	<b>CITY OF SHEBOYGAN</b>	Fee: \$250.00
	<b>APPLICATION FOR CONDITIONAL USE</b>	Review Date: <u>6/18/2024</u>
		Zoning: <u>PUD</u>

Read all instructions before completing. If additional space is needed, attach additional pages.

**SECTION 1: Applicant/ Permittee Information**

Applicant Name (Ind., Org. or Entity) <b>Malibu Apartments, LLC</b>	Authorized Representative <b>Jacob Buswell</b>	Title <b>Partner</b>	
Mailing Address <b>1525 Torrey View Drive</b>	City <b>Sparta</b>	State <b>WI</b>	ZIP Code <b>54656</b>
Email Address <b>jake.buswell@allamericandoitcenter.com</b>	Phone Number (incl. area code) <b>262-623-8348</b>		

**SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)**

Applicant Name (Ind., Org. or Entity)	Contact Person	Title	
Mailing Address	City	State	ZIP Code
Email Address	Phone Number (incl. area code)		

**SECTION 3: Project or Site Location**

Project Address/Description <b>1403,1435 S. 7th St. Sheboygan, WI/ approximately 3.8 acres</b>	Parcel No. <b>59281318390</b>
---	----------------------------------

**SECTION 4: Proposed Conditional Use**

Name of Proposed/Existing Business:	<b>Malibu Apartments</b>
Existing Zoning:	<b>N/A</b>
Present Use of Parcel:	<b>Vacant Land</b>
Proposed Use of Parcel:	<b>Mixed-Use (Multi-famliy &amp; light commercial)</b>
Present Use of Adjacent Properties:	<b>Commercial Business, single family</b>

**SECTION 5: Certification and Permission**

**Certification:** I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

**Permission:** I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) <b>Jake Buswell</b>	Title <b>Partner</b>	Phone Number <b>262-623-8348</b>
Signature of Applicant <i>Jacob Buswell</i>		Date Signed <b>6/18/2024</b>

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

Jake Buswell  
Malibu Apartments, LLC  
1525 Torrey View Drive  
Sparta, WI 54656

June 18, 2024

Ellise Rose, Associate Planner  
Diane McGinnis, Director of Planning and Development  
Elke Daugherty, Planning and Zoning Administrator  
City of Sheboygan  
828 Center Avenue  
Sheboygan, WI 53081

Dear City Staff,

Please accept this narrative cover letter and the included documents as our official submittal for the PUD, GDP, and SIP (phase 1) packages for our Malibu Apartments project that connects with “Kite Beach” on parcels: 59281318390 and 59281303390.

As you’ll see within our plans an enormous amount of forethought and planning went into creating a development that not only cleans up and receives closure on an old brownfield DNR site but also works to achieve city goals outlined in the Comprehensive Master plan and also addresses housing shortages outlined within the new city housing study. Malibu Apartments is a very complex project due to many factors including the contamination and inadequate subsoils. For this project to be financially viable we need to achieve approval for the submitted density, parking, setbacks and height for this project to move forward.

As mentioned above this site is connected to what is known as “Kite Beach”. The name “Malibu Apartments” is being used to forever memorialize this area as “The Malibu of the Midwest”. This project will help bring hundreds of people, who otherwise might not ever have this opportunity, to live right on Sheboygan’s most plentiful natural resource—Lake Michigan. Enhancing the beach community by bringing more people to the shores of Lake Michigan to live at a property that purposely focuses on holistic wellness is a goal and overall “Theme” of our project. The property will bring many new amenities to Sheboygan such as a lake front pool and common area, state of the art work out facility with lake views, pet wash stations, we will have surf boards, paddle boards, kayaks, lawn games and other outdoor recreational equipment available for our residents to utilize as a way to connect with nature. Malibu Apartments provides opportunities for a high quality of life in relaxed luxury apartments with breathtaking water views and seamless connectivity to Kite Beach, South Pier, King Park, and South Sheboygan areas. Malibu Apartments is also a pet friendly community for those residents with furry family members.

Malibu Apartments is a nautical looking building fitting the larger community appeal with an interior parking structure that is wrapped with apartments, lobby spaces, and community areas along South 7<sup>th</sup> street and brick veneer around the north and south walls of the structure. The project also includes the potential for waterfront commercial restaurant space at the end of Clara Avenue. A new lake front restaurant with spectacular views would be a new social gathering place for the larger community and serve as an excellent amenity for the residents as well.

Below are unit mix and parking details for Malibu Apartments:

Phase 1

22 Studios

58 One-bedroom units

64 Two-bedroom units

8 Three-bedroom units

152 total units

3,758 sf of Commercial restaurant space

207 parking stalls (135 interior stalls, 72 surface stalls, + street parking)

Phase 2

7 Studios

24 One-bedroom units

23 Two-bedroom units

4 Three-bedroom units

58 total units

75 parking stalls (+street parking)

\*Typically for an urban setting like this with high walkability and located on a bus route, parking ratios tend to be close to 1 stall per unit.

The building areas for Phase 1 are as follows: (to be used for Floor Area Ratio calculations):

Main Level (garage level) = 67,659 sf

Second Floor = 43,383 sf

Third Floor = 42,590 sf

Fourth Floor = 42,590 sf

Fifth Floor = 42,590 sf

Total area = 238,812 sf.

Please see the attached for the location map, site map, site plan, floor plan (phase 1 SIP only), elevations, renderings, landscape plans, and conceptual grading and drainage plans. As we get closer to site plan approval, we will also provide a lumen intensity site plan and make sure to limit any over property line light wash.

Thank you for your consideration of this as the submittal packet for our PUD, GDP, and phase 1 SIP. We appreciate this opportunity and are excited to continue the redevelopment of this brownfield site.

Sincerely,

Jake Buswell  
Partner  
Malibu Apartments, LLC

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. NO USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



# MALIBU APARTMENTS AT KITE BEACH - SHEBOYGAN, WI

## CIVIL CONSTRUCTION PLAN SET

### INDEX OF SHEETS

C001	1	COVER SHEET
C002	2	GENERAL NOTES AND QUANTITIES
C100	3	EXISTING CONDITIONS & DEMOLITION/REMOVAL PLAN
C101	4	EROSION CONTROL PLAN
C200-C201	5-6	SITE PLAN (NORTH AND SOUTH)
C300-C301	7-8	UTILITY PLAN (NORTH AND SOUTH)
C400-C401	9-10	GRADING PLAN (NORTH AND SOUTH)
C500	11	LANDSCAPE PLAN
C600	12	EMERGENCY VEHICLE TURNING PATH
C700	13	CONSTRUCTION DETAILS
C701	14	UTILITY DETAILS

### SITE DATA

**OWNER:** SHEBOYGAN LAKEVIEW PROPERTY, LLC  
C/O JAKE BUSWELL

**SITE ADDRESS:** TBD SOUTH 7TH STREET  
SHEBOYGAN, WI 53081

**PARCEL NUMBER:** 59281318390 + 59281303390  
**PARCEL SIZE:** 3.85 ACRES  
**ZONING:** PLANNED UNIT DEVELOPMENT (PUD) - PENDING APPROVAL

### EXISTING SITE (EXCLUDING ROW\*):

**GREEN SPACE:** 164,913 (98.4%)  
**IMPERVIOUS AREA:** 2,654 SF (1.6%)  
**BUILDINGS:** 00 SF  
**PAVEMENT:** 2,654 SF

### PROPOSED SITE (EXCLUDING ROW\*):

**GREEN SPACE PROVIDED:** 43,345 (25.9%)  
**IMPERVIOUS AREA:** 124,222 SF (74.1%)  
**BUILDING:** 90,930 SF  
**PAVEMENT:** 33,292 SF  
**TOTAL DISTURBED AREA:** 3.85 ACRES

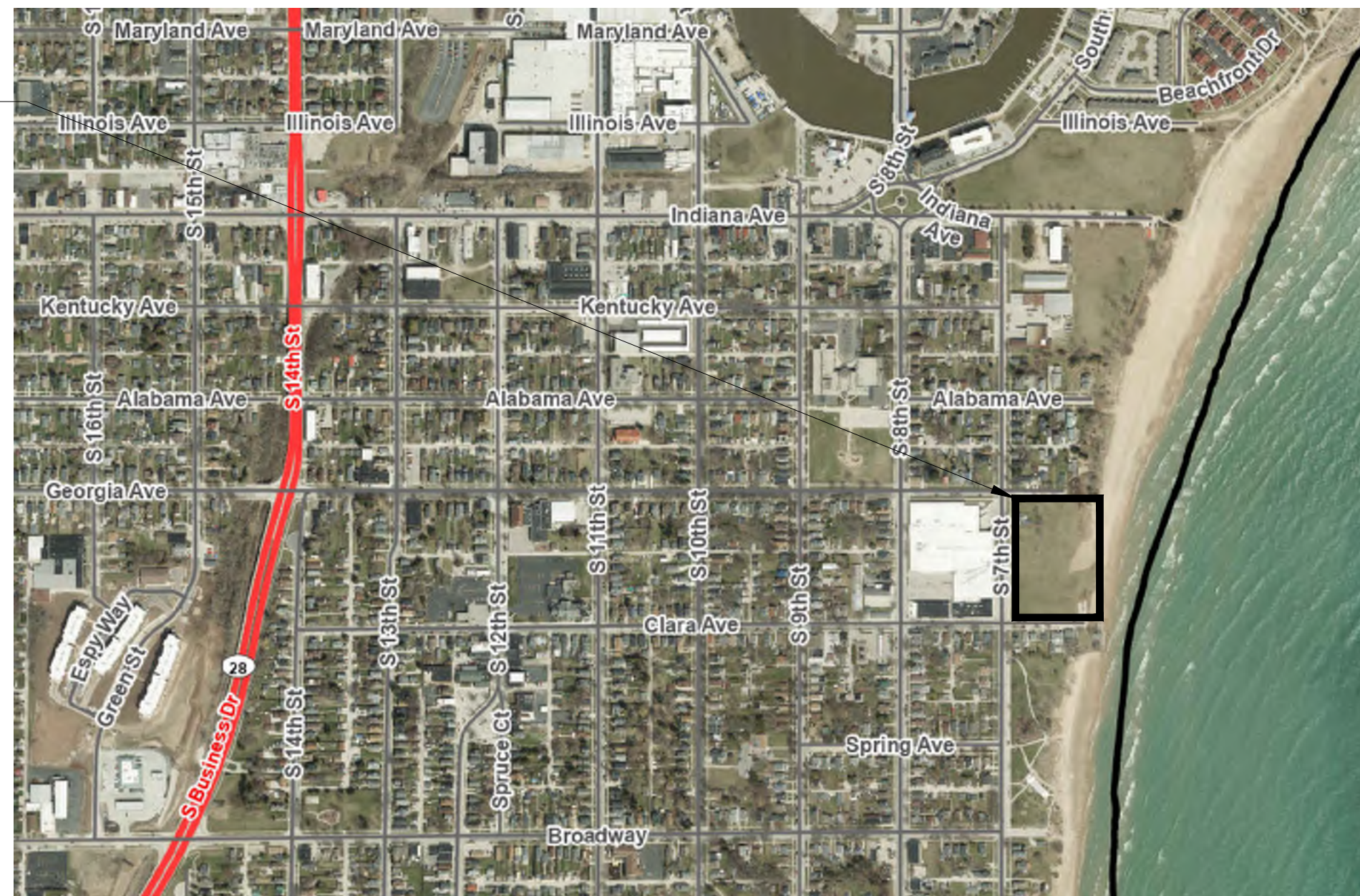
### SETBACKS

**FRONT:** 5' (ACCESSORY)  
**SIDE:** 20' (PRINCIPAL AND ACCESSORY)

### PARKING

**EXISTING:** 0  
**PROVIDED:** 77 EXTERIOR (INCLUDES 4 ADA-COMPLIANT)  
205 INTERIOR

### PROJECT LOCATION



### LOCATION MAP

NO SCALE

### PROJECT TEAM:

**OWNER:**  
SHEBOYGAN LAKEVIEW PROPERTY, LLC

8575 W FOREST HOME AVE STE 160  
GREENFIELD, WI 53228

**JAKE BUSWELL**  
1525 TORREY VIEW DRIVE  
SPARTA, WI 54656  
262-623-8348

[JAKE.BUSWELL@ALLAMERICANDOITCENTER.COM](mailto:JAKE.BUSWELL@ALLAMERICANDOITCENTER.COM)

**CIVIL ENGINEER:**  
STANTEC CONSULTING SERVICES, INC.  
312 N 5TH AVE  
STURGEON BAY, WI 54235

**CONTACT:**  
PETE HURTH, P.E.  
920-298-1759  
[PETER.HURTH@STANTEC.COM](mailto:PETER.HURTH@STANTEC.COM)

SKYLER WITALISON, P.E.  
920-298-1763  
[SKYLER.WITALISON@STANTEC.COM](mailto:SKYLER.WITALISON@STANTEC.COM)

**UTILITY CONTACT INFORMATION**  
MUNICIPAL SERVICES BUILDING  
2026 NEW JERSEY AVENUE  
SHEBOYGAN, WI 53081  
920-459-3440  
M-F 7:30AM-4:00PM

**CITY OF SHEBOYGAN - PUBLIC WORKS**  
KEVIN JUMP, CITY ENGINEER  
2026 NEW JERSEY AVENUE  
SHEBOYGAN, WI 53081  
920-459-3367  
[KEVIN.JUMP@SHEBOYGANWI.GOV](mailto:KEVIN.JUMP@SHEBOYGANWI.GOV)

