
	CITY OF SHEBOYGAN	Fee: \$250.00
	APPLICATION FOR CONDITIONAL USE	Review Date: _____
		Zoning: _____

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Applicant Name (Ind., Org. or Entity) Partners for Community Development		Authorized Representative Joel Van Ess (Abacus Architects, Inc)	
Title Principal			
Mailing Address 1135A Michigan Ave	City Sheboygan	State WI	ZIP Code 53081
Email Address jvaness@abacusarchitects.net		Phone Number (incl. area code) 920-452-4444	
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Applicant Name (Ind., Org. or Entity) Urban Gateway, LLC		Contact Person Jeffery Henning	
Title Owner			
Mailing Address 3820 N. 13th Street	City Sheboygan	State WI	ZIP Code 53083
Email Address jefferyhenning@aol.com		Phone Number (incl. area code) 920-540-1234	
SECTION 3: Project or Site Location			
Project Address/Description Michigan Ave - NE Corner of Erie Ave and N. 13th Street		Parcel No. 59281204550, 04560, 04570, 04580	
SECTION 4: Proposed Conditional Use			
Name of Proposed/Existing Business:	Vacant Land. Residential Homes were demoloshied a few years back.		
Existing Zoning:	Urban Residential		
Present Use of Parcel:	Vacant Land. Used to be four residential homes that were demolished.		
Proposed Use of Parcel:	44 Unit Apartment Building w/ Underground Parking		
Present Use of Adjacent Properties:	Residential, Daycare, Burger King		
SECTION 5: Certification and Permission			
Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.			
Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.			
Name of Owner/Authorized Representative (please print) Joel Van Ess		Title Principal	Phone Number 920-452-4444
Signature of Applicant 		Date Signed 10-03-2023	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

ACTION BY CITY PLAN COMMISSION

DATE OF MEETING: _____

APPROVED: _____

CONDITIONALLY APPROVED: _____

DENIED: _____

CONDITIONS

SIGNATURE: _____
Chairperson, City Plan Commission or
Representative Dept. of City Development

DATE: _____

NOTES

Permits are valid until such time as the business no longer operates from the side. No yearly renewal is required.

Permit may be revoked without notice if misrepresentation of any of the above information or attachments is found to exist.

Permit shall expire in one (1) year from date of approval unless substantial work has commenced or business has begun operating.

Permit is null and void if issued in error. It is understood that any permit issued on this application will not grant any right or privilege to erect any structure or to use any permits for any purpose that is prohibited by the City Zoning Ordinance or any other State or local laws.

Changes in the plans or specifications submitted in the original application shall not be made without prior written approval of the City Plan Commission.

October 3, 2023

Conditional Use Written Explanation

Gateway Apartments
Sheboygan, Wisconsin

Project No. 2020-125

A. Name of Project/Development

Gateway Apartments

B. Summary of the Conditional Use and General Operation of Proposed Use

-Description of Existing Use:

The existing land is vacant. Four residential homes were demolished a few years back.

-Description of Proposed Use, why was this site selected?

The proposed Use will be a 44 unit apartment building. This site was selected after discussion with the City and agreement that this will be a great building/location for a "Gateway" entrance into the City downtown and Gateway neighborhood.

-Projected number of residents, employees, and/or daily customers:

As stated above the project will include a 44 unit apartment building. The exact number of residents is currently unknown. It is expected that there will be an apartment manager onsite at times.

-Proposed Number of Dwelling Units, Floor Area, Landscape Area, and parking area expressed in square feet and acreage:

Dwelling Units: 44 (1 Bed=35 units, 2 Bed=4 units, 3 Bed= 5 units)

Lower Level (Underground Parking)	= 14,486s.f.
1 st Floor	= 14,486s.f.
2 nd Floor	= 14,077s.f.
3 rd Floor	= 14,077s.f.
Total	= 57,126s.f.

Building Footprint:	= 14,486 s.f. (0.3326 Ac)
Parking (Ashphalt):	= 4,077 s.f. (0.0936 Ac)
Concrete Sidewalks:	= 1,659 s.f. (0.0381 Ac)
Permeable Pavers:	= 639 s.f. (0.0147 Ac)
Grass/Landscape:	= 6,240 s.f. (0.1433 Ac)
Total Site Area:	= 27,101 s.f (0.6222 Ac)



-Description of Proposed Building and all new site improvements:

The proposed building as can be seen in the included renderings will be a very nice apartment building. There will be 32 parking stalls located on the lower level and 13 additional spaces outside at grade. The exterior will be professionally landscaped and proper lighting will be provided per city/state codes. There will be a retaining wall located on the North Elevation along the alley. The entrance to the lower level parking will be off of N. 13th Street, close to the alley. The entrance into the exterior parking will be off of the alley. Most mechanicals will be located on the roof (out of sight). Any mechanicals that will need to be located at grade (Electric etc.) will be screened with landscaping. The dumpsters will be located in the lower level parking area.

-A written description of the proposed general orientation, design, arrangement, texture, material, and color of the building and how it is compatible with the development and redevelopment in and around the area:

The look, feel, orientation, and neighborhood compatibility were very important to the developer of this project. After many meetings with City Staff the included plans were developed. Our team and the City agreed that the mixture of brick, LP Smartsiding and Metal Clad Panel Siding with prefinished aluminum coping in the colors shown fit the location very well. The City wanted a prominent project as you entered the downtown area and everyone agreed this was the perfect site/project to provide that.

-An explanation of the interior and/or exterior renovations:

There are no renovations. This is a new building. Please see above for explanation.

-Is access appropriate and is there sufficient customer/resident of-street parking?

Based on discussions with City Staff we believe that the access to the site is sufficient and that there will be sufficient parking for the residents of the facility and guests.

-Proposed Signage

The proposed signage can be seen in the renderings. The sign will be located on the West and South Elevation and will be backlight.

-Project timeline and estimated value of Project

The estimated timeline is to start the project as soon as possible, hopefully sometime in November. The construction is expected to last 12-14 months. The current construction budget is approximately \$9,850,000.



-Compatibility of the proposed use and design with adjacent and other properties in the area:

As discussed many meetings were held to create a look and feel to this project that provides a prominent entrance into the downtown area. This building has commercial/restaurant on three sides (North, South, West) and residential to the east.

-How will you insure that the business will not become a nuisance to adjacent properties:

The building is a residential apartment project. Partners for Community Development will be managing the property and will help ensure that there will be no nuisances to adjacent properties.

C. If Applicable, please describe any exceptions/variances that are required for this project:

-Parking: The code currently requires 1.5 parking stalls per apartment. This project provides for 45 parking stalls, just over 1.0 parking stalls per apartment. The developer is seeking an exception/variance to allow for 45 parking stalls. The developer believes that 45 parking stalls is sufficient for this development.

-Building Height: The code allows for 35' building height, with additional through conditional Use permit. Because the site is located on a hill the lower level parking will be fully exposed on the west side of the site. The maximum height along the west elevation is 50'6".

The developer is seeking an exception/variance to allow for 50'6" building height.

-Building Setbacks:

Code states the following:

Side=10' Street=20' Rear=25'

Variance requested for Street Setback: Varies from 3.4' to 6.9'.

Variance requested for Side Yard Setback: Varies from 7.0' to 8.7'.

