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MALIBU APARTMENTS AT KITE BEACH - SHEBOYGAN, WI

CIVIL CONSTRUCTION PLAN SET

INDEX OF SHEETS

C001	1	COVER SHEET
C002	2	GENERAL NOTES AND QUANTITIES
C100	3	EXISTING CONDITIONS & DEMOLITION/REMOVAL PLAN
C101	4	EROSION CONTROL PLAN
C200-C201	5-6	SITE PLAN (NORTH AND SOUTH)
C300-C301	7-8	UTILITY PLAN (NORTH AND SOUTH)
C400-C401	9-10	GRADING PLAN (NORTH AND SOUTH)
C500	11	LANDSCAPE PLAN
C600	12	EMERGENCY VEHICLE TURNING PATH
C700	13	CONSTRUCTION DETAILS
C701	14	UTILITY DETAILS

SITE DATA

OWNER:	SHEBOYGAN LAKEVIEW PROPERTY, LLC C/O JAKE BUSWELL
SITE ADDRESS:	TBD SOUTH 7TH STREET SHEBOYGAN, WI 53081
PARCEL NUMBER:	59281318390 + 59281303390
PARCEL SIZE:	3.85 ACRES
ZONING:	PLANNED UNIT DEVELOPMENT (PUD) - PENDING APPROVAL

EXISTING SITE (EXCLUDING ROW*):

GREEN SPACE:	164,913 (98.4%)
IMPERVIOUS AREA:	2,654 SF (1.6%)
BUILDINGS:	00 SF
PAVEMENT:	2,654 SF

PROPOSED SITE (EXCLUDING ROW*):

GREEN SPACE PROVIDED:	43,345 (25.9%)
IMPERVIOUS AREA:	124,222 SF (74.1%)
BUILDING:	90,930 SF
PAVEMENT:	33,292 SF
TOTAL DISTURBED AREA:	3.85 ACRES

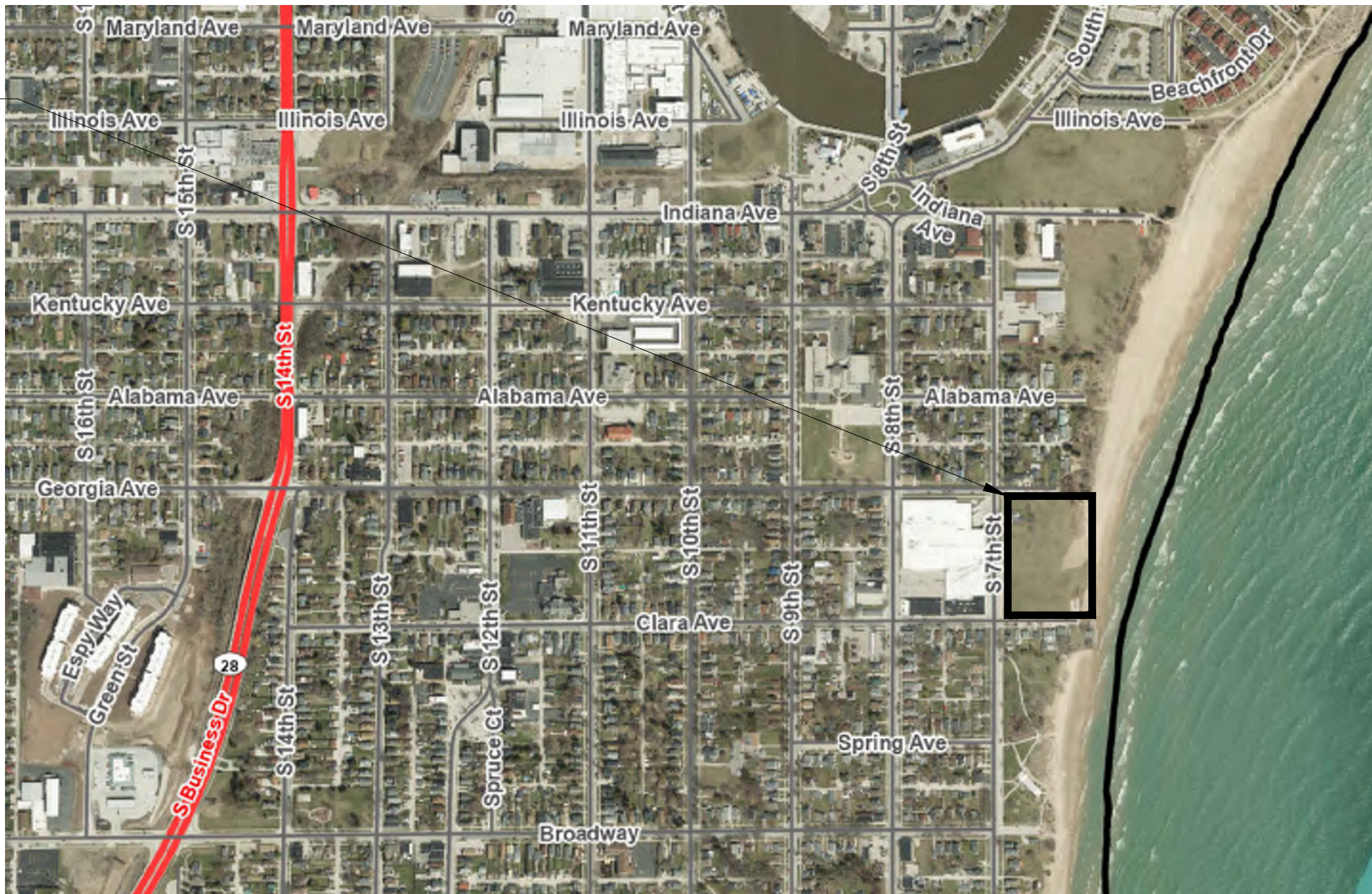
SETBACKS

FRONT:	5' (ACCESSORY)
SIDE:	20' (PRINCIPAL AND ACCESSORY)

PARKING

EXISTING:	0
PROVIDED:	77 EXTERIOR (INCLUDES 4 ADA-COMPLIANT) 205 INTERIOR

PROJECT LOCATION



LOCATION MAP

NO SCALE

PROJECT TEAM:

OWNER:
SHEBOYGAN LAKEVIEW PROPERTY, LLC

8575 W FOREST HOME AVE STE 160
GREENFIELD, WI 53228

JAKE BUSWELL
1525 TORREY VIEW DRIVE
SPARTA, WI 54656
262-623-8348
JAKE.BUSWELL@ALLAMERICANDOITCENTER.COM

CIVIL ENGINEER:
STANTEC CONSULTING SERVICES, INC.
312 N 5TH AVE
STURGEON BAY, WI 54235

CONTACT:
PETE HURTH, P.E.
920-298-1759
PETER.HURTH@STANTEC.COM

SKYLER WITALISON, P.E.
920-298-1763
SKYLER.WITALISON@STANTEC.COM

UTILITY CONTACT INFORMATION
MUNICIPAL SERVICES BUILDING
2026 NEW JERSEY AVENUE
SHEBOYGAN, WI 53081
920-459-3440
M-F 7:30AM-4:00PM

CITY OF SHEBOYGAN - PUBLIC WORKS
KEVIN JUMP, CITY ENGINEER
2026 NEW JERSEY AVENUE
SHEBOYGAN, WI 53081
920-459-3367
KEVIN.JUMP@SHEBOYGANWI.GOV