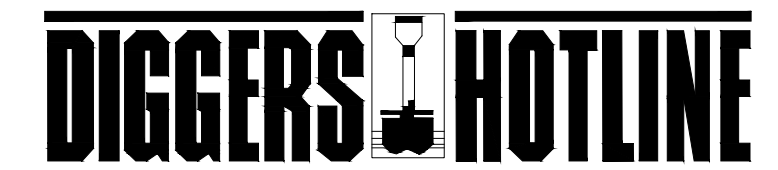
### EMERGENCY NUMBERS

**POLICE/FIRE**  
911

### NON-EMERGENCY NUMBERS

**POLICE DEPARTMENT**  
920-459-3333

**FIRE DEPARTMENT**  
920-459-3327

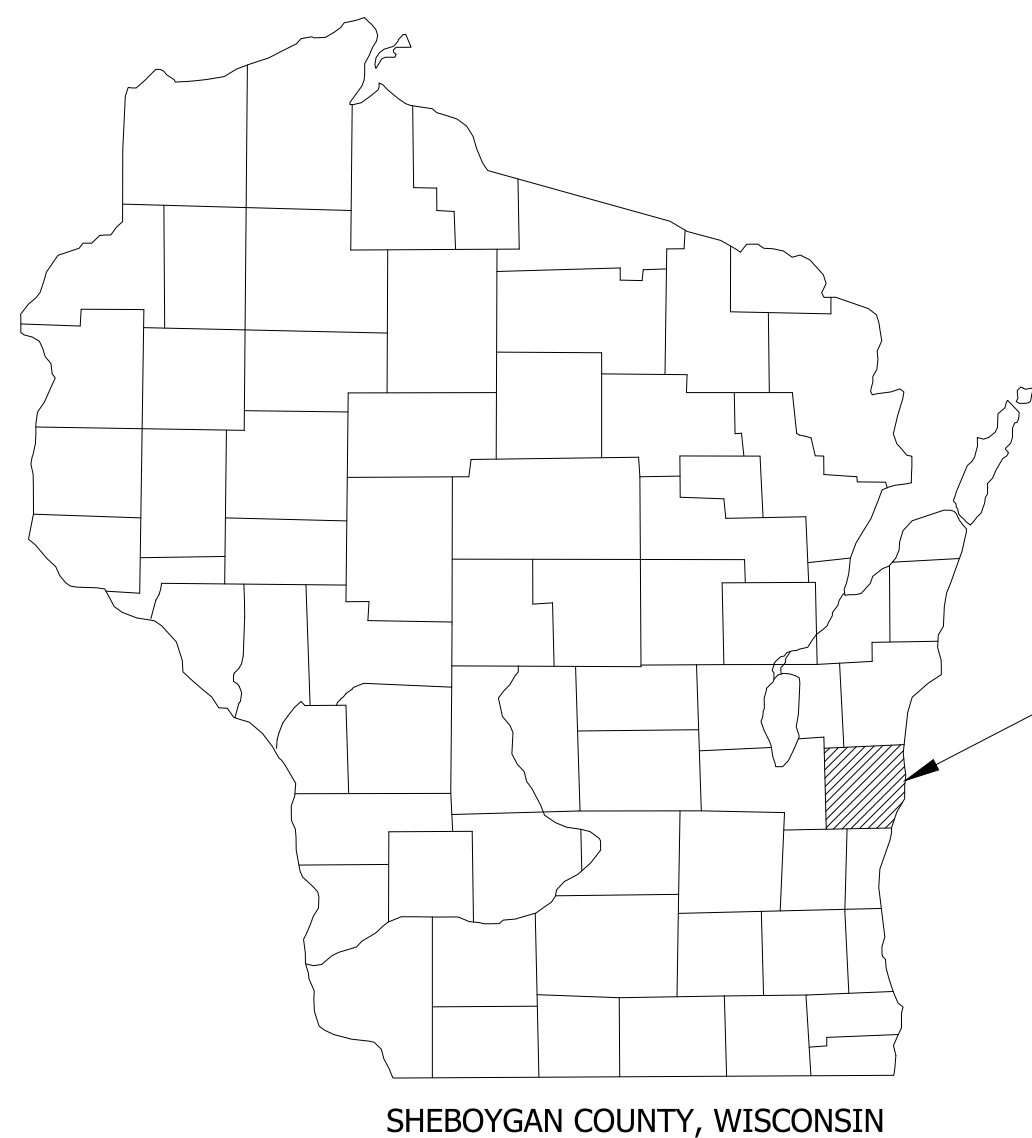


Call 811 3 Work Days Before You Dig  
Or Toll Free (800) 242-8511  
Hearing Impaired TDD (800) 542-2289  
[www.DiggersHotline.com](http://www.DiggersHotline.com)

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

STANTEC ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF STANTEC.

THESE DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. STANTEC HAS NOT VERIFIED THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.



### CITY OF SHEBOYGAN

SHEBOYGAN COUNTY, WISCONSIN





THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

Plot Date: 06/17/2024 - 3:57pm  
 Drawing name: C:\Users\jswilson\appdata\local\temp\AcPlotJob\_1483A\19380785\_MALIBU APTS\_ENG\_DIES.dwg  
 User: jswilson  
 xref: SHEET BORDER\_22624.dwg, 19380785V100\_ENG\_UPDATE.dwg, 19380785\_MALIBU APTS\_SHEET BORDER\_22624.dwg, ACAD\_2378 C1\_Site\_20240603\_SHEET BORDER\_22624



**SHEET KEY NOTES**

\*SEE EROSION CONTROL NOTES SHEET C002\*

1. STONE TRACKING PAD; SEE WDNR STANDARD 1057 "TRACKOUT CONTROL PRACTICES"
2. SILT FENCE; SEE WDNR STANDARD 1056 "SILT FENCE"



**EROSION CONTROL PLAN**  
 SHEBOYGAN KITE BEACH  
 MALIBU APARTMENTS, LLC  
 SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE  
 06.17.2024 DRAFT

NO	REVISION	DATE

SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	19380785

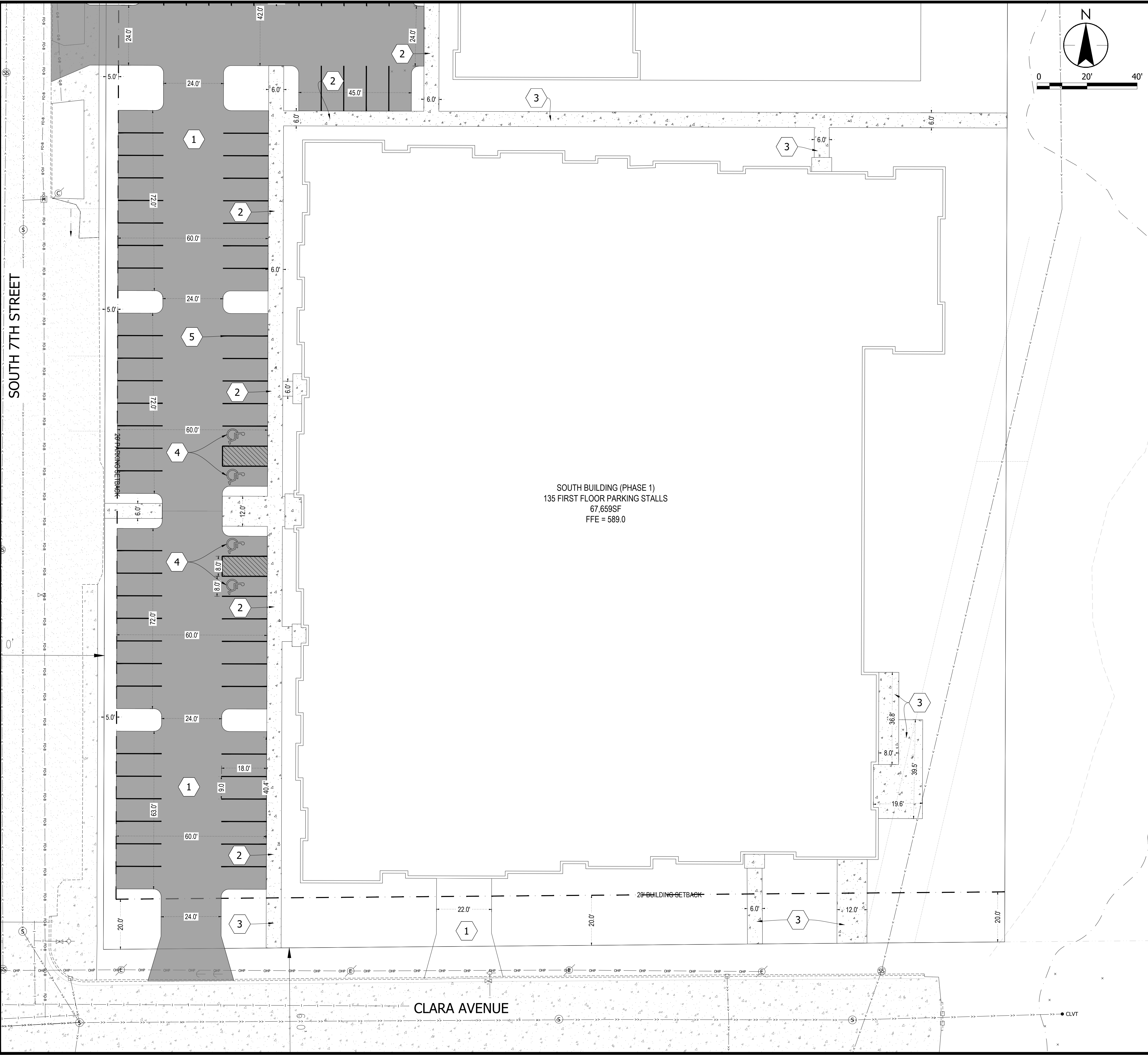
SHEET NUMBER  
**C101**





THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

Plot Date: 06/17/2024 - 3:57pm  
 Drawing name: C:\Users\jswilson\appdata\local\temp\AcPlotJob\1483A\19380785\_MALIBU APTS.ENG\_DIES.dwg  
 Xref: SHEET BORDER 220x34.dwg, 19380785\_V1.00.ENG\_UPDATE.dwg, 19380785\_MALIBU APTS. SHEET BORDER 220x34.dwg, ACAD-2378 C1 Site 20240603\_SHEET BORDER 220x34.dwg



SOUTH BUILDING (PHASE 1)  
 135 FIRST FLOOR PARKING STALLS  
 67,659SF  
 FFE = 589.0

**SHEET KEY NOTES**

1. ASPHALT PAVEMENT - 4" SECTION; SEE DETAIL A SHEET C700
2. CONCRETE SIDEWALK; 4" THICKNESS WITH THICKENED EDGE AT INTERFACE WITH ASPHALT AREAS; SEE DETAIL B SHEET C700
3. CONCRETE SIDEWALK; 4" THICKNESS; SEE DETAIL C SHEET 700
4. ADA-COMPLIANT PARKING STALL WITH SIGN, LOADING AREA, AND PAVEMENT SYMBOL
5. PAINT STRIPE; 4" WIDTH; COLOR BY OWNER PREFERENCE

**SITE CONSTRUCTION NOTES**

- 

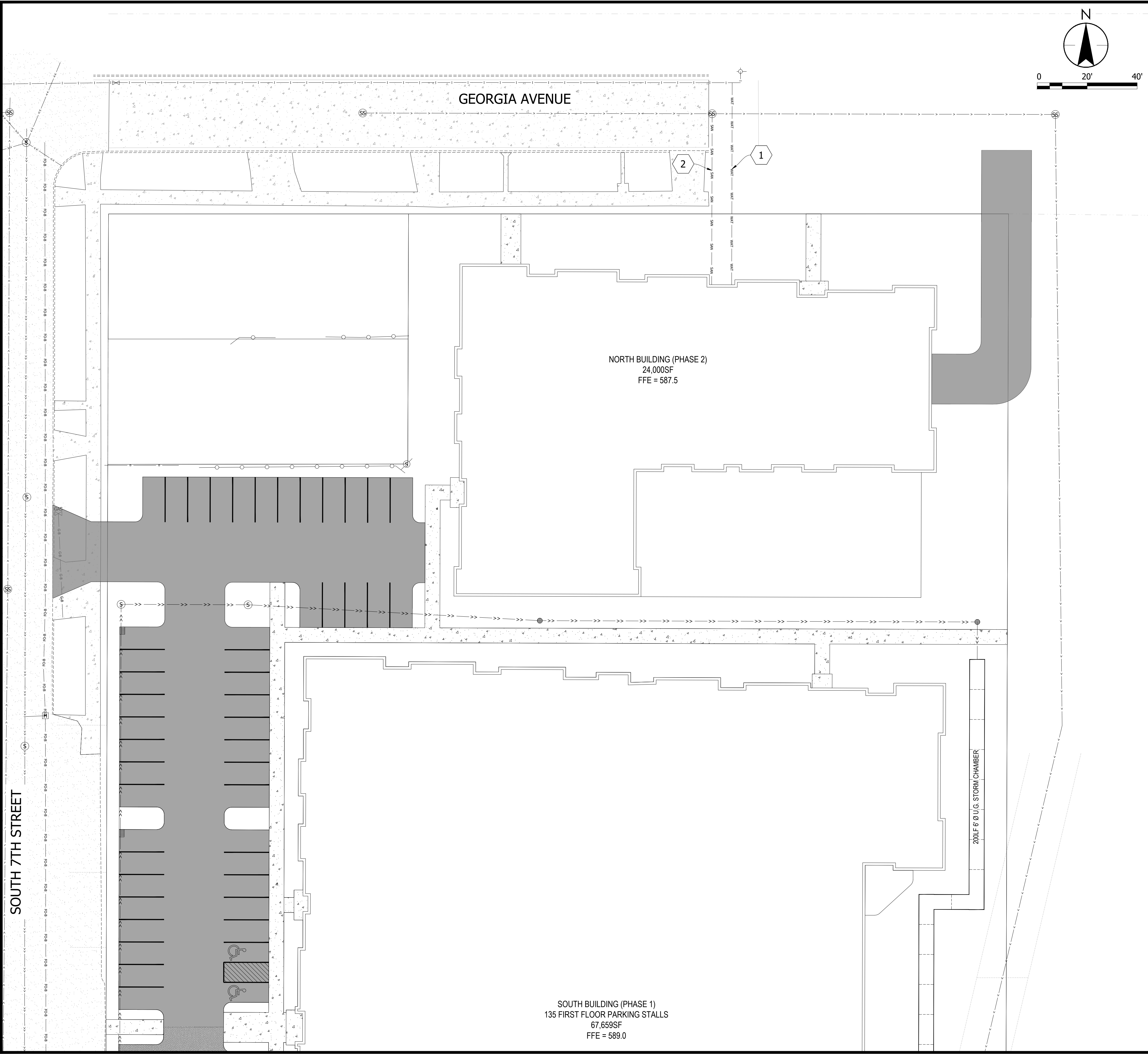
DATE OF ISSUANCE  
 06.17.2024 DRAFT

NO. REVISION DATE

SURVEY STANTEC  
 DRAWN MTA  
 DESIGNED PJH  
 CHECKED SRW  
 APPROVED PJH  
 PROJ. NO. 19380785

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

Plot Date: 06/17/2024 - 3:57pm  
 Drawing Name: C:\Users\jswifolson\appdata\local\temp\AcP\jshih\_1483\193806785\_MALIBU APTS. ENG. DES.dwg  
 Xref: SHEET BORDER 2204.dwg, 193806785V100.ENG. UPDATE.dwg, 193806785\_MALIBU APTS. SHEET BORDER 2204, ACAD:2378 C1\_Sht\_20240603\_SHEET BORDER 2204



