

POOL ENCLOSURE ADDITION

CAMP EVERGREEN

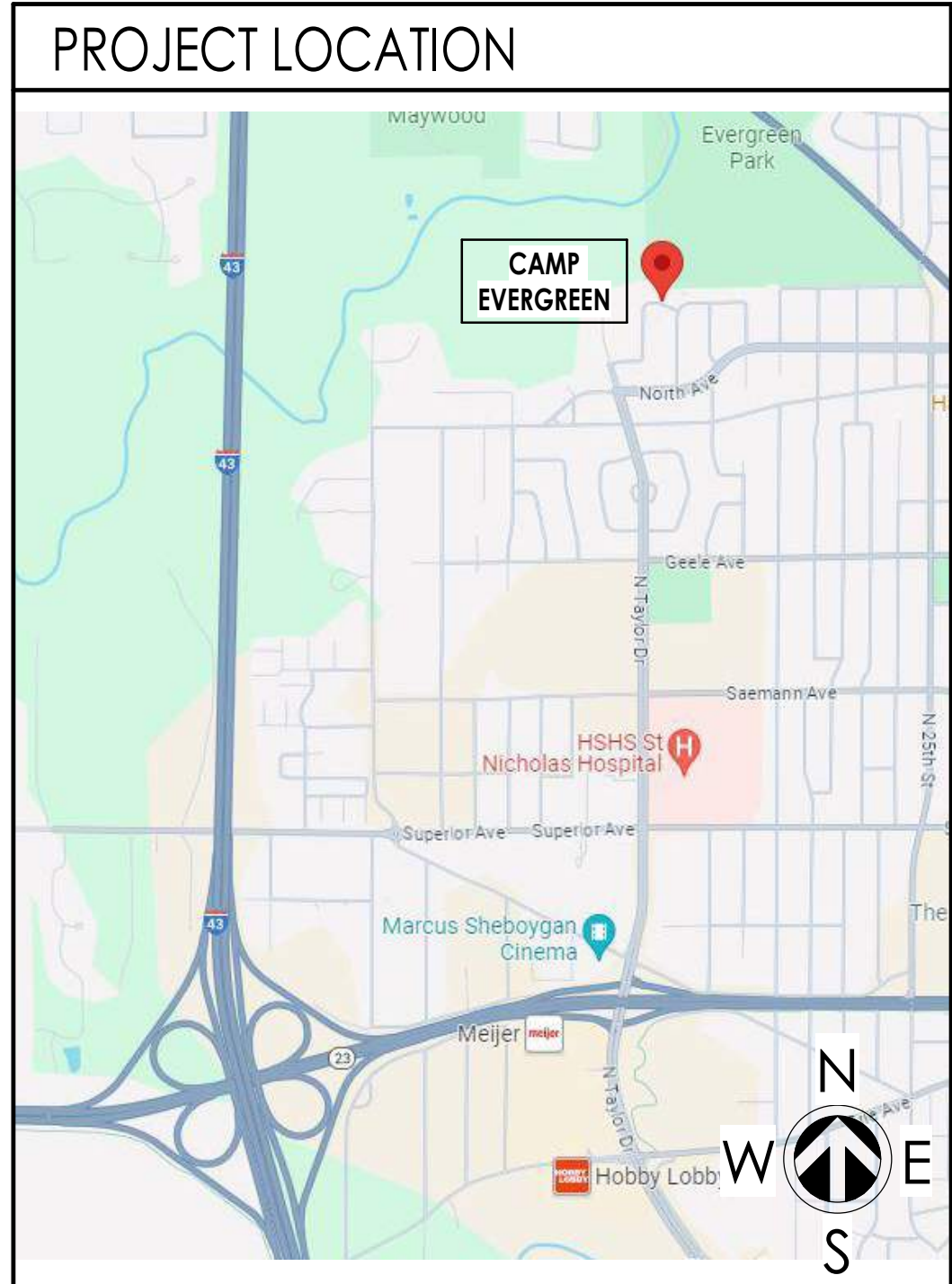
2776 N 31st PLACE, SHEBOYGAN, WI 53083



ARCHITECTURAL & CIVIL		STRUCTURAL	
ABACUS ARCHITECTS, INC. 1135A MICHIGAN AVENUE SHEBOYGAN, WISCONSIN 53081 P: 920-452-4444		PIERCE ENGINEERS, INC. 181 N. BROADWAY AVE. MILWAUKEE, WI, 53202 P: 414-278-6060	
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PROJECT INFORMATION			
APPLICABLE BUILDING CODES 2018 WISCONSIN COMMERCIAL BUILDING CODE [2015 IBC] 2015 INTERNATIONAL EXISTING BUILDING CODE		EXISTING BUILDING	
MEANS OF EGRESS AND EXIT DISTANCE EXIT ACCESS TRAVEL DISTANCE- WITHOUT SPRINKLER SYSTEM (W.C.B.C. TABLE 1017.2) = 200FT.		BUILDING AREA EXISTING BUILDING AREA: FIRST FLOOR AREA: 8,564 S.F. ADDITION: 486 S.F. TOTAL: 9,050 S.F. TOTAL BUILDING AREA= 14,967 S.F.	
OCCUPANT LOAD REFER TO SHEET A 302 FOR OCCUPANT LOAD INFORMATION		CONSTRUCTION CLASSIFICATION EXISTING BUILDING: TYPE VB CONSTRUCTION (W.C.B.C. SECTION 402.5) NEW BUILDING ADDITION: TYPE VB CONSTRUCTION (W.C.B.C. SECTION 402.5)	
SANITARY FIXTURES REFER TO SHEET A 302 FOR SANITARY FIXTURE INFORMATION		OCCUPANCY CLASSIFICATION USE GROUPS PRESENT IN THE BUILDING INCLUDE: EXISTING BUILDING: RESIDENTIAL GROUP "R-4" (W.C.B.C. SECTION 310.6.2) NEW BUILDING ADDITION: ASSEMBLY GROUP "A-3" (W.C.B.C. SECTION 303.4)	
FIRE PROTECTION EXISTING BUILDING AND NEW BUILDING ADDITION ARE UN-SPRINKLERED.		ALLOWABLE HEIGHT AND AREA TABULAR AREA ALLOWANCE (W.C.B.C. TABLE 506.2) USE GROUP "R-4" / CONSTRUCTION CLASSIFICATION VB NON-SPRINKLERED ALLOWABLE AREA = 7,000 S.F. FRONTAGE INCREASE (SECTION 506.3) (FRONTAGE / PERIMETER - 0.25) WIDTH / 30 = INCREASE FACTOR (290' / 521' - 0.25) 30 / 30 = 30 TOTAL ALLOWABLE AREA (PER STORY) TABULAR AREA + (TABULAR AREA x FRONTAGE INCREASE) = ALLOWABLE 7,000 + (2,100) = 9,100 S.F. BUILDING HEIGHT (ALLOWABLE) = 2 STORIES / 40'-0" BUILDING HEIGHT (ACTUAL) = 1 STORY / 20'-0" BUILDING AREA (ACTUAL) = 9,050 S.F.	

PROJECT NOTES	
EXTENT OF WORK THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS.	
SITE VISIT THE CONTRACTOR SHALL VISIT THE SITE, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATE PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.	
NOTICE TO BIDDERS BIDDERS SHALL REVIEW ALL DRAWINGS AND ALL SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.	
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PROJECT ADD ALTERNATES	
#1	BASE BID CONCRETE SIDEWALK TO POOL DOOR. ADD ALTERNATE EXTERIOR WOOD DECK WITH COMPOSITE DECKING BOARDS AND METAL GUARDRAIL.
#2	BASE BID WOOD SIDING AND TRIM TO MATCH EXISTING. ADD ALTERNATE STRAND SUBSTRATE SIDING AND TRIM.
#3	BASE BID ASPHALT SINGLES TO MATCH EXISTING. ADD ALTERNATE 16" WIDE METAL STANDING SEAM ROOF PANELS.
#4	BASE BID NO SKYLIGHTS. ADD ALTERNATE ROOF RIDGE SKYLIGHTS.





