

PARCEL NO.: 59281204660_____

MAP NO.: _____

ZONING CLASSIFICATION: CENTRAL COMMERCIAL DISTRICT_____

Office Use Only

DATE SUBMITTED: _____

REVIEW DATE: _____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2019

FEE \$100.00

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Eric Fleischman

ADDRESS: 1135A Michigan Ave, Sheboygan, WI 53081

E-MAIL ADDRESS: efleischman@abacusarchitects.net

PHONE: (920)234-2395 FAX NO: N/A

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Sheboygan Leadership Academy

ADDRESS OF PROPERTY AFFECTED: 1305 St. Clair Ave, Sheboygan, WI 53081

NEW BUILDING: _____ ADDITION: _____ REMODELING: _____x

DESCRIPTION OF PROPOSED PROJECT: In general, the project involves all installation associated with the use of glossy *Brick-it* "thin-brick" application on back up and Alucobond metal panel at pilasters and fascia. Work includes new aluminum storefront window systems and also includes restoration of failing stucco and possible tuck-pointing any and all areas of brick/ block areas showing efflorescence on North, East and West elevations within the extents of new elevation materials (Alucobond metal panel and "thin brick"). These areas to be restored, along with all other new work in scope of project in alignment with design intent shown in Bidding Documents; advertisement to bid, instructions to bidders, bid form, and the contract documents which include addenda and specifications provided to the level of quality described therein.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS The existing elevation is thermally inefficient and has poor visibility due to failing window panes that have mold between panes. The Northern elevation has stucco with cracking and some

efflorescence as well as a metal mansard standing seam fascia which is visually heavy and unpleasant. The West elevation facing 14th street is painted CMU block with existing metal flowers and signage. The existing South elevation is painted brick with double pane storefront window systems with an assortment of colors in spandrel panels that related to the main maroon and navy blue colors which define larger color areas on the building. The East Elevation is of maroon painted brick. The existing building is a patchwork of various additions over the years and does not necessarily have a unifying theme to tie everything together. The new North elevation seeks to begin to create a language which pulls existing colors from the elevations and places them into a meaningful order that creates a language that can be overlaid on these other areas that have evolved over time, but not necessarily with "uniformity" in mind. This new elevation seeks to begin that unifying process for future development of the Sheboygan Leadership Academy.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: _____
See previous "Description of Proposed Project" for response to this question.

NAMES AND ADDRESSES

OWNER OF SITE: Sheboygan Leadership Academy Incorporated

ADDRESS: 1305 St. Clair Ave, Sheboygan, WI 53081

EMAIL: studee@leadershipacademy.us

PHONE: (920)208-5930 FAX NO.: na

ARCHITECT: Eric Fleischman

ADDRESS: 1135A Michigan Ave, Sheboygan, WI 53081

EMAIL ADDRESS: efleischman@abacusarchitects.net

PHONE: (920)234-2395 FAX NO.: na

CONTRACTOR: Joseph Schmitt is chosen contractor with contract valued at \$373,464.00 for the work pending any change orders along the way.

ADDRESS: 2104 Union Ave, Sheboygan, WI 53081

EMAIL: Jake Schurr, Project Manager jschurr@jschmitt.cc

PHONE: (920) 946-0994 FAX NO.: (na)

3. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.

C. A .pdf file of all drawings either by email or CD

- D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

4. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Eric F. Fleschman
APPLICANT'S SIGNATURE

5/23/22
DATE

ERIC FLESCHMAN, ARCHITECT
PRINT ABOVE NAME

OFFICE USE ONLY

ACTION BY ARCHITECTURAL REVIEW BOARD

DATE OF MEETING: _____

APPROVED: _____ CONDITIONALLY APPROVED: _____

DENIED: _____

CONDITIONS

SIGNATURE: _____
Chairperson, Architectural Review Board OR
Manager of Planning & Zoning

DATE: _____

SITE NARRATIVE - ARCHITECTURAL REVIEW BOARD JUNE 13TH, 2022

June 1, 2022

PROJECT NAME AND ADDRESS:

Sheboygan Leadership Academy Façade Renovation
1305 ST. CLAIR AVE
SHEBOYGAN, WI 53081

PARCEL INFORMATION/SITE DATA/LEGAL DESCRIPTION:

- The parcel is defined as tax parcel 59281204660.
- It is defined as:
 - ORIGINAL PLAT THE W 1/2 OF LOT 1, ALL OF LOTS 2, 3, 4 & 5; THE N 50' OF LOT 6, AND THE N 85' OF LOT 8 BLK 81; ALSO THE N 1/2 OF THE VAC E-W ALLEY ADJ SD W 1/2 OF LOT 1, & 2 THRU 6; THE S 1/2 OF THE VAC E- W ALLEY ADJ LOT 8 BLK 81; AND THE W 18' OF THE S 1/2 OF THE VAC E-W ALLEY ADJ LOT 9 BLK 81
- The parcel is 1.134 acres

ZONING CLASSIFICATION/ZONING REQUIREMENTS:

UC – Urban Commercial district.
There is no modification to the footprint of the building and setbacks have not been changed from existing conditions.

EXISTING SITE CONDITIONS/LAND USE:

Land use is for E-Educational purpose and will continue in with that same usage.

PROPOSED LAND USE/LOT COVERAGE SITE DATA

There is no modification from existing site conditions.

SITE SELECTION

- Existing condition, no new site.

LANDSCAPE REQUIREMENTS

- Landscape is not to be modified in the scope of the project.

PERFORMANCE STANDARDS/POTENTIAL NUISANCES:

- All performance standards to comply with City of Sheboygan Zoning Ordinance, Section 15-7 to ensure this development will not become a nuisance to neighboring residential property owners.

SITE LIGHTING:

- There will be a new back lit "Sheboygan Leadership Academy" sign at the entry canopy.
- There will be (5) replacement fixtures in existing junction boxes on the North and East elevations.
- There will be (5) new wall sconces
 - (1) above door #3
 - (1) above door #7
 - (3) on the West and North elevations adjacent to main North elevation.

Existing condition:

- o The existing elevation is thermally inefficient and has poor visibility due to failing window panes that have mold between panes. The Northern elevation has stucco with cracking and some efflorescence as well as a metal mansard standing seam fascia, which is visually heavy and unpleasant. The West elevation facing 14th street is painted CMU block with existing metal flowers and signage. The existing South elevation is painted brick with double pane storefront window systems with an assortment of colors in spandrel panels that related to the main maroon and navy blue colors which define larger color areas on the building. The East Elevation is of maroon painted brick. The existing building is a patchwork of various additions over the years and does not necessarily have a unifying theme to tie everything together. The new North elevation seeks to begin to create a language, which pulls existing colors from the elevations, and places them into a meaningful order that creates a language that can be overlaid on these other areas that have evolved over time, but not necessarily with "uniformity" in mind. This new elevation seeks to begin that unifying process for future development of the Sheboygan Leadership Academy.

ARCHITECTURE:

- o In general, the project involves all installation associated with the use of glossy Brick-it "thin-brick" application on back up and Alucobond metal panel at pilasters and fascia. Work includes new aluminum storefront window systems and includes restoration of failing stucco and possible tuck-pointing all areas of brick/ block areas showing efflorescence on North, East and West elevations within the extents of new elevation materials (Alucobond metal panel and "thin brick"). These areas to be restored, along with all other new work in scope of project in alignment with design intent shown in Bidding Documents; advertisement to bid, instructions to bidders, bid form, and the contract documents which include addenda and specifications provided to the level of quality described therein.

Best,

Eric Fleischman, AIA
Project Architect



Sheboygan | Milwaukee | Waterford | Manitowoc

640 N. Vel. R. Phillips Avenue, Suite 310 Milwaukee, WI 53203
O: 920.452.4444 | D: 920.234.2395
efleischman@abacusarchitects.net

RELATIONAL ARCHITECTURE

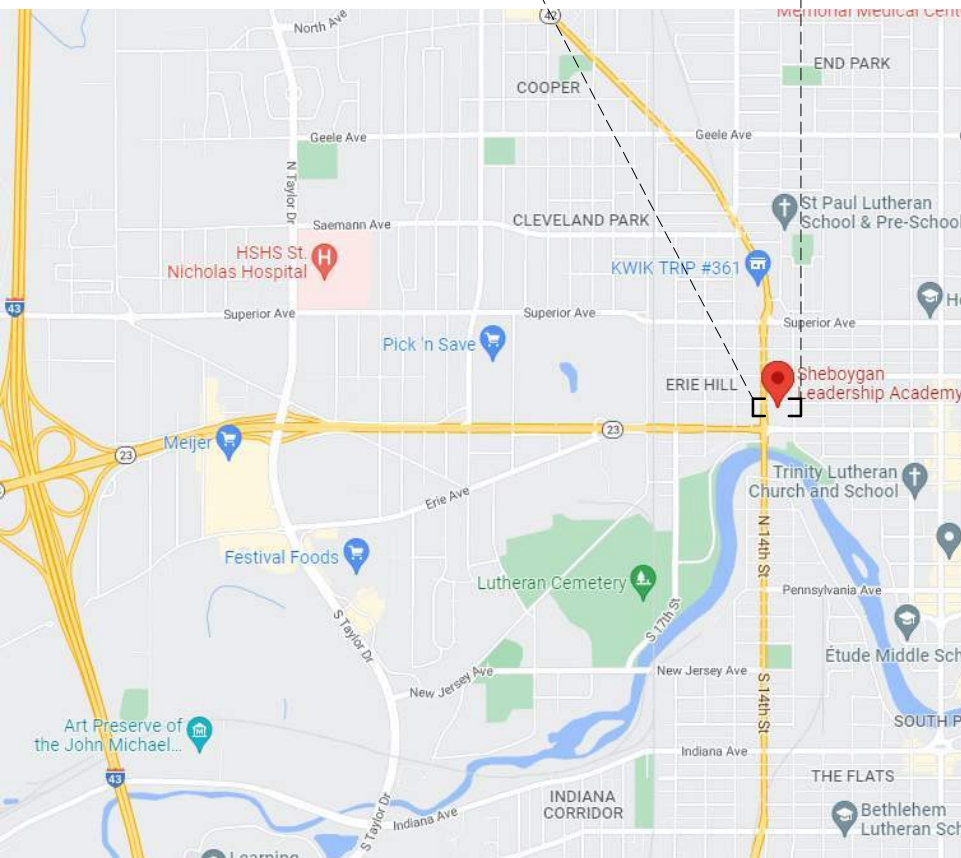
FACADE RENOVATION

SHEBOYGAN LEADERSHIP ACADEMY

1305 E. ST CLAIR AVE. SHEBOYGAN, WI 53081



VICINITY MAP-
NOT TO SCALE



REGIONAL MAP-
NOT TO SCALE

ARCHITECTURAL

ABACUS ARCHITECTS, INC.
1135A MICHIGAN AVENUE
SHEBOYGAN, WISCONSIN 53081
P: 920-452-4444

A 101	TITLE SHEET
A 102	WALL TYPES, ABBREVIATIONS, AND SYMBOLS
A 300	DEMOLITION FLOOR PLAN & ELEVATIONS
A 301	FLOOR PLAN
A 302	FLOOR PLAN
A 401	SCHEDULES AND TYPES
A 501	EXTERIOR ELEVATIONS
A 502	EXTERIOR ELEVATIONS
A 601	WALL SECTIONS
A 701	ROOF PLAN
A 801	DETAILS
A 802	DETAILS

FACADE AND LANDSCAPE
INFORMATION

TOTAL PERIMETER OF BUILDING: 1044 FT
RENOVATION ELEVATION PERIMETER: 211 FT.

211 / 1044 = .20

PERCENT OF TOTAL FACADE = 20%

PROJECT NOTES

EXTENT OF WORK

THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS.

SITE VISIT

THE CONTRACTOR SHALL VISIT THE SITE, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATE PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.