No variance requested for Rear Yard

-Landscaping:

Developer is requesting an exception from the locational and buffer yard landscape requirements



D. Written Justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate:

- a. *How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies, and standard of the City of Sheboygan Comprehensive Master Plan?*

The developer and design team have met with City Staff to ensure this development will meet the expectations of the site and the City Master Plan. Many iterations were completed to get to a plan the City staff thought met the desired goals of the site.

- b. *Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environment, traffic, parking, public improvements, public property, or rights-of-way.*

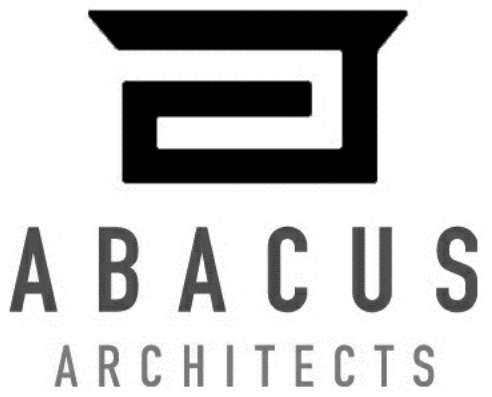
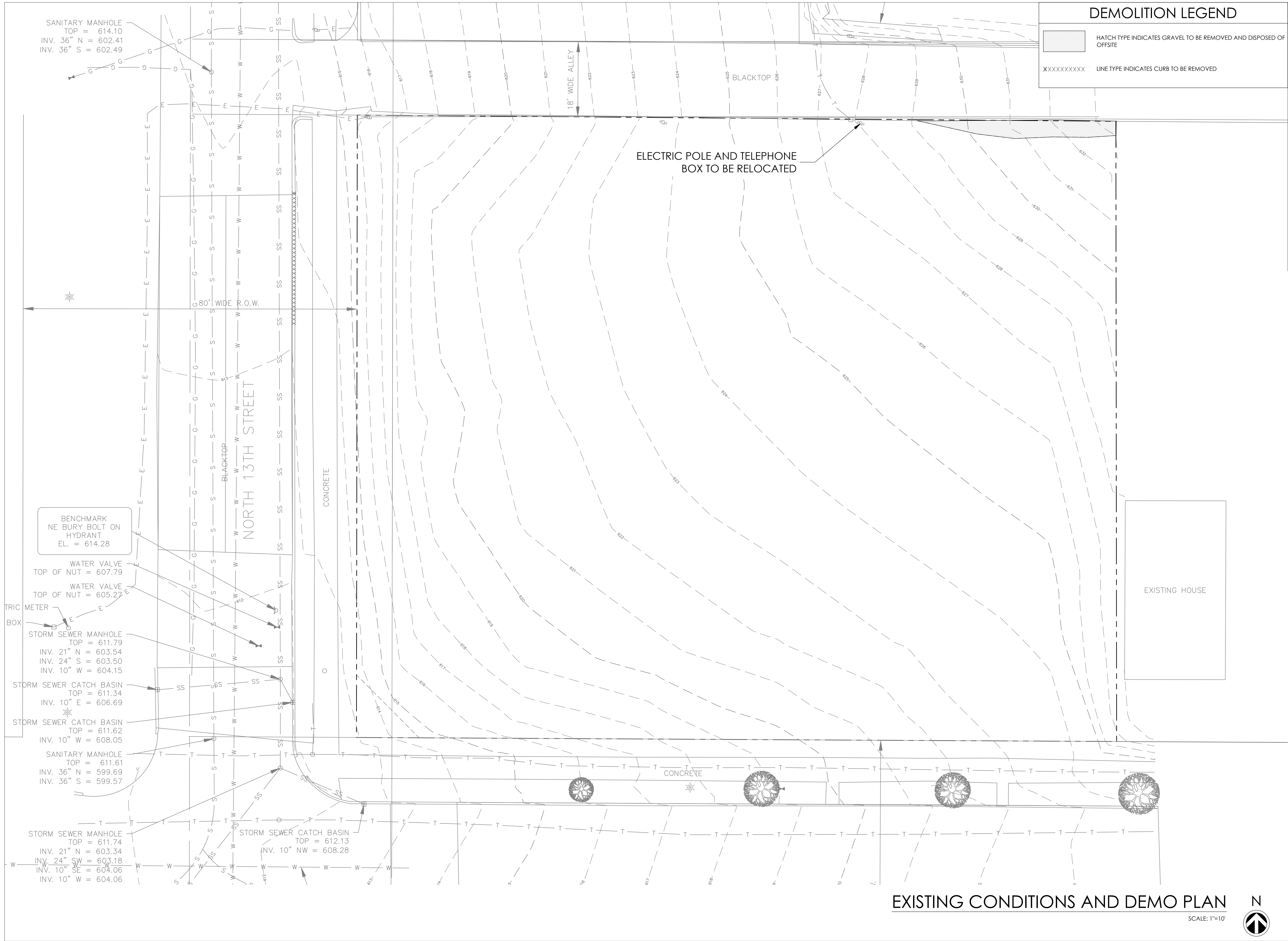
The developer believes that the project will be a great addition to the neighborhood and will not provide any adverse effects to the neighboring properties.

- c. *How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located?*

As discussed throughout this application the developer has met with City Staff numerous times to come up with a plan that maintains the desired consistency of land use to the setting within which the property is located. This project will be a great "Gateway" into this portion of the City of Sheboygan.

- d. *Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies?*

Yes this site is adequately served by all utilities needed for this development.



REVISIONS:

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

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September 29, 2023

NEW CONSTRUCTION

GATEWAY APARTMENTS

NORTH 13TH STREET, SHEBOYGAN, WI 53083

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 (920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE WI 53202 (414) 837-6450

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PROJ. NO. 2020-125

September 29, 2023

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SITE PROPERTIES
TOTAL NON-ROOF IMPERVIOUS AREA: 5,172 SQFT (0.12 AC)



REVISIONS:

