



CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW
APPLICATION

Fee: **\$100**
Review Date: **12/12/2022**

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information

Name (Ind., Org. or Entity) Bunman, LLC	Authorized Representative John Johnston	Title Owner	
Mailing Address 1227 Superior Avenue	City Sheboygan	State WI	ZIP Code 53081
Email Address bunman@johnstonsbakery.com		Phone Number (incl. area code) (920) 458-3342	

SECTION 2: Landowner Information (Complete These Fields When Project Site Owner is Different than Applicant)

Name (Ind., Org. or Entity)	Contact Person	Title	
Mailing Address	City	State	ZIP Code
Email Address		Phone Number (incl. area code)	

SECTION 3: Architect Information

Name Distinctive Design Studio - Jason Ahrens			
Mailing Address 215 Pine Street	City Sheboygan Falls	State WI	Zip 53085
Email Address jason@distinctivedesignstudio.com		Phone Number (incl. area code) (920) 458-5584	

SECTION 4: Contractor Information

Name			
Mailing Address	City	State	Zip
Email Address		Phone Number (incl. area code)	

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Architectural Review Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Jason Ahrens (Agent of Owner)	Title Project Architect	Phone Number (920) 458-5584
Signature of Applicant 		Date Signed 11/22/2022

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$100 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

SECTION 6: Description of the Subject Site/Proposed Project

Project Address/Description Johnston's Bakery Addition		Parcel No. 59281470691 and 59281470712
Name of Proposed/Existing Business:	Johnston's Bakery Frozen Dough Plant	
Address of Property Affected:	3220 Weeden Creek Road	
Zoning Classification:	SI - Suburban Industrial	
New Building: ☐	Addition: ☒	Remodeling: ☐

SECTION 7: Description of Proposed Project

The project consists of an expansion to the Johnston's Bakery Frozen Dough facility, which will provide additional production and cold storage space for their operations.

SECTION 8: Description of EXISTING Exterior Design and Materials

The existing structure consists of pre-engineered metal buildings and insulated exterior freezer panels. The exterior of the pre-engineered buildings has vertical metal siding and standing seam metal roof. A block wainscot runs down the south side of the building.

SECTION 9: Description of the PROPOSED Exterior Design and Materials

The intent is to match the existing building in appearance and materials. The production area of the addition will be a pre-engineered metal building with vertical, almond colored metal siding and standing seam metal roof. The existing block wainscot on the south side of the building will continue along the new addition as well. The insulated exterior freezer panels on the north side of the building will match the existing freezer panels.



November 22, 2022

PROJECT NARRATIVE

PROJECT NAME AND ADDRESS:

Johnston's Bakery
3228 Weeden Creek Rd
Sheboygan WI 53081

PARCEL INFORMATION/ SITE DATA/ ZONING CLASSIFICATION:

Tax Parcel Numbers and areas

59281470691 (Existing production facility); 2.3 acres

59281470712 (Vacant, undeveloped to be combined with above); 2.65 acres

Total lot area of 4.95 acres

Zoned SI - Suburban Industrial

EXISTING SITE CONDITIONS/ LAND USE:

The western parcel contains the existing Johnston's Bakery Frozen Dough Production Facility. Weeden Creek Road borders the site to the south and Gateway Drive to the west. Airgas is the adjacent property on the north. The vacant northeast lot is owned by the City of Sheboygan. The empty lot to the east lot is owned by Johnston's Bakery and will be combined with the Johnston's Bakery lot.

SITE SELECTION:

Johnston's Bakery already owns this site and has a facility at this location. There will be no change to the use of the building or property.

DESCRIPTION OF PROPOSED PROJECT:

The frozen dough market has seen continued growth the past several years. This has created a need for additional production and cold storage space at Johnston's Bakery Frozen Dough Plant to meet the continuing demand and growth of the frozen dough market.

The existing plant has had several additions over the years and is currently 19,200 s.f. in size. The proposed addition consists of an approximately 10,450 s.f. expansion to the production and cold storage spaces of the facility, with 8,660 s.f. going to production and 1,790 s.f. of cold storage.



DESCRIPTION OF BUSINESS ACTIVITIES:

Normal operation of the plant is 4am until 8pm, Monday through Friday, with occasional Saturday work. Approximately 12 employees are currently working at the facility, with an average of 7 employees in the building at any given time. The number of employees is anticipated to increase slightly over the next 3 years. The number of trucks per day will remain unchanged at 2 to 3.

PARKING

There will be no change in parking stalls, existing loading docks, dumpsters, signage, or parking and maneuvering areas.

DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS:

The existing building pre-engineered metal building with a light tan colored vertical metal siding. A 30" block wainscot appears on the west and south sides of the building. The roof of the production area is a dark brown colored standing seam metal roof. The existing freezers are clad freezer panels that are painted a neutral color that compliments the metal building. The freezers have a low-slope membrane roof.

DESCRIPTION OF PROPOSED EXTERIOR DESIGN AND MATERIALS:

The intent is to match the existing building as much as possible. The pre-engineered metal building that will be used for production will have vertical metal siding, wainscot, and dark-brown metal roof to match the existing. The freezer expansion will consist of metal clad freezer panels that will be painted the same neutral color as the existing and have a membrane roof.

POTENTIAL NUISANCES TO ADJOINING PROPERTY OWNERS:

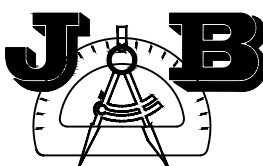
The architectural style of the building will match the existing facility and will fit in with the look and feel of this business park. There will be no negative traffic impacts to the neighborhood and there are no anticipated changes to the existing business operations. Any new site lighting will meet city light intensity requirements.

CONSTRUCTION TIMELINE:

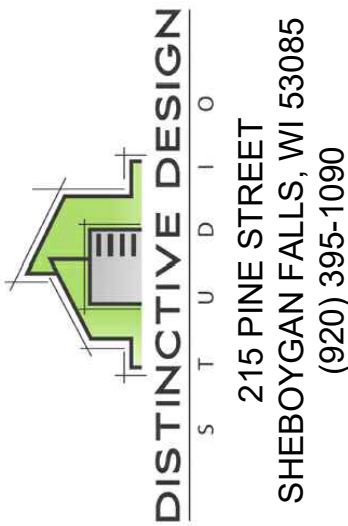
The proposed construction start is spring of 2023 with anticipated completion by September 2023.

ESTIMATED PROJECT COST:

Estimated cost for the addition is approximately \$1,000,000.