NOTICE TO BIDDERS

BIDDERS SHALL REVIEW ALL DRAWINGS AND ALL SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

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CONTRACT DOCUMENTS

DRAWN BY: EJF

CHECKED BY: TN

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101

PROJ. NO. 2021-91

ABBREVIATIONS											
A.B.	ANCHOR BOLT	CONC	CONCRETE	F.A.C.E.	FAMILY AND CONSUMER EDUCATION	J.B.	JOIST BEARING	PLYWD	PLYWOOD	T&G	TOUNGE AND GROOVE
A.D.A.	AMERICAN WITH DISABILITIES ACT	CONT	CONTINUOUS			JAN	JANITOR	PR	PAIR	T.B.	TACK BOARD
A.F.F.	ABOVE FINISHED FLOOR	CORR	CORRIDOR	F.C.O.	FLOOR CLEAN OUT	JST	JOIST	PREFAB	PREFABRICATED	T.O.	TOP OF
A/C	AIR CONDITIONING	CPT	CARPET	F.D.	FLOOR DRAIN	JT	JOINT	PSF	POUNDS PER SQUARE FOOT	T.O.B.	TOP OF BEAM
ACOUS	ACOUSTIC(AL)	D	DEPTH	F.E.	FIRE EXTINGUISHER	K.O.	KNOCK OUT	PSI	POUNDS PER SQUARE INCH	T.O.F.	TOP OF FOOTING
ADD	ADDITION	D.F.	DRINKING FOUNTAIN	F.F.	FINISHED FLOOR	KIP		PT, P.T.	POINT, PORCELAIN TILE, PAINT, PRESSURE TREATED	T.O.M.	TOP OF MASONRY
ADJ	ADJUSTABLE	DBL	DOUBLE	FAB	FABRICATED	L	LENGTH	Q.T.	QUARRY TILE	T.O.P.	TOP OF PIER
ALT	ALTERNATE	DEG	DEGREE	FDN	FOUNDATION	L.H.	LEFT HAND	R	RADIUS, RISER	T.O.S.	TOP OF STEEL
ALUM	ALUMINUM	DEPT	DEPARTMENT	FIN	FINISH	L.L.	LIVE LOAD	R.C.	ROOF CONDUCTOR	T.S.	TUBE STEEL
APPROX	APPROXIMATE	DET	DETAIL	FL	FLOOR	LAV	LAVATORY	R.D.	ROOF DRAIN	T.W.	TACK WALL
ARCH	ARCHITECT(URAL)	DIA	DIAMETER	FTG	FOOTING	LB	POUND	R.H.	RIGHT HAND	TEL	TELEPHONE
ATTEN	ATTENUATION	DIM	DIAGONAL	FURN	FURNACE, FURNITURE	LOUV	LOUVER	R.O.	ROUGH OPENING	TEMP	TEMPERED
AUTO	AUTOMATED	DISP	DISPENSER	G	GAS	M.B.	MARKER BOARD	REF	REFERENCE	TERR	TERRAZZO
B.L.	BORROWED LITE	DIV	DIVISION	FURR	FURRING	M.O.	MASONRY OPENING	REG	REGISTER	THK	THICK
B.M.	BENCH MARK	DN	DOWN	G	GAS			REIN	REINFORC(ING, ME NT)	TOT	TOTAL
B.O.	BOTTOM OF	DR	DOOR	G.B.	GRAB BAR	MACH	MACHINE			TV	TELEVISION
B.T.U.	BRITISH THERMAL UNIT	DW	DOWNSPOUT	G.C.	GENERAL CONTRACTOR	MAINT	MAINTENANCE			TYP	TYPICAL
BD	BOARD	E.J.F.S.	EXTERIOR INSULATION FINISH SYSTEM	G.M.	GAS METER	MATL	MATERIAL	REQ'D	REQUIRED	UNFIN	UNFINISHED
BLDG	BUILDING			GA	GAUGE	MAX	MAXIMUM	RESIL	RESILIENT	UTIL	UTILITIES
BLK(G)	BLOCK(ING)			GALV	GALVANIZED	MECH	MECHANICAL	REV	REVISION	V	VINYL
BOT	BOTTOM			GYP. BD.	GYPSUM BOARD	MEMB	MEMBRANE	RM	ROOM	V.B.	VINLY BASE
BRG	BEARING	E.J.	EXPANSION JOINT	H. HGT	HEIGHT	MEZZ	MEZZANINE	S.C.	SOLID CORE	V.C.T.	VINYL COMPOSITION TILE
C.B.	CATCH BASIN, CHALK BOARD	E.W.	EACH WAY	H. HGT	HEIGHT	MFR	MANUFACTURER	S.S.	STAINLESS STEEL	VENT	VENTILATION
C.F.	CUBIC FEET	E.W.C.	ELECTRIC WATER COOLER	H.B.	HOSE BIBB	MH	MANHOLE	SAN	SANITARY SEWER	VERT	VERTICAL
C.G.	CORNER GUARD	EA	EACH	H.M.	HOLLOW METAL	MIN	MINIMUM	SECT	SECTION	VEST	VESTIBULE
C.J.	CONTROL JOINT	EL, ELEV	ELEVATION, ELEVATOR	H.V.A.C.	HEATING, VENTILATION AND AIR CONDITIONING	MISC	MISCELLANEOUS	SECUR	SECURITY	VOL	VOLUME
C.L.	CORRUGATED METAL PIPE	ELEC	ELECTRIC			MTL	METAL	SERV	SERVICE	W	WIDTH, WATER
C.M.P.		EMER	EMERGENCY			MULL	MULLION	SHT	SHEET	W.C.	WALL CLEAN OUT
C.O.	CLEAN OUT	ENCL	ENCLOSED			N	NORTH	SIM	SIMILAR	W.H.	WATER HEATER
C.W.	COLD WATER	ENG	ENGINEER(D)			N.J.C.	NOT IN CONTRACT	SPEC(S)	SPECIFICATION(S)	W/	WITH
CAB	CABINET	EQ	EQUAL			N.T.S.	NOT TO SCALE	SPKLR	SPRINKLER	W/O	WITH OUT
CLG	CEILING	EQIP	EQUIPMENT			NO	NUMBER	SQ	SQUARE	WT	WEIGHT
CLR	CLEAR	EQ	EQUAL			NOM	NOMINAL	ST, STORE	STORAGE	WDM	WELDED WIRE MESH
CMU	CONCRETE MASONRY UNIT	EXCAV	EXCAVATE			O.C., O/C	ON CENTER	STD	STANDARD	YD	YARD
COL	COLUMN	HR	HOUR			O.D.	OUTSIDE DIAMETER	STL	STEEL		
COMP	COMPOSITION, COMPACT	EXIST	EXISTING			OH	OVERHEAD	STRM	STORM SEWER		
		EXP	EXPOSED			P.LAM.	PLASTIC LAMINATE	STRUCT	STRUCTURAL		
		EXT	EXTERIOR			PL	PLATE	SUSP	SUSPENDED		
						PLAS	PLASTIC	T	TREAD		
						PLBG	PLUMBING	T&B	TOP AND BOTTOM		

MATERIALS AND SYMBOLS											
	ROUGH LUMBER		CENTER LINE		FINISH LUMBER		PROPERTY LINE		STRUCTURAL STEEL		NEW CONTOURS
	BRICK		EXISTING CONTOURS		CONCRETE MASONRY UNIT		ELEVATION MARKER		POURED-IN-PLACE CONCRETE		ELEVATION REFERENCE
	METAL / WOOD STUD WALL		SECTION REFERENCE		GLAZING		PLAN / DETAIL REFERENCE		SPRAYED FOAM INSULATION		CEILING TAG
	BATT INSULATION		DOOR TAG		RIGID INSULATION		WALL TYPE TAG		COMPACTED DRAINAGE FILL		WINDOW TAG
	PLYWOOD / PARTICLE BOARD		PLAN NOTE TAG		SAND / MORTAR / GYPSUM BOARD		DEMOLITION NOTE TAG		COMPACTED STRUCTURAL FILL		COLUMN GRID
	TOPSOIL		REVISION TAG		NON-STRUCTURAL FILL		VIEW / DETAIL IDENTIFICATION		EXISTING CONSTRUCTION / MATERIAL		
	EXISTING CONSTRUCTION / MATERIAL										
VIEW NAME SCALE: X/X" = X'-XX"											



REVISIONS:

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK

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ISSUE DATE: MARCH 18, 2022
FACADE RENOVATION

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1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 (920) 452-4444 | 225 EAST ST. PAUL AVE. MILWAUKEE, WI 53202 (414) 837-6450

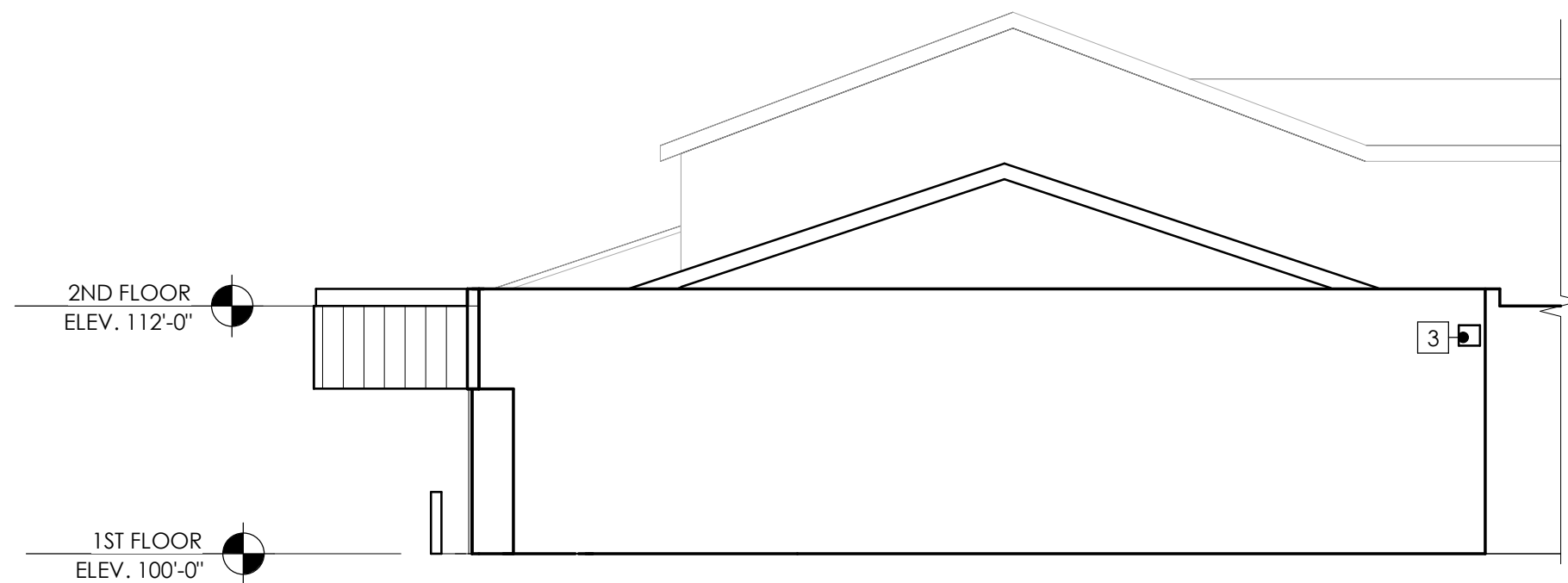
CONTRACT DOCUMENTS

DRAWN BY: EJF

CHECKED BY: TN

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102

PROJ. NO. 2021-91

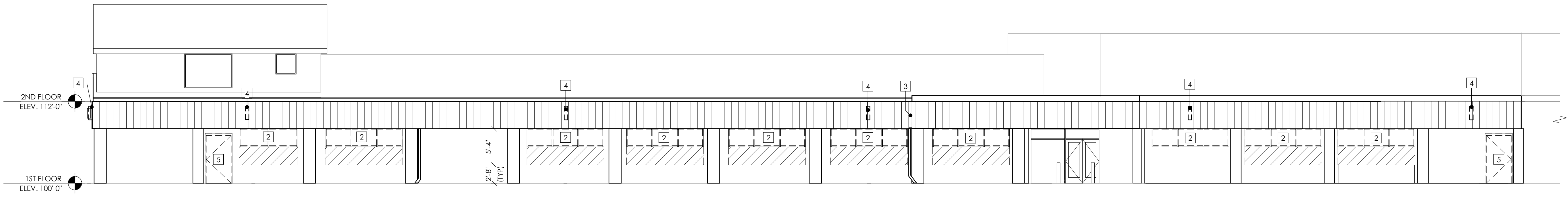


WEST ELEVATION DEMO 3
SCALE: 1/8" = 1'-0" A 300

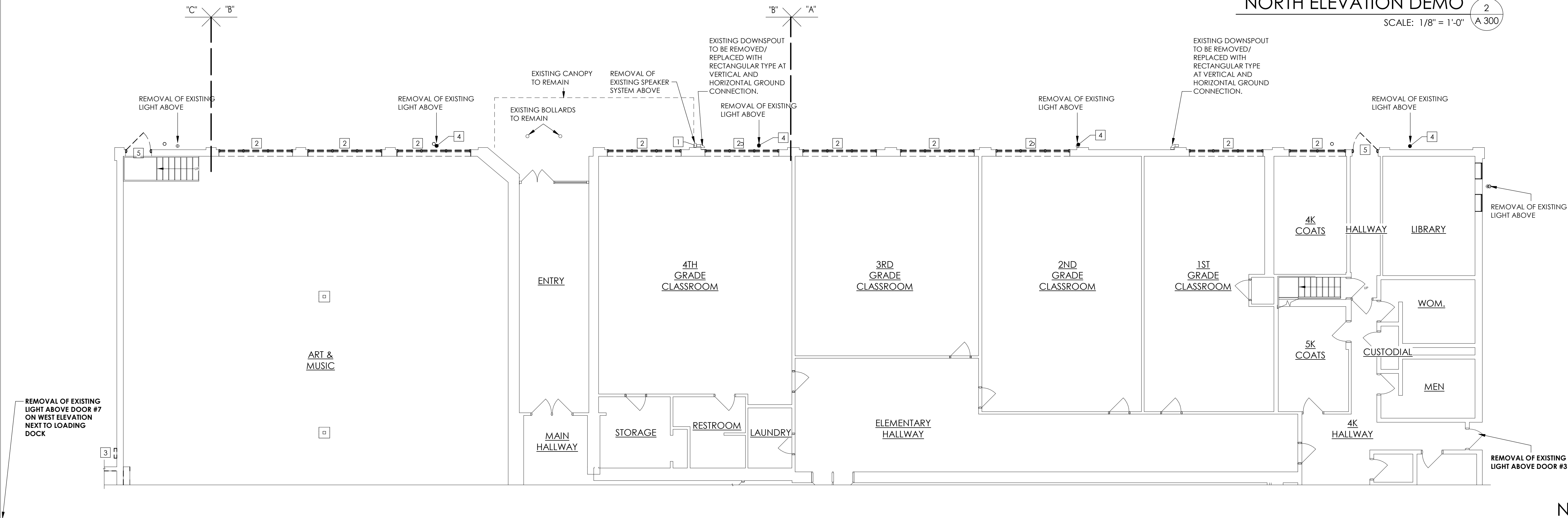
DEMOLITION KEYNOTES	
NO.	DESCRIPTION
1	REMOVE EXISTING SPEAKER SYSTEM, WIRING TO BE PRESERVED.
2	REMOVAL OF WINDOW AND EXISTING MASONRY TO APPROXIMATELY 2' 8" ABOVE FINISH FLOOR. REPAIR, REPLACE ANY DAMAGED CMU TO ACCOMMODATE NEW WINDOW ROUGH OPENING.
3	REMOVAL EXISTING SPEAKER SYSTEM, PREPARE FOR FUTURE SIMILAR SOFFIT MOUNTED SPEAKER
4	REMOVAL OF EXISTING LIGHT FIXTURE, PREPARE FOR NEW WALL LIGHT IN SAME LOCATION. RETURN FIXTURE TO OWNER.
5	REMOVAL OF EXISTING DOOR AND REPAIR OF EXISTING WALL FOR FUTURE DOOR AND FRAME. SAVE KEY CYLINDER, AND CARD READER HARDWARE/WIRING FOR FUTURE REUSE.

