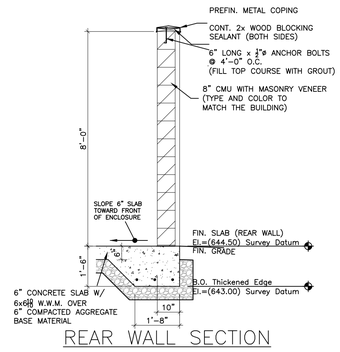
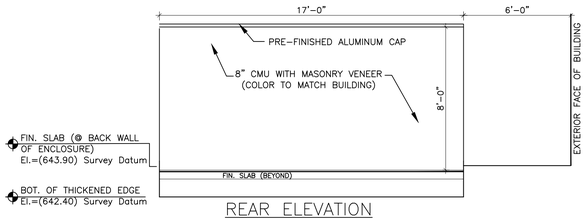
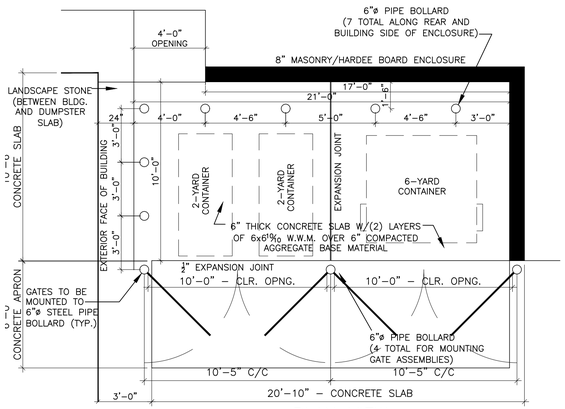


REAR WALL SECTION

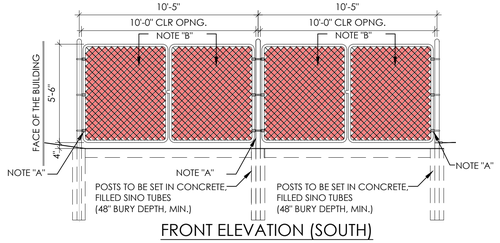


REAR ELEVATION



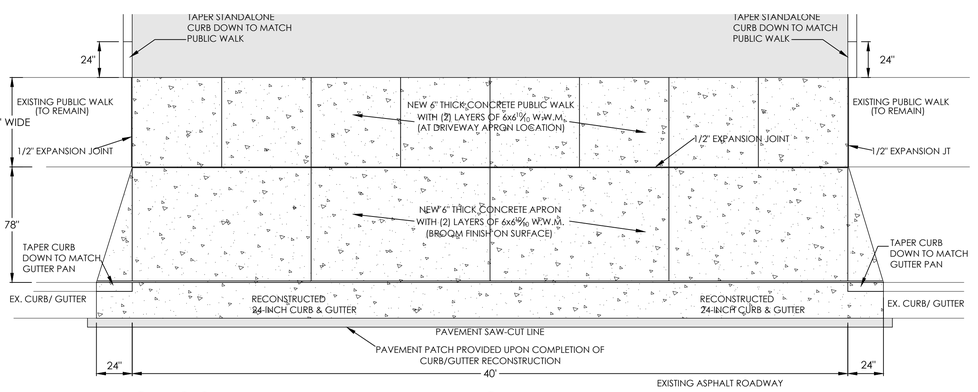
PLAN VIEW

NOTE "A"
PROVIDE HEAVY DUTY GALV. HINGE ASSEMBLY (3 PER POST) MOUNTED TO 3'ø GATE POSTS. POSTS TO BE SET IN CONCRETE FILLED SINO-TUBES. BOTH GATES TO SWING OPEN 90°.
NOTE "B"
(2) 5' HIGH x 5'-2" WIDE SWING GATES, #9 GAUGE MESH CHAIN LINK FENCE FABRIC WITH COLORED VINYL SLATTING (COLOR BY OWNER).
GATE FRAMES TO BE 1 7/8"ø GALVINIZED. GATES SHALL INCLUDE A LOCKABLE LATCH.

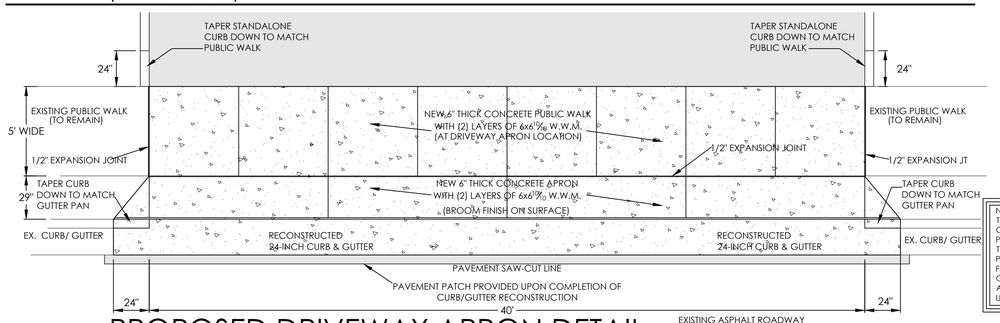


FRONT ELEVATION (SOUTH)

DUMPSTER ENCLOSURE



PROPOSED DRIVEWAY APRON DETAIL
(GEELE AVENUE)



PROPOSED DRIVEWAY APRON DETAIL
(NORTH 15th STREET)

SITE DATA

TOTAL SITE AREA = 26,400 SQ.FT. (0.60 AC.)
ZONING CLASSIFICATION: LIC - URBAN COMMERCIAL
SITE ADDRESS: 2206 NORTH 15TH STREET

EXISTING SITE CONDITIONS

EXISTING BUILDING FOOTPRINT (ROOF AREA) = 1,136 SQ. FT.
EXISTING CONCRETE SURFACE = 5,192 SQ. FT.

EXISTING IMPERVIOUS AREA (PRE-DEVELOPED) = 6,328 SQ. FT.

PROPOSED SITE CONDITIONS

PROPOSED BUILDING FOOTPRINT (ROOF AREA) = 4,845 SQ. FT.
PROPOSED CONCRETE PAVEMENT, CONCRETE WALKS, CONCRETE CURB/GUTTER AND CONCRETE DUMPSTER PAD WITH CONCRETE APPROACH = 12,095 SQ. FT.
PROPOSED CONCRETE FUEL AREA = 2,016 SQ. FT.

PROPOSED TOTAL IMPERVIOUS AREA (POST DEVELOPED) = 18,956 SQ. FT. (+12,628 SQ. FT.)

LOT COVERAGE = 75%

PARKING COUNT DATA

PROPOSED PARKING COUNT
4,845 SQ. FT. BUILDING
(1 SP. PER 300 SQ. FT., 16.15 SPACES REQUIRED) = (17) STANDARD SPACES + (1) HANDICAP ACCESSIBLE SPACES

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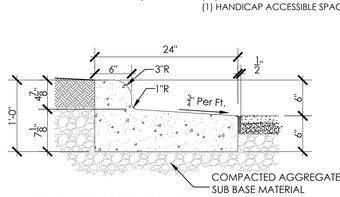
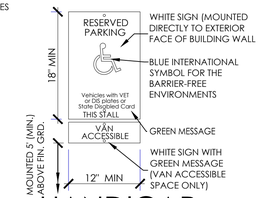


REJECT CURB AND GUTTER SECTION



HANDICAP SIGNAGE

NOTE:
THE LOCATION OF UNDERGROUND UTILITIES OR FACILITIES SHOWN ON PLANS ARE BASED ON AVAILABLE RECORDS AT THE TIME OF PREPARATION AND ARE NOT GUARANTEED TO BE COMPLETE OR CORRECT. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES 72 HOURS PRIOR TO CONSTRUCTION TO DETERMINE THE EXACT LOCATION OF ALL FACILITIES AND TO PROVIDE ADEQUATE PROTECTION DURING THE COURSE OF THE PROJECT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR REPAIR OF ALL DAMAGED UTILITIES DURING CONSTRUCTION TO THE SATISFACTION OF UTILITY OWNER(S).

SITE PLAN
1"=20'

SITE DEMOLITION PLAN
1"=20'

NO.	REVISIONS	DATE
	REVISED BUILDING FOOTPRINT SQUARE FOOTAGE FROM 6,060 SQ. FT / TO 7,954 SQ. FT / SINGLE DRIVEWAY APRON ON NORTH 15TH STREET	MARCH 17,2022
	REVISED DUMPSTER ENCLOSURE	JUNE 1,2022
	ADDED NEW SEWER AND WATER LATERALS AND ADDED DOMESTIC AND FIRE SERVICE LATERALS	JULY 12, 2022
	ADDED DOWNSPOUT STM. CHANGED PAVEMENT TO CONCRETE SLABS	AUGUST 15, 2023
	REVISED DUMPSTER DETAILS, CHANGE CURB/GUTTER	AUGUST 21, 2023
	REDUCED BUILDING FOOTPRINT TO 4,845 SQ. FT / REDUCED PARKING FROM (20) TO (18) SPACES	JULY 2, 2024

Issue Dates

Revision	Date

PROPOSED C-STORE

2206 NORTH 15th STREET
Sheboygan, Wisconsin 53082

SHEET TITLE
SITE DEMOLITION PLAN
SITE PLAN
TYPICAL DETAILS

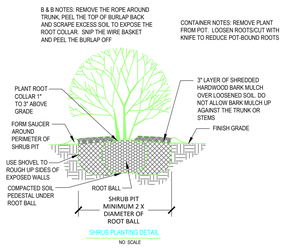
DRAWN BY
J.A.B.

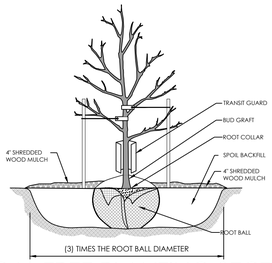
CHECKED BY

DATE
JANUARY 25, 2022

PROJECT NO.
2021-45

SHEET NO.
C101





TYPICAL TREE PLANTING SECTION

INSTALLATION SEQUENCING:
1. DIG HOLE 3 TIMES BIGGER THAN ROOT BALL. ROUGHEN THE SIDES OF THE HOLE TO PREVENT GLAZING IN CLAY SOILS.
2. PLACE TREE IN HOLE, BACKFILL # WITH EXISTING SOIL AND REMOVE TRANSIT GUARD, BURLAP AND WIRE BASKET.
3. FINISH BACKFILLING AND STRAIGHTEN THE TREE.
4. GENTLY TAMP TO HELP SETTLE THE SOIL AND REMOVE ANY AIR POCKETS.
5. CREATE A WATER SAUCER TO COLLECT THE WATER UNTIL IT SOAKS INTO THE SOIL.
6. PROVIDE 4" DEEP SHREDDED WOOD MULCH (10' FOOT DIAMETER). KEEP THE MULCH AWAY FROM THE TRUNK.
7. REMOVE ONLY BROKEN OR DAMAGED BRANCHES.

