

NEW CONSTRUCTION FOR:

SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN, 53081



REVISIONS:

1 10/04/21 Addendum 01

NOTICE TO BIDDERS
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ARCHITECTURAL

ABACUS ARCHITECTS, INC.
1135A MICHIGAN AVENUE
SHEBOYGAN, WISCONSIN 53081
P: 920-452-4444

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STRUCTURAL

PIERCE ENGINEERS, INC.
181 N. BROADWAY
MILWAUKEE, WI 53202
P: 414-278-6060

PROJECT NOTES

EXTENT OF WORK

THE INTENT OF THESE DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS.

SITE VISIT

THE CONTRACTOR SHALL VISIT THE SITE, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATE PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.

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PROJECT INFORMATION

APPLICABLE BUILDING CODES

2018 WISCONSIN COMMERCIAL BUILDING CODE (2015 IBC)
2015 INTERNATIONAL BUILDING CODE

BUILDING AREA

NEW BUILDING AREA - 6 UNITS	
FIRST FLOOR AREA	- 6,348 SF
SECOND FLOOR AREA	- 6,348 SF
THIRD FLOOR AREA	- 6,348 SF
ROOF PATIO (UNIT 6)	- 442 SF
TOTAL BUILDING AREA	- 19,130 SF
(PATIO AREAS)	- 3,035 SF
INCLUDING ROOF PATIOS	- 22,180 SF

OCCUPANCY CLASSIFICATION

ALL LEVELS

RESIDENTIAL GROUP "R-2" (W.C.B.C. SECTION 310.4)

CONSTRUCTION CLASSIFICATION

FIRST - THIRD FLOOR:

TYPE VA CONSTRUCTION (W.C.B.C. SECTION 402.5)

FIRE PROTECTION

REQUIRED SPRINKLER S-13R (IBC 903.2.8) (WISCONSIN - SPS 362.09.03)

PRIMARY STRUCTURAL FRAME	1HR
BEARING WALLS, EXTERIOR, INTERIOR	1HR
NONBEARING WALL & PARTITIONS INTERIOR	SEE TABLE 602
NONBEARING WALLS & PARTITIONS INTERIOR	0HR
FLOOR CONSTRUCTION & ASSOC.	
SECONDARY MEMBERS	1HR
ROOF CONSTRUCTION & ASSOC.	
SECONDARY MEMBERS	1HR

FIRE BARRIER BETWEEN UNITS 1 HR

SET OUT CONSTRUCTION AT TO BE OF CLASS A MATERIALS. FIRE RETARDENT-TREATED WOOD SHALL BE PERMITTED FOR USE AS HANGERS AND ASSEMBLY MEMBERS OF DROPPED CEILINGS. (IBC 803.13.2.1)

ALLOWABLE HEIGHT AND AREA

TABULAR AREA ALLOWANCE (W.C.B.C. TABLE 504.2)
USE GROUP "R-2" / CONSTRUCTION CLASSIFICATION VA (five "a")
UNSPRINKLERED, MULTI-STORY
ALLOWABLE AREA = 12,000 SQ. FT.

FRONTAGE INCREASE (SECTION 506.3)
(138' / 394 - 0.25) 27.13' / 30 = 0.09 AREA INCREASE FACTOR

TOTAL ALLOWABLE AREA (TOTAL BUILDING)
TABULAR AREA + (TABULAR AREA x FRONTAGE INCREASE) =
12,000sf + (12,000 sf x 0.09)) x 3 = 39,240 SQ. FT.

ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE (50')
(WCBC TABLE 504.3)

ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE (3)
(WCBC TABLE 504.4)

BUILDING HEIGHT (ACTUAL) = 3 STORIES / 32'-0" FT.

MEANS OF EGRESS AND EXIT DISTANCE

EXIT ACCESS TRAVEL DISTANCE - WITHOUT AUTOMATIC SPRINKLER SYSTEM (W.C.B.C. TABLE 1017.2) =200 FT.

OCCUPANT LOAD

REFER TO LIFE SAFETY SHEET.

EXTERIOR WALL OPENINGS

NORTH EAST ELEVATION @ 5'-10" SEPARATION. 10% ALLOWABLE OPENING AREA. @ 10'-15" SEPARATION. 15% ALLOWABLE OPENING AREA. NO LIMIT ON OTHER ELEVATIONS.
(W.C.B.C. TABLE 705.8)

DETERMINATION OF NO. OF STORIES ABOVE GRADE

BUILDING IS 3 STORIES ABOVE GRADE WITH PARKING AND ENTRY ON GROUND LEVEL ALL ABOVE GRADE (W.C.B.C. TABLE 504.4)

SANITARY FIXTURES

R-2	
WATER CLOSET -	1 PER DWELLING UNIT
LAVATORIES -	1 PER DWELLING UNIT
BATHTUBS/SHOWER -	1 PER DWELLING UNIT
OTHER -	1 KITCHEN SINK PER DWELLING UNIT, 1

DWELLING UNIT

IBC - 15 (1107.6.2.2.1) TYPE A UNITS NOT REQUIRED. LESS THAN 20 DWELLING UNITS OF SLEEPING UNITS PROVIDED.

IBC - 15 (1107.6.2.2.2) ALL UNITS TO BE TYPE B UNIT

ANSI A117.1-09 (1004.11.3) OPT FOR OPTION A FOR TOILET AND BATHING AREAS.

MAY 17, 2022

NEW CONSTRUCTION FOR:

SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN, 53081

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 920.452.4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

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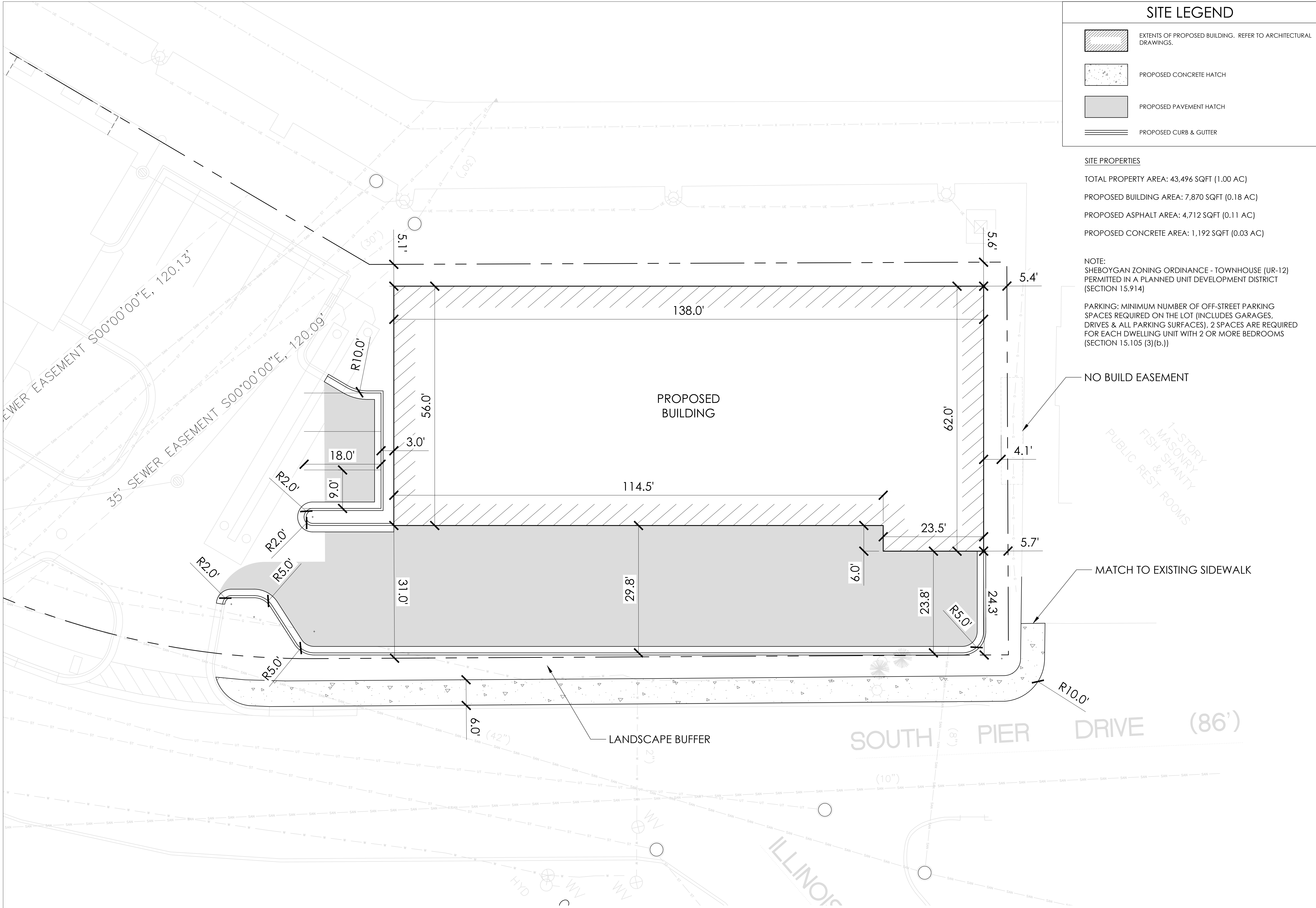
TITLE SHEET

A
101

PROJ. NO. 2022-12

May 17, 2022

P:\2022-CONTRACTS\2022-12 South Pier Townhouses\Phase - 2\Construction Documents\3 Site\2022-12 - Base.dwg



SITE LEGEND

- EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
- PROPOSED CONCRETE HATCH
- PROPOSED PAVEMENT HATCH
- PROPOSED CURB & GUTTER

SITE PROPERTIES

- TOTAL PROPERTY AREA: 43,496 SQFT (1.00 AC)
- PROPOSED BUILDING AREA: 7,870 SQFT (0.18 AC)
- PROPOSED ASPHALT AREA: 4,712 SQFT (0.11 AC)
- PROPOSED CONCRETE AREA: 1,192 SQFT (0.03 AC)

NOTE:
SHEBOYGAN ZONING ORDINANCE - TOWNHOUSE (UR-12)
PERMITTED IN A PLANNED UNIT DEVELOPMENT DISTRICT
(SECTION 15.914)

PARKING: MINIMUM NUMBER OF OFF-STREET PARKING
SPACES REQUIRED ON THE LOT (INCLUDES GARAGES,
DRIVES & ALL PARKING SURFACES), 2 SPACES ARE REQUIRED
FOR EACH DWELLING UNIT WITH 2 OR MORE BEDROOMS
(SECTION 15.105 (3)(b.))

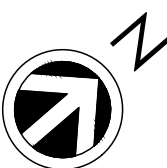
NO BUILD EASEMENT

MATCH TO EXISTING SIDEWALK

LANDSCAPE BUFFER

SITE PLAN

SCALE: 1"=10'



REVISIONS:

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VALUE
NEW TOWNHOUSE BUILDING

SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 225 EAST ST. PAUL AVE. MILWAUKEE, WI 53202 | (414) 837-6450

DRAWN BY: JMN

CHECKED BY: JRV

A
201

PROJ. NO. 2022-12

UNIT TYPE INFORMATION		
UNIT	SIZE	PATIO SIZE
1	3,036 S.F.	419 S.F.
2	3,036 S.F.	419 S.F.
3	3,036 S.F.	419 S.F.
4	3,036 S.F.	419 S.F.
5	3,036 S.F.	419 S.F.
6 - WATSON	3,864 S.F.	419 S.F.

LIFE SAFETY PLAN LEGEND

- 33"

ACCESSIBLE PATH OF EGRESS
- 33"

EXIT AND AVAILABLE EXIT INCHES
- FE-1

FE-2

FIRE EXTINGUISHER
- FIRE AND SMOKE PROTECTION FEATURES

IMAGINARY PROPERTY LINE

ROOM
NUMBER
_HR

1 & 2-HOUR FIRE BARRIER

REQUIRED AT ALL WALLS WHICH ENCLOSE RATED ROOMS

EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE

1-HOUR FIRE PARTITION

REQUIRED AT WALLS INDICATED ON PLAN

EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE, OR TO THE FIRE-RESISTANCE-RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY ABOVE

1-HOUR FIRE-RESISTIVE-RATED CONSTRUCTION

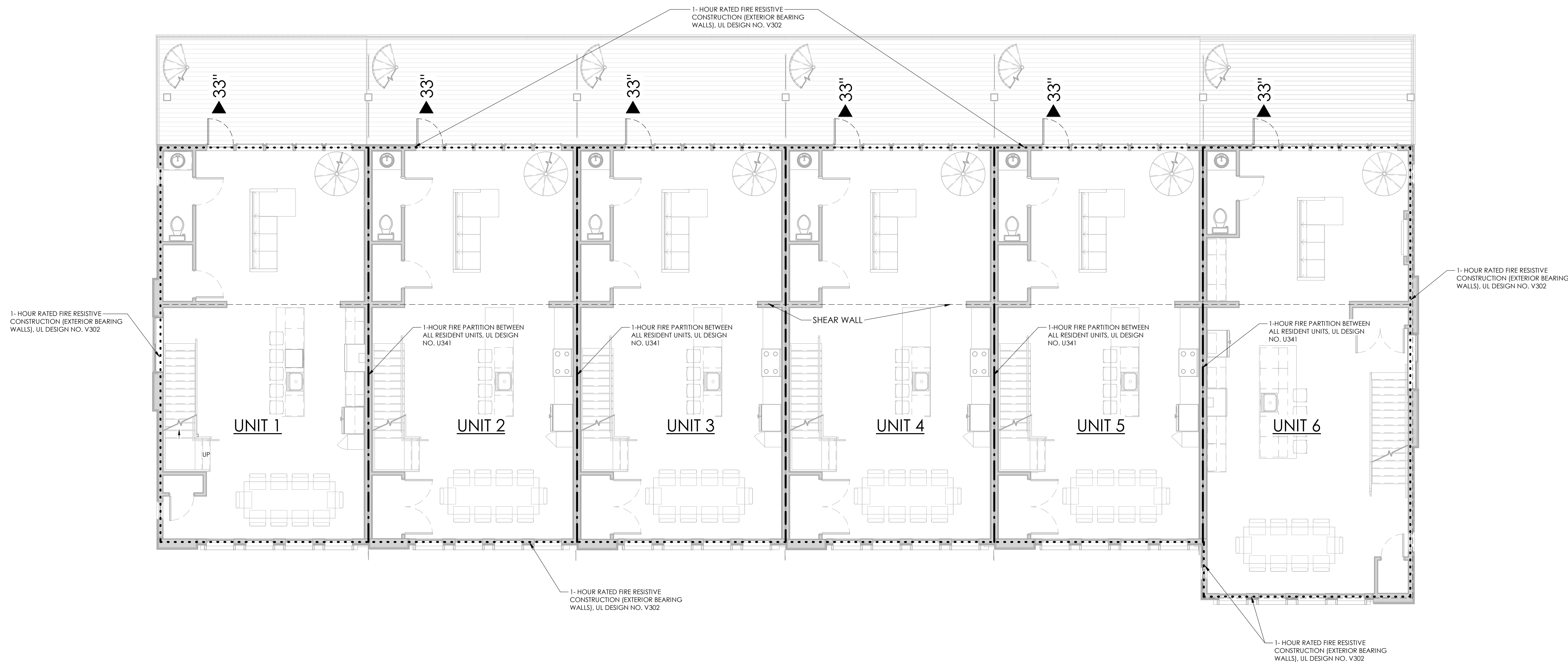
REQUIRED AT WALLS INDICATED ON PLAN

EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE
-
- OVERALL FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"
-
-
- REVISIONS:
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SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081
1135A MICHIGAN AVE, SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203
PRELIMINARY - NOT FOR CONSTRUCTION
- DRAWN BY: AJK
CHECKED BY: PGM
- FIRST FLOOR LIFE SAFETY PLAN
- A
301
- PROJ. NO. 2022-12

UNIT TYPE INFORMATION		
UNIT	SIZE	PATIO SIZE
1	3,036 S.F.	419 S.F.
2	3,036 S.F.	419 S.F.
3	3,036 S.F.	419 S.F.
4	3,036 S.F.	419 S.F.
5	3,036 S.F.	419 S.F.
6 - WATSON	3,864 S.F.	419 S.F.

