



RICKMAN
ARCHITECTURE +
DESIGN

224 W MONTGOMERY ST
VILLA RICA, GA 30180
radga.com
678 282 7974

PROJECT

Weill Center Foundation
South

826 N 8TH ST., SHEBOYGAN, WI 53081

CLIENT

Weill Center Foundation

826 N 8TH ST., SHEBOYGAN, WI 53081

CONSULTANT INFO

#	DATE	DESCRIPTION

DRAWN BY: Author
REVIEWED BY: MR

This drawing is the property of Rickman A & D, LLC, and is not to be reproduced or copied in whole or in part. It is only to be used for the project and site specifically identified herein. Scales as stated herein are valid on the original drawing only. These plans were prepared in this office under our personal supervision, and to the best of our knowledge comply with state and local codes. We will generally administer construction.

PROFESSIONAL STAMP



JOB #

23020

PHASE

PERMIT + CONSTRUCTION

DATE

27 MAY 2026

SHEET TITLE

COVER

GO

Weill Center Foundation South

826 N 8TH ST., SHEBOYGAN, WI 53081

PROJECT INFORMATION

Site improvements and structural alterations to the Weill Center property to establish a new outdoor assembly venue. Construction includes a new exterior wall and foundation, new wall openings into the existing building on two levels, and a new permanent exterior stage. The patio area will utilize salvaged brick pavers. Project includes the installation of new egress gates at the site perimeter fencing and connects to existing interior plumbing and concession amenities.

APPLICABLE CODES

Building Code

SPS 362, State of Wisconsin Building Code Based on the 2021 International Building Code (IBC) w/ amendments.

SPS 366, State of Wisconsin Existing Building Code Based on the 2021 International Existing Building Code (IEBC) w/ amendments.

Fire Prevention/Fire Code

SPS 314, NFPA 1, Fire Code with amendments, 2021 Edition.

Electrical Code

SPS 316, Electrical Code Based on NFPA 70: National Electrical Code® (NEC), 2023 Edition w/amendments.

Mechanical Code

SPS 364, State of Wisconsin Mechanical Code Based on the 2021 International Mechanical Code (IMC) w/ amendments.

Plumbing Code

SPS 381-387, Wisconsin Uniform Plumbing Code.

Energy Code

SPS 363, Building Energy Conservation Code Based on the 2021 International Energy Conservation Code (IECC) w/ amendments.

Major NFPA Standards (as referenced by 2021 IBC)

NFPA 10: Standard for Portable Fire Extinguishers, 2018 Edition.

NFPA 13: Standard for the Installation of Sprinkler Systems, 2019 Edition.

NFPA 14: Standard for the Installation of Standpipe and Hose Systems, 2019 Edition.

NFPA 20: Standard for Installation of Stationary Fire Pumps for Fire Protection, 2019 Edition.

NFPA 72: National Fire Alarm and Signaling Code®, 2019 Edition.

GENERAL NOTES

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
2. ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM FACES OF STUDS OF EXTERIOR WALLS AND INTERIOR WALLS.
3. THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING THE GENERAL CONTRACTOR OF ANY ADDITIONAL ITEMS TO BE INSTALLED THAT ARE NOT SHOWN ON THE DRAWINGS.
4. ANY PENETRATIONS OF, OR MODIFICATIONS TO CONCRETE, MUST BE COORDINATED WITH ARCHITECT PRIOR TO CONSTRUCTION.
5. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
6. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
7. PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
8. COORDINATE WITH OWNER'S REPRESENTATIVE, LOCATION OF CONTRACTORS EQUIPMENT AND MATERIAL STORAGE.
9. ALL MECHANICAL WORK SHALL BE PERFORMED BY A LICENSED MECHANICAL CONTRACTOR AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
10. ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR ALL IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
11. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
12. ALL STRUCTURAL FRAMING WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.

DRAWING INDEX

Sheet Number	Sheet Name	Sheet Issue Date
G0	COVER	31 AUGUST 2026
A0	ARCHITECTURAL SITE + FLOOR PLAN	31 AUGUST 2026
A2	EXTERIOR ELEVATIONS	31 AUGUST 2026
A3	WALL SECTIONS + DETAILS	31 AUGUST 2026

CODE ANALYSIS

Jurisdiction: City of Sheboygan
828 Center Ave., Sheboygan WI 53081
920 459 4000

SPS 362 (International Building Code 2021)

Use and Occupancy Classification(s): Chapter 3
Section 303.3. Assembly Group **A-2** (5,408 GSF)

Types of Construction (Chapter 6): Table 601:
Type II construction is that type of construction in which materials are noncombustible.

