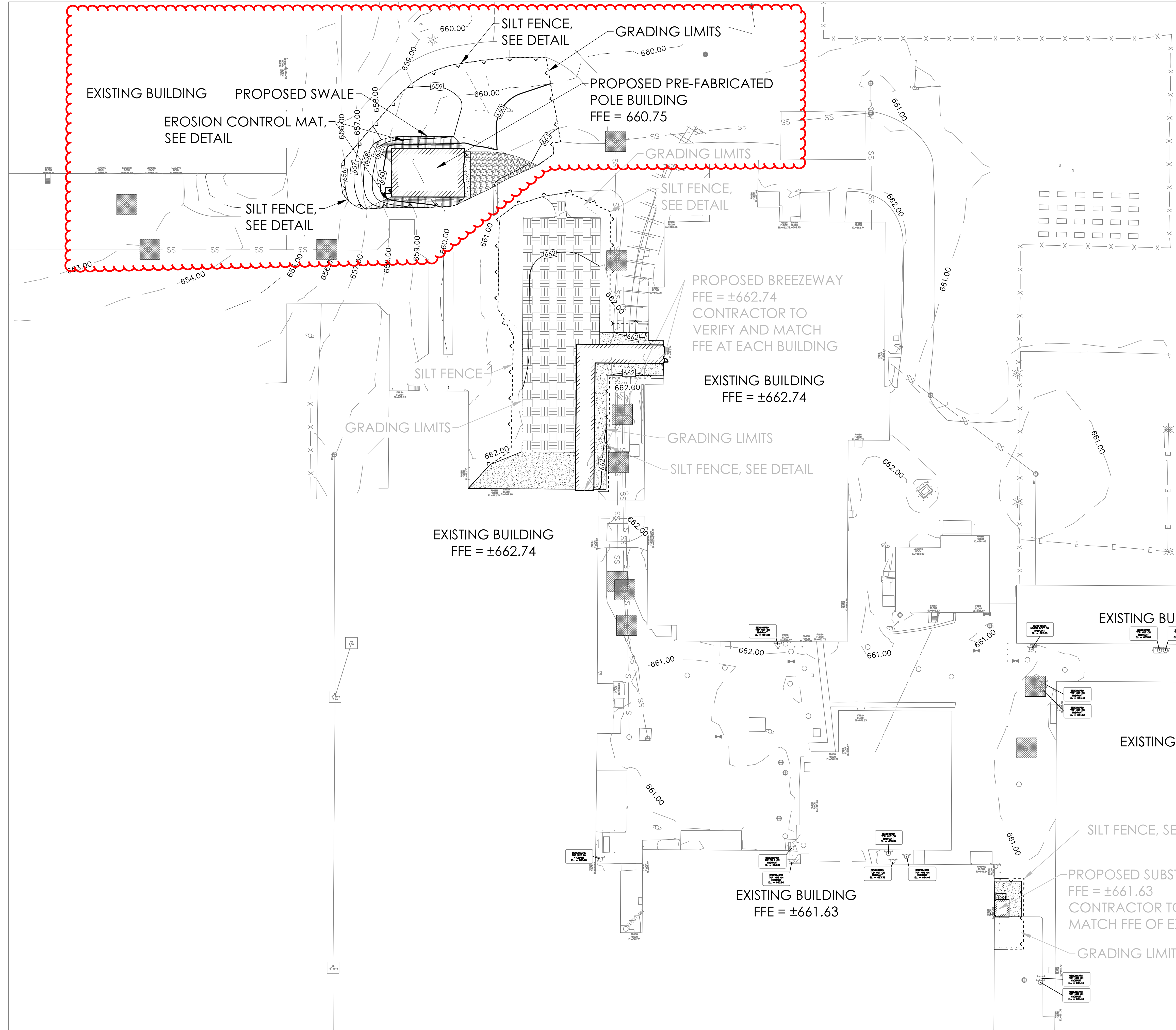
DRAWN BY: MBS
CHECKED BY: JRV

SITE PLAN
A
200

PROJ. NO. 2025-009.1

SITE PLAN
SCALE: 1"=40'

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February 17, 2025



GRADING LEGEND

- 595 — PROPOSED CONTOUR
- 595 - EXISTING CONTOUR
- ⊕ 595.00 PROPOSED SPOT ELEVATION
- ⊕ 595.00± MATCH EXISTING ELEVATION
- ⊕ TC 595.00 PROPOSED TOP OF CURB ELEVATION
- ⊕ BC 595.50 PROPOSED BOTTOM OF CURB ELEVATION