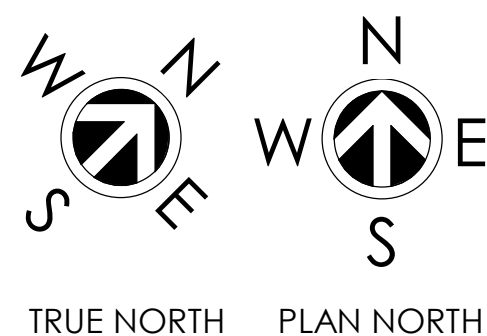
LIFE SAFETY PLAN LEGEND

- ACCESSIBLE PATH OF EGRESS
- 33" ◀ EXIT AND AVAILABLE EXIT INCHES
- FE-1 & FE-2 FIRE EXTINGUISHER
- IMAGINARY PROPERTY LINE
- ROOM NUMBER -HR 1 & 2-HOUR FIRE BARRIER
- REQUIRED AT ALL WALLS WHICH ENCLOSE RATED ROOMS
 - EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE
- 1-HOUR FIRE PARTITION
- REQUIRED AT WALLS INDICATED ON PLAN
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- 1-HOUR FIRE-RESISTIVE-RATED CONSTRUCTION
- REQUIRED AT WALLS INDICATED ON PLAN
 - EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE



SECOND FLOOR LIFE SAFETY PLAN

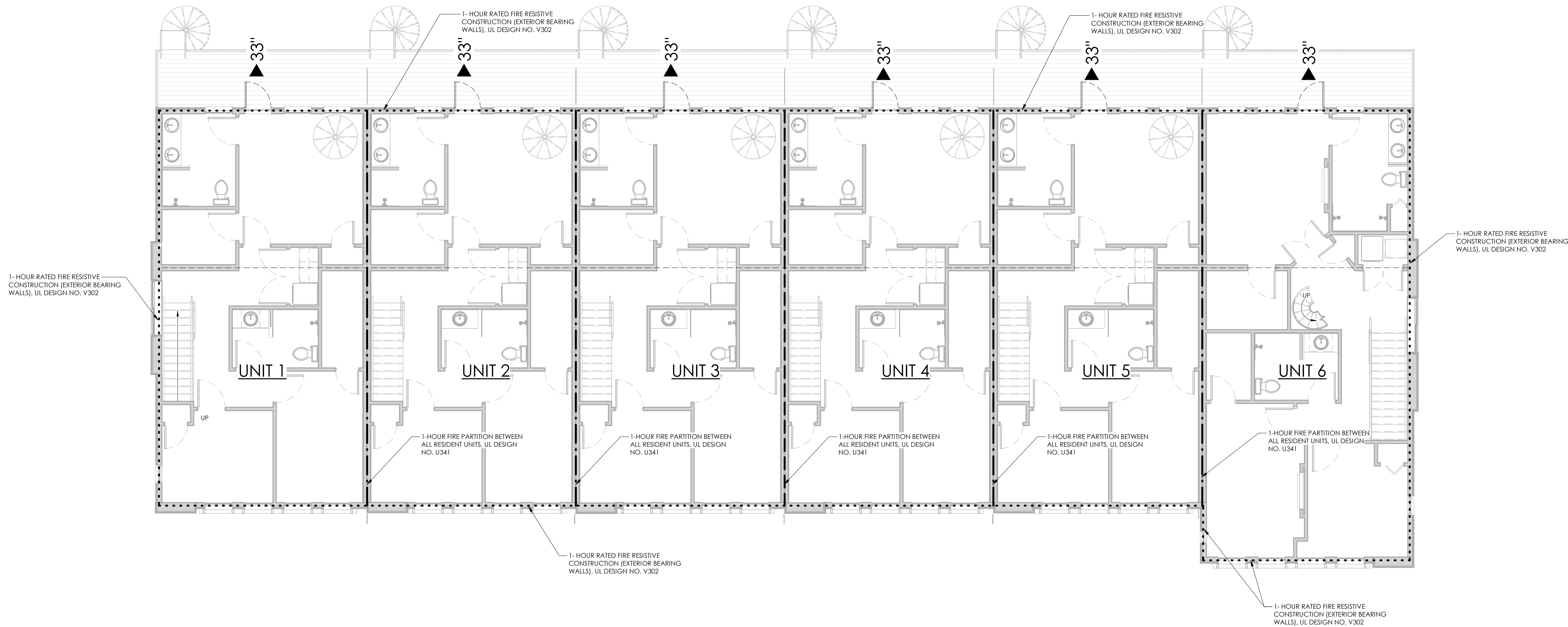
SCALE: 3/16" = 1'-0" A 302



UNIT TYPE INFORMATION		
UNIT	SIZE	PATIO SIZE
1	3,036 S.F.	419 S.F.
2	3,036 S.F.	419 S.F.
3	3,036 S.F.	419 S.F.
4	3,036 S.F.	419 S.F.
5	3,036 S.F.	419 S.F.
6 - WATSON	3,864 S.F.	419 S.F.

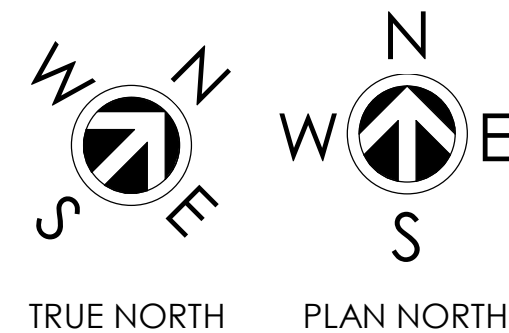
LIFE SAFETY PLAN LEGEND

- ACCESSIBLE PATH OF EGRESS
- 33" ◀ EXIT AND AVAILABLE EXIT INCHES
- FE-1 & FE-2 FIRE EXTINGUISHER
- FIRE AND SMOKE PROTECTION FEATURES
- IMAGINARY PROPERTY LINE
- ROOM
NUMBER
-HR
- 1 & 2-HOUR FIRE BARRIER
- REQUIRED AT ALL WALLS WHICH ENCLOSE RATED ROOMS
 - EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE
- 1-HOUR FIRE PARTITION
- REQUIRED AT WALLS INDICATED ON PLAN
 - EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE, OR TO THE FIRE-RESISTANCE-RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY ABOVE
- 1-HOUR FIRE-RESISTIVE-RATED CONSTRUCTION
- REQUIRED AT WALLS INDICATED ON PLAN
 - EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE



THIRD FLOOR LIFE SAFETY PLAN

SCALE: 3/16" = 1'-0"



UNIT TYPE INFORMATION		
UNIT	SIZE	PATIO SIZE
1	3,036 S.F.	419 S.F.
2	3,036 S.F.	419 S.F.
3	3,036 S.F.	419 S.F.
4	3,036 S.F.	419 S.F.
5	3,036 S.F.	419 S.F.
6 - WATSON	3,864 S.F.	419 S.F.

LIFE SAFETY PLAN LEGEND

- ACCESSIBLE PATH OF EGRESS
- 33"◀

EXIT AND AVAILABLE EXIT INCHES
- FE-1 & FE-2
▲

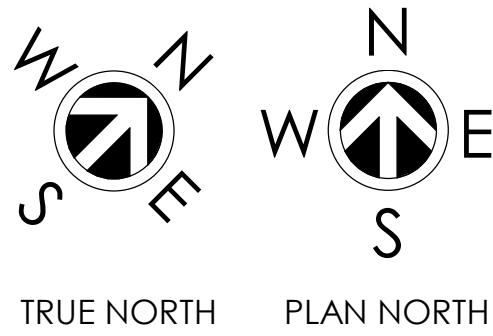
FIRE EXTINGUISHER
- FIRE AND SMOKE PROTECTION FEATURES
- IMAGINARY PROPERTY LINE
- 1 & 2-HOUR FIRE BARRIER
 - REQUIRED AT ALL WALLS WHICH ENCLOSE RATED ROOMS
 - EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE
- ROOM
[NUMBER]
-HR

1-HOUR FIRE PARTITION
 - REQUIRED AT WALLS INDICATED ON PLAN
 - EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE, OR TO THE FIRE-RESISTANCE-RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY ABOVE
- 1-HOUR FIRE-RESISTIVE-RATED CONSTRUCTION
 - REQUIRED AT WALLS INDICATED ON PLAN
 - EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE



ROOF PATIO LIFE SAFETY PLAN

SCALE: 3/16" = 1'-0"



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1135A MICHIGAN AVE, SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

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ROOF PATIO LIFE SAFETY
PLAN

A
304

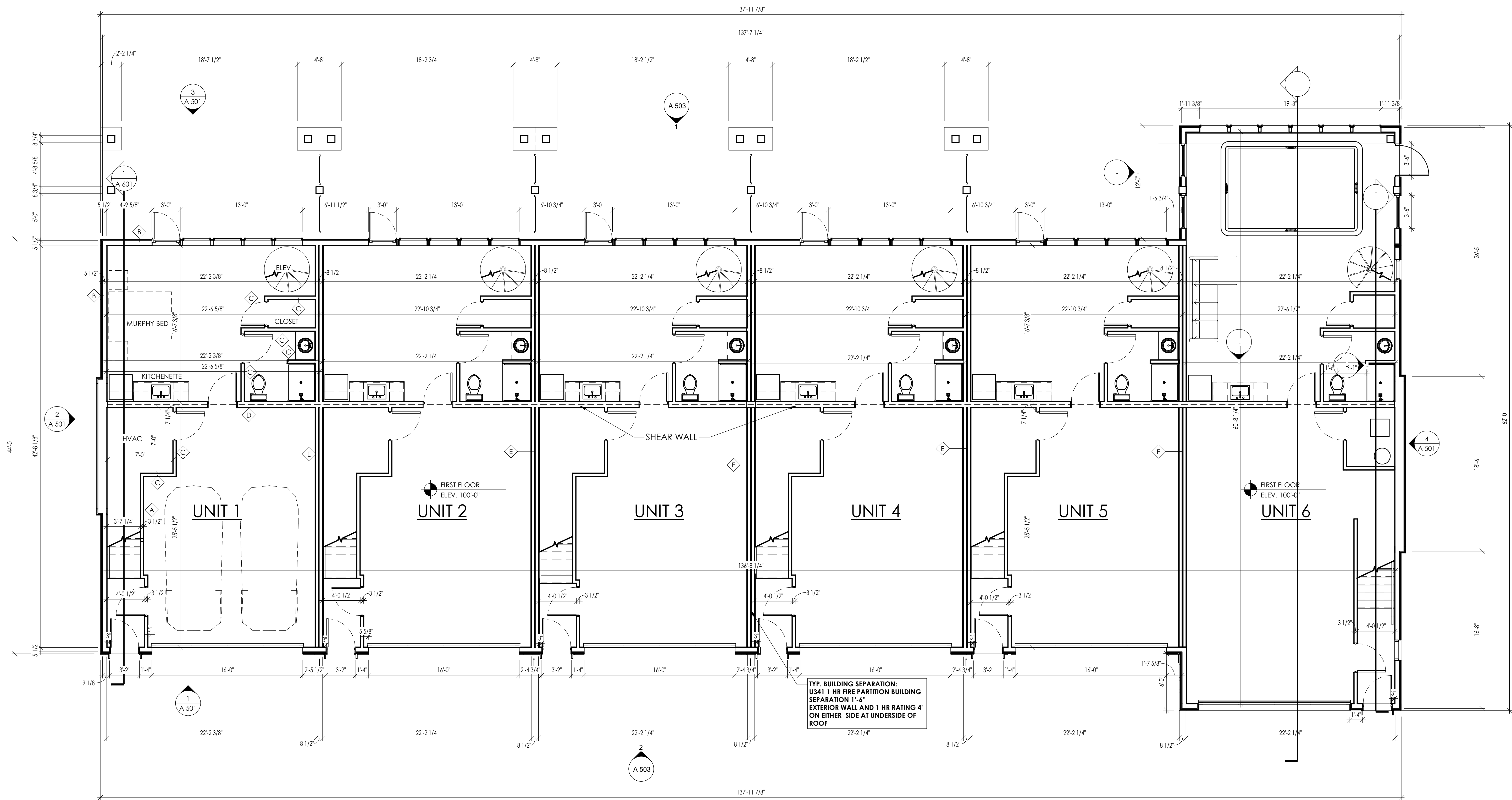
PROJ. NO. 2022-12

***NOTE:** SPIRAL STAIR REQUIRED FROM FIRST FLOOR LEVEL TO SECOND FLOOR. SPIRAL STAIR FROM SECOND TO THIRD LEVEL OPTIONAL TO TENANTS. PNEUMATIC TUBE ELEVATOR ALSO AN OPTION TO TENANTS RUNNING FROM FIRST TO THIRD LEVEL. PREPARE FLOOR JOISTS FOR EGRESS OPTIONS.

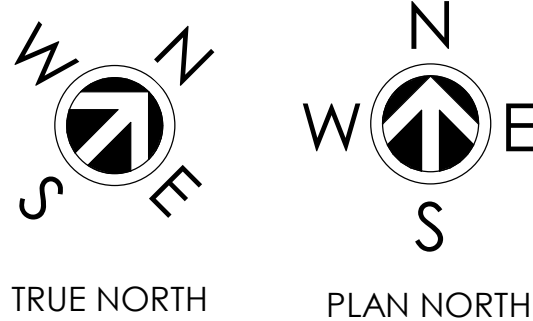


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OVERALL FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



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OVERALL FIRST FLOOR
PLAN

A
306

PROJ. NO. 2022-12

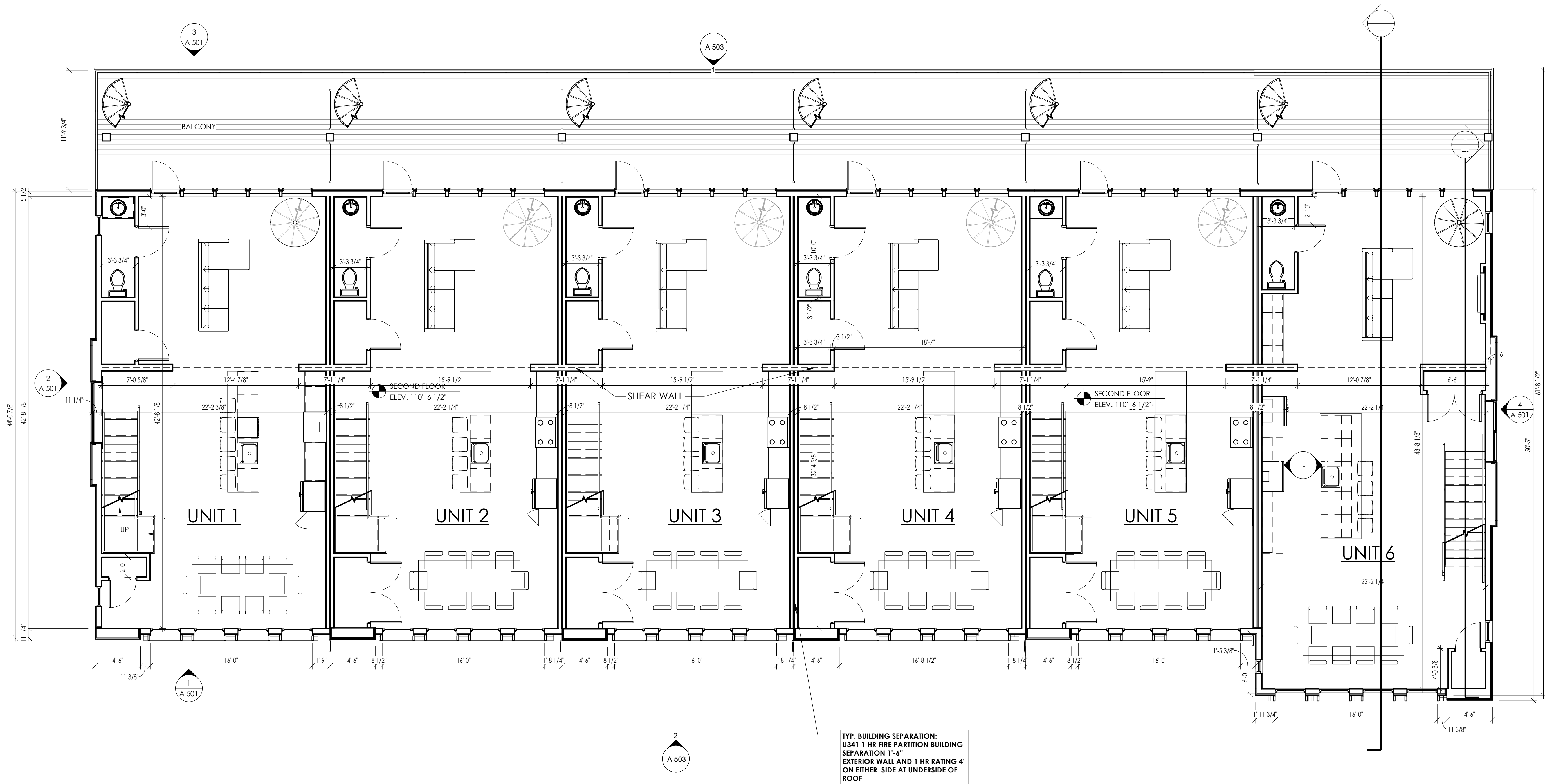
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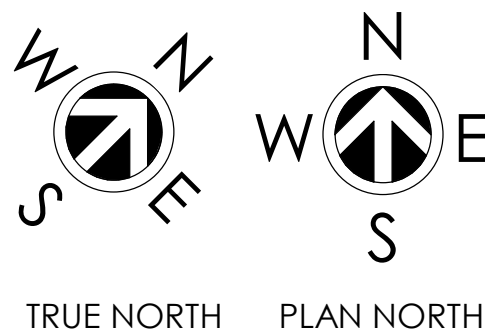
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OVERALL SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

GROSS FLOOR AREA: 6,135 SQ. FT.