1. Type IIB Construction
2. Primary Frame=0
3. Bearing Walls (Exterior=0, Interior=0)
4. Nonbearing Walls & Partitions (Interior=0)
5. Floor Construction=0
6. Roof Construction=0

Plumbing Systems (Chapter 26)

Table 2902.1

1. A-3 Assembly: 667 Occupants (333 Male + 334 Female)
 - a. Male: 3 Water Closets & 2 Lavatory Required
 - b. Female: 6 Water Closets & 2 Lavatory Required
 - c. 1 Drinking Fountain & 1 Service Sink Required

*All required plumbing fixtures are provided inside the Main building.

Maximum Floor Area Allowances, per Occupant: SPS 362 Table 1004.5

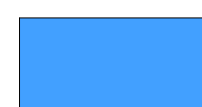
Seating Area
Assembly:
220 SF / 15 Net per Person = **15**



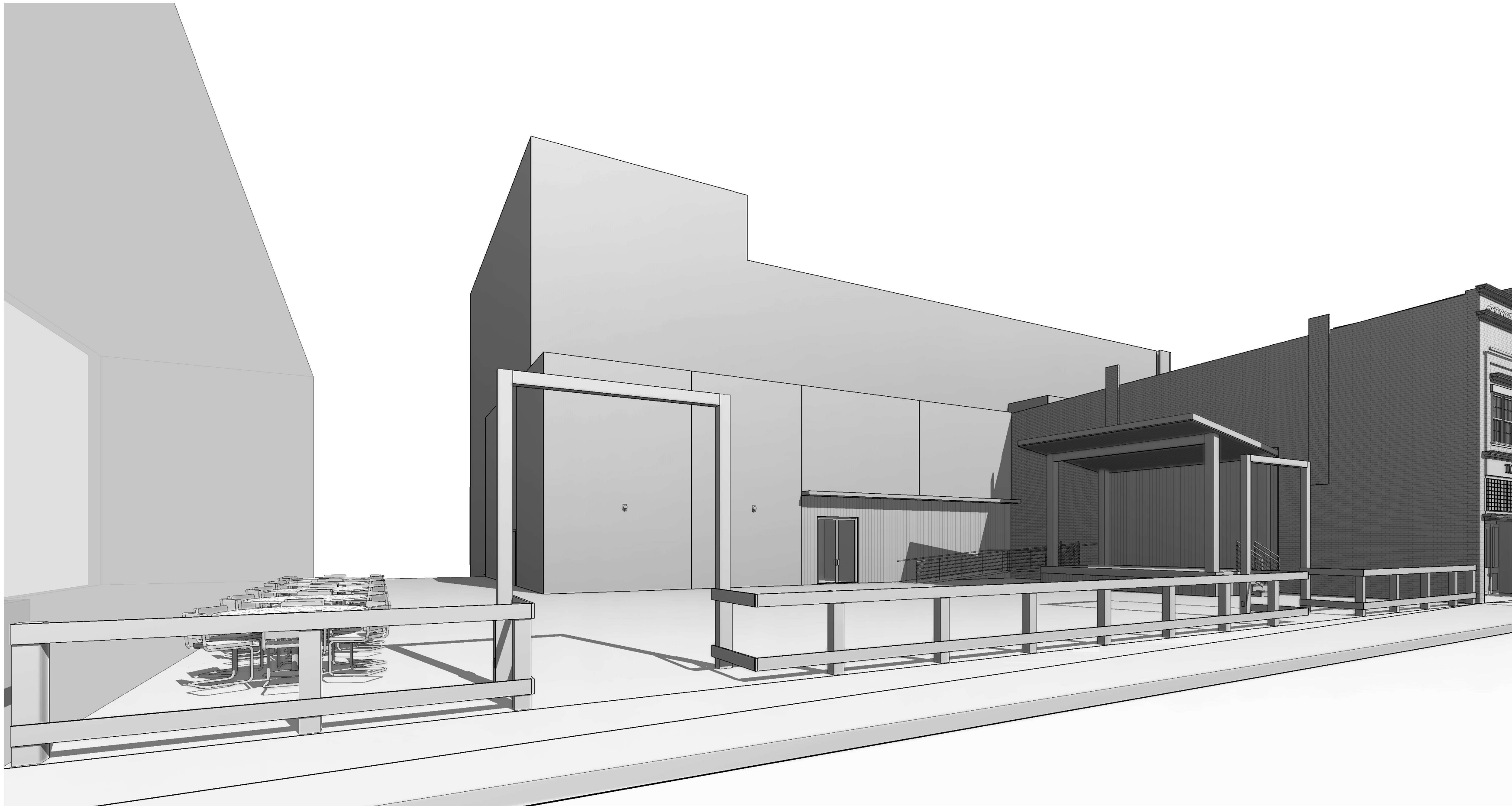
Standing Area:
3,074 SF / 5 Net per Person
= **615**