REVISIONS:

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1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 920 452-4444 | 640 N VEL R. PHILIPS AVE, SUITE 210, MILWAUKEE, WI 53203

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TITLE SHEET

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PROJ. NO. 2015-61

PRELIMINARY - NOT FOR CONSTRUCTION

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June 6, 2024



DEMOLITION LEGEND

- APPROXIMATE LOCATION OF TREES TO BE REMOVED. TREE REMOVAL TO BE PERFORMED BY THE OWNER PRIOR TO CONSTRUCTION
- HATCH TYPE INDICATES CONCRETE PAVEMENT TO BE REMOVED AND DISPOSED OF OFFSITE
- HATCH TYPE INDICATES WOOD DECK TO BE REMOVED AND DISPOSED OF OFFSITE
- HATCH TYPE INDICATES GRAVEL TO BE REMOVED AND DISPOSED OF OFFSITE
- LINE TYPE INDICATES FULL-DEPTH SAWCUT TO BE PERFORMED

NOTE:

SHOULD ADDITIONAL TREES & SHRUBS REQUIRE REMOVAL, CONTRACTOR TO COORDINATE THESE REMOVALS BASED ON PRACTICABILITY AND OWNER'S PREFERENCES.

CONTRACTOR TO COORDINATE RELOCATION OF EXISTING UTILITIES WITH THE APPROPRIATE PUBLIC UTILITIES.

CONTRACTOR TO COORDINATE RELOCATION OF MECHANICAL FACILITIES BASED ON BEST PRACTICES AND SUBCONTRACTOR RECOMMENDATION.



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EXISTING
CONDITIONS AND
DEMO PLAN

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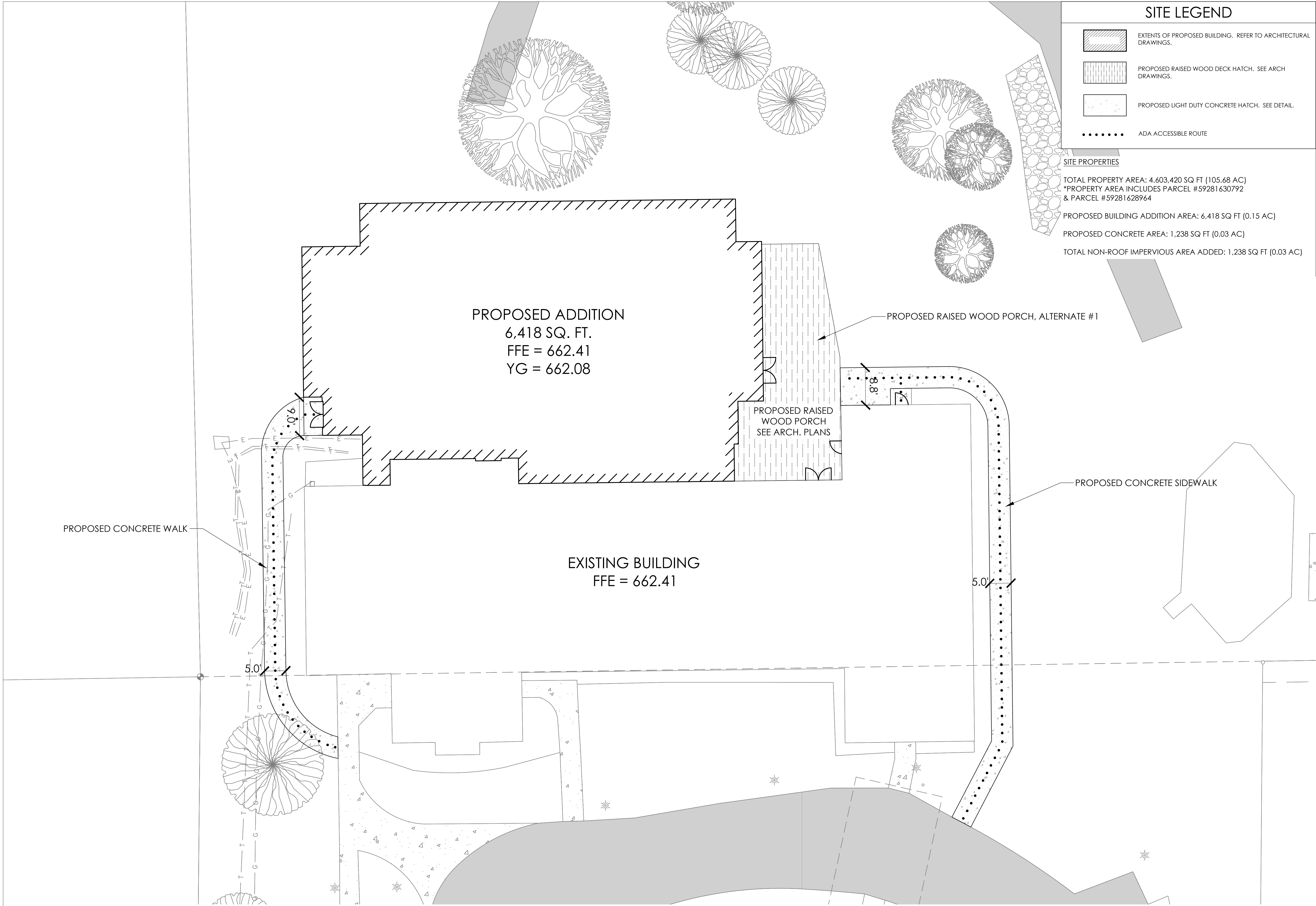
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EXISTING CONDITIONS AND DEMO PLAN

SCALE: 1"=20'



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SITE LEGEND

- EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
- PROPOSED RAISED WOOD DECK HATCH. SEE ARCH DRAWINGS.
- PROPOSED LIGHT DUTY CONCRETE HATCH. SEE DETAIL.
- ADA ACCESSIBLE ROUTE

SITE PROPERTIES

TOTAL PROPERTY AREA: 4,603,420 SQ FT (105.68 AC)
*PROPERTY AREA INCLUDES PARCEL #59281630792 & PARCEL #59281628964
PROPOSED BUILDING ADDITION AREA: 6,418 SQ FT (0.15 AC)
PROPOSED CONCRETE AREA: 1,238 SQ FT (0.03 AC)
TOTAL NON-ROOF IMPERVIOUS AREA ADDED: 1,238 SQ FT (0.03 AC)