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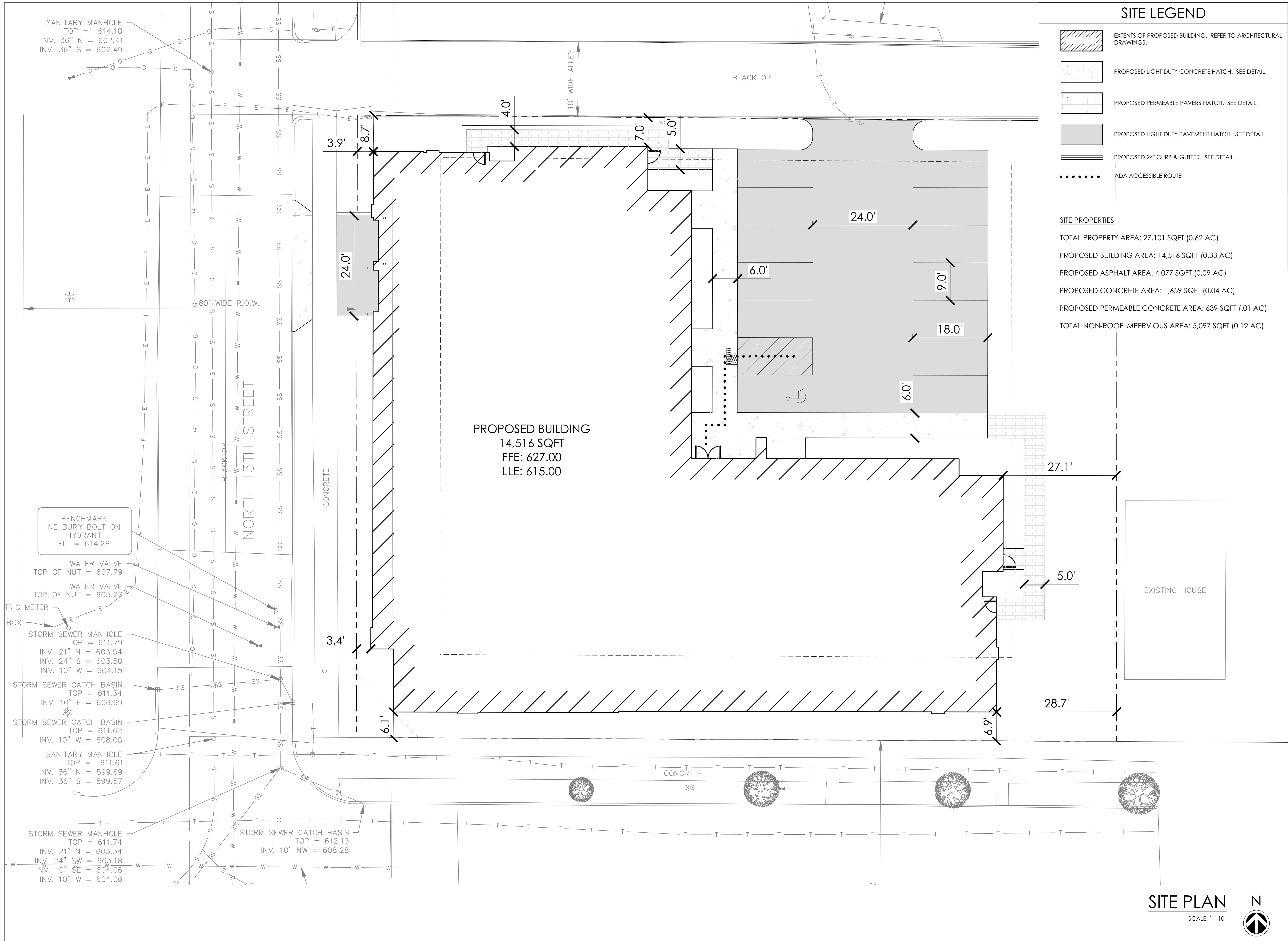
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PROJ. NO. 2020-125

SITE PLAN
SCALE: 1"=10'





SITE LEGEND

- EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
- PROPOSED LIGHT DUTY CONCRETE HATCH. SEE DETAIL.
- PROPOSED PERMEABLE PAVERS HATCH. SEE DETAIL.
- PROPOSED LIGHT DUTY PAVEMENT HATCH. SEE DETAIL.
- PROPOSED 24" CURB & GUTTER. SEE DETAIL.
- ADA ACCESSIBLE ROUTE

SITE PROPERTIES

- TOTAL PROPERTY AREA: 27,101 SQFT (0.62 AC)
- PROPOSED BUILDING AREA: 14,516 SQFT (0.33 AC)
- PROPOSED ASPHALT AREA: 4,077 SQFT (0.09 AC)
- PROPOSED CONCRETE AREA: 1,659 SQFT (0.04 AC)
- PROPOSED PERMEABLE CONCRETE AREA: 639 SQFT (.01 AC)
- TOTAL NON-ROOF IMPERVIOUS AREA: 5,097 SQFT (0.12 AC)



REVISIONS:

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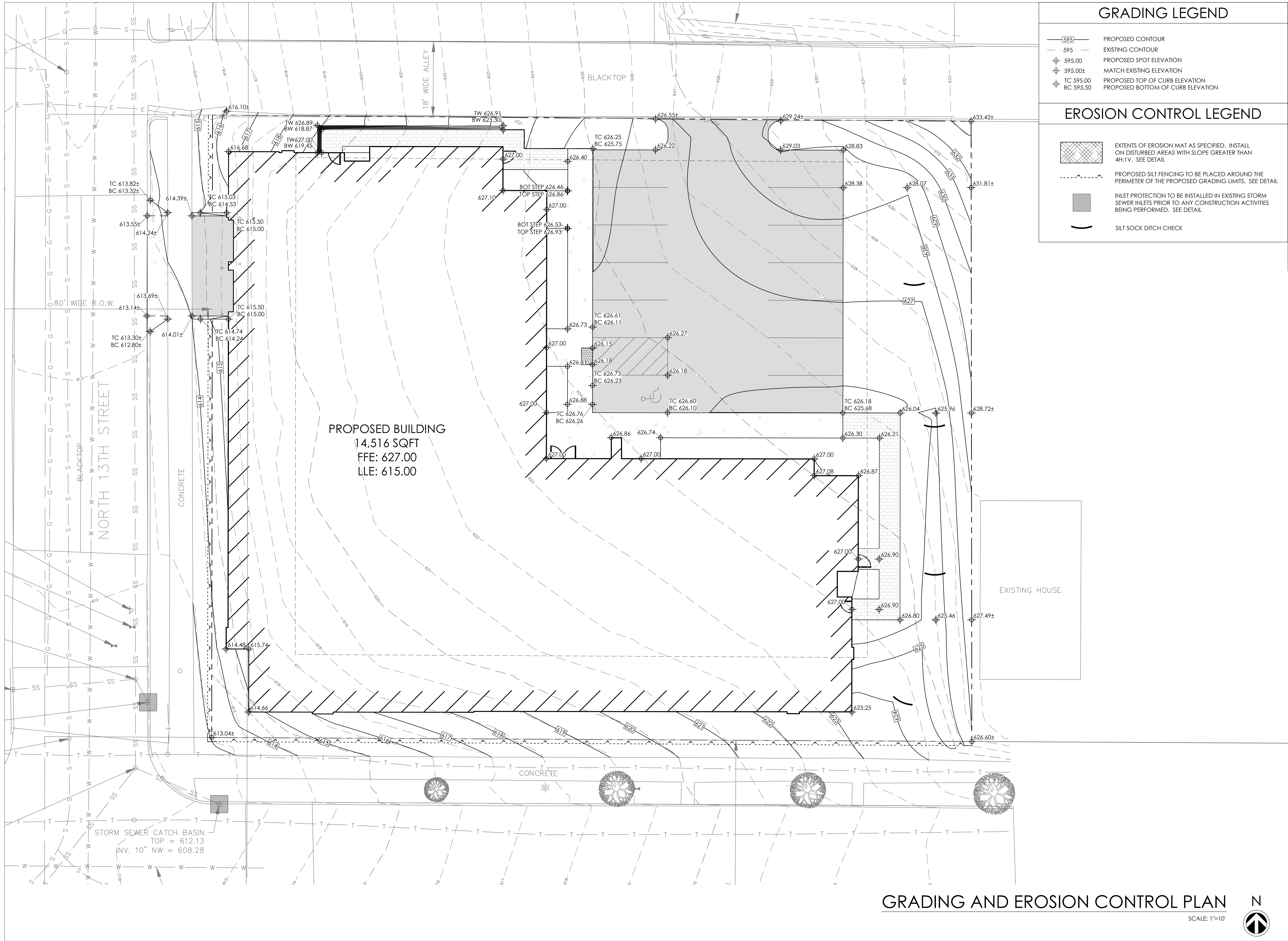
SITE PLAN

SCALE: 1"=10'



