



CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW
APPLICATION

Fee: _____

Review Date: _____

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information

Name (Ind., Org. or Entity) Partners for Community Development, Inc.	Authorized Representative Karin Kirchmeier	Title Executive Director	
Mailing Address 1407 S. 13th Street	City Sheboygan	State WI	ZIP Code 53081
Email Address karin.kirchmeier@partners4cd.com	Phone Number (incl. area code) 800-584-8172 ext. 101		

SECTION 2: Landowner Information (Complete These Fields When Project Site Owner is Different than Applicant)

Name (Ind., Org. or Entity) Urban Gateway, LLC	Contact Person Jeffery Henning	Title Owner	
Mailing Address 3820 N. 13th Street	City Sheboygan	State WI	ZIP Code 53083
Email Address jefferyhenning@aol.com	Phone Number (incl. area code) 920-540-1234		

SECTION 3: Architect Information

Name Abacus Architects - Mark McClintock			
Mailing Address 1135A Michigan Ave.	City Sheboygan	State WI	Zip 53081
Email Address mmclintock@abacusarchitects.net	Phone Number (incl. area code) 920-452-4444		


SECTION 4: Contractor Information

Name Catalyst Construction - Eric Williams			
Mailing Address 833 E. Michigan St. Suite 1000	City Milwaukee	State WI	Zip 53202
Email Address ewilliams@catalystbuilds.com	Phone Number (incl. area code) 414-727-6840		

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Architectural Review Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Mark McClintock	Title Project Manager	Phone Number 920-452-4444
Signature of Applicant 		Date Signed 9-10-2023 9-29-2023

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$100 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

SECTION 6: Description of the Subject Site/Proposed Project

Project Address/Description N. 13th St. and Erie Ave. Development		Parcel No. #59281204550 & #59281204560
Name of Proposed/Existing Business:	Gateway Apartments	
Address of Property Affected:		
Zoning Classification:	Urban Residential (UR-12)	
New Building: <input checked="" type="checkbox"/>	Addition: <input type="checkbox"/>	Remodeling: <input type="checkbox"/>

SECTION 7: Description of Proposed Project

The proposed project is to be located on the northeast corner of north 13th street and Erie avenue. The proposed structure is four levels with the lowest level for tenant parking and the upper three levels contain a total of forty-four (44) apartment units.

The construction of the parking level is poured concrete walls with a precast concrete plank cap. The three apartment levels are to be wood construction and the building is to be completely sprinklered.

SECTION 8: Description of EXISTING Exterior Design and Materials**SECTION 9: Description of the PROPOSED Exterior Design and Materials**

The concept design was discussed with the City and the project moved forward based on those discussions.

The following materials will be used on the exterior elevations (See renderings and elevations):

Black toned brick: Kansas Brick & Tile Co. color: Manganese

Grey toned siding and dark trim: LP Smartsiding Diamond Kote color: Clay (siding) & Coffee (trim)

Warm color siding: Metal clad panel siding Lux color: Knotty Redwood

Coping: Prefinished aluminum Schlage color: 716

APPLICATION SUBMITTAL REQUIREMENTS

- A. Three 11x17 scale color drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.