EROSION CONTROL LEGEND

- [Cross-hatched box] EXTENTS OF EROSION MAT AS SPECIFIED. INSTALL ON DISTURBED AREAS WITH SLOPE GREATER THAN 4H:1V. SEE DETAIL
- [Dashed line] PROPOSED SILT FENCING TO BE PLACED AROUND THE PERIMETER OF THE PROPOSED GRADING LIMITS. SEE DETAIL
- [Stippled box] INLET PROTECTION TO BE INSTALLED IN EXISTING STORM SEWER INLETS PRIOR TO ANY CONSTRUCTION ACTIVITIES BEING PERFORMED. SEE DETAIL



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OVERALL GRADING PLAN
SCALE: 1"=40'



ISSUE DATE: FEBRUARY 17th, 2025

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1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE, WI 53203

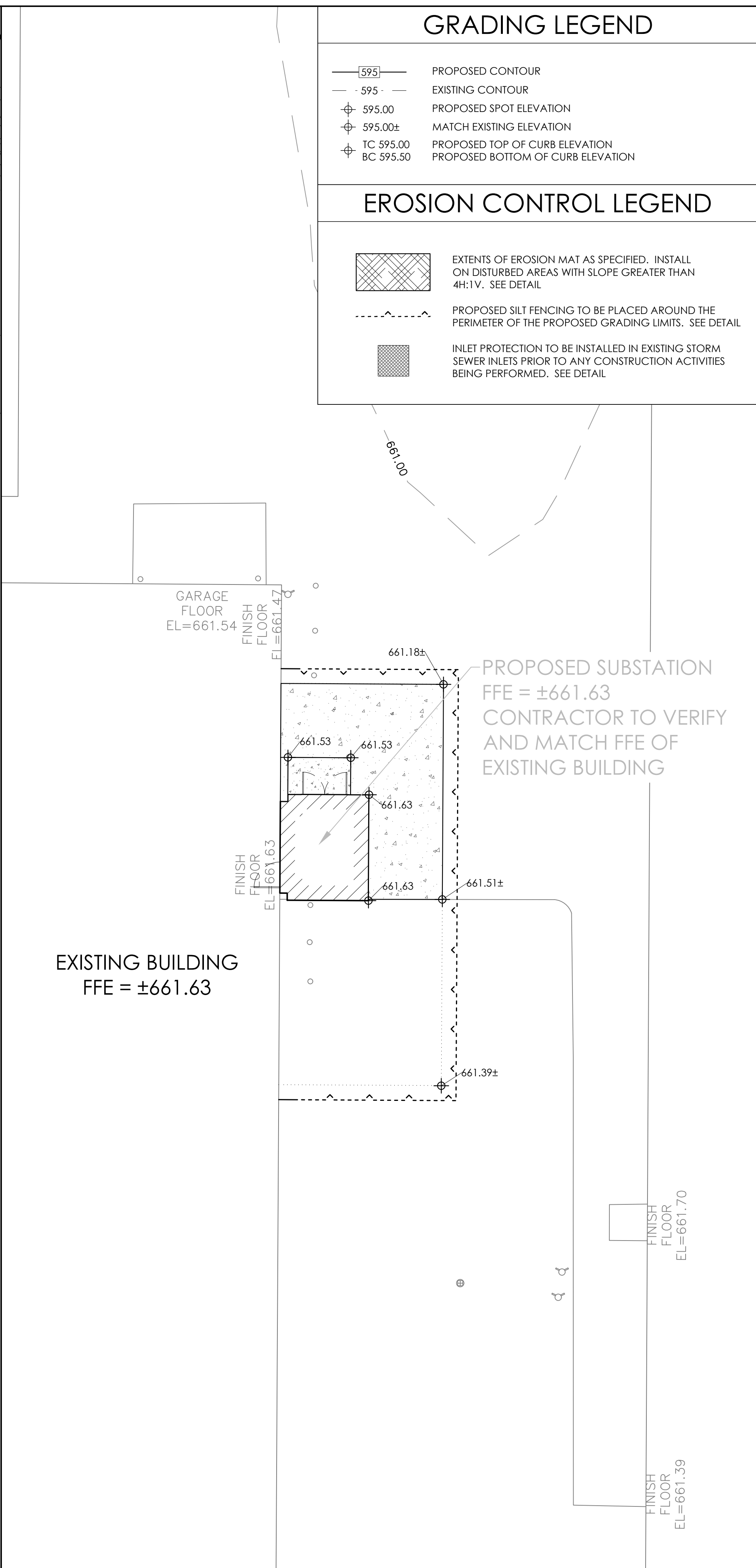
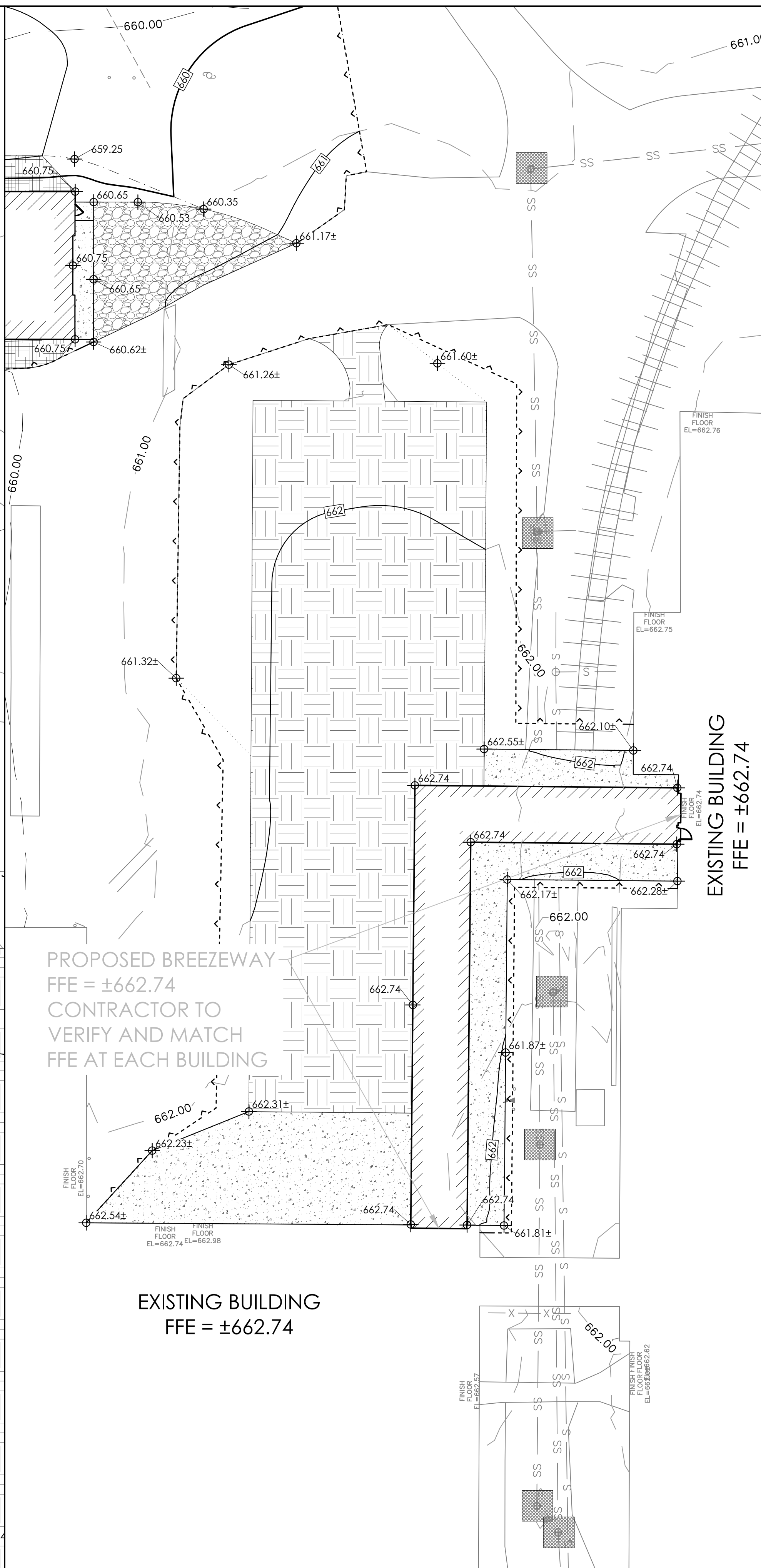
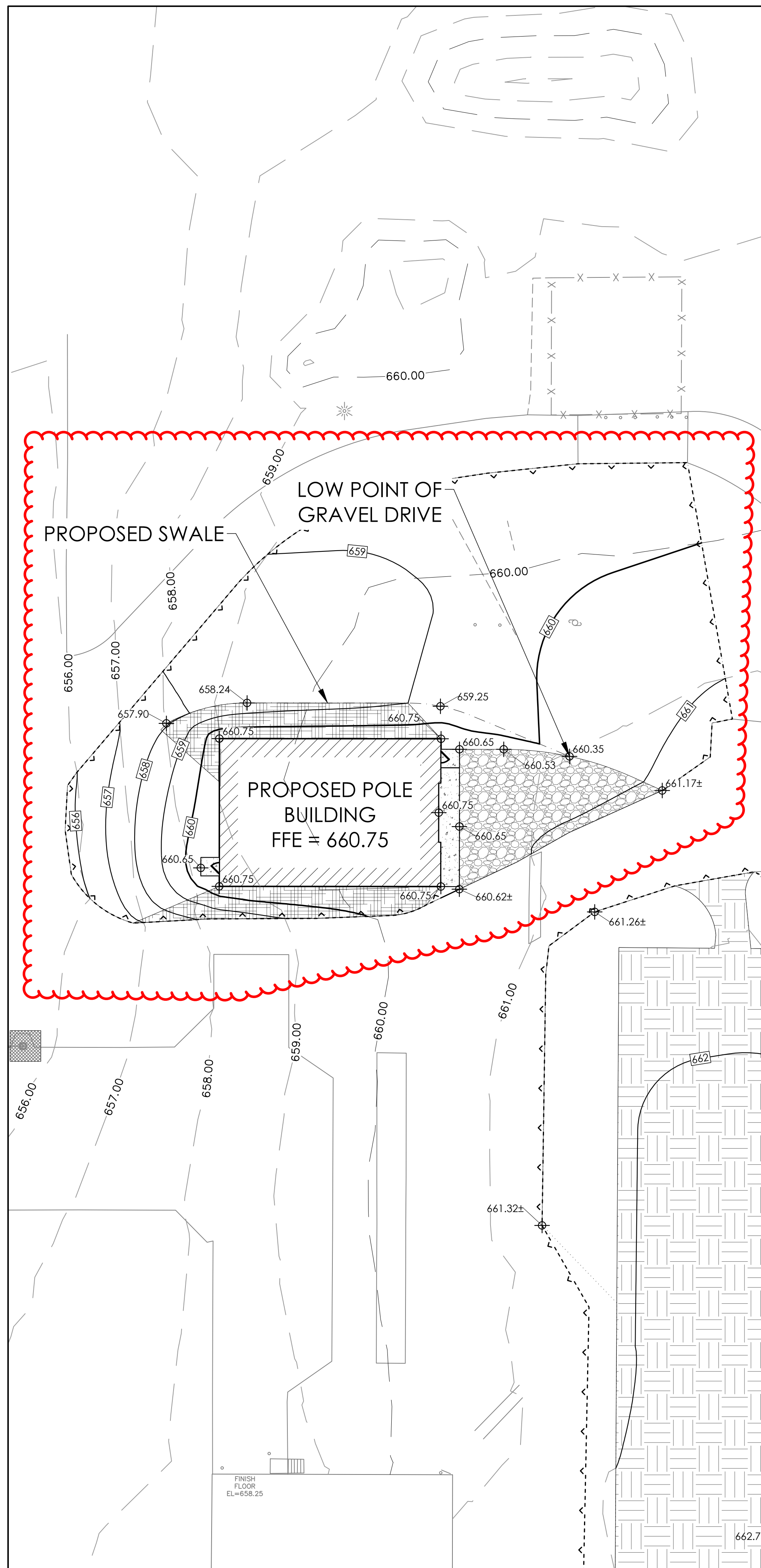
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OVERALL GRADING PLAN