GENERAL LANDSCAPE NOTES

ALL LANDSCAPE PLANTINGS, INCLUDING BUT NOT LIMITED TO PLANTING BEDS, TREES AND SHRUBS AS DEFINED, TO BE INSTALLED NO LATER THAN OCTOBER 1, 2019.

ALL EROSION MAT, SEEDING AND MULCH WITHIN ALL TURF AREAS TO BE INSTALLED NO LATER THAN OCTOBER 1, 2019. SEE SHEET C/1.1 FOR EXTENT OF EROSION MAT AS WELL AS REQUIRED SEED MIXTURE.

CALL DIGGER'S HOTLINE PRIOR TO DIGGING.

ALL BUILDING DIMENSIONS, GRADES AND ELEVATIONS TO BE VERIFIED IN THE FIELD.

PLANT ALL TREES, SHRUBS AND EVERGREENS ACCORDING TO THE HEIGHT OF THE ROOT BALL OR POT.

ALL PERENNIAL BEDS TO RECEIVE 3" COMPOST.

ALL TREES IN THE LAWN AREAS TO RECEIVE A MULCH CIRCLE (NO LANDSCAPE EDGING) AND WATER SAUCER.

LANDSCAPE CONTRACTOR TO PROVIDE TWO LAYERS OF WEED BARRIER WITHIN PLANTING AREAS AS DEFINED.

BUILDING FOUNDATION

65 POINTS (MIN.) REQUIRED
67 POINTS PROVIDED
(4) ANDORRA JUNIPER = (3) PTS. PER - 12 POINTS TOTAL
(3) ARTIC FIRE DOGWOOD = (5) PTS. PER - 15 POINTS TOTAL
(2) EMERALD ARBORVITAE = (20) PTS. PER -40 POINTS TOTAL

DEVELOPED LOTS

30 POINTS (MIN.) REQUIRED
75 POINTS PROVIDED
(1) SUGAR MAPLE = (75) PTS. PER -75 POINTS TOTAL

STREET FRONTAGE

66 POINTS (MIN.) REQUIRED
80 POINTS PROVIDED
(4) EMERALD ARBORVITAE = (20) PTS. PER -80 POINTS TOTAL

PAVEMENT AREA

57 POINTS (MIN.) REQUIRED
107 POINTS PROVIDED
(1) SUGAR MAPLE = (75) PTS. PER - 75 POINTS TOTAL
(2) ANDORRA JUNIPER = (3) PTS. PER - 6 POINTS TOTAL
(2) ARTIC FIRE DOGWOOD = (5) PTS. PER - 10 POINTS TOTAL

LANDSCAPE POINTS REQUIRED FOR 'UC' URBAN COMMERCIAL ZONING

BUILDING FOUNDATIONS = 292 LINEAL FEET

PER SECTION 15.604 AND TABLE 15.604:BUILDING FOUNDATION LANDSCAPE REQUIREMENTS
20 POINTS PER 100 LINEAL FEET - FOR A TOTAL OF 59 POINTS REQUIRED
- NO CLIMAX TREES OR TALL TREES ALLOWED TO MEET REQUIREMENT

DEVELOPED LOTS = 4,845 SQUARE FOOT BUILDING FOOTPRINT

PER SECTION 15.605 AND TABLE 15.605:DEVELOPED LOT LANDSCAPE REQUIREMENTS
5 POINTS PER 1,000 SQUARE FEET - FOR A TOTAL OF 25 POINTS REQUIRED

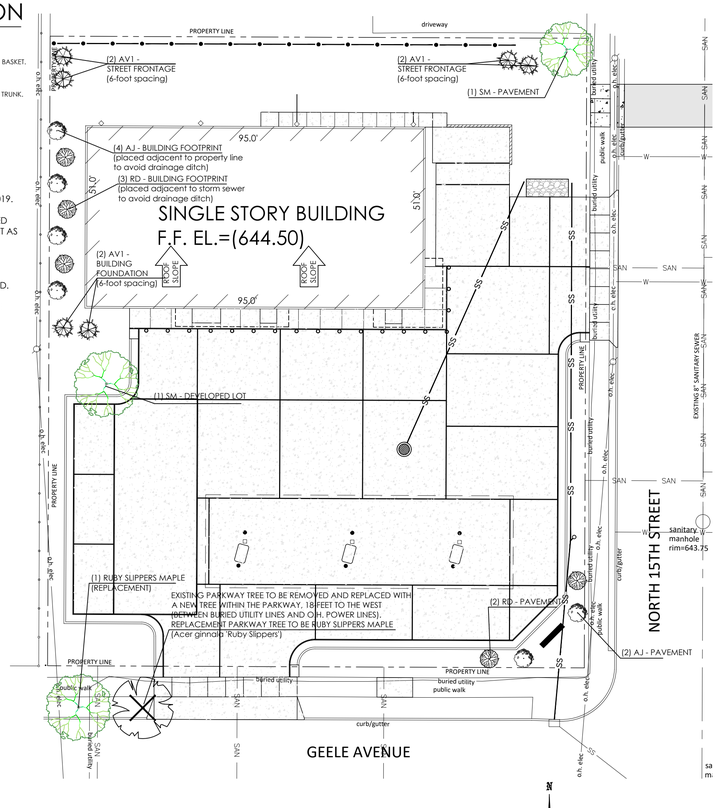
STREET FRONTAGE = 326 LINEAL FEET (NORTH 15th STREET and GEELE AVENUE)

PER SECTION 15.606 AND TABLE 15.606:STREET FRONTAGE LANDSCAPE REQUIREMENTS
20 POINTS PER 100 LINEAL FEET - FOR A TOTAL OF 66 POINTS REQUIRED
- A MINIMUM OF 50-PERCENT OF POINTS SHALL BE CLIMAX AND/OR TALL TREES (33 POINTS)
- A MINIMUM OF 30-PERCENT OF POINTS SHALL BE SMALL TREES (20 POINTS)

CONCRETE AREA = 14,080 SQUARE FEET

PER SECTION 15.607 AND TABLE 15.607:PAVED AREA LANDSCAPE REQUIREMENTS
40 POINTS PER 10,000 SQUARE FEET - FOR A TOTAL 57 POINTS REQUIRED
- A MINIMUM OF 30-PERCENT OF POINTS SHALL BE CLIMAX AND/OR TALL TREES (17 POINTS)
- A MINIMUM OF 40-PERCENT OF POINTS SHALL BE SHRUBS (22 POINTS)

SYMBOL	MARK	QTY.	BOTANICAL NAME	COMMON NAME	PLANTED SIZE
	SM	2	ACER SACCHARUM	SUGAR MAPLE	2" DIA.
	AV TYPE 1	6	THUJA OCCIDENTALIS EMERA	EMERALD ARBORVITAE	6'0" TALL
	AJ	6	JUNIPERUS HORIZONTALIS 'PLUMOSA'	ANDORRA JUNIPER	12"-15"
	RD	5	CORNUS SERICEA	ARTIC FIRE DOGWOOD	30"-36"



SITE LANDSCAPE PLAN

1"=20'

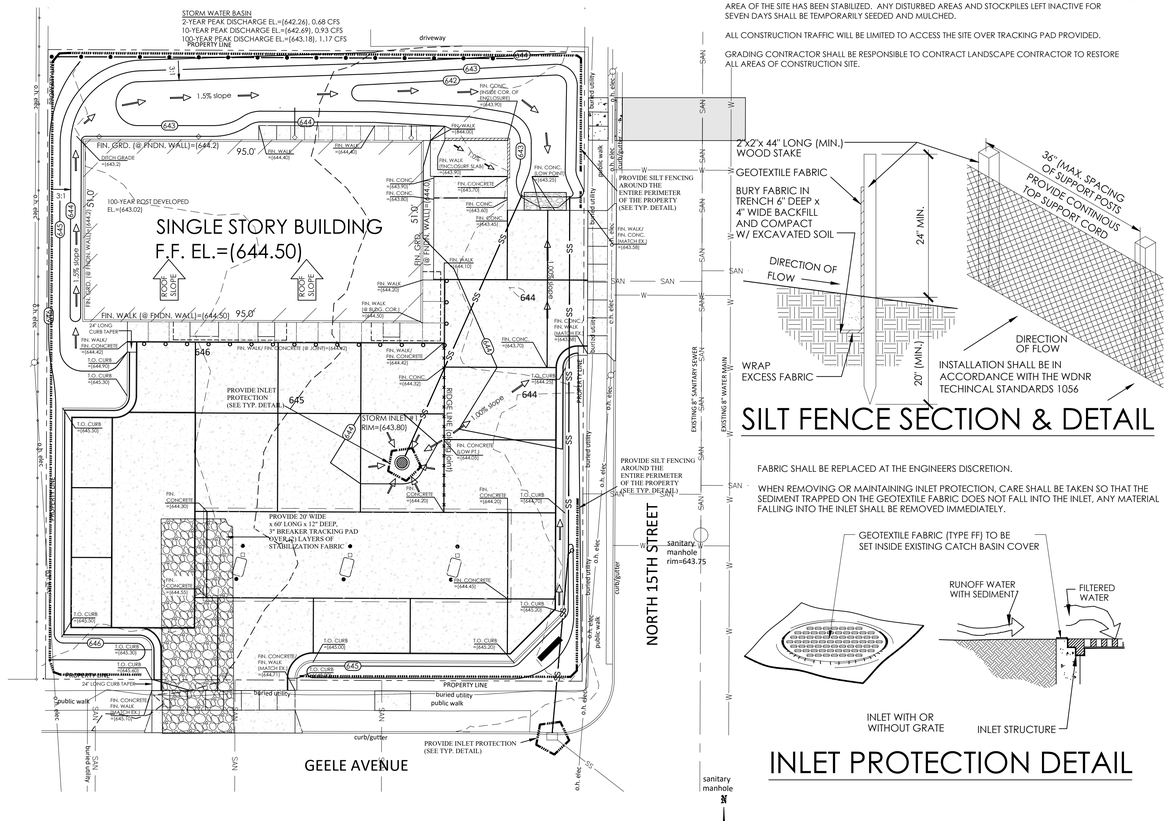
LANDSCAPE NOTES

LANDSCAPE INSTALLATION:

1. All written dimensions supersede scaled dimensions.
2. The Contractor shall verify location of all underground utilities and additional information prior to commencing construction.
3. Rough grading and drainage construction is to be completed prior to Landscape Contractor's work. Verify all existing site and grading conditions prior to construction.
4. All work shall be in conformance with all applicable local codes and ordinances.
5. All areas disturbed by grading or site construction shall be fine graded, planted or seeded. See notes for specified seed mixes and installation procedures.
6. Contractor shall verify plant quantities shown on the Plan and provide a list to the client identifying the species and size to be used throughout the project. The Owner's representative reserves the right to reject any substandard planting material. Rejected material shall be removed from the project site immediately.
7. All turf grass areas shall receive a blended topsoil mix to a depth of six (6) inches. Contractor shall provide positive drainage away from all buildings for a minimum of ten (10) feet.
8. Soil preparation for perennial or groundcover planting beds shall be as follows:
   A. Remove all roots, lumps, stones, sod and other extraneous materials harmful or toxic to plant growth.
   B. Perennial and groundcover planting beds shall receive a eight (8) inch topsoil. Add 1/2 LB. of 5-10-5 garden fertilizer per 100 square feet and roto-till amendments into the planting bed.
   C. Mix amended planting soil either prior to planting or apply on surface of planting bed and mix thoroughly before planting.
   D. Grade, rake, and roll planting bed with roller weighing not less than 25 LBS. or more than 100 LBS. per lineal foot so as to leave in condition to plant.
   E. Grade planting bed to a twelve (12) inch crown at center.
9. All mixed planting beds with perennials, groundcover, shrubs and trees shall receive a two (2) inch to three (3) inch layer of shredded bark mulch as noted on the Plan. All shrub and tree planted singly or together in beds shall receive a three (3) inch layer of shredded bark mulch as noted. Do not allow bark mulch to touch stems or trunks of perennials, shrubs or trees.
10. Unless otherwise shown, all perennials and shrubs to be planted in a triangular arrangement, spaced according to plant recommendation.
11. Plant Bed Edging - Install a shovel-cut bed edge to six (6) inch depth at perimeter of bed.
12. Unless otherwise noted, do not stake deciduous trees less than or equal to 2.5 inches caliper diameter at breast height and evergreen trees less than or equal to 6-feet in height.
13. See the Tree Staking Detail on this Plan if tree staking is required.
14. Plant species as defined are general planting types and are subject to modification/adjustment/change.