SITE DESIGN AND ENGINEERING, LLC
PO BOX 1087
WOODRUFF, WISCONSIN 54588
(920) 207-8977 cell
(920) 455-0181 office
jsbdesign1@gmail.com



BUILDING ADDITION FOR:
JOHNSTON'S BAKERY
3228 WEEDEN CREEK ROAD
SHEBOYGAN, WI 53081

SHEET TITLE

DRAWN BY
JAB

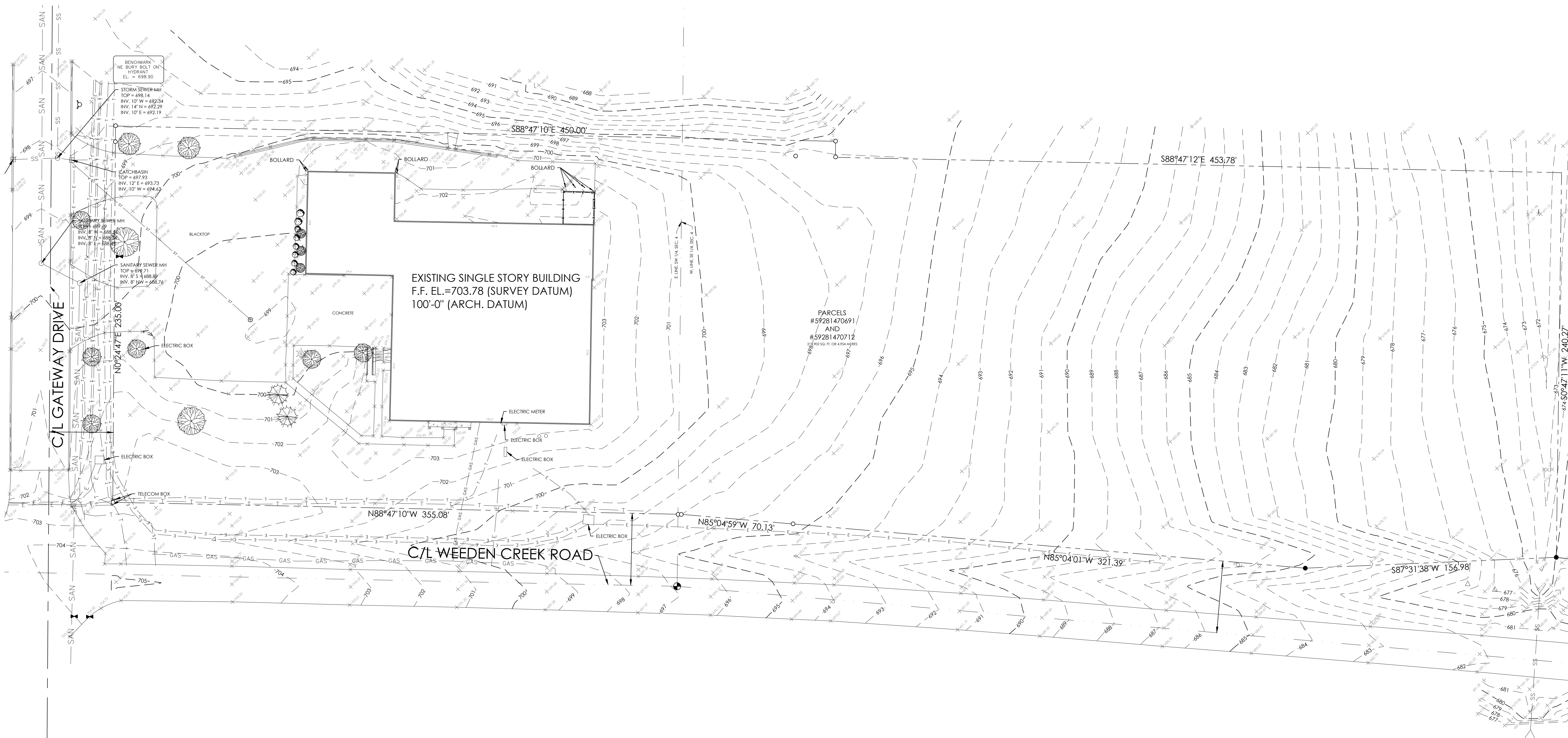
CHECKED BY
EAJ

DATE
11/18/2022

PROJECT NO.

SHEET NO.

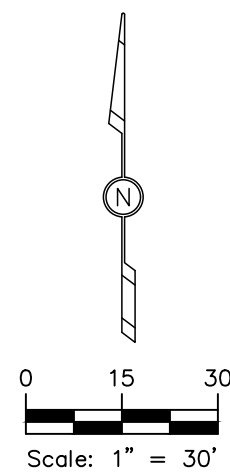
C1



SITE SURVEY

1"=30'

- NOTES:
- UTILITY STRUCTURES VISIBLE ON THE GROUND SURFACE HAVE BEEN SHOWN PER ACTUAL MEASUREMENTS. UNDERGROUND UTILITY LINES HAVE BEEN SHOWN PER AVAILABLE RECORDS AND MARKINGS BY DIGGERS HOTLINE AND SHOULD NOT BE INTERPRETED AS THE EXACT LOCATION NOR THE ONLY UTILITIES IN THIS AREA.
 - PARCEL MAY BE SUBJECT TO EASEMENTS AND RIGHTS NOT SHOWN THAT A COMPLETE TITLE SEARCH MAY DISCLOSE.
 - COORDINATES ARE BASED SHEBOYGAN COUNTY COORDINATE SYSTEM.
 - ELEVATIONS ARE NAVD88(GEOD12B).



LEGEND

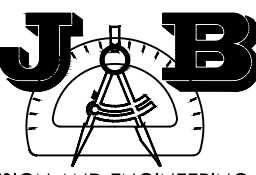
- County Monument
- Iron Stake Found
- Iron Stake Set
- Power Pole
- Light Pole
- Water Valve
- Hydrant
- Manhole
- Catch Basin
- Catch Basin Manhole
- Electric Line
- Storm Sewer Line
- Telecom Line
- Gas Line
- Fence
- Top of Curb Elevation
- Gutter Elevation
- Recorded Dimension

BUNMAN PROPERTIES LLC

PART OF THE SE 1/4 OF THE SW 1/4 AND PART OF THE SW 1/4 OF THE SE 1/4, SECTION 4, T14N, R23E CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN

Revisions:

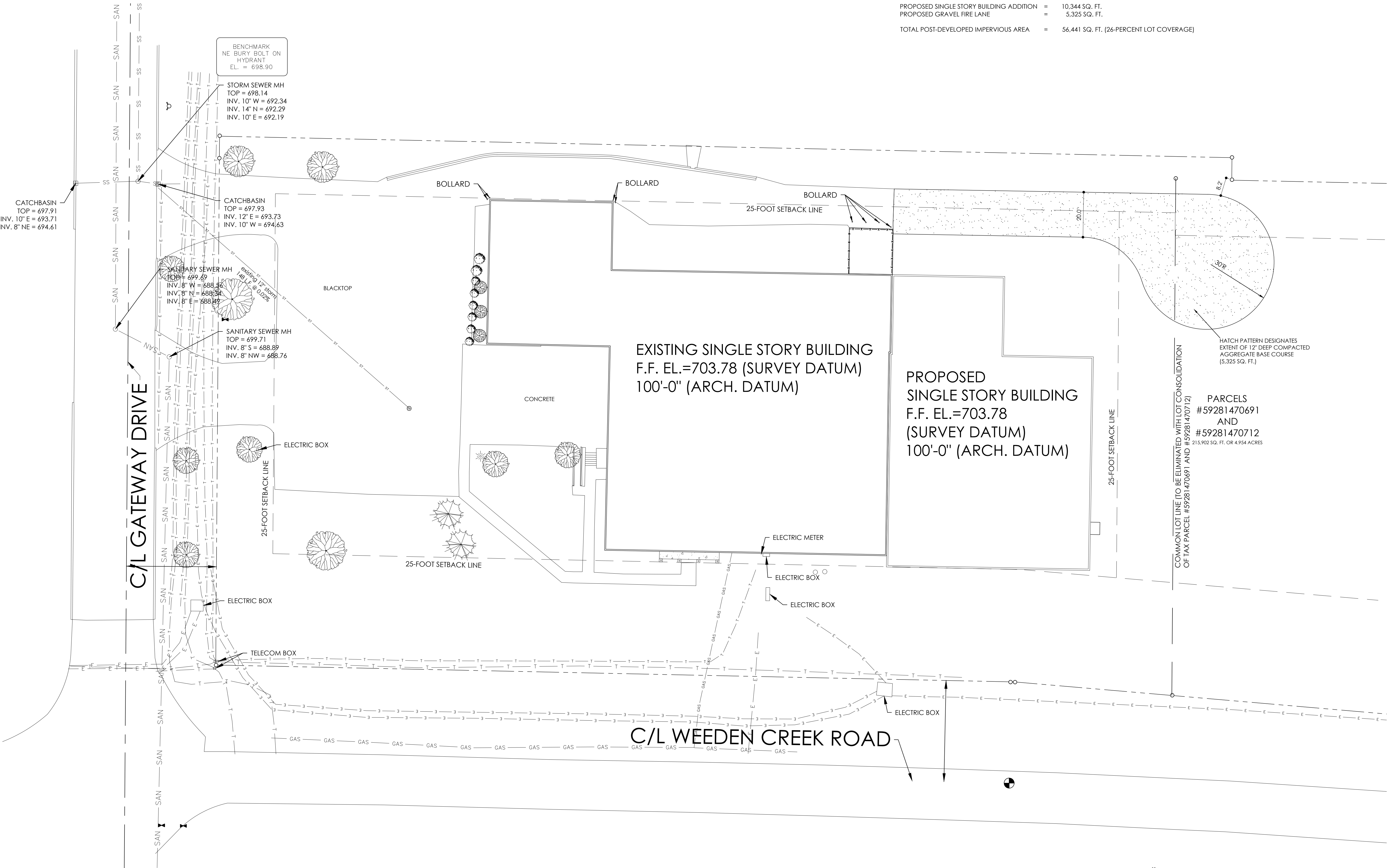




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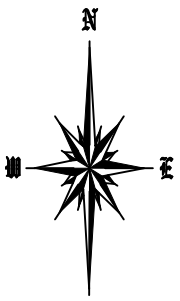
SITE DATA

TOTAL SITE AREA = TAX PARCEL 59281470691 (2.30 ACRES) + TAX PARCEL 59281470712 (2.65 ACRES) = 4.95 ACRES
ZONING CLASSIFICATION: SI - SUBURBAN INDUSTRIAL
EXISTING SINGLE STORY BUILDING = 19,152 SQ. FT.
EXISTING PAVED PARKING = 17,226 SQ. FT.
EXISTING CONCRETE LOADING DOCK SLAB = 4,000 SQ. FT.
EXISTING CONCRETE DUMPSTER SLAB = 394 SQ. FT.
TOTAL PRE-DEVELOPED IMPERVIOUS AREA = 40,772 SQ. FT. (19-PERCENT LOT COVERAGE)
PROPOSED SINGLE STORY BUILDING ADDITION = 10,344 SQ. FT.
PROPOSED GRAVEL FIRE LANE = 5,325 SQ. FT.
TOTAL POST-DEVELOPED IMPERVIOUS AREA = 56,441 SQ. FT. (26-PERCENT LOT COVERAGE)



PARTIAL SITE PLAN

1"=20'



BUILDING ADDITION FOR:
JOHNSTON'S BAKERY
3228 WEEDEN CREEK ROAD
SHEBOYGAN, WI 53081

SHEET TITLE	
DRAWN BY	JAB
CHECKED BY	EAJ
DATE	11/18/2022
PROJECT NO.	
SHEET NO.	C2

NO. REVISIONS		DATE

LANDSCAPE NOTES

LANDSCAPE INSTALLATION:

1. All written dimensions supersede scaled dimensions.
2. The Contractor shall verify location of all underground utilities and additional information prior to commencing construction.
3. Rough grading and drainage construction is to be completed prior to Landscape Contractor's work. Verify all existing site and grading conditions prior to construction.
4. All work shall be in conformance with all applicable local codes and ordinances.
5. All areas disturbed by grading or site construction shall be fine graded, planted or seeded. See notes for specified seed mixes and installation procedures.
6. Contractor shall verify plant quantities shown on the Plan and provide a list to the client identifying the species and size to be used throughout the project. The Owner's representative reserves the right to reject any substandard planting material.
7. All turf grass areas shall receive a blended topsoil mix to a depth of six (6) inches.
8. Soil preparation for perennial or groundcover planting beds shall be as follows:

A. Remove all roots, lumps, stones, sod and other extraneous materials harmful or toxic to plant growth.

B. Perennial and groundcover planting beds shall receive a twelve (12) inch mixture consisting of 8" blended topsoil, 4" Purple Cow Classic compost (Purple Cow Organics, LLC (608) 831-0349 or approved equal. Add 1/2 LB. of 5-10-5 garden fertilizer per 100 square feet and roto-till amendments into the planting bed.

C. Mix amended planting soil either prior to planting or apply on surface of planting bed and mix thoroughly before planting.

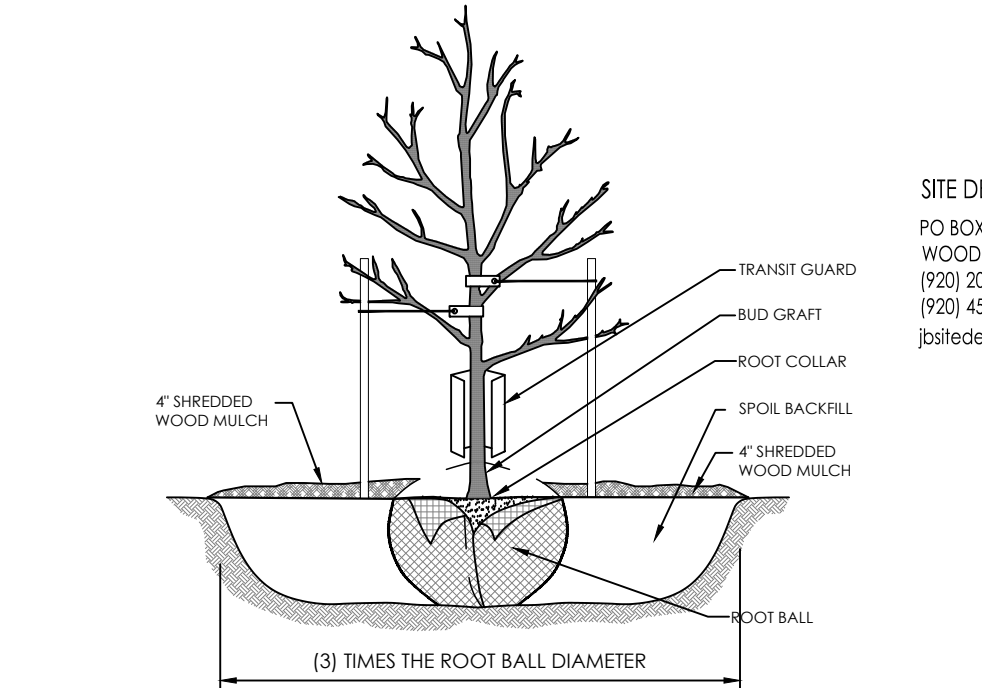
D. Grade, rake, and roll planting bed with roller weighing not less than 25 LBS. or more than 100 LBS. per lineal foot so as to leave in condition to plant.