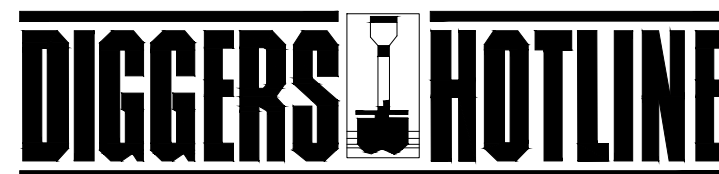
EMERGENCY NUMBERS

POLICE/FIRE
911

NON-EMERGENCY NUMBERS

POLICE DEPARTMENT
920-459-3333

FIRE DEPARTMENT
920-459-3327



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Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

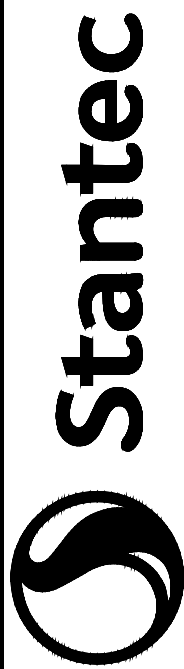
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THESE DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. STANTEC HAS NOT VERIFIED THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.



CITY OF SHEBOYGAN

SHEBOYGAN COUNTY, WISCONSIN



312 N. 5th Avenue
Sturgeon Bay, WI 54235
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COVER SHEET

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE

06.17.2024 DRAFT

NO REVISION DATE

SURVEY STANTEC

DRAWN MTA

DESIGNED P.JH

CHECKED SRW

APPROVED P.JH

PROJ. NO. 193806785

SHEET NUMBER

C001

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. STANTEC SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS MADE BY THE CONTRACTOR OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC. IS FORBIDDEN.

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STANTEC ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF STANTEC.

GENERAL

1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT HOURS PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS OR HER PROPOSAL. HE OR SHE SHALL BASE THEIR BID ON HIS OR HER OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS FO THE GEOTECHNICAL ENGINEER.
6. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
7. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
8. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS OR HER INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
9. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
10. ANY ADJACENT PROPERTIES OR ROAD RIGHTS-OF-WAY WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL AND SHOULD BE INCLUDED IN THE BID PRICES.
11. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
12. CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
13. ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATION AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
14. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

QUANTITIES TAB
TO BE
PROVIDED IN FUTURE

EROSION CONTROL NOTES

- EROSION CONTROL METHODS SHALL BE IMPLEMENTED AS DIRECTED BY THE ENGINEER PRIOR TO AND DURING CONSTRUCTION TO CONTROL WATER POLLUTION, EROSION, AND SILTATION
- THE LANDOWNER (REPRESENTATIVE) SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE MAINTAINED AT THE CONSTRUCTION SITE. SEE CONSTRUCTION SITE INSPECTION REPORT (FORM 3400-187) FROM THE WDNR
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND DOCUMENTATION OF EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION PHASE. OWNER IS RESPONSIBLE FOR POST-CONSTRUCTION MAINTENANCE AND EFFORT
- ALL DISTURBED AREAS SHALL BE TREATED WITH STABILIZATION MEASURES, AS SPECIFIED, WITHIN 3 WORKING DAYS OF FINAL GRADING
- A MINIMUM OF 4 TO 6 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED
- WINTER STABILIZATION: ALL AREAS REQUIRING SEED AFTER OCTOBER 15TH SHALL BE STABILIZED BY AN APPROVED WINTER STABILIZATION METHOD
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR STORM EVENT SHALL BE CLEANED BY THE END OF EACH WORKDAY. FLUSHING SHALL NOT BE ALLOWED
- WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCHING, OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENTS AND WATER RESOURCES
- ANY DISTURBED AREAS OR SOIL STOCKPILES THAT REMAINS FOR MORE THAN 7 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES. ALL TOPSOIL STOCKPILES SHALL BE SEEDED OR HAULED OFF-SITE WITHIN 60 DAYS OF CONSTRUCTION COMPLETION. THE CONTRACTOR SHALL DISPOSE OF ALL OTHER WASTE AND EXCESS MATERIAL IN AN APPROVED MANNER
- ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND STABILIZATION WORK REDONE
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY EROSION CONTROL PRACTICES SHALL BE REMOVED
- EROSION CONTROL CONSTRUCTION STANDARDS - SEE WDNR CONSTRUCTION SITE EROSION & SEDIMENT CONTROL STANDARDS AS FOLLOWS:
 - 1053 = CHANNEL EROSION MAT
 - 1066 = CONSTRUCTION SITE DIVERSION
 - 1062 = DITCH CHECKS
 - 1068 = DUST CONTROL
 - 1050 = LAND APPLICATION OF ADDITIVES FOR EROSION CONTROL
 - 1058 = MULCHING FOR CONSTRUCTION SITES
 - 1052 = NON-CHANNEL EROSION MAT
 - 1059 = SEEDING
 - 1057 = TRACKOUT CONTROL PRACTICES
 - 1067 = GRADING PRACTICES FOR EROSION CONTROL - TEMPORARY
 - 1054 = VEGETATIVE BUFFER FOR CONSTRUCTION SITES
 - 1061 = DE-WATERING
 - 1055 = SEDIMENT BALE BARRIER
 - 1064 = SEDIMENT BASIN
 - 1063 = SEDIMENT TRAP
 - 1070 = SILT CURTAIN
 - 1056 = SILT FENCE
 - 1060 = STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES
 - 1069 = TURBIDITY BARRIERS
 - 1051 = WATER APPLICATION OF ADDITIVES FOR EROSION CONTROL
 - 1071 = INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS



GENERAL NOTES AND QUANTITIES

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

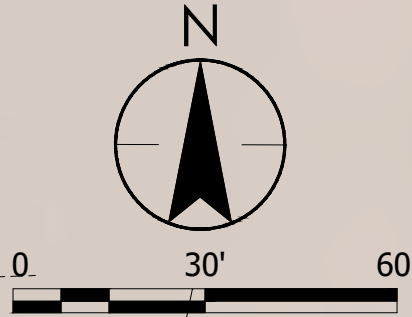
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PROJ. NO.	193806785

SHEET NUMBER
C002

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ACAD: 2024.0.1.1314 - 2024/06/17 03:57 PM



1. REMOVE ASPHALT; SAW CUT ALONG ROADWAY
2. RAZE/REMOVE WALL
3. REMOVE/REROUTE TELECOMMUNICATIONS LINE AND PEDESTAL; UNDER SEPARATE CONTRACT WITH SERVICE PROVIDER
4. OVERHEAD ELECTRIC POLES AND LINES TO BE REMOVED/BURIED UNDER SEPARATE CONTRACT VIA POWER PROVIDER
5. REMOVE ELECTRIC BOXES; VERIFY WITH POWER PROVIDER PRIOR TO REMOVAL
6. 20' SEWER EASEMENT
7. FLOODPLAIN BOUNDARY
8. OHW PER CITY OF SHEBOYGAN

- REMOVAL OF ANY EXISTING SOILS/MATERIALS REQUIRE COMPLETION OF A HAZARDOUS MATERIAL SURVEY IN ACCORDANCE WITH LOCAL RULES AND REGULATIONS. CONTRACTOR SHALL PROVIDE THE APPROPRIATE SURVEY AT NO ADDITIONAL COST TO THE OWNER

