

CITY OF SHEBOYGAN

REQUEST FOR PLANNING COMMISSION CONSIDERATION

ITEM DESCRIPTION: Specific Implementation Plan by Malibu Apartments, LLC to construct the Malibu Apartments on parcel 59281318390. PUD Planned Unit Development Zone.

REPORT PREPARED BY: Ellise Rose, Associate Planner

REPORT DATE: July 2, 2024

MEETING DATE: July 9, 2024

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Today the Plan Commission will be reviewing the Malibu Apartments Specific Implementation Plan (SIP) for property located at parcel #59281318390. The process for review and approval of the SIP is similar to that for conditional use permits.

Malibu Apartments, LLC is proposing to construct the Malibu Apartments on parcel #59281318390.

The applicant states the following about the Malibu Apartments project:

- Malibu Apartments is a very complex project due to many factors including the contamination and inadequate subsoils. For this project to be financially viable we need to achieve approval for the submitted density, parking, setbacks and height for this project to move forward.
• This site is connected to what is known as "Kite Beach". The name "Malibu Apartments" is being used to forever memorialize this area as "The Malibu of the Midwest".
• This project will help bring hundreds of people, who otherwise might not ever have this opportunity, to live right on Sheboygan's most plentiful natural resource—Lake Michigan.
• Enhancing the beach community by bringing more people to the shores of Lake Michigan to live at a property that purposely focuses on holistic wellness is a goal and overall "Theme" of our project.

- The property will bring many new amenities to Sheboygan such as a lake front pool and common area, state of the art work out facility with lake views, pet wash stations, we will have surf boards, paddle boards, kayaks, lawn games and other outdoor recreational equipment available for our residents to utilize as a way to connect with nature.
- Malibu Apartments provides opportunities for a high quality of life in relaxed luxury apartments with breathtaking water views and seamless connectivity to Kite Beach, South Pier, King Park, and South Sheboygan areas.
- Malibu Apartments is also a pet friendly community for those residents with furry family members.
- Malibu Apartments is a nautical looking building fitting the larger community appeal with an interior parking structure that is wrapped with apartments, lobby spaces, and community areas along South 7th street and brick veneer around the north and south walls of the structure.
- The project also includes the potential for waterfront commercial restaurant space at the end of Clara Avenue. A new lake front restaurant with spectacular views would be a new social gathering place for the larger community and serve as an excellent amenity for the residents as well.

Below are unit mix and parking details for Malibu Apartments:

- Phase 1
- 24 Studios
- 63 One-bedroom units
- 62 Two-bedroom units
- 8 Three-bedroom units
- 157 total units
- 3,758 sf of Commercial restaurant space
- 213 parking stalls (141 interior stalls, 72 surface stalls, + street parking)

*Typically for an urban setting like this with high walkability and located on a bus route, parking ratios tend to be close to 1 stall per unit.

- The building areas for Phase 1 are as follows: (to be used for Floor Area Ratio calculations):
 - Main Level (garage level) = 67,659 sf
 - Second Floor = 43,383 sf
 - Third Floor = 42,590 sf
 - Fourth Floor = 42,590 sf
 - Fifth Floor = 42,590 sf
 - Total area = 238,812 sf.

- An enormous amount of forethought and planning went into creating a development that not only cleans up and receives closure on an old brownfield DNR site but also works to achieve city goals outlined in the Comprehensive Master plan and also addresses housing shortages outlined within the new city housing study.

STAFF COMMENTS:

The City has been seeking to improve this section of S 7th St. for some time and the Malibu Apartments present a great opportunity to achieve this vision. The proposed project will:

- Provide revitalization to an area of the city that has been underutilized in a manner that compliments and positively will impact the mixed use neighborhood.
- Provide needed housing opportunities for individuals and families.
- Increase the City's tax base on this vacant and undeveloped property.