E. Grade planting bed to a twelve (12) inch crown at center.
9. All mixed planting beds with perennials, groundcover, shrubs and trees shall receive a two (2) inch to three (3) inch layer of shredded bark mulch as noted on the Plan. All shrub and tree planted singly or together in beds shall receive a three (3) inch layer of shredded bark mulch as noted. Do not allow bark mulch to touch stems or trunks of perennials, shrubs or trees.
10. Plant Bed Edging - Install a shovel-cut bed edge to six (6) inch depth at perimeter of bed.
11. Unless otherwise noted, do not stake deciduous trees less than or equal to 2.5 inches caliper diameter at breast height and evergreen trees less than or equal to 6-feet in height.
12. See the Tree Staking Detail on this Plan if tree staking is required.
13. Plant species as defined are general planting types and are subject to modification/adjustment/change.

SEED MIXES:
SEEDED TURF for LAWN AREAS:
Sow at 5 lbs. / 1,000 sq. ft.
"Supreme Lawn Seed Mix"
Available from Reinders, Inc. (800) 785-3301, or approved equal
To be installed and maintained per supplier's specifications.
17% Mercury Kentucky Bluegrass 14% America Kentucky Bluegrass
17% SR 2100 Kentucky Bluegrass 25% Garnet Creeping Red Fescue
15% Replicator Perennial Ryegrass 10% TXR Annual Ryegrass

LANDSCAPE POINTS REQUIRED FOR
'SI' SUBURBAN INDUSTRIAL ZONING
PROPOSED BUILDING FOUNDATIONS = 441 LINEAL FEET
PER SECTION 15.604 AND TABLE 15.604: BUILDING FOUNDATION LANDSCAPE REQUIREMENTS
40 POINTS PER 100 LINEAL FEET - FOR A TOTAL OF 176 POINTS REQUIRED
- NO CLIMAX TREES OR TALL TREES ALLOWED TO MEET REQUIREMENT
DEVELOPED LOTS = 10,344 SQUARE FOOT BUILDING FOOTPRINT
PER SECTION 15.605 AND TABLE 15.605: DEVELOPED LOT LANDSCAPE REQUIREMENTS
10 POINTS PER 1,000 SQUARE FEET - FOR A TOTAL OF 103 POINTS REQUIRED
STREET FRONTAGE
425.2 L.F. (WEEEDEN CREEK ROAD ONLY)
PER SECTION 15.606 AND TABLE 15.606: STREET FRONTAGE LANDSCAPE REQUIREMENTS
40 POINTS PER 100 LINEAL FEET - FOR A TOTAL OF 170 POINTS REQUIRED
- A MINIMUM OF 50-PERCENT OF POINTS SHALL BE CLIMAX AND/OR TALL TREES (85 POINTS)
- A MINIMUM OF 30-PERCENT OF POINTS SHALL BE SMALL TREES (51 POINTS)
GRAVEL FIRE LANE AREA = 5,325 SQUARE FEET
PER SECTION 15.607 AND TABLE 15.607: PAVED AREA LANDSCAPE REQUIREMENTS
80 POINTS PER 10,000 SQUARE FEET - FOR A TOTAL 43 POINTS REQUIRED
- A MINIMUM OF 30-PERCENT OF POINTS SHALL BE CLIMAX AND/OR TALL TREES (13 POINTS)
- A MINIMUM OF 40-PERCENT OF POINTS SHALL BE SHRUBS (17 POINTS)
BUILDING FOUNDATION
176 POINTS (MIN.) REQUIRED
176 POINTS PROVIDED
(12) ANDORRA JUNIPER = (3) PTS. PER - 36 POINTS TOTAL
(12) ARTIC FIRE DOGWOOD = (5) PTS. PER - 60 POINTS TOTAL
(4) EMERALD ARBORVITAE = (20) PTS. PER - 80 POINTS TOTAL
DEVELOPED LOTS
103 POINTS (MIN.) REQUIRED
115 POINTS PROVIDED
(1) SUGAR MAPLE = (75) PTS. PER - 75 POINTS TOTAL
(2) EMERALD ARBORVITAE = (20) PTS. PER - 40 POINTS TOTAL
STREET FRONTAGE
170 POINTS (MIN.) REQUIRED
195 POINTS PROVIDED
(1) SUGAR MAPLE = (75) PTS. PER - 75 POINTS TOTAL
(3) WHITE SPRUCE = (40) PTS. PER - 120 POINTS TOTAL
GRAVEL FIRE LANE
43 POINTS (MIN.) REQUIRED
75 POINTS PROVIDED
(1) SUGAR MAPLE = (75) PTS. PER - 75 POINTS TOTAL

SYMBOL	MARK	QTY.	BOTANICAL NAME	COMMON NAME	PLANTED SIZE
	SM	3	ACER SACCHARUM	SUGAR MAPLE	2" DIA.
	AV TYPE 1	6	THUJA OCCIDENTALIS EMERA	EMERALD ARBORVITAE	6"0" TALL
	AJ	12	JUNIPERUS HORIZONTALIS 'PLUMOSA'	ANDORRA JUNIPER	12"-15"
	RD	12	CORNUS SERICEA	ARTIC FIRE DOGWOOD	30"-36"
	WS	3	PICEA GLAUCA	WHITE SPRUCE	36"-48"



TYPICAL TREE PLANTING SECTION

- INSTALLATION SEQUENCING:
1. DIG HOLE 3 TIMES BIGGER THAN ROOT BALL. ROUGHEN THE SIDES OF THE HOLE TO PREVENT GLAZING IN CLAY SOILS.
2. PLACE TREE IN HOLE. BACKFILL WITH EXISTING SOIL AND REMOVE TRANSIT GUARD, BURLAP AND WIRE BASKET.
3. FINISH BACKFILLING AND STRAIGHTEN THE TREE.
4. GENTLY TAMP TO HELP SETTLE THE SOIL AND REMOVE ANY AIR POCKETS.
5. CREATE A WATER SAUCER TO COLLECT THE WATER UNTIL IT SOAKS INTO THE SOIL.
6. PROVIDE 4\"/>
-
- LANDSCAPE PLAN
- 1"=20'
-
- SITE DESIGN AND ENGINEERING, LLC
PO BOX 1047
WOODRUFF, WISCONSIN 54568
(920) 207-8977 cell
(920) 455-0181 office
jsbdesign1@gmail.com
- DISTINCTIVE DESIGN
S T U D I O
215 PINE STREET
SHEBOYGAN FALLS, WI 53085
(920) 395-1090
- BUILDING ADDITION FOR:
JOHNSTON'S BAKERY
3228 WEEEDEN CREEK ROAD
SHEBOYGAN, WI 53081
- SHEET TITLE