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ACAD-2378 C-1 Site_20240603_SHEET BORDER_22x34



SHEET KEY NOTES

SEE EROSION CONTROL NOTES SHEET C002

1. STONE TRACKING PAD; SEE WDNr STANDARD 1057 "TRACKOUT CONTROL PRACTICES"
2. SILT FENCE; SEE WDNr STANDARD 1056 "SILT FENCE"

EROSION CONTROL PLAN

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

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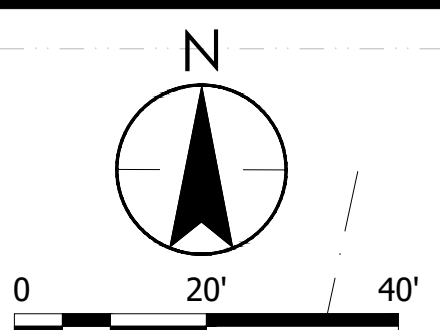
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SHEET NUMBER
C101



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1. ASPHALT PAVEMENT - 4" SECTION; SEE DETAIL A SHEET C700
2. CONCRETE SIDEWALK; 4" THICKNESS WITH THICKENED EDGE AT INTERFACE WITH ASPHALT AREAS; SEE DETAIL B SHEET C700
3. CONCRETE SIDEWALK; 4" THICKNESS; SEE DETAIL C SHEET 700
4. ADA-COMPLIANT PARKING STALL WITH SIGN, LOADING AREA, AND PAVEMENT SYMBOL
5. PAINT STRIPE; 4" WIDTH; COLOR BY OWNER PREFERENCE

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C200

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Xrefs: SHEET BORDER 22x34.dwg; 193806785V10.ENG_UPDATE.dwg; 193806785_MALIBU AP15_SHEET BORDER 22x34
ACAD-2378 C-1 Site 20240603



SHEET KEY NOTES

1. ASPHALT PAVEMENT - 4" SECTION; SEE DETAIL A SHEET C700
2. CONCRETE SIDEWALK; 4" THICKNESS WITH THICKENED EDGE AT INTERFACE WITH ASPHALT AREAS; SEE DETAIL B SHEET C700
3. CONCRETE SIDEWALK; 4" THICKNESS; SEE DETAIL C SHEET 700
4. ADA-COMPLIANT PARKING STALL WITH SIGN, LOADING AREA, AND PAVEMENT SYMBOL
5. PAINT STRIPE; 4" WIDTH; COLOR BY OWNER PREFERENCE

SITE CONSTRUCTION NOTES

-

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SITE PLAN - SOUTH

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

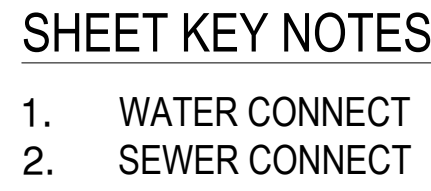
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C201

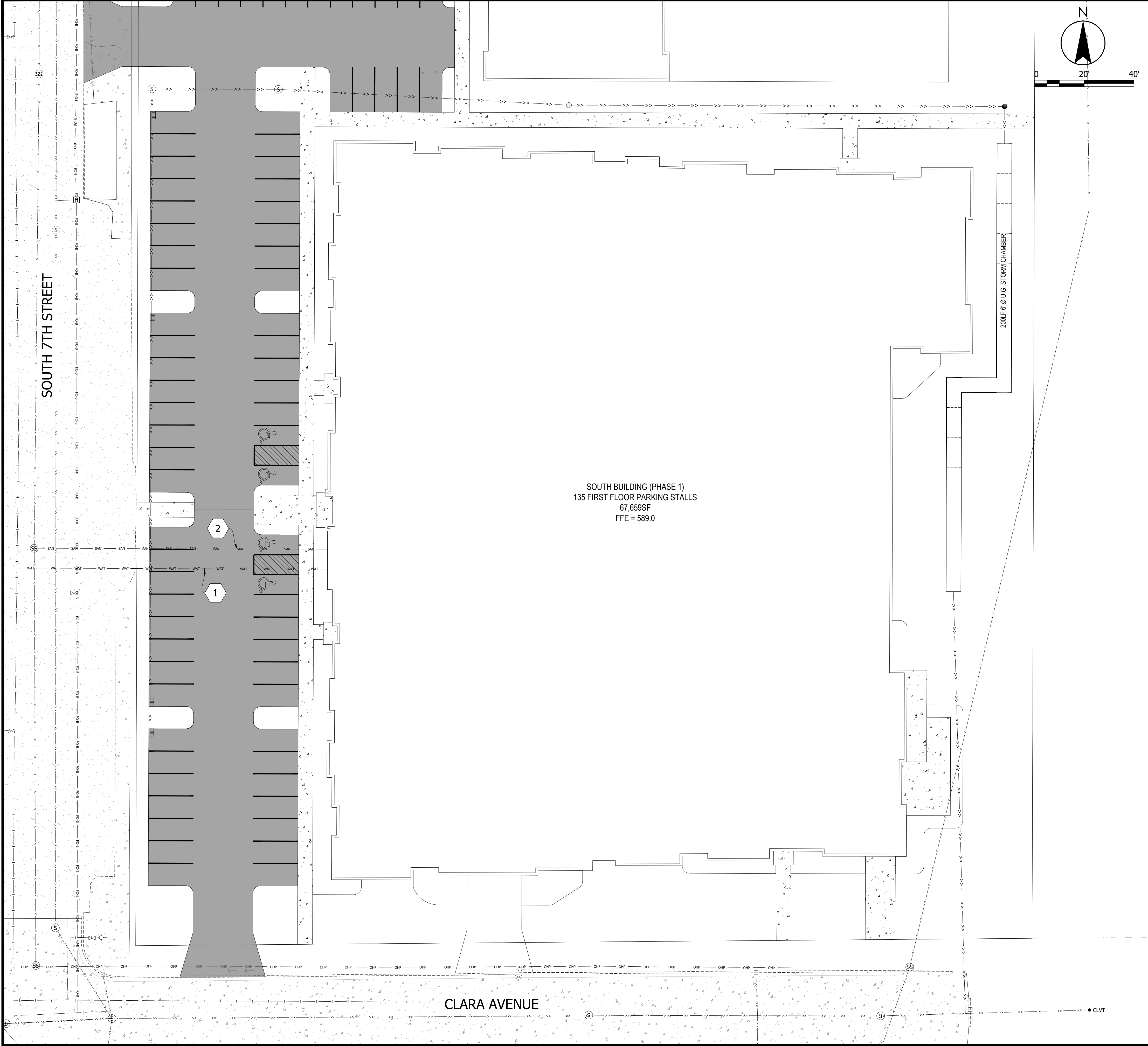
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SHEET KEY NOTES