A
201

PROJ. NO. 2025-009.1

P:\2025-CONTRACTS\2025-009_1_Vollrath Brezeway, Pole Building, Sub Station, Bldg 8, Building 19 Toilet Remodel\Phase - 2\Construction Documents\3.3 Site\2025-9_1_Rose.dwg
 February 17, 2025



GRADING LEGEND	
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED SPOT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED BOTTOM OF CURB ELEVATION

EROSION CONTROL LEGEND	
	EXTENTS OF EROSION MAT AS SPECIFIED. INSTALL ON DISTURBED AREAS WITH SLOPE GREATER THAN 4H:1V. SEE DETAIL
	PROPOSED SILT FENCING TO BE PLACED AROUND THE PERIMETER OF THE PROPOSED GRADING LIMITS. SEE DETAIL
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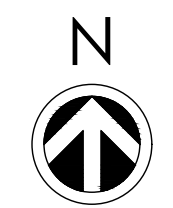
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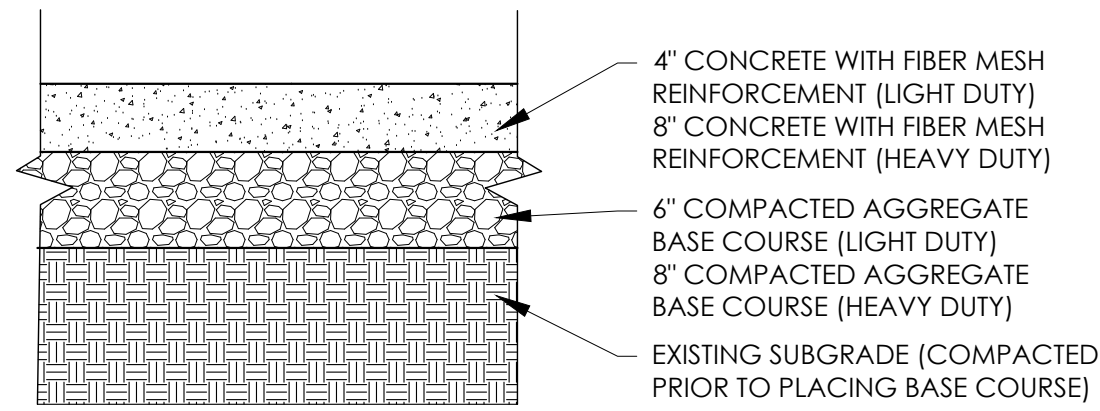
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COMPONENT GRADING PLAN

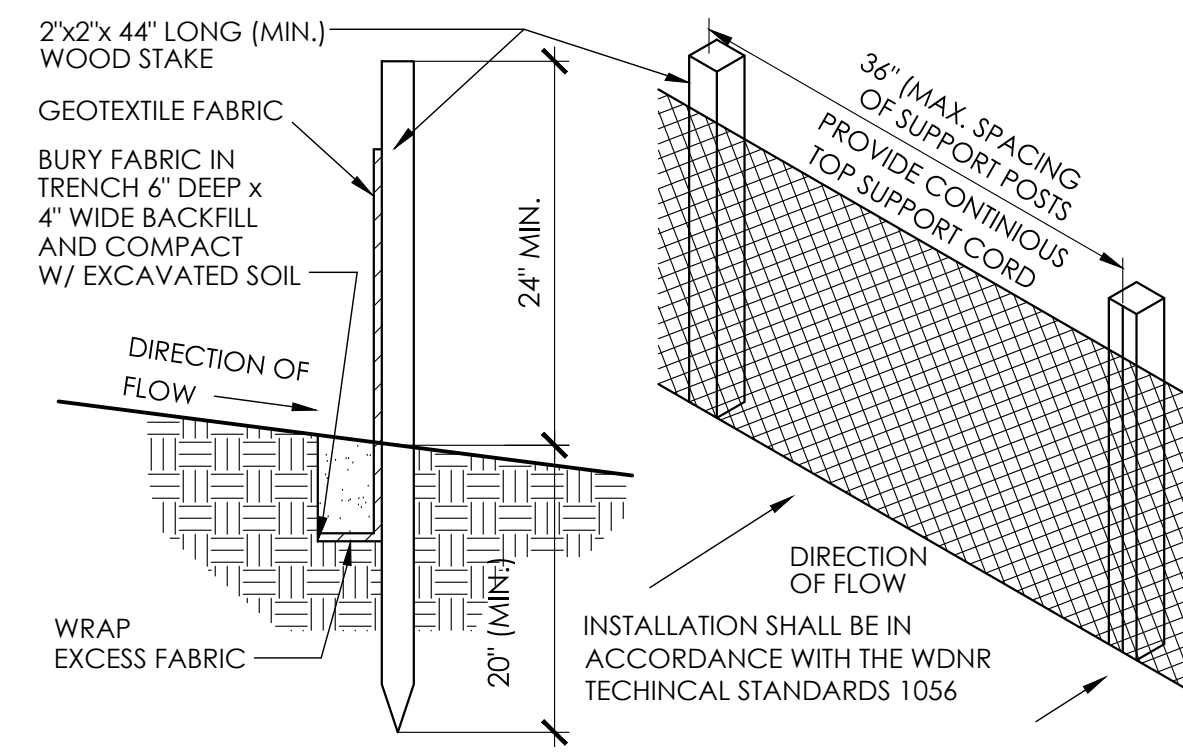
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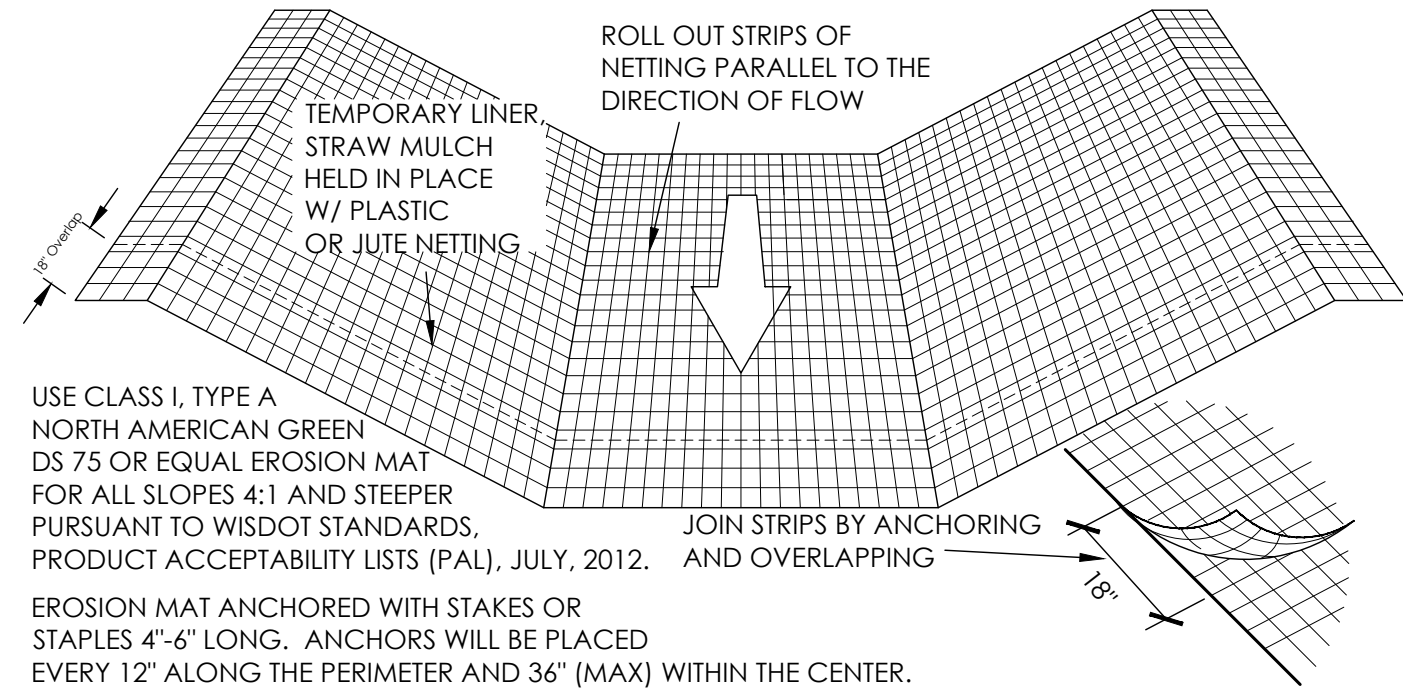