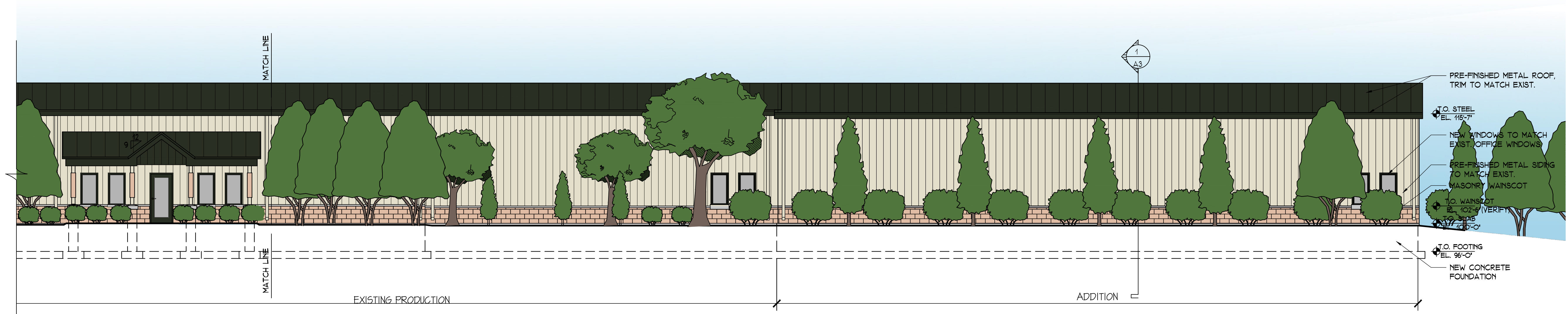
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JAB

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EAJ

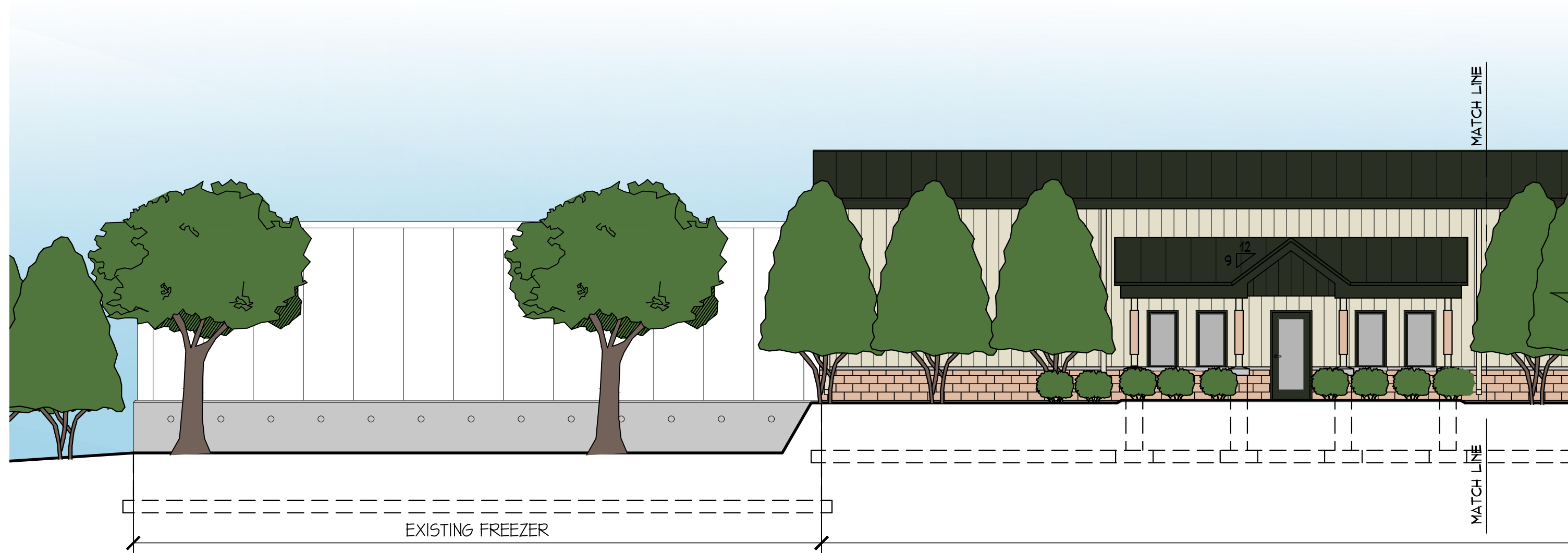
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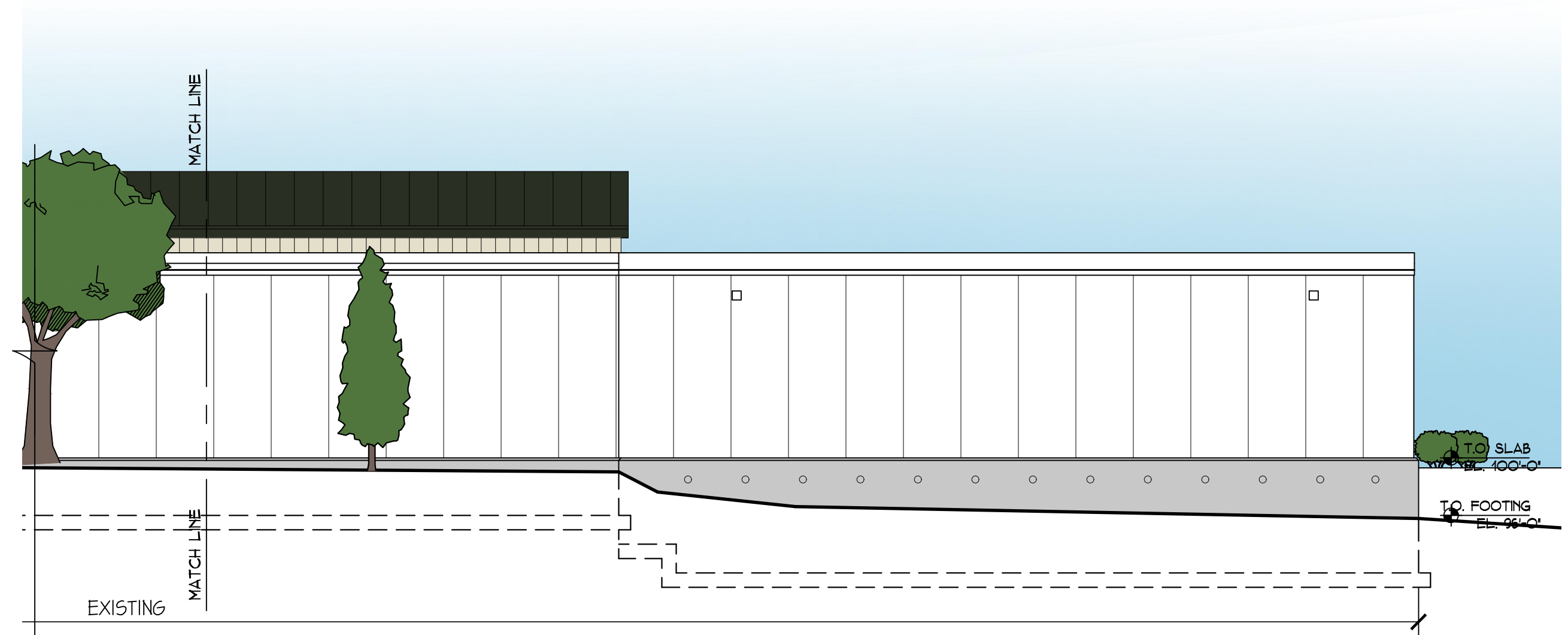
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C4
- NO. REVISIONS
DATE