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SITE PLAN

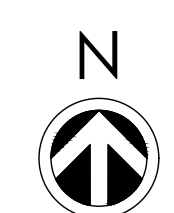
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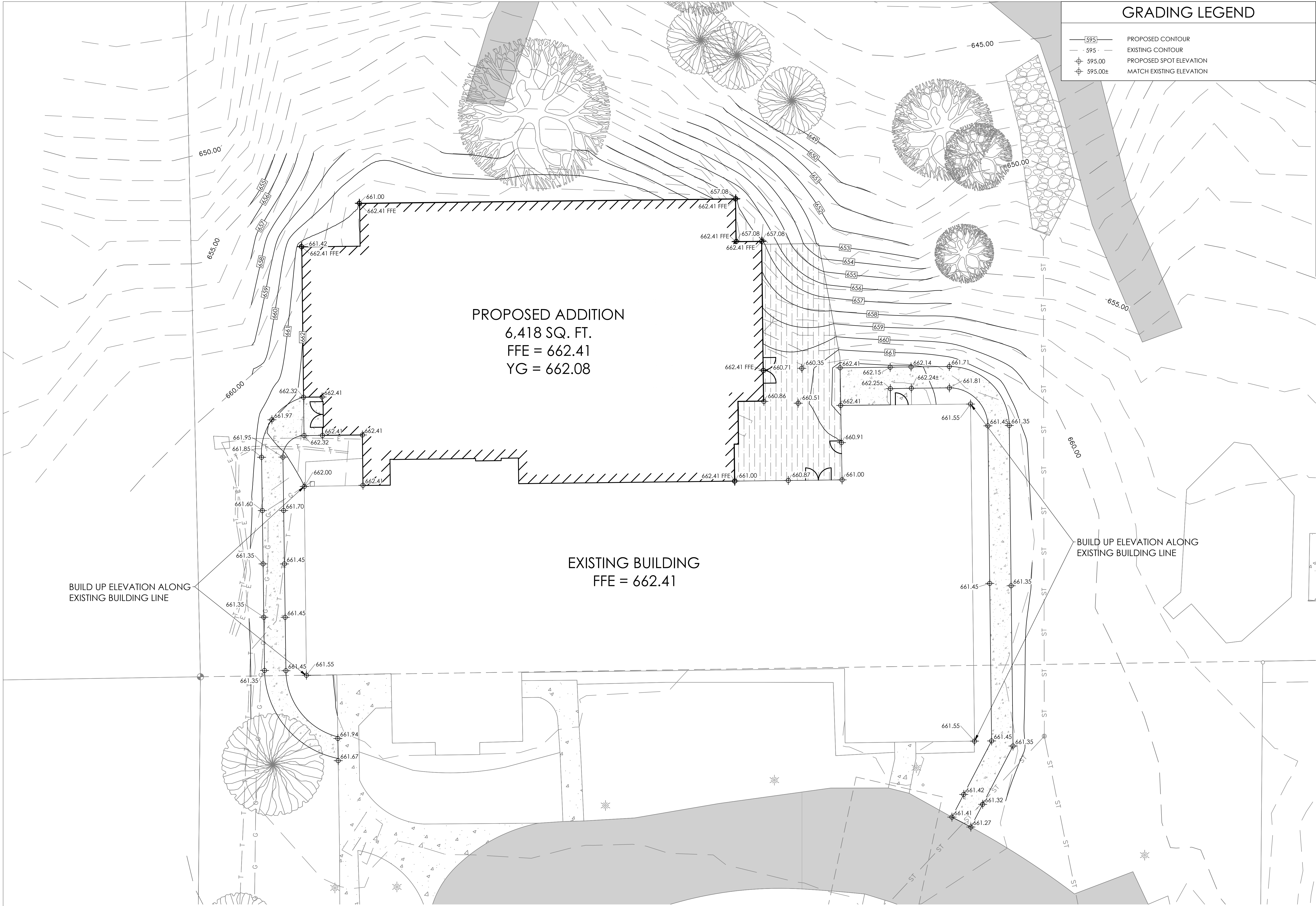
SITE PLAN

SCALE: 1"=10'





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GRADING LEGEND	
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED SPOT ELEVATION
	MATCH EXISTING ELEVATION

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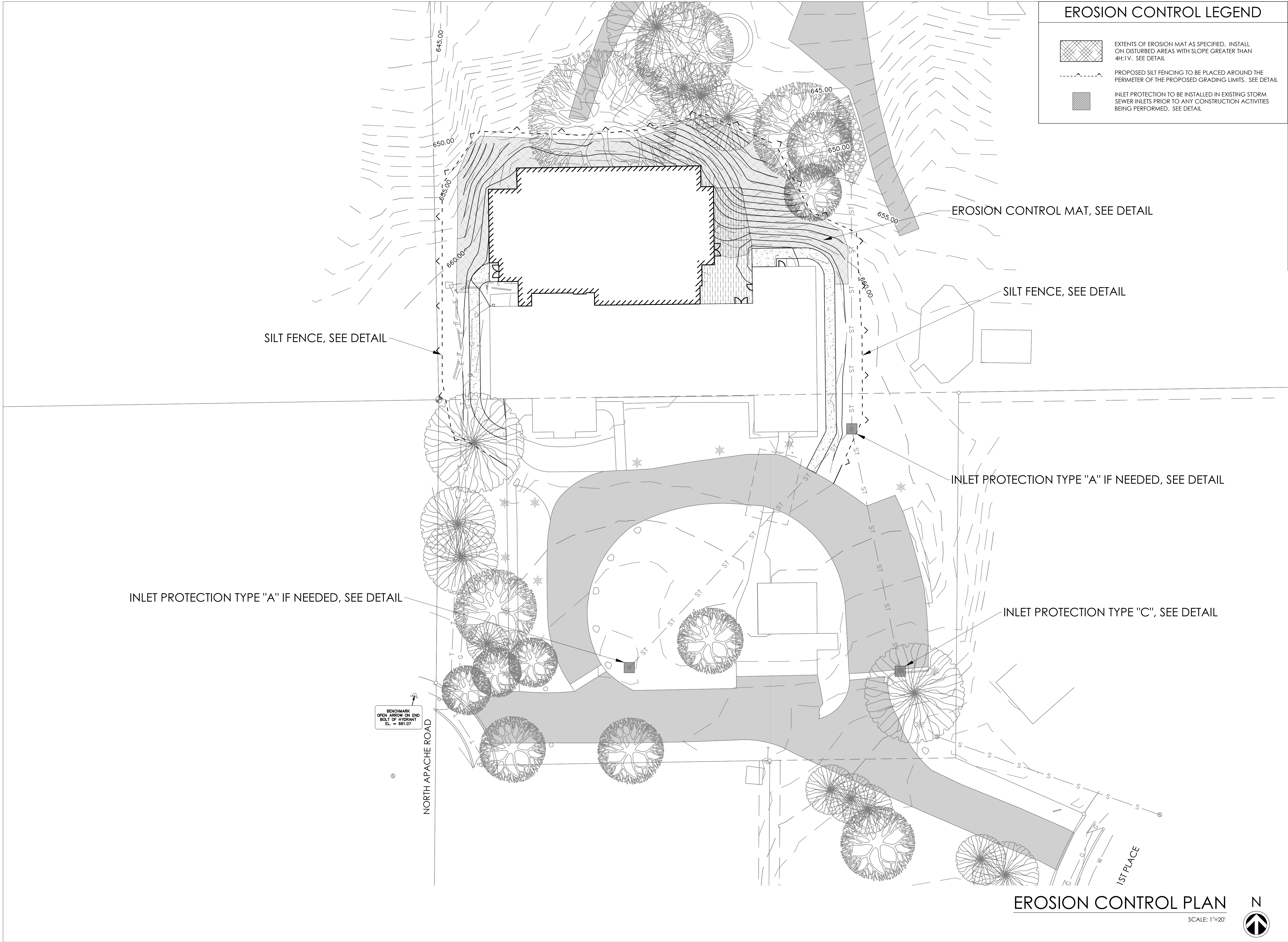
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GRADING PLAN

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EROSION CONTROL LEGEND

EXTENTS OF EROSION MAT AS SPECIFIED. INSTALL ON DISTURBED AREAS WITH SLOPE GREATER THAN 4H:1V. SEE DETAIL.

PROPOSED SILT FENCING TO BE PLACED AROUND THE PERIMETER OF THE PROPOSED GRADING LIMITS. SEE DETAIL.

INLET PROTECTION TO BE INSTALLED IN EXISTING STORM SEWER INLETS PRIOR TO ANY CONSTRUCTION ACTIVITIES BEING PERFORMED. SEE DETAIL.