1. WATER CONNECT
2. SEWER CONNECT



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UTILITY PLAN - SOUTH

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

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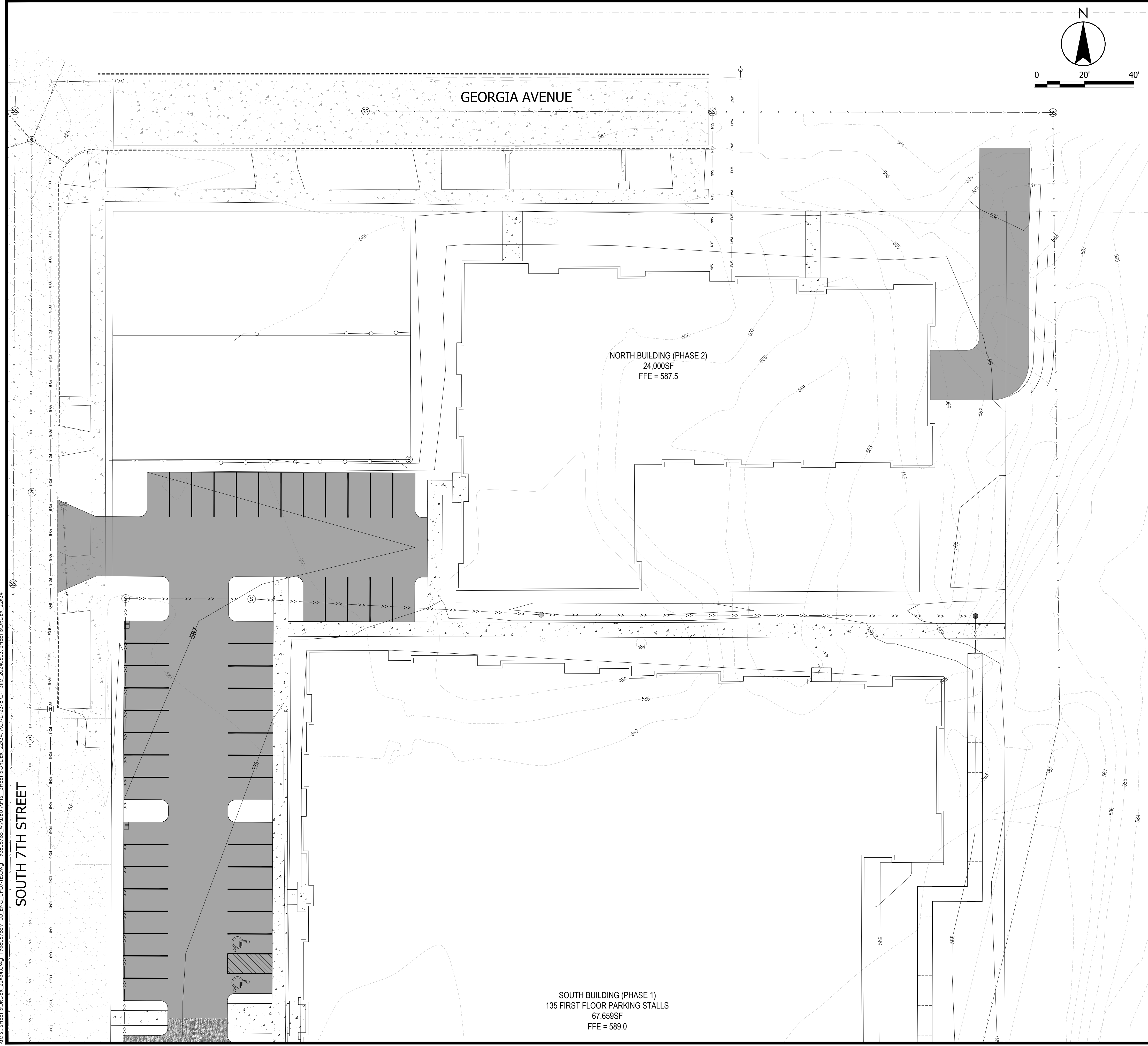
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C301

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GRADING PLAN - NORTH

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY WI 53081

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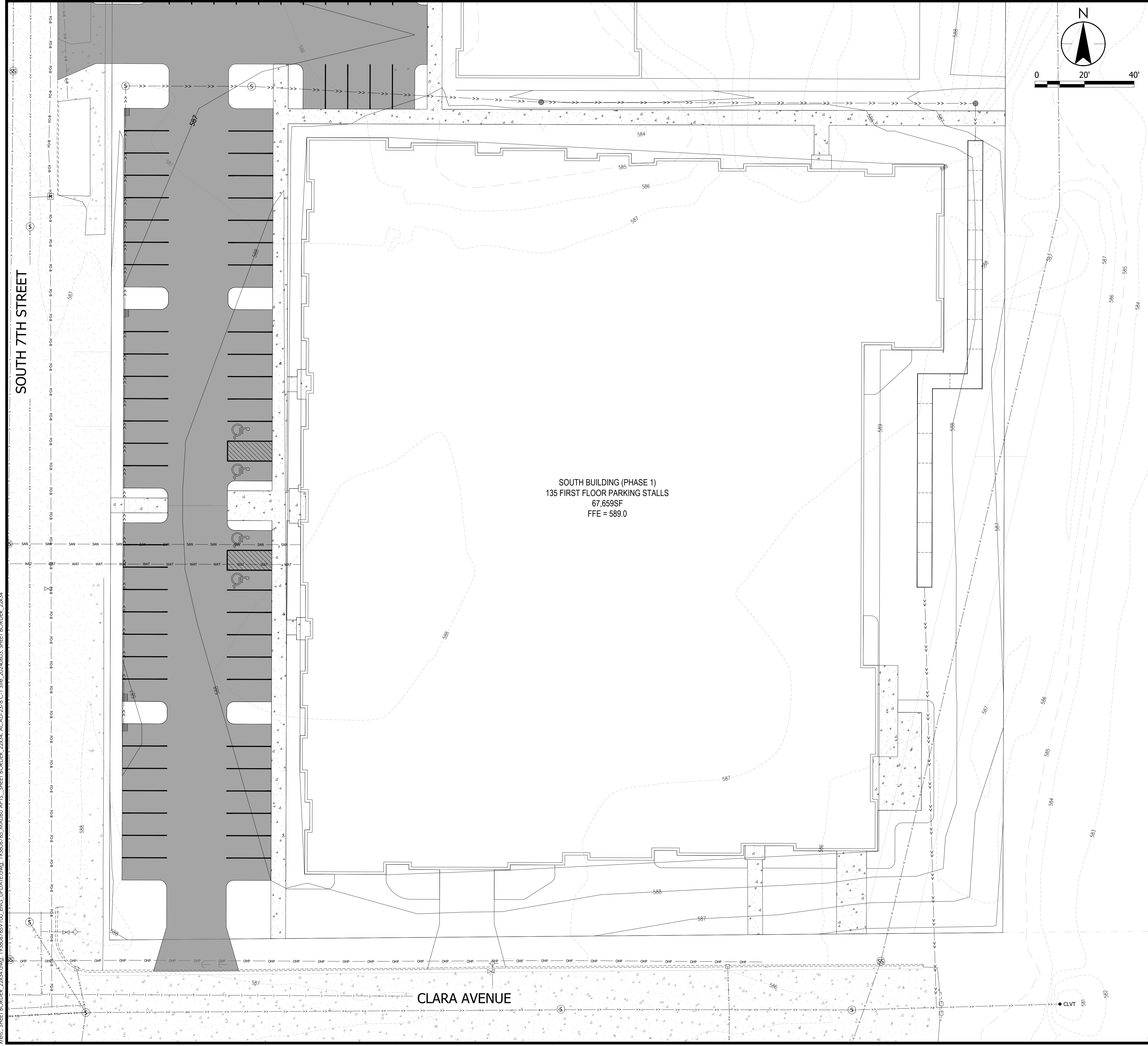
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C400