GENERAL DEMOLITION NOTES

- MASONRY COURSING SHOWN FOR MATERIAL REPRESENTATION ONLY. ACTUAL COURSING MAY VARY AND SHOULD BE VERIFIED IN FIELD FOR EACH WINDOW OPENING. ALL STOREFRONTS TO MATCH IN HEIGHT.
- ELECTRICAL FIXTURE JUNCTION BOXES TO BE REUSED/FITTED FOR FUTURE EXTERIOR LIGHT FIXTURES IN THE SAME LOCATION. ALL EXISTING CAMERAS JUNCTION BOXES TO REMAIN WITH ADDED WATERPROOF EXTENSION TO SURFACE OF METAL PANEL SYSTEM.
- ALL WATER SPIGOTS TO REMAIN
- ALL CYLINDRICAL VERTICAL AND HORIZONTAL DOWNSPOUT PORTIONS TO BE REPLACED WITH RECTANGULAR PROFILE GUTTER OF SAME CAPACITY. SEE DETAIL 4/A801.



NORTH ELEVATION DEMO 2
SCALE: 1/8" = 1'-0" A 300



PARTIAL FIRST FLOOR PLAN DEMO PLAN 1
SCALE: 1/8" = 1'-0" A 300



REVISIONS:
ADDENDUM #01 04/01/2022

NOTICE TO BIDDERS
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ISSUE DATE: MARCH 18, 2022

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CONTRACT DOCUMENTS

DRAWN BY: MLJ

CHECKED BY: EJF

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300

PROJ. NO. 2021-91

GENERAL PLAN NOTES

- 1/2" VERTICAL EXPANSION JOINTS ON BOTH SIDES OF PILASTERS



REVISIONS:

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CONTRACT DOCUMENTS

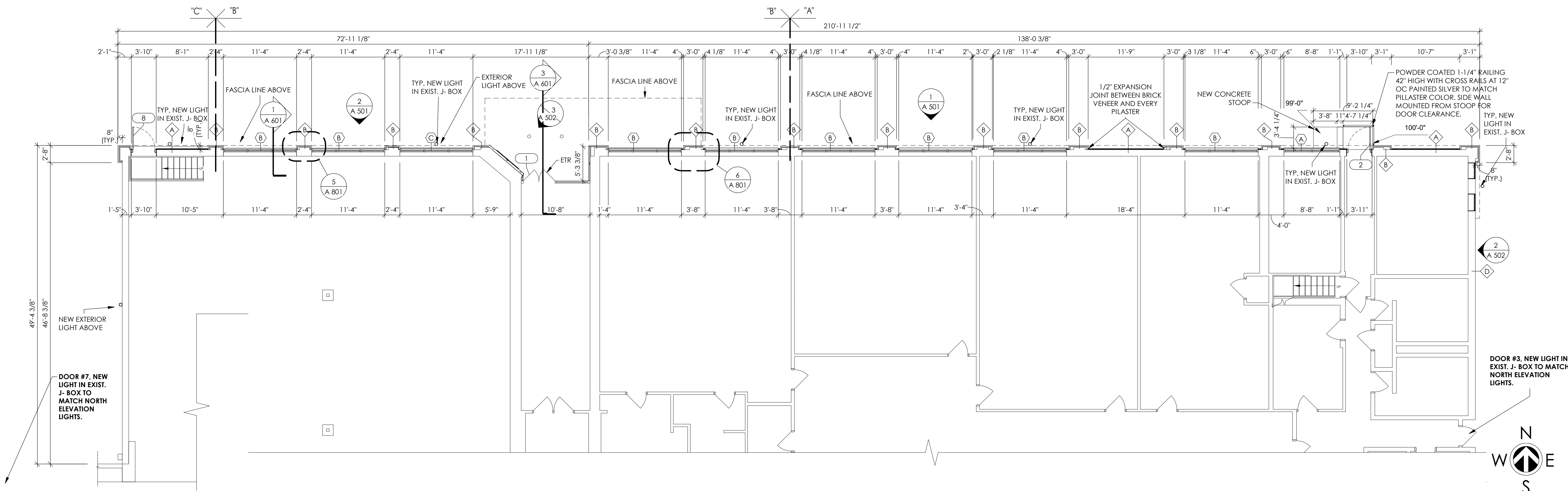
ISSUE DATE: MARCH 18, 2022
FACADE RENOVATION

DRAWN BY: MLJ

CHECKED BY: EJF

A
301

PROJ. NO. 2021-91



PARTIAL FIRST FLOOR PLAN - EAST

SCALE: 1/8" = 1'-0"

1
A 301



REVISIONS:
ADDENDUM # 01 04/01/22
ADDENDUM # 02 04/19/22

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CONTRACT DOCUMENTS

ISSUE DATE: MARCH 18, 2022

FACADE RENOVATION

DRAWN BY: MLJ

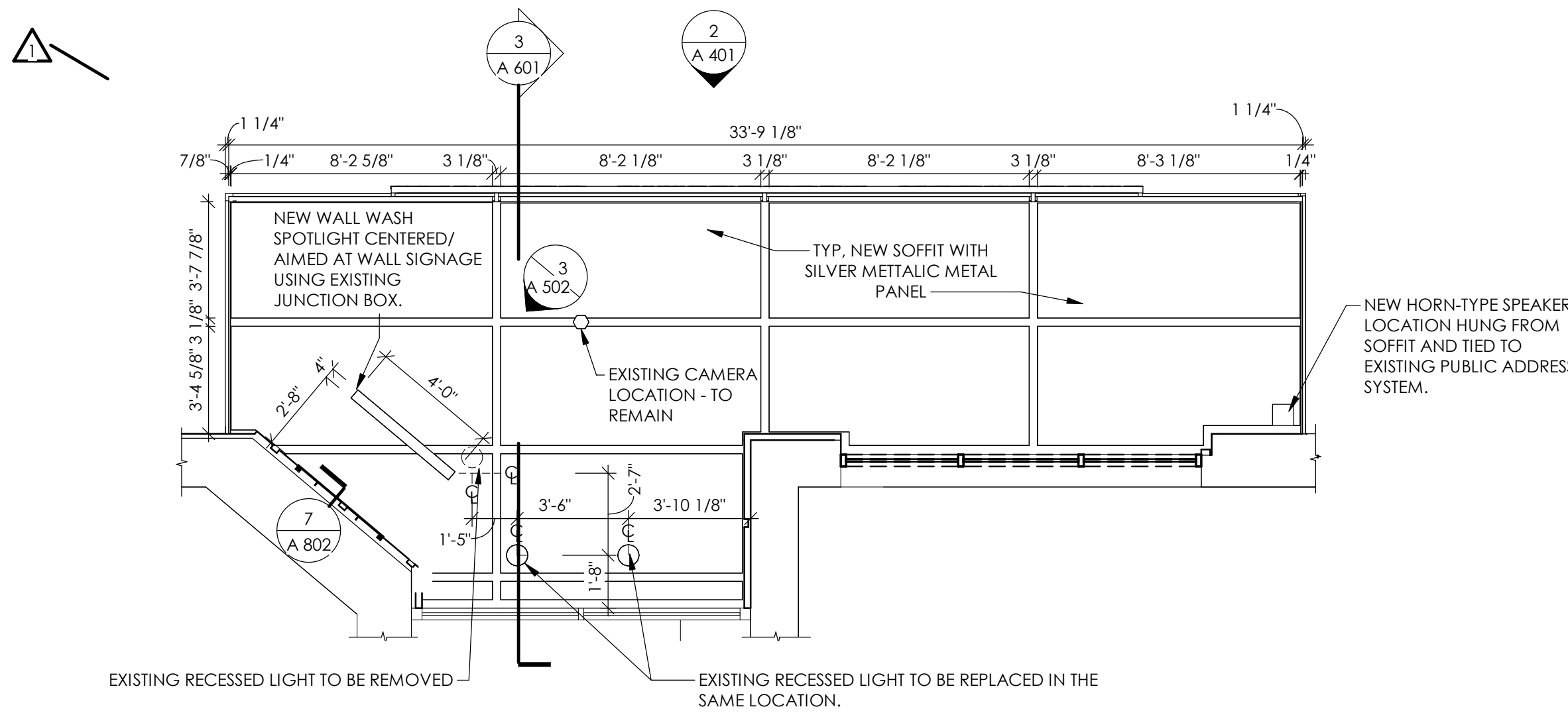
CHECKED BY: EJF

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302

PROJ. NO. 2021-91

GENERAL PLAN NOTES

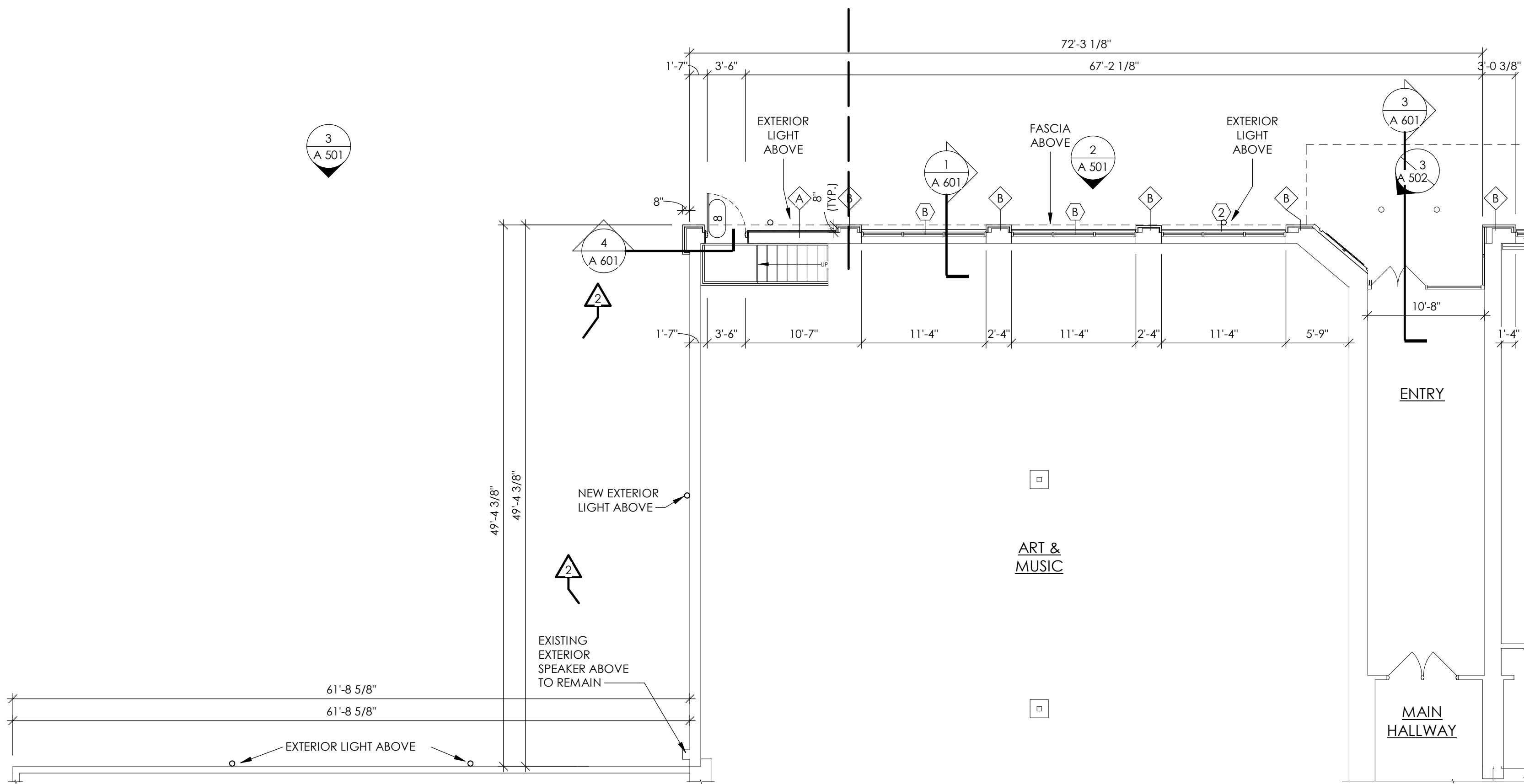
- 1/2" VERTICAL EXPANSION JOINTS ON BOTH SIDES OF PILASTERS