SEED MIXES:

SEEDED TURF for LAWN AREAS:
Sow at 5 lbs. / 1,000 sq. ft.
"Supreme Lawn Seed Mix"
Available from Reinders, Inc. (800) 785-3301, or approved equal
To be installed and maintained per supplier's specifications.
17% Mercury Kentucky Bluegrass 16% America Kentucky Bluegrass
17% SR 2100 Kentucky Bluegrass 25% Garnet Creeping Red Fescue
15% Replicator Perennial Ryegrass 10% TXR Annual Ryegrass



SITE GRADING AND EROSION CONTROL PLAN

1"=20'

CALL DIGGERS' HOTLINE
1-800-242-8511
TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND BEFORE YOU DIG. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

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(920) 207-8977
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Quasius
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SHEBOYGAN, WISCONSIN 53082

SITE DEVELOPMENT AND EROSION CONTROL NOTES

KEEP A COPY OF THE CURRENT AND APPROVED EROSION CONTROL PLAN ONSITE THROUGHOUT THE DURATION OF THE PROJECT.

SELECTED EARTHWORK CONTRACTOR IS RESPONSIBLE FOR THE ROUTINE SITE INSPECTION AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ONSITE AND MAKE THEM AVAILABLE UPON REQUEST.

THE SELECTED EARTHWORK CONTRACTOR, SHALL INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

INSTALL PERIMETER EROSION CONTROLS AND STONE TRACKING PAD ENTRANCE PRIOR TO ANY LAND DISTURBANCE ACTIVITIES AND/OR SITE CLEARING/TOPSOIL STRIPPING. USE WDNR TECHNICAL STANDARD #1057 FOR STONE TRACKING PADS.

STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREAS (BARE GROUND). FOLLOW STEPS DEFINED WITHIN WDNR TECHNICAL STANDARD #1067.

CONSTRUCTION OF THE STORM WATER BASIN SHOULD BE CONSTRUCTED BEFORE ANY OTHER LAND DISTURBANCE ACTIVITIES TAKE PLACE. UPON COMPLETION OF SITE STABILIZATION (PAVEMENT, TOPSOIL/GRASS) THE STORM WATER BASIN SHOULD BE CLEANED OUT AND BASIN BOTTOM RESTORED TO DESIGNED GRADE.

INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD #1056 FOR SILT FENCING. REMOVE SEDIMENT FROM BEHIND SILT FENCING AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.

SELECTED EARTHWORK CONTRACTOR IS RESPONSIBLE TO REPAIR ALL BREAKS AND/OR GAPS IN THE SILT FENCE IMMEDIATELY.

EARTHWORK CONTRACTOR TO STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR MORE THAN 14 DAYS. BETWEEN SEPTEMBER AND OCTOBER 15, STABILIZE WITH MULCH, TACKIFIER AND A PERENNIAL SEED MIX WITH WINTER WHEAT, ANNUAL OATS OR ANNUAL RYE AS APPROPRIATE FOR THE REGION AND SOIL TYPE. AFTER OCTOBER 15 STABILIZE WITH A POLYMER AND DORMANT SEED MIX AS APPROPRIATE FOR THE REGION AND SOIL TYPE.

EARTHWORK CONTRACTOR TO SWEEP/CLEAN UP ALL SEDIMENTATION/TRASH THAT MAY MOVE OFFSITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY.

PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS AND DO NOT ALLOW THESE ITEMS TO BE CARRIED BY RUNOFF INTO THE EXISTING STORM WATER BASIN.

SELECTED EARTHWORK CONTRACTOR WILL BE RESPONSIBLE TO INSTALL ANY/ALL ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES DEEMED NECESSARY BY SHEBOYGAN COUNTY AND/OR THE OWNER'S REPRESENTATIVE.

ALL DISTURBED AREAS SHALL BE TOPSOILED (4" MIN.), FERTILIZED, SEEDED AND MULCH.

THE SEED MIXTURE SHALL BE WIS DOT MIXTURE #10 APPLIED AT A RATE OF 3 POUNDS/1,000 SQUARE FEET.

ALL EROSION CONTROL DEVICES SHOWN HEREIN WILL BE MAINTAINED UNTIL AT LEAST 80% OF THE DISTURBED AREA OF THE SITE HAS BEEN STABILIZED. ANY DISTURBED AREAS AND STOCKPILES LEFT INACTIVE FOR SEVEN DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED.

ALL CONSTRUCTION TRAFFIC WILL BE LIMITED TO ACCESS THE SITE OVER TRACKING PAD PROVIDED.

GRADING CONTRACTOR SHALL BE RESPONSIBLE TO CONTRACT LANDSCAPE CONTRACTOR TO RESTORE ALL AREAS OF CONSTRUCTION SITE.

SILT FENCE SECTION & DETAIL

FABRIC SHALL BE REPLACED AT THE ENGINEERS DISCRETION.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET, ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

INLET PROTECTION DETAIL

NO.	REVISIONS	DATE
	REVISED BUILDING FOOTPRINT SQUARE FOOTAGE FROM 8,060 SQ. FT / TO 7,954 SQ. FT / SINGLE DRIVEWAY APRON ON NORTH 15TH STREET	MARCH 17,2022
	REVISED DUMPSTER ENCLOSURE	JUNE 1,2022
	ADDED NEW SEWER AND WATER LATERALS AND ADDED NEW BUILDING SQUARE FOOTAGE	JULY 12, 2022
	ADDED DOWNSPOUT STM. CHANGED PAVEMENT TO CONCRETE SLABS	AUGUST 15, 2023
	REVISED DUMPSTER DETAILS, CHANGE CURB/GUTTER	AUGUST 21, 2023
	REDUCED BUILDING FOOTPRINT TO 4,845 SQ. FT./ REDUCED PARKING FROM (20) TO (18) SPACES	JULY 2, 2024

Issue Dates

Revision	Date

PROPOSED C-STORE

2206 NORTH 15th STREET
Sheboygan, Wisconsin 53082

SHEET TITLE
SITE GRADING AND EROSION CONTROL PLAN

DRAWN BY
J.A.B.

CHECKED BY

DATE
JANUARY 25, 2022

PROJECT NO.
2021-45

SHEET NO.
C102

CALL DIGGERS' HOTLINE
1-800-242-8511

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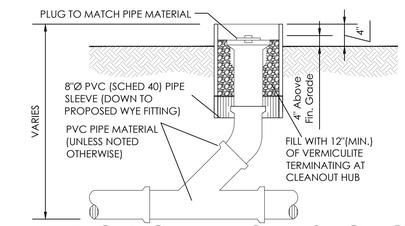
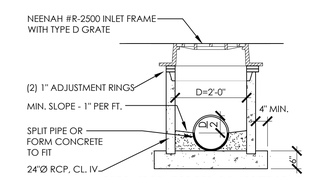
Issue Dates

Revision	Date

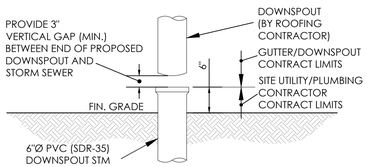


EXTERIOR CLEANOUT SECTION

(@ LOCATIONS WITHIN TURF AREAS)



STORM INLET SECTION



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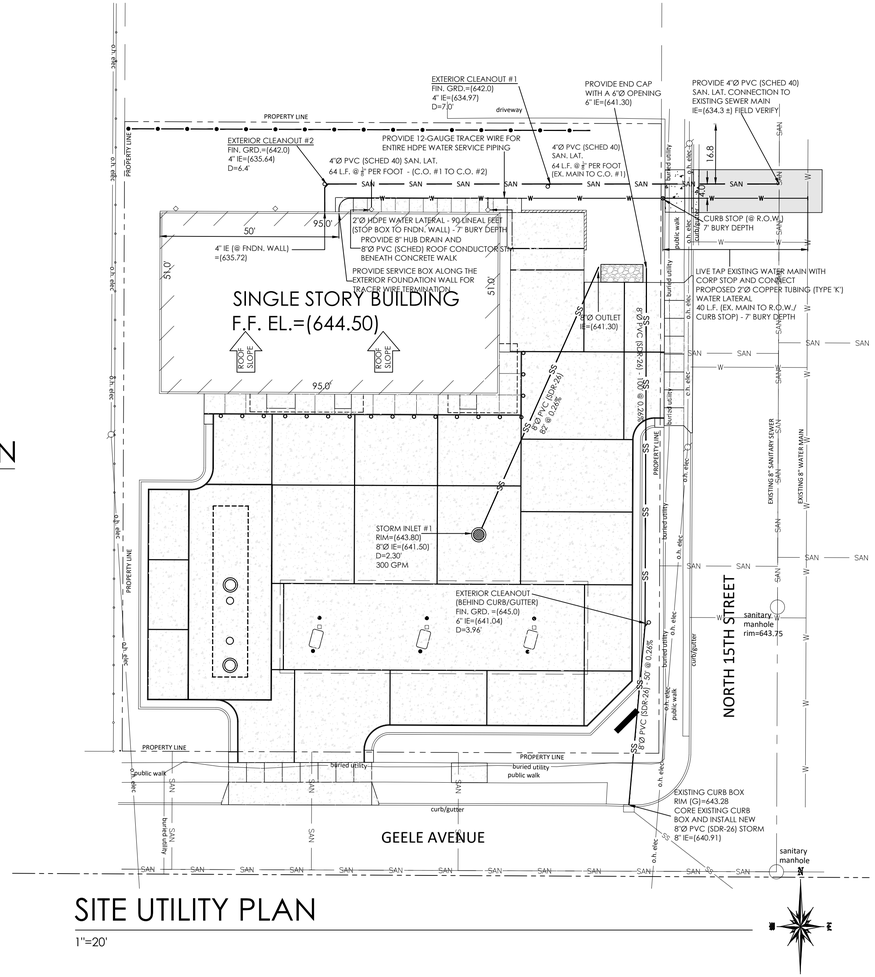


SITE UTILITY PLAN

1"=20'

PROPOSED C-STORE

2206 NORTH 15th STREET
Sheboygan, Wisconsin 53082

SHEET TITLE
SITE UTILITY PLAN
SITE UTILITY DETAILS

DRAWN BY
J.A.B.