September 29, 2023

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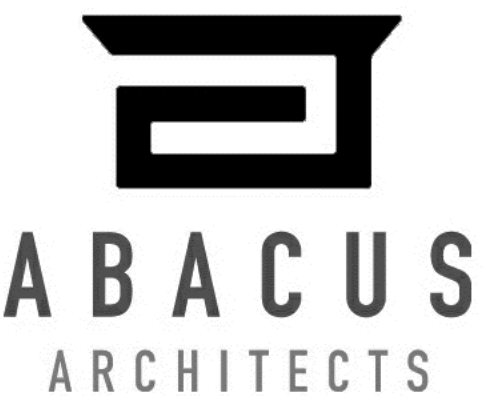


GRADING LEGEND

- 595 — PROPOSED CONTOUR
- 595 - EXISTING CONTOUR
- ⊕ 595.00 PROPOSED SPOT ELEVATION
- ⊕ 595.00± MATCH EXISTING ELEVATION
- ⊕ TC 595.00 PROPOSED TOP OF CURB ELEVATION
- ⊕ BC 595.50 PROPOSED BOTTOM OF CURB ELEVATION

EROSION CONTROL LEGEND

- EXTENTS OF EROSION MAT AS SPECIFIED. INSTALL ON DISTURBED AREAS WITH SLOPE GREATER THAN 4H:1V. SEE DETAIL
- PROPOSED SILT FENCING TO BE PLACED AROUND THE PERIMETER OF THE PROPOSED GRADING LIMITS. SEE DETAIL
- INLET PROTECTION TO BE INSTALLED IN EXISTING STORM SEWER INLETS PRIOR TO ANY CONSTRUCTION ACTIVITIES BEING PERFORMED. SEE DETAIL
- SILT SOCK DITCH CHECK



REVISIONS:

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September 29, 2023

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GRADING AND EROSION CONTROL PLAN

SCALE: 1"=10'



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NEW CONSTRUCTION

GATEWAY APARTMENTS

NORTH 13TH STREET, SHEBOYGAN, WI 53083
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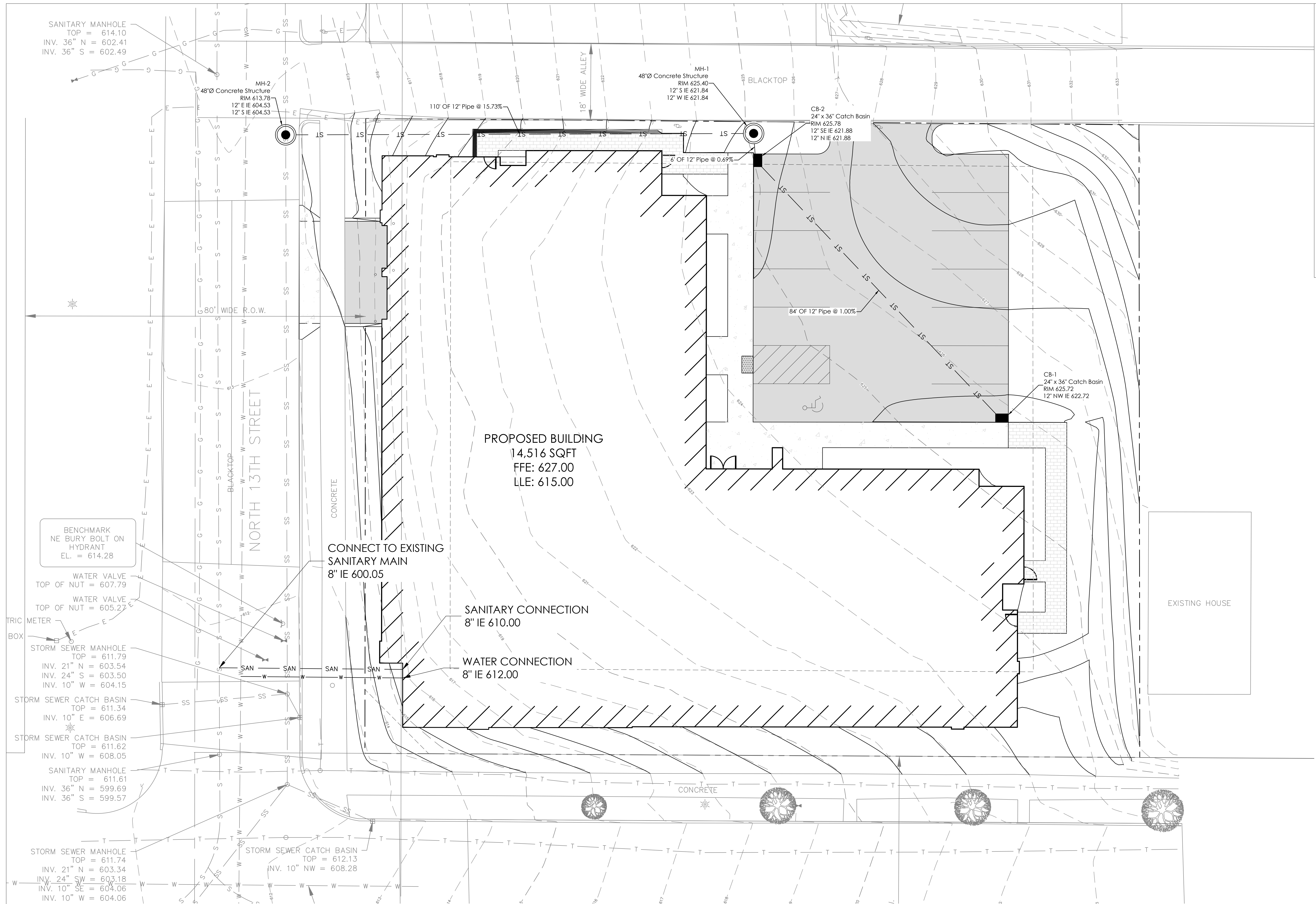
DATE	DESCRIPTION	AMOUNT	BALANCE
1/1/20	OPENING BALANCE	100.00	100.00
1/15/20	PAYROLL	50.00	50.00
1/20/20	RECEIVED FROM CUSTOMER	75.00	125.00
1/25/20	PAYROLL	50.00	75.00
1/30/20	RECEIVED FROM CUSTOMER	100.00	175.00
2/5/20	PAYROLL	50.00	125.00
2/10/20	RECEIVED FROM CUSTOMER	125.00	250.00
2/15/20	PAYROLL	50.00	200.00
2/20/20	RECEIVED FROM CUSTOMER	150.00	350.00
2/25/20	PAYROLL	50.00	300.00
2/28/20	RECEIVED FROM CUSTOMER	175.00	475.00
3/5/20	PAYROLL	50.00	425.00
3/10/20	RECEIVED FROM CUSTOMER	200.00	625.00
3/15/20	PAYROLL	50.00	575.00
3/20/20	RECEIVED FROM CUSTOMER	225.00	800.00
3/25/20	PAYROLL	50.00	750.00
3/30/20	RECEIVED FROM CUSTOMER	250.00	1000.00
4/5/20	PAYROLL	50.00	950.00
4/10/20	RECEIVED FROM CUSTOMER	275.00	1225.00
4/15/20	PAYROLL	50.00	1175.00
4/20/20	RECEIVED FROM CUSTOMER	300.00	1475.00
4/25/20	PAYROLL	50.00	1425.00
4/30/20	RECEIVED FROM CUSTOMER	325.00	1750.00
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8/15/20	PAYROLL	50.00	5825.00
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9/30/20	RECEIVED FROM CUSTOMER	700.00	8875.00
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12/25/20	PAYROLL	50.00	14950.00
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1/10/21	RECEIVED FROM CUSTOMER	950.00	16775.00
1/15/21	PAYROLL	50.00	16725.00
1/20			