FIRST FLOOR REFLECTED CEILING - ENTRY CANOPY

SCALE: 1/4" = 1'-0"

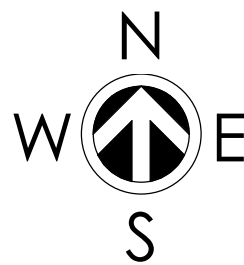
2
A 302



PARTIAL FIRST FLOOR PLAN - WEST

SCALE: 1/8" = 1'-0"

1
A 302



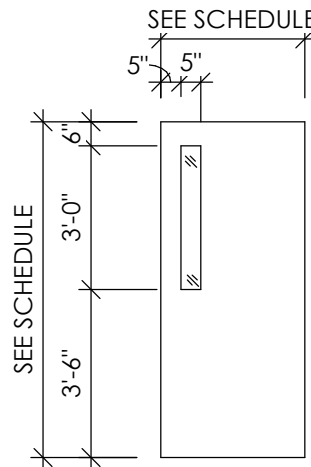
DOOR SCHEDULE												
DOOR NO.	DOOR				HARDWARE SET NO.	FRAME					FIRE RATING	REMARKS
	DOOR SIZE	ELEV.	MAT'L	GLASS TYPE		ELEV.	MAT'L	FRAME DEPTH	JAMB DETAIL	HEAD DETAIL		
2	3'-6" x 7'-0"	D-3	ALUM	1		F-1	ALUM	5 3/4"	1/A802	4/A802		EXISTING LOCK CYLINDERS TO BE REUSED IF POSSIBLE. NEW HARDWARE TO BE COMPATIBLE WITH CARD READER AND TIED INTO EXISTING SYSTEM. COORDINATE WITH OWNER HELD JSM SECURITY CARD READER CONSULTANT. JSM SECURITY TO REMOVE AND REINSTALL EXISTING CARD READER SYSTEM.
8	3'-6" x 7'-0"	D-3	ALUM	1		F-1	ALUM	5 3/4"	1/A802	4/A802	△	EXISTING LOCK CYLINDERS TO BE REUSED IF POSSIBLE. NEW HARDWARE TO BE COMPATIBLE WITH CARD READER AND TIED INTO EXISTING SYSTEM. COORDINATE WITH OWNER HELD JSM SECURITY CARD READER CONSULTANT. JSM SECURITY TO REMOVE AND REINSTALL EXISTING CARD READER SYST

GENERAL DOOR NOTES

- EXISTING DOOR 1 TO REMAIN. CARD READER AND DOOR BELL TO BE REMOVED AND REINSTALLED IN THE SAME OR SIMILAR LOCATION BY CARD READER OWNER HELD JSM SECURITY CONSULTANT. COORDINATE WITH JSM SECURITY.

GLASS TYPES

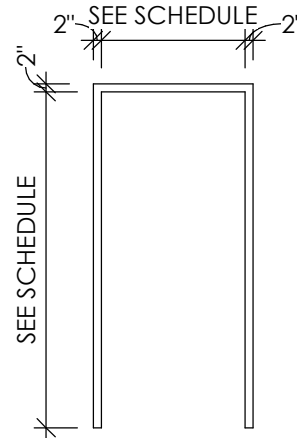
1	SEALED INSULATED "GLASS TYPE 1" PER SPEC 08 8000
2	SEALED INSULATED "GLASS TYPE 2" PER SPEC 08 8000



D-3

DOOR TYPE

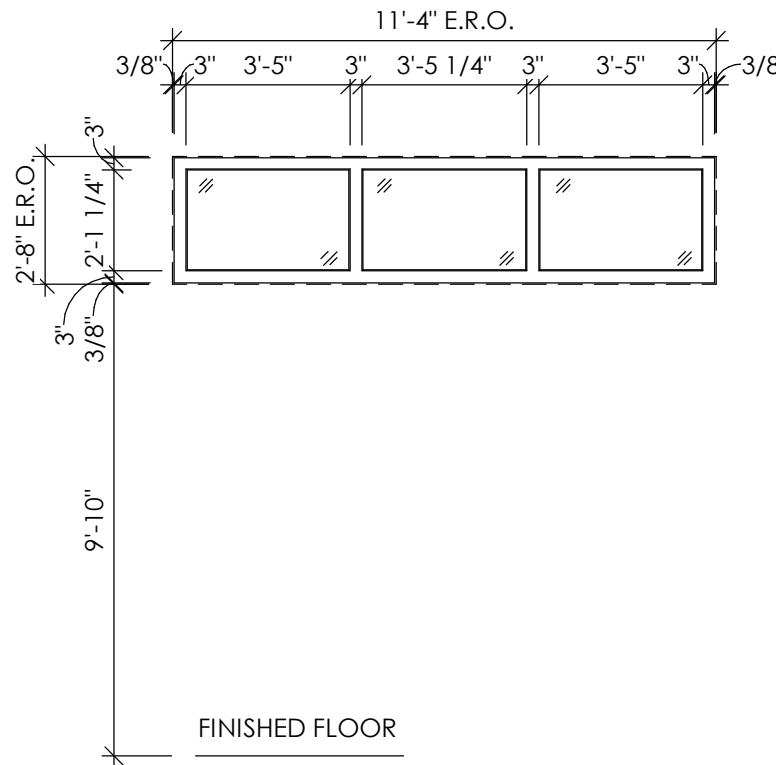
SCALE: 1/4" = 1'-0"



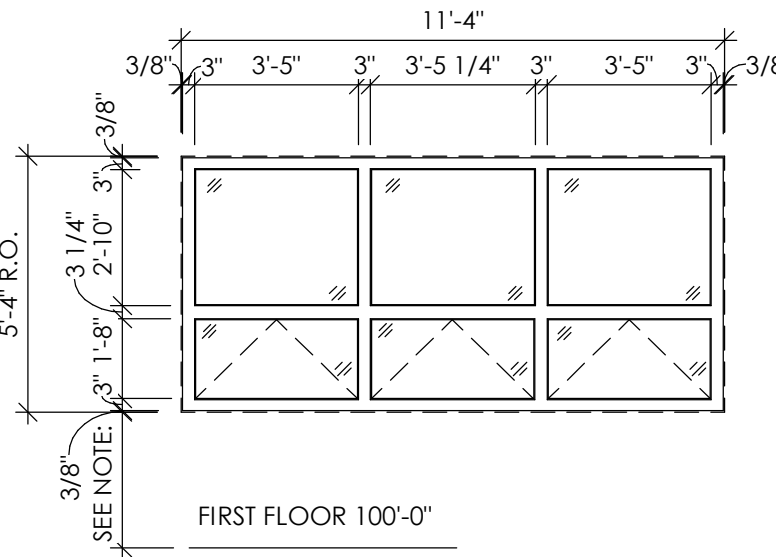
F-1

FRAME TYPE

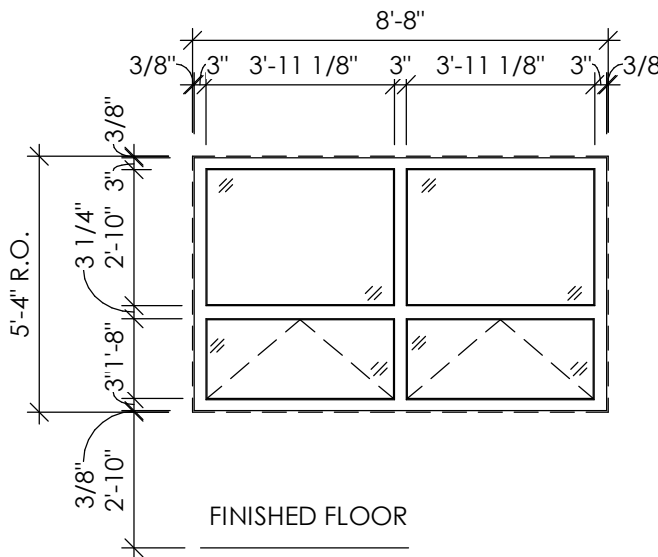
SCALE: 1/4" = 1'-0"



TYPE "C"



TYPE "B"

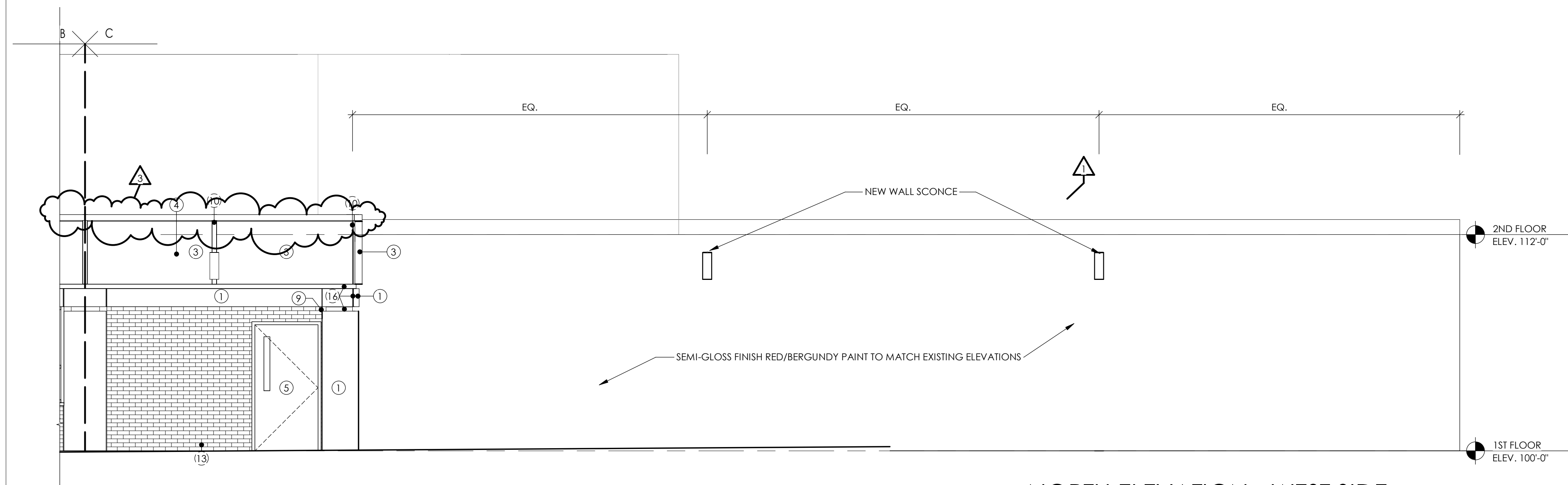


TYPE "A"

WINDOW TYPES

SCALE: 1/4" = 1'-0"

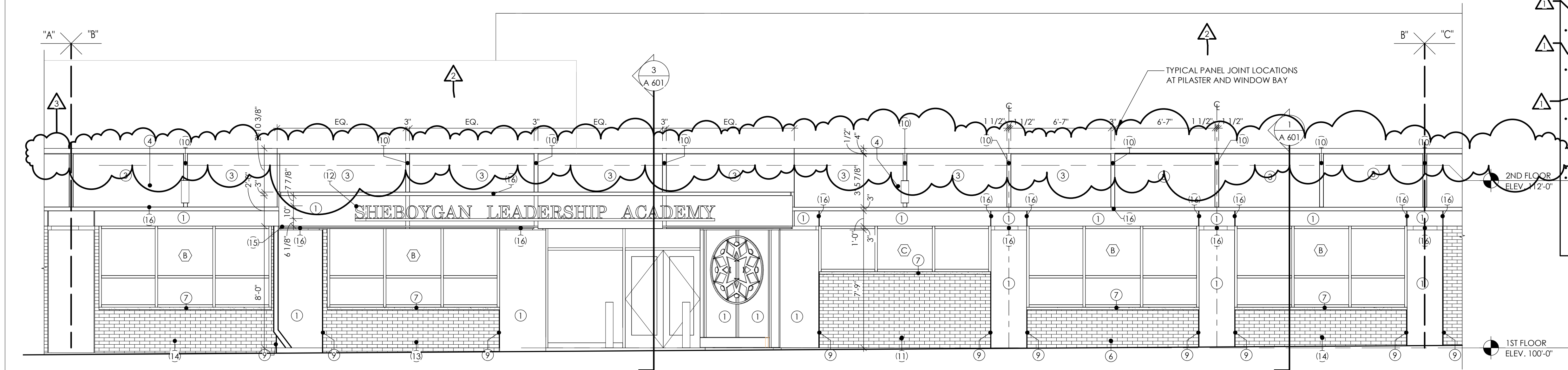
- NOTE:
- VERIFY ALL OPENINGS PRIOR TO FABRICATION
 - ALL TYPE "B" WINDOWS WILL BE INSTALLED USING FIRST FLOOR AT 100'-0"
 - OPERATIONAL WINDOW WILL INCLUDE INTEGRAL HAND CRANKS, METAL MESH SCREENS AND LIMITER TO 4" MAX.
 - OPERATIONAL WINDOWS WILL BE "GLASS TYPE 2".
 - NON-OPERATIONAL WINDOW WILL BE "GLASS TYPE 2".