CHECKED BY

DATE
JANUARY 25, 2022

PROJECT NO.
2021-45

SHEET NO.
C103

NOTE:
DIMENSIONS SHOWN ARE BASED ON 1½" EIFS WITH ½" SETBACK FROM FACE OF MASONRY VENEER.

SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

NORTH ELEVATION

SCALE: 3/16" = 1'-0"

WEST ELEVATION

SCALE: 3/16" = 1'-0"

EAST ELEVATION

SCALE: 3/16" = 1'-0"

Quasius
a construction services company

ISSUE NO	REVISIONS	ISSUE DATE
1	REVISED PREVIOUSLY APPROVED PLAN	07-01-2024

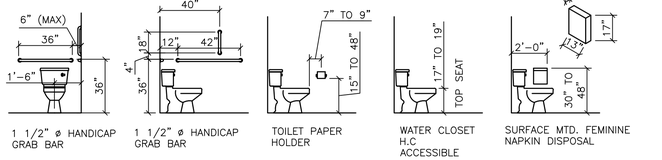
PROPOSED BUILDING FOR:

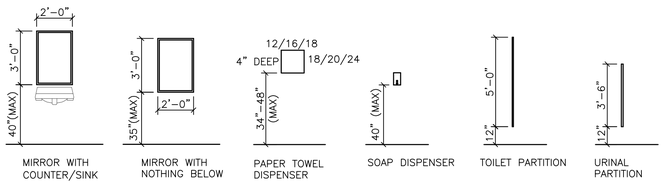
J-MART SHEBOYGAN

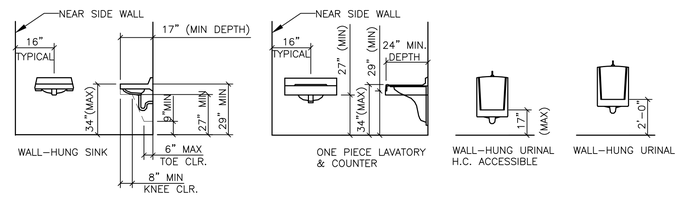
2206 N. 15TH STREET
SHEBOYGAN, WI 53083

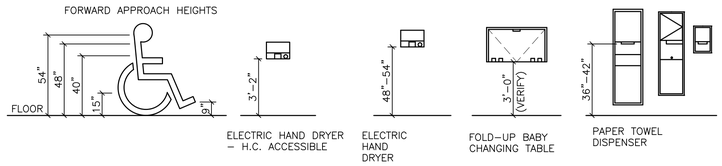
Project number 21253
Date MARCH 22, 2024
Drawn by A. WOLF
Checked by C. DUESCHER

A2.0





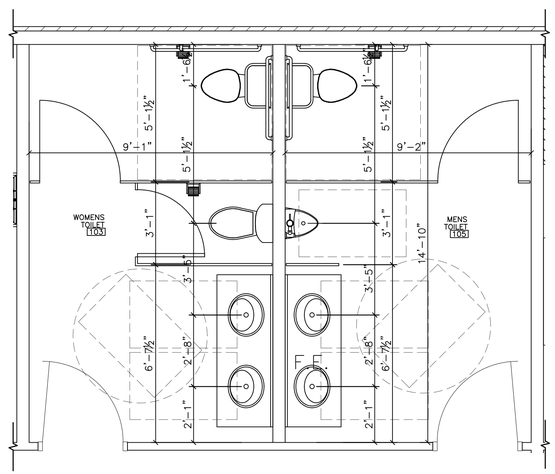




NOTE: STANDARDS SHOWN ARE PER ANSI A117.1

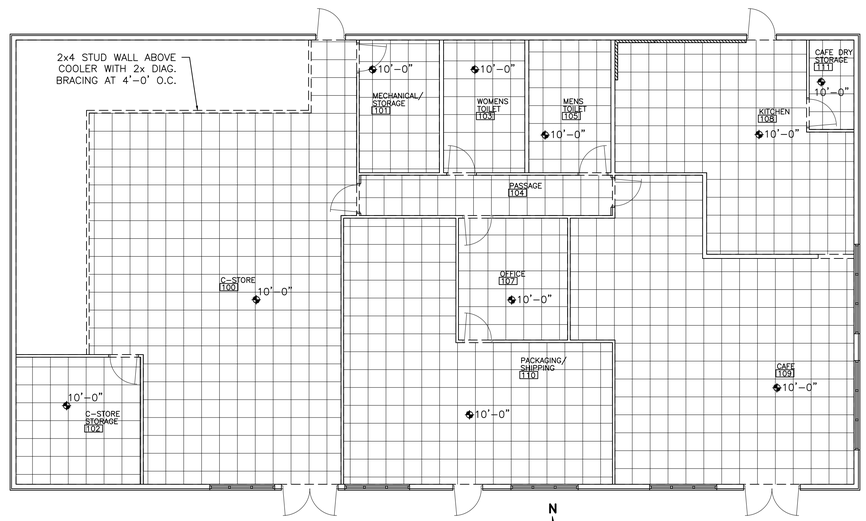
TYP. TOILET ROOM ACCESSORIES

SCALE: ¼"=1'-0"



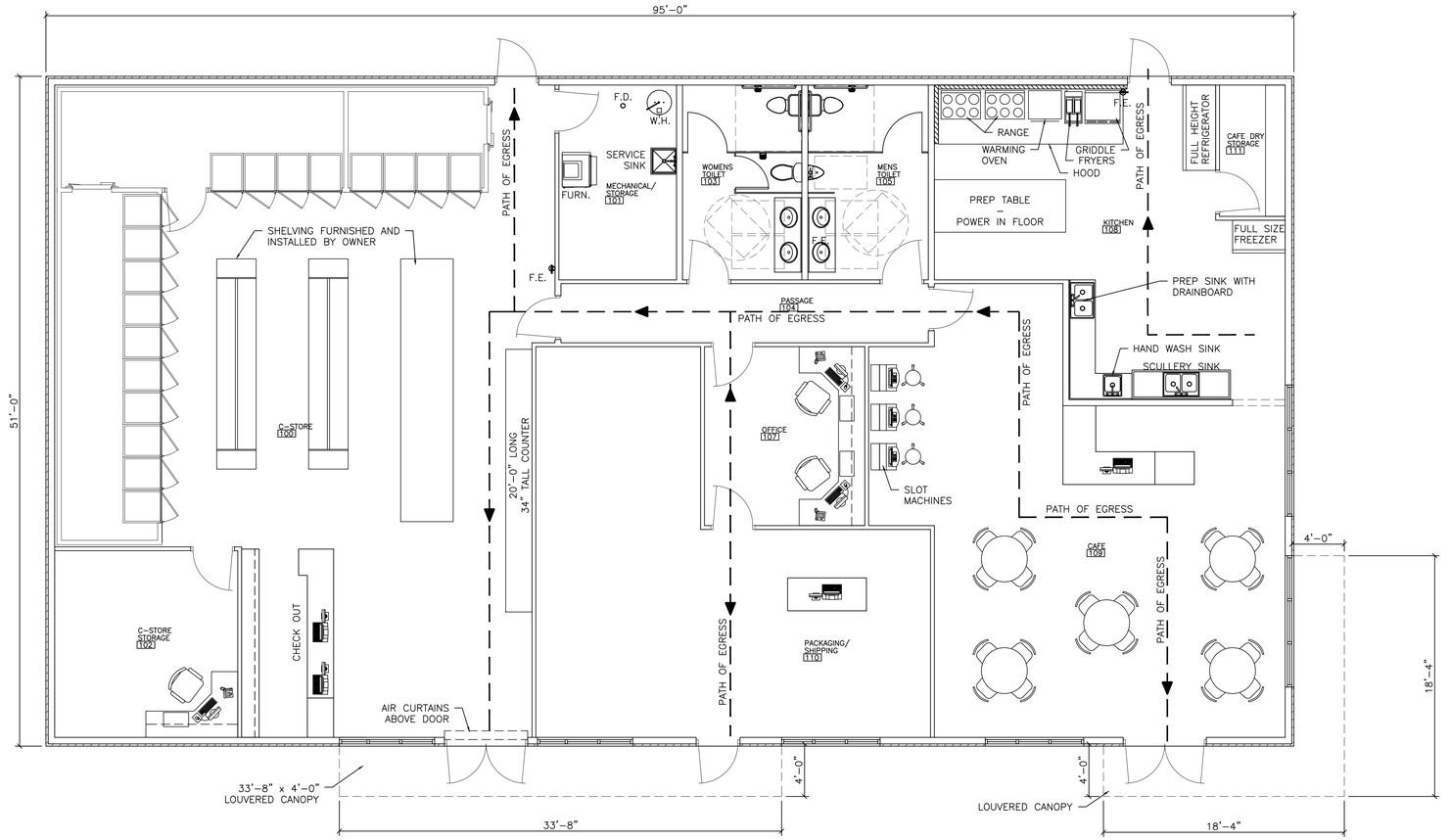
ENLARGED RESTROOM PLAN

SCALE: ⅜"=1'-0"



REFLECTED CEILING PLAN

SCALE: ⅛"=1'-0"



FURNITURE, FIXTURES, AND EQUIPMENT PLAN

SCALE: 3/16"=1'-0"