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1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

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OVERALL SECOND FLOOR PLAN

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307

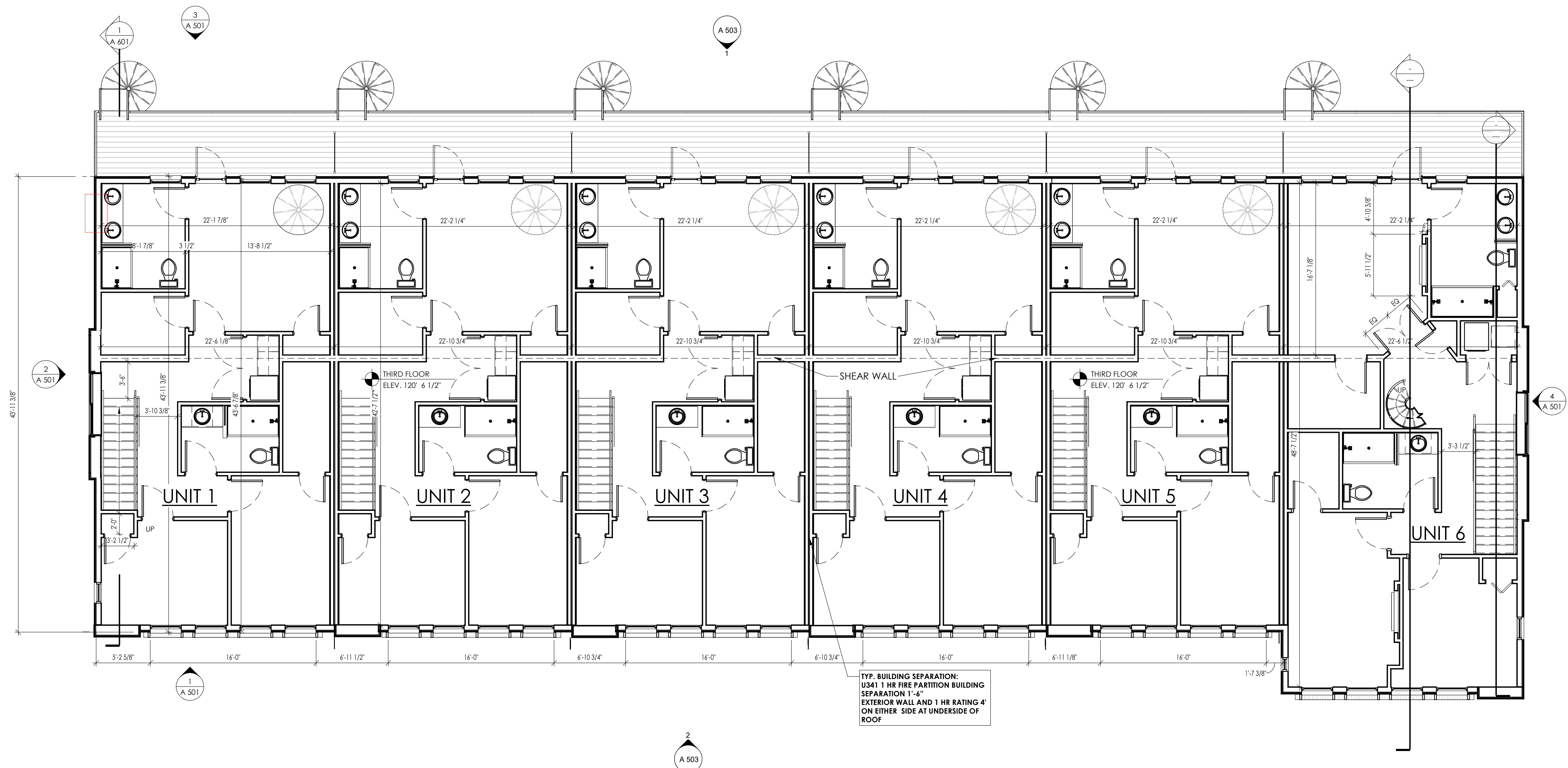
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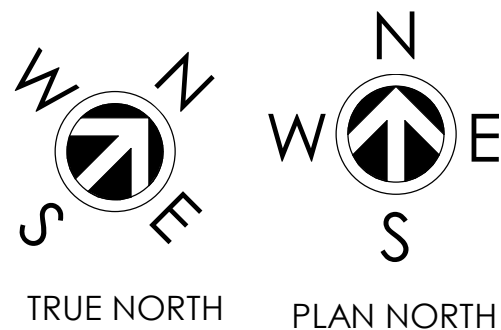
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OVERALL THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"

GROSS FLOOR AREA: 6,135 SQ. FT.



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NEW CONSTRUCTION FOR:
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1135A MICHIGAN AVE, SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203
PRELIMINARY - NOT FOR CONSTRUCTION

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OVERALL THIRD FLOOR
PLAN

A
308

PROJ. NO. 2022-12

GENERAL PLAN NOTES

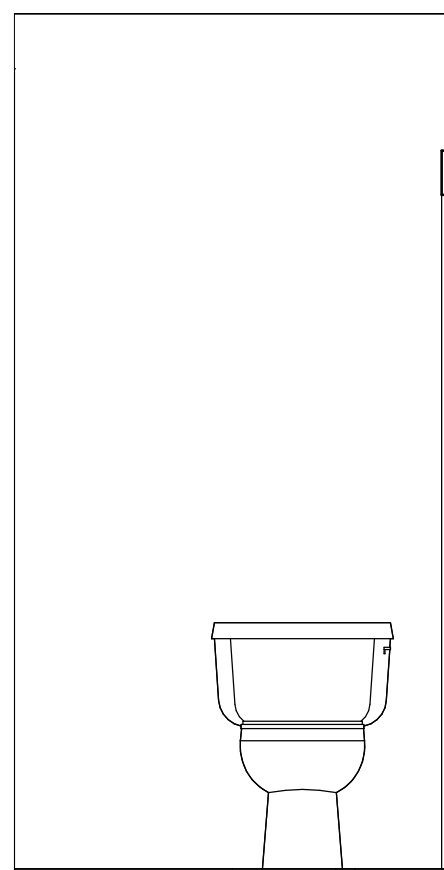
- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.
- ALL DOOR FRAMES TO BE 4" OFF WALL UNLESS OTHERWISE NOTED
- ALL CABINERY IS SHOWN FOR DESIGN INTENT ONLY. CABINET SUPPLIER IS RESPONSIBLE FOR FINAL DESIGN AND LAYOUT. PROVIDE SILICONE BUMPERS ON ALL CABINET DOORS.
- CABINERY UNDER BATHROOM VANITIES SHALL BE REMOVABLE, WHERE NOTED, WITHOUT THE REMOVAL OR REPLACEMENT OF THE LAVATORY, AND THE FLOOR FINISH EXTENDS UNDER EACH CABINET UNLESS NOTED OTHERWISE.
- ALL WASHER AND DRYER UNITS TO BE FRONT LOADING
- ALL BEDROOM CLOSETS TO HAVE WOOD SHELVING SYSTEM
- SEE LAUNDRY ELEVATIONS FOR LAUNDRY SHELVING TYPE AND SIZE.
- SEE SHEET A401 FOR DOOR AND FRAME ELEVATIONS, AS WELL AS GLASS TYPES.
- PROVIDE CEILING FANS IN EACH BEDROOM.
- PROVIDE 220 VOLT OUTLET NEAR PATIO DOOR FOR HEAT LAMPS.
- PLUMBING FIXTURES TO BE KOHLER OR EQUAL WITH A MODERN, SQUARE AESTHETIC; WHITE COLOR.
- ALL HARDWARE TO HAVE A BRUSHED NICKEL FINISH.
- SEE UNIT PLAN FOR WALL ACCENT PAINT LOCATIONS.
- PROVIDE AN OPTION FOR A "SHOWER TOWER" TYPE SHOWER FAUCET IN EACH SHOWER UNIT.
- FINISHES SUBJECT TO OWNER SELECTING FINISH PACKAGE "OPTION 1" OR "OPTION 2"
- SEE DETAIL 11/A609 FOR HALF WALL CONSTRUCTION IN BATHROOM AS APPLICABLE.

GENERAL UNIT TYPE PLAN NOTES

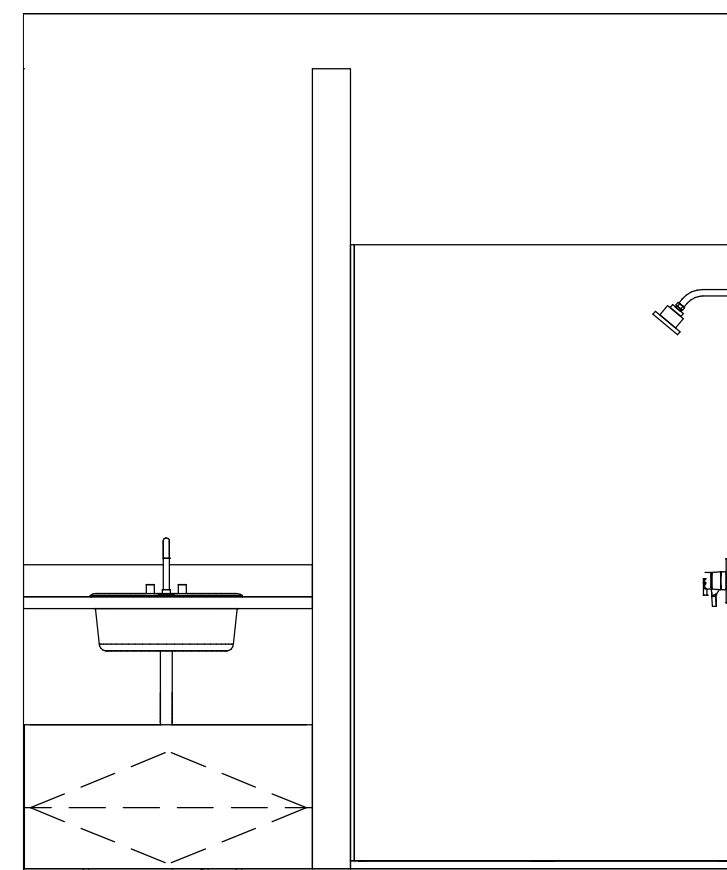
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- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.
- ALL DOOR FRAMES TO BE 4" OFF WALL UNLESS OTHERWISE NOTED
- ALL CABINERY IS SHOWN FOR DESIGN INTENT ONLY. CABINET SUPPLIER IS RESPONSIBLE FOR FINAL DESIGN AND LAYOUT. PROVIDE SILICONE BUMPERS ON ALL CABINET DOORS.
- CABINERY UNDER BATHROOM VANITIES SHALL BE REMOVABLE, WHERE NOTED, WITHOUT THE REMOVAL OR REPLACEMENT OF THE LAVATORY, AND THE FLOOR FINISH EXTENDS UNDER EACH CABINET UNLESS NOTED OTHERWISE.
- ALL WASHER AND DRYER UNITS TO BE FRONT LOADING
- ALL BEDROOM CLOSETS TO HAVE WOOD SHELVING SYSTEM
- SEE LAUNDRY ELEVATIONS FOR LAUNDRY SHELVING TYPE AND SIZE.
- SEE SHEET A401 FOR DOOR AND FRAME ELEVATIONS, AS WELL AS GLASS TYPES.
- PROVIDE CEILING FANS IN EACH BEDROOM.
- PROVIDE 220 VOLT OUTLET NEAR PATIO DOOR FOR HEAT LAMPS.
- PLUMBING FIXTURES TO BE KOHLER OR EQUAL WITH A MODERN, SQUARE AESTHETIC; WHITE COLOR.
- ALL HARDWARE TO HAVE A BRUSHED NICKEL FINISH.
- SEE UNIT PLAN FOR WALL ACCENT PAINT LOCATIONS.
- PROVIDE AN OPTION FOR A "SHOWER TOWER" TYPE SHOWER FAUCET IN EACH SHOWER UNIT.
- FINISHES SUBJECT TO OWNER SELECTING FINISH PACKAGE "OPTION 1" OR "OPTION 2"
- SEE DETAIL 11/A609 FOR HALF WALL CONSTRUCTION IN BATHROOM AS APPLICABLE.

FLOOR PLAN KEYNOTES

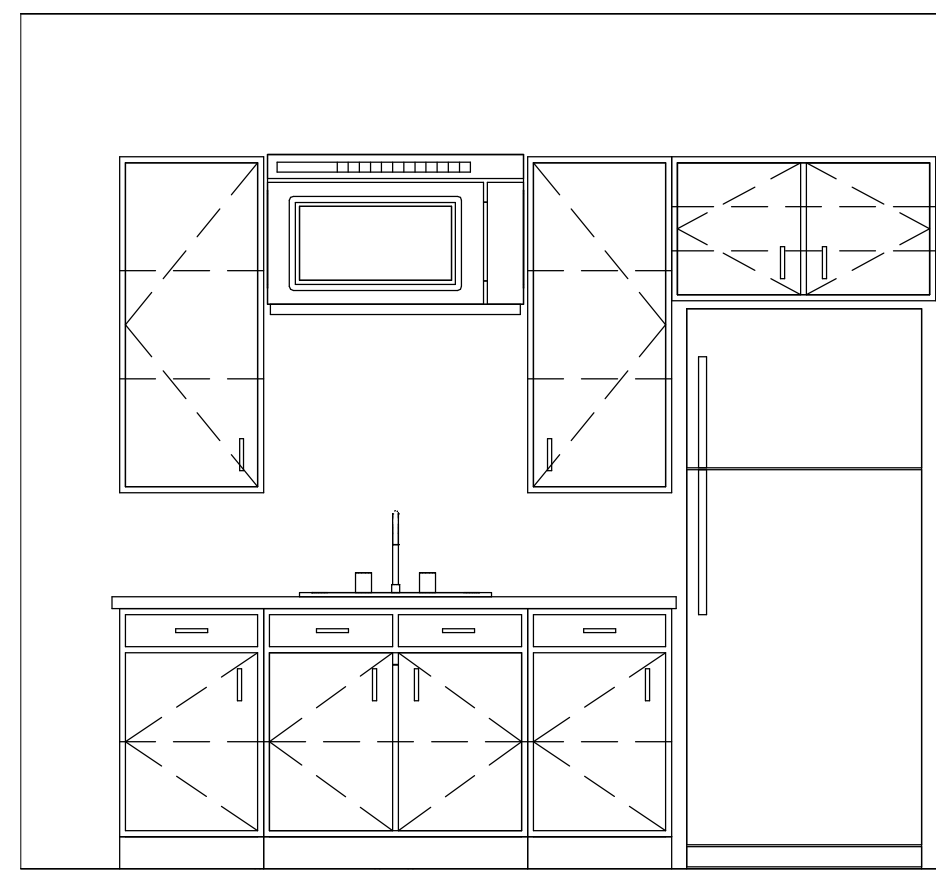
NO.	DESCRIPTION
1	TOILET PAPER HOLDER
2	24" TOWEL RACK 42" AFF
3	ROBE HOOK 42" AFF
4	METAL FRAMED MIRROR
5	4 HIGH 24" WOOD SHELVING AT 1'-4" EQUALLY SPACED TOP SHELF AT 64" AFF
6	12" WOOD SHELVING AT 60" AFF W/ HANGER ROD
7	4 HIGH 12" WOOD SHELVING AT 1'-4" EQUALLY SPACED. TOP SHELF AT 64" AFF
8	BUILT-IN SHOWER SHELVES. SEE ELEVATION