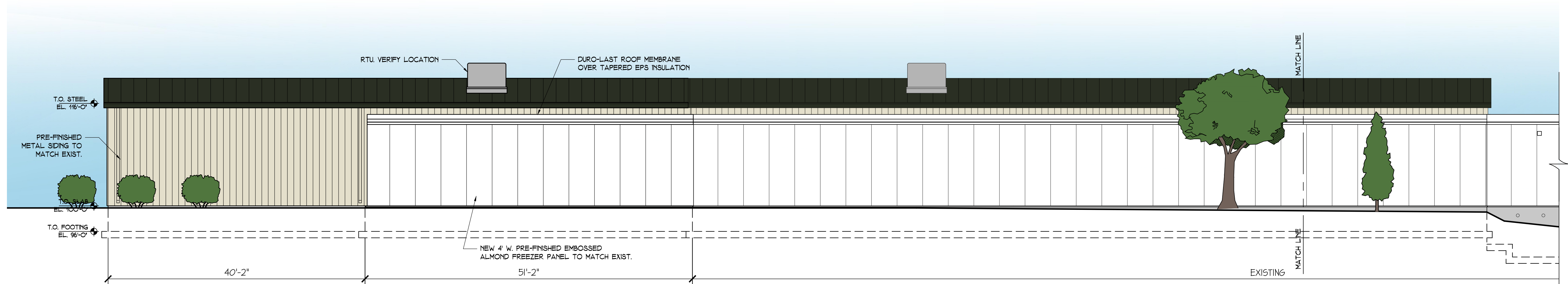
4
A2
PARTIAL SOUTH ELEVATION
SCALE 1/8" = 1'-0"



3
A2
PARTIAL SOUTH ELEVATION
SCALE 1/8" = 1'-0"



2
A2
PARTIAL NORTH ELEVATION
SCALE 1/8" = 1'-0"

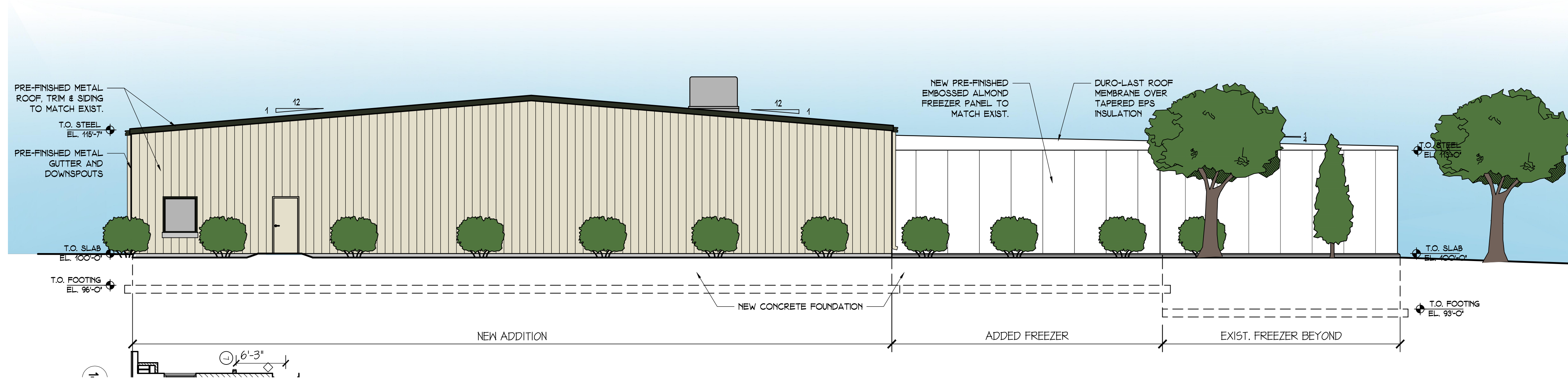


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PARTIAL NORTH ELEVATION
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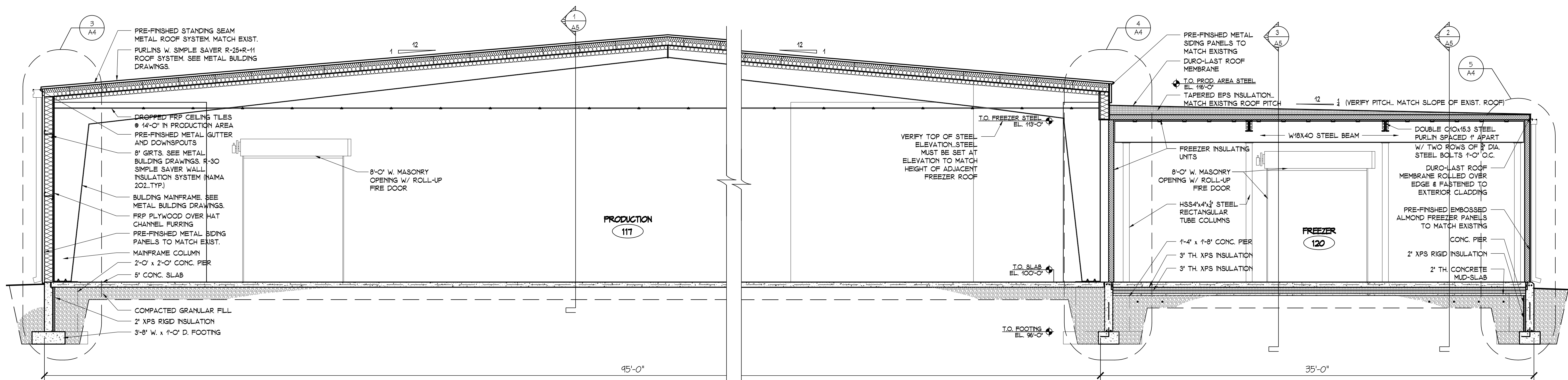
WEST ELEVATION

SCALE 1/8" = 1'-0"



EAST ELEVATION

SCALE 1/8" = 1'-0"



CROSS-SECTION LOOKING WEST

SCALE 1/4" = 1'-0"