Quasius
a construction services company

ISSUE NO	REVISIONS	ISSUE DATE
1	REVISED PREVIOUSLY APPROVED PLAN	07-01-2024

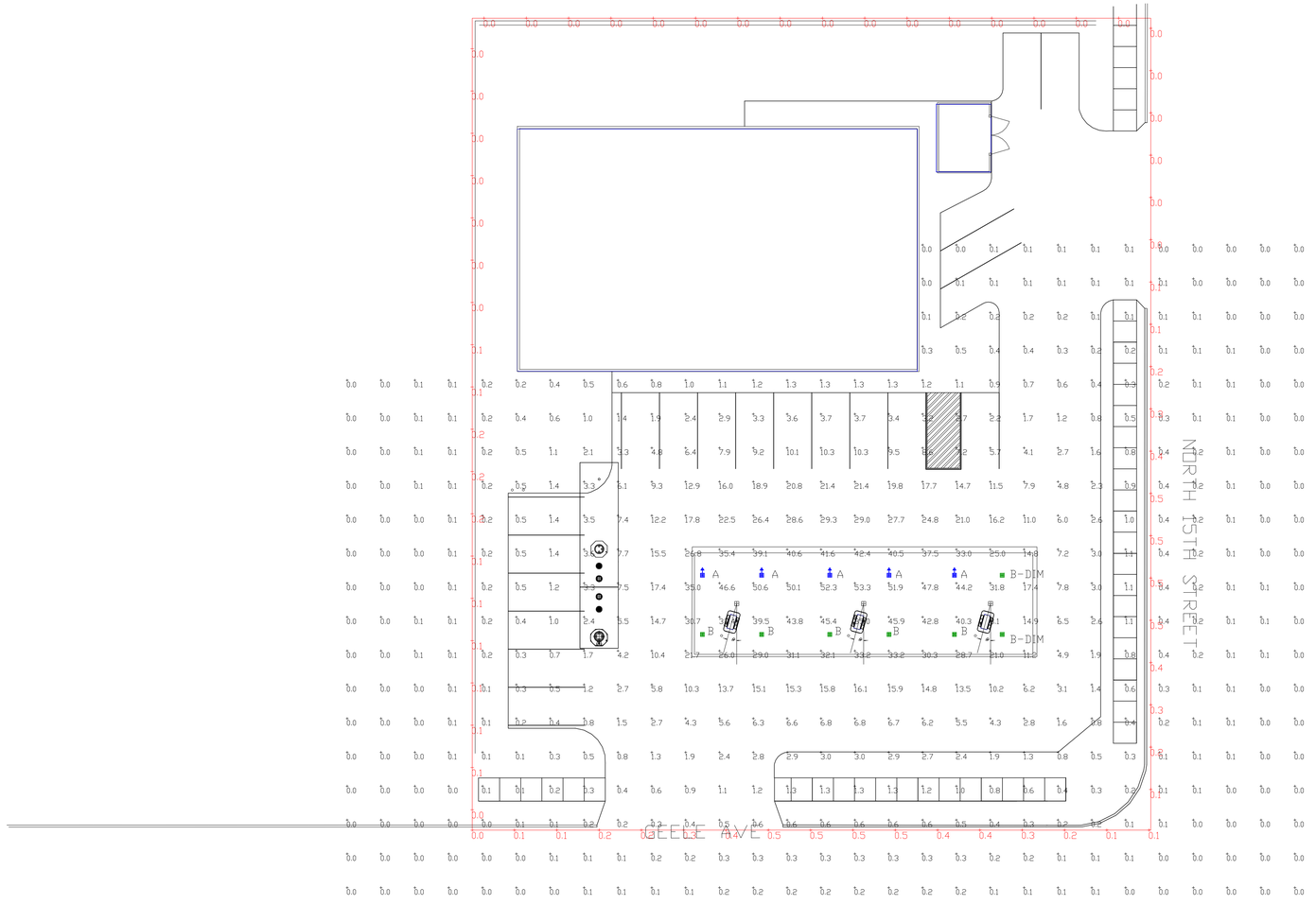
PROPOSED BUILDING FOR:

J-MART
SHEBOYGAN

2206 N. 15TH STREET
SHEBOYGAN, WI 53083

Project number	21253
Date	MARCH 22, 2024
Drawn by	A. WOLF
Checked by	C. DUESCHER

A1.1



Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
	5	A	SINGLE	SCV-LED-23L-SCFT-50 MTD @ 15'	1.000	1.000	1.000	23101	188
	5	B	SINGLE	SCV-LED-10L-SC-50 MTD@15'	1.000	1.000	1.000	10317	67
	2	B-DIM	SINGLE	SCV-LED-10L-SC-50 MTD@15' DIMMED 60%	1.000	1.000	0.400	10317	67

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	5.17	53.3	0.0	N.A.	N.A.
CALCS AT EDGE OF PROPERTY	Illuminance	Fc	0.15	0.5	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	35.52	53.3	8.1	4.39	6.58

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts
Total Watts = 1409

1000 ALLIANCE RD. CINCINNATI, OHIO 45242 USA
(513) 793-3200 • FAX (513) 793-4003

LIGHTING PROPOSAL LO-155652-1A

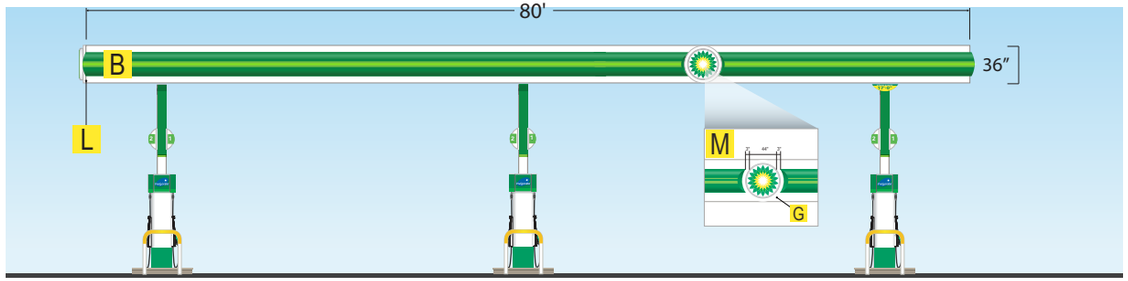
J-MART
2205 N 15th STREET
SHEBOYGAN,WI

BY:AWK	DATE:04-05-22	REV:4/8/22	SHEET 1 OF 1

SCALE: 1"=16' 0 16

NO IMAGE AVAILABLE
(NEW CANOPY)

Front Elevation



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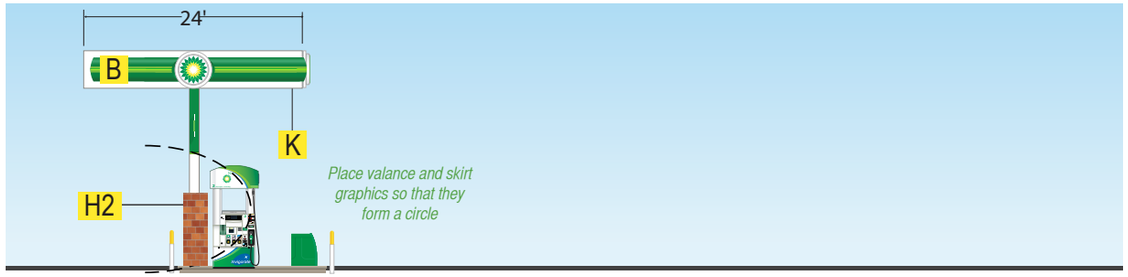
(NEW CANOPY)

Left Elevation



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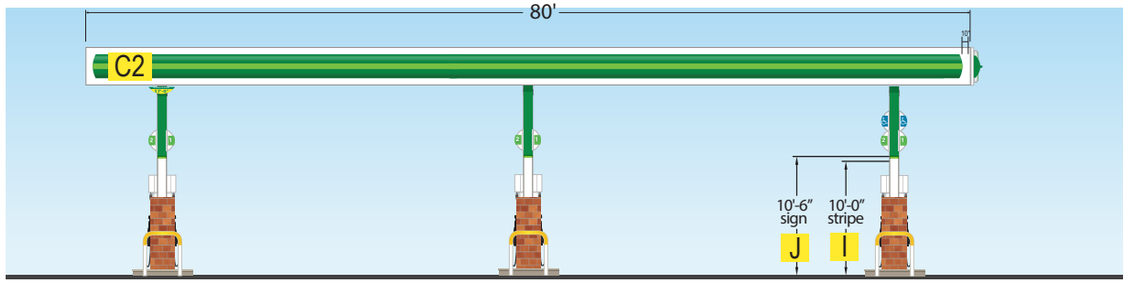
(NEW CANOPY)

Back Elevation



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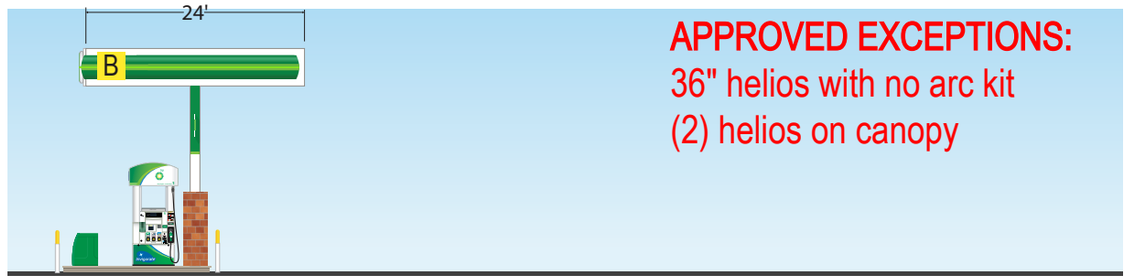
(NEW CANOPY)

Right Elevation



APPROVED EXCEPTIONS:
36" helios with no arc kit
(2) helios on canopy

See Site Notes page for specific paint codes and contact info.
REMOVE ALL EXISTING SIGNAGE

- **B** ☑ Install Dimensional Bullnose Fascia With Light Bar
- **C1** ☐ Install Dimensional Bullnose Fascia With No Light Bar
- **C2** ☑ Install BGB Flat ACM With Decal Applied With No Light Bar
- **D** ☐ Install New White ACM
  - ☐ Jobber Supplied ☐ Federal Heath Supplied
- **E** ☐ Paint Existing Flat ACM White
  - ☐ Install Bullnose Decal ☐ Leave White
- **F** ☐ Install Helios With Arc Kit
  - ☐ 39" Helios ☐ 30" Helios (restricted P&Z only)
  - ☐ 44" Helios ☐ 36" Helios (restricted P&Z only)
- **G** ☑ Install Helios Without Arc Kit
  - ☐ 39" Helios ☐ 30" Helios (restricted P&Z only)
  - ☐ 44" Helios ☑ 36" Helios (restricted P&Z only)
- **H1** ☐ Paint Canopy Columns White/BP Green, & Install Column Decal
  (Per Standards Shown on Note Page)
- **H2** ☑ Image As Shown In Concepts
- **I** ☑ Install Flag Signs 10'6" From The Ground
- **J** ☑ Apply BP Light Green Stripe 10'0" From The Ground
- **K** ☑ Canopy Deck To Be BP White
- **L** ☑ Canopy Corners: ☑ Are 90° ☐ Are NOT 90°
- **M** ☑ Canopy Detail (Full Canopy Detail Page After Elevation)

NOTES:

For a two tier fascia, please remove all layers of fascia and take it back to the deck. Then build the fascia height to 36".

MAP:

Signoff indicates that the above product has been permitted with any municipalities involved. By signing this document, the product will be manufactured to these specifications.