Stage:
Assembly:
550 SF / 15 Net per Person
= **37**



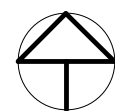
Total = **667 Occupants**



VICINITY MAP



826 N 8th St., Sheboygan, WI 53081



PROJECT DIRECTORY

OWNER

Weill Foundation
826 N 8th St.,
Sheboygan, WI 53081
920 208 0808
weillcenter.com

ARCHITECT

RAD
Rickman Architecture + Design
224 W Montgomery St
Villa Rica, Georgia 30180
radga.com
678 282 7974

HATCH LEGEND

PLAN:
NEW WALL
BRICK

SECTION:
BRICK
CMU
CONCRETE
STEEL
INSULATION

ELEVATION:
GYP. BD. / STUCCO
CLEAR GLASS
SPANDREL GLASS

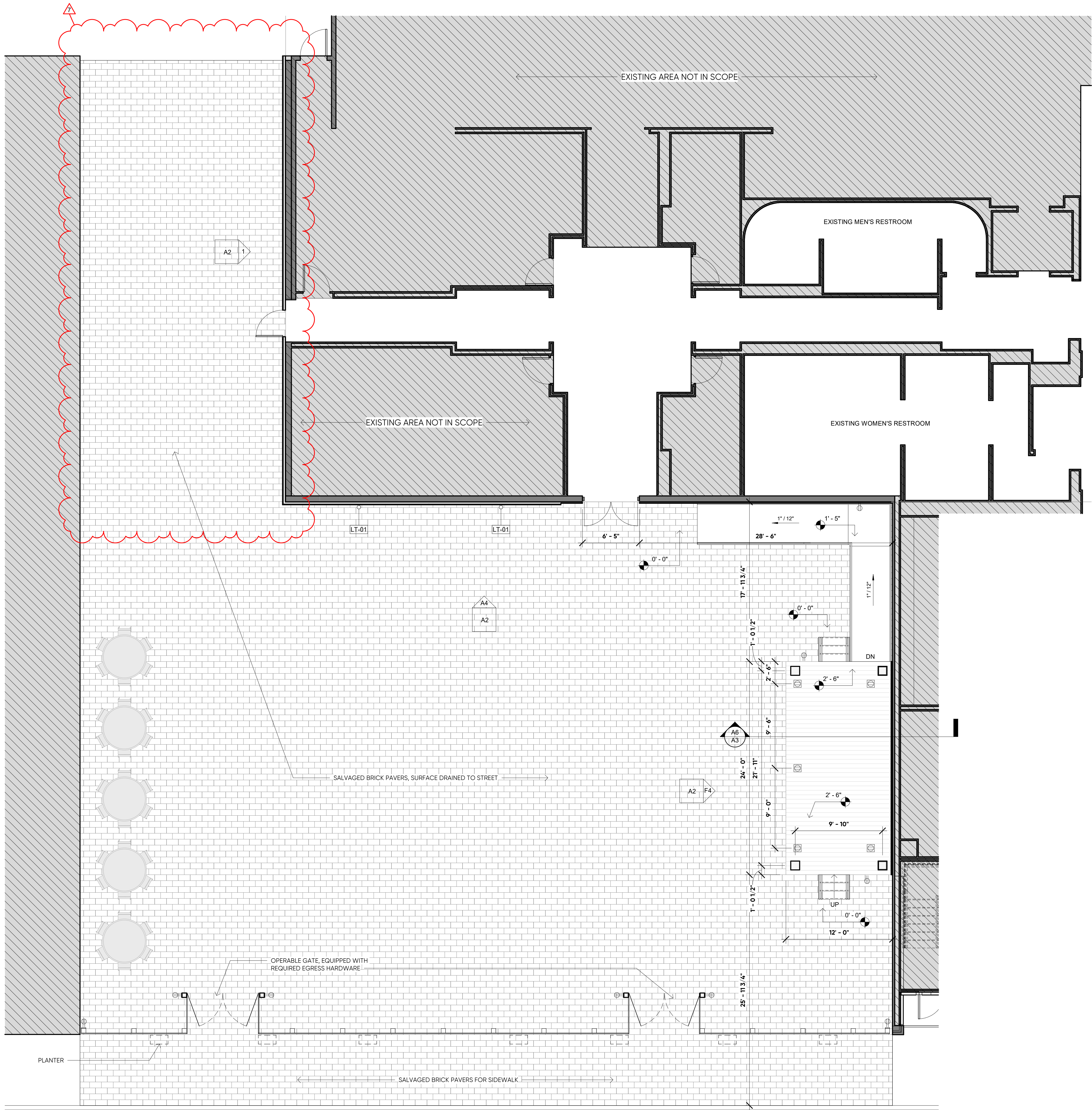
RIGID INSULATION
GYP. BD. / M.D.F. / SAND
EARTH
PLYWOOD