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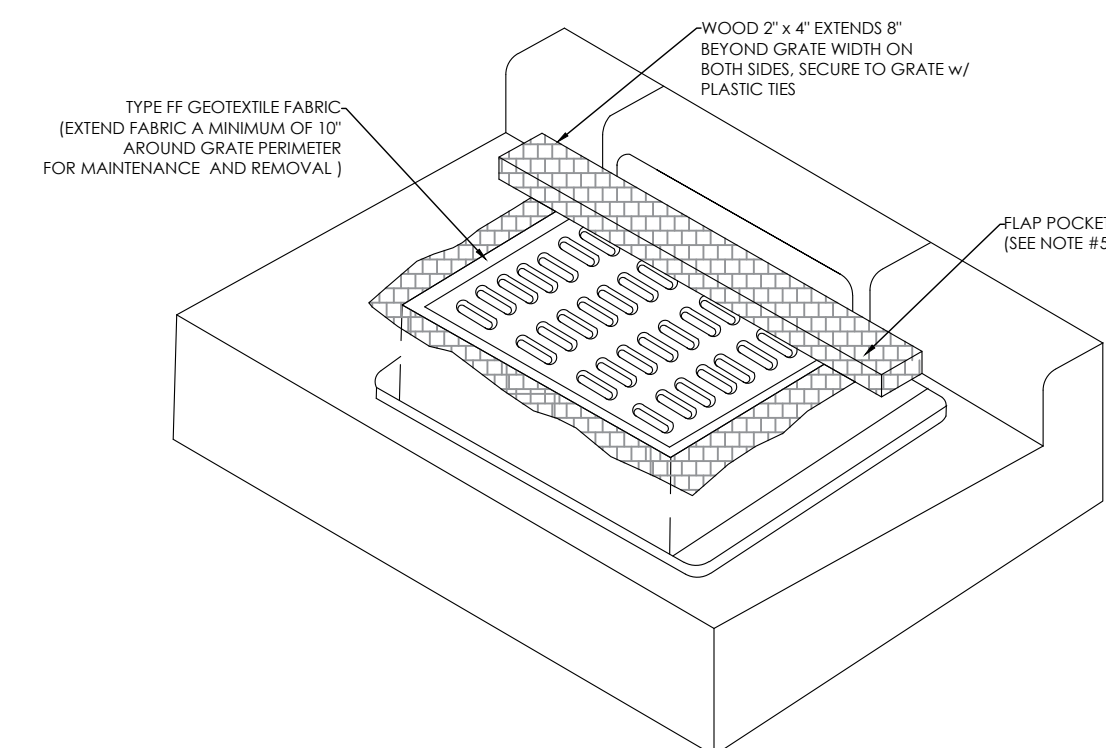
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UTILITY PLAN

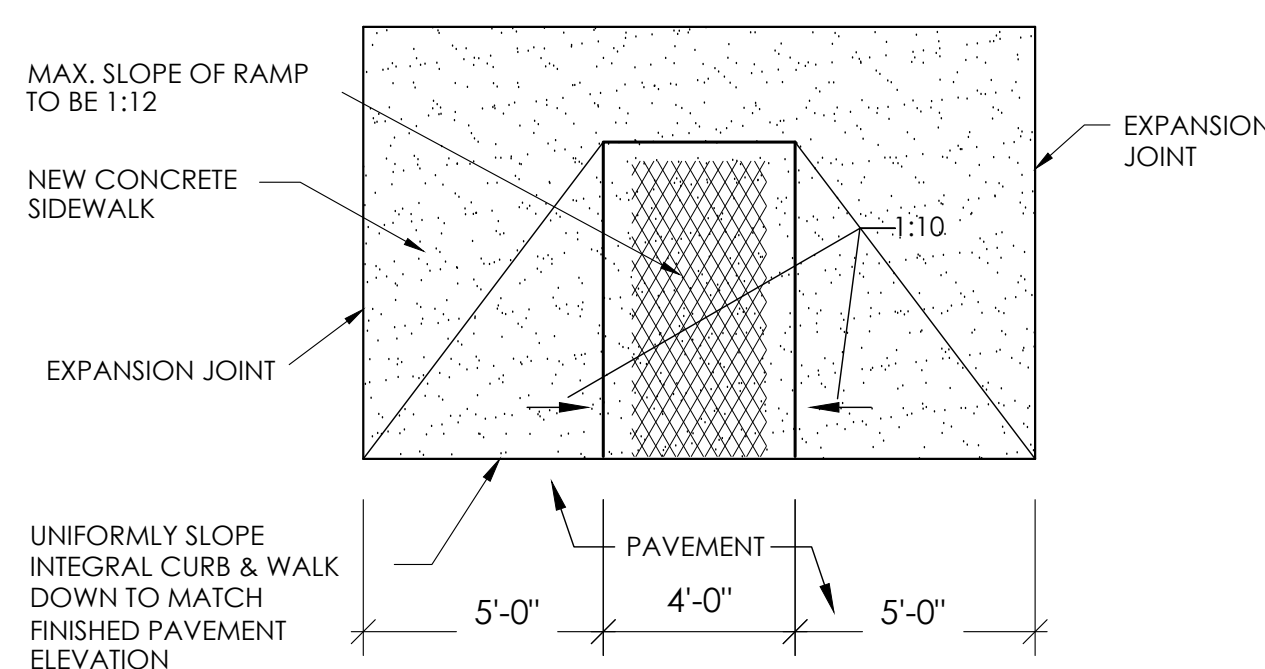
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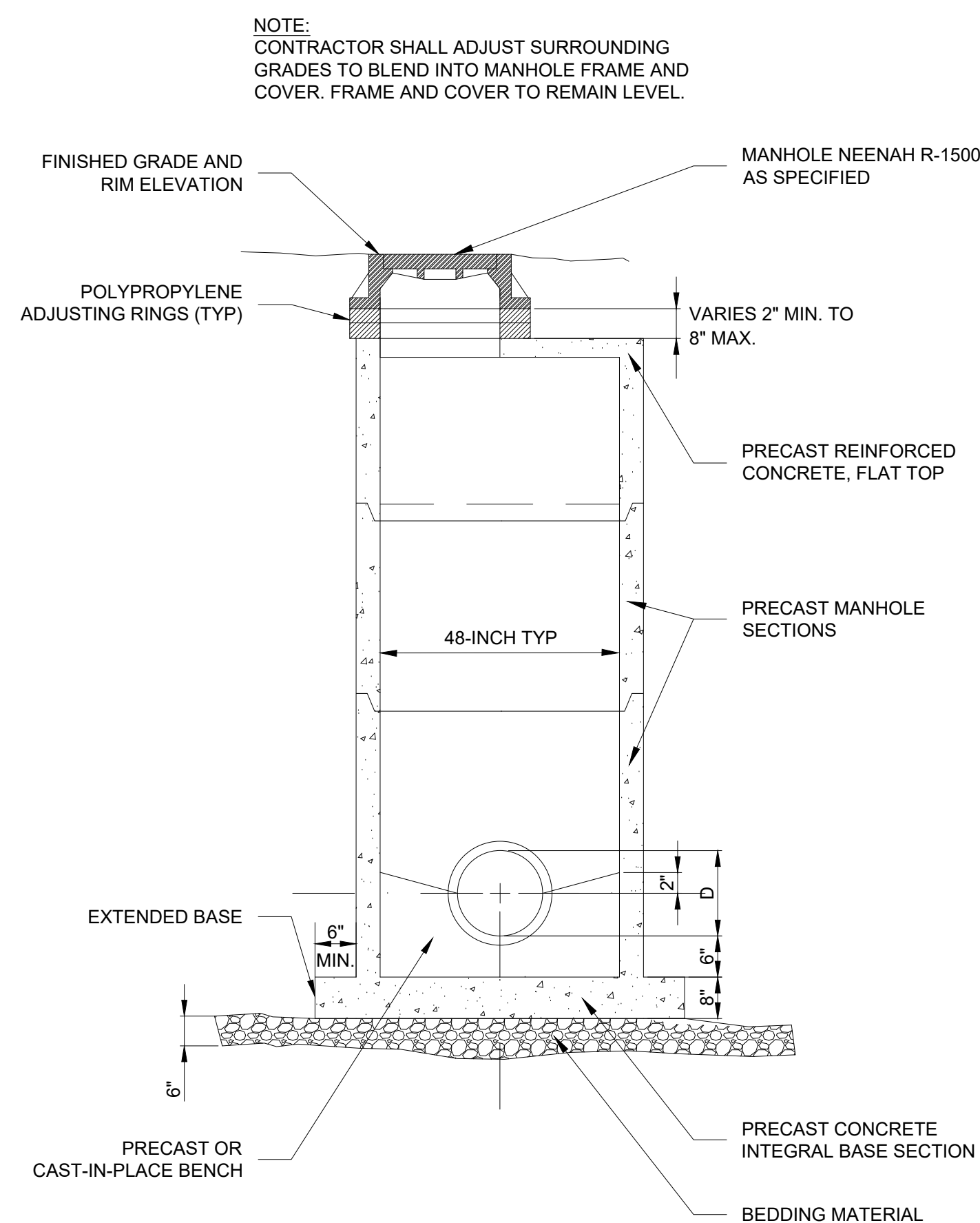