Approved By: _____

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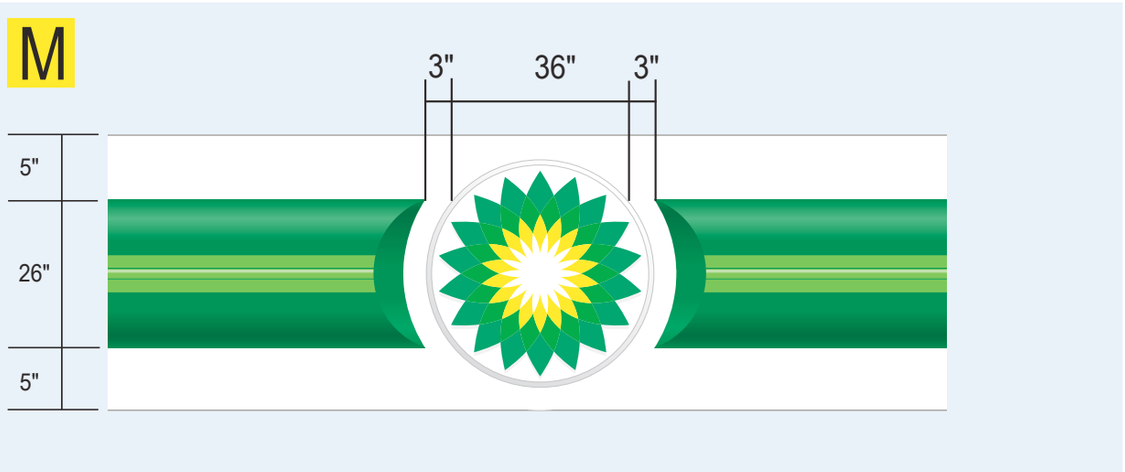
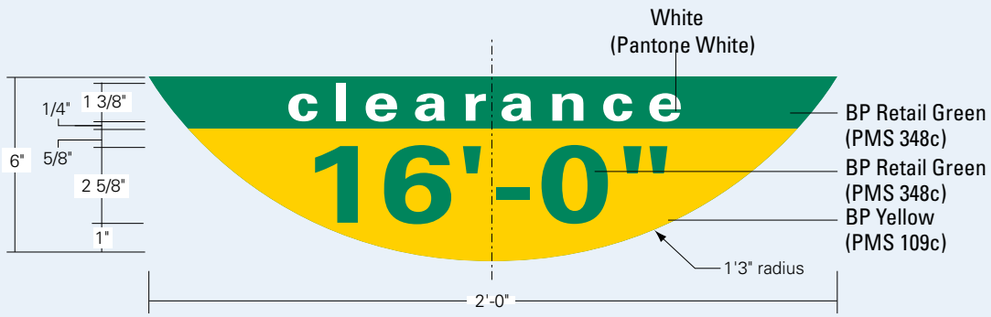
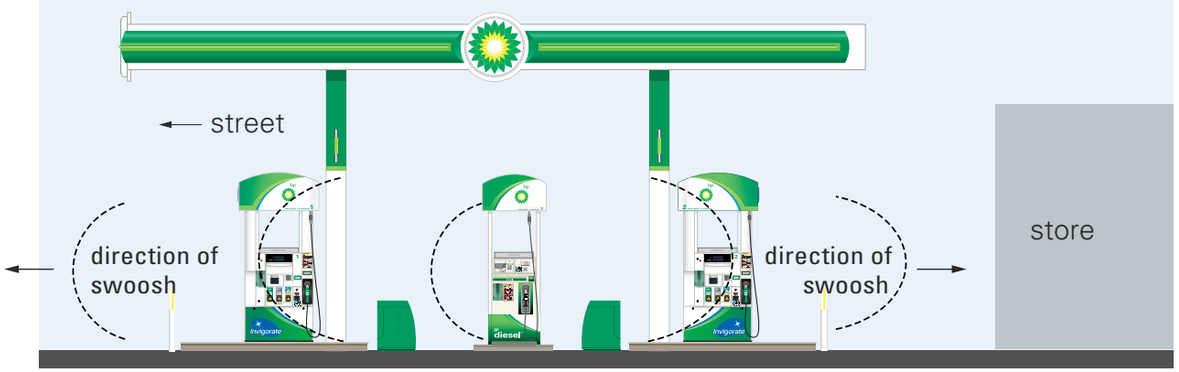
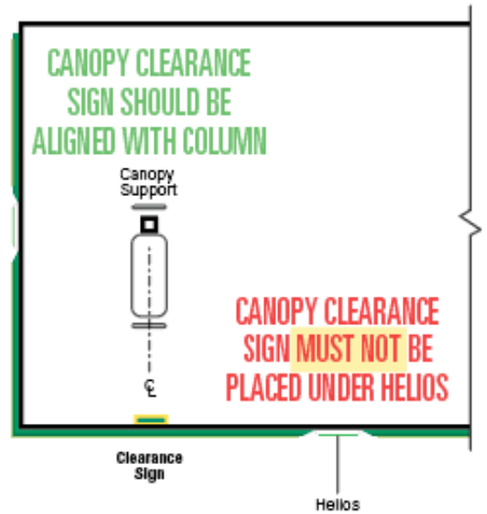
BIG RED ROOSTER FLOW
2 Northfield Plaza, Ste 211 Northfield, IL 60093



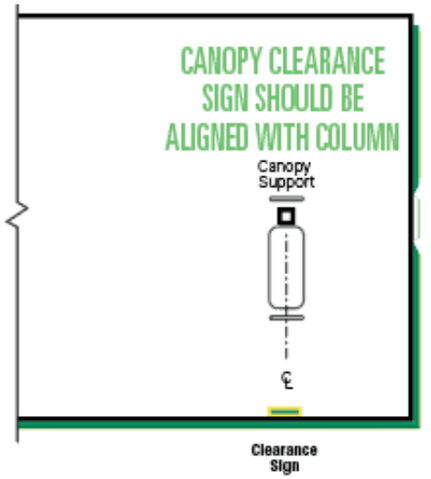


Dispenser graphics should bow out in the direction of the perimeter of the canopy.

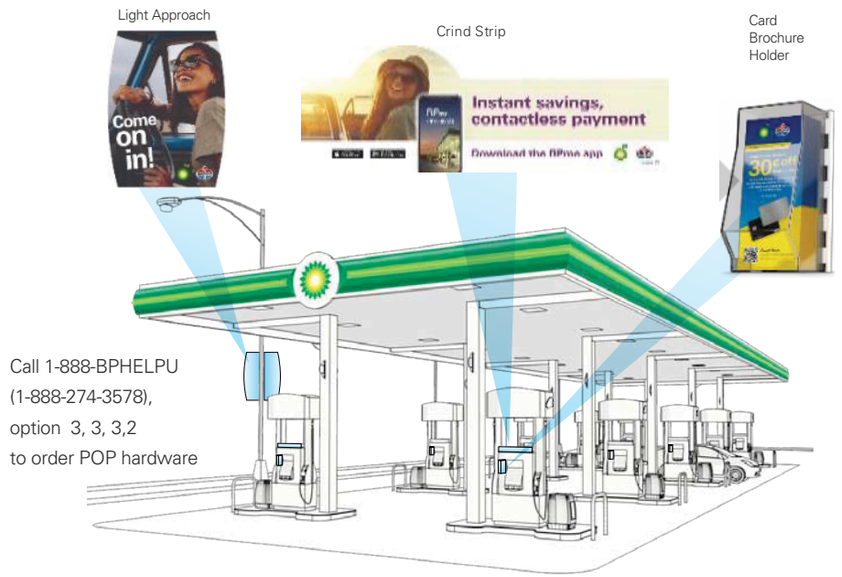




C. plan view - site location - Option 1



D. plan view - site location - Option 2



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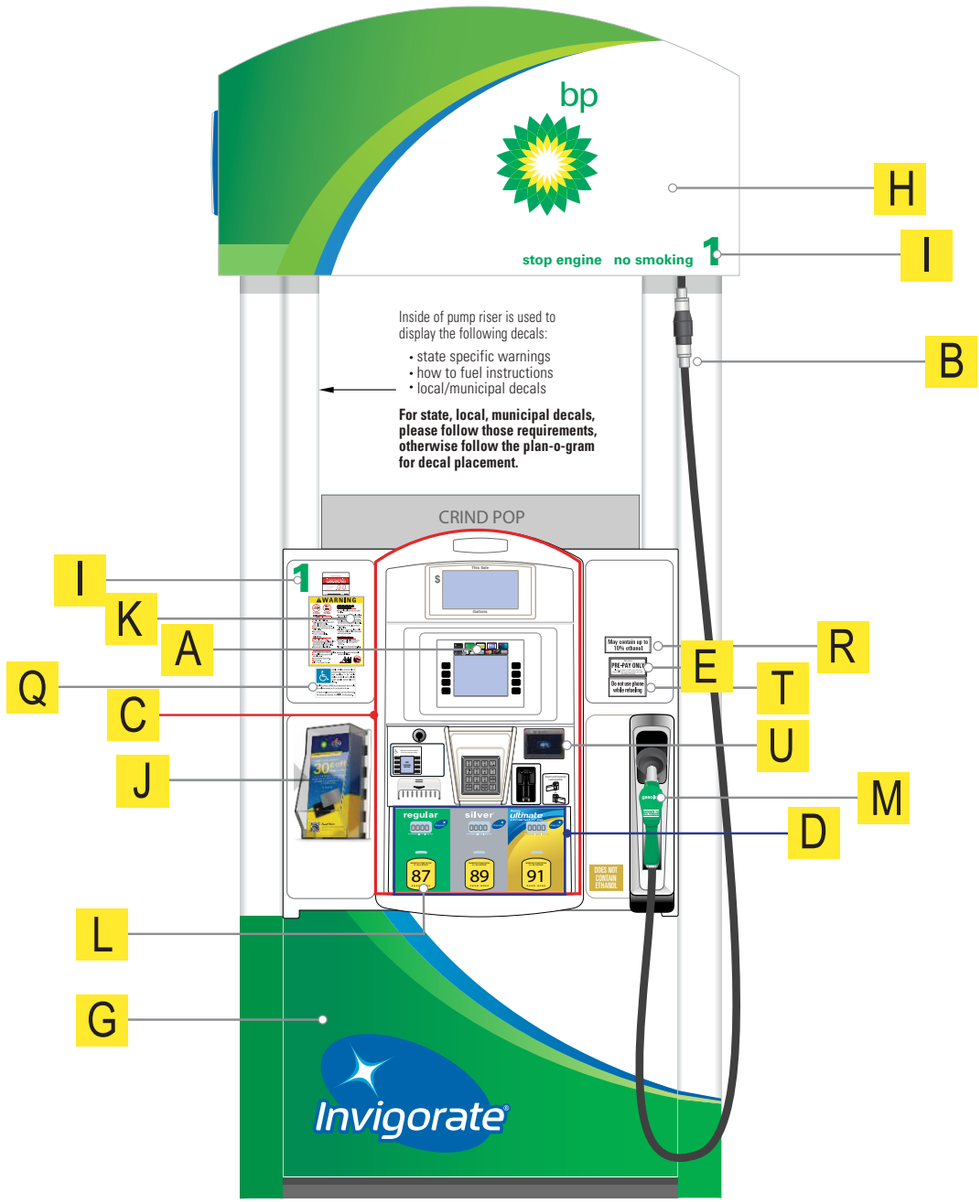
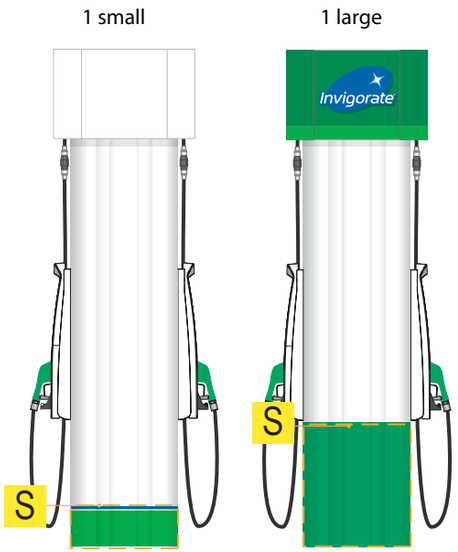
Unless prior approval has been given by the BP Image Manager: The decals shown in this rendering are the only decals approved by BP.
The failure to remove existing decals, or the installation of any additional decals will be considered non-compliant with BP Brand Standards.