SYMBOLS LEGEND

ROOM NUMBER XXX
WINDOW TAG X
WALL TYPE X1
CEILING ELEVATION TAG 0'-0"
ELEVATION TAG XXX X
SECTION TAG X XXX
DETAIL TAG X XXX

DOOR NUMBER XX
COLUMN GRID XX

SHEET NO.
DRAWING NO.
SHEET NO.
DRAWING NO.
SHEET NO.



A1 South Outdoor Architectural Site Plan
1 | A2 SCALE 3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ON THE FLOOR PLANS (UNLESS OTHERWISE NOTED) ARE TAKEN FROM FACE OF EXISTING SURFACES.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK COMMENCING.
3. SEE GENERAL NOTES ON COVER SHEET FOR MORE INFORMATION CONCERNING WORK NOT SHOWN ON DRAWING.
4. ALLOW A MINIMUM OF 18 INCHES LATCH-SIDE CLEARANCE ON THE PULL SIDE OF ALL DOORS WITH CLOSERS AND A MINIMUM OF 12 INCHES LATCH-SIDE CLEARANCE ON THE PUSH SIDE OF ALL
5. NO INTERIOR SCOPE OF WORK PERFORMED. ONLY EXTERIOR RE-BUILDING, FACADE RENOVATION & EXTERIOR SITE WORK.

FLOOR PLAN LEGEND

ELEVATION TAG: XXX X
SECTION TAG: X XXX
DETAIL TAG: X XXX

SHEET NO. DRAWING NO. DRAWING NO. SHEET NO. DRAWING NO. SHEET NO.

EXISTING WALLS
NEW WALLS
EXISTING - NOT IN SCOPE



RICKMAN
ARCHITECTURE +
DESIGN

224 W MONTGOMERY ST
VILLA RICA, GA 30180
radsa.com
678.262.7974

PROJECT

Weill Center Foundation
South

826 N 8TH ST, SHEBOYGAN, WI 53081

CLIENT

Weill Center Foundation
826 N 8TH ST, SHEBOYGAN, WI 53081

CONSULTANT INFO

DATE DESCRIPTION

7	08/31/2026	Revision 1

DRAWN BY:

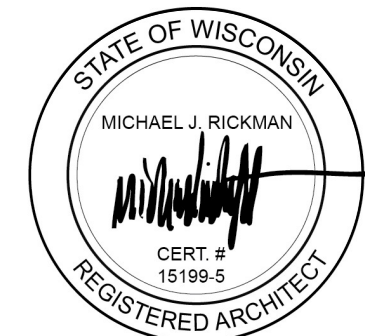
REVIEWED BY:

Author

MR

This drawing is the property of Rickman A & D, LLC, and is not to be reproduced or copied in whole or in part. It is only to be used for the project and site specifically identified herein. Scales as stated herein are valid on the original drawing only. These plans were prepared in this office under our personal supervision, and to the best of our knowledge comply with state and local codes. We will generally administer construction.

PROFESSIONAL STAMP



JOB #

23020

PHASE

PERMIT + CONSTRUCTION

DATE

27 MAY 2026

SHEET TITLE

ARCHITECTURAL
SITE + FLOOR PLAN

A

A0



**RICKMAN
ARCHITECTURE +
DESIGN**

224 W MONTGOMERY ST
VILLA RICA, GA 30180
radsa.com
678.262.7974

PROJECT

**Weill Center Foundation
South**

828 N 8TH ST, SHEBOYGAN, WI 53081

CLIENT

Weill Center Foundation

828 N 8TH ST, SHEBOYGAN, WI 53081

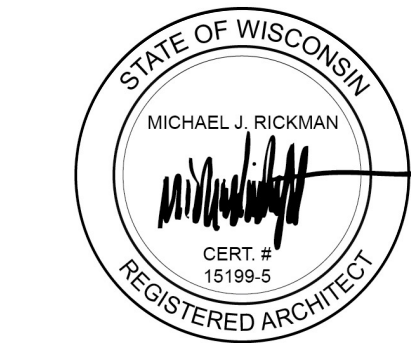
CONSULTANT INFO

#	DATE	DESCRIPTION
7	08/31/2026	Revision 1

DRAWN BY: Author
REVIEWED BY: MR

This drawing is the property of Rickman A & D, LLC, and is not to be reproduced or copied in whole or in part. It is only to be used for the project and site specifically identified herein. Scales as stated hereon are valid on the original drawing only. These plans were prepared in this office under our personal supervision, and to the best of our knowledge comply with state and local codes. We will generally administer construction.