NORTH ELEVATION - WEST SIDE

SCALE: 1/4" = 1'-0"

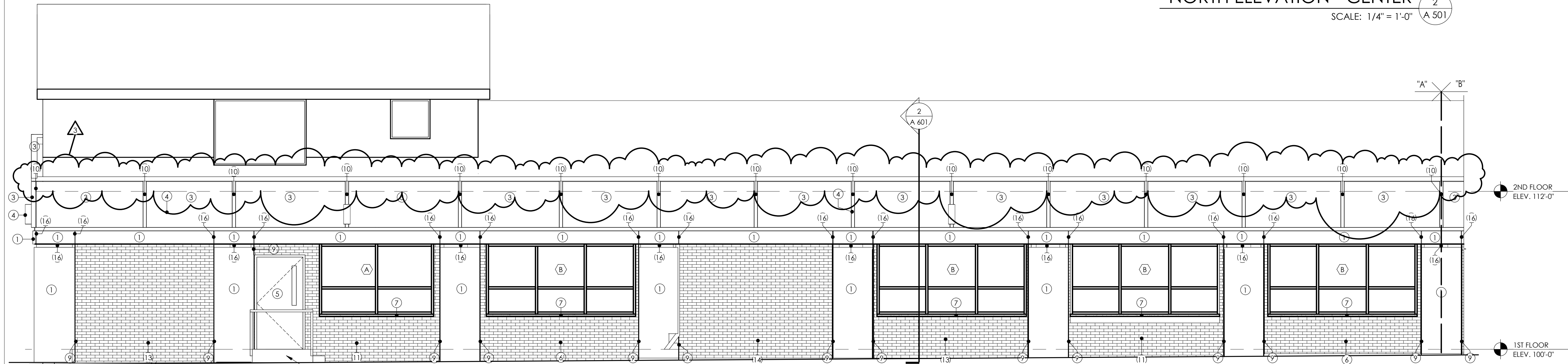
3
A 501



NORTH ELEVATION - CENTER

SCALE: 1/4" = 1'-0"

2
A 501



NORTH ELEVATION - EAST SIDE

SCALE: 1/4" = 1'-0"

1
A 501

ELEVATION KEYNOTES

NO.	DESCRIPTION
1	"SILVER METALLIC" ALUCOBOND AMC PANEL
2	NEW DOOR AND FRAME TO MATCH EXISTING OPENING
3	HORIZONTAL WOOD GRAIN "CHESTNUT"ALUCOBOND AMC PANEL
4	NEW EXTERIOR LIGHT IN EXISTING JUNCTION BOX. CHIASSO ALUM. 2 LIGHT CYLINDER OUTDOOR WALL LANTERN - 5in Wx 14.25in H x 8in D - WARM BRASS
5	NEW DOOR TO MATCH EXISTING DOOR SIZE.
6	"BARN RED GLOSSY" THIN BRICK VENEER SYSTEM
7	ADHERED THIN BRICK SILL
9	EXPANSION JOINT 1/2" THROUGH VENEER AND MESH TO EXISTING SUBFACE
10	WOOD GRAIN AMC REVEAL INSERT CHANNEL
11	"MOSS GLOSSY" THIN BRICK VENEER SYSTEM
12	SIGNAGE WITH CHANNEL ON STUDS. SEE WALL SECTION. 10" "CENTURY" TYPE FONT
13	"DARK DENIM GLOSSY" THIN BRICK VENEER SYSTEM
14	"TOOTSIE ROLL GLOSSY" THIN BRICK VENEER SYSTEM
15	NEW SPEAKER SYSTEM REUSING EXISTING WIRING
16	"SILVER METALLIC" AMC REVEAL INSERT CHANNEL

GENERAL EXTERIOR ELEVATION NOTES

- WORK INCLUDES RESTORATION OF FAILING STUCCO AND POSSIBLE TUCK-POINTING ANY AND ALL AREAS OF BRICK/ BLOCK AREAS SHOWING EFFLORESCENCE ON NORTH, EAST AND WEST ELEVATIONS WITHIN THE EXTENTS OF NEW ELEVATION MATERIALS
- MASONRY COURSING SHOWN FOR MATERIAL REPRESENTATION ONLY. ACTUAL COURSING MAY VARY.
- EXISTING ELECTRICAL FIXTURES, AND CAMERAS ARE TO BE INCORPORATED INTO FACIA IN SIMILAR LOCATION AFTER RENOVATION USING JUNCTION BOX EXTENSION CUT THROUGH MCM PANEL. CAULK AND SEAL ALL PENETRATIONS TO MAKE WATER TIGHT.
- ALL WATER SPICOTS ARE TO REMAIN AND BE CUT THROUGH NEW ELEVATION MATERIALS OR PROVIDED RECESS WITH OPENING AND FINISHED TO MATCH ADJACENT NEW MATERIALS AND APPEAR AS PART OF THE NEW ELEVATION.
- PUBLIC ADDRESS SYSTEM TO BE RELOCATED INTO SOFFIT OF CANOPY. EXISTING VIDEO CAMERAS TO BE REMOVED, STORED AND REINSTALLED AFTER NEW ELEVATION CLADDING INSTALLED.



REVISIONS:

ADDENDUM # 01 04/01/22
ADDENDUM # 02 04/19/22
ADDENDUM # 03 04/21/22

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK

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ISSUE DATE: MARCH 18, 2022

FACADE RENOVATION

SHEBOYGAN LEADERSHIP ACADEMY

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1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 (920) 452-4444 | 225 EAST ST. PAUL AVE. MILWAUKEE, WI 53202 (414) 837-6450

CONTRACT DOCUMENTS

DRAWN BY: EJF

CHECKED BY: TN

A
501

PROJ. NO. 2021-91

ELEVATION KEYNOTES	
NO.	DESCRIPTION
1	"SILVER METALLIC" ALUCOBOND AMC PANEL
2	NEW DOOR AND FRAME TO MATCH EXISTING OPENING
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GENERAL EXTERIOR ELEVATION NOTES	
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	ALL WATER SPIGOTS ARE TO REMAIN AND BE CUT THROUGH NEW ELEVATION MATERIALS OR PROVIDED RECESS WITH OPENING AND FINISHED TO MATCH ADJACENT NEW MATERIALS AND APPEAR AS PART OF THE NEW ELEVATION.
	PUBLIC ADDRESS SYSTEM TO BE RELOCATED INTO SOFFIT OF CANOPY.
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ISSUE DATE: MARCH 18, 2022
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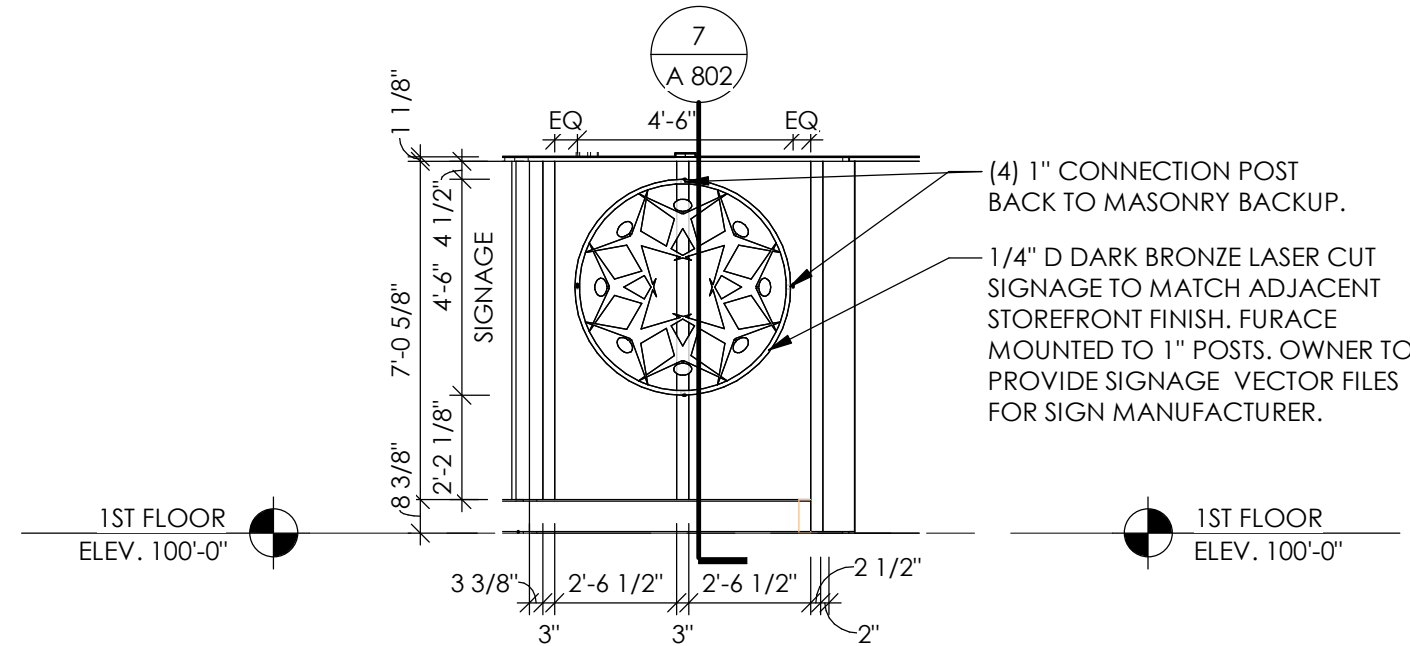
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CHECKED BY: EJF

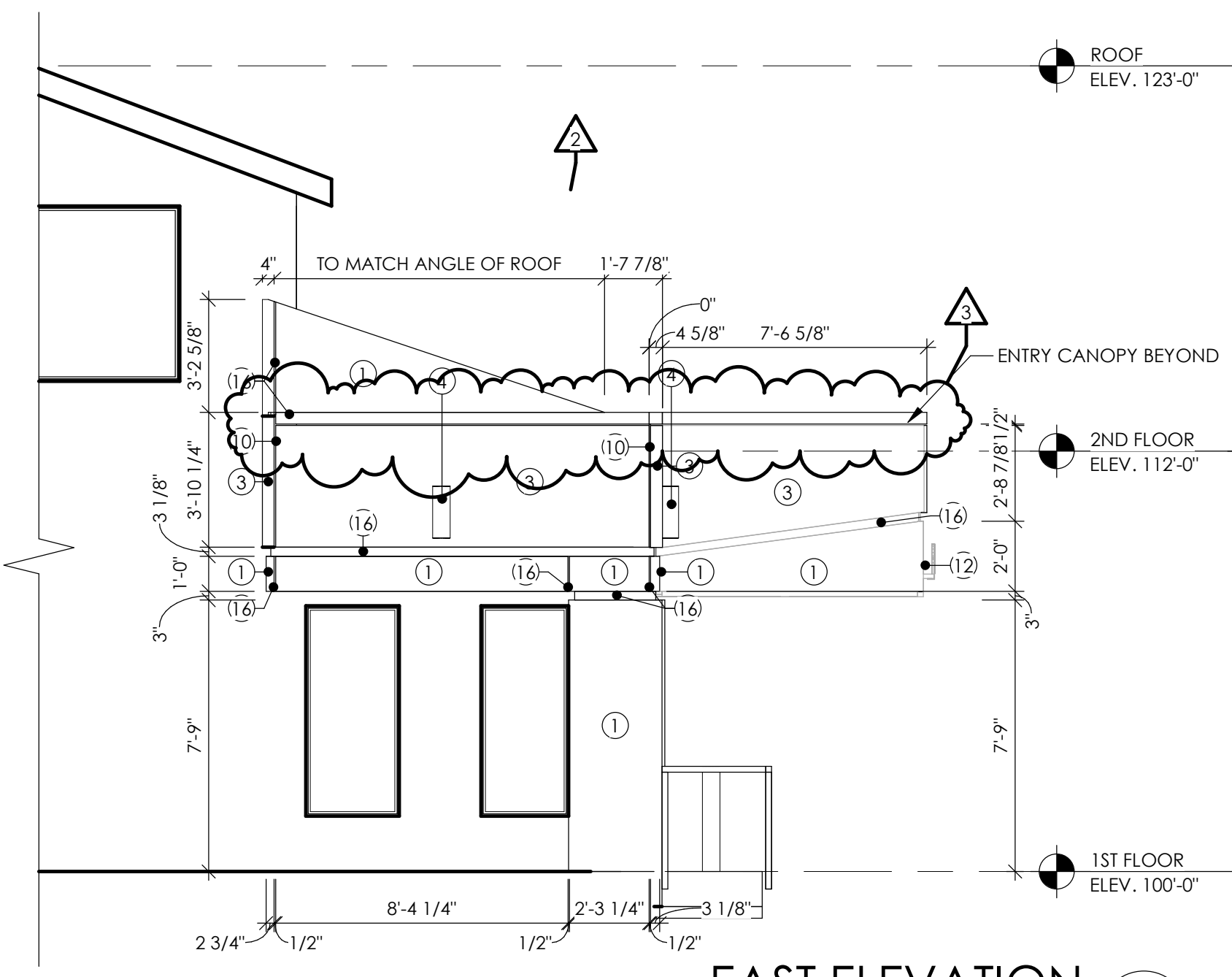
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PROJ. NO. 2021-91