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GRADING PLAN - SOUTH

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

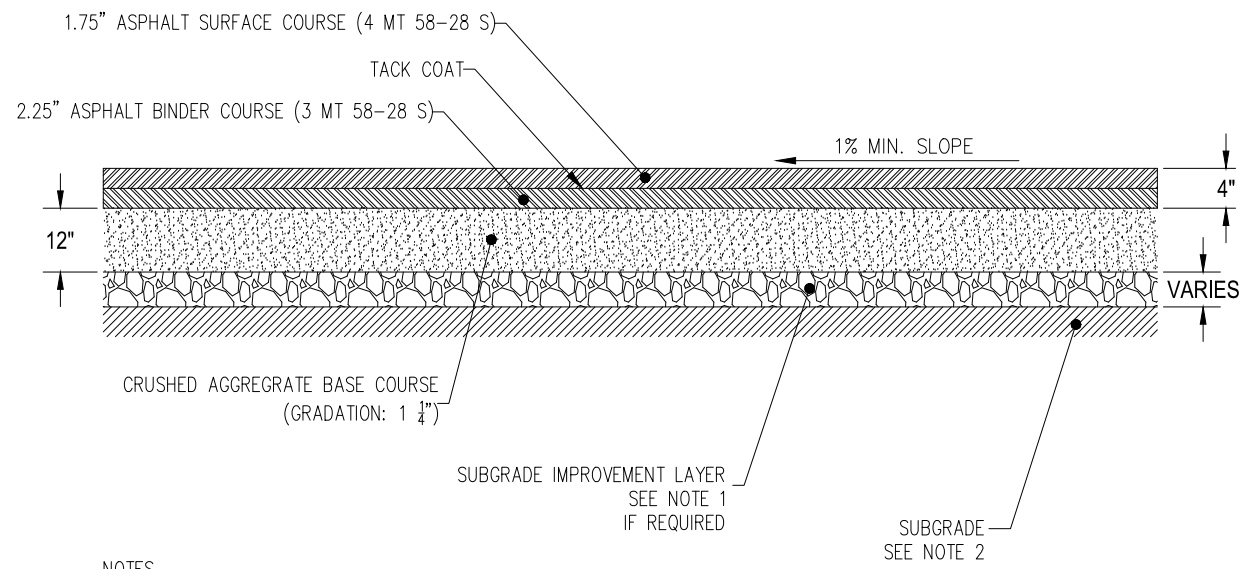
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SHEET NUMBER
C401

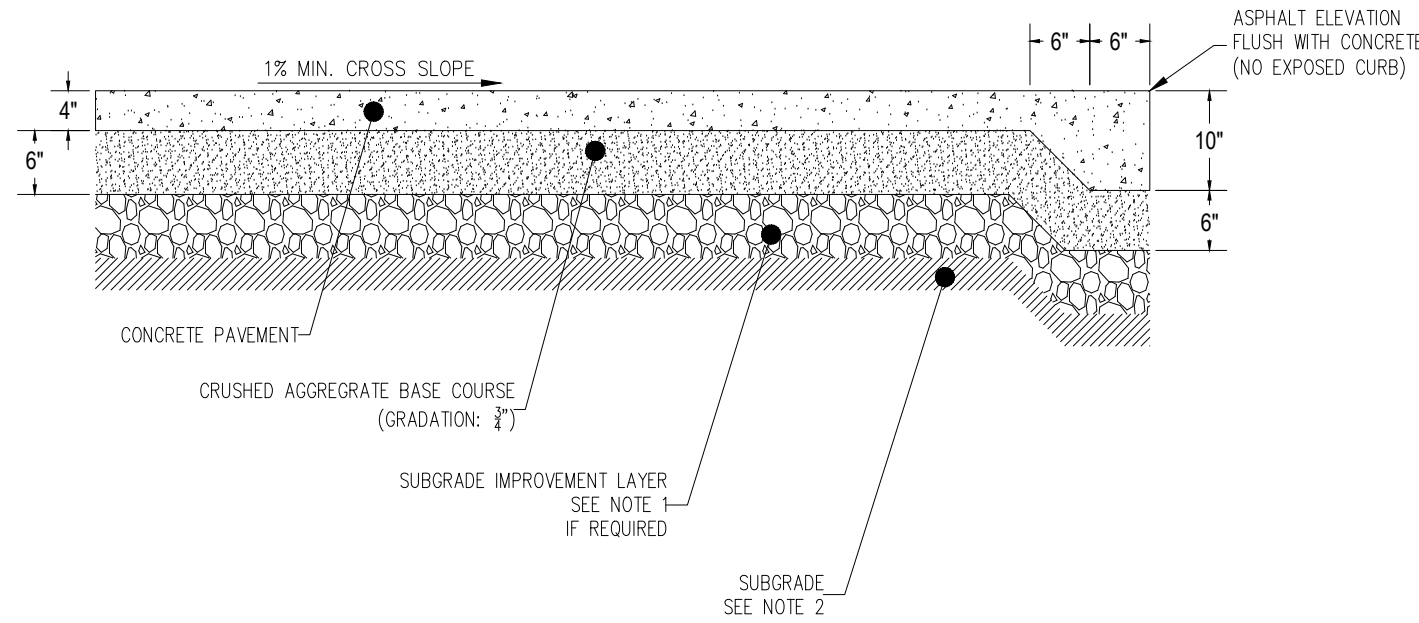
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- NOTES
1. UNSTABLE AREAS SHALL BE UNDERCUT TO SUCH DEPTHS DETERMINED NECESSARY IN THE FIELD TO REACH STABLE MATERIALS AND THE AREA BACKFILLED WITH CRUSHED STONE (GRADATION 1 1/2") OR FREE DRAINING GRANULAR FILL.
 2. COMPACT SUBGRADE TO 95% STANDARD PROCTOR. SUBGRADE TO BE INSPECTED BY PROJECT FOREMAN PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE.

- SPECIFICATIONS
- THE ASPHALTIC BASE AND SURFACE COURSE SHOULD BE PLACED AND PROVIDED IN ACCORDANCE WITH SECTION 455/460 OF THE STATE OF WISCONSIN STANDARD SPECIFICATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
 - THE CRUSHED AGGREGATE BASE COURSE SHOULD BE PROVIDED AND PLACED IN ACCORDANCE WITH SECTION 301/305 OF THE STANDARD SPECIFICATION.
 - ASPHALT PAVING CONTRACTOR TO SAW OUT EXISTING ASPHALT EDGE PRIOR TO JOINING NEW PAVEMENT.