TLT. ELEV. 4
SCALE: 1/2" = 1'-0" A 316

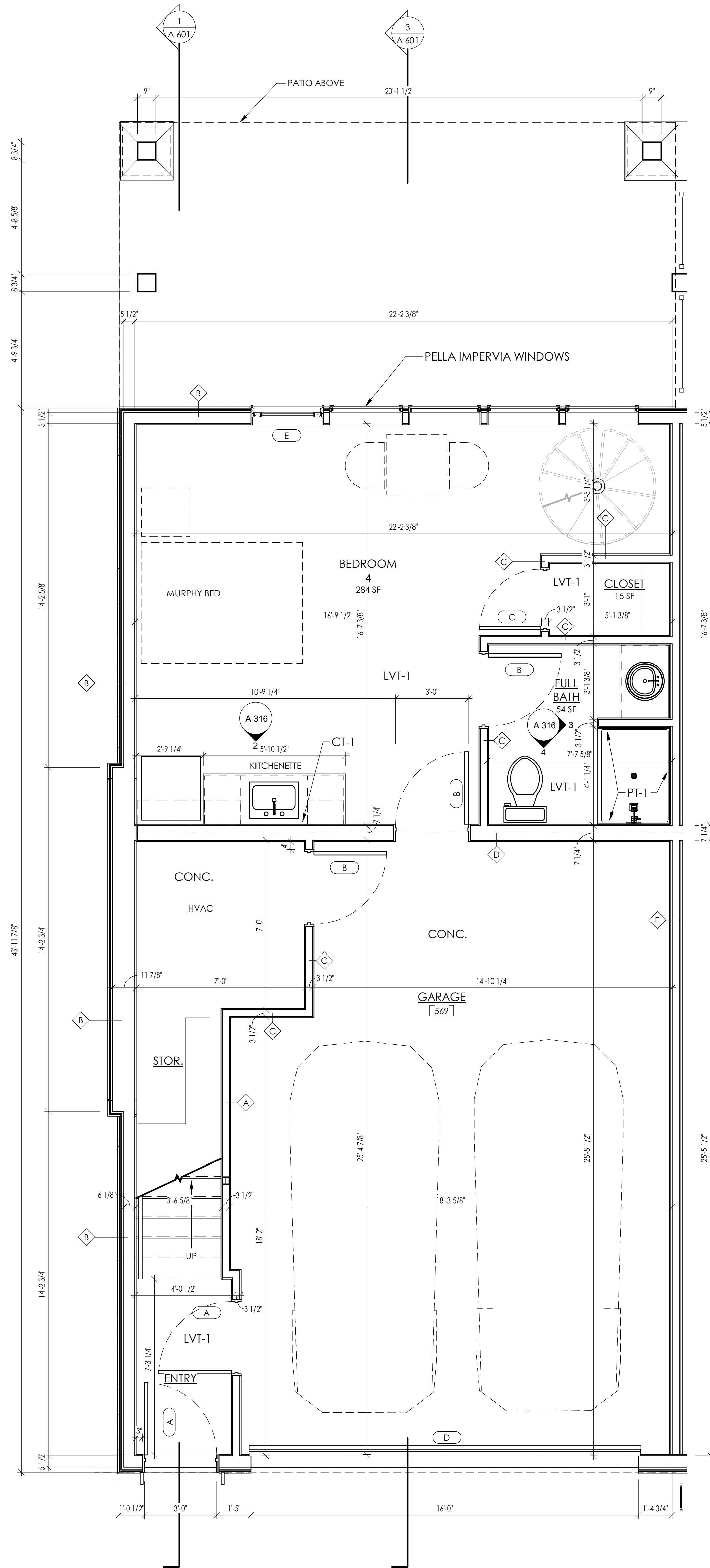


TLT ELEV. 3
SCALE: 1/2" = 1'-0" A 316



KITCHENETTE ELEV. 2
SCALE: 1/2" = 1'-0" A 316

*NOTE: SPIRAL STAIRCASE OR PNEUMATIC ELEVATOR OPTIONAL FOR TENANTS



UNIT 1 - FIRST FLOOR PLAN 1

SCALE: 3/8" = 1'-0" A 316



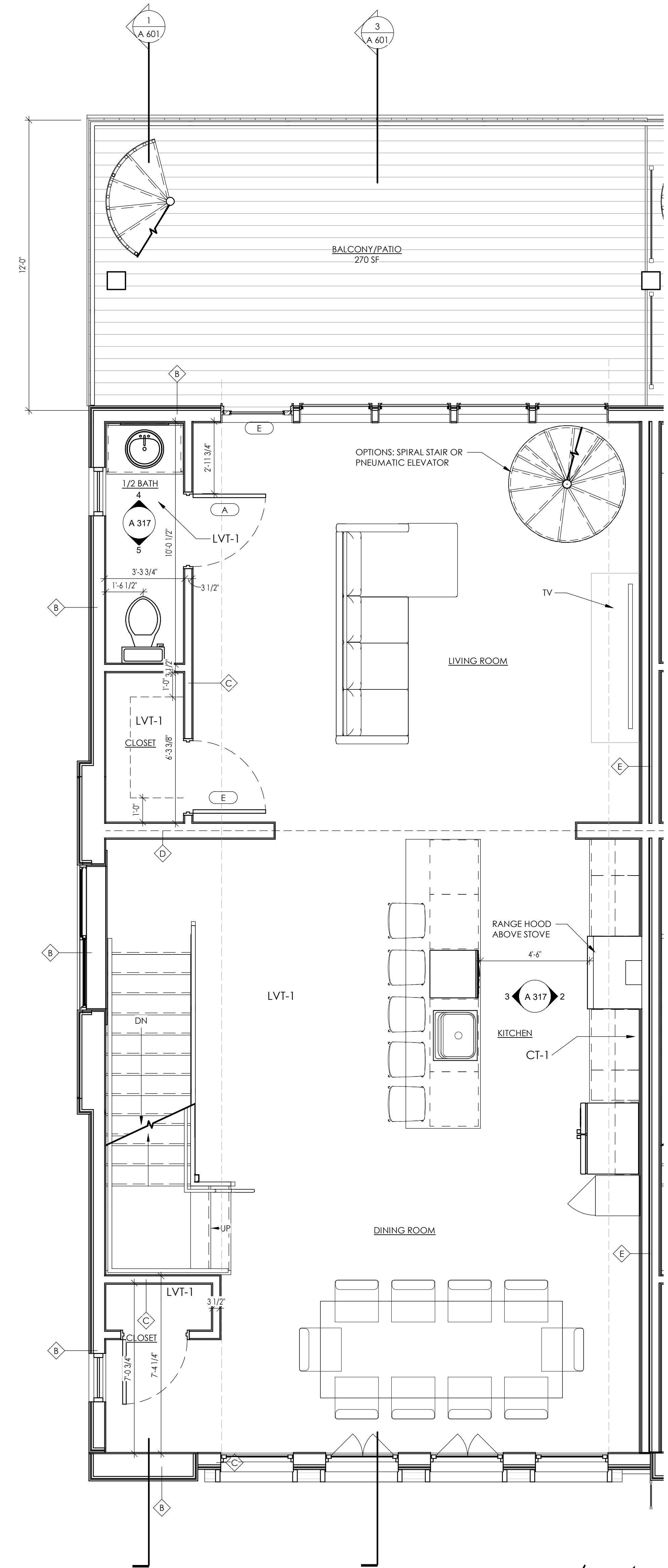
PLAN NORTH

GENERAL PLAN NOTES

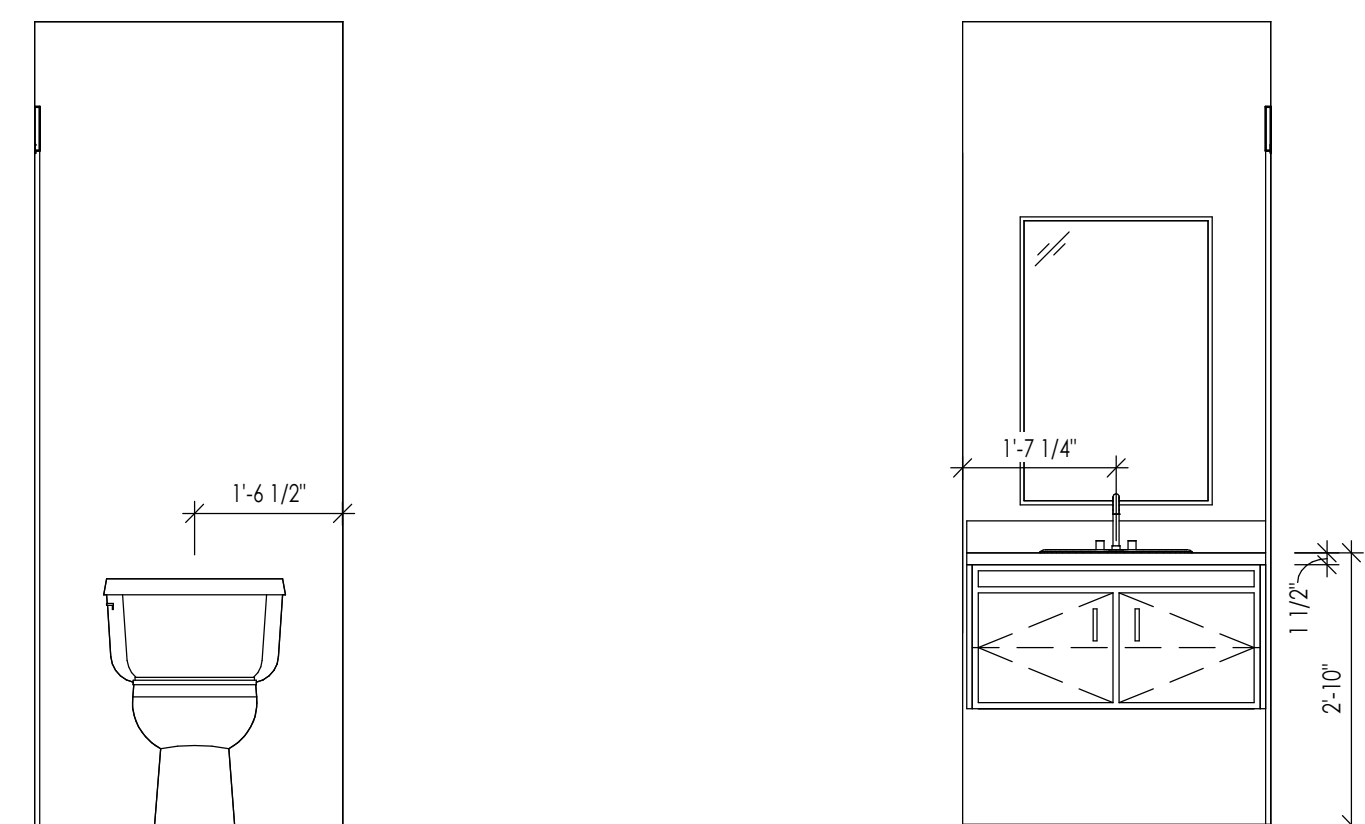
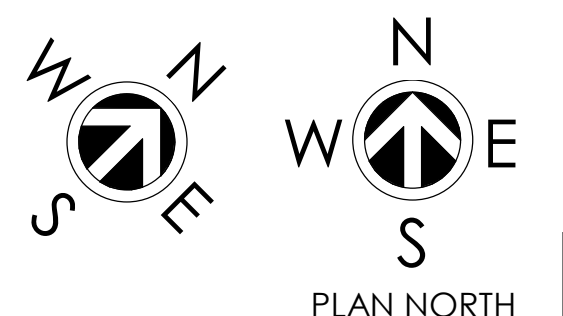
- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.
- EXTERIOR DIMENSIONS TAKEN FROM FACE OF BRICK ON FIRST FLOOR & FACE OF STUDS ON 2ND FLOOR THROUGH ROOF DECK LEVEL.
- ALL DOOR FRAMES TO BE 4" OFF WALL UNLESS OTHERWISE NOTED.
- SEE SHEETS A316-A322 FOR ENLARGED RESIDENT UNIT PLANS.
- ALL INSULATION SHOWN IN INTERIOR WALLS TO BE SOUND ATTENUATING BATT INSULATION.
- FIRE EXTINGUISHER CABINETS LOCATED IN CORRIDOR WALLS SHALL BE 1 HOUR RATED CABINETS.
- EXACT ELEVATOR SHAFT SIZE TO BE DETERMINED BASED ON FINAL ELEVATOR MANUFACTURER SELECTION.
- WHEEL STOPS AND PIPE BALLARDS SHOULD BE ADDED AT ALL MEP EQUIPMENT LOCATIONS IN PARKING GARAGES. THIS WILL BE COORDINATED AFTER MEP DESIGNS ARE SUBMITTED.

GENERAL UNIT TYPE PLAN NOTES

- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.
- ALL DOOR FRAMES TO BE 4" OFF WALL UNLESS OTHERWISE NOTED.
- ALL CABINETRY IS SHOWN FOR DESIGN INTENT ONLY. CABINET SUPPLIER IS RESPONSIBLE FOR FINAL DESIGN AND LAYOUT. PROVIDE SILICONE BUMPERS ON ALL CABINET DOORS.
- CABINETRY UNDER BATHROOM VANITIES SHALL BE REMOVABLE, WHERE NOTED, WITHOUT THE REMOVAL OR REPLACEMENT OF THE LAVATORY, AND THE FLOOR FINISH EXTENDS UNDER EACH CABINET UNLESS NOTED OTHERWISE.
- ALL WASHER AND DRYER UNITS TO BE FRONT LOADING.
- ALL BEDROOM CLOSETS TO HAVE WOOD SHELVING SYSTEM.
- SEE LAUNDRY ELEVATIONS FOR LAUNDRY SHELVING TYPE AND SIZE.
- SEE SHEET A401 FOR DOOR AND FRAME ELEVATIONS, AS WELL AS GLASS TYPES.
- PROVIDE CEILING FANS IN EACH BEDROOM.
- PROVIDE 220 VOLT OUTLET NEAR PATIO DOOR FOR HEAT LAMPS.
- PLUMBING FIXTURES TO BE KOHLER OR EQUAL WITH A MODERN, SQUARE AESTHETIC; WHITE COLOR.
- ALL HARDWARE TO HAVE A BRUSHED NICKEL FINISH.
- SEE UNIT PLAN FOR WALL ACCENT PAINT LOCATIONS.
- PROVIDE AN OPTION FOR A "SHOWER TOWER" TYPE SHOWER FAUCET IN EACH SHOWER UNIT.
- FINISHES SUBJECT TO OWNER SELECTING FINISH PACKAGE "OPTION 1" OR "OPTION 2"
- SEE DETAIL 11/A609 FOR HALF WALL CONSTRUCTION IN BATHROOM AS APPLICABLE.