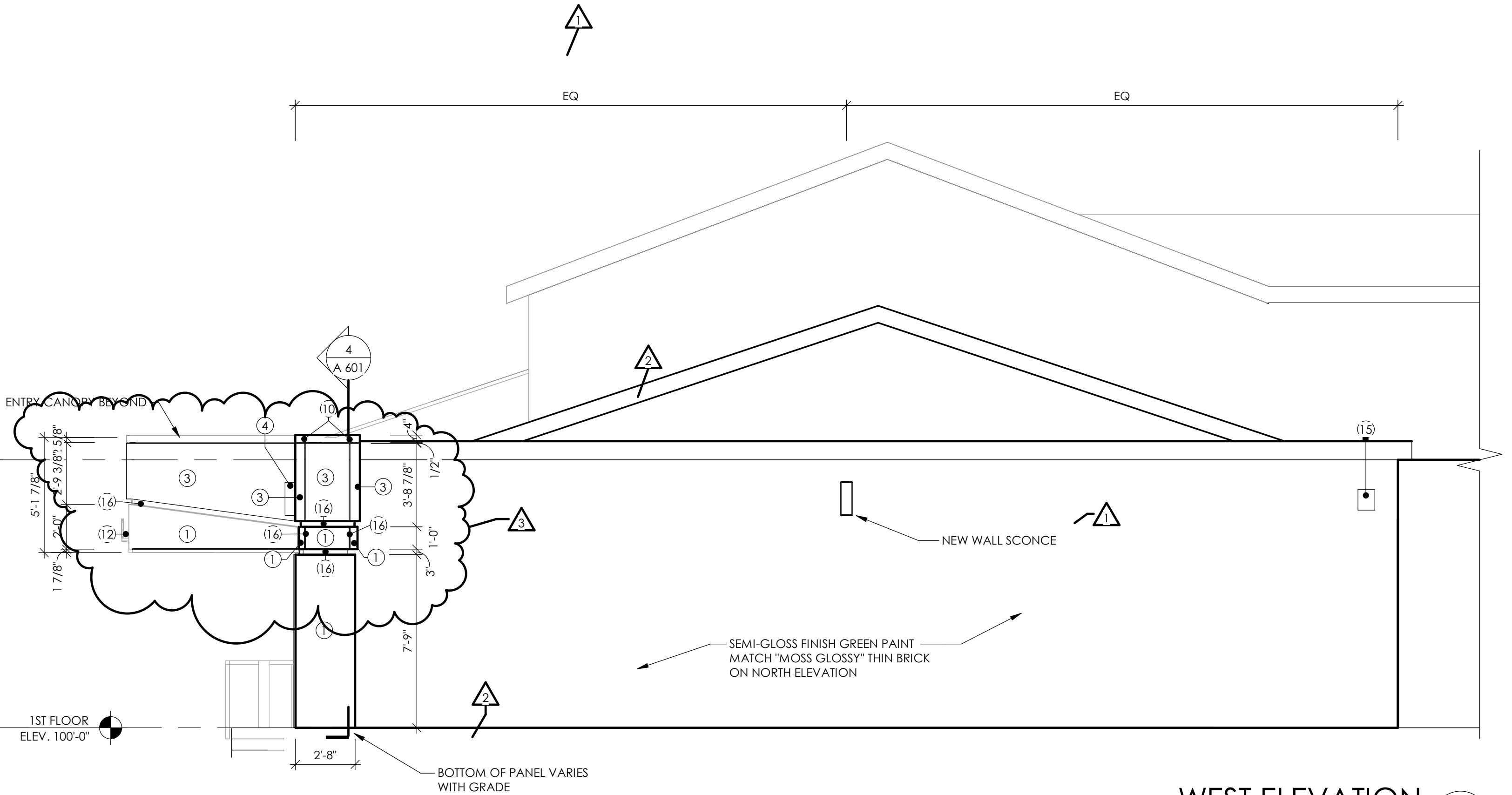
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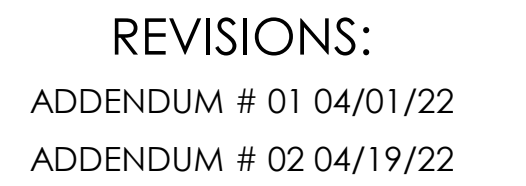
ELEVATION @ ENTRY WALL
SCALE: 1/4" = 1'-0" 3 A 502



EAST ELEVATION
SCALE: 1/4" = 1'-0" 2 A 502



WEST ELEVATION
SCALE: 1/4" = 1'-0" 1 A 502



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ROOF SYMBOLS

- TAPERED INSULATION ROOF DRAINAGE
TAPERED EPS INSULATION OVER
1" ISO INSULATION OVER
1 1/2" METAL DECK OVER
FLAT STRUCTURE
(SEE ROOF PLAN FOR
TAPERED INSULATION THICKNESS)
- SLOPED STRUCTURE ROOF DRAINAGE
1" ISO INSULATION OVER
1 1/2" METAL DECK OVER
SLOPED STRUCTURE
- ▨ TAPERED INSULATION SADDLE / EDGE
STRIP

GENERAL ROOF NOTES

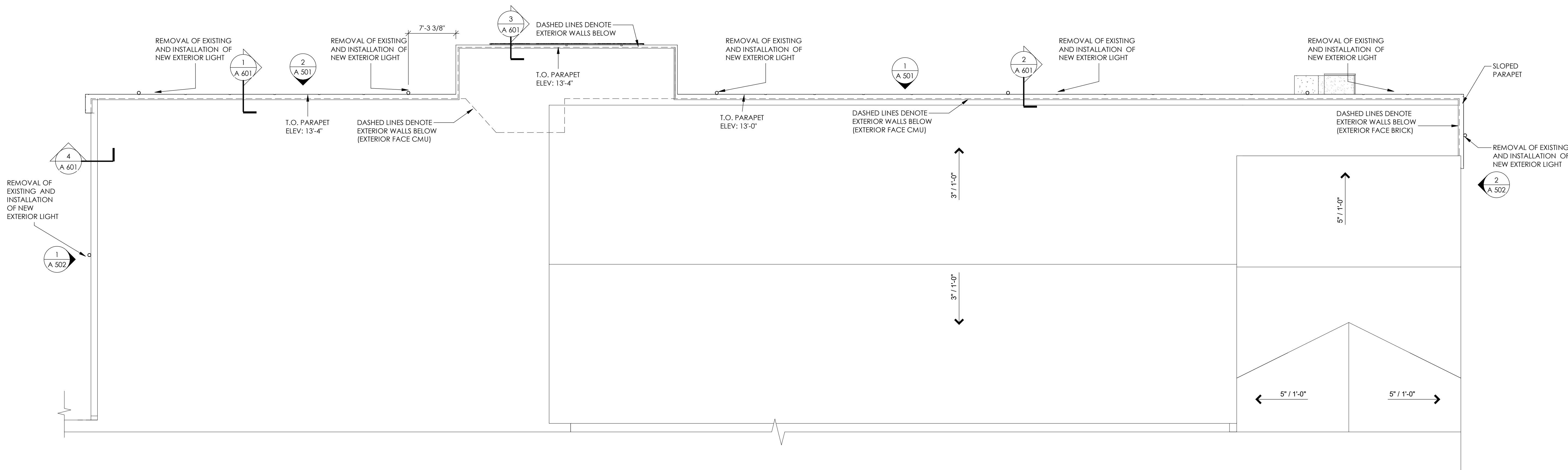
- ROOF CONTRACTOR IS RESPONSIBLE FOR ROOF DRAINAGE INCLUDING TAPERED INSULATION LAYOUT, CRICKETS & SADDLES. SEE STRUCTURAL PLANS AND COORDINATE WITH PLUMBING, HVAC AND ELECTRICAL CONTRACTORS FOR ROOF TOP PENETRATIONS. PROVIDE WATER TIGHT INTEGRITY AT ALL ROOF PENETRATIONS AND EQUIPMENT PER FSR MANUFACTURERS REQUIREMENTS AND CURRENT NRCA STANDARDS.
- TAPERED INSULATION SLOPE TO BE 1/8" PER 1'-0" MINIMUM.



REVISIONS:

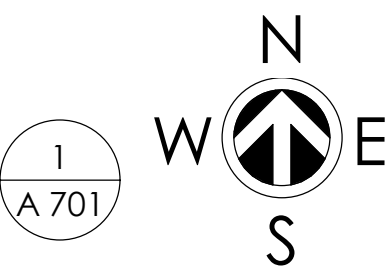
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PARTIAL ROOF PLAN

SCALE: 1/8" = 1'-0"