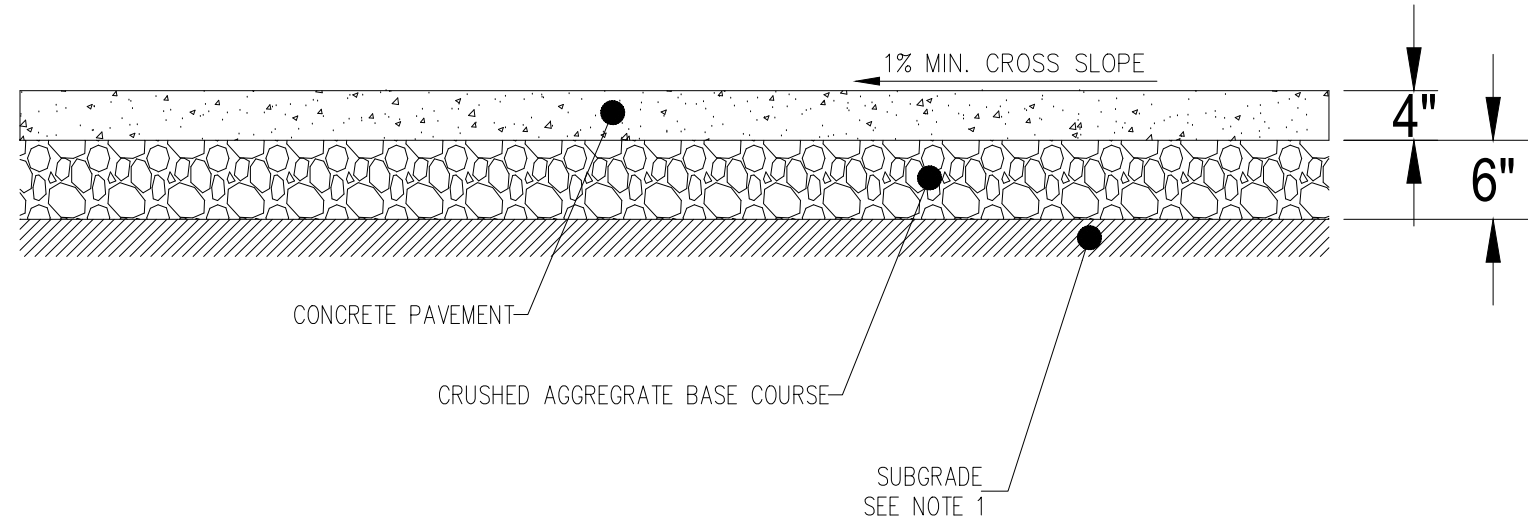
A N.T.S.
ASPHALT PAVEMENT – 4" SECTION



- NOTES
1. UNSTABLE AREAS SHALL BE UNDERCUT TO SUCH DEPTHS DETERMINED NECESSARY IN THE FIELD TO REACH STABLE MATERIALS AND THE AREA BACKFILLED WITH CRUSHED STONE (GRADATION 1 1/2") OR FREE DRAINING GRANULAR FILL.
 2. COMPACT SUBGRADE TO 95% STANDARD PROCTOR. SUBGRADE TO BE INSPECTED BY PROJECT FOREMAN PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE.

- SPECIFICATIONS
- CONCRETE PAVEMENT CONSTRUCTION SHALL BE PLACED AND PROVIDED IN ACCORDANCE WITH SECTION 501 OF THE STATE OF WISCONSIN STANDARD SPECIFICATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
 - CONCRETE SHALL BE 4,000 PSI MINIMUM.
 - CONCRETE SHALL RECEIVE A BROOMED FINISH.

B N.T.S.
CONCRETE SIDEWALK WITH THICKENED EDGE – 4" THICKNESS



- NOTES
1. COMPACT SUBGRADE TO 95% STANDARD PROCTOR. SUBGRADE TO BE INSPECTED BY PROJECT FOREMAN PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE.

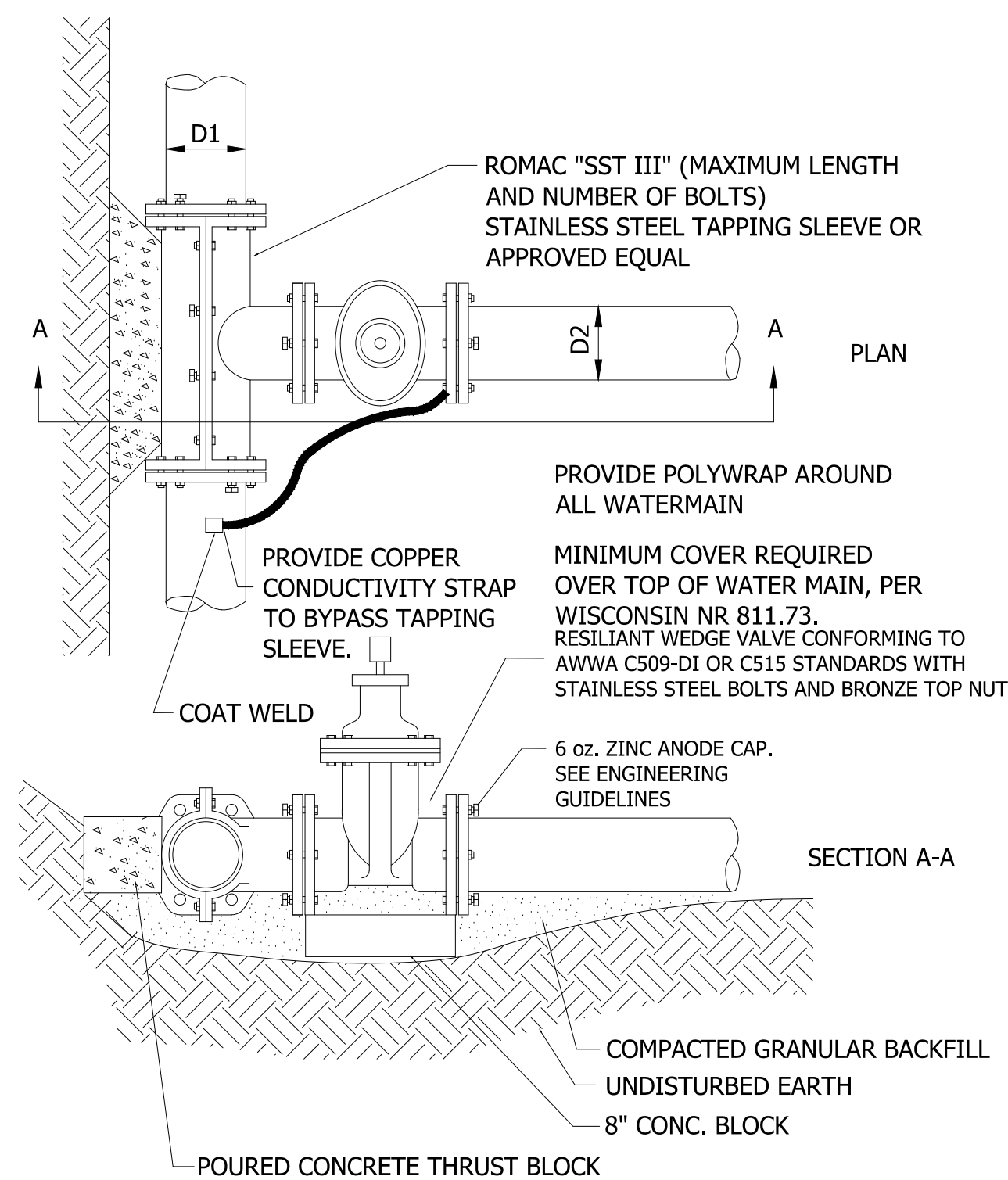
- SPECIFICATIONS
- CONCRETE PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT FDM.
 - CONCRETE SHALL BE 4,000 PSI MINIMUM.
 - CONCRETE SHALL RECEIVE A BROOMED FINISH.