PROFESSIONAL STAMP



JOB #

23020

PHASE

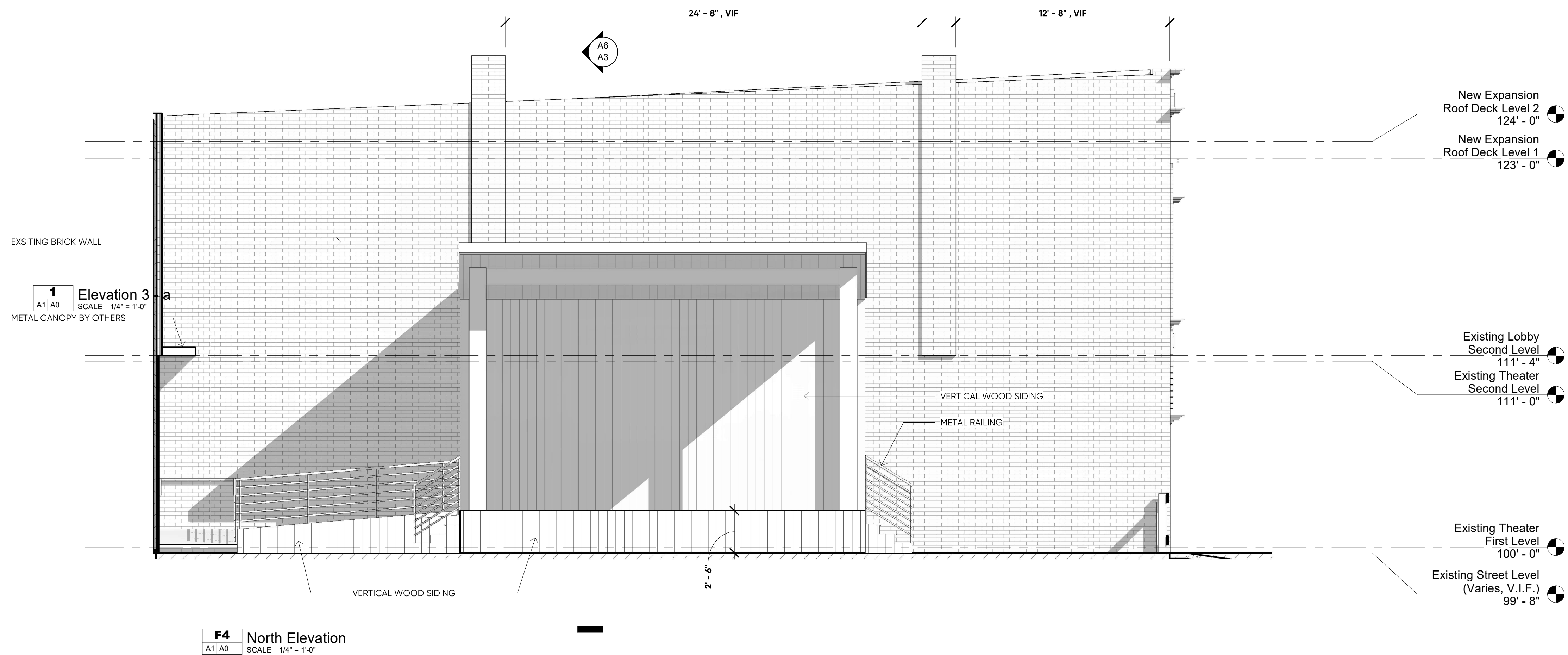
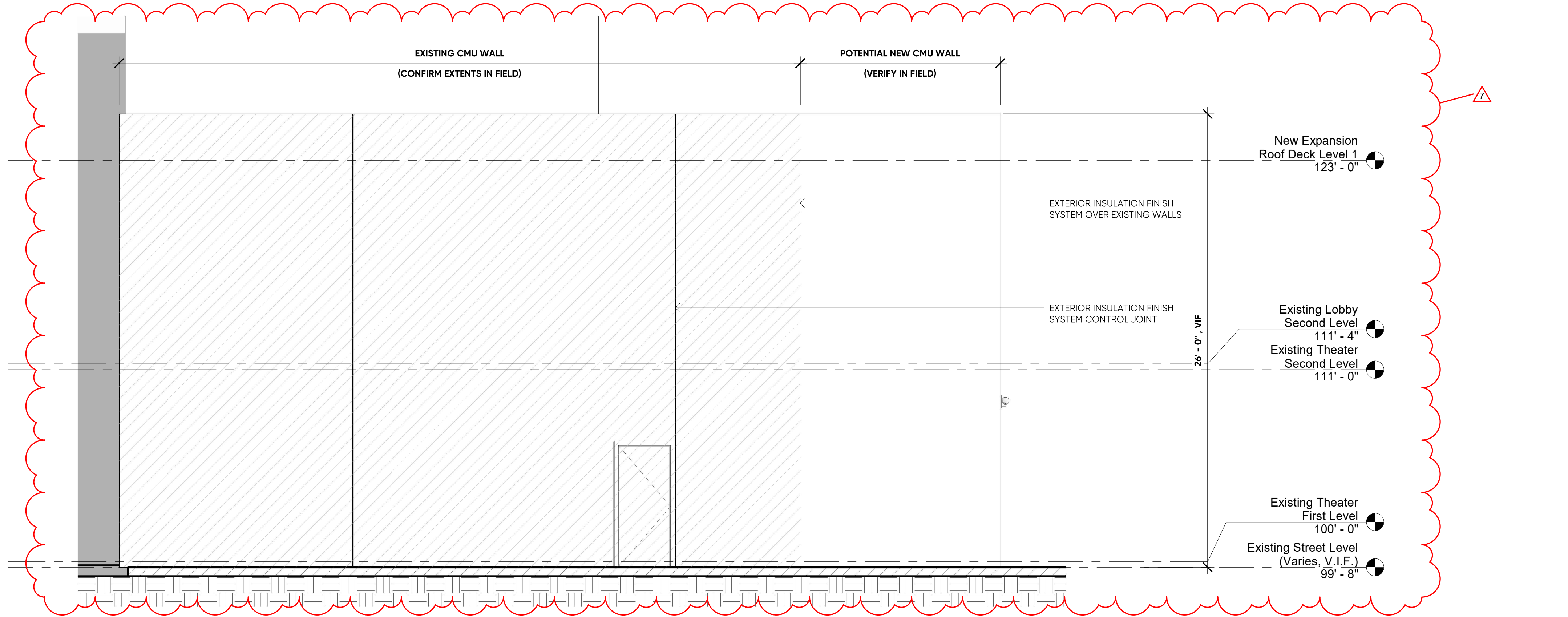
PERMIT + CONSTRUCTION