**SHEET KEY NOTES**

1. WATER CONNECT
2. SEWER CONNECT

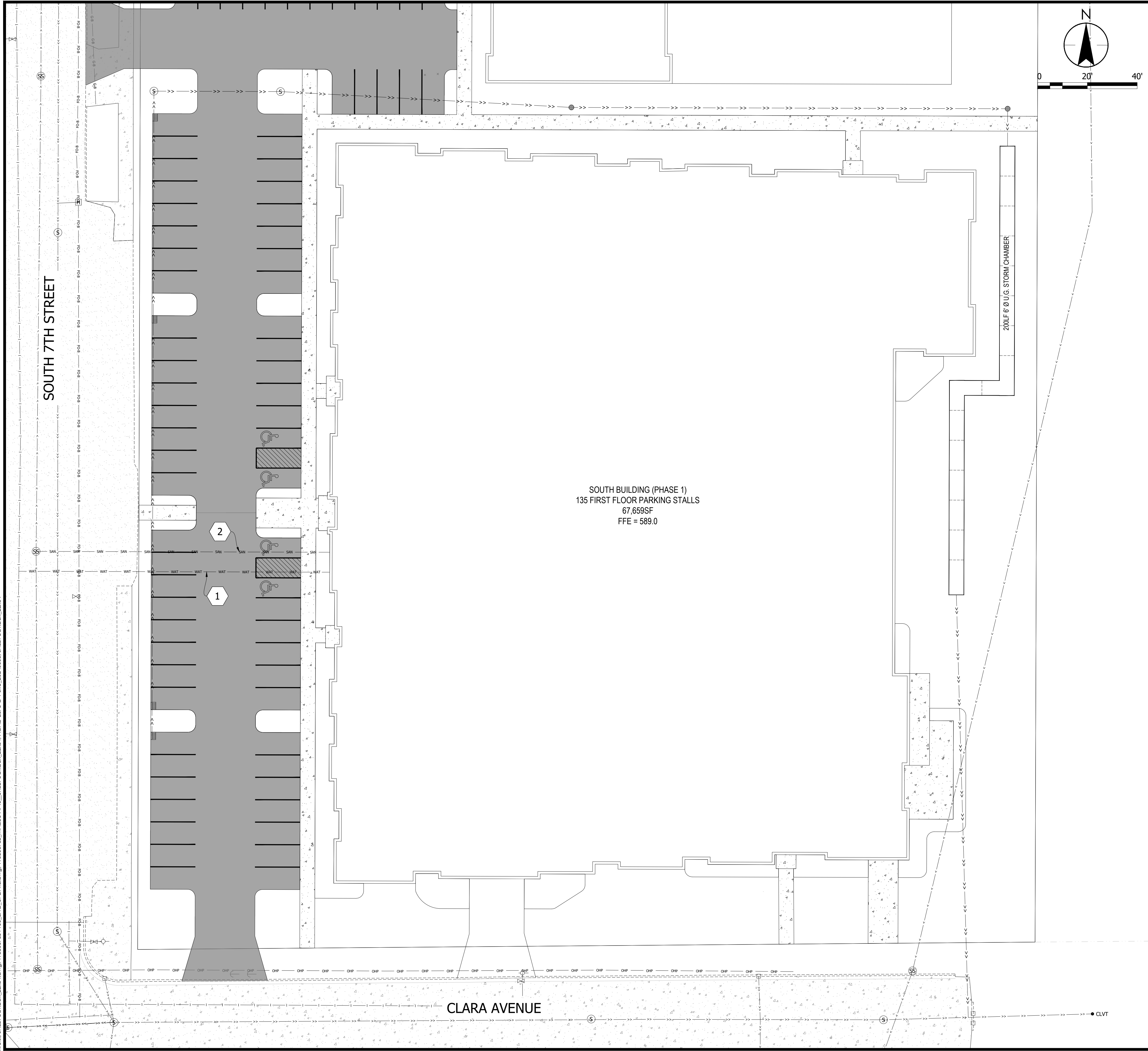
DATE OF ISSUANCE	06.17.2024 DRAFT
------------------	------------------

NO	REVISION	DATE

SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	193806785

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

Plot Date: 06/17/2024 - 3:57pm  
 Drawing Name: C:\Users\jswilson\appdata\local\temp\AcP\jshh\_1483a\19380785\_MALIBU APTS\_ENG\_DIES.dwg  
 Xref: SHEET BORDER 2204.dwg, 19380785V100\_ENG\_UPDATE.dwg, 19380785\_MALIBU APTS\_SHEET BORDER 2204.dwg, ACAD-2378 C1\_Sht\_20240603\_SHEET BORDER 2204.dwg

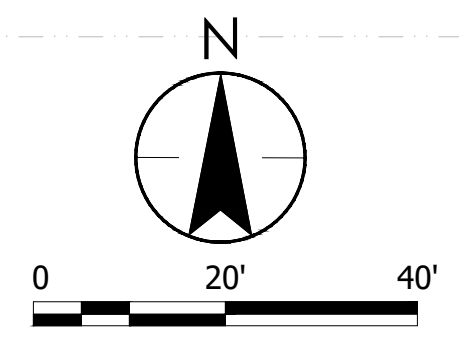
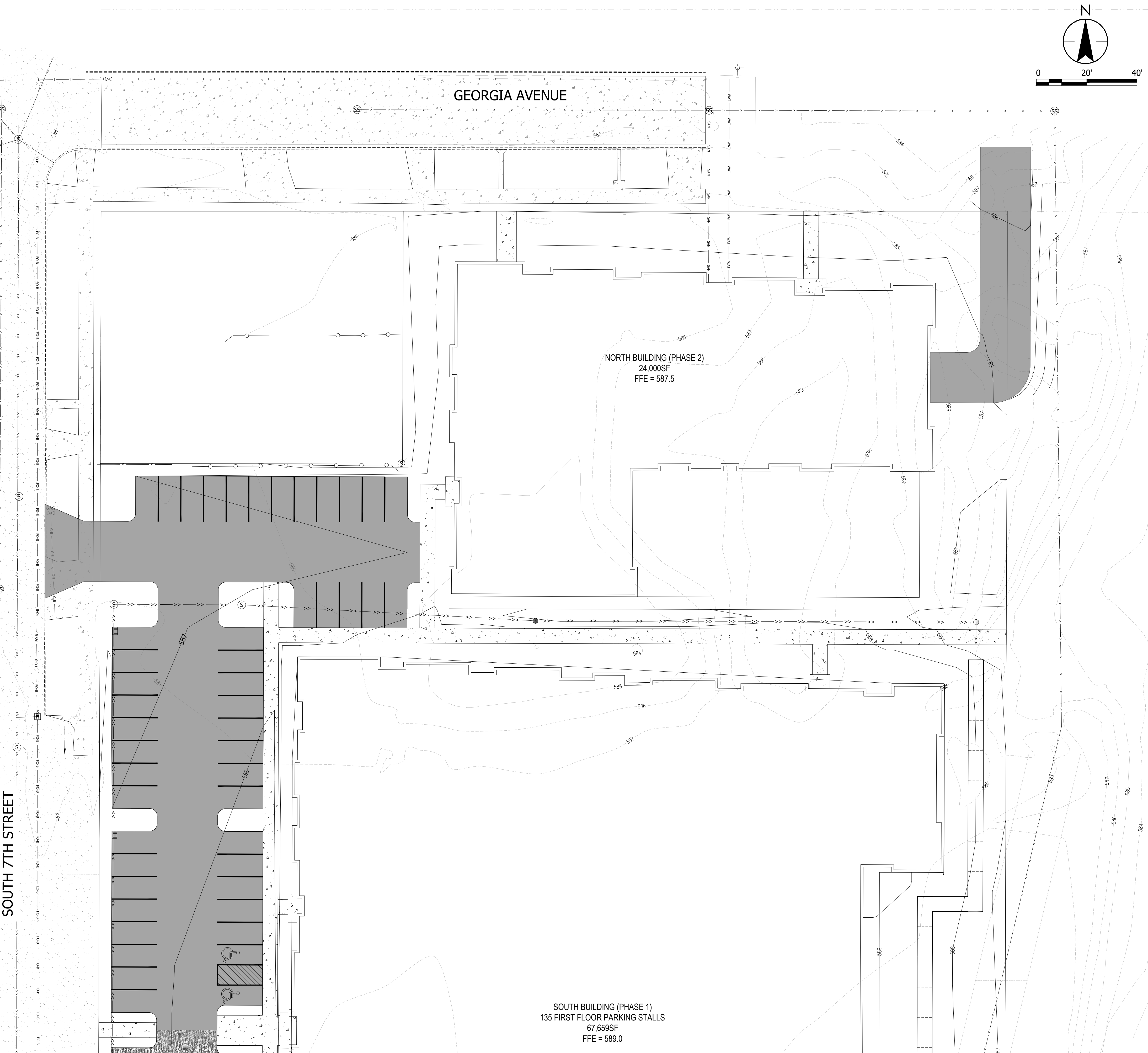


**SHEET KEY NOTES**

1. WATER CONNECT
2. SEWER CONNECT

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

Plot Date: 06/17/2024 - 3:57pm  
Drawing Name: C:\Users\jswilson\appdata\local\temp\AcPlot\1463A193806785\_MALIBU APTS\_ENG\_DIES.dwg  
Xref: SHEET BORDER\_2204.dwg, 193806785\_00\_ENG\_UPDATE.dwg, 193806785\_MALIBU APTS\_SHEET\_BORDER\_2204.dwg, 193806785\_MALIBU APTS\_SHEET\_BORDER\_2204.dwg, ACAD-2218 C-1\_Site\_20240603\_SHEET\_BORDER\_2204.dwg

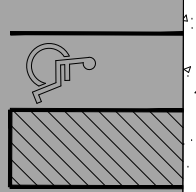


GEORGIA AVENUE

SOUTH 7TH STREET

NORTH BUILDING (PHASE 2)  
24,000SF  
FFE = 587.5

SOUTH BUILDING (PHASE 1)  
135 FIRST FLOOR PARKING STALLS  
67,659SF  
FFE = 589.0



NO.	REVISION	DATE

DATE OF ISSUANCE	06.17.2024 DRAFT
SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	193806785
SHEET NUMBER	C400

GRADING PLAN - SOUTH

SHEBOYGAN KITE BEACH  
MALIBU APARTMENTS, LLC  
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE  
06.17.2024 DRAFT