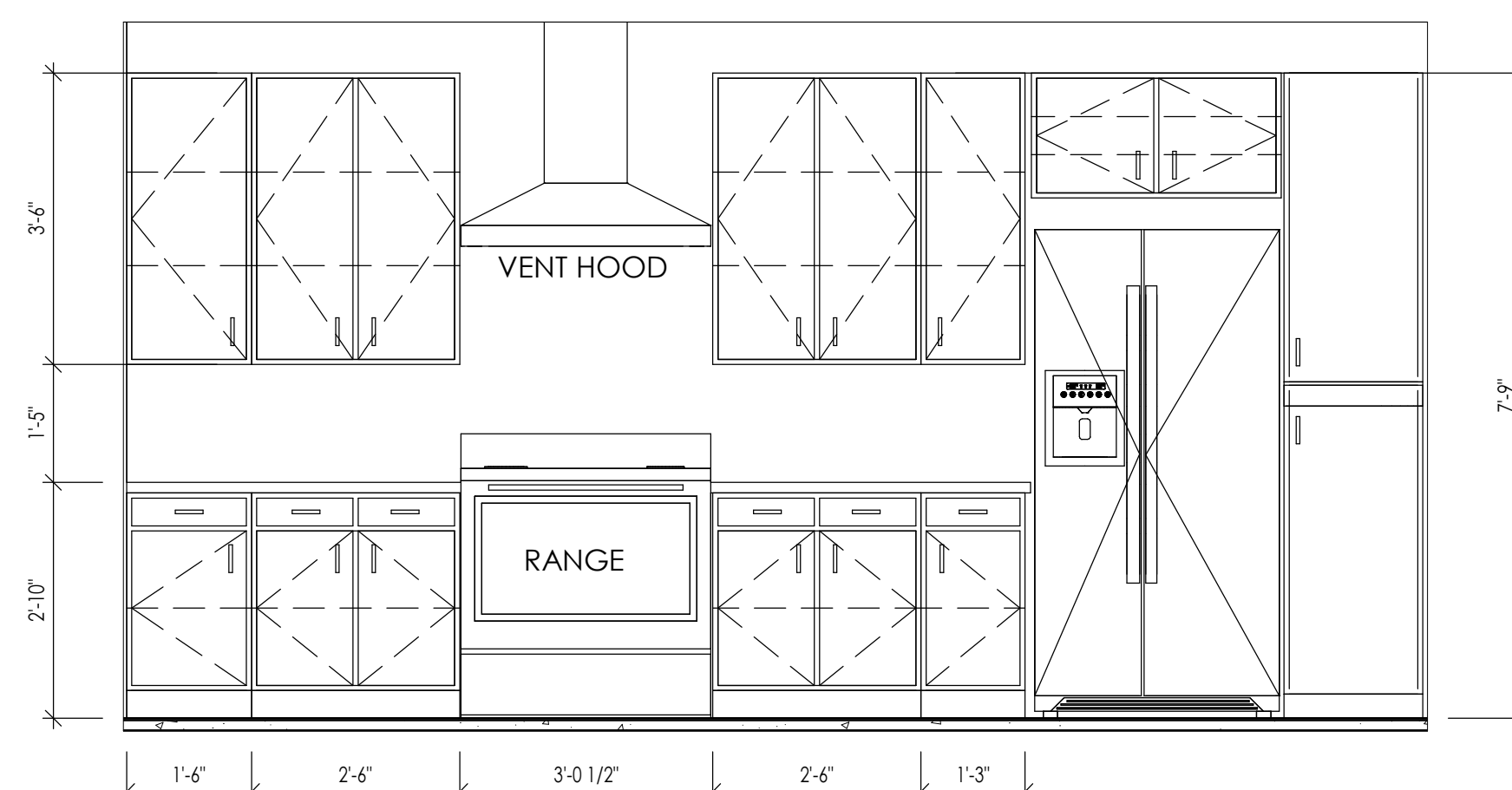


UNIT 1 - SECOND FLOOR PLAN
SCALE: 3/8" = 1'-0" A 317

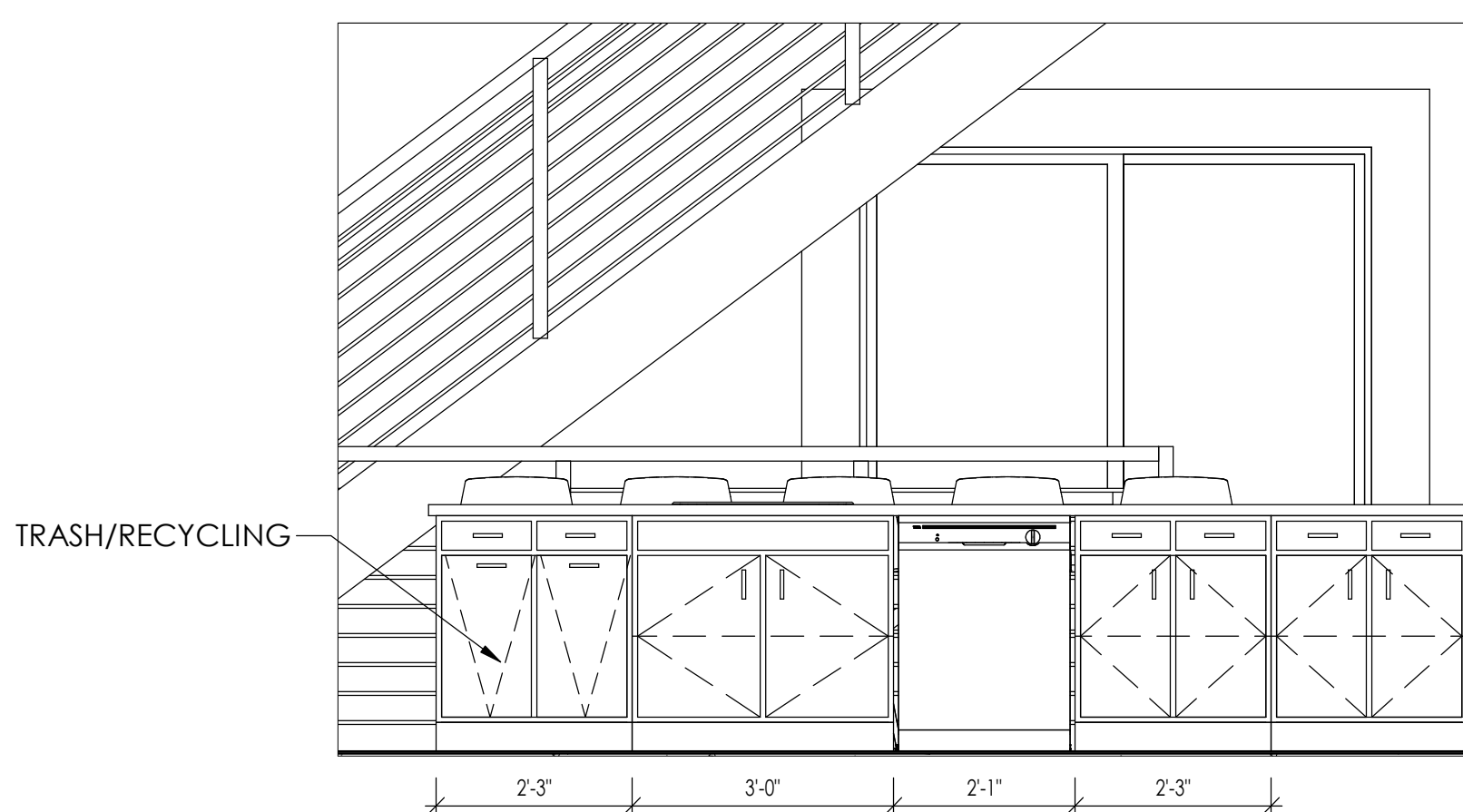


TLT ROOM ELEVATION 4
SCALE: 1/2" = 1'-0" A 317

TLT ROOM ELEVATION 5
SCALE: 1/2" = 1'-0" A 317



CASEWORK ELEVATION 2
SCALE: 1/2" = 1'-0" A 317



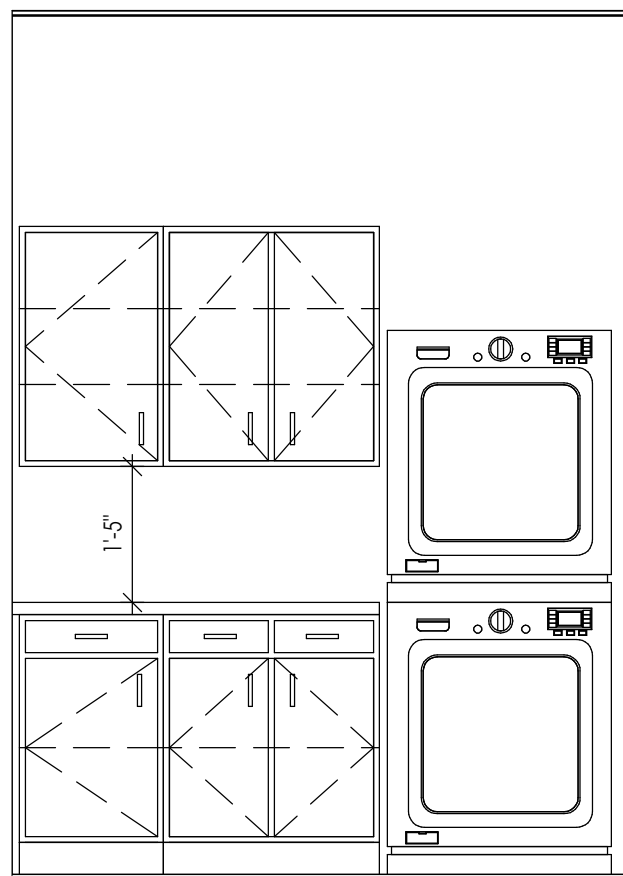
CASEWORK ELEVATION 3
SCALE: 1/2" = 1'-0" A 317

GENERAL PLAN NOTES

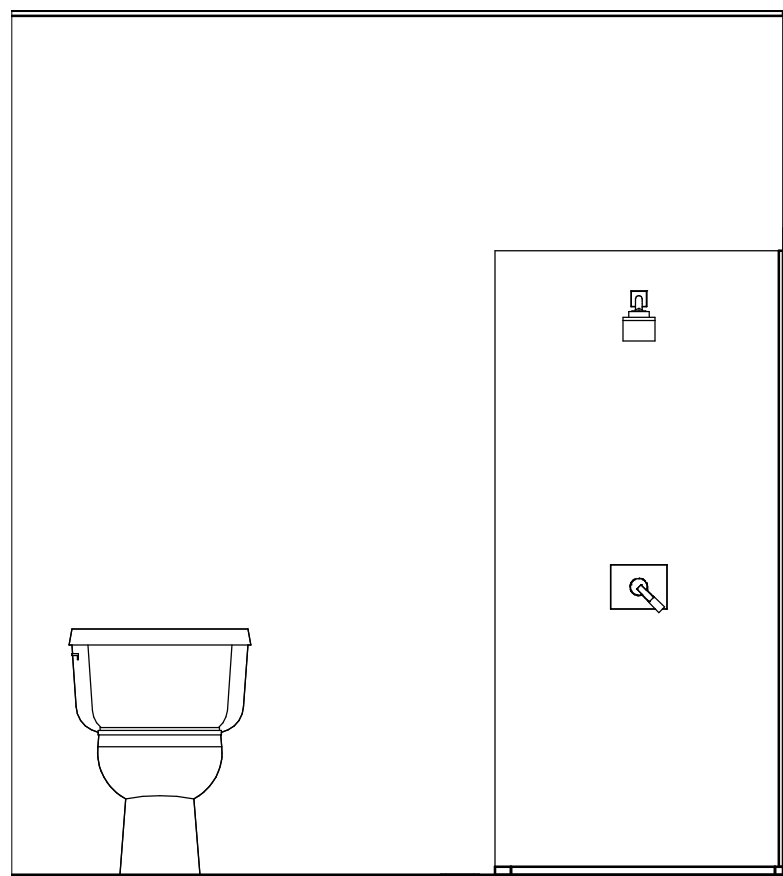
- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.
- EXTERIOR DIMENSIONS TAKEN FROM FACE OF BRICK ON FIRST FLOOR & FACE OF STUDS ON 2ND FLOOR THROUGH ROOF DECK LEVEL.
- ALL DOOR FRAMES TO BE 4" OFF WALL UNLESS OTHERWISE NOTED
- SEE SHEETS A316-A322 FOR ENLARGED RESIDENT UNIT PLANS
- ALL INSULATION SHOWN IN INTERIOR WALLS TO BE SOUND ATTENUATING BATT INSULATION
- FIRE EXTINGUISHER CABINETS LOCATED IN CORRIDOR WALLS SHALL BE 1 HOUR RATED CABINETS
- EXACT ELEVATOR SHAFT SIZE TO BE DETERMINED BASED ON FINAL ELEVATOR MANUFACTURER SELECTION
- WHEEL STOPS AND PIPE BALLARDS SHOULD BE ADDED AT ALL MEP EQUIPMENT LOCATIONS IN PARKING GARAGES. THIS WILL BE COORDINATED AFTER MEP DESIGNS ARE SUBMITTED

GENERAL UNIT TYPE PLAN NOTES

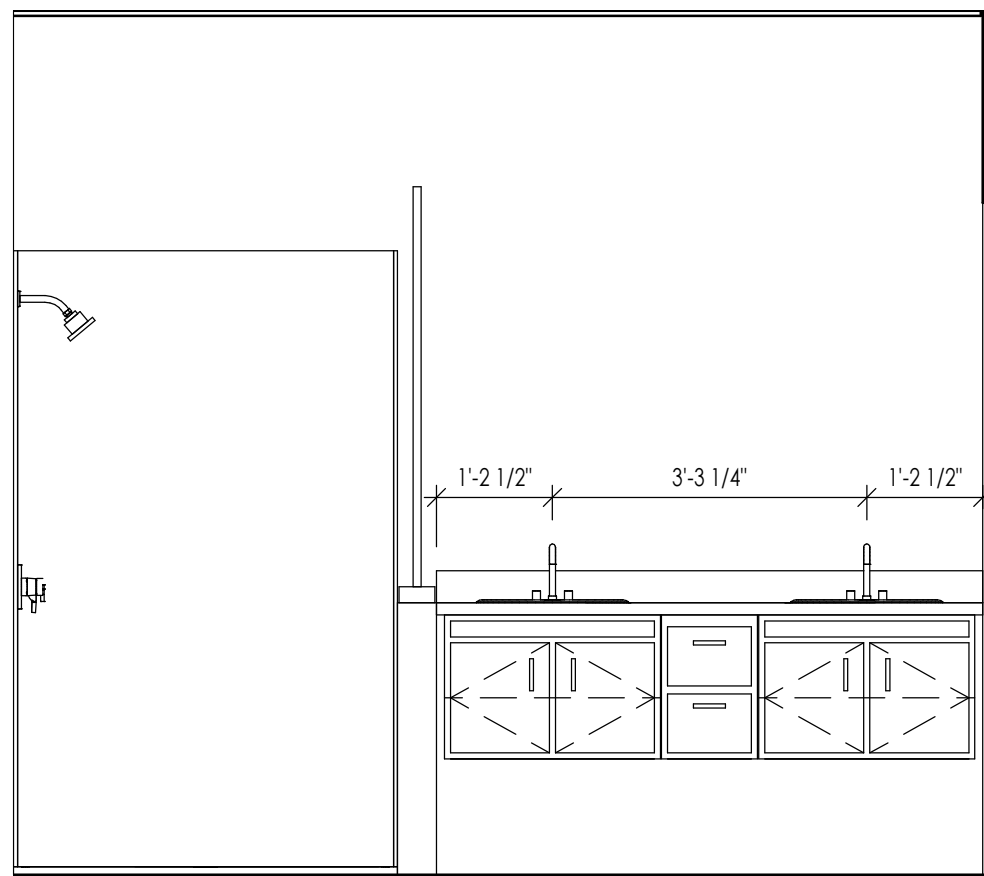
- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.
- ALL DOOR FRAMES TO BE 4" OFF WALL UNLESS OTHERWISE NOTED
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- CABINETS UNDER BATHROOM VANITIES SHALL BE REMOVABLE, WHERE NOTED, WITHOUT THE REMOVAL OR REPLACEMENT OF THE LAVATORY, AND THE FLOOR FINISH EXTENDS UNDER EACH CABINET UNLESS NOTED OTHERWISE.
- ALL WASHER AND DRYER UNITS TO BE FRONT LOADING
- ALL BEDROOM CLOSETS TO HAVE WOOD SHELVING SYSTEM
- SEE LAUNDRY ELEVATIONS FOR LAUNDRY SHELVING TYPE AND SIZE.
- SEE SHEET A401 FOR DOOR AND FRAME ELEVATIONS, AS WELL AS GLASS TYPES.
- PROVIDE CEILING FANS IN EACH BEDROOM.
- PROVIDE 220 VOLT OUTLET NEAR PATIO DOOR FOR HEAT LAMPS.
- PLUMBING FIXTURES TO BE KOHLER OR EQUAL WITH A MODERN, SQUARE AESTHETIC; WHITE COLOR.
- ALL HARDWARE TO HAVE A BRUSHED NICKEL FINISH.
- SEE UNIT PLAN FOR WALL ACCENT PAINT LOCATIONS.
- PROVIDE AN OPTION FOR A "SHOWER TOWER" TYPE SHOWER FAUCET IN EACH SHOWER UNIT.
- FINISHES SUBJECT TO OWNER SELECTING FINISH PACKAGE "OPTION 1" OR "OPTION 2"
- SEE DETAIL 111/A609 FOR HALF WALL CONSTRUCTION IN BATHROOM AS APPLICABLE.