INLET PROTECTION TYPE "C"

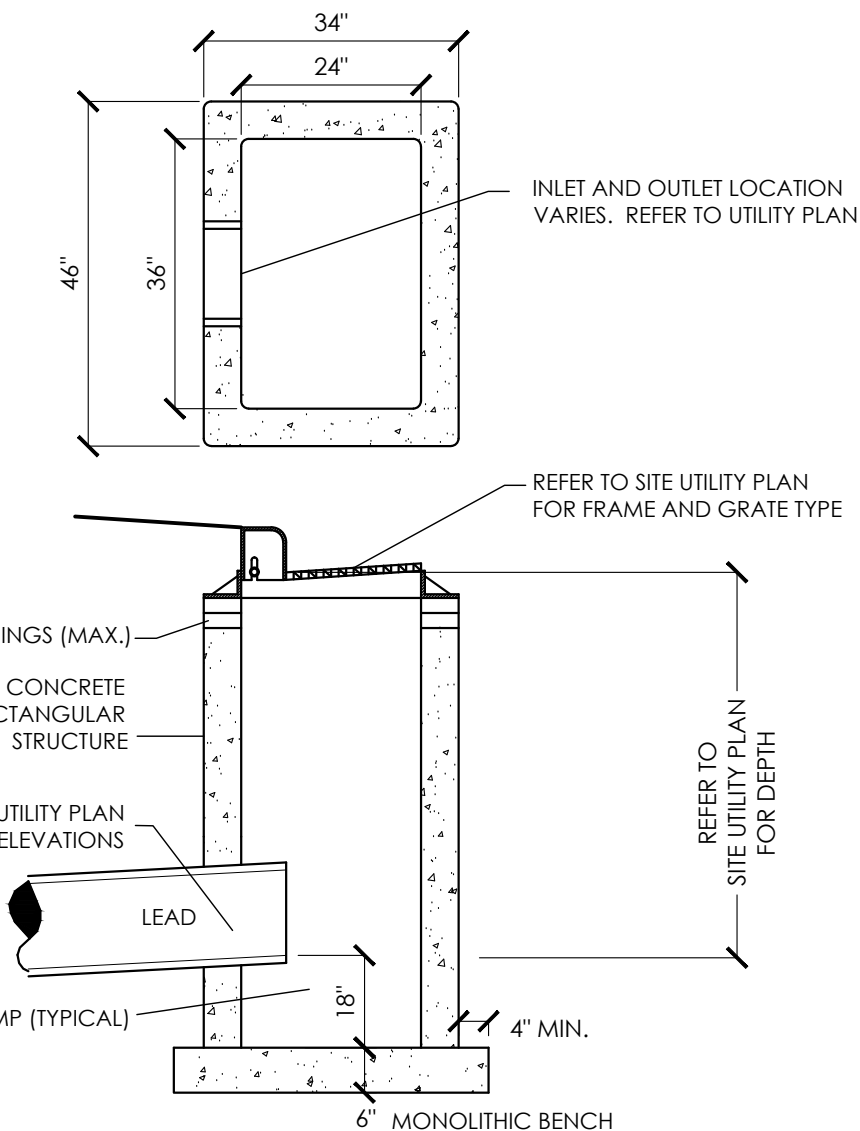
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