C. Submit digital plans and drawings of the project by email, flash drive, etc.

- D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

OFFICE USE ONLY

ACTION BY ARCHITECTURAL REVIEW BOARD

DATE OF MEETING: _____

APPROVED: _____ CONDITIONALLY APPROVED: _____

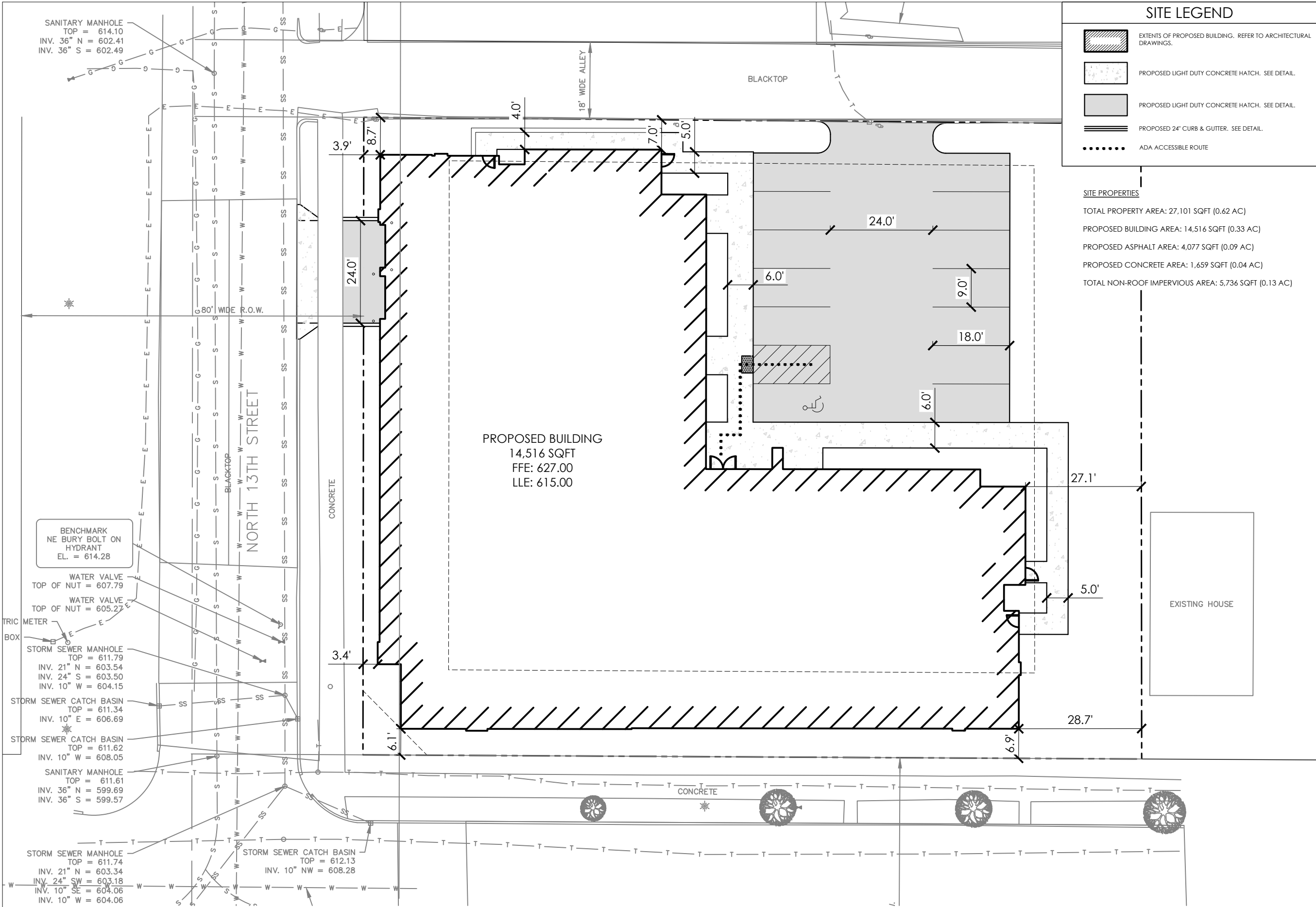
DENIED: _____

CONDITIONS

SIGNATURE: _____

Chairperson, Architectural Review Board OR
Manager of Planning & Zoning

DATE: _____



SITE LEGEND

- EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
- PROPOSED LIGHT DUTY CONCRETE HATCH. SEE DETAIL.
- PROPOSED LIGHT DUTY CONCRETE HATCH. SEE DETAIL.
- PROPOSED 24" CURB & GUTTER. SEE DETAIL.
- ADA ACCESSIBLE ROUTE

SITE PROPERTIES

TOTAL PROPERTY AREA: 27,101 SQFT (0.62 AC)
PROPOSED BUILDING AREA: 14,516 SQFT (0.33 AC)
PROPOSED ASPHALT AREA: 4,077 SQFT (0.09 AC)
PROPOSED CONCRETE AREA: 1,659 SQFT (0.04 AC)
TOTAL NON-ROOF IMPERVIOUS AREA: 5,736 SQFT (0.13 AC)

ABACUS ARCHITECTS

REVISIONS:

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

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September 29, 2023
NEW CONSTRUCTION
GATEWAY APARTMENTS
NORTH 13TH STREET, SHEBOYGAN, WI 53083
1135A MICHIGAN AVE, SHEBOYGAN, WI 53081 | 920.452-4444 | 640 N. VEL R. PHILLIPS AVE, SUITE 210 MILWAUKEE, WI 53202 | (414) 837-6450