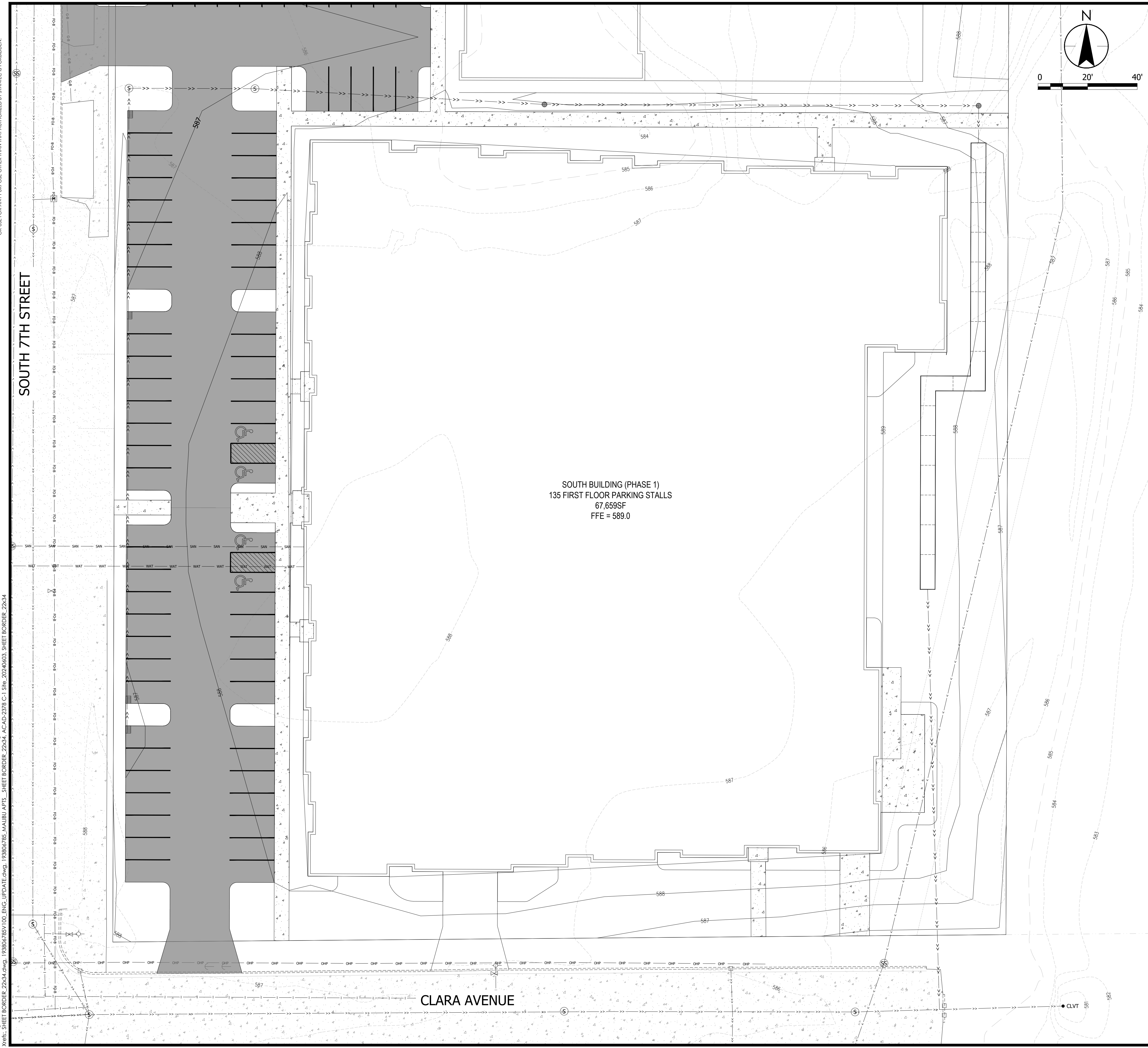
NO REVISION DATE

SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	193804785

SHEET NUMBER  
**C401**

Plot Date: 06/17/2024 - 3:57pm  
Drawing name: C:\Users\jswifison\appdata\local\temp\AcP\jshh\_1463A\193804785\_MALIBU APTS\_ENG\_DES.dwg  
Xref: SHEET BORDER 22034.dwg, 193804785V100\_ENG\_UPDATE.dwg, 193804785\_MALIBU APTS\_SHEET BORDER 22034.dwg, ACAD:2378 C-1\_Sht\_20240603\_SHEET BORDER 22034

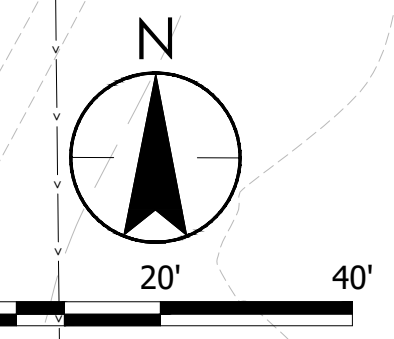
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. NO USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



SOUTH BUILDING (PHASE 1)  
135 FIRST FLOOR PARKING STALLS  
67,659SF  
FFE = 589.0

SOUTH 7TH STREET

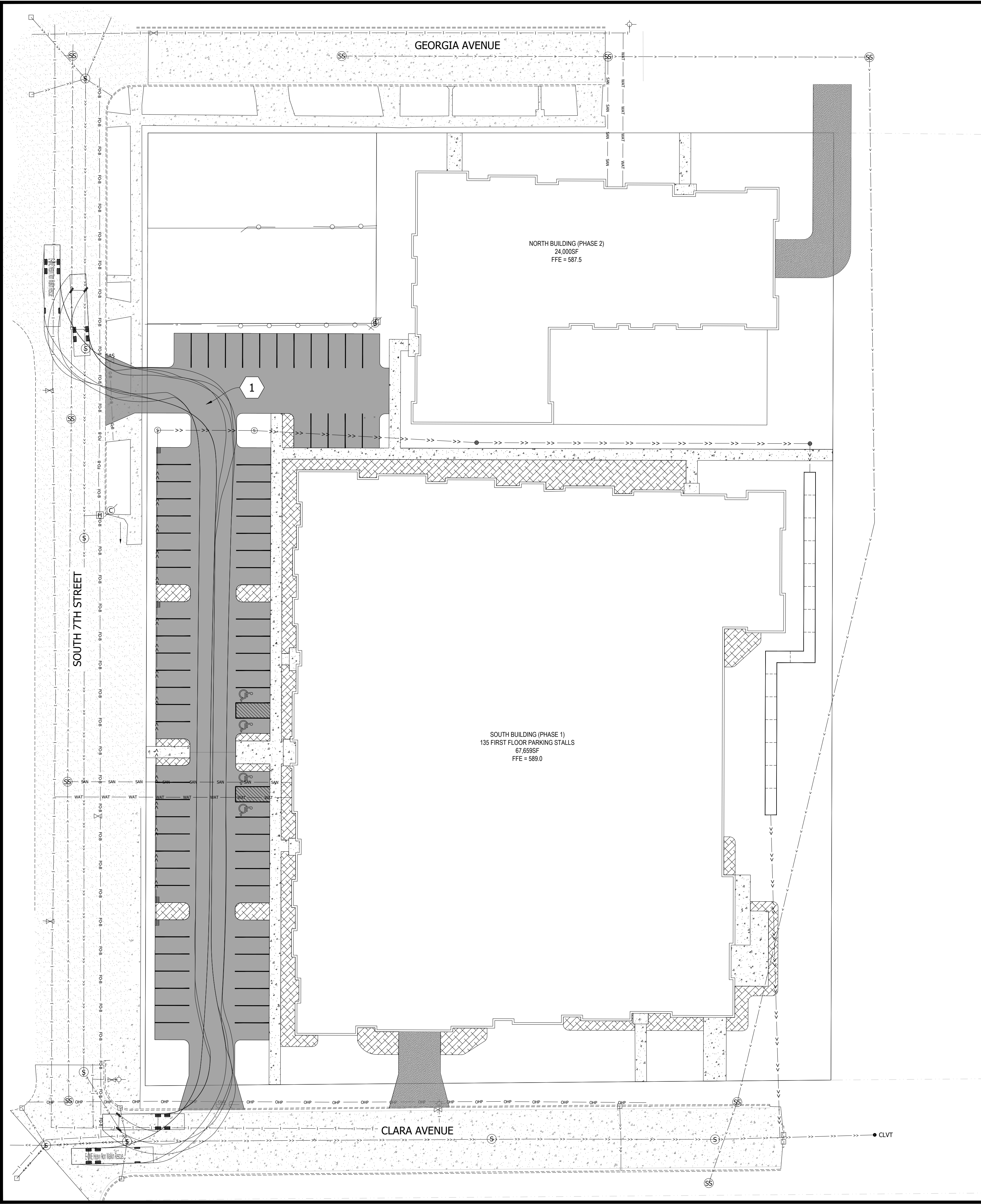
CLARA AVENUE



CLVT 181

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. NO USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

Plot Date: 06/17/2024 - 3:57pm  
 Drawing name: C:\Users\jswifson\appdata\local\temp\AcPlotJob\_1483A\19380785\_MALIBU APTS\_ENG\_DIES.dwg  
 Xref: SHEET BORDER 22624.dwg, 19380785V100\_ENG\_UPDATE.dwg, 19380785\_MALIBU APTS\_SHEET BORDER 22624.dwg, ACAD-2378 C-1\_Site\_20240603\_SHEET BORDER 22624.dwg



**SHEET KEY NOTES**

1. VEHICLE TURNING RADIUS - 43' FIRE ENGINE

**EMERGENCY VEHICLE TURNING PATH**

SHEBOYGAN KITE BEACH  
 MALIBU APARTMENTS, LLC  
 SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

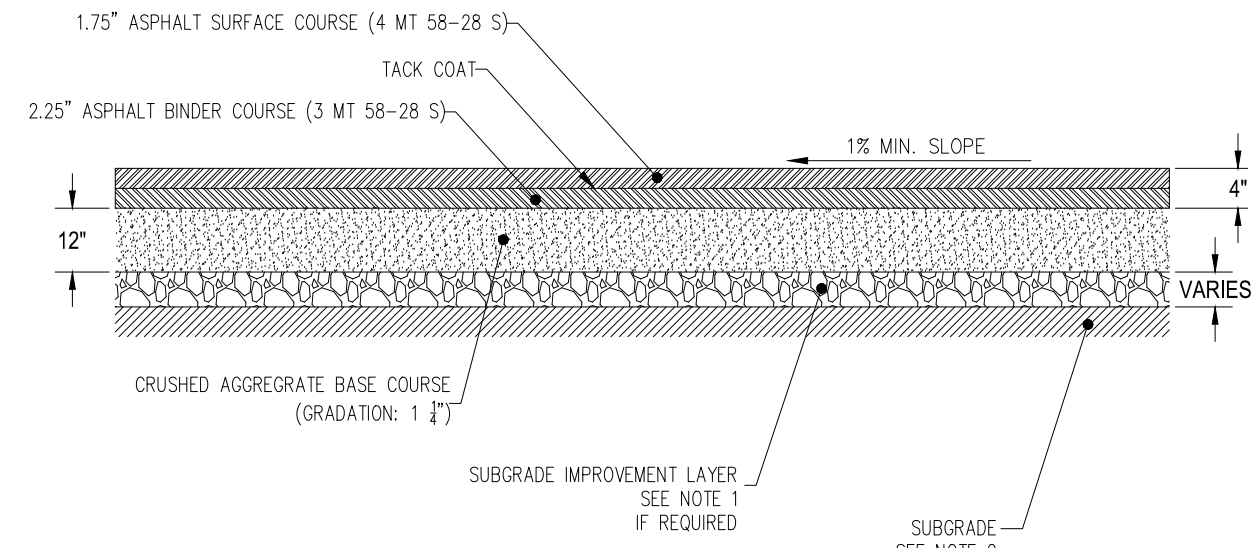
DATE OF ISSUANCE  
 06.17.2024 DRAFT

NO	REVISION	DATE

SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	19380785

SHEET NUMBER  
**C600**

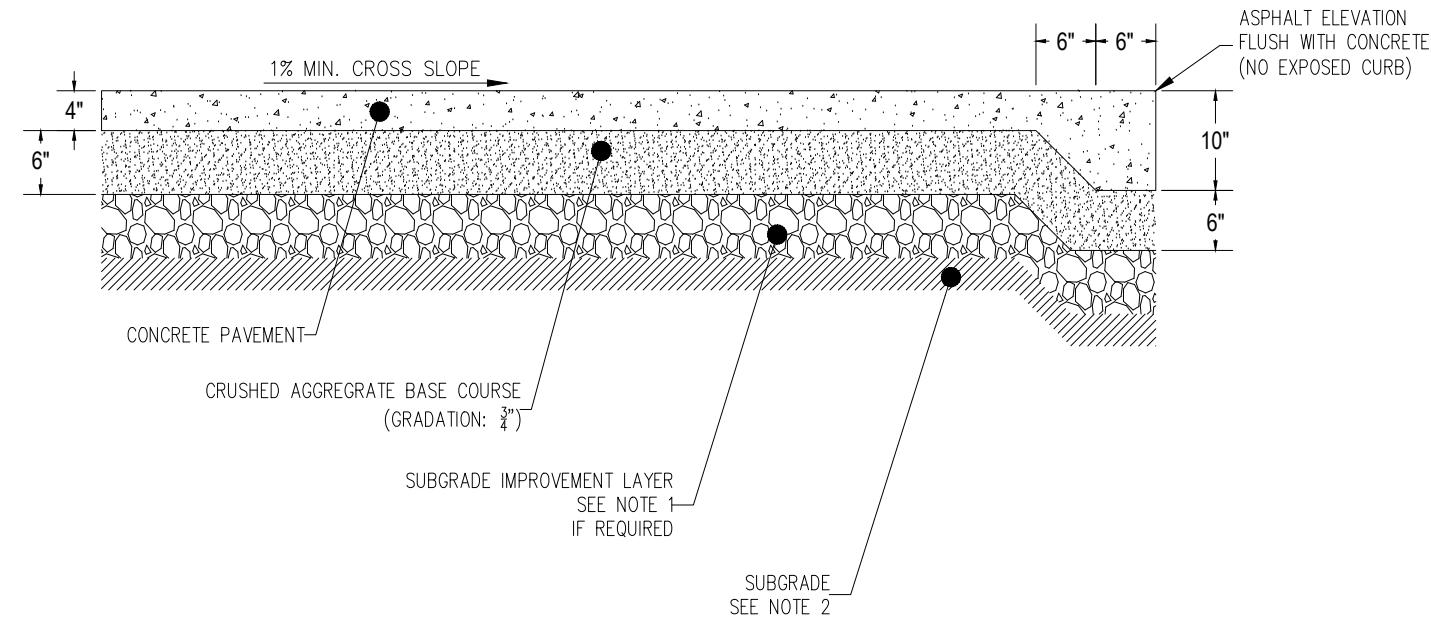
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



**NOTES**  
 1. UNSTABLE AREAS SHALL BE UNDERCUT TO SUCH DEPTHS DETERMINED NECESSARY IN THE FIELD TO REACH STABLE MATERIALS AND THE AREA BACKFILLED WITH CRUSHED STONE (GRADATION 1 1/2") OR FREE DRAINING GRANULAR FILL.  
 2. COMPACT SUBGRADE TO 95% STANDARD PROCTOR. SUBGRADE TO BE INSPECTED BY PROJECT FOREMAN PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE.