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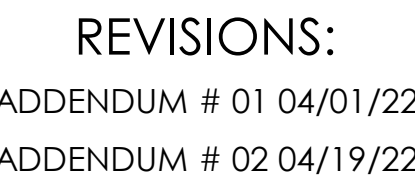
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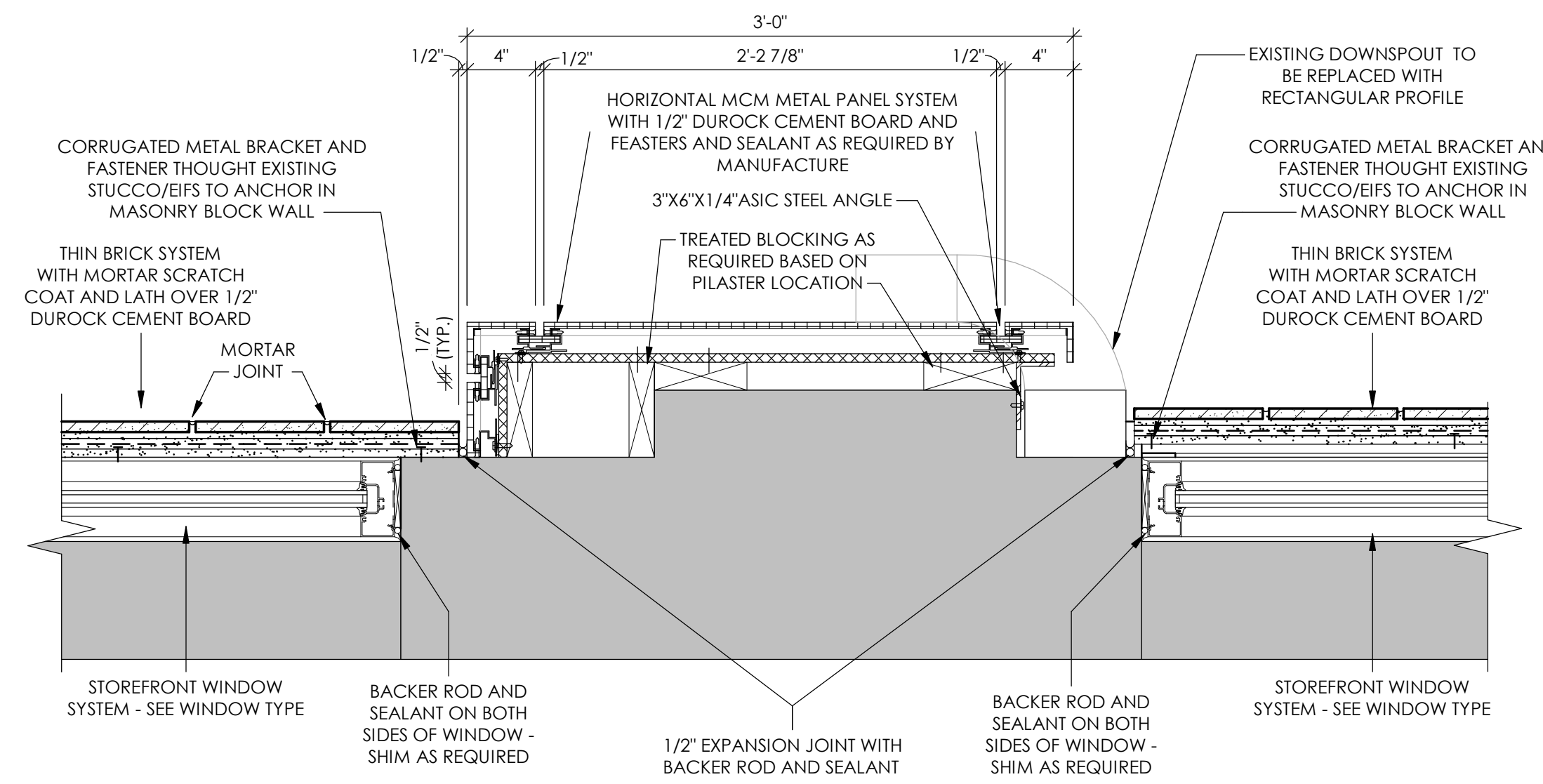
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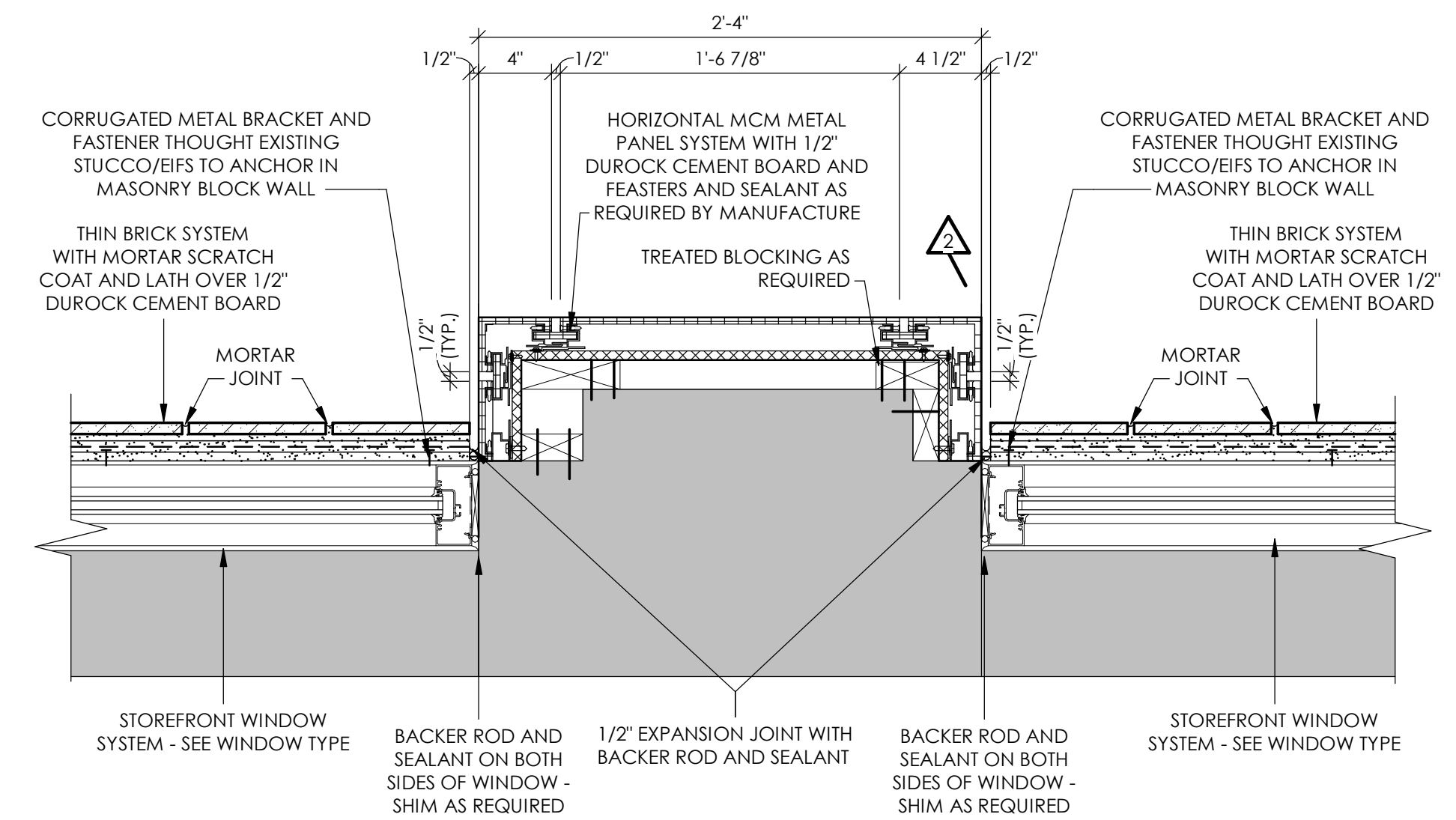
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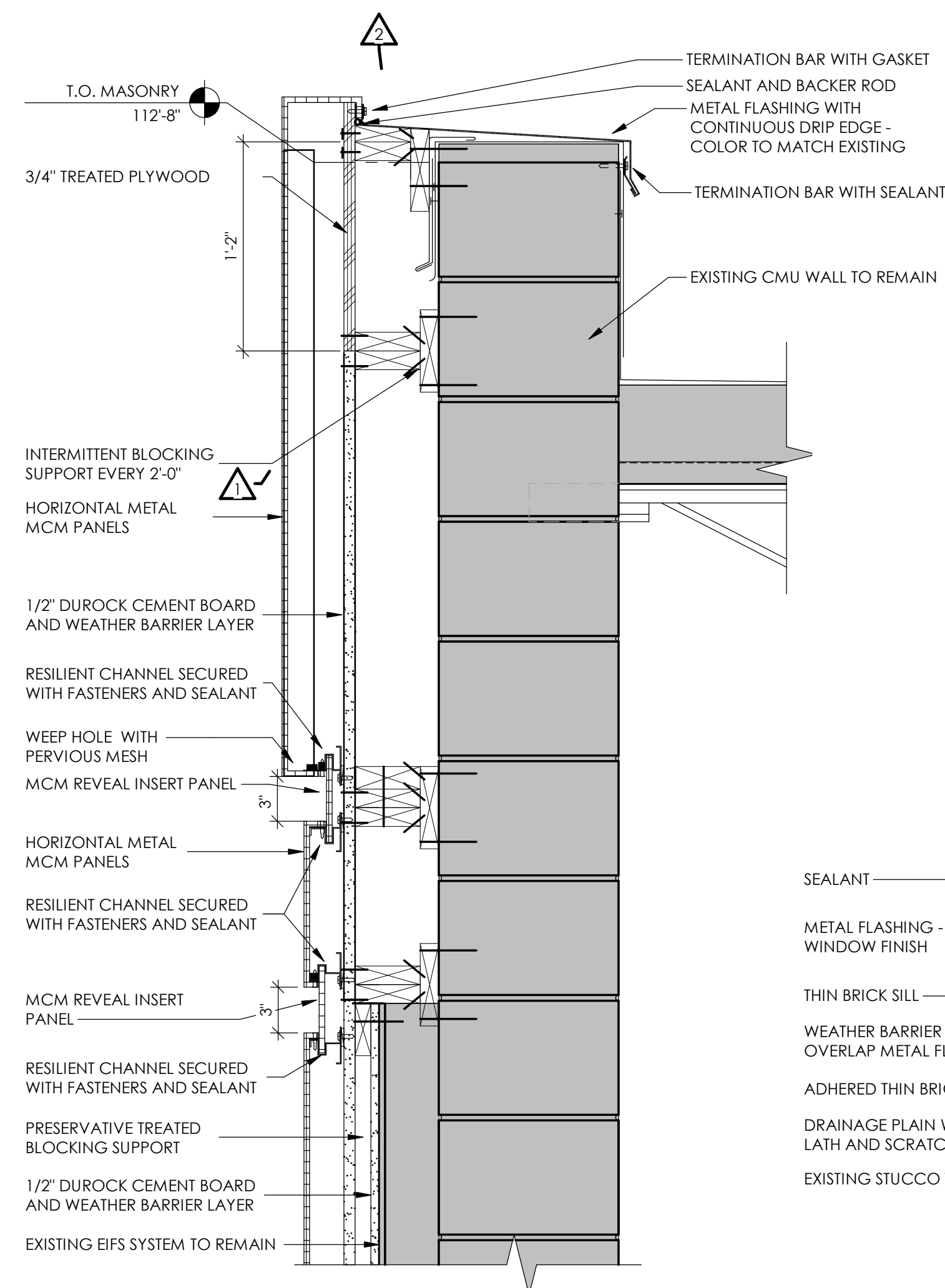
PROJ. NO. 2021-91



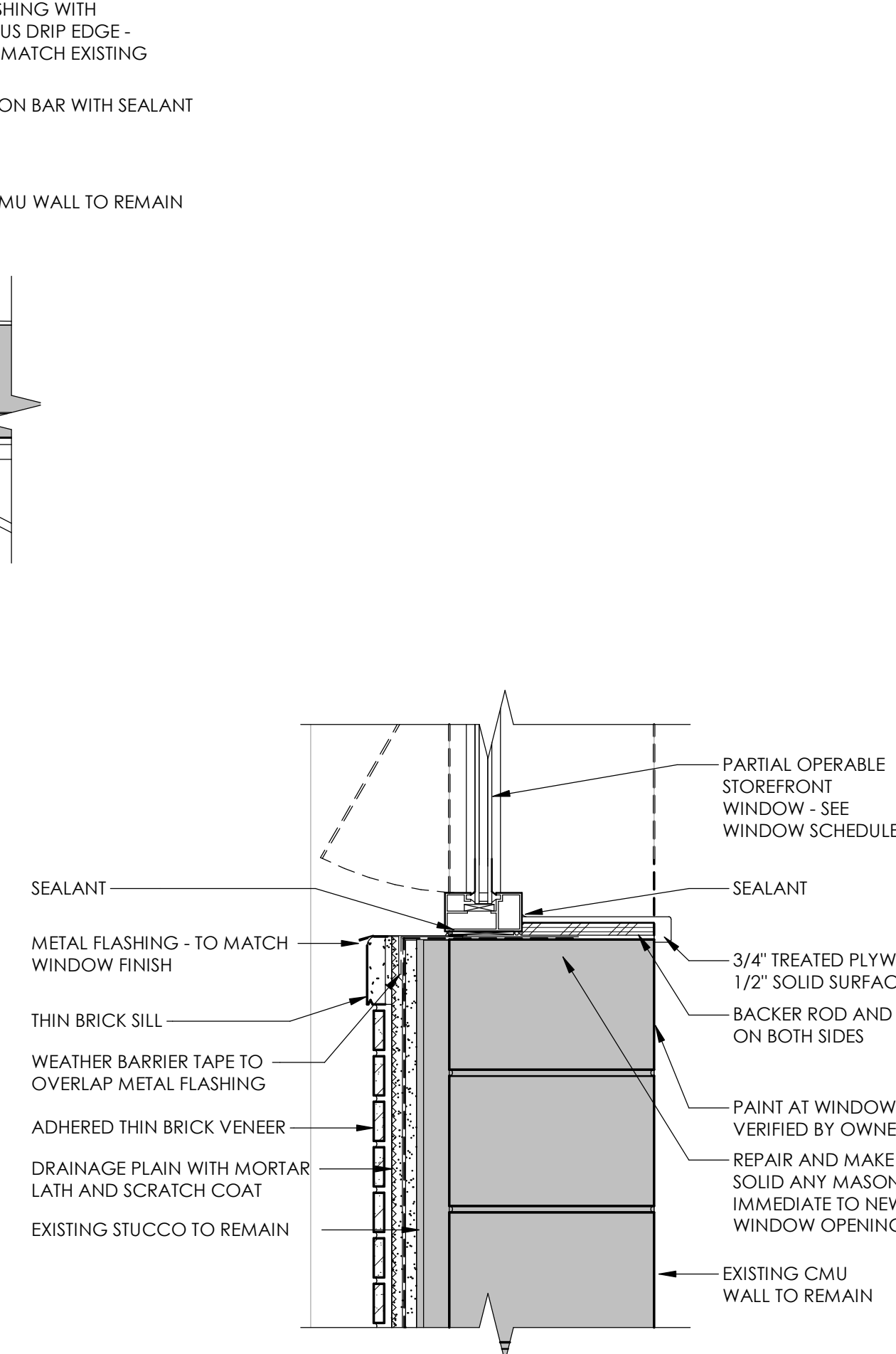
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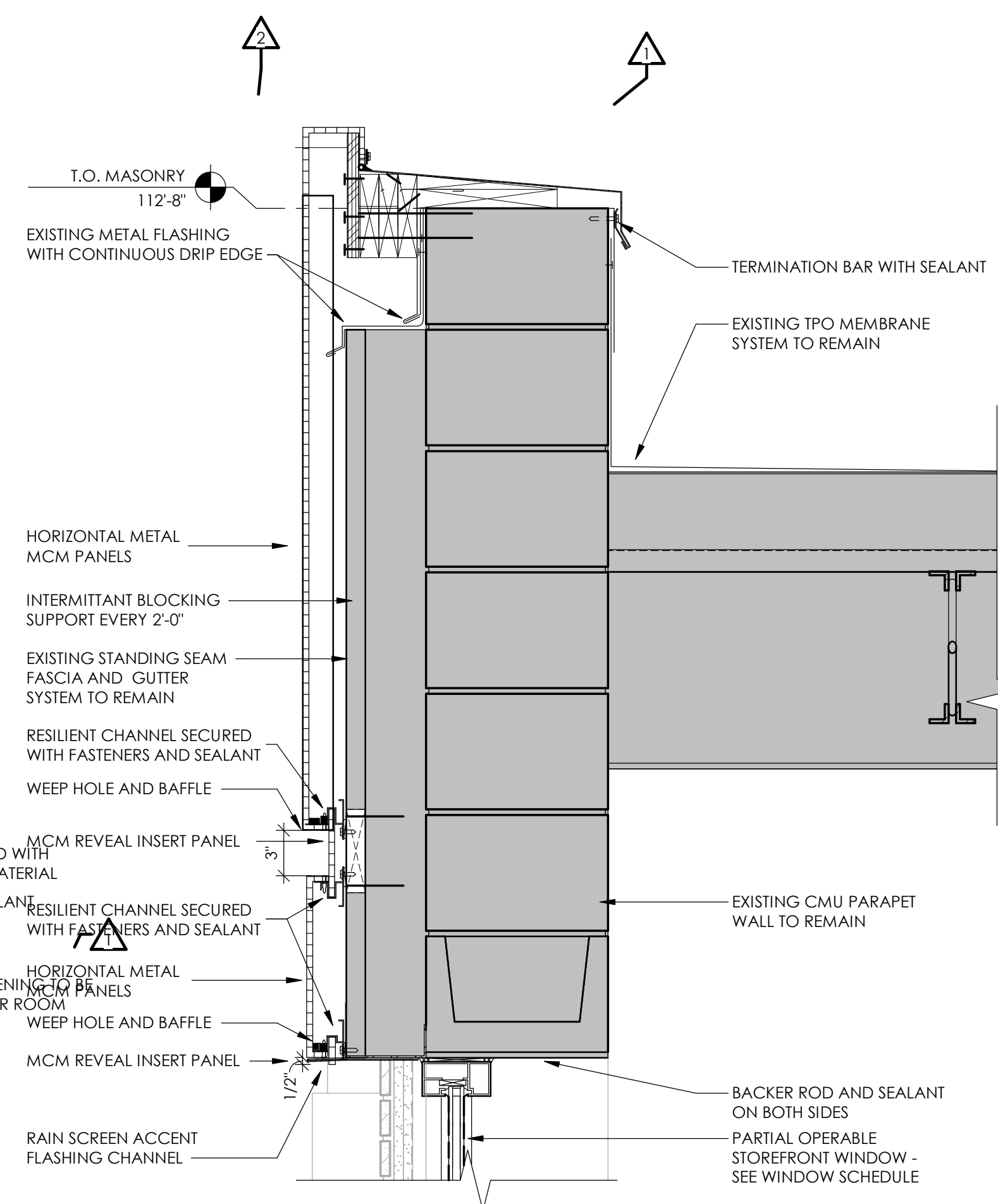
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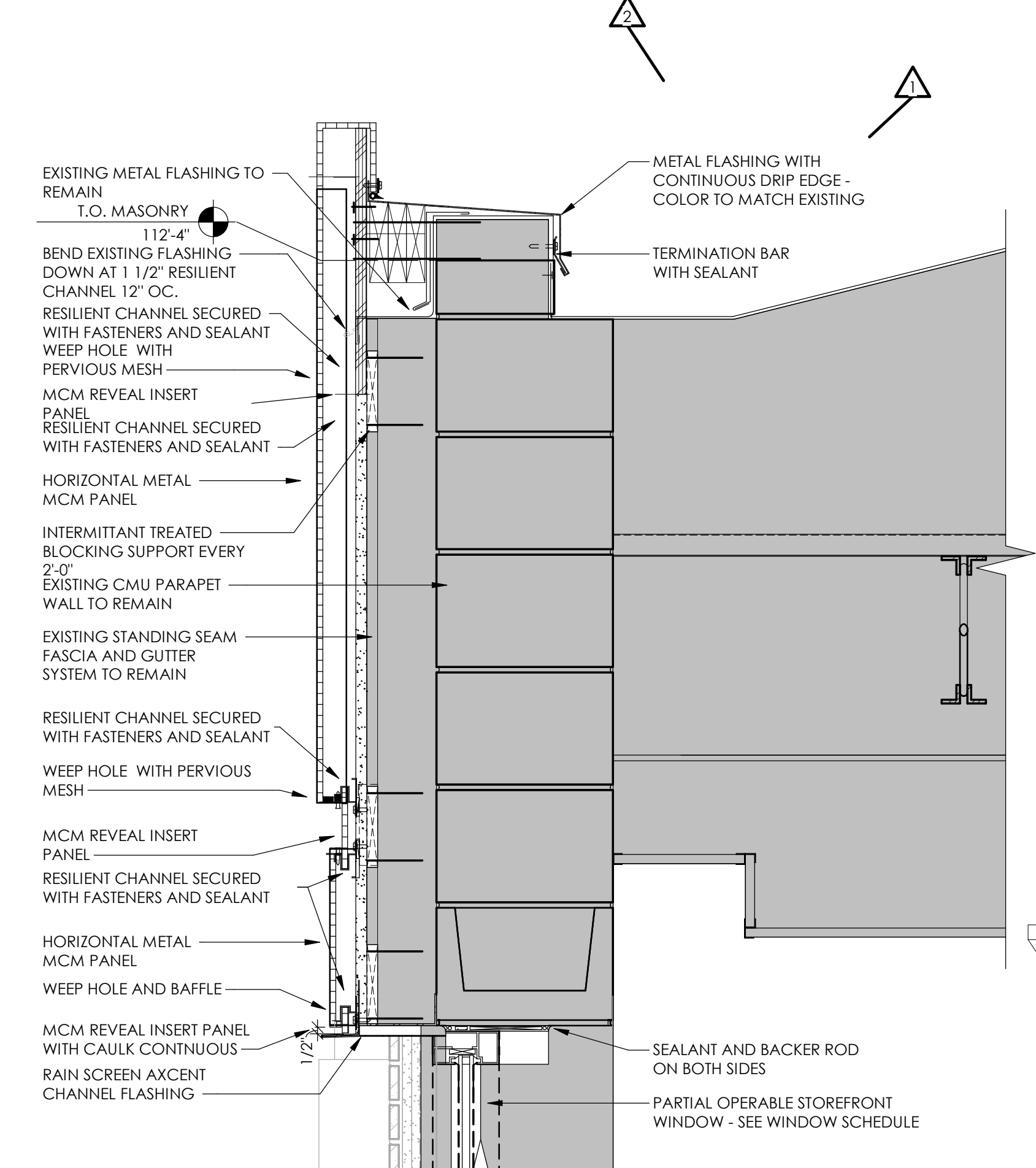
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SCALE: 1 1/2" = 1'-0"