DATE

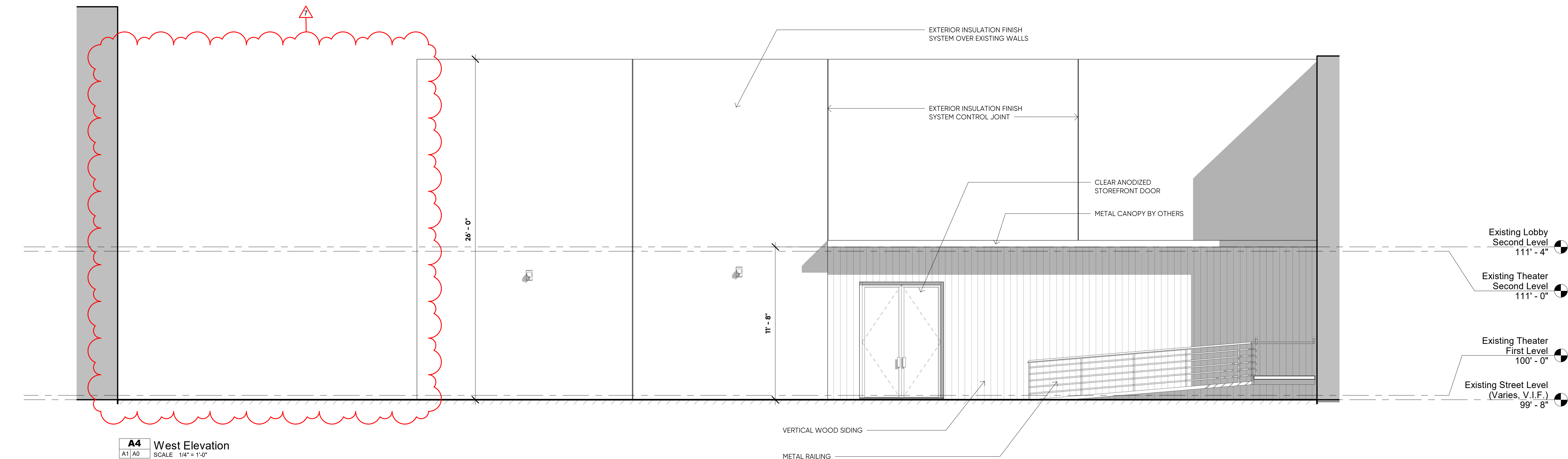
27 MAY 2026

SHEET TITLE

**EXTERIOR
ELEVATIONS**



F4 North Elevation
SCALE: 1/4" = 1'-0"