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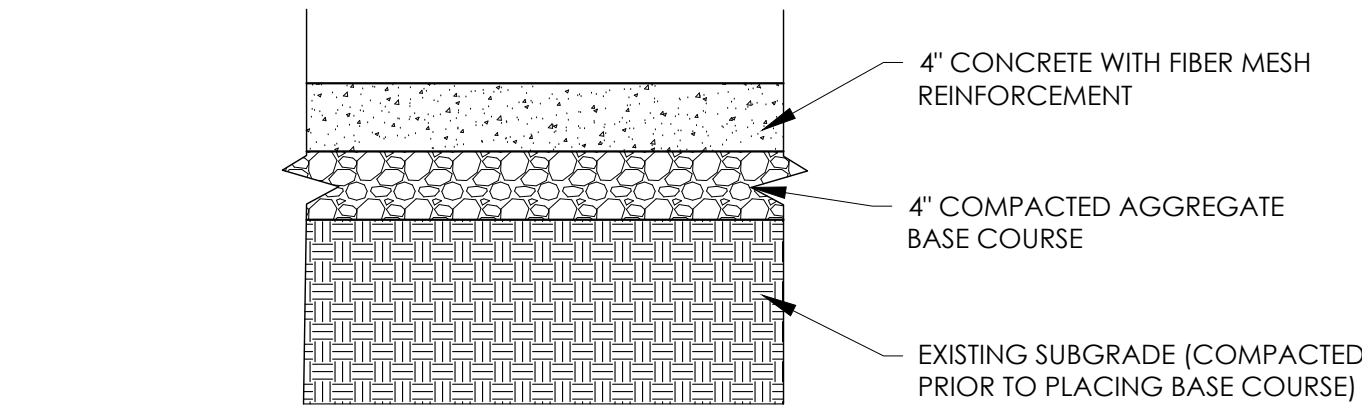
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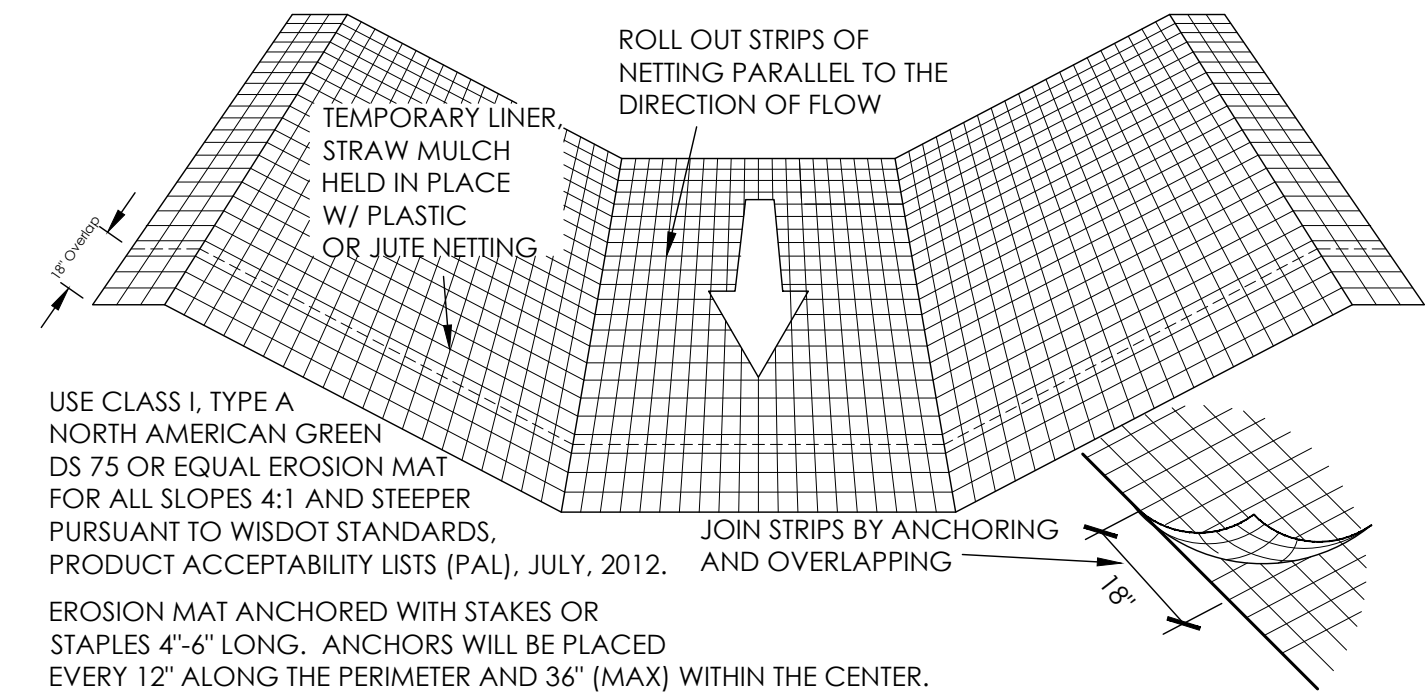
EROSION CONTROL PLAN

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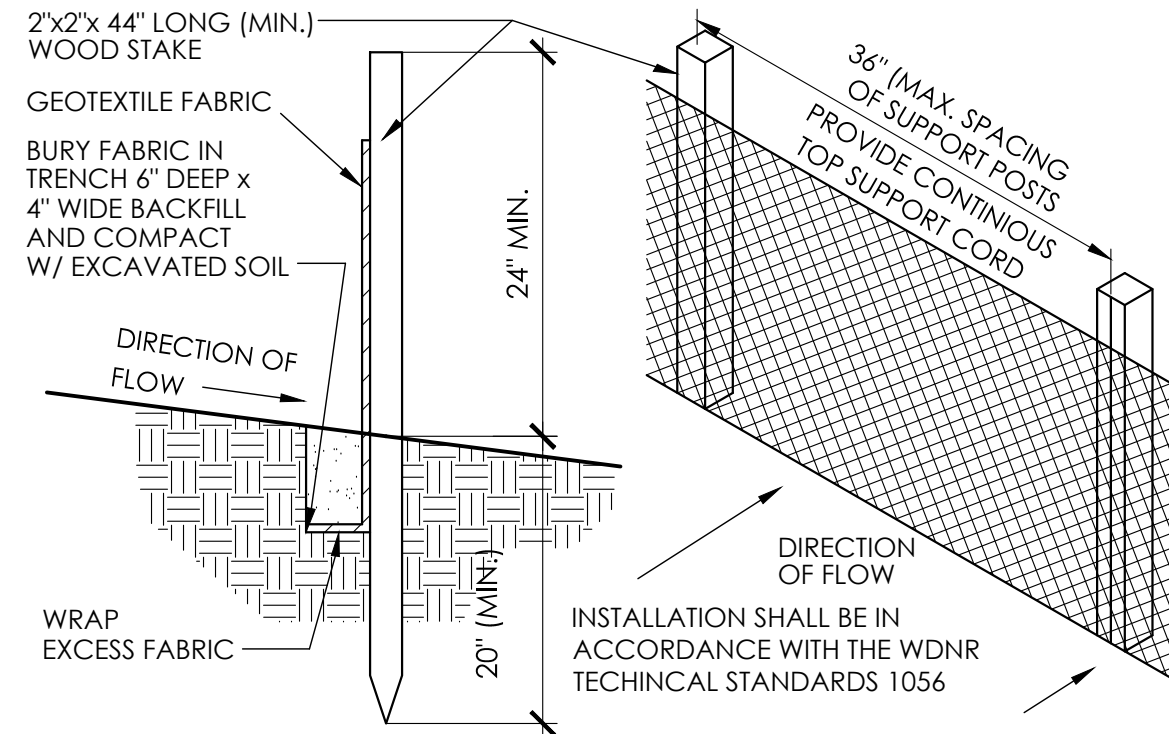
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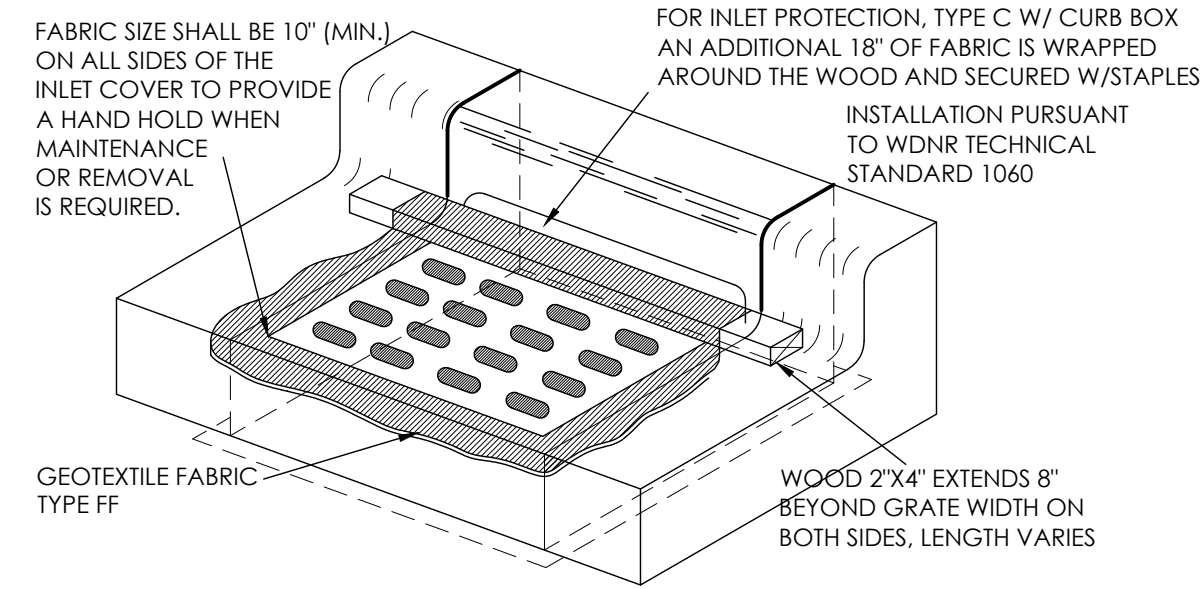
CONCRETE SIDEWALK CROSS SECTION