DRAWN BY: JMN
CHECKED BY: JRV

**A
202**

PROJ. NO. 2020-125

SCALE: 1/8" = 1'-0" (A 305)



GENERAL PLAN NOTES

- ALL LOOSE FINISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT SHOWN ARE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FINISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.
- ALL DOOR FRAMES TO BE "F" OR WALL UNLESS OTHERWISE NOTED.
- SEE SHEETS A400 - A430 FOR RESIDENT UNIT PLANS.
- SEE FINISH PLANS AND RESIDENT UNIT PLANS FOR ALL FINISH INFORMATION
- ALL INSULATION SHOWN IN INTERIOR WALLS SHALL BE SOUND.
- ATTENUATING BATT INSULATION.
- FIRE EXTINGUISHING CANNISTERS LOCATED IN CORRIDOR WALLS SHALL BE 1 HOUR RATED CABINETS.
- EXACT ELEVATOR SHAFT SIZE TO BE DETERMINED BASED ON FINAL ELEVATOR MANUFACTURER SELECTION.
- INSTALL MOISTURE RESISTANT GYPSUM DRYWALL IN TOILET ROOMS

FLOOR PLAN KEYNOTES

NO.	DESCRIPTION
1	EXTERIOR VENT FOR UNIT HVAC. SEE HVAC UNIT CUT SHEET FOR EXACT SIZE & LOCATION
2	ROOF ACCESS STAIR & HATCH AT THIRD FLOOR
3	EGRESS GATE ON MAGNETIC LOCK-OPEN - PROVIDE BLOCKING AND ELECTRICAL WIRING IN WALL AS NEEDED
4	CHICKEN WIRE ON 2x4 FRAMING AT STORAGE PARTITIONS
5	CONTRACTOR TO PROVIDE STORAGE SHELVING IN PACKAGE ROOM - COORDINATE WITH OWNER
6	CONCRETE STOOP - SEE STPO DETAIL 2/A306 & STRUCTURAL DRAWINGS
7	CONCRETE STOOP AT ENTRY - SEE STRUCTURAL DRAWINGS
8	CONCRETE PATIO - SEE CIVIL DRAWINGS



REVISIONS:

△ DATE ISSUE

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ISSUE DATE: MONTH/DAY/YEAR

GATEWAY APARTMENTS

STREET ADDRESS, CITY, STATE ZIP

135A MICHIGAN AVE. SHEBOYGAN, WI 53081	(920) 452-4444	640 VEL R. PHILLIPS AVE. SUITE 210, MILWAUKEE, WI 53203
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PRELIMINARY - NOT FOR CONSTRUCTION