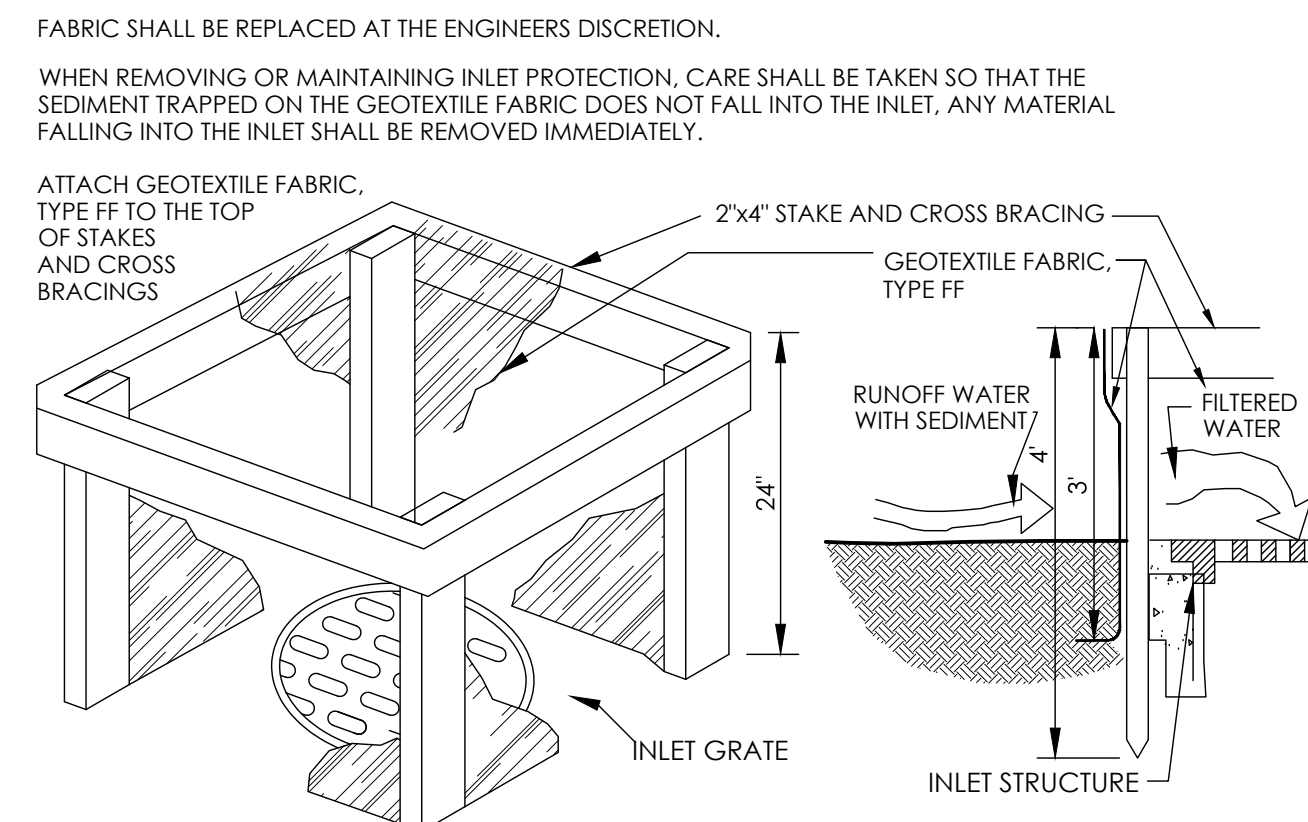
CONCRETE PAVEMENT CROSS SECTION



SILT FENCE SECTION & DETAIL

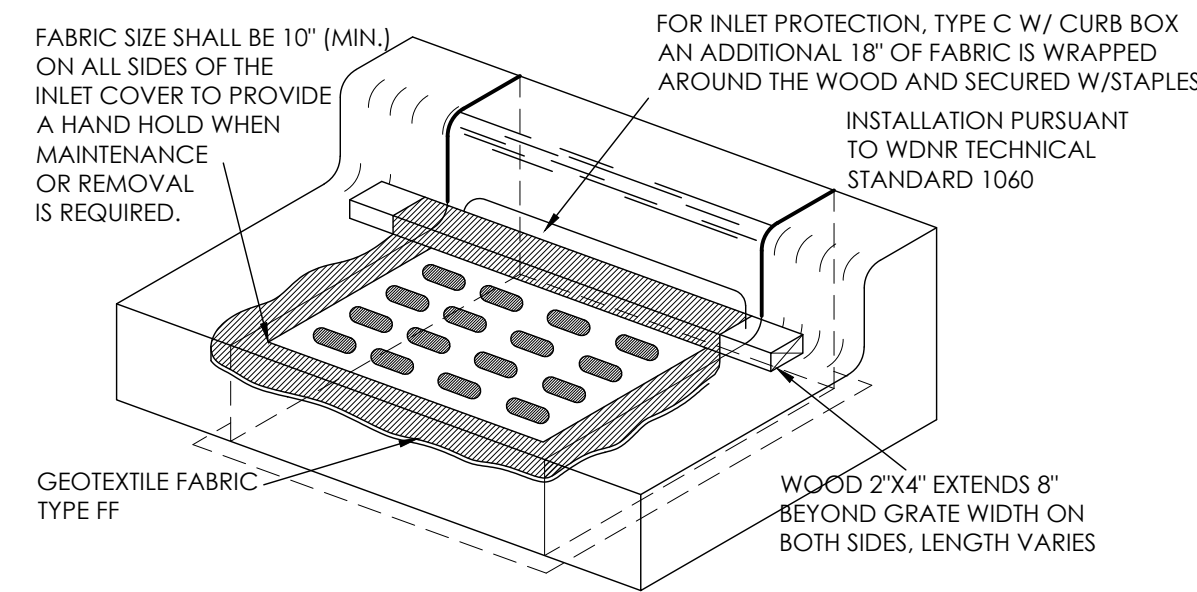


EROSION MATTING DETAIL (FOR SIDE SLOPES ONLY - NOT FOR CHANNELIZED FLOW)



INLET PROTECTION, TYPE 'A'

INSTALLATION PURSUANT TO WDNR TECHNICAL STANDARD 1060



INLET PROTECTION, TYPE 'C'

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3\"/>

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE 'C' INLET PROTECTION TO BE IMPLEMENTED UPON CONSTRUCTION OF CURB AND GUTTER. PRIOR TO CURB AND GUTTER CONSTRUCTION, TYPE 'A' INLET PROTECTION SHALL BE PROVIDED.