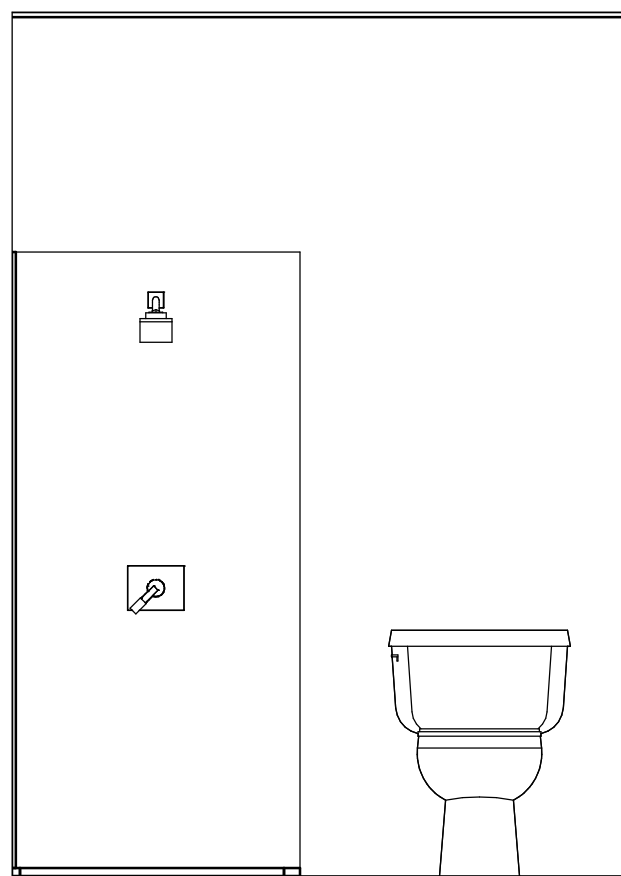
CASEWORK ELEV. 6
SCALE: 1/2" = 1'-0" A 318



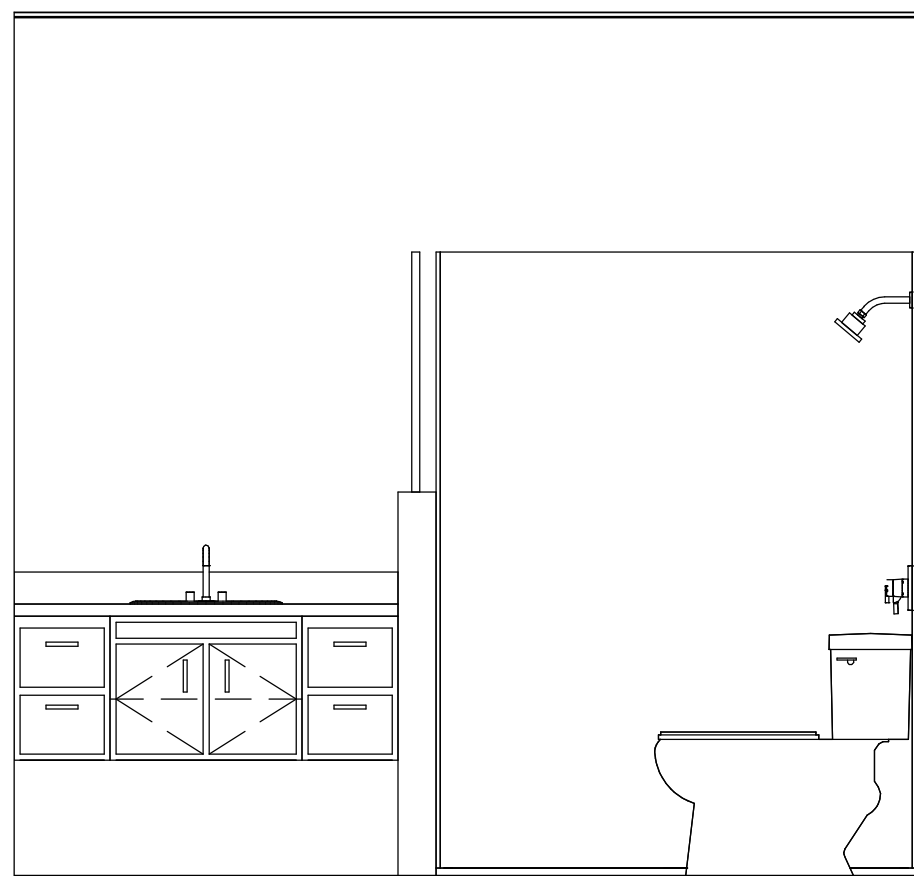
BATHROOM ELEVATION 5
SCALE: 1/2" = 1'-0" A 318



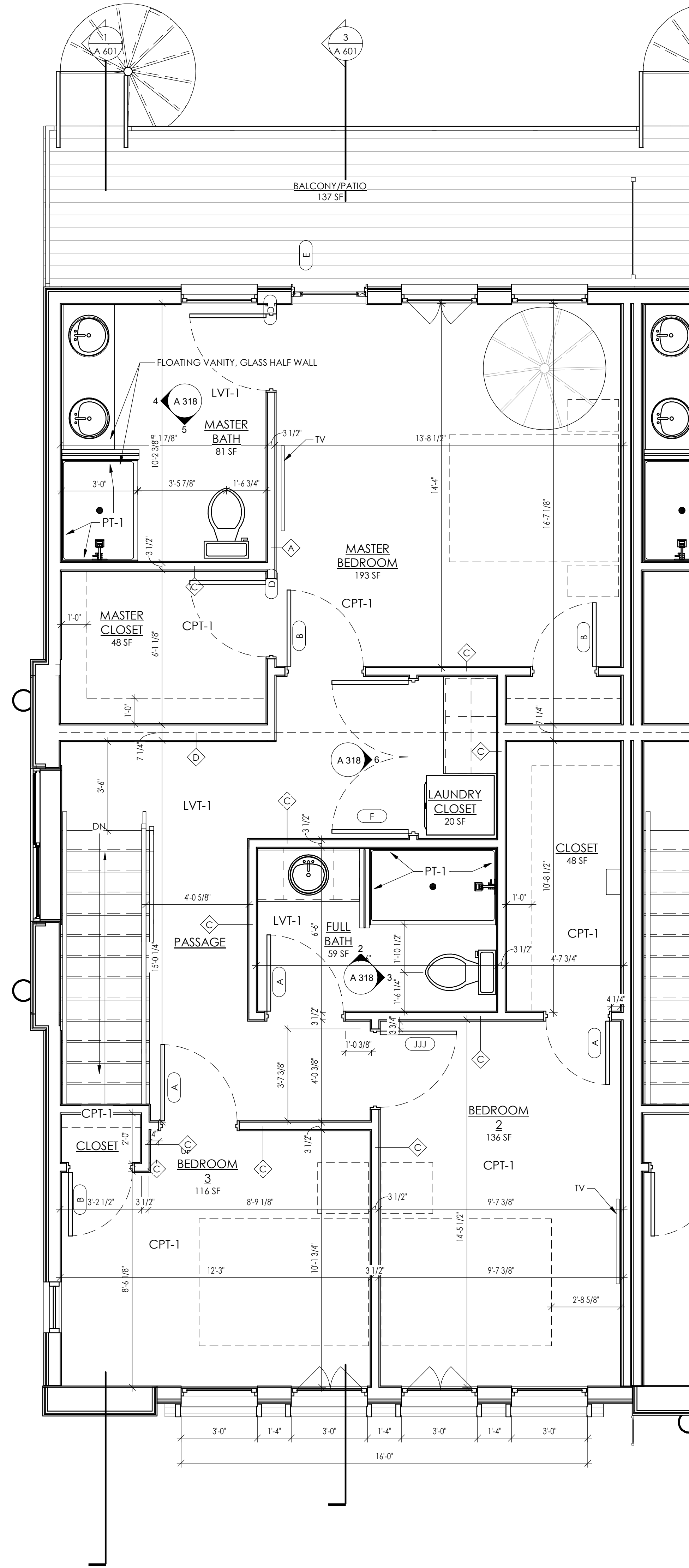
BATHROOM ELEVATION 4
SCALE: 1/2" = 1'-0" A 318



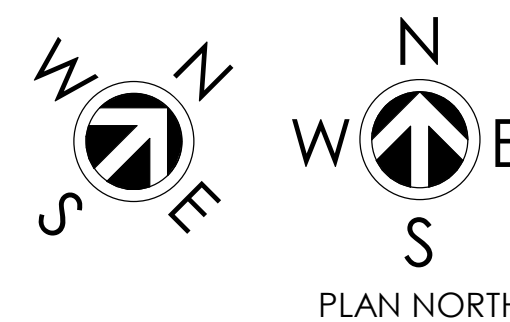
BATHROOM ELEVATION 3
SCALE: 1/2" = 1'-0" A 318



BATHROOM ELEVATION 2
SCALE: 1/2" = 1'-0" A 318



UNIT 1 - THIRD FLOOR PLAN 1
SCALE: 3/8" = 1'-0" A 318



FLOOR PLAN KEYNOTES	
NO.	DESCRIPTION
1	TOILET PAPER HOLDER
2	24" TOWEL RACK 42" AFF
3	ROBE HOOK 42" AFF
4	METAL FRAMED MIRROR
5	4 HIGH 24" WOOD SHELVEING AT 1'-4" EQUALLY SPACED TOP SHELF AT 64" AFF
6	12" WOOD SHELVEING AT 60" AFF W/ HANGER ROD
7	4 HIGH 12" WOOD SHELVEING AT 1'-4" EQUALLY SPACED. TOP SHELF AT 64" AFF
8	BUILT-IN SHOWER SHELVES. SEE ELEVATION

DOOR REMARKS	
1	- CARD READER
2	- VINYL SWEEP AT BASE, VINYL SEAL JAMB AND HEAD
3	- 1/2" WIDER DOOR FRAME THAN SCHEDULED DUE TO SHEAR WALL.
4	- 1 1/2" UNDERCUT ON DOOR TO ALLOW FOR MECH EQUIP.
5	- FRENCH DOORS WITH 12 EQUALLY SIZED GLASS PANELS
UNITS 1-15 ENLARGED PLAN DOOR REMARKS DOOR REMARKS SHOWN ON UNIT FLOOR PLAN AT DOOR TAG	

ROOM FINISH LEGEND	
KEY	DESCRIPTION
ACT-1	ACOUSTIC CEILING TILE - 24" x 24"
ACT-2	VINYL FACED GYPSUM BOARD - 24" x 24"
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
ES	EXPOSED STRUCTURE
EX	EXISTING FINISH
FAF	FLUID APPLIED FLOORING
GT	GLASS TILE
GYP	GYPSUM BOARD
HM	HOLLOW METAL
LT	LEATHER TILE
LVT	LUXURY VINYL TILE
P-	PAINT FINISH
PT	PORCELAIN TILE
PTB	PORCELAIN TILE BASE
SC	SEALED CONCRETE
VB	VINYL BASE
WB	WOOD BASE
WD	WOOD

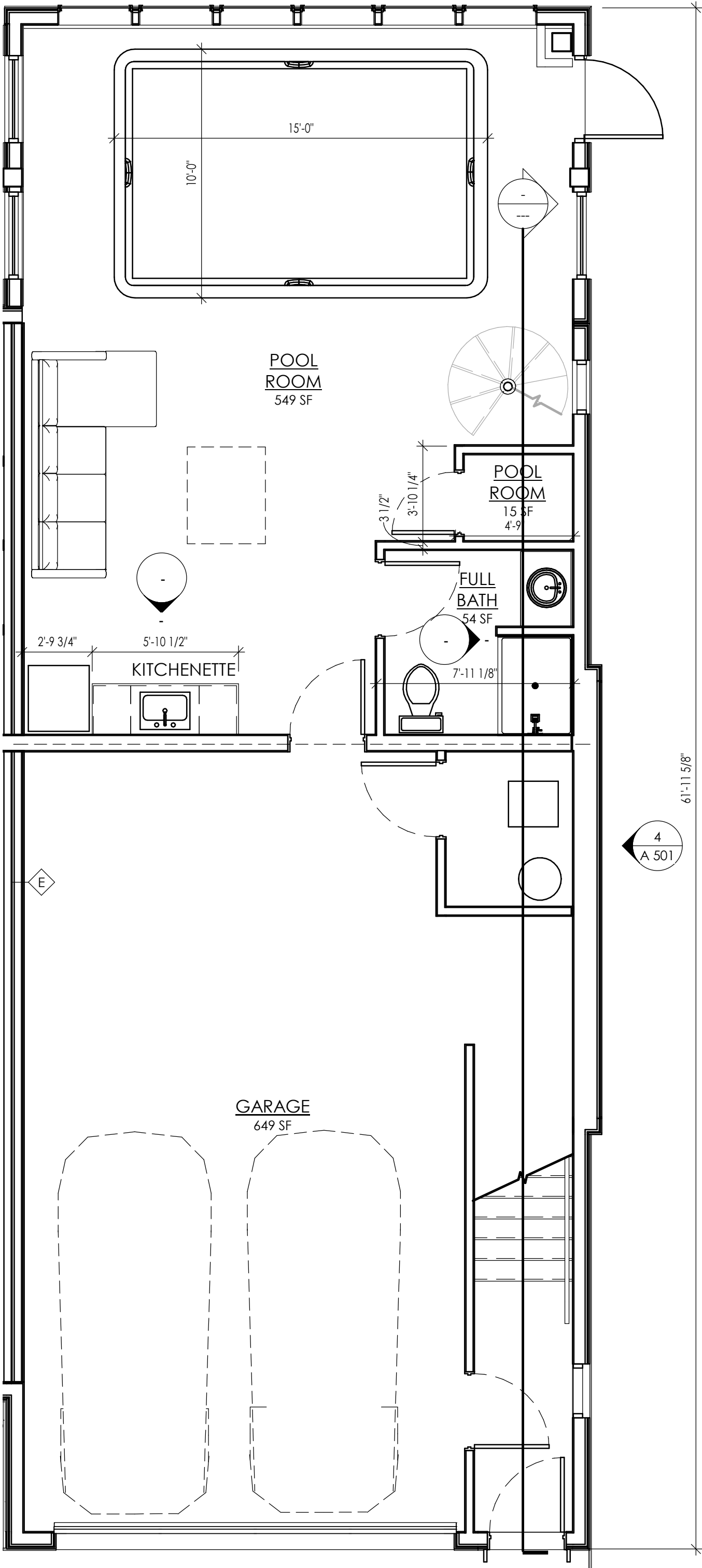
ROOM FINISH REMARKS	
NO.	DESCRIPTION
1	FIRST FLOOR STAIR LANDING TO BE LVT-1; ALL STAIR TREADS AND RISERS AND UPPER LANDINGS TO BE CPT-2
2	SEE FINISH PLANS FOR FLOOR PATTERN
3	SEE REFLECTED CEILING PLANS FOR GYPSUM SOFFIT LOCATIONS
4	SEE FINISH PLANS/UNIT PLANS FOR ACCENT PAINT LOCATIONS
5	SEE INTERIOR ELEVATIONS FOR PORCELAIN TILE (PT) AND CERAMIC TILE (CT) LOCATIONS
6	FOURTH FLOOR UNITS HAVE A CEILING HEIGHT OF 10'-0"
7	UNIT 14 SHALL HAVE A LEVEL 5 DRYWALL FINISH

CUSTOM UNIT TYPE PLAN NOTES	
• ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.	
• INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.	
• ALL DOOR FRAMES TO BE 4" OFF WALL UNLESS OTHERWISE NOTED	
• ALL CABINERY IS SHOWN FOR DESIGN INTENT ONLY. CABINET SUPPLIER IS RESPONSIBLE FOR FINAL DESIGN AND LAYOUT. PROVIDE SILICONE BUMPERS ON ALL CABINET DOORS.	
• ALL CABINERY UNDER BATHROOM VANITIES SHALL BE REMOVABLE WITHOUT THE REMOVAL OR REPLACEMENT OF THE LAVATORY, AND THE FLOOR FINISH EXTENDS UNDER EACH CABINET.	
• ALL WASHER AND DRYER UNITS TO BE FRONT LOADING	
• ALL BEDROOM CLOSETS SHOULD HAVE WOOD SHELVEING SYSTEM	
• ALL STORAGE CLOSETS SHOULD HAVE WOOD SHELVEING 24" DEEP, (4) HIGH, SPACED AT 16" STARTING AT FINISHED FLOOR UNLESS OTHERWISE NOTED	
• SEE LAUNDRY ELEVATIONS FOR LAUNDRY SHELVEING TYPE AND SIZE.	
• PROVIDE BACKLIT MIRROR IN EACH UNIT BATHROOM WIDTH EQUAL TO COUNTERTOP LENGTH.	
• SEE SHEET A401 FOR DOOR AND FRAME ELEVATIONS & GLASS TYPES.	
• PROVIDE CEILING FANS IN EACH BEDROOM.	
• PROVIDE 220 VOLT OUTLET NEAR PATIO DOOR FOR HEAT LAMPS.	
• PLUMBING FIXTURES TO BE KOHLER OR EQUAL WITH A MODERN, SQUARE AESTHETIC; WHITE COLOR.	
• ALL HARDWARE TO HAVE A BRUSHED NICKEL FINISH UNLESS NOTED OTHERWISE.	
• SEE UNIT PLAN FOR WALL ACCENT PAINT LOCATIONS.	