**SPECIFICATIONS**  
 • THE ASPHALTIC BASE AND SURFACE COURSE SHOULD BE PLACED AND PROVIDED IN ACCORDANCE WITH SECTION 455/460 OF THE STATE OF WISCONSIN STANDARD SPECIFICATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION.  
 • THE CRUSHED AGGREGATE BASE COURSE SHOULD BE PROVIDED AND PLACED IN ACCORDANCE WITH SECTION 301/305 OF THE STANDARD SPECIFICATION.  
 • ASPHALT PAVING CONTRACTOR TO SAW CUT EXISTING ASPHALT EDGE PRIOR TO JOINING NEW PAVEMENT.

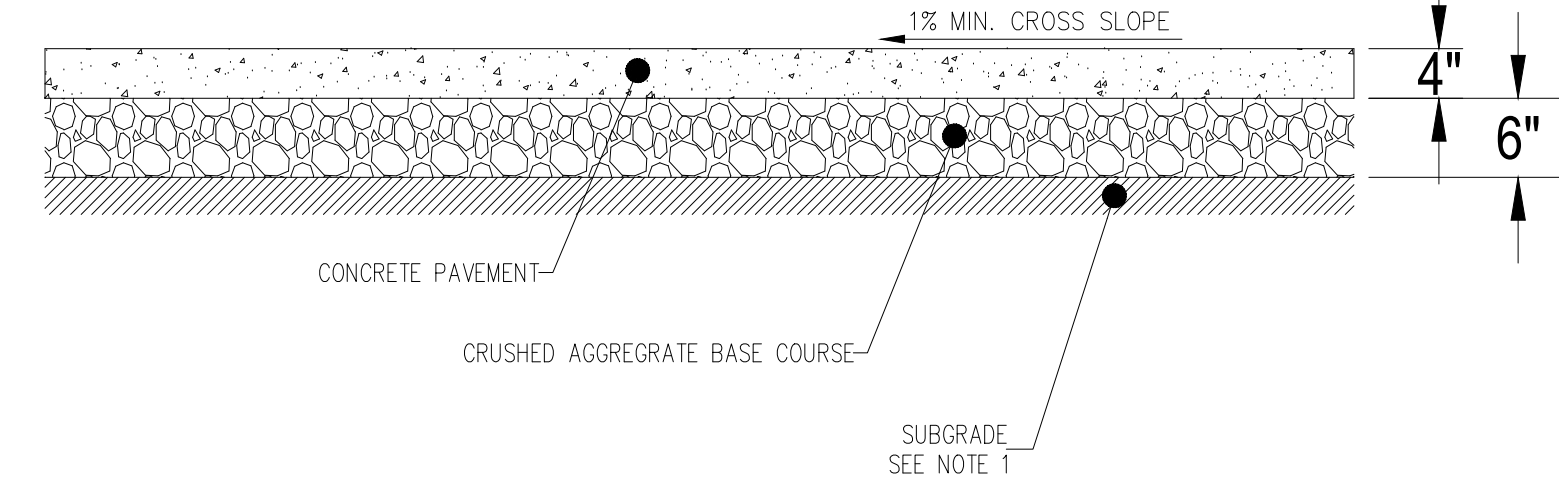
**A** N.T.S. ASPHALT PAVEMENT - 4" SECTION



**NOTES**  
 1. UNSTABLE AREAS SHALL BE UNDERCUT TO SUCH DEPTHS DETERMINED NECESSARY IN THE FIELD TO REACH STABLE MATERIALS AND THE AREA BACKFILLED WITH CRUSHED STONE (GRADATION 1 1/2") OR FREE DRAINING GRANULAR FILL.  
 2. COMPACT SUBGRADE TO 95% STANDARD PROCTOR. SUBGRADE TO BE INSPECTED BY PROJECT FOREMAN PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE.

**SPECIFICATIONS**  
 • CONCRETE PAVEMENT CONSTRUCTION SHALL BE PLACED AND PROVIDED IN ACCORDANCE WITH SECTION 501 OF THE STATE OF WISCONSIN STANDARD SPECIFICATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION.  
 • CONCRETE SHALL BE 4,000 PSI MINIMUM.  
 • CONCRETE SHALL RECEIVE A BROOMED FINISH.

**B** N.T.S. CONCRETE SIDEWALK WITH THICKENED EDGE - 4" THICKNESS



**NOTES**  
 1. COMPACT SUBGRADE TO 95% STANDARD PROCTOR. SUBGRADE TO BE INSPECTED BY PROJECT FOREMAN PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE.

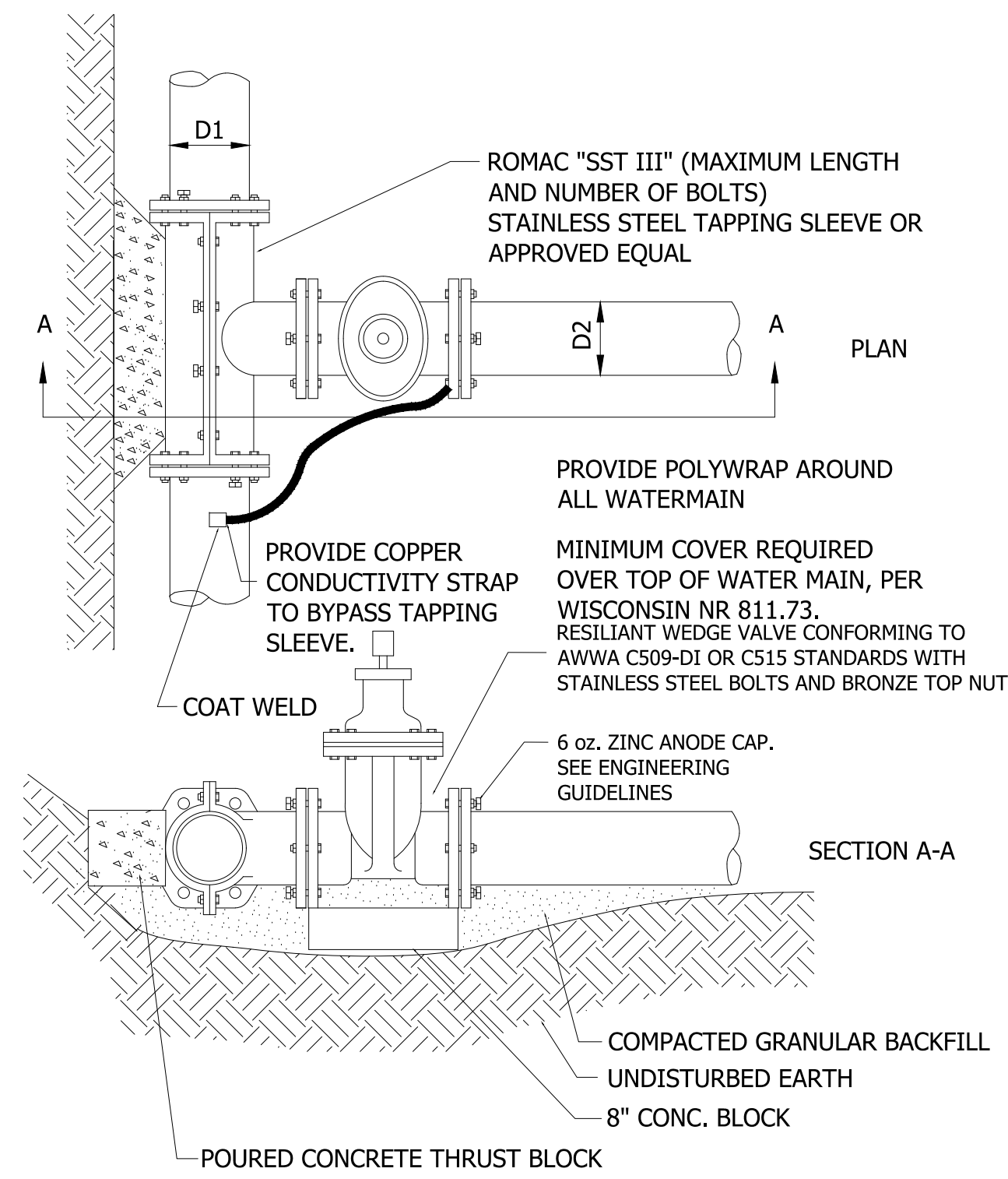
**SPECIFICATIONS**  
 • CONCRETE PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT FDM.  
 • CONCRETE SHALL BE 4,000 PSI MINIMUM.  
 • CONCRETE SHALL RECEIVE A BROOMED FINISH.

**C** N.T.S. CONCRETE SIDEWALK/PAVEMENT/SLAB - 4" THICKNESS

Plot Date: 06/17/2024 - 3:58pm  
 Drawing name: C:\Users\jswifalson\appdata\local\temp\AcPj\jshl\_1483A\193806785\_MALIBU APTS\_ENG\_DIES.dwg  
 xref: SHEET BORDER 2204.dwg, 193806785V100\_ENG\_UPDATE.dwg, 193806785\_MALIBU APTS\_SHEET BORDER 2204.dwg, ACAD-2378 C-1\_Sht\_20240605\_SHEET BORDER 2204.dwg

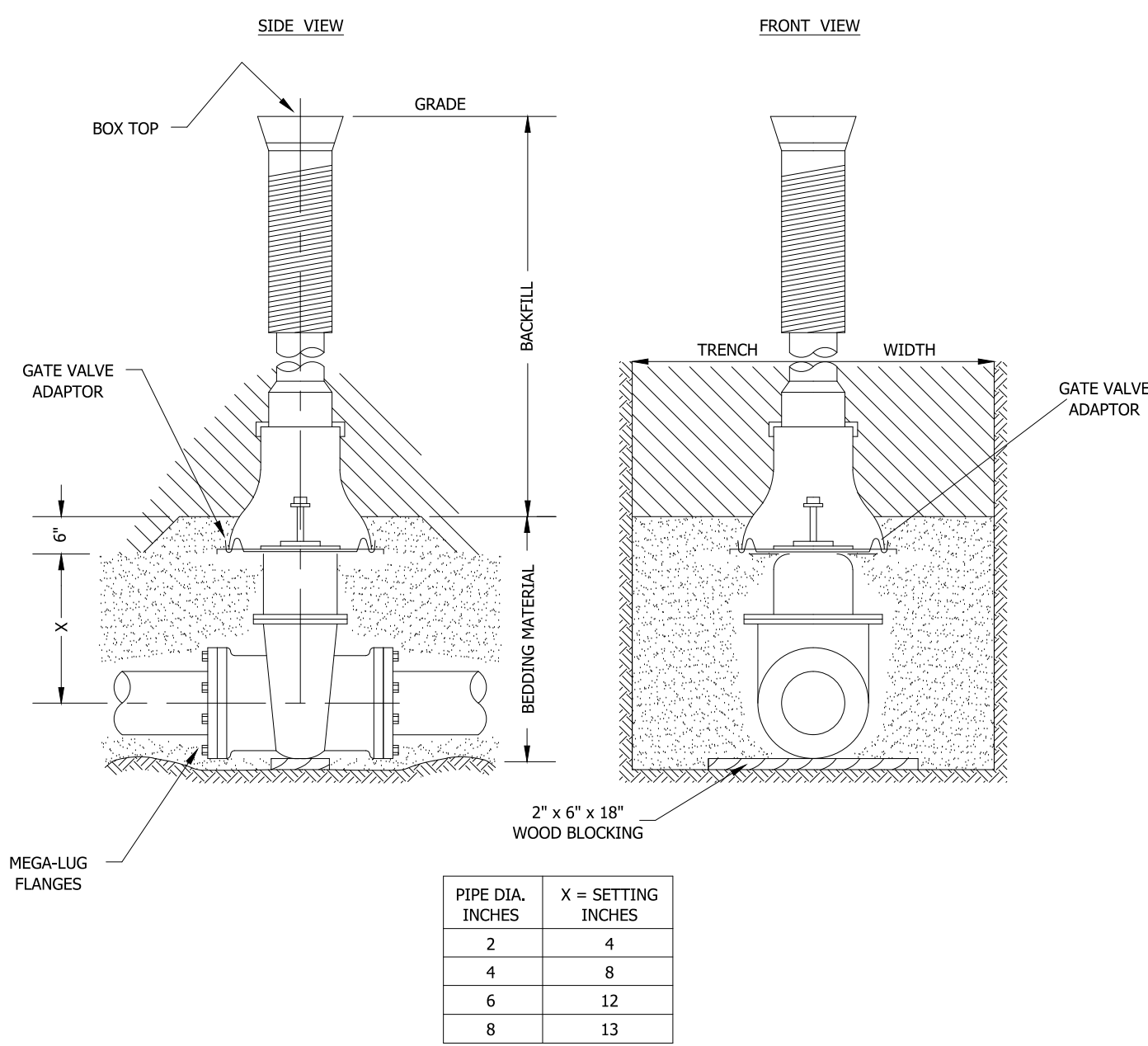
DATE OF ISSUANCE	
06.17.2024 DRAFT	
NO.	REVISION DATE
SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	193806785
SHEET NUMBER	
<b>C700</b>	