Riser Decals Come In A Set



REMOVE ALL UNAPPROVED SIGNAGE FROM DISPENSERS

See Site Notes Page For Specific Paint Codes And Contact Info.

- ■ Crind Hardware
- ☐ Inverted Pump Sign Hardware (NY & NJ ONLY)

- A ■ **Install BP Credit Card Acceptance Decal**
- B ■ **Install BP White Dispenser Riser Panel Overlay**
- C ■ **Panel Surrounding Electronics Must Be One Of The Following Colors And/or Any Combination Of BP White, Grey, Beige And/or Black. Blue And Red Are Not Approved Amoco Colors.**
  - ■ Current electronic panel meets BP Standards
  - ☐ Current electronic panel DOES NOT meet BP standards
- D ■ **Apply BP Branded Grade Decals**
- E ■ **Apply Please Prepay First Decal**
- F ☐ **Install "This Is Not A BP Product" Decal**
- G ■ **Install BP Pump Appropriate Skirt**
  - ■ Install BP Branded Skirt (as shown) ☐ Install BP Un-Branded Skirt (as shown)
- H ■ **Install Spec Valance** (as shown)
- I ■ **Apply Pump Numbers**
  (Decal supplied should have BP Green number with clear background)
- J ■ **Install Rewards Brochure Holder**
- K ■ **Apply Regulatory Graphic Provided By BP**
  (Additional graphics may be required by your state.)
- L ■ **Install Applicable Octane Decals**
- M ■ **Install Correct Nozzle Covers** (See Forecourt Notes Page)
- N ☐ **Install Nozzle Surround For BP Branded Diesel**
- O ☐ **Install BP Branded Diesel Actuator Button**
- P ☐ **Apply Vertical Grade Decal For BP Branded Diesel**
- Q ■ **Apply Handicap Decal**
- R ■ **Apply 10% Ethanol Decal**
  (As required by code)
- S ■ **Apply Riser Decal**
- T ■ **Do Not Use Phone While Fueling Decal**
- U ■ **Tap To Pay Interface**

Notes

- THESE FILLER PANELS WILL NEED TO BE PURCHASED THROUGH THE DISPENSER MANUFACTURER, GILBARCO. BP PARTS WILL NOT PROVIDE THIS ON THE ESTIMATE.

- THIS IS ONLY NEEDED IF YOU ARE REIMAGING AN EXISTING DISPENSER AND THIS AREA IS AN UNAPPROVED DISPENSER COLOR (RED OR BLUE).

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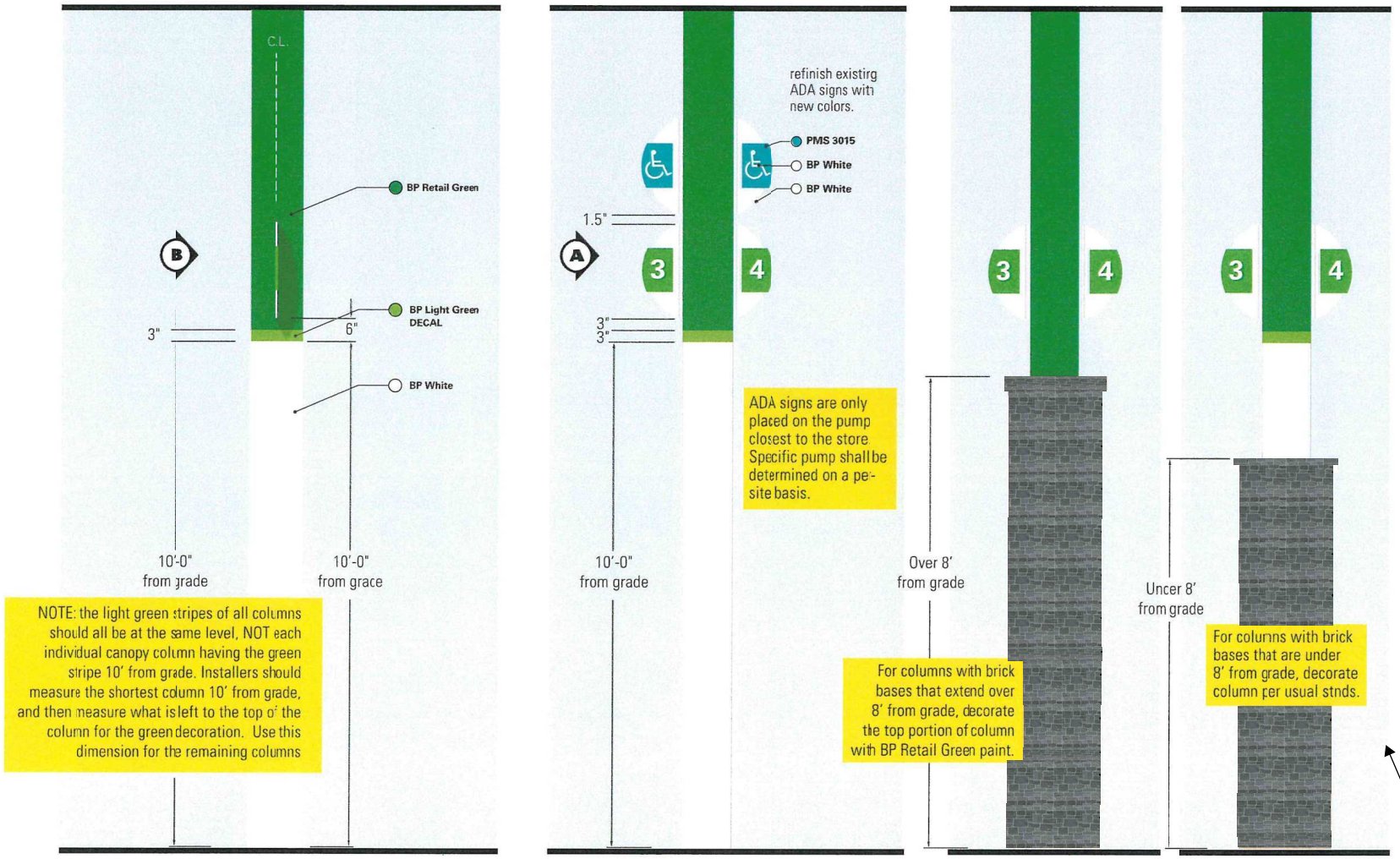
BIG RED ROOSTER FLOW
2 Northfield Plaza, Ste 211 Northfield, IL 60093

Column Decoration



A Side Elevation - Painted Column
SCALE: NTS

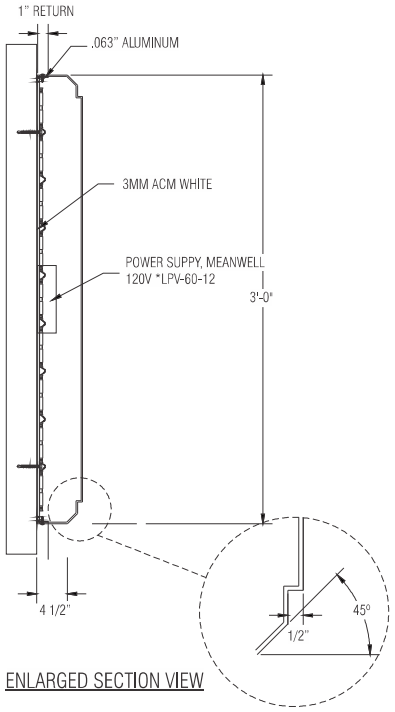
B Front Elevation - Painted Column
SCALE: NTS

C Front Elevation - Painted Column with Brick Bases
SCALE: NTS

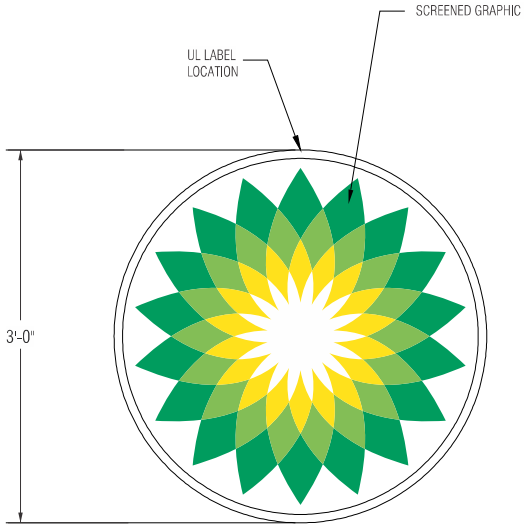
31

Masonry Column wraps to match building wainscot materials, 8'-0" above grade to match dumpster enclosure

NIGHT TIME VIEW



ENLARGED SECTION VIEW

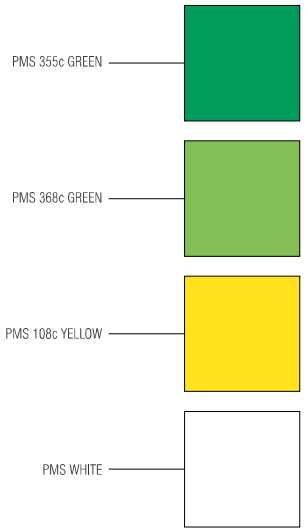


FACE VIEW

SCALE: 1"=1'-0"

NOTE: SEE LED DETAILS ON THE NEXT PAGE

BP BRIGHT GREEN BEACON, 3'-0" HELIOS BUTTON



SPECIFICATION:

1. Silk Screen- BP Dk. Green PMS 355C
2. Silk Screen- BP Lt. Green PMS 368C
3. Silk Screen- BP Yellow PMS 109C

COLOR SCHEDULE:

A. SILK SCREEN

BLAIR COMPANIES
ARCHITECTURAL IMAGING
SIGNS • FIXTURES • LIGHTING

address: 5107 Kissell Avenue
Altoona PA 16601
telephone: 814.949.8287
fax: 814.949.8293
web: blaircompanies.com

project information

client: **BP**
address: Altoona, PA

store #:
m number: 54213
date: 07.10.15
rendered: JC
file name: BPL 54213_15
category:

revisions

a. 06.28.16 (RD); Add Led Details
b.
c.
d.
e.

sign code:

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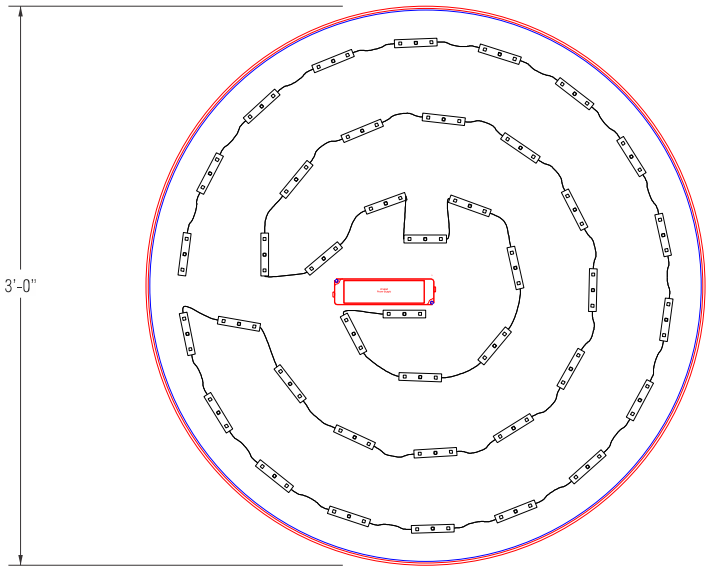

LED DETAILS

SCALE: 1 1/2" = 1'-0"

MEANWELL POWER SUPPLY BREAK DOWN & RISHANG LED QUANTITIES									
POWER SUPPLY				LED MODULES			QUANTITY LED MODULES PER OUTPUT	SERVICE DRAW (AMPS)	CIRCUITS
WATTS	PART #	POWER SUPPLY #	LETTERS	QUANTITY	COLOR	PART #			
60		#1	HELIOS	40	WHITE		40	1.2	(1) 120 VAC 20 AMP SERVICE

BP BRIGHT GREEN BEACON, 3'-0" LED DETAILS

BLAIR COMPANIES
ARCHITECTURAL IMAGING
SIGNS • FIXTURES • LIGHTING

address: 5107 Kissell Avenue
Altoona PA 16601
telephone: 814.949.8287
fax: 814.949.8293
web: blaircompanies.com

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c.
d.
e.

sign code:

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EXTERIOR PAINT SPECIFICATIONS

01 BP Pearl
- **Glidden Professional**, Order #A0083, Spec #38YY 72/117, "Indian Legend"
- **Sherwin Williams**, SW6119, "Antique White"
- **Benjamin Moore**, OC-8, "Elephant Tusk" - P28 DTM (Gallon)
- **Anchor Paint**, BP Pearl - CC3065 (Acrylic), CC3112 (Oil)

02 BP Warm Gray
- **Glidden Professional**, Order #A1860, Spec #40YY 25/074, "Grey Mountain"
- **Sherwin Williams**, SW7053, "Adaptive Shade"
- **Benjamin Moore**, 2137-40, "Desert Twilight" - P28 DTM (Gallon)
- **Anchor Paint**, BP Warm Gray - CC3068 (Acrylic), CC3115 (Oil)

03 BP Yellow (Paint)
- **Glidden Professional**, Order #A0775, Spec #37YY 61/867, "Omega Yellow"
- **Sherwin Williams**, SW6903, "Cheerful"
- **Benjamin Moore**, 2022-10, "Yellow" - P28 DTM (Gallon)
- **Anchor Paint**, BP Yellow - CC3066 (Acrylic), CC3113 (Oil)

BP Yellow (ACM) - Reynobond, "Program Yellow"

04 White (Canopy Deck, Canopy Columns)
- **Glidden Professional**, Order #A0128, Spec #50GY 83/010, "White Wing"
- **Sherwin Williams**, SW7006, "Extra White"
- **Benjamin Moore**, OC-67, "Ice Mist" - P28 DTM (Gallon)
- **Anchor Paint**, BP White - 4900 (Acrylic), 900 (Oil)

05 BP Dark Pearl
- **Glidden Professional**, Order #A0767, Spec #30YY 52/207, "Desert Valley"
- **Sherwin Williams**, SW6121, "Whole Wheat"
- **Benjamin Moore**, HC-24, "Pittsfield Buff" - P28 DTM (Gallon)

06 BP Bright Green (to go fascia paint)
- **Benjamin Moore**, 2030-10, "Lizard Green"
- **Anchor Paint**, BP White - CC3107 (Acrylic), CC3116 (Oil)

BP Bright Green (to go ACM)
- **Duragloss 3000**, CMR# 071013-D, 497G11281 H/G SR Green

09 BP Retail Green
- **Glidden Professional**, Custom Color "BP Retail Green"
- **Sherwin Williams**, Hydrogloss B65GW180, Custom Color
- **Benjamin Moore**, BP Retail Green - PMS 348c, Custom Color
- **Anchor Paint**, BP Retail Green - CC3067 (Acrylic), CC3114 (Oil)

ADA BLUE

10 ADA/Handicap Blue~
- **Glidden Professional**, "Handicap Blue", 25524 traffic paint
- **Sherwin Williams**, TM2133, "Setfast Blue", Setfast marking latex
- **Benjamin Moore**, P58-30, "Handicap Blue", Safety/Zone marking latex

~Handicap Blue paint is used for pavement striping and marking on site (as required).

BP EXTERIOR SIGNAGE

- **BP Yellow - PMS 109**
- **BP Super Bright Green (to go) - PMS 382**
- **BP Extra Light Green (to go) - PMS 376**
- **BP Light Green - PMS 368**
- **BP Bright Green (to go) - PMS 361**
- **BP Green - PMS 355**
- **BP Retail Green - PMS 348**
- **BP Dark Green (to go) - PMS 356**

For all paint inquiries, contact:

Benjamin Moore
855-724-6802
www.benjaminmoore.com

Glidden Professional
888-615-8169
www.gliddenprofessional.com

Sherwin Williams
800-474-3794
www.sherwin-williams.com

Anchor Paint
405-831-9446
www.anchorpaint.com

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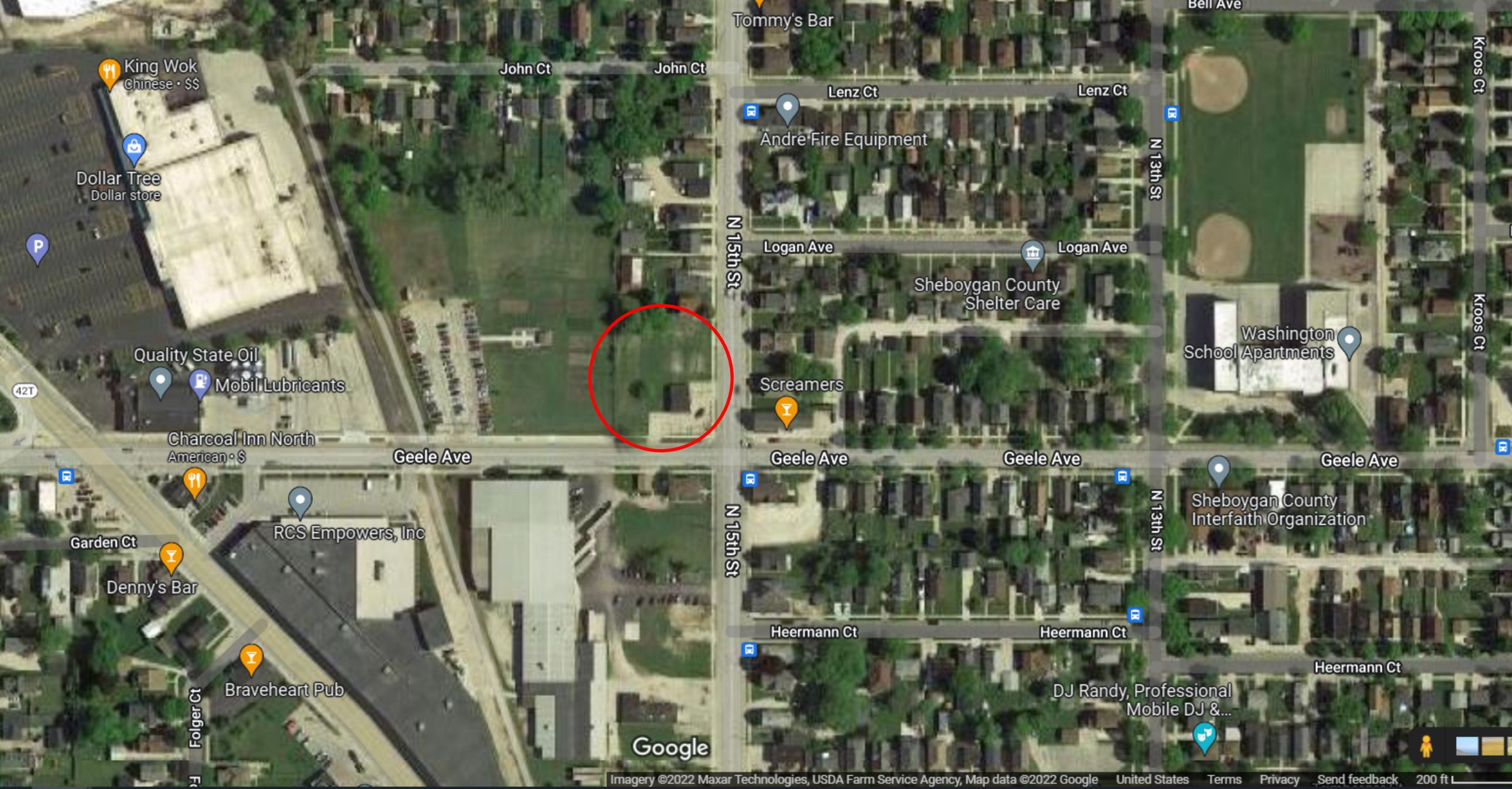
Tommy's Bar
King Wok
Chinese • $$
John Ct
John Ct
Lenz Ct
Lenz Ct
Andre Fire Equipment
Dollar Tree
Dollar store
N 13th St
N 15th St
Logan Ave
Logan Ave
Sheboygan County
Shelter Care
Kroos Ct
Kroos Ct
Bell Ave
Washington
School Apartments
Quality State Oil
Mobil Lubricants
42T
Screamers
Charcoal Inn North
American • $
Geele Ave
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Geele Ave
Geele Ave
RCS Empowers, Inc
Sheboygan County
Interfaith Organization
Garden Ct
Denny's Bar
N 15th St
N 13th St
Heermann Ct
Heermann Ct
Heermann Ct
Braveheart Pub
Folger Ct
DJ Randy, Professional
Mobile DJ &...
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Terms
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200 ft

Legend
Neighborhood Commercial District
Neighborhood Office District
Neighborhood Residential-6 District
Pre-Planned Unit Development District
Rural Agriculture-35ac
Suburban Commercial District
Suburban Industrial District
Suburban Office District
Suburban Residentail-3 District
Suburban Residential-5 District
Unit Development
Urban Commercial District
Urban Industrial District
Urban Residential
Urban Residential-12 District
#N/A
Railroad
Road Right-of-Way
Rural Agriculture
Suburban Residential-3 District
59281601931
59281601911
59281601840
59281714290
59281714280
59281708530
59281708520
Logan Ave
N 15th St

Steele Ave
N 15th St

Bell Av
Dollar Tree

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