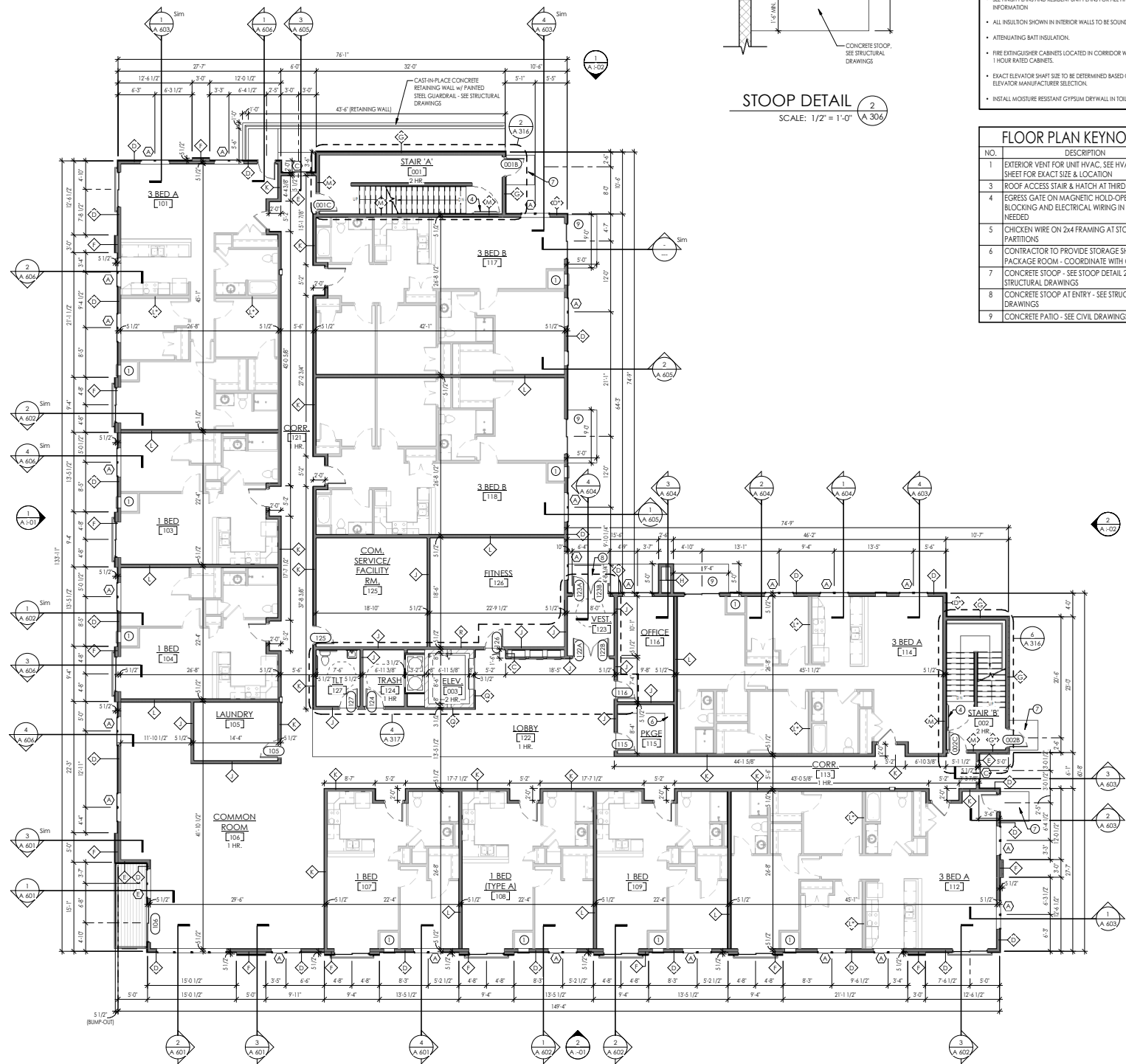
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LOWER LEVEL FLOOR

$$\frac{A}{305}$$

PROJ. NO. 2021-94



STOOP DETAIL 2
SCALE: 1/2" = 1'-0" A 306

GENERAL PLAN NOTES

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- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.
- ALL DOOR FRAMES TO BE 4" OFF WALL UNLESS OTHERWISE NOTED.
- SEE SHEETS A300 - A303 FOR RESIDENT UNIT PLANS.
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ISSUE DATE: MONTH/YEAR