C N.T.S.
CONCRETE SIDEWALK/PAVEMENT/SLAB – 4" THICKNESS

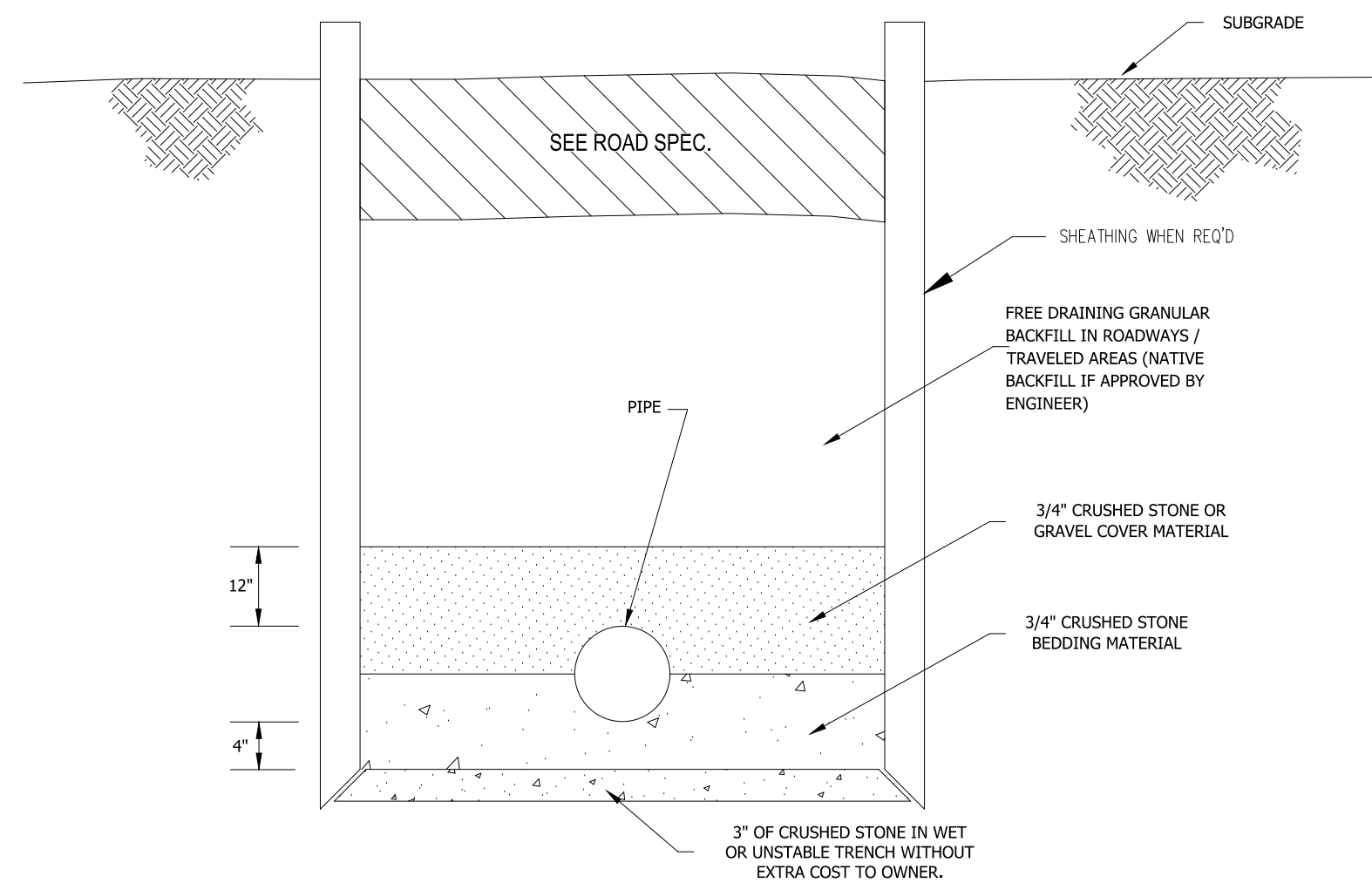
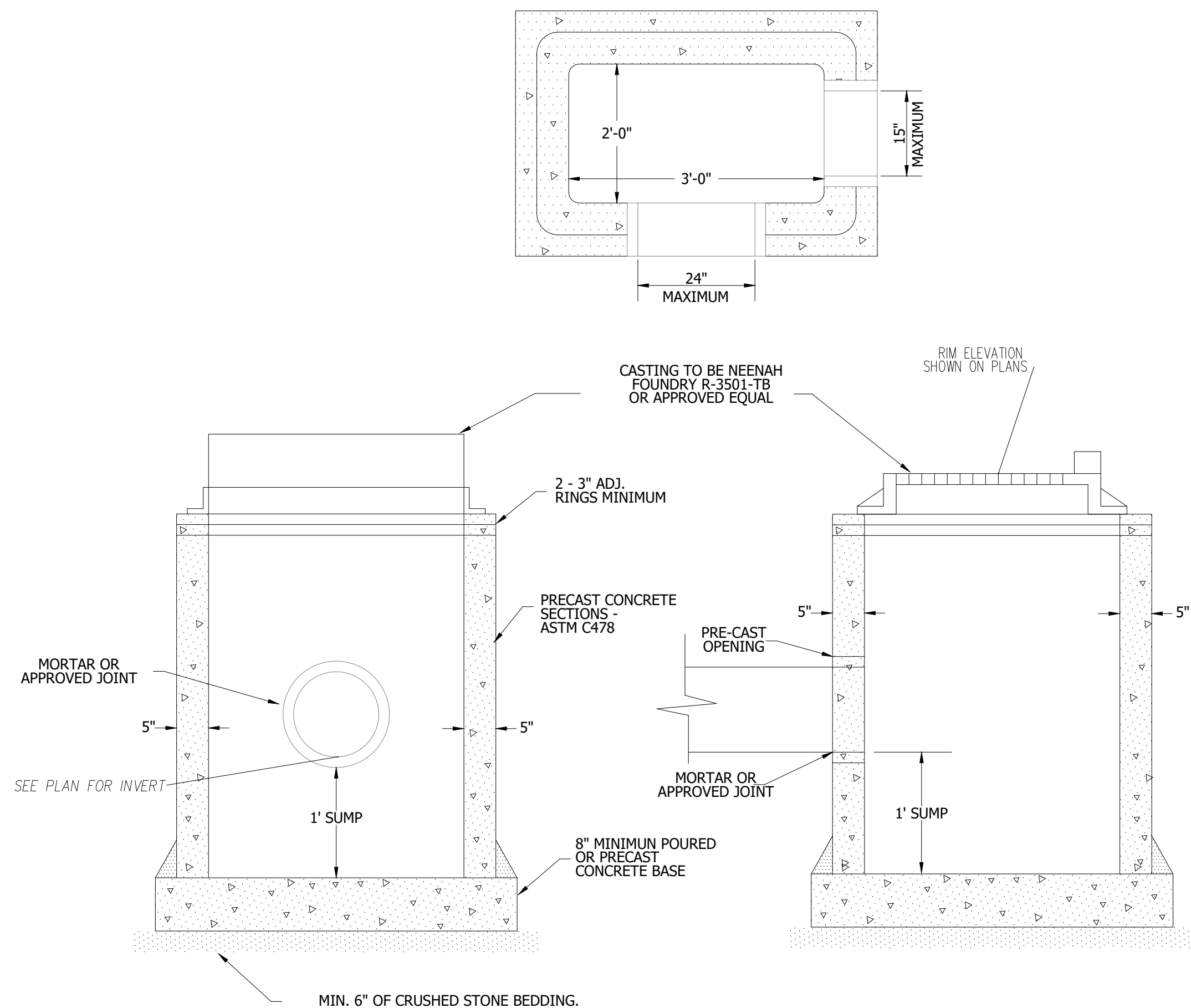
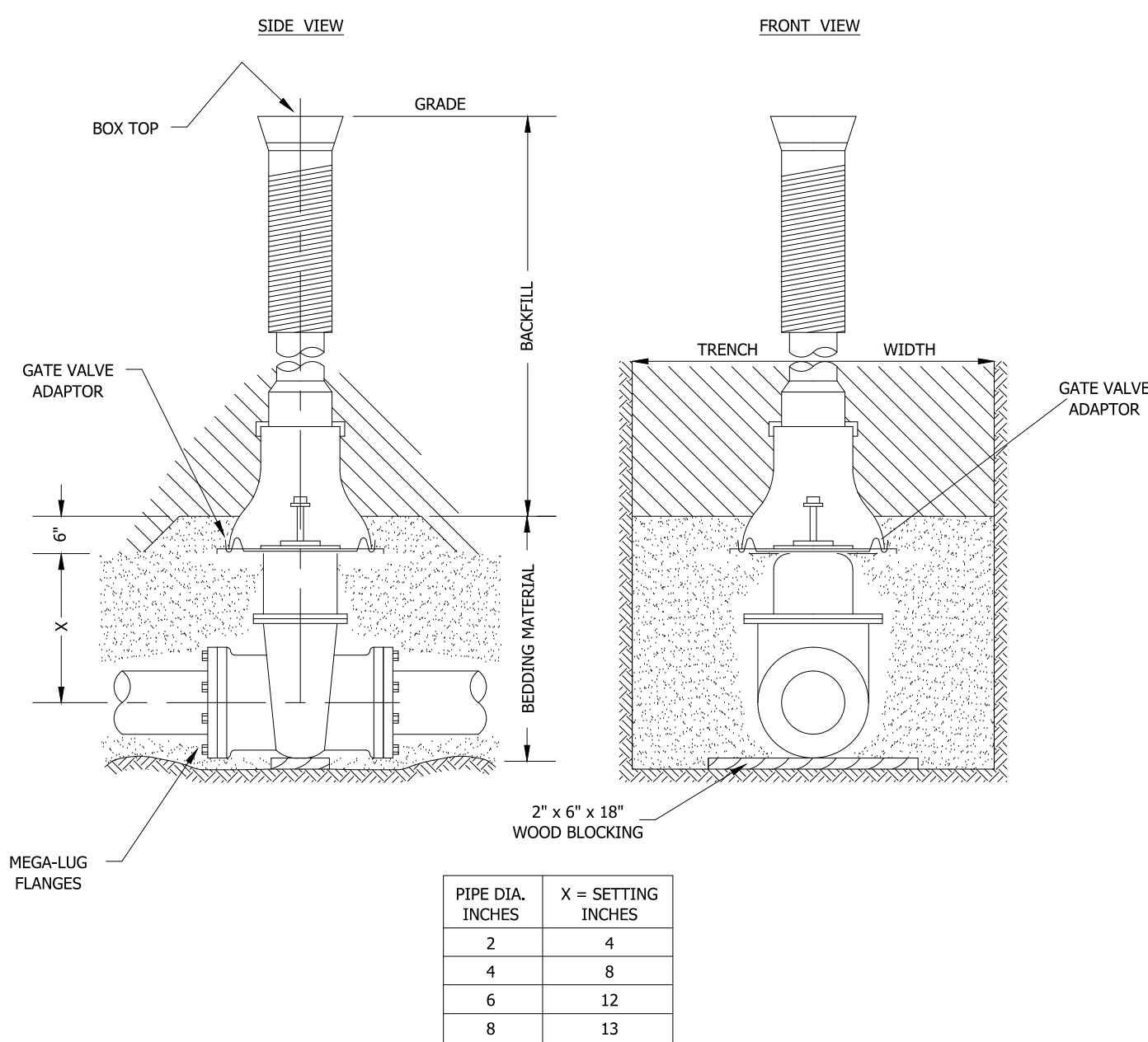
NO	REVISION	DATE