EROSION MATTING DETAIL
(FOR SIDE SLOPES ONLY - NOT FOR CHANNELIZED FLOW)



SILT FENCE SECTION & DETAIL

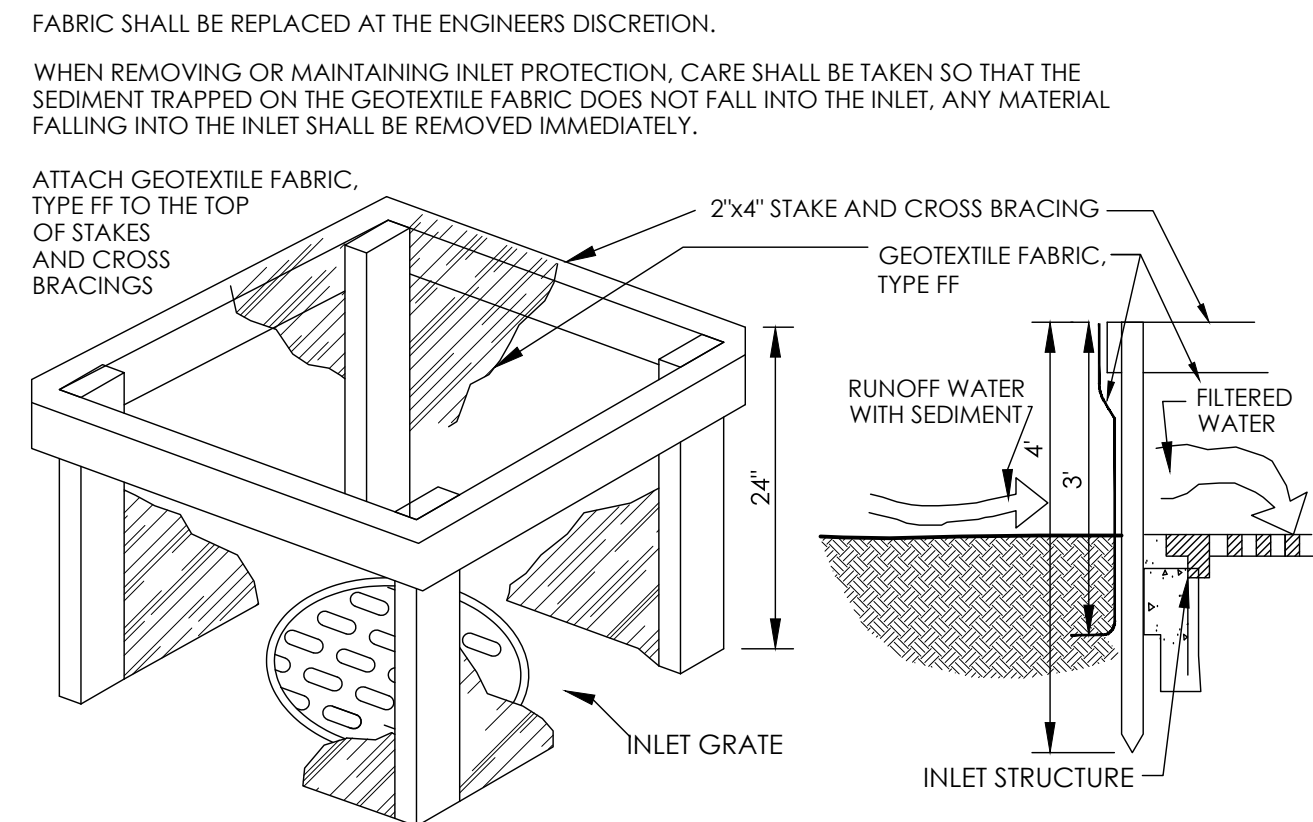


INLET PROTECTION, TYPE 'C'

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE 'C' INLET PROTECTION TO BE IMPLEMENTED UPON CONSTRUCTION OF CURB AND GUTTER. PRIOR TO CURB AND GUTTER CONSTRUCTION, TYPE 'A' INLET PROTECTION SHALL BE PROVIDED.



INLET PROTECTION, TYPE 'A'