NEW CONSTRUCTION

GATEWAY APARTMENTS

STREET ADDRESS, CITY, STATE, ZIP

11354 MICHIGAN AVE, SHREVEPORT, LA 70508 | 707.432.4444 | 440 VILLAGE PHILIPS AVE, SUITE 210, MILWAUKEE, WI 53203

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FIRST FLOOR PLAN

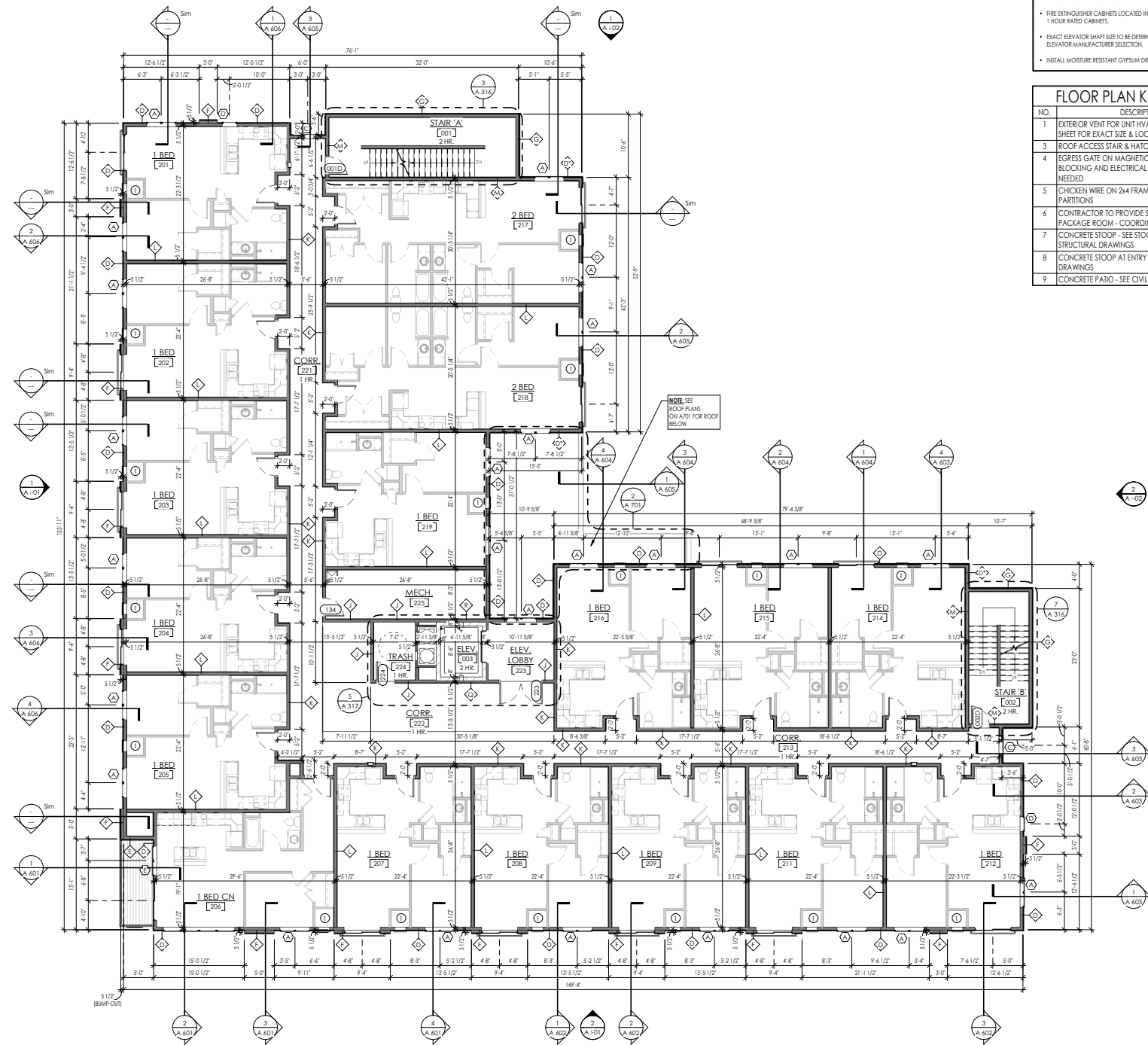
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PROJ. NO. 2021-94

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0" A 306





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- SEE SHEETS A330 - A335 FOR RESIDENT UNIT PLANS.
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NEW CONSTRUCTION GATEWAY APARTMENTS