SCALE: 1 1/2" = 1'-0"



SCALE: 1 1/2" = 1'-0"



REVISIONS:
ADDENDUM #01 04/01/2022
ADDENDUM # 02 04/19/22

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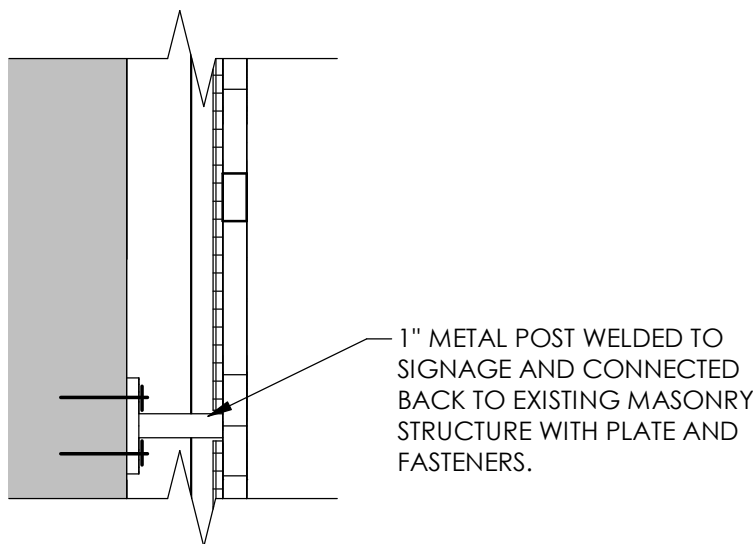
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DRAWN BY: MLJ

CHECKED BY: EJF

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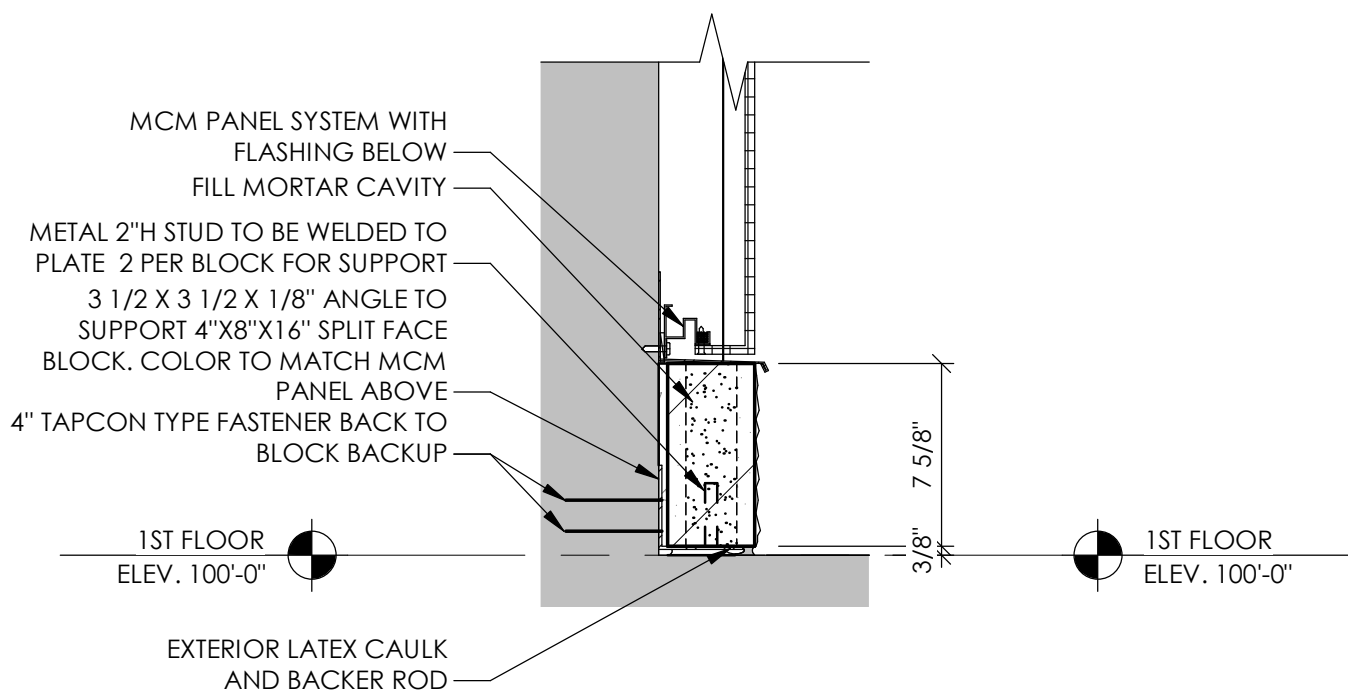
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ENTRY WALL CURB DETAIL

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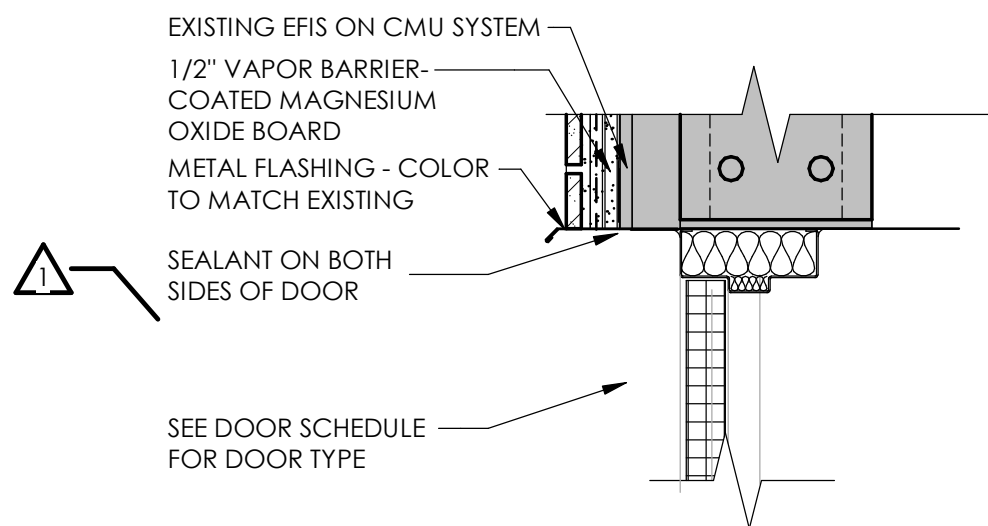
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DETAIL @ DOOR HEAD

SCALE: 1 1/2" = 1'-0"

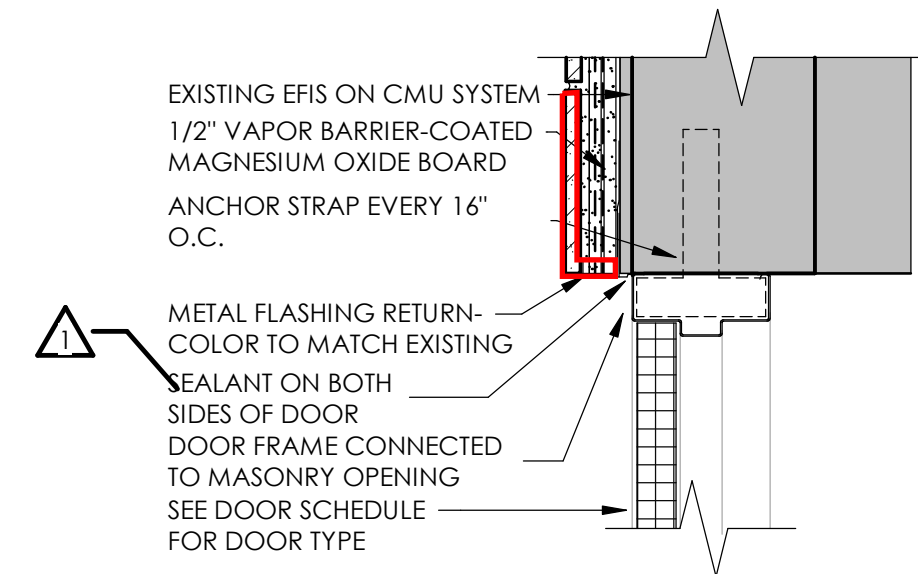
4
A 802



DETAIL @ DOOR JAMB

SCALE: 1 1/2" = 1'-0"

1
A 802









SHEBOYGAN LEADERSHIP ACADEMY



SHERBOYCAN LEADERSHIP ACADEMY





SHERBOYCAN LEADERSHIP ACADEMY









SHEBOYGAN LEADERSHIP ACADEMY