INSTALLATION PURSUANT TO WDNR TECHNICAL STANDARD 1060



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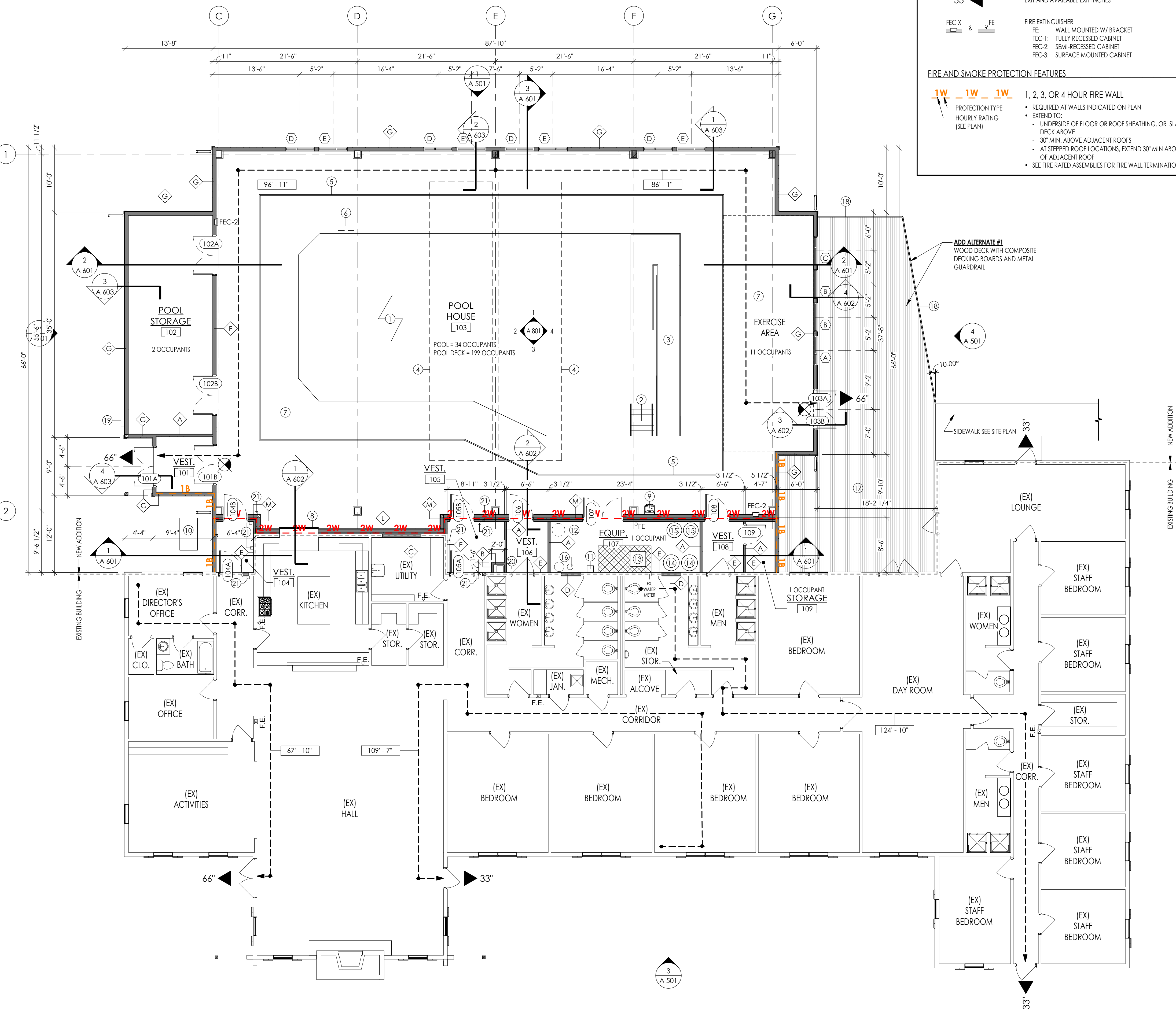
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DETAILS

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205

PROJ. NO. 2015-61

DETAILS



100' - 0"

33"

PATH OF TRAVEL / DISTANCE

FEC-X

FE

EXIT AND AVAILABLE EXIT INCHES

FIRE EXTINGUISHER

FEC-1: FULLY RECESSED CABINET

FEC-2: SEMI-RECESSED CABINET

FEC-3: SURFACE MOUNTED CABINET

FIRE AND SMOKE PROTECTION FEATURES

1W

1W

1W

PROTECTION TYPE

HOURLY RATING (SEE PLAN)

1, 2, 3, OR 4 HOUR FIRE WALL

REQUIRED AT WALLS INDICATED ON PLAN

EXTEND TO:

UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE

30' MIN. ABOVE ADJACENT ROOFS

AT STEPPED ROOF LOCATIONS, EXTEND 30' MIN ABOVE TOP OF ADJACENT ROOF

SEE FIRE RATED ASSEMBLIES FOR FIRE WALL TERMINATION DETAILS

GENERAL PLAN NOTES

- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.

FLOOR PLAN KEYNOTES	
NO.	DESCRIPTION
1	EXISTING POOL
2	EXISTING POOL ACCESS STAIR
3	EXISTING POOL ACCESS RAMP
4	SKYLIGHT ABOVE - ALTERNATE
5	SLOT TRENCH DRAIN
6	HOYER LIFT
7	CONCRETE POOL DECK, PITCH TO DRAIN
8	2 HOUR FIRE SUTTER AT PASS-THRU COUNTER
9	DRINKING FOUNTAIN WITH BOTTLE FILLER
10	RELOCATED KITCHEN MAKE-UP AIR UNIT
11	EXISTING CRAWL SPACE VENT
12	POOL SUMP CROCK
13	EXISTING POOL HEATER
14	RELOCATED POOL FILTER TANK
15	POOL CHEMICAL TANK
16	WATER SOFTENER AND BRINE TANK
17	WOOD DECK WITH COMPOSITE DECKING BOARDS - ALTERNATE
18	DECORATIVE METAL GUARDRAIL - ALTERNATE
19	RELOCATED ELECTRICAL SERVICE PANEL
20	RELOCATE CRAWL SPACE VENT TO NEW CHASE ENCLOSURE
21	PUSH BUTTON DOOR OPERATORS

OCCUPANT LOAD / SANITARY FIXTURES	
R-4 EXISTING FACILITY OCCUPANT LOAD = 60 OCCUPANTS	
TOILETS	MEN - 30 OCC AT 1/10 = 3 TOILETS WOMEN - 30 OCC AT 1/10 = 3 TOILETS
LAVATORIES	MEN - 30 OCC AT 1/10 = 3 LAVS WOMEN - 30 OCC AT 1/10 = 3 LAVS
SHOWERS	MEN - 30 OCC AT 1/8 = 4 SHOWERS WOMEN - 30 OCC AT 1/8 = 4 SHOWERS
DRINKING FOUNTAIN	60 OCCUPANTS AT 1/100 = 1 DRINKING FOUNTAIN
SERVICE SINK	1 SERVICE SINK
A-3 POOL ENCLOSURE ADDITION OCCUPANT LOAD = 248 OCCUPANTS	
TOILETS	MEN - 124 OCC AT 1/125 = 1 TOILET WOMEN - 124 OCC AT 1/65 = 2 TOILETS
LAVATORIES	MEN - 124 OCC AT 1/200 = 1 LAV WOMEN - 124 OCC AT 1/200 = 1 LAV
SHOWERS	0 SHOWERS
DRINKING FOUNTAIN	248 OCCUPANTS AT 1/500 = 1 DRINKING FOUNTAIN
SERVICE SINK	1 SERVICE SINK
BUILDING REQUIREMENTS	
TOTAL REQUIRED TOILETS FOR MEN =	4
TOTAL REQUIRED TOILETS FOR WOMEN =	5
TOTAL REQUIRED LAVATORIES FOR MEN =	4
TOTAL REQUIRED LAVATORIES FOR WOMEN =	6
TOTAL REQUIRED SHOWERS FOR MEN =	4
TOTAL REQUIRED SHOWERS FOR WOMEN =	5
TOTAL REQUIRED DRINKING FOUNTAINS =	2
TOTAL REQUIRED SERVICE SINKS =	2

FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS:	
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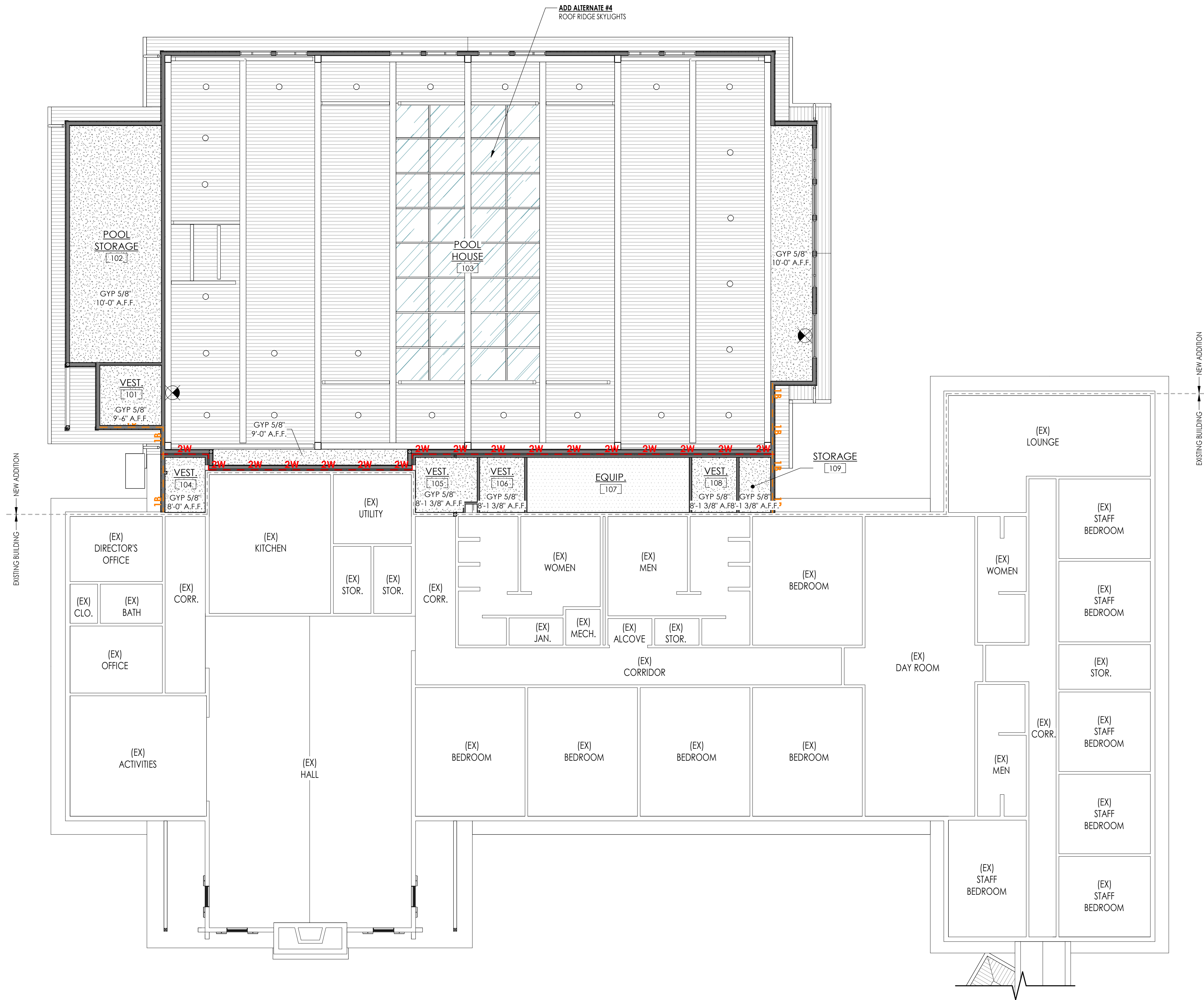
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FLOOR PLAN

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302

PROJ. NO. 2015-61



REFLECTED CEILING PLAN LEGEND

- 2 x 2 ACOUSTIC TILE CEILING
- GYPSUM BOARD
- EXPOSED STRUCTURE
- TONGUE & GROOVE WOOD DECKING
- EXIT LIGHT



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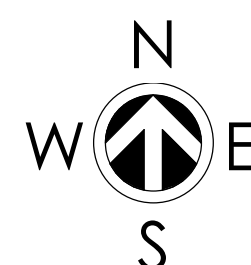
REFLECTED CEILING
PLAN

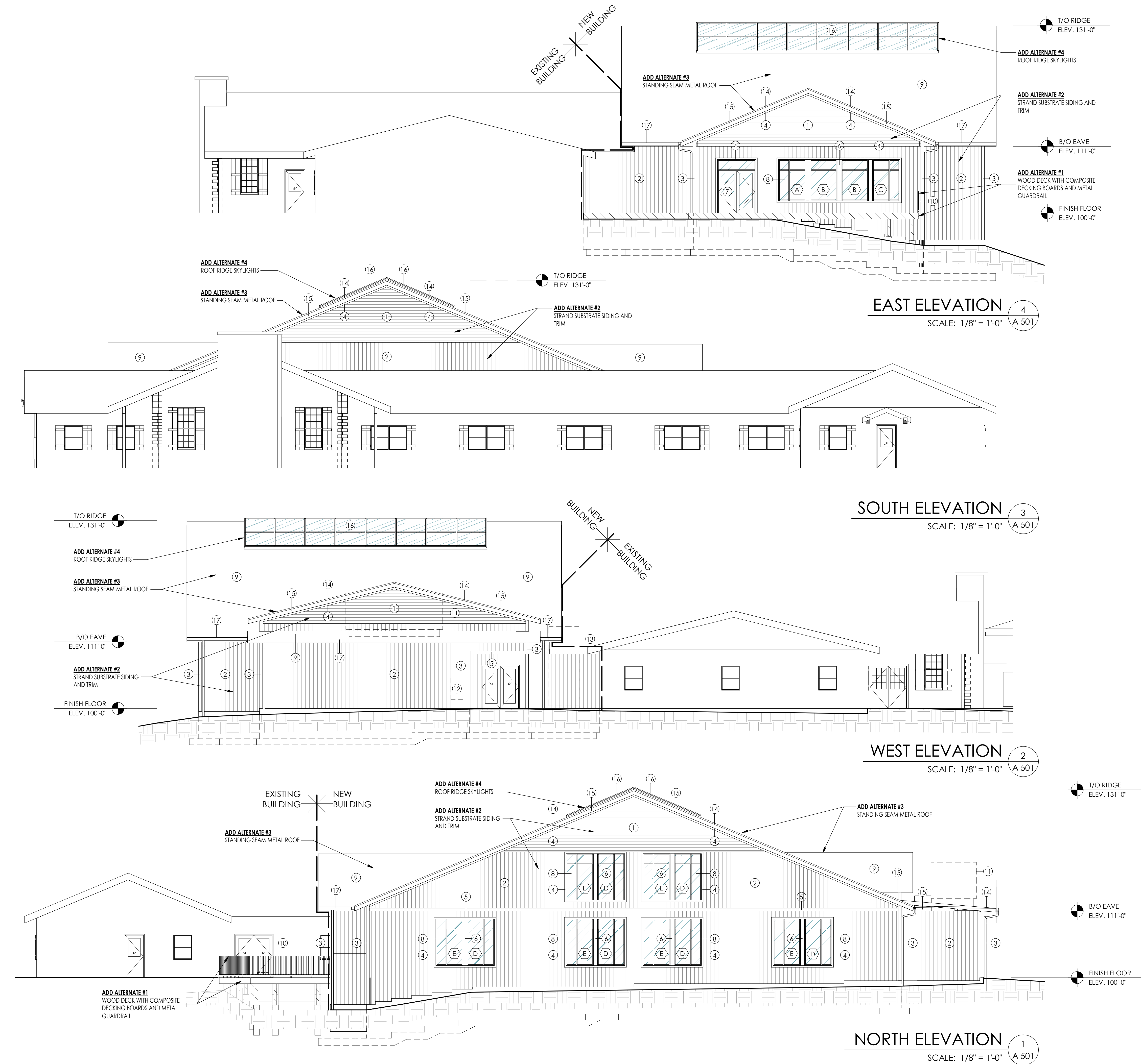
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PROJ. NO. 2015-61

REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"





GENERAL EXTERIOR ELEVATION NOTES

- ALL EXPOSED MISC. EXTERIOR STEEL SHALL BE PAINTED WITH PAINT FINISH E-1.
- MASONRY COURSING SHOWN FOR MATERIAL REPRESENTATION ONLY. ACTUAL COURSING MAY VARY.
- MASONRY CONTROL JOINTS SHALL BE LOCATED AT ALL MASONRY HEIGHT CHANGES, WINDOW OPENINGS, DOOR OPENINGS, 5' MAX. FROM BUILDING CORNERS, AND 25' MAX. AT CONTINUOUS WALL LOCATIONS.