NO.	REVISIONS	DATE

PRELIMINARY
NOT FOR CONSTRUCTION

**BUILDING ADDITION FOR:
JOHNSTON'S BAKERY
3228 WEEDEEN CREEK ROAD
SHEBOYGAN, WI 53081**

SHEET TITLE
EAST AND WEST
BUILDING ELEVATIONS
BUILDING SECTIONS

DRAWN BY
JRA

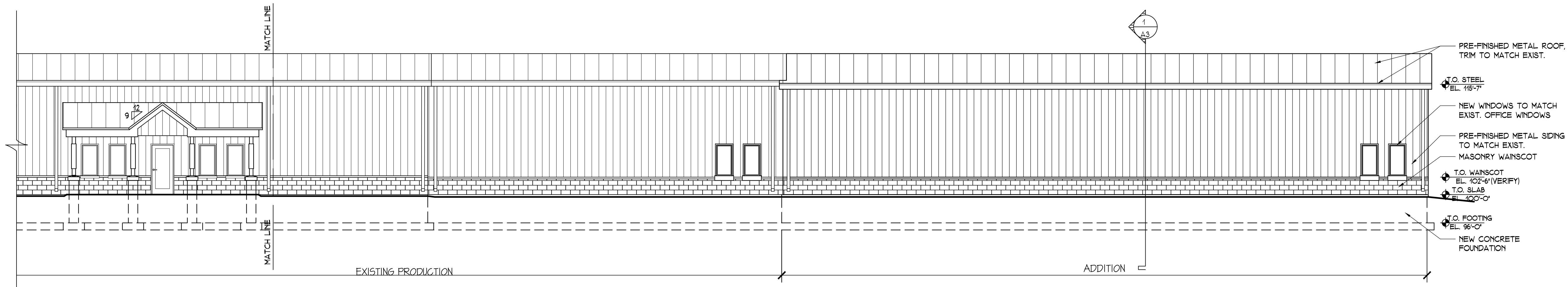
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DATE
11/15/2022

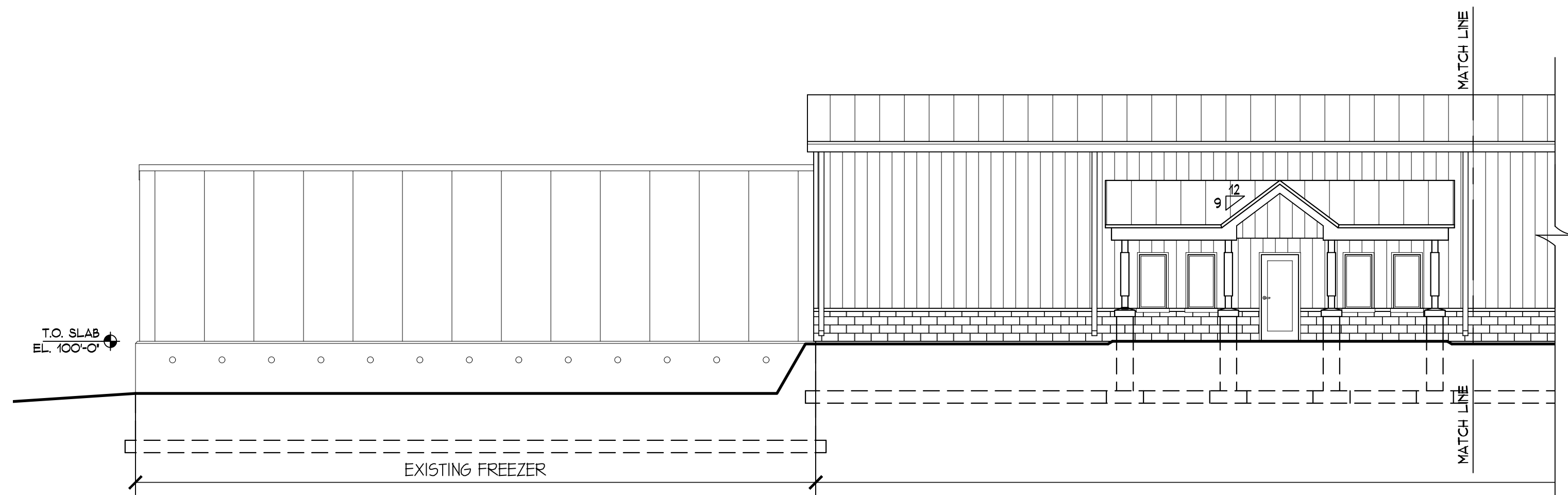
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22-050

SHEET NO.

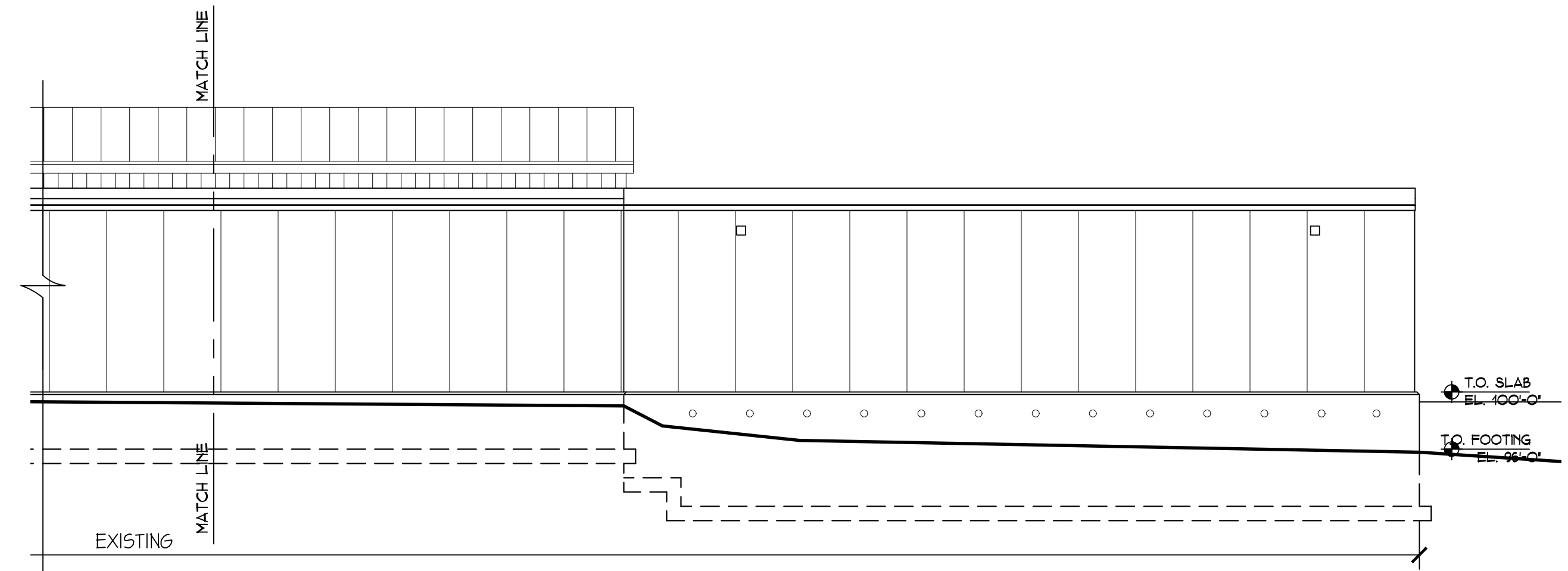
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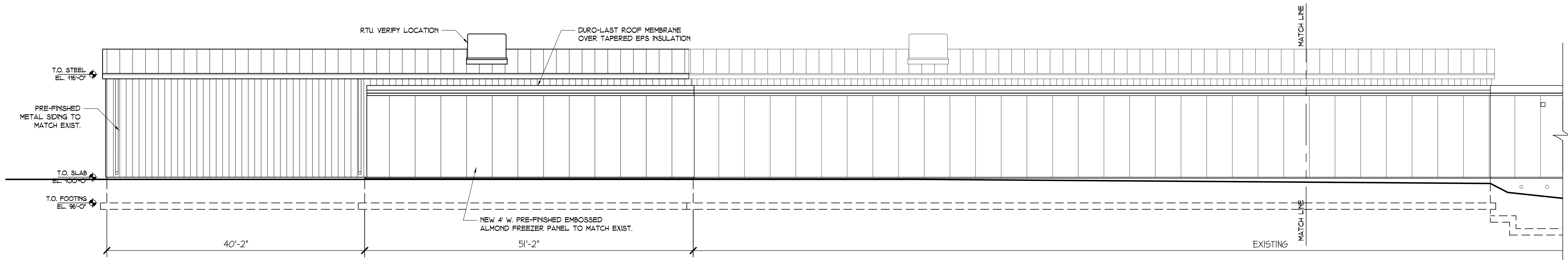
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PARTIAL SOUTH ELEVATION
SCALE 1/8" = 1'-0"