A4 West Elevation
SCALE: 1/4" = 1'-0"

K

J

I

H

G

F

E

D

C

B

A

1

2

3

4

5

6

7

8

9

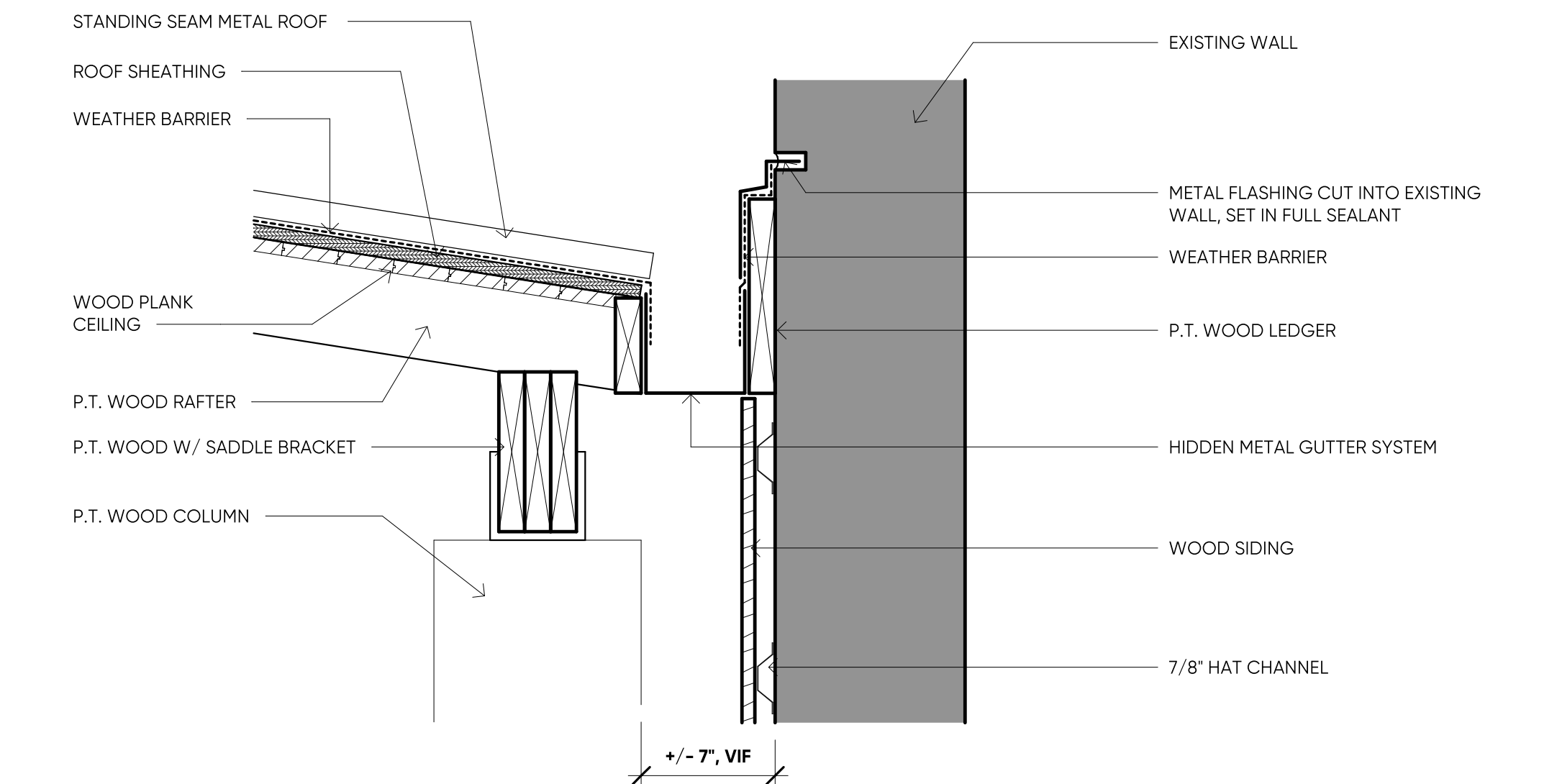
10

11

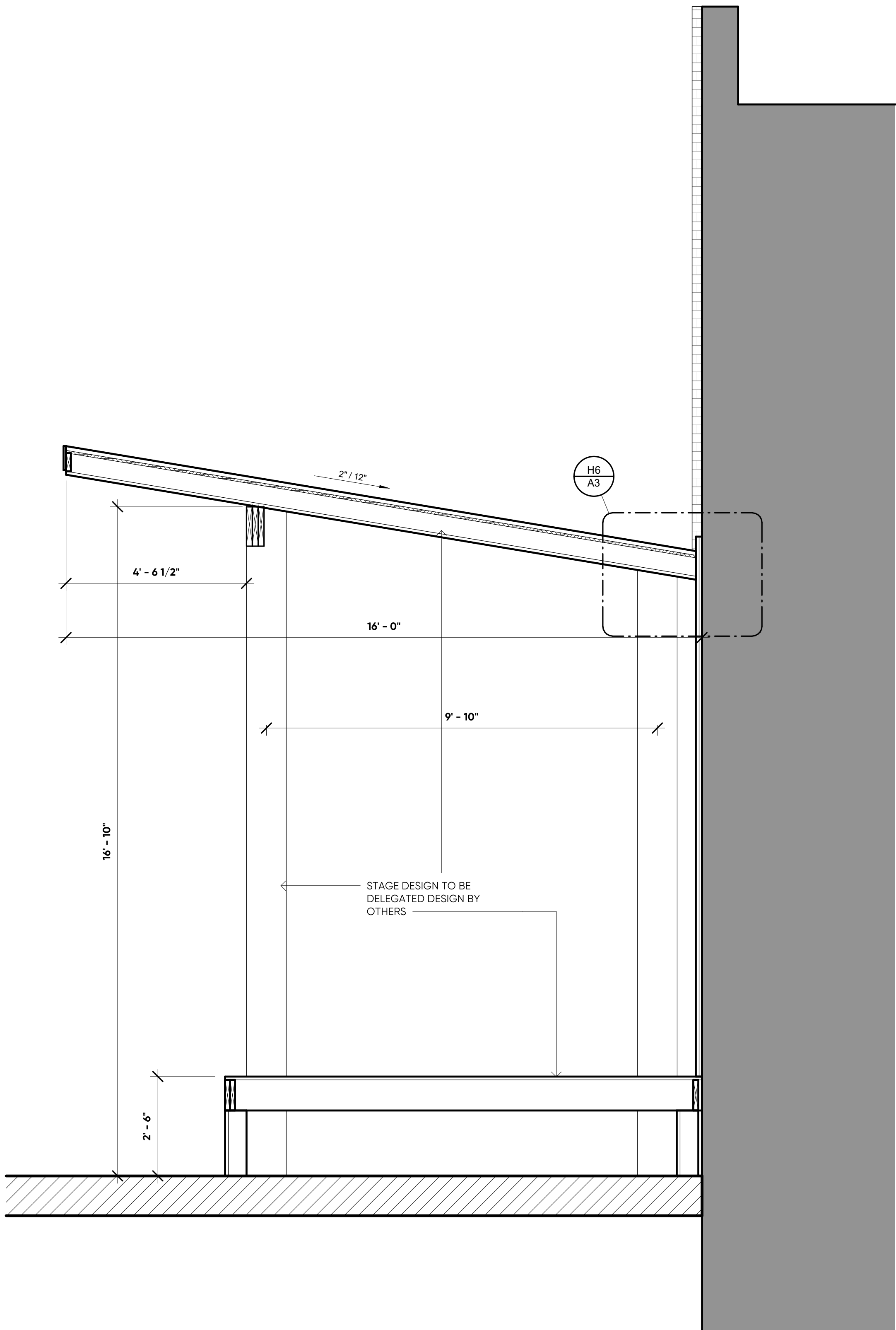
12

13

14



H6 SECTION DETAIL AT HIDDEN GUTTER
A6/A3 SCALE 1/12" = 1'-0"



A6 Wall Section @ Stage
A1/A0 SCALE 1/2" = 1'-0"



K

J

I

H

G

F

E

D

C

B

A

**RICKMAN
ARCHITECTURE +
DESIGN**

224 W MONTGOMERY ST
VILLA RICA, GA 30180
radsa.com
678.262.7974

PROJECT

**Weill Center Foundation
South**

828 N 8TH ST, SHEBOYGAN, WI 53081

CLIENT

Weill Center Foundation
828 N 8TH ST, SHEBOYGAN, WI 53081

CONSULTANT INFO

#	DATE	DESCRIPTION

DRAWN BY: Author
REVIEWED BY: MR

This drawing is the property of Rickman A & D, LLC, and is not to be reproduced or copied in whole or in part. It is only to be used for the project and site specifically identified herein. Scales as stated hereon are valid on the original drawing only. These plans were prepared in this office under our personal supervision, and to the best of our knowledge comply with state and local codes. We will generally administer construction.

PROFESSIONAL STAMP



JOB #

23020

PHASE

PERMIT + CONSTRUCTION

DATE

27 MAY 2026

SHEET TITLE

**WALL SECTIONS +
DETAILS**

A3