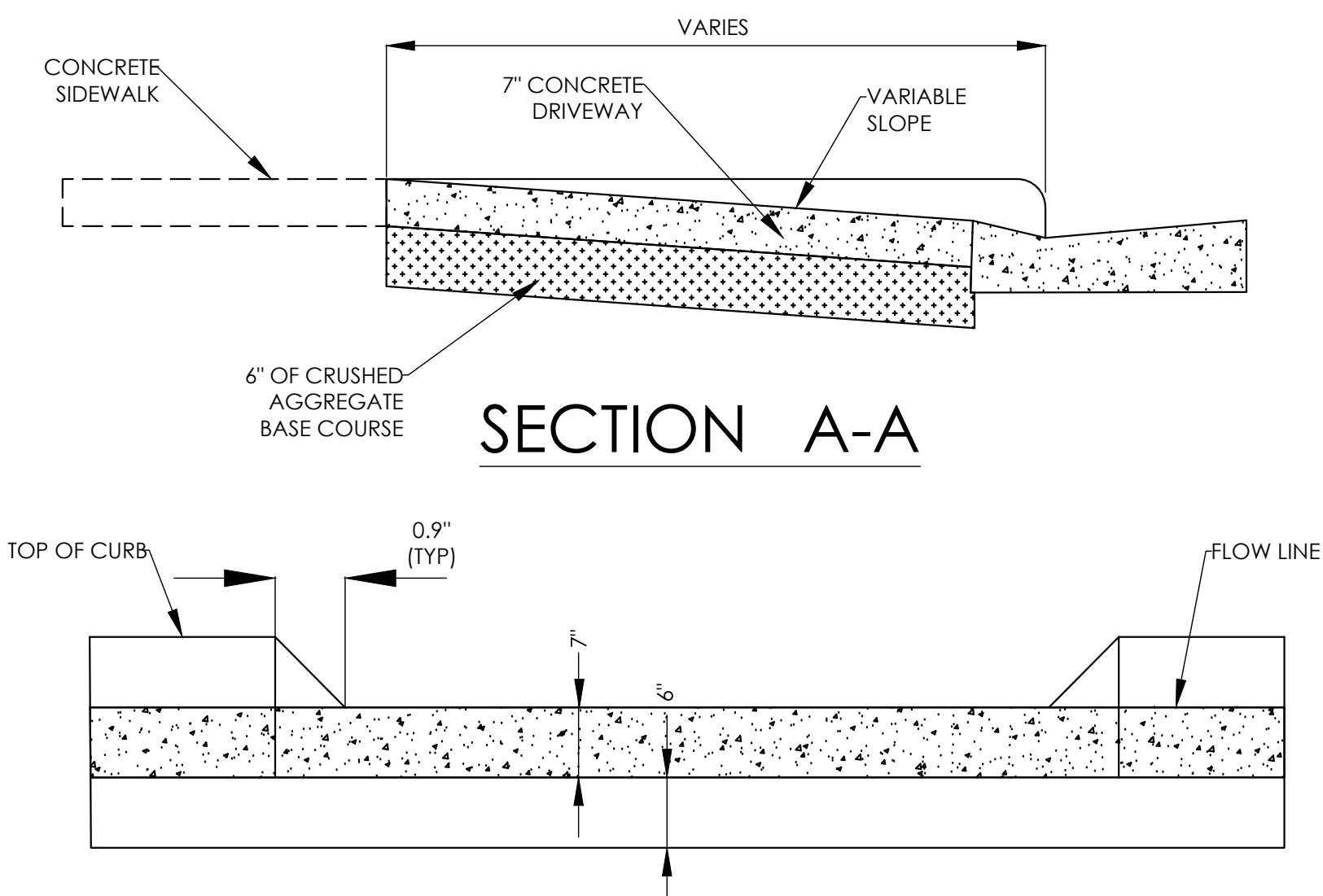
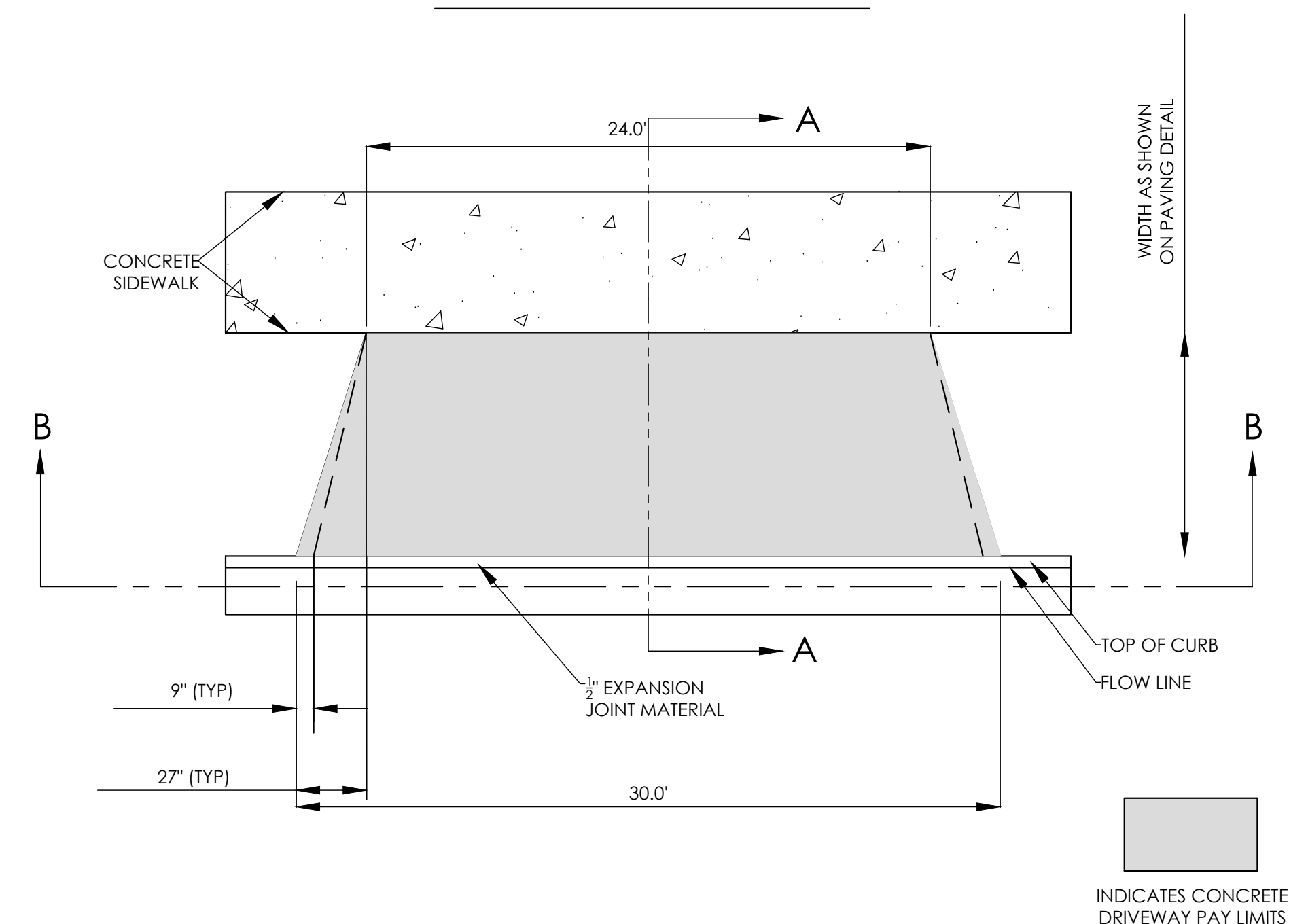
HANDICAP RAMP DETAIL



STORM MANHOLE DETAIL



PRECAST REINFORCED CONCRETE ACCEPTABLE CURB INLET SECTION



SECTION A-A

SECTION B-B

DETAILS

SCALE: 1"=10'



REVISIONS:

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September 29, 2023

September 29, 2023

NEW CONSTRUCTION

NEW CONSTRUCTION
GATEWAY APARTMENTS

NORTH 13TH STREET, SHEBOYGAN, WI 53083

135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 920 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE, WI 53202 | 414 837-6450