ELEVATION KEYNOTES

NO.	DESCRIPTION
1	HORIZONTAL WOOD SIDING TO MATCH EXISTING (ADD ALTERNATE #2 - STRAND SUBSTRATE LAP SIDING)
2	VERTICAL WOOD SIDING TO MATCH EXISTING (ADD ALTERNATE #2 - STRAND SUBSTRATE VERTICAL PANEL SIDING WITH VERTICAL GROOVES 8" O.C.)
3	5 1/2" WOOD CORNER BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - 5 1/2" STRAND SUBSTRATE CORNER BOARD)
4	3 1/2" WOOD TRIM BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - 3 1/2" STRAND SUBSTRATE TRIM BOARD)
5	5 1/2" WOOD TRIM BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - 5 1/2" STRAND SUBSTRATE TRIM BOARD)
6	WOOD TRIM BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - STRAND SUBSTRATE TRIM BOARD)
7	ALUMINUM DOOR AND FRAME
8	ALUMINUM FRAMED WINDOW
9	ASPHALT SHINGLES TO MATCH EXISTING (ADD ALTERNATE #3 - 16" WIDE METAL STANDING SEAM ROOF PANELS)
10	ADD ALTERNATE #1 - METAL GUARDRAIL AT DECK
11	ROOFTOP HVAC UNIT
12	ELECTRICAL SERVICE BOX
13	RELOCATED KITCHEN MAKE-UP AIR UNIT
14	2 1/2" WOOD GABLE TRIM BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - 2 1/2" STRAND SUBSTRATE GABLE TRIM BOARD)
15	WOOD FASCIA BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - STRAND SUBSTRATE FASCIA BOARD)
16	ADD ALTERNATE #4 - ROOF RIDGE SKYLIGHTS
17	ALUMINUM GUTTER AND DOWNSPOUT



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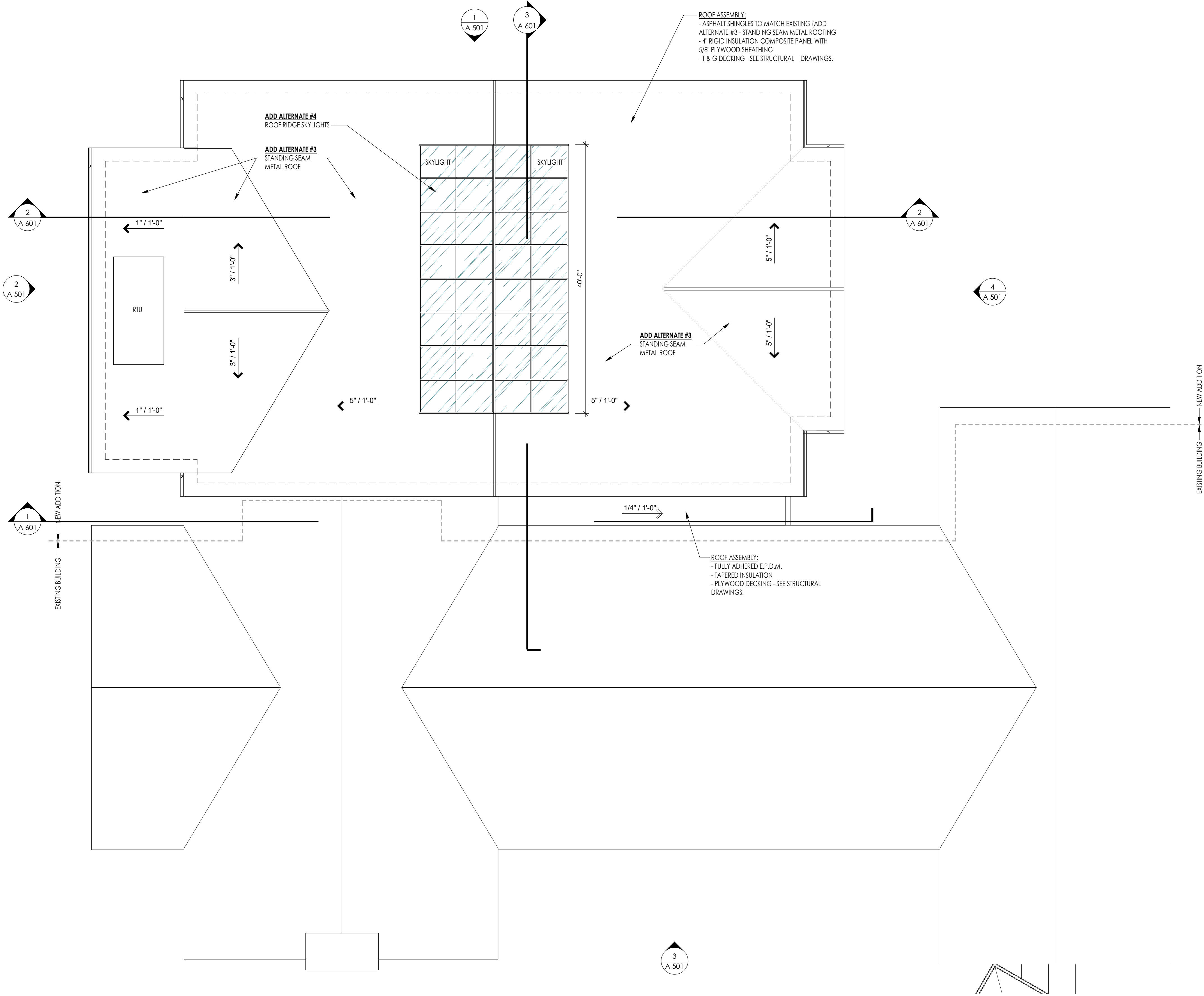
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EXTERIOR ELEVATIONS

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GENERAL ROOF NOTES

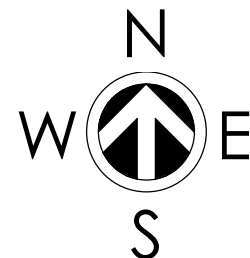
- ROOF CONTRACTOR IS RESPONSIBLE FOR ROOF DRAINAGE INCLUDING TAPERED INSULATION LAYOUT, CRICKETS & SADDLES. SEE STRUCTURAL PLANS AND COORDINATE WITH PLUMBING, HVAC AND ELECTRICAL CONTRACTORS FOR ROOF TOP PENETRATIONS. PROVIDE WATER TIGHT INTEGRITY AT ALL ROOF PENETRATIONS AND EQUIPMENT PER FSR MANUFACTURERS REQUIREMENTS AND CURRENT NRCA STANDARDS.
- TAPERED INSULATION SLOPE TO BE 1/4" PER 1'-0" MINIMUM.

ROOF SYMBOLS

- TAPERED INSULATION ROOF DRAINAGE
- ➡ SLOPED STRUCTURE ROOF DRAINAGE
- ▨ TAPERED INSULATION SADDLE / EDGE STRIP

ROOF PLAN

SCALE: 1/8" = 1'-0"



REVISIONS:

△ DATE ISSUE

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK

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ISSUE DATE: JUNE 6, 2024
POOL ENCLOSURE ADDITION
CAMP EVERGREEN

2776 N 31st PLACE, SHEBOYGAN, WI 53083

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210, MILWAUKEE, WI 53203

DRAWN BY: SH, DB

CHECKED BY: KS

ROOF PLAN

A
701

PROJ. NO. 2015-61

PRELIMINARY - NOT FOR CONSTRUCTION