SURVEY	STANTEC
DRAWN	MTA
DESIGNED	P.JH
CHECKED	SRW
APPROVED	P.JH
PROJ. NO.	193806785

Plot Date: 06/17/2024, 3:59pm
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Crews: SHEET BORDER 22234.dwg, 193806785V100 ENG_UPDATE.dwg, 193806785_MALIBU APTS...SHEET BORDER 22234.dwg, 193806785_MALIBU APTS...SHEET BORDER 22234.dwg, ACAD-2378 C - Site 20240603, SHEET BORDER 22234



NOTES: STAINLESS OR CORE BLUE BOLTS REQUIRED FOR ALL MECHANICAL FITTINGS.
ANTI-CORROSIVE COATING REQUIRED ON ALL BOLTS AND TIE ROD
ASSEMBLIES.



NOTE:

- BURIED DEPTHS VARY, SEE UTILITY PLAN FOR SEWER AND WATER DEPTHS.
- TRACER WIRE SHALL BE INSTALLED FOR ALL NON-METALLIC SEWER AND WATER PIPING PER SPS 382.30 REQUIREMENTS.

GRANULAR MATERIAL SHALL CONSIST OF UNIFORM GRADED DURABLE PARTICLES. SUFFICIENT FINE MATERIAL SHALL BE PRESENT TO FILL ALL THE VOIDS OF THE COURSE MATERIAL. SOME FINE CLAY OR LOAM PARTICLES ARE DESIRABLE, BUT THEY SHALL NOT BE PRESENT IN THE FORM OF LUMPS. GRANULAR BACK FILL SHALL CONFORM TO THE FOLLOWING GRADATION REQUIREMENTS:

MATERIAL SHALL BE CRUSHED STONE CHIPS MEETING THE GRADATION REQUIREMENTS:	
<u>SIEVE SIZES</u>	<u>PERCENTAGE PASSING BY WEIGHT</u>
1-INCH	100
3/4 INCH	90-100
3/8 INCH	20-55
No. 4	0-10
No. 8	0-5

<u>SIEVE SIZES</u>	<u>PERCENTAGE PASSING BY WEIGHT</u>
1-INCH	100
3/4 INCH	85-100
3/8 INCH	50-80
No. 4	35-65
No. 40	15-30
No. 200	5-15

<u>SIEVE SIZES</u>	<u>PERCENTAGE PASSING BY WEIGHT</u>
2-INCH	95-100
No. 4	65-60
Finer than No. 200	35-65



312 N. 5th Avenue
Sturgeon Bay, WI 54235
www.stantec.com

UTILITY DETAILS

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI

DATE OF ISSUANCE
06.17.2024 DRAFT

NO	REVISION	DATE
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SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	193806785

SHEET NUMBER
C701