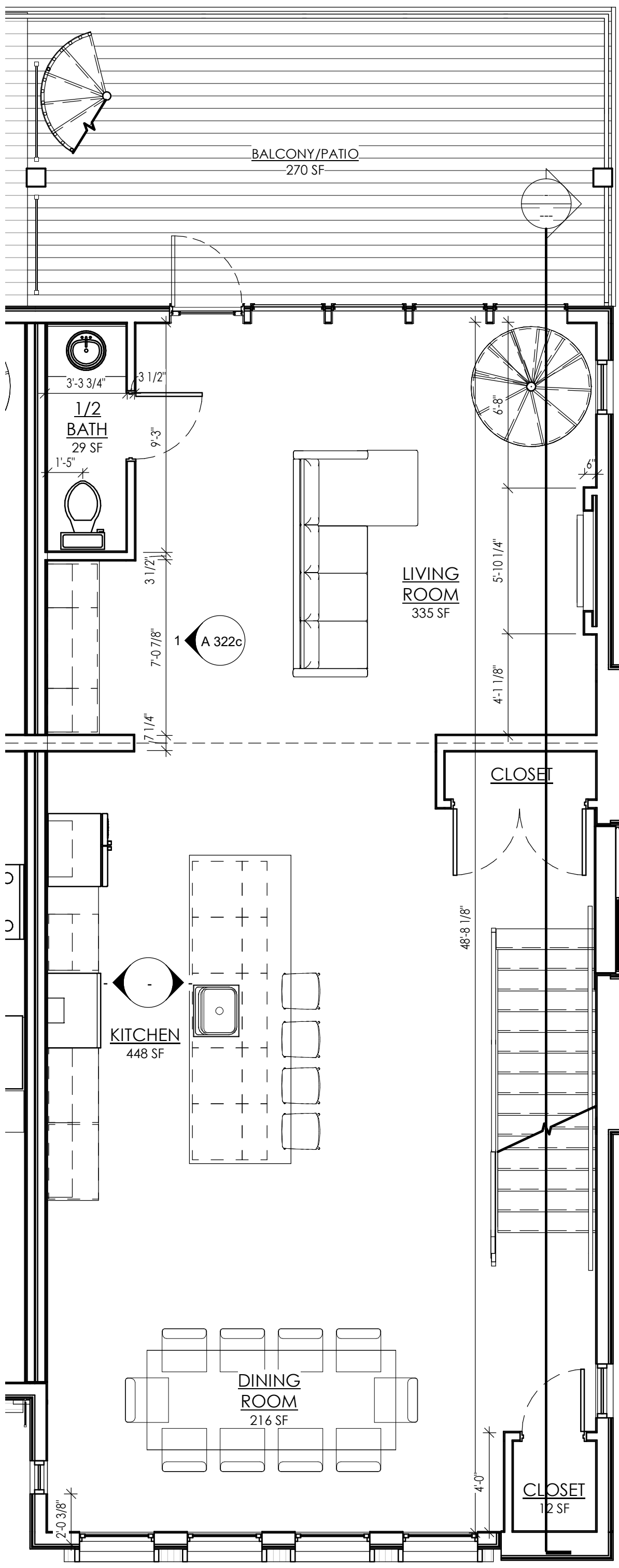


REVISIONS:		
1	10/04/21	Addendum 01

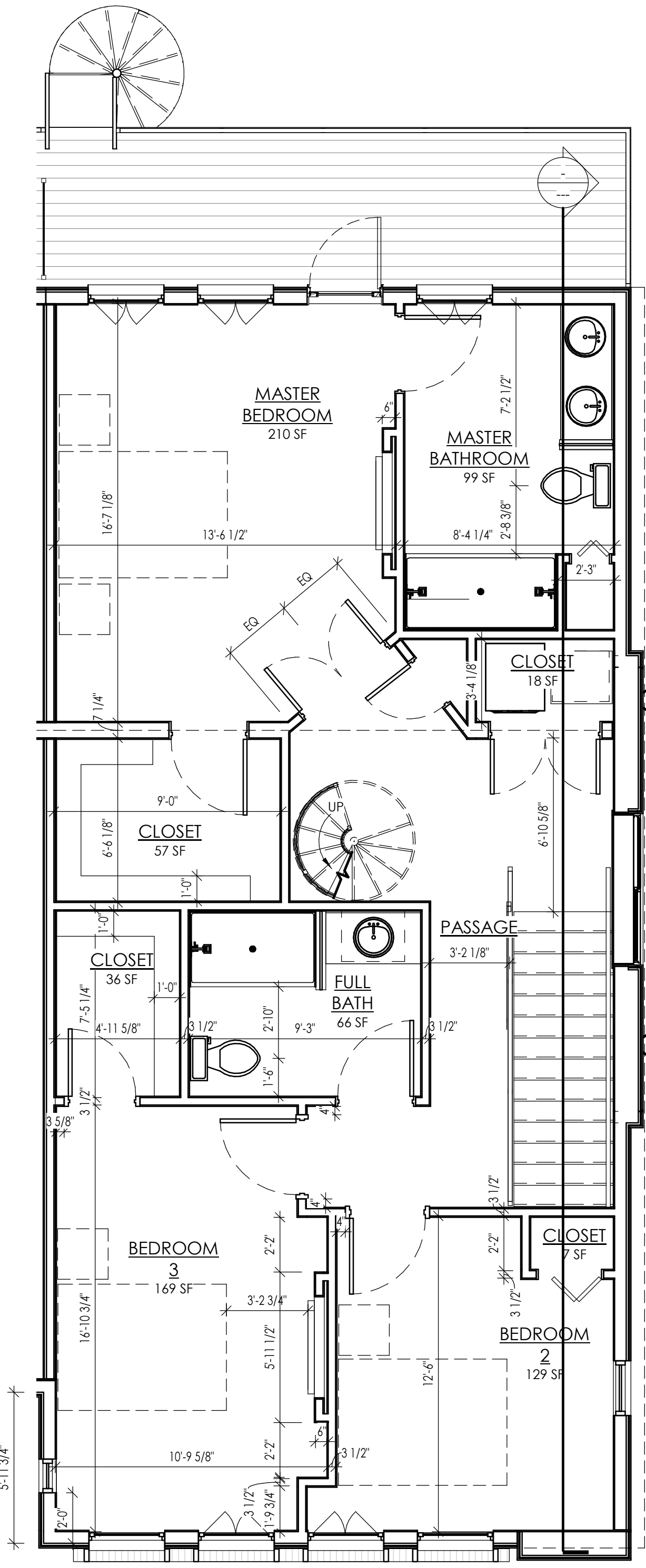
NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND
SPECIFICATION SECTIONS TO DETERMINE THE IMPACT
OF OTHER SECTIONS OF WORK ON THEIR OWN WORK
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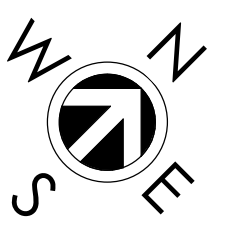
GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



MAY 17, 2022
NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081
1135A MICHIGAN AVE., SHEBOYGAN, WI 53081 | (920) 452-4444 | 313 N. PLANKINTON AVE. SUITE 208, MILWAUKEE, WI 53203
PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: DG.EF
CHECKED BY: PM

WATSON UNIT
A
322a
PROJ. NO. 2022-12

REVISIONS:

1 10/04/21 Addendum 01

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND
SPECIFICATION SECTIONS TO DETERMINE THE IMPACT
OF OTHER SECTIONS OF WORK ON THEIR OWN WORK
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MAY 17, 2022
NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081
1135A MICHIGAN AVE, SHEBOYGAN, WI 53081 (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203
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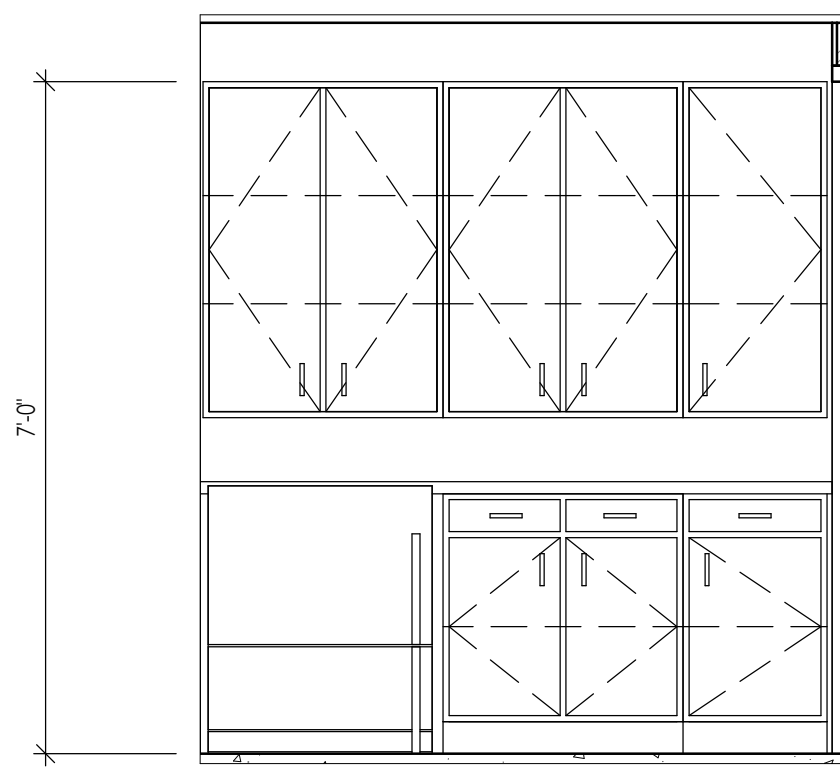
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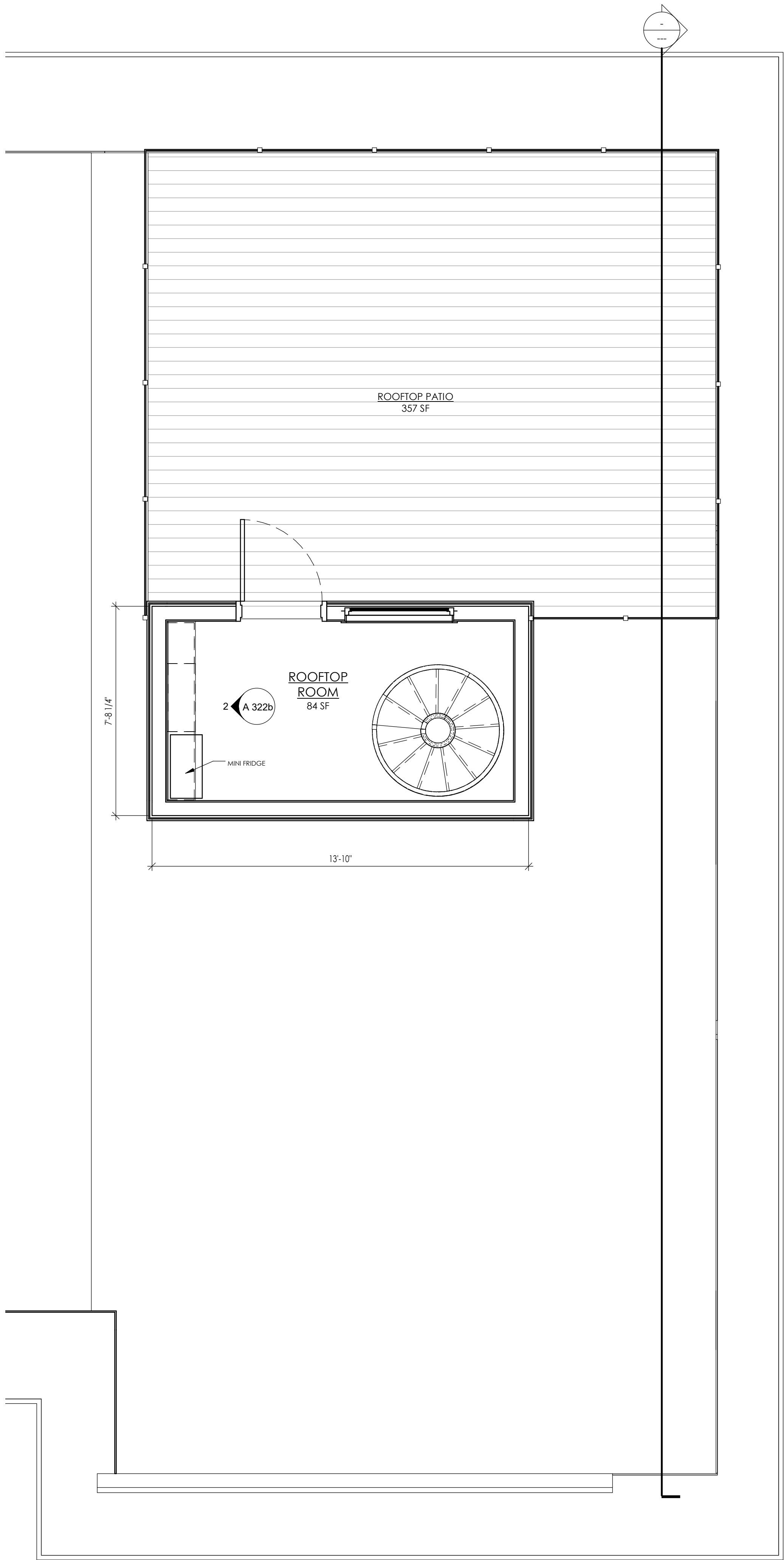
WATSON UNIT

A
322b

PROJ. NO. 2022-12



7 - a
SCALE: 1/2" = 1'-0"
2
A
322b



ROOF PATIO PLAN
SCALE: 3/8" = 1'-0"
A
322b

***NOTE:** COLORS AND MATERIALS TO BE MATCHED TO PHASE 1 APARTMENTS AND APPROVED BY ARCHITECT.

NO.	DESCRIPTION
1	STRAND SUBSTRATE LAP SIDING - COLOR TO BE DETERMINED BY OWNER
2	ALUMINUM FASCIA PANEL - COLOR TO BE DETERMINED BY OWNER
3	EXTRUDED WOOD FRAME - COLOR TO BE DETERMINED BY OWNER
4	ALUMINUM FASCIA PANEL - COLOR TO BE DETERMINED BY OWNER
5	UP/DOWN LIGHTING FIXTURE - SEE ELECTRICAL DRAWINGS
6	THIN BRICK VENEER
7	STRAND SUBSTRATE TRIM. ALL TRIM SHALL BE 6" X 1 1/4" UNLESS SPECIFICALLY NOTED OTHERWISE. COLORS AND TEXTURES TO BE DETERMINED BY OWNER
8	PRE-FABRICATED ALUMINUM RAILING SYSTEM. COLOR TO BE DETERMINED BY OWNER. PROVIDE ALL REQUIRED ACCESSORIES AND MOUNTING BRACKETS AND HARDWARE. COMPLETED INSTALLATION MUST MEET STRUCTURAL REQUIREMENTS FOR A LATERAL LOAD OF 200 POUND APPLIED IN ANY DIRECTION.

NO.	DESCRIPTION
9	COMPOSITE DECKING ON PRESERVATIVE 2x WOOD FRAMING. COLOR TO BE DETERMINED BY OWNER
10	BUILT-UP COLUMN. REFERENCE STRUCTURAL DRAWINGS. COLUMN TO BE CLAD WITH STRAND SUBSTRATE TRIM BOARDS. COLOR TO BE DETERMINED BY OWNER
11	CASE STONE COPING CAP. COLOR TO BE DETERMINED BY OWNER. CAP SHALL BE TWO PIECE CONSTRUCTION. GROUND AND CAULK JOINT
12	BRICK COLUMN BASE ENCLOSURE - MATCH FACE BRICK VENEER
13	WOOD SLAT PATIO PARTITION
14	WOOD SLAT PARTITION



REVISIONS:

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MAY 17, 2022
NEW CONSTRUCTION FOR:

SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN, 53081

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 720.452.4444 | 3131 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

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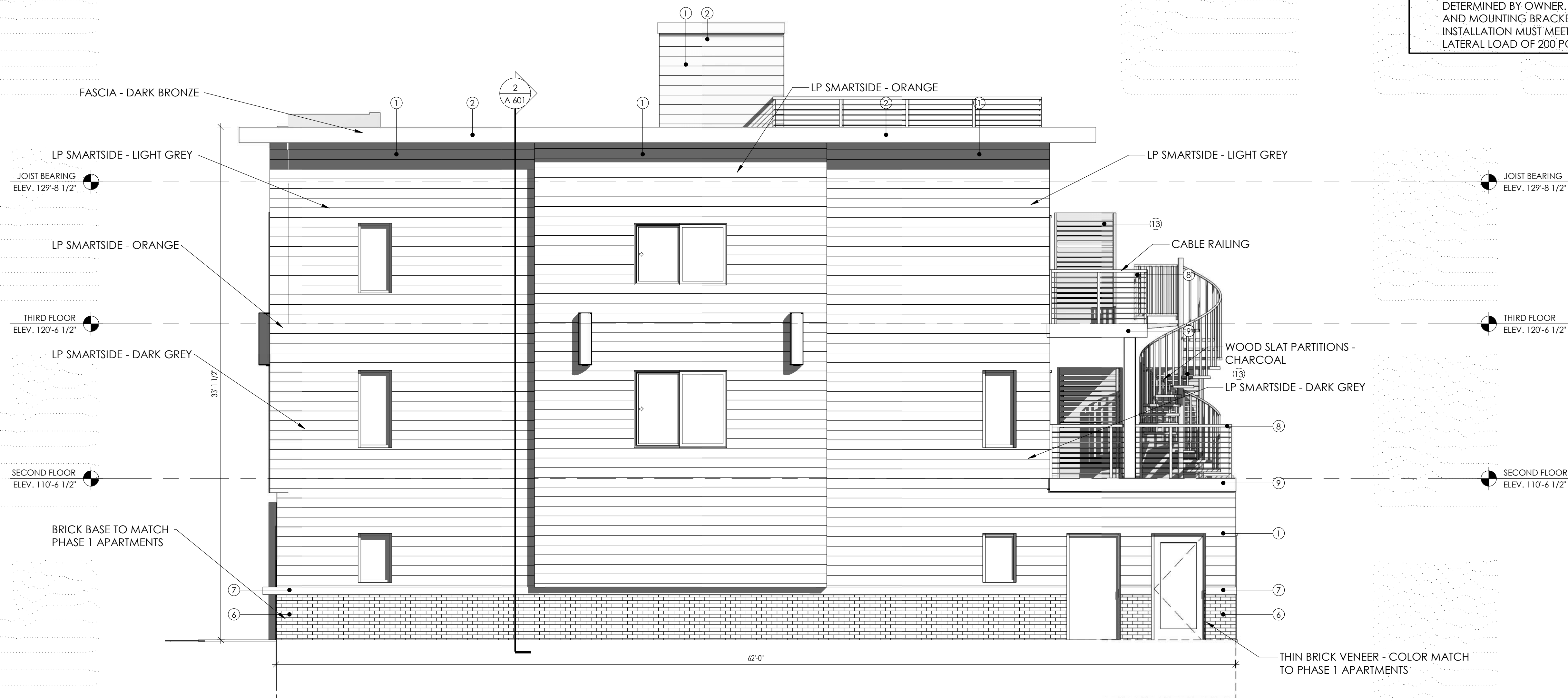
TYPICAL ELEVATION -
TOWNHOUSE