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CIVIL DETAILS

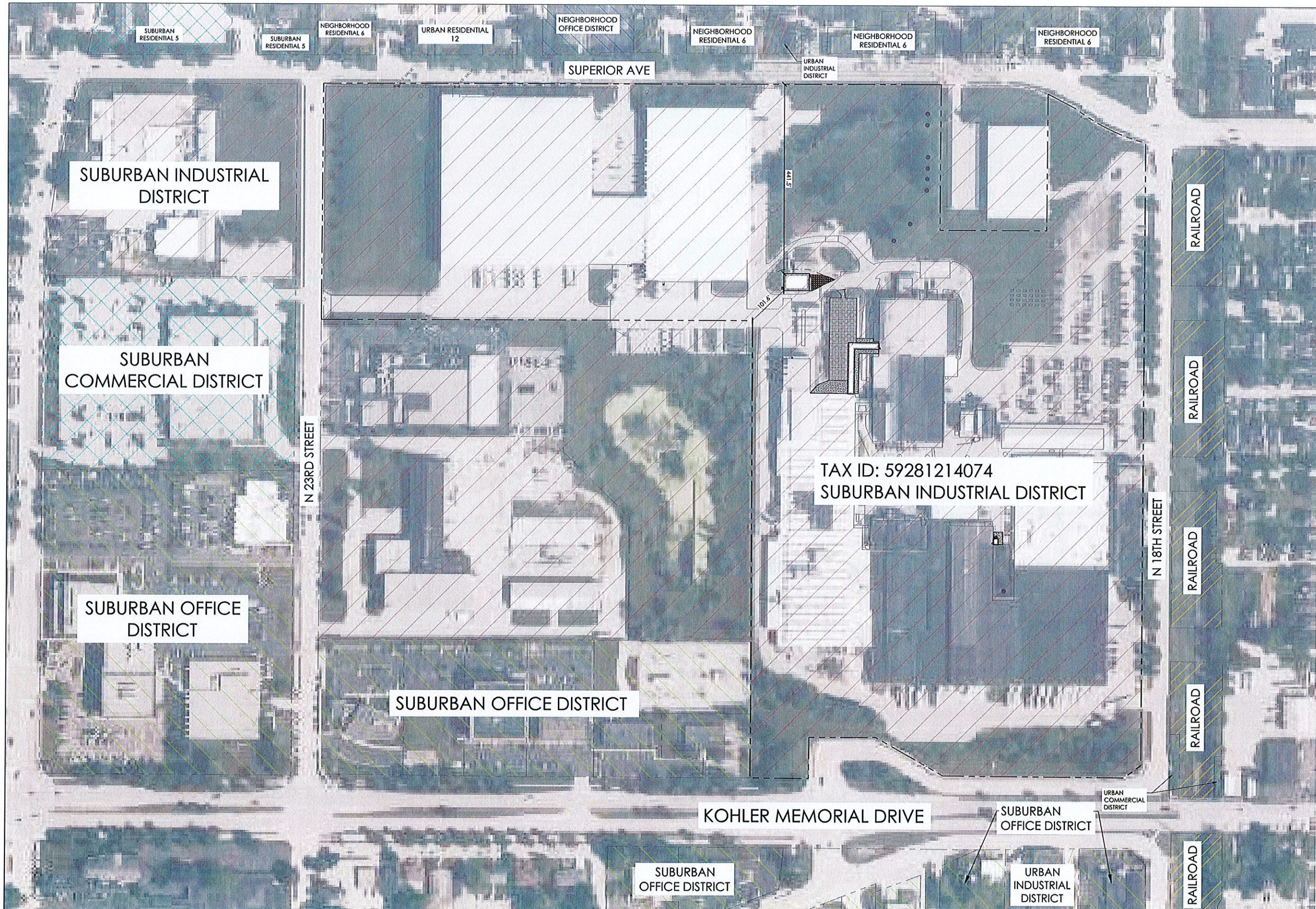
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CIVIL DETAILS

PROJ. NO. 2025-009.1

February 18, 2025

P:\2025-CONTRACTS\2025-009_1 Vollrath Breezeway, Pole Building, Sub Station, Bldg 8, Building 19 Toilet Remodel\Phase - 2\Construction Documents\3 Site\2025-9.1 - Base.dwg



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ADJACENT LAND INFORMATION

A
EX1

PROJ. NO. 2025-009.1

ADJACENT LAND INFORMATION

SCALE: 1"=100'