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PROJ. NO. 2020-125

October 2, 2023

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October 3, 2023

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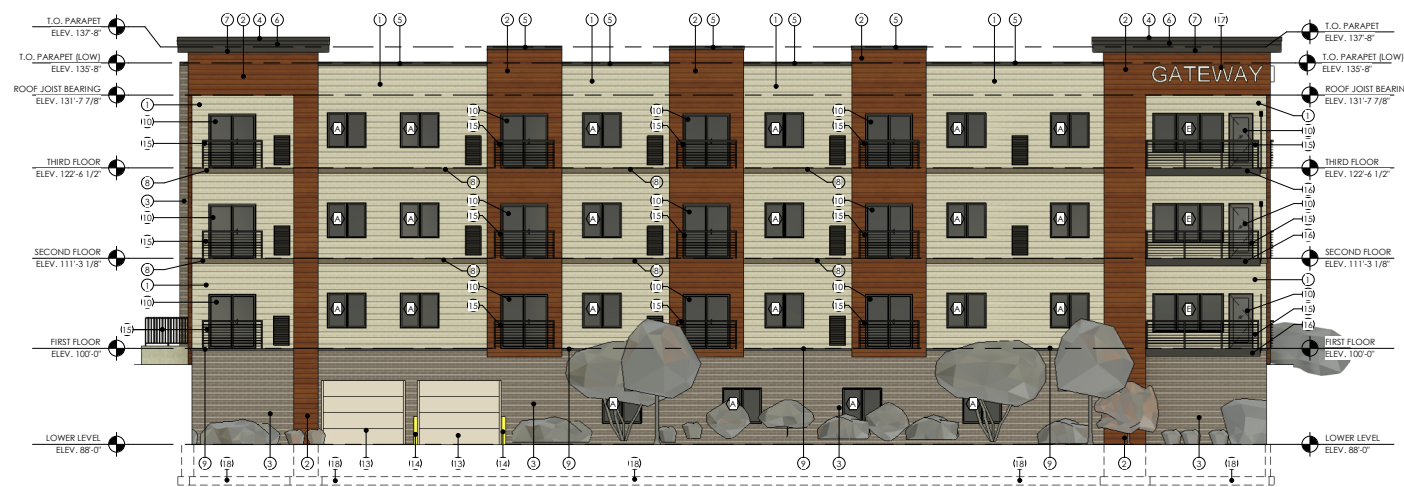
ADJACENT PROPERTIES WITHIN 100' OF SITE

SCALE: 1"=20'





SOUTH ELEVATION 2
SCALE: 1/8" = 1'-0" R 501



WEST ELEVATION 1
SCALE: 1/8" = 1'-0" R 501

ELEVATION KEYNOTES	
NO.	DESCRIPTION
1	STRAND SUBSTRATE LAP SIDING - LP SMARTSIDE (CLAY)
2	METAL SIDING -COLOR KNOTTY REDWOOD
3	ADHERED MASONRY VENEER - COUNTY MATERIALS (MANGANESE)
4	PRE-FINISHED METAL ROOF EDGE FLASHING - DARK BRONZE
5	PRE-FINISHED METAL COPING - DARK BRONZE
6	PRE-FINISHED METAL FASCIA WRAP - DARK BRONZE
7	VENTED METAL SOFFIT - DARK BRONZE
8	1" x 7 1/4" STRAND SUBSTRATE TRIM - LP SMARTSIDE (COFFEE)
9	CULTURED STONE WATERTABLE
10	SWINGING PATIO DOOR ASSEMBLY
11	ALUMINUM STOREFRONT ENTRANCE DOOR & FRAME
12	INSULATED HOLLOW METAL DOOR & FRAME
13	OVERHEAD SECTIONAL DOOR
14	6" DIA. CONCRETE FILLED STEEL BOLLARDS
15	PRE-FABRICATED ALUMINUM GUARDRAIL SYSTEM (TYP. AT ALL LOCATIONS) - DARK BRONZE
16	PRE-FABRICATED BALCONY ASSEMBLY
17	24" BACKLIT ANODIZED ALUMINUM LETTERS - DARK BRONZE
18	FOUNDATION & FOOTING - SEE STRUCTURAL DRAWINGS



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ISSUE DATE: MONTH/DAY/YEAR
NEW CONSTRUCTION
GATEWAY APARTMENTS
STREET ADDRESS, CITY, STATE ZIP
1135A MICHIGAN AVE, SHREVEPORT, LA 70508 | 705.452.4444 | 4401 E. PHILIPS AVE, SUITE 210, MILWAUKEE, WI 53203

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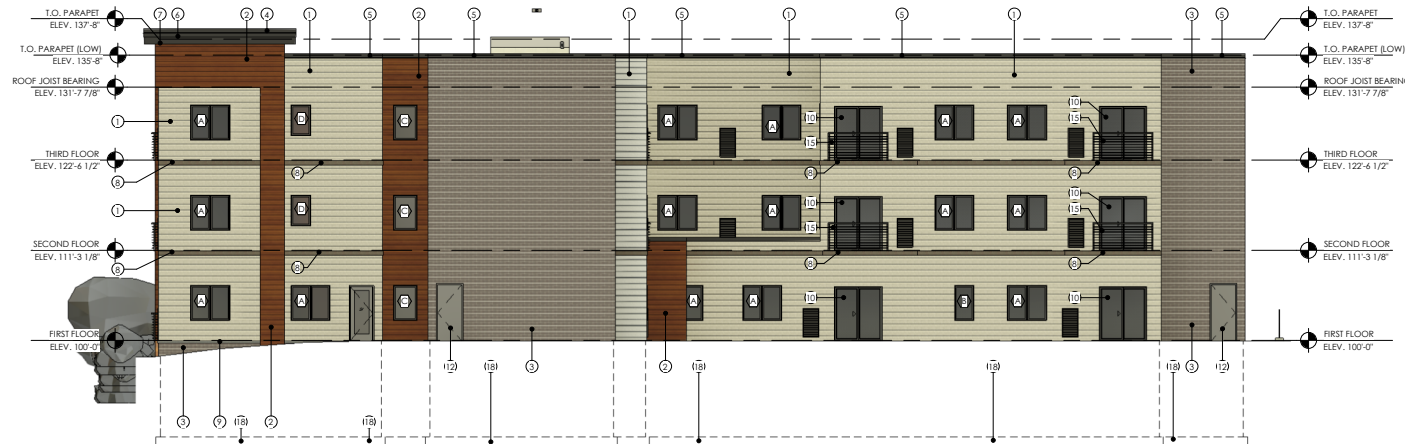
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EXTERIOR ELEVATIONS

R
501

PROJ. NO. 2021-94

PRELIMINARY - NOT FOR CONSTRUCTION




EAST ELEVATION 2
SCALE: 1/8" = 1'-0" R 502



NORTH ELEVATION 1
SCALE: 1/8" = 1'-0" R 502

ELEVATION KEYNOTES	
NO.	DESCRIPTION
1	STRAND SUBSTRATE LAP SIDING - LP SMARTSIDE (CLAY)
2	METAL SIDING - COLOR KNOTTY REDWOOD
3	ADHERED MASONRY VENEER - COUNTY MATERIALS (MANGANESE)
4	PRE-FINISHED METAL ROOF EDGE FLASHING - DARK BRONZE
5	PRE-FINISHED METAL COPING - DARK BRONZE
6	PRE-FINISHED METAL FASCIA WRAP - DARK BRONZE
7	VENTED METAL SOFFIT - DARK BRONZE
8	1" x 7 1/4" STRAND SUBSTRATE TRIM - LP SMARTSIDE (COFFEE)
9	CULTURED STONE WATERTABLE
10	SWINGING PATIO DOOR ASSEMBLY
11	ALUMINUM STOREFRONT ENTRANCE DOOR & FRAME
12	INSULATED HOLLOW METAL DOOR & FRAME
13	OVERHEAD SECTIONAL DOOR
14	4" DIA. CONCRETE FILLED STEEL BOLLARDS
15	PRE-FABRICATED ALUMINUM GUARDRAIL SYSTEM (TYP. AT ALL LOCATIONS) - DARK BRONZE
16	PRE-FABRICATED BALCONY ASSEMBLY
17	24" BACKLIT ANODIZED ALUMINUM LETTERS - DARK BRONZE
18	FOUNDATION & FOOTING - SEE STRUCTURAL DRAWINGS



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EXTERIOR ELEVATIONS

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