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

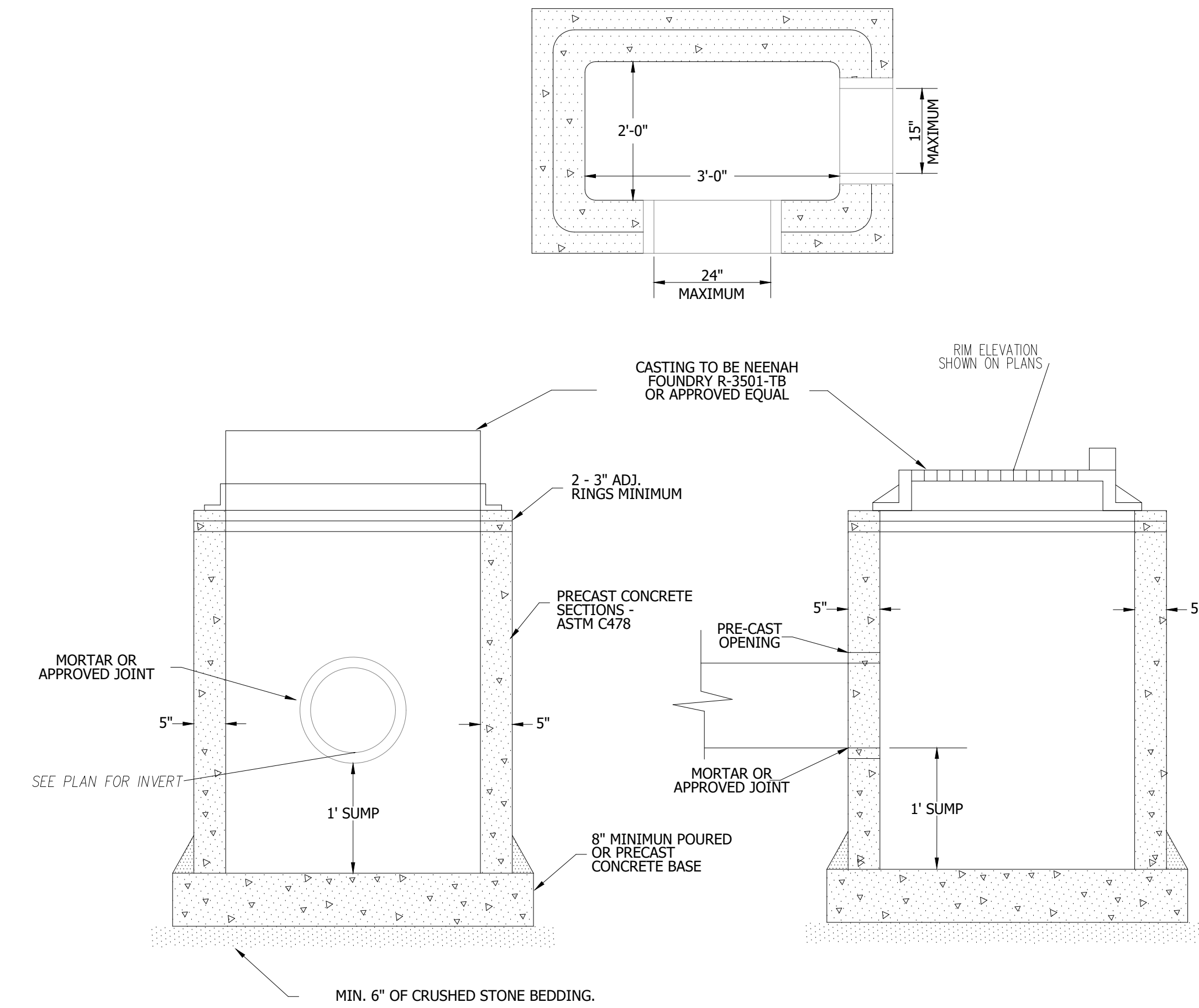


NOTES: STAINLESS OR CORE BLUE BOLTS REQUIRED FOR ALL MECHANICAL FITTINGS. ANTI-CORROSIVE COATING REQUIRED ON ALL BOLTS AND TIE ROD ASSEMBLIES.

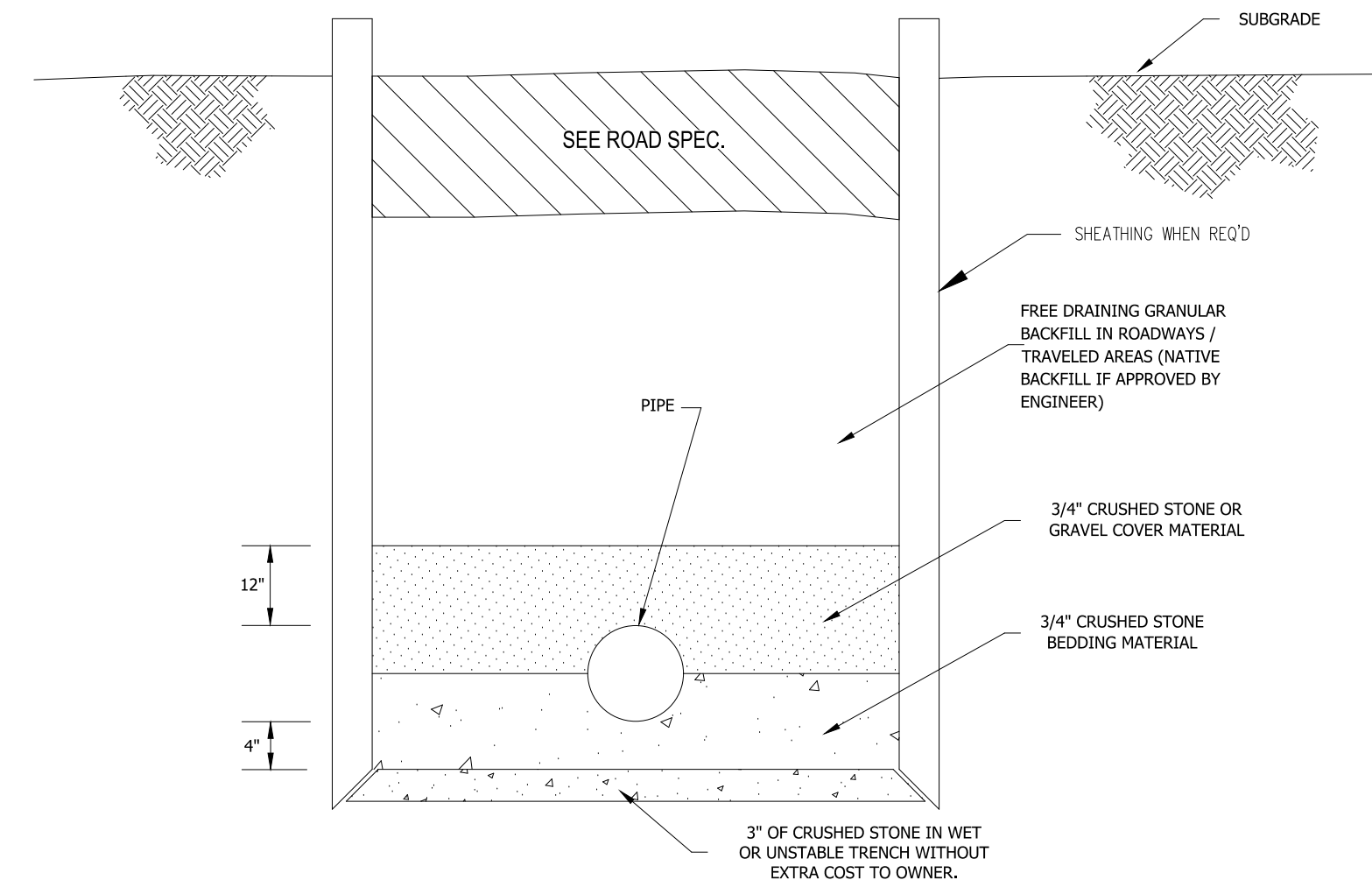
**A** N.T.S. WATER MAIN WET TAP



**B** N.T.S. GATE VALVE FOR WATER SERVICE



**C** N.T.S. STORM CATCH BASIN - 2'x3'



ROAD BACKFILL IN EXISTING OR PROPOSED ROADS SHALL BE COMPACTED TO 95% STANDARD PROCTOR.

BEDDING MATERIAL SHALL BE CRUSHED STONE CHIPS MEETING THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE SIZES	PERCENTAGE PASSING BY WEIGHT
1-INCH	100
3/4 INCH	90-100
3/8 INCH	20-55
No. 4	0-10
No. 8	0-5

COVER MATERIAL SHALL CONSIST OF CRUSHED BANK-RUN GRAVEL. THIS MATERIAL SHALL SUBSTANTIALLY CONFORM TO THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE SIZES	PERCENTAGE PASSING BY WEIGHT
1-INCH	100
3/4 INCH	85-100
3/8 INCH	50-80
No. 4	35-65
No. 40	15-30
No. 200	5-15

NOTE:  
 • BURIED DEPTHS VARY, SEE UTILITY PLAN FOR SEWER AND WATER DEPTHS.  
 • TRACER WIRE SHALL BE INSTALLED FOR ALL NON-METALLIC SEWER AND WATER PIPING PER SPS 382.30 REQUIREMENTS.

GRANULAR MATERIAL SHALL CONSIST OF UNIFORM GRADED DURABLE PARTICLES. SUFFICIENT FINE MATERIAL SHALL BE PRESENT TO FILL ALL THE VOIDS OF THE COURSE MATERIAL. SOME FINE CLAY OR LOAM PARTICLES ARE DESIRABLE, BUT THEY SHALL NOT BE PRESENT IN THE FORM OF LUMPS. GRANULAR BACK FILL SHALL CONFORM TO THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE SIZES	PERCENTAGE PASSING BY WEIGHT
2-INCH	95-100
No. 4	65-60
Finer than No. 200	35-65

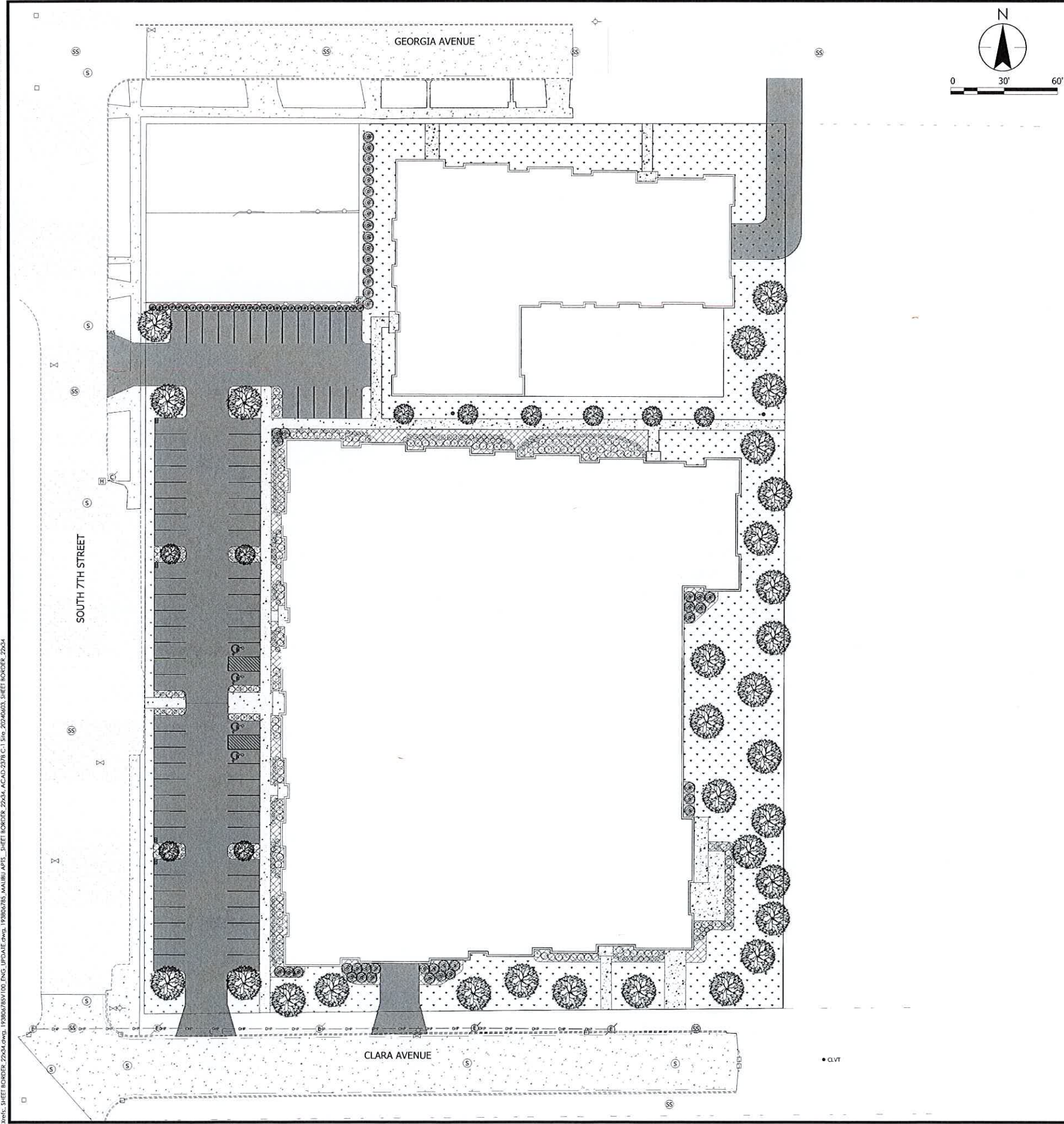
**D** N.T.S. PIPE BURIAL BACKFILL SPECIFICATIONS

Plot Date: 06/17/2024 - 3:58pm  
 Drawing name: C:\Users\jwifolson\appdata\localtemp\Ac\jwifolsh\_1483A\19380785\_MALIBU APPTS.ENG\_DIES.dwg  
 User: jwifolson  
 Title: 20240603\_SHEET BORDER\_Z264  
 Sheet: SHEET BORDER\_Z264



THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY THE DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