STREET ADDRESS, CITY, STATE, ZIP

11354 MICHIGAN AVE, SHREVEPORT, LA 70508 | 705.422.4444 | 440 VIELLE PHILIPS AVE, SUITE 210, MILWAUKEE, WI 53203

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SECOND FLOOR PLAN

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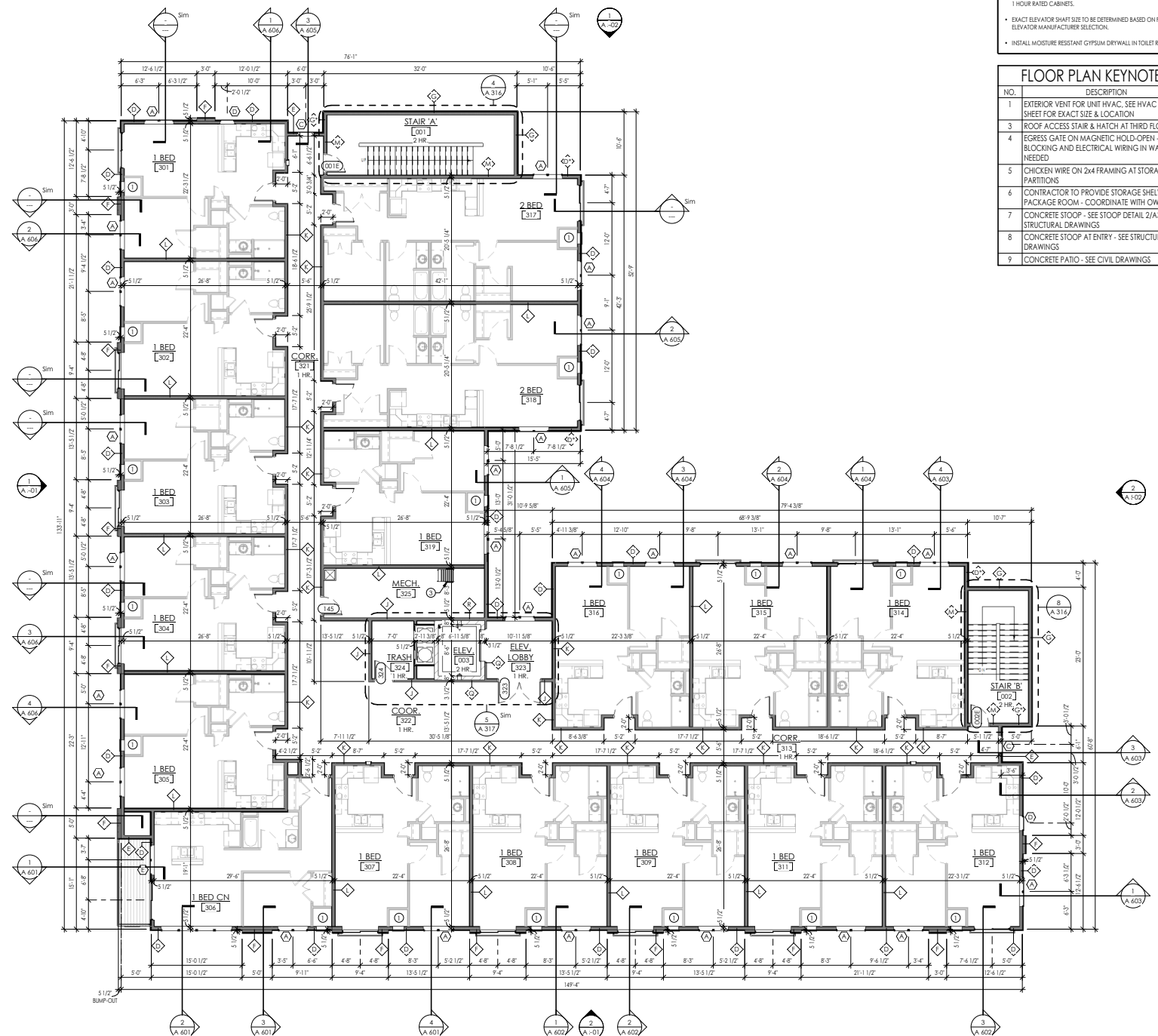
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SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"




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ISSUE DATE: MONTH/YEAR
NEW CONSTRUCTION
GATEWAY APARTMENTS
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THIRD FLOOR PLAN
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308
PROJ. NO. 2021-94