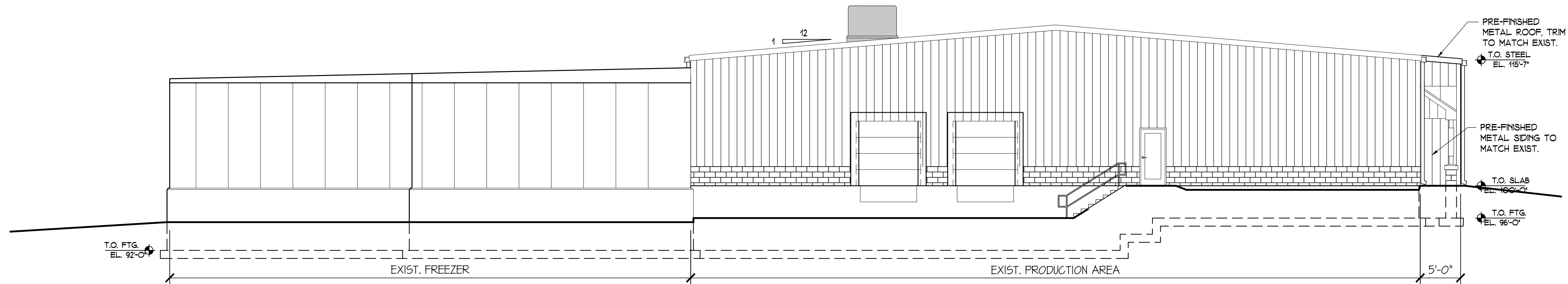
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A2
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SCALE 1/8" = 1'-0"



2
A2
PARTIAL NORTH ELEVATION
SCALE 1/8" = 1'-0"

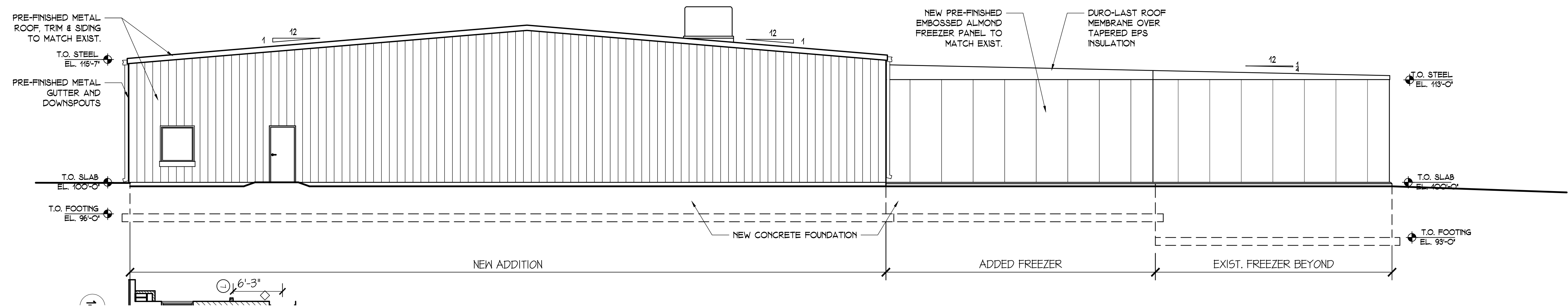


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SCALE 1/8" = 1'-0"



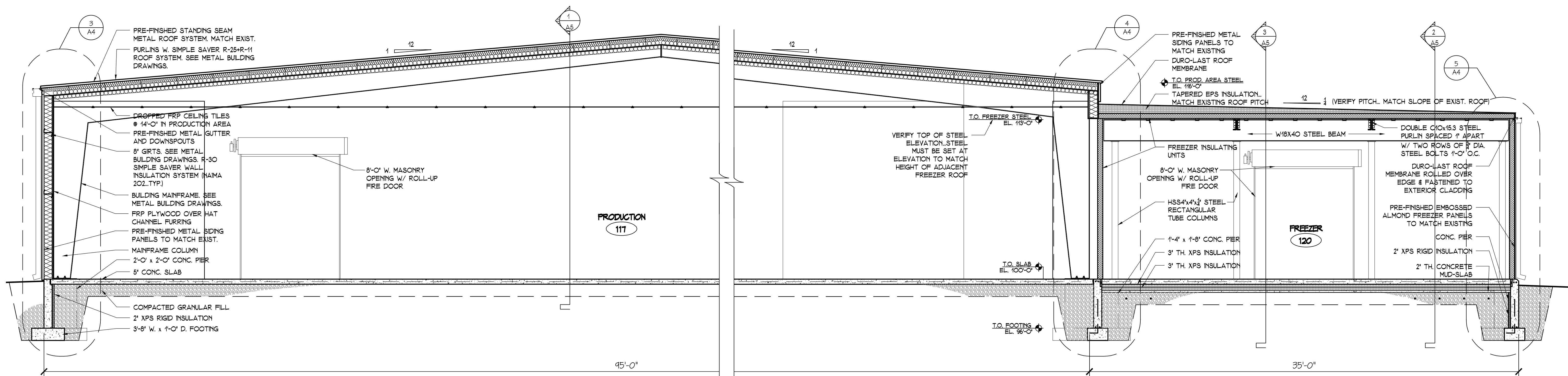
WEST ELEVATION

SCALE 1/8" = 1'-0"



EAST ELEVATION

SCALE 1/8" = 1'-0"



CROSS-SECTION LOOKING WEST

SCALE 1/4" = 1'-0"