Plot Date: 06/24/2024 - 3:26pm  
 Drawing name: U:\19380785\_C\DESIGN\1\_CADD\DWG\19380785\_MALIBU\_APTS\_ENC\_DES.dwg  
 User: J. BURTON  
 Project: 19380785\_MALIBU\_APTS\_ENC\_DES.dwg  
 Sheet: 74  
 Project: 19380785\_MALIBU\_APTS\_ENC\_DES.dwg  
 Sheet: 74  
 Project: 19380785\_MALIBU\_APTS\_ENC\_DES.dwg  
 Sheet: 74



**LANDSCAPE REQUIREMENTS for PHASE 1**  
 ZONING: UR:12

**BUILD FOUNDATION**  
 50 Landscaping Points per 100ft Building Foundation  
 Foundation Length 1,219 LF  
 Required Landscaping Points ~~6095~~ **610 pts**

**DEVELOPED LOTS**  
 20 Landscaping Points per 1,000 SQ FT of Gross Floor Area  
 Gross Floor Area 238,812 SQ FT  
 Required Landscaping Points ~~4777~~ **4777 pts**

**STREET FRONTAGES**  
 50 Landscaping Points per 100ft Street Frontage  
 North Property Line 240 LF  
 South Property Line 360 LF  
 West ~~500~~ Property Line 400 LF  
 Required Landscaping Points 500 PTS

**PAVED AREAS**  
 100 Landscaping Points per 10,000 SQ FT of Paved Area or 20 Parking Stalls  
 Parking Stalls 77  
 Pavement Area 33,292 SQ FT  
 Required Landscaping Points ~~400~~ **385 pts**

**TOTAL PHASE 1 REQUIRED LANDSCAPING PTS = ~~4330~~ 6272 pts**

TYPE	QUANTITY	SPECIES - COMMON NAME	SPECIES - LATIN NAME	POINT VALUE	TOTAL
CLIMAX TREE (2" CALIPER IN MULCH CIRCLE)	30	WHITE OAK	Quercus alba	75	2250
TALL DECIDUOUS TREE (1 1/2" CALIPER IN MULCH CIRCLE)	10	SUGAR CONE MAPLE	Acer saccharum	<del>75</del> <b>75</b>	<del>750</del> <b>750</b>
TALL EVERGREEN TREE (5' TALL IN MULCH CIRCLE)	45	EASTERN WHITE PINE	Pinus strobus	40	1800
MEDIUM EVERGREEN TREE (4' TALL IN MULCH CIRCLE)	31	AMERICAN ARBORVITAE	Thuja occidentalis	20	620
MEDIUM EVERGREEN SHRUB (18" TALL/WIDE)	56	PYRAMIDAL ARBORVITAE	Thuja occidentalis	5	280
LOW EVERGREEN SHRUB (12" TALL/WIDE)	70	WISCONSIN JUNIPER	Juniper horizontalis	3	210
TALL DECIDUOUS SHRUB (36" TALL)	88 ?	NANNYBERRY	Viburnum cassinoides	5	440
MEDIUM DECIDUOUS SHRUB (24" TALL)	150 ?	AMERICAN HAZELNUT	Corylus americana	3	450
MULCH BED	0			0	0
TURF SOO	0			0	0
<b>TOTAL</b>					<b>6350</b>

Approved with noted corrections and attached conditions.  
 Janet M. Quellan  
 7.5.2024

ISSUED  
Issued for Review - November 21, 2023

PROJECT TITLE  
**Buswell Sheboygan  
Development**

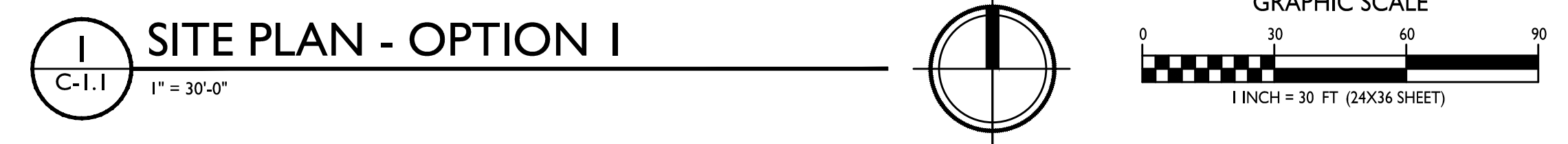
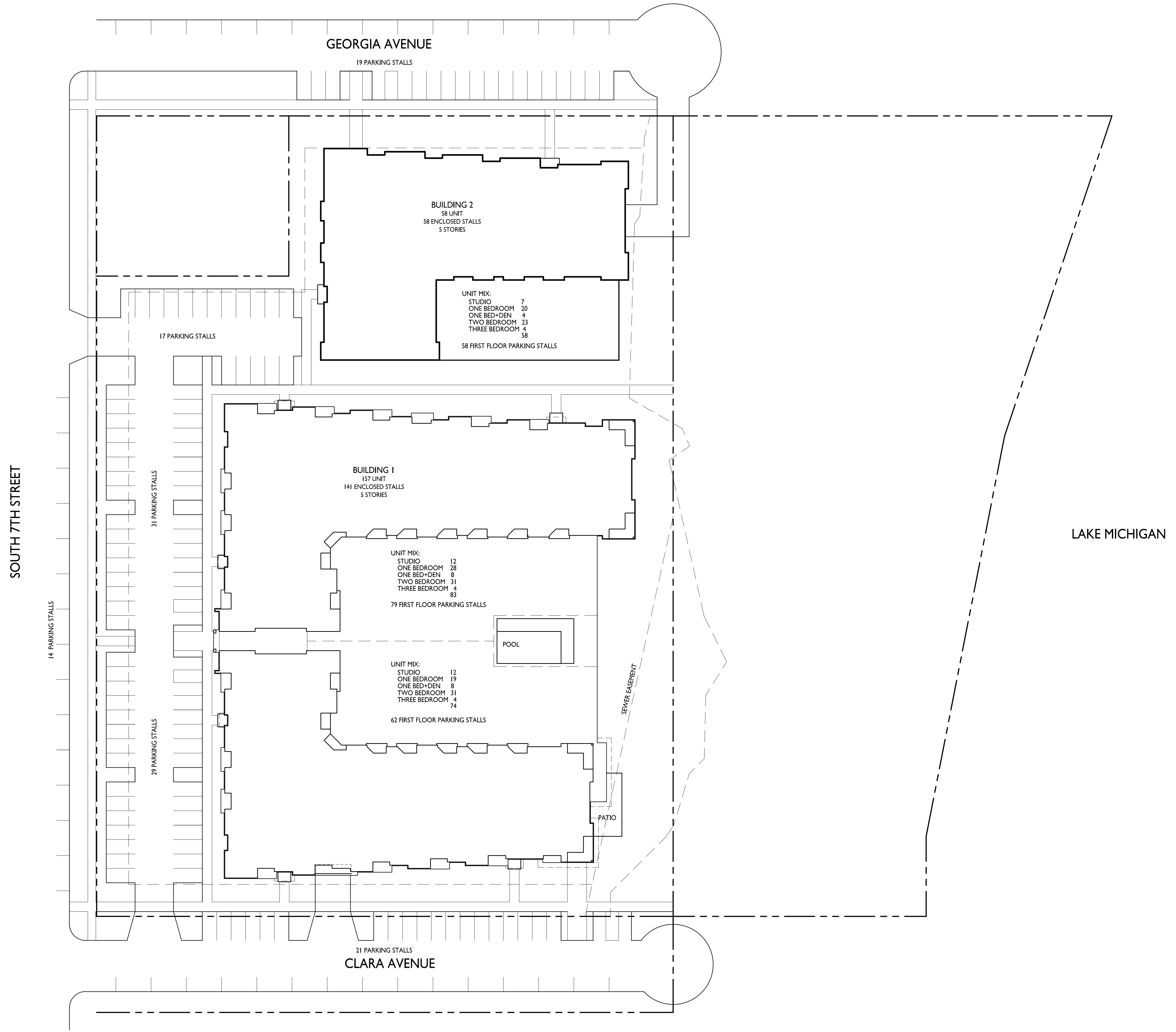
1403-1435 S 7th Street  
Sheboygan, Wisconsin  
SHEET TITLE  
**Site Plan**

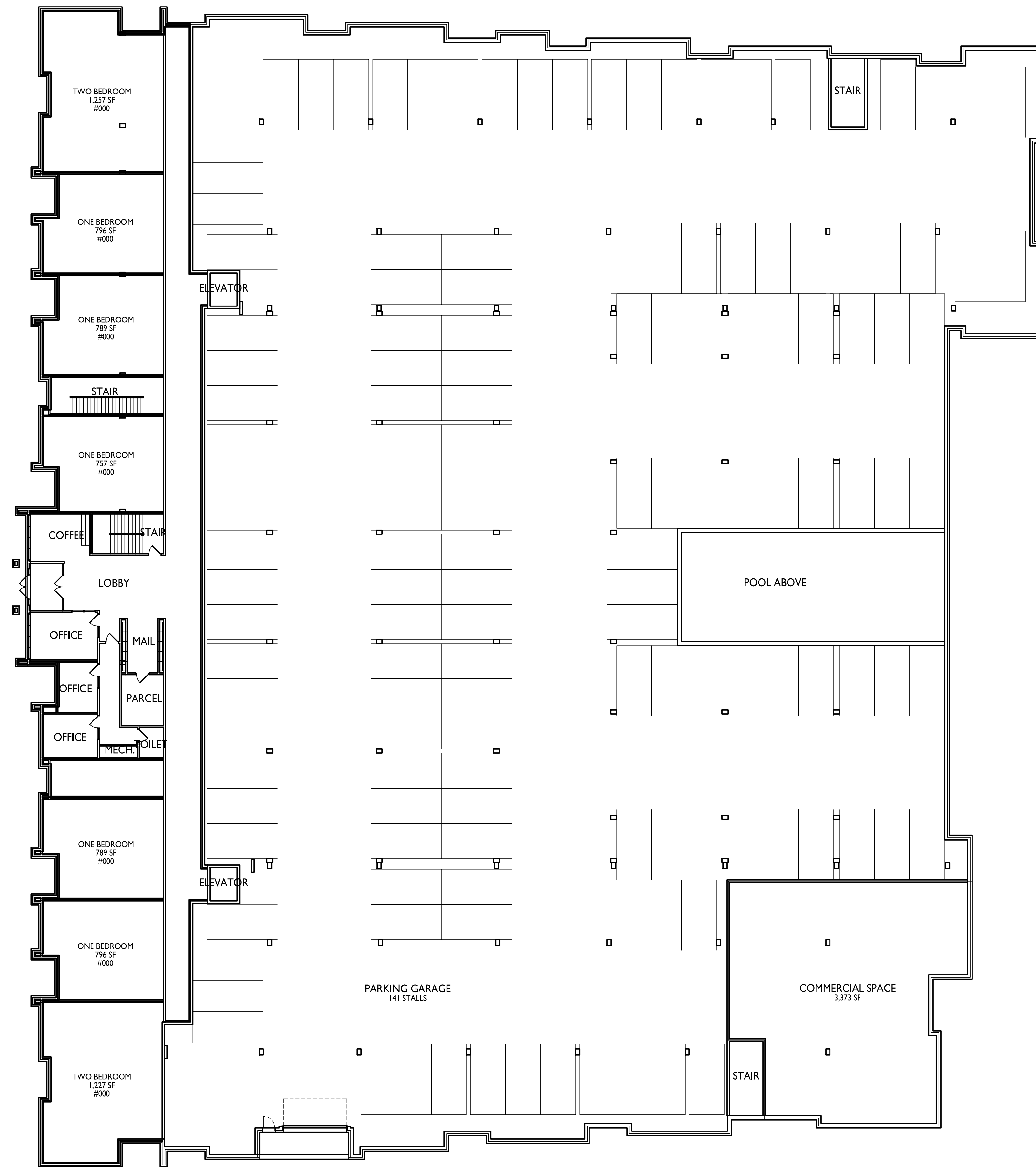
SHEET NUMBER

**C-1.1**

PROJECT NO. **2378**

© Knothe & Bruce Architects, LLC 75





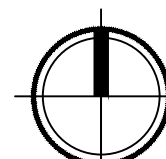
ISSUED  
Issued for GDP-SIP Approval - June 18, 2024

PROJECT TITLE  
**Buswell Sheboygan  
Development**

1403-1435 S 7th Street  
Sheboygan, Wisconsin  
SHEET TITLE  
**First Floor Plan**