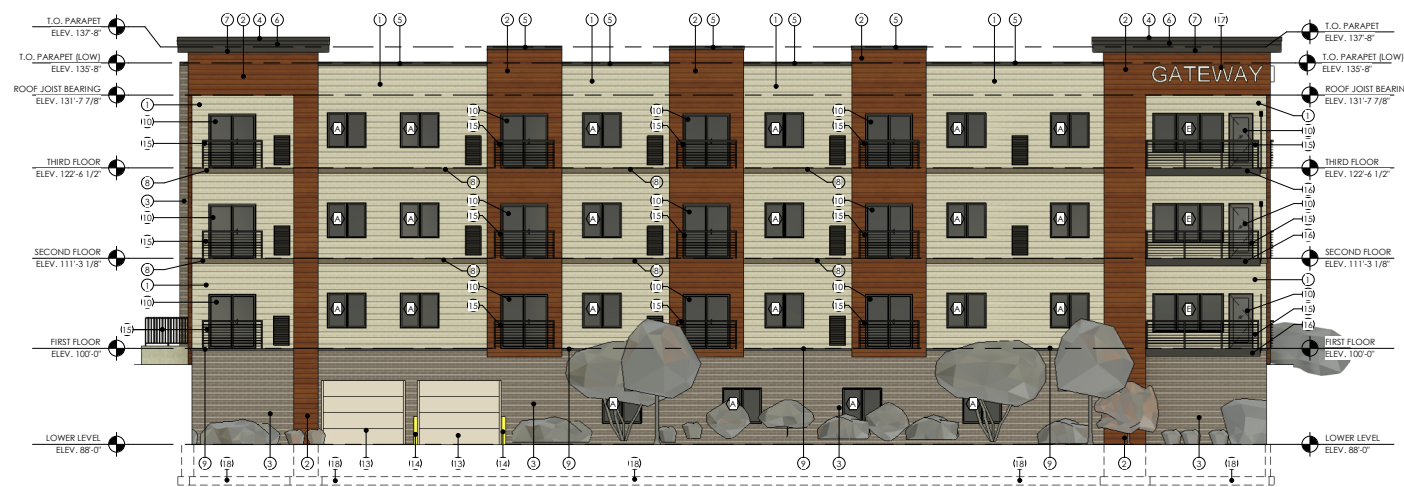
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THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0" A 308

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SOUTH ELEVATION 2
SCALE: 1/8" = 1'-0" R 501



WEST ELEVATION 1
SCALE: 1/8" = 1'-0" R 501

ELEVATION KEYNOTES	
NO.	DESCRIPTION
1	STRAND SUBSTRATE LAP SIDING - LP SMARTSIDE (CLAY)
2	METAL SIDING -COLOR KNOTTY REDWOOD
3	ADHERED MASONRY VENEER - COUNTY MATERIALS (MANGANESE)
4	PRE-FINISHED METAL ROOF EDGE FLASHING - DARK BRONZE
5	PRE-FINISHED METAL COPING - DARK BRONZE
6	PRE-FINISHED METAL FASCIA WRAP - DARK BRONZE
7	VENTED METAL SOFFIT - DARK BRONZE
8	1" x 7 1/4" STRAND SUBSTRATE TRIM - LP SMARTSIDE (COFFEE)
9	CULTURED STONE WATERTABLE
10	SWINGING PATIO DOOR ASSEMBLY
11	ALUMINUM STOREFRONT ENTRANCE DOOR & FRAME
12	INSULATED HOLLOW METAL DOOR & FRAME
13	OVERHEAD SECTIONAL DOOR
14	6" DIA. CONCRETE FILLED STEEL BOLLARDS
15	PRE-FABRICATED ALUMINUM GUARDRAIL SYSTEM (TYP. AT ALL LOCATIONS) - DARK BRONZE
16	PRE-FABRICATED BALCONY ASSEMBLY
17	24" BACKLIT ANODIZED ALUMINUM LETTERS - DARK BRONZE
18	FOUNDATION & FOOTING - SEE STRUCTURAL DRAWINGS



ABACUS ARCHITECTS

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DATE ISSUE

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EXTERIOR ELEVATIONS

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501

PROJ. NO. 2021-94

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EAST ELEVATION 2
SCALE: 1/8" = 1'-0" R 502



NORTH ELEVATION 1
SCALE: 1/8" = 1'-0" R 502

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1	STRAND SUBSTRATE LAP SIDING - LP SMARTSIDE (CLAY)
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9	CULTURED STONE WATERTABLE
10	SWINGING PATIO DOOR ASSEMBLY
11	ALUMINUM STOREFRONT ENTRANCE DOOR & FRAME
12	INSULATED HOLLOW METAL DOOR & FRAME
13	OVERHEAD SECTIONAL DOOR
14	4" DIA. CONCRETE FILLED STEEL BOLLARDS
15	PRE-FABRICATED ALUMINUM GUARDRAIL SYSTEM (TYP. AT ALL LOCATIONS) - DARK BRONZE
16	PRE-FABRICATED BALCONY ASSEMBLY
17	24" BACKLIT ANODIZED ALUMINUM LETTERS - DARK BRONZE
18	FOUNDATION & FOOTING - SEE STRUCTURAL DRAWINGS



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EXTERIOR ELEVATIONS
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502
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RENDERINGS

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PROJ. NO. 2021-94





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REVISIONS:

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RENDERINGS

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RENDERINGS

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505

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