A
501

PROJ. NO. 2022-12

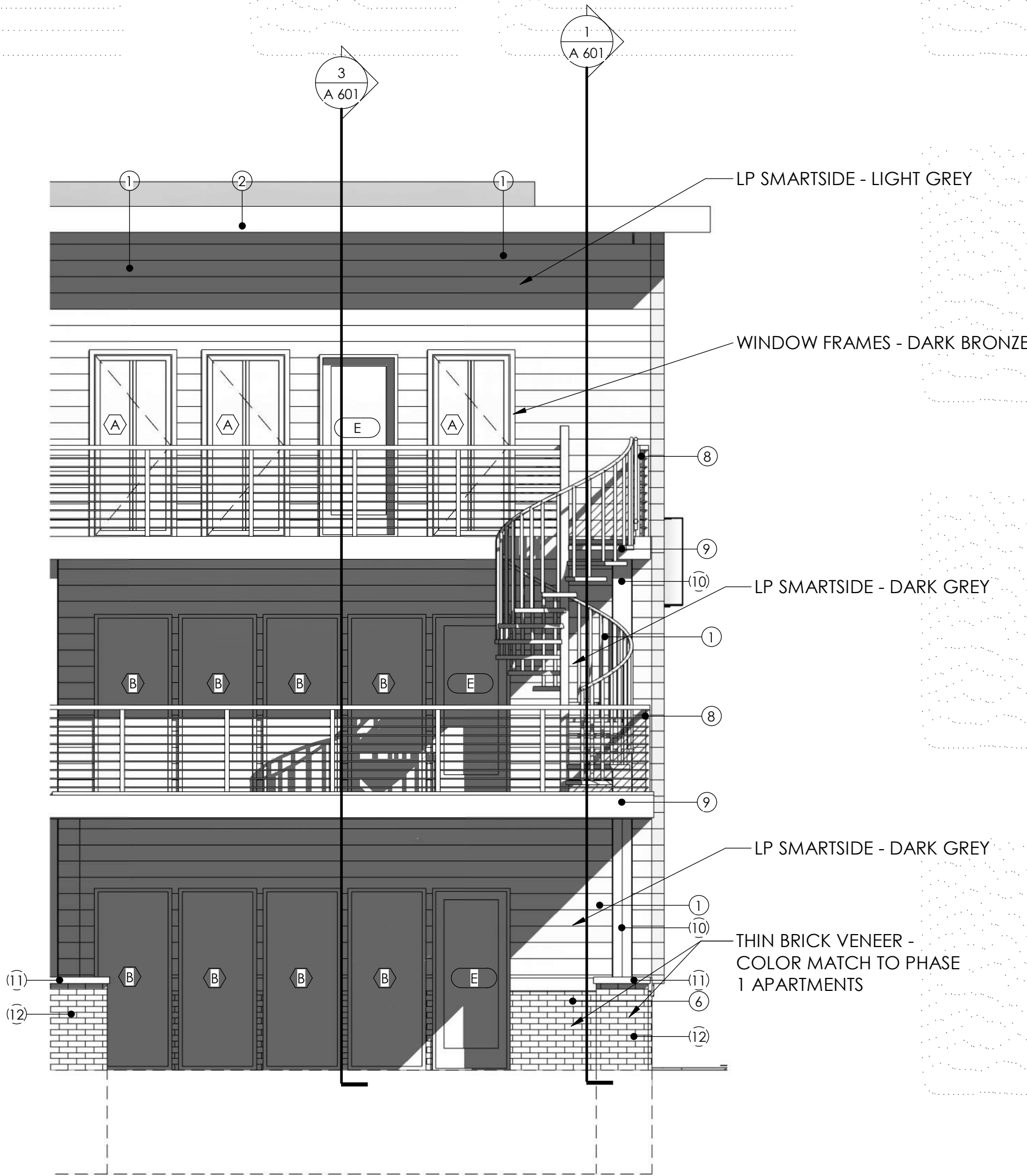
WATSON TOWNHOUSE - EAST ELEVATION

SCALE: 1/4" = 1'-0" A 501



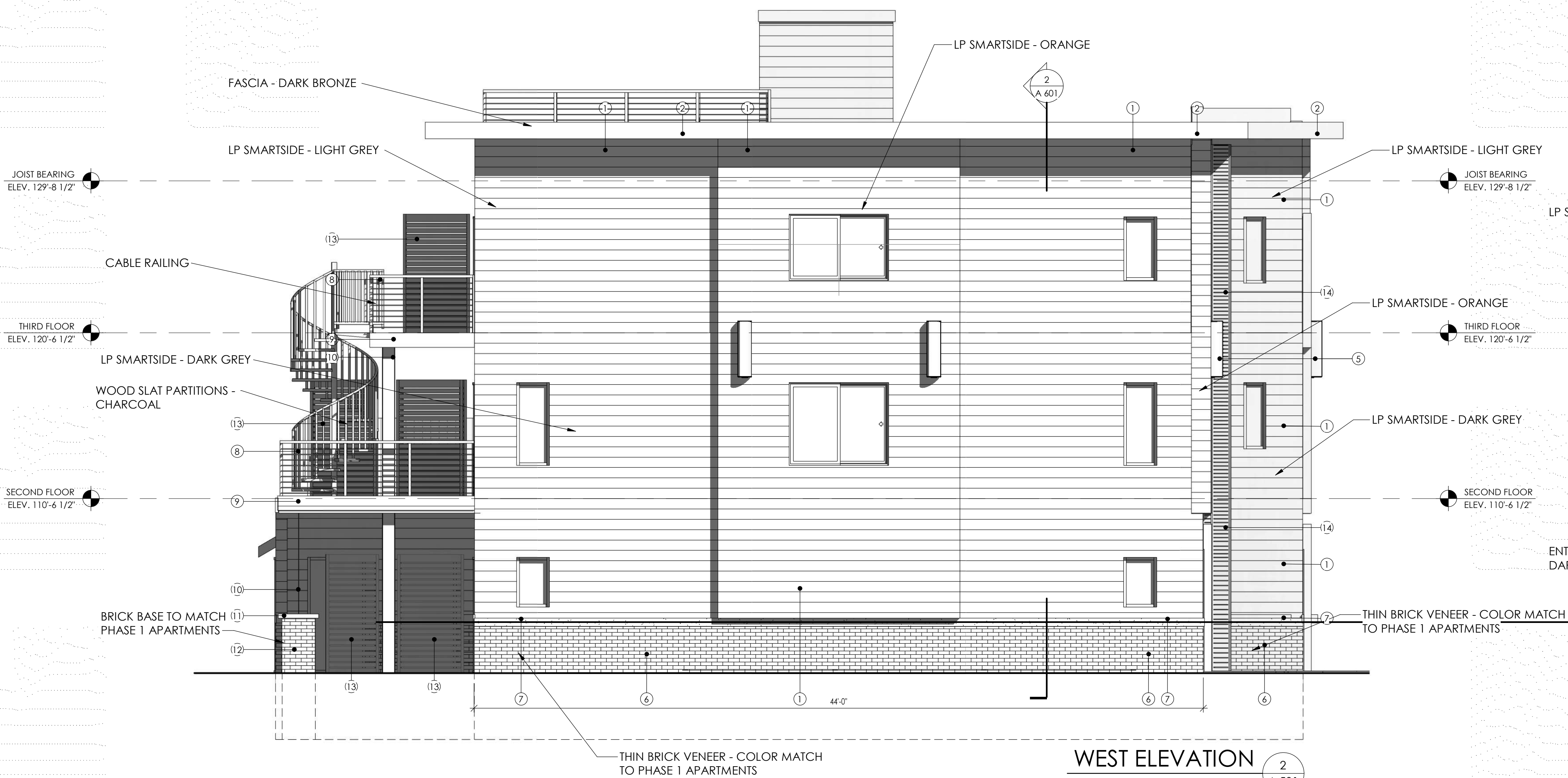
NORTH ELEVATION

SCALE: 1/4" = 1'-0" A 501



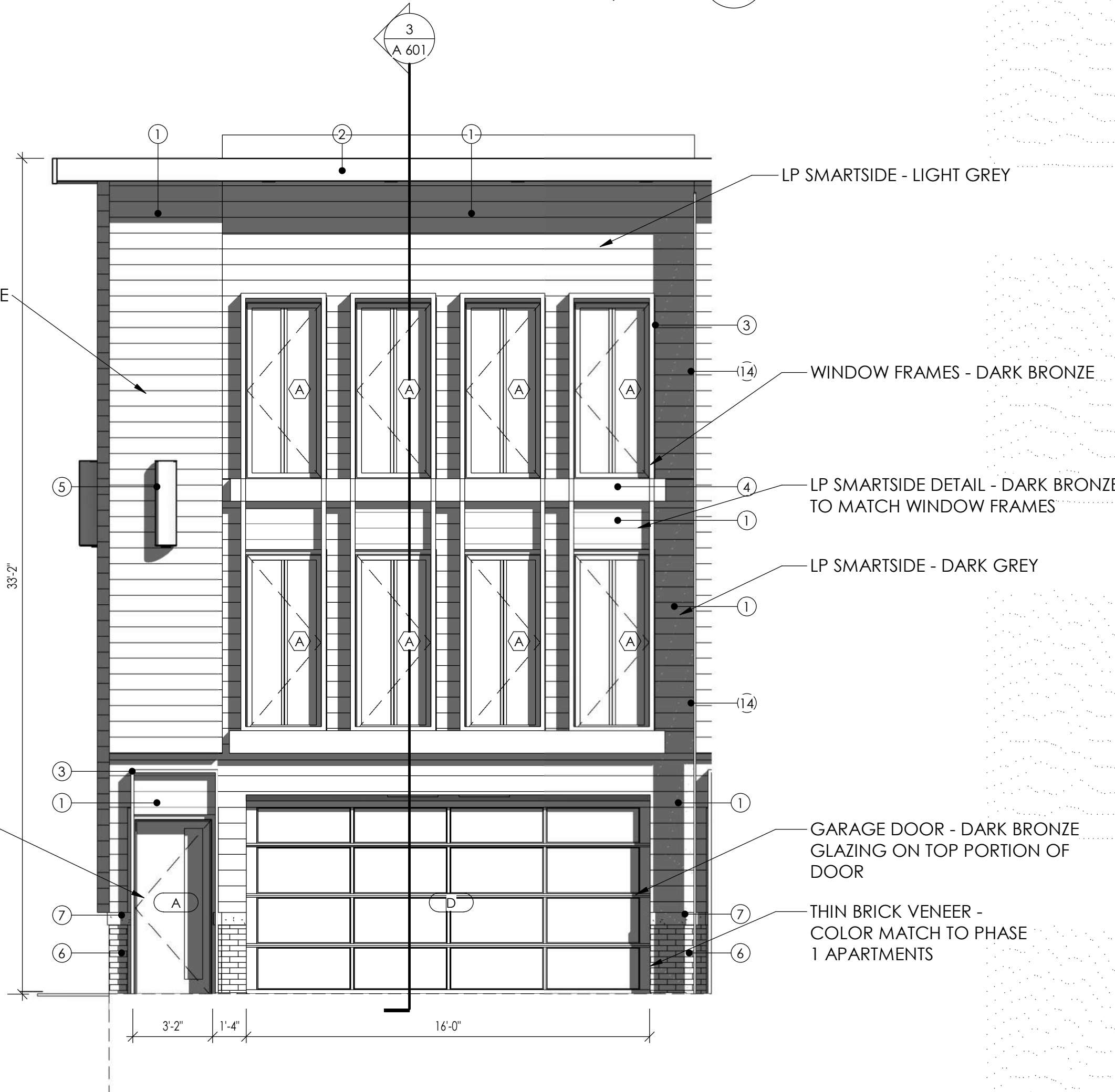
WEST ELEVATION

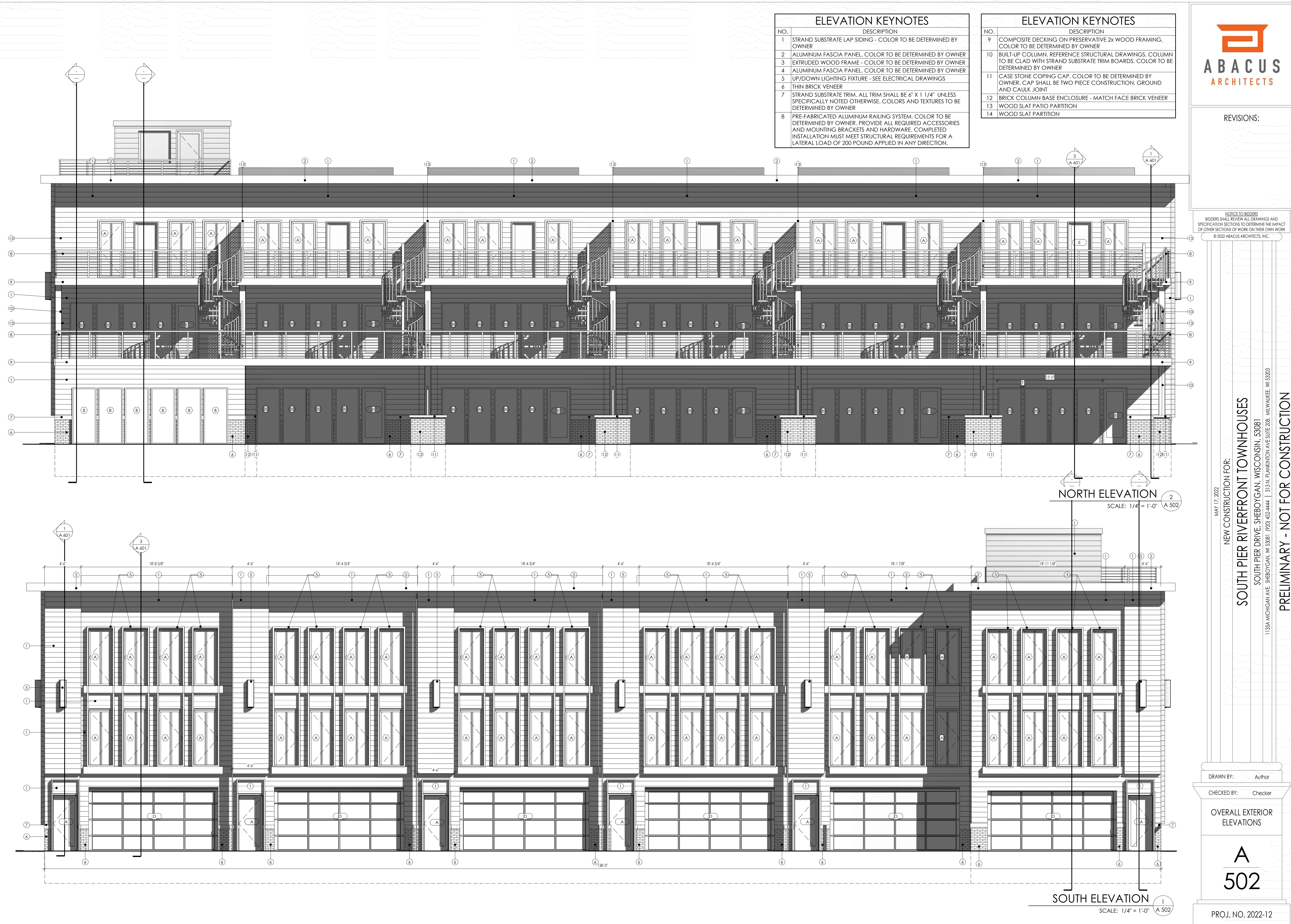
SCALE: 1/4" = 1'-0" A 501



SOUTH ELEVATION

SCALE: 1/4" = 1'-0" A 501







RIVER ELEVATION 1
SCALE: 1/8" = 1'-0" A 503



STREET ELEVATION 2
SCALE: 1/8" = 1'-0" A 503

MAY 17, 2022
NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT TOWNHOUSES
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1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203
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EXTERIOR ELEVATIONS

A
503

PROJ. NO. 2022-12