SHEET NUMBER

**1**  
FIRST FLOOR PLAN  
A-1.1 1/16" = 1'-0"



**A-1.1**

PROJECT NO. **2378**  
© Knothe & Bruce Architects, LLC 76



knothe • bruce  
ARCHITECTS

Phone: 8401 Greenway Blvd., Suite 900  
608.836.3690 Middleton, WI 53562

ISSUED  
Issued for GDP-SIP Approval - June 18, 2024

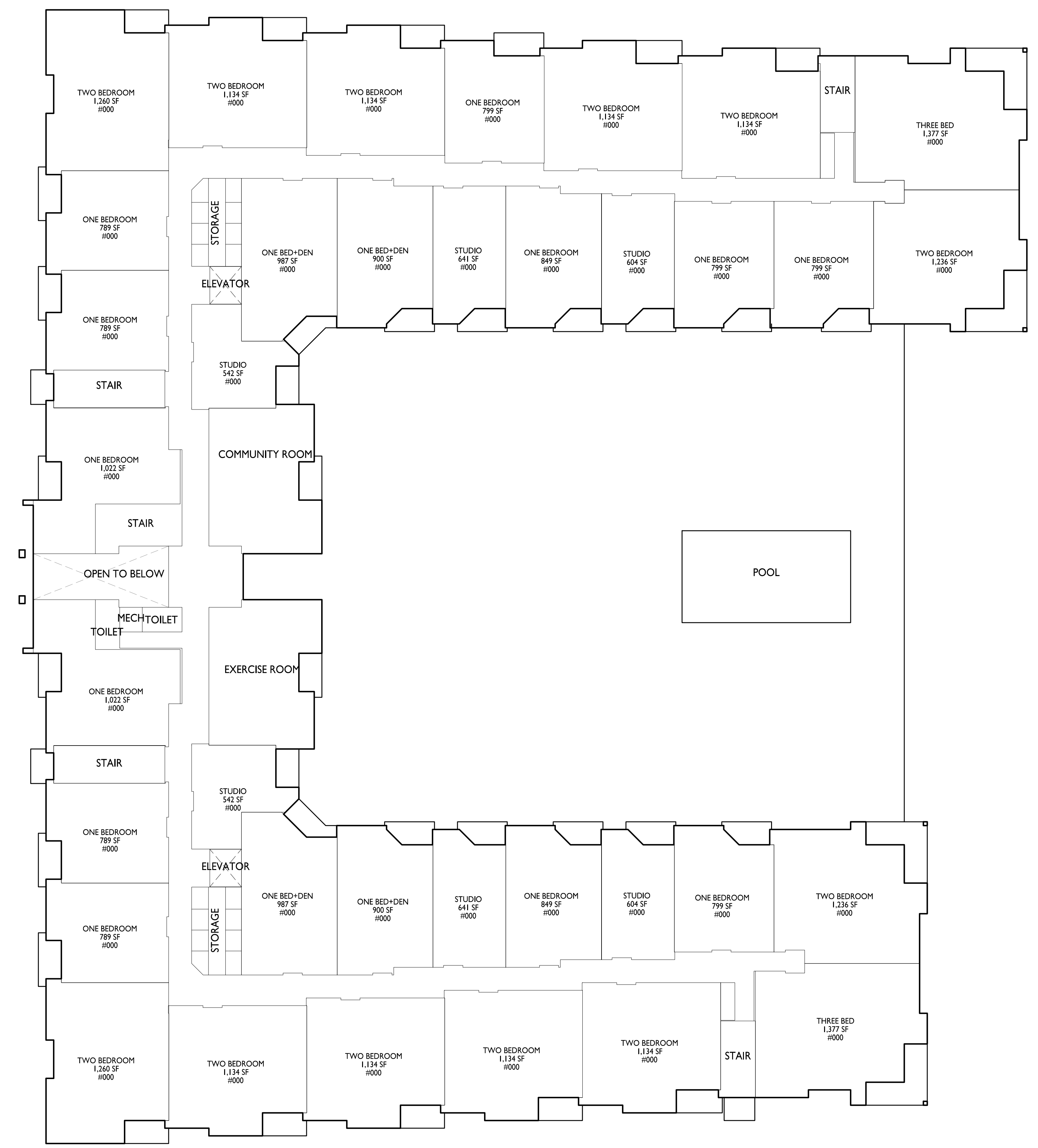
PROJECT TITLE  
Buswell Sheboygan  
Development

1403-1435 S 7th Street  
Sheboygan, Wisconsin  
SHEET TITLE  
Second Floor Plan

SHEET NUMBER

A-1.2

PROJECT NO. 2378  
© Knothe & Bruce Architects, LLC 77



1 SECOND FLOOR PLAN  
A-1.2 1/16" = 1'-0"



knothe • bruce  
ARCHITECTS

Phone: 8401 Greenway Blvd., Suite 900  
608.836.3690 Middleton, WI 53562

ISSUED  
Issued for GDP-SIP Approval - June 18, 2024

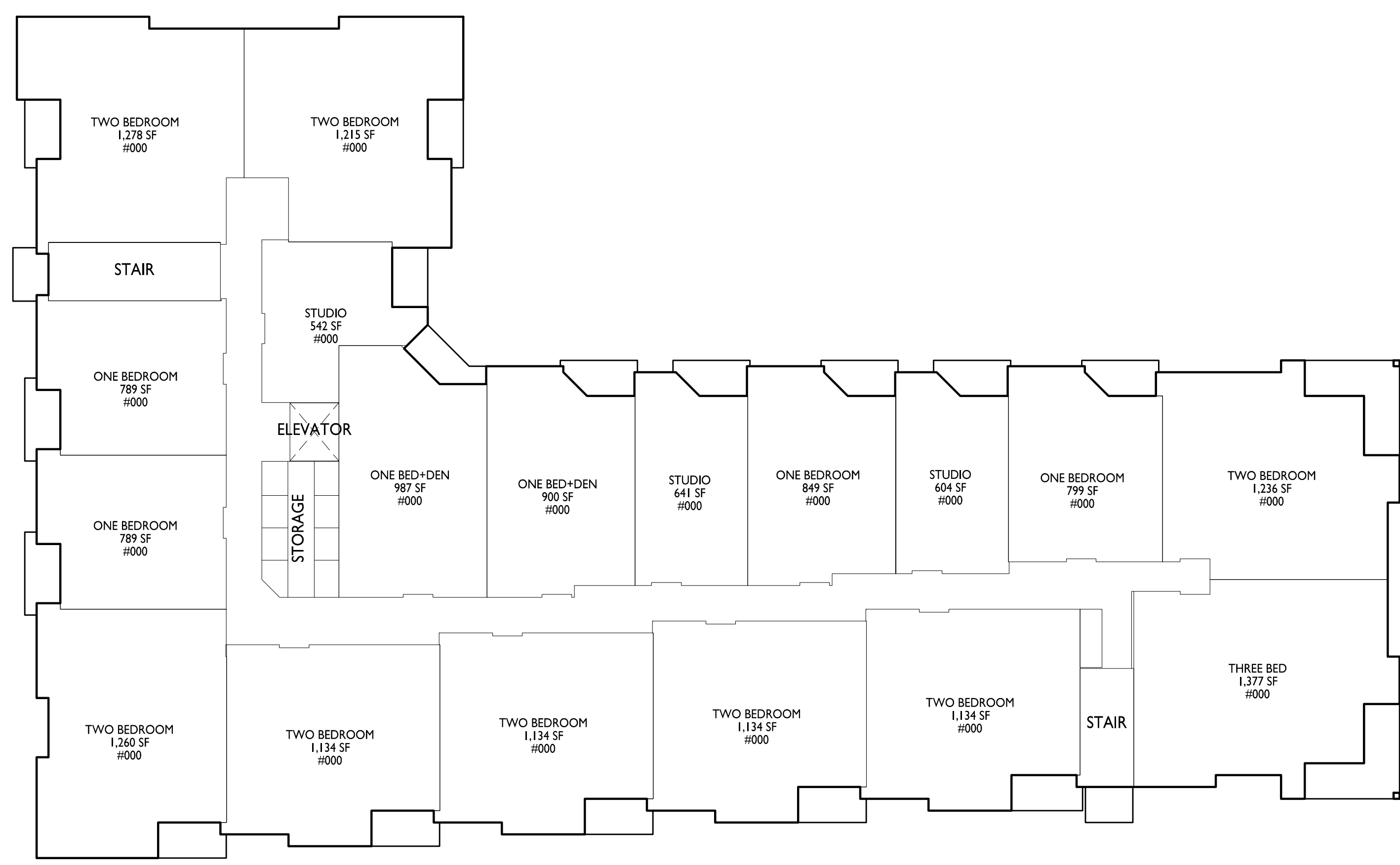
PROJECT TITLE  
Buswell Sheboygan  
Development

1403-1435 S 7th Street  
Sheboygan, Wisconsin  
SHEET TITLE  
Third, Fourth, and  
Fifth Floor Plan

SHEET NUMBER

A-1.3

PROJECT NO. 2378  
© Knothe & Bruce Architects, LLC 78



1  
A-1.3  
THIRD, FOURTH,  
AND FIFTH FLOOR PLANS  
1/16" = 1'-0"

# MALIBU

APARTMENTS, LLC



SHEBOYGAN, WISCONSIN





© Knothe & Bruce Architects, LLC

# Buswell Sheboygan Development

1403-1435 S. 7th Street Sheboygan, Wisconsin

06.14.2024





© Knothe & Bruce Architects, LLC

# Buswell Sheboygan Development

1403-1435 S. 7th Sreet Sheboygan, Wisconsin

06.14.2024







© Knothe & Bruce Architects, LLC

# Buswell Sheboygan Development

1403-1435 S. 7th Sreet Sheboygan, Wisconsin

06.14.2024





© Knothe & Bruce Architects, LLC

# Buswell Sheboygan Development

1403-1435 S. 7th Sreet Sheboygan, Wisconsin

06.14.2024





# Buswell Sheboygan Development

1403-1435 S. 7th Sreet Sheboygan, Wisconsin

06.14.2024





# Buswell Sheboygan Development

1403-1435 S. 7th Sreet Sheboygan, Wisconsin

02 - 12 - 2024





# Buswell Sheboygan Development

1403-1435 S. 7th Sreet Sheboygan, Wisconsin

02 - 12 - 2024



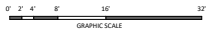


WEST ELEVATION

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE SLP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANEL	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRUIE BLUE - DREAM COLLECTION
04	BRICK VENEER	KOHLER BRICK	CAPT COOL - HERITAGE TEXTURE
05	CAST STONE	CORNOVA STONE	ALABASTER GROUND FACE
06	CAST STONE VENEER	CORNOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
09	ROOF ALCOVE	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	ANDERSEN	WHITE
11	STANDING SEAM METAL ROOF	CMG	SILVER
12	ALUMINUM STOREFRONT	TBD	WHITE
13	GLASS BALCONY	TBD	SILVER
14	ASPHALT SHINGLE ROOF	CERTANTEED	SILVER BIRCH



SOUTH ELEVATION



Exterior Elevations

Buswell Sheboygan Development  
1403-1435 S. 7th Sreet Sheboygan, Wisconsin



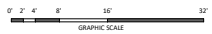


EAST ELEVATION

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT BIRCH
02	COMPOSITE PANELS	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRUIE BLUE - DREAM COLLECTION
04	BRICK VENEER	ACEI	CRISP COB - HERITAGE TEXTURE
05	CAST STONE	CORDOVA STONE	ALABASTER GROUND FACE
06	CAST STONE VENEER	CORDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENT	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	HANDBRSON	WHITE
11	STANDING SEAM METAL ROOF	EMG	SILVER
12	ALUMINUM STOREFRONT	TED	WHITE
13	GLASS RAILING	TED	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTEED	SILVER BIRCH



NORTH ELEVATION



Exterior Elevations

Buswell Sheboygan Development  
1403-1435 S. 7th Sreet Sheboygan, Wisconsin





WEST INTERIOR ELEVATION

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANEL	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRUE BLUE - DREAM COLLECTION
04	BRICK VENEER	ACME BRICK	CAPE COD - HERITAGE TEXTURE
05	CAST STONE	CONCOWA STONE	ALABASTER GROUND FACE
06	CAST STONE VENEER	CONCOWA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENT	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	ANDERSEN	WHITE
11	STANDING SEAM METAL ROOF	CMG	SILVER
12	ALUMINUM STOREFRONT	TBO	WHITE
13	GLASS RAILING	TBO	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTEED	SILVER BIRCH



EAST INTERIOR ELEVATION



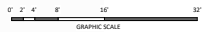


WEST ELEVATION

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANELS	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRILE BLUE DREAM COLLECTION
04	BRICK VENEER	ACME BRICK	CAPE COD HERITAGE TEXTURE
05	EAST STONE	CORDOVA STONE	ALABASTER GROUND FACE
06	EAST STONE VENEER	CORDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	UNPAINTED COLUMNS	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENT	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	ANDERSEN	WHITE
11	STANDING SEAM METAL ROOF	OMG	SILVER
12	ALUMINUM STOREFRONT	TBD	WHITE
13	GLASS BALCONY	TBD	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTED	SILVER BIRCH



SOUTH ELEVATION



Colored Exterior Elevations

A-2.4

Buswell Sheboygan Development  
 1403-1435 S. 7th Street Sheboygan, Wisconsin

GDP & SIP SUBMITTALS | 06.13.2024 | 2378





EAST ELEVATION

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANELS	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRUE BLUE - DREAM COLLECTION
04	BRICK VENEER	ACME BRICK	CAPE COD - HERITAGE TEXTURE
05	EAST STONE	CORDOVA STONE	ALABASTER GROUND FACE
06	EAST STONE VENEER	CORDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	WARRANTY COLUMNS	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENT	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	HANDBLIND	SINTE
11	STANDING SEAM METAL ROOF	CMGS	SILVER
12	ALUMINUM STOREFRONT	TBD	WHITE
13	GLASS BALCONY	TBD	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTEED	SILVER BIRCH



NORTH ELEVATION



Colored Exterior Elevations

A-2.5

Buswell Sheboygan Development  
1403-1435 S. 7th Sreet Sheboygan, Wisconsin

GDP & SIP SUBMITTALS | 06.13.2024 | 2378





WEST INTERIOR ELEVATION

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANELS	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRILE BLUE - DREAM COLLECTION
04	BRICK VENEER	ACME BRICK	CAPE COD - HERITAGE TEXTURE
05	EAST STONE	CORDOVA STONE	ALABASTER GROUND FACE
06	EAST STONE VENEER	CORDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	WARRANTY COLUMNS	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENTS	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	PANDENSON	SILVER
11	STANDING SEAM METAL ROOF	CMAS	SILVER
12	ALUMINUM STOREFRONT	TBD	WHITE
13	GLASS BALCONY	TBD	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTEED	SILVER BIRCH



EAST INTERIOR ELEVATION



Colored Exterior Elevations

A-2.6

Buswell Sheboygan Development  
1403-1435 S. 7th Street Sheboygan, Wisconsin

GDP & SIP SUBMITTALS | 06.13.2024 | 2378