ACTION REQUESTED:

Motion to recommend the Common Council approve the proposed Specific Implementation Plan subject to the following conditions:


1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Submittal and approval of a proposed storm drainage plan prior to building permit issuance.
3. Dumpster enclosure shall be completed prior to issuance of an occupancy permit for the apartment building to be occupied.
4. Outdoor storage of materials, products or equipment shall be prohibited.
5. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
6. All areas used for parking/maneuvering of vehicles shall be paved.
7. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
8. Any new ingress/egress driveway openings and any drives to be closed or modified shall be improved to standard City specifications.
9. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
10. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
11. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.

12. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
13. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, art, etc.
14. Applicant is responsible for working with all private and public utilities in order to adequately service this development (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
15. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
16. Owner/Developer and City understand that the landscape plan is to be installed in phases.
17. Owner/Developer is responsible for installation of the entire approved landscape plan. If the owner/developer elects to amend the landscape plan in any fashion, the owner/developer shall resubmit an amended plan to Department of City Planning & Development for approval.
18. Plantings located around all ingress/egress of the site shall be maintained to not interfere with vehicular/pedestrian traffic.
19. Plantings located around the Fire Department Connection must be maintained to make sure that it is accessible at all times.
20. Plantings located by light poles should be maintained to keep areas well lite.
21. The Department of Planning & Development must inspect the landscaping. Failure to comply with any of the above conditions may require the removal and replanting of plants.
22. All plantings will need to be maintained per Section 105-894(b) Maintenance.

If there are any amendments to the approved SIP the applicant will have to submit an amended SIP for review that accurately reflects any and all proposed changes.

ATTACHMENTS:

Specific Implementation Plan (SIP) and required attachments.

	CITY OF SHEBOYGAN	Fee: \$250.00
	APPLICATION FOR CONDITIONAL USE	Review Date: <u>6/18/2024</u>
		Zoning: <u>PUD</u>

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Applicant Name (Ind., Org. or Entity) Malibu Apartments, LLC		Authorized Representative Jacob Buswell	
Title Partner			
Mailing Address 1525 Torrey View Drive		City Sparta	State WI
ZIP Code 54656			
Email Address jake.buswell@allamericandoitcenter.com		Phone Number (incl. area code) 262-623-8348	
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Applicant Name (Ind., Org. or Entity)		Contact Person	
Title			
Mailing Address		City	State
ZIP Code			
Email Address		Phone Number (incl. area code)	
SECTION 3: Project or Site Location			
Project Address/Description 1403,1435 S. 7th St. Sheboygan, WI/ approximately 3.8 acres			Parcel No. 59281318390
SECTION 4: Proposed Conditional Use			
Name of Proposed/Existing Business:		Malibu Apartments	
Existing Zoning:		N/A	
Present Use of Parcel:		Vacant Land	
Proposed Use of Parcel:		Mixed-Use (Multi-familij & light commercial)	
Present Use of Adjacent Properties:		Commercial Business, single family	
SECTION 5: Certification and Permission			
Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.			
Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.			
Name of Owner/Authorized Representative (please print) Jake Buswell		Title Partner	Phone Number 262-623-8348
Signature of Applicant <i>Jacob Buswell</i>		Date Signed 6/18/2024	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

Jake Buswell
Malibu Apartments, LLC
1525 Torrey View Drive
Sparta, WI 54656

June 18, 2024

Ellise Rose, Associate Planner
Diane McGinnis, Director of Planning and Development
Elke Daugherty, Planning and Zoning Administrator
City of Sheboygan
828 Center Avenue
Sheboygan, WI 53081

Dear City Staff,

Please accept this narrative cover letter and the included documents as our official submittal for the PUD, GDP, and SIP (phase 1) packages for our Malibu Apartments project that connects with “Kite Beach” on parcels: 59281318390 and 59281303390.

As you’ll see within our plans an enormous amount of forethought and planning went into creating a development that not only cleans up and receives closure on an old brownfield DNR site but also works to achieve city goals outlined in the Comprehensive Master plan and also addresses housing shortages outlined within the new city housing study. Malibu Apartments is a very complex project due to many factors including the contamination and inadequate subsoils. For this project to be financially viable we need to achieve approval for the submitted density, parking, setbacks and height for this project to move forward.

As mentioned above this site is connected to what is known as “Kite Beach”. The name “Malibu Apartments” is being used to forever memorialize this area as “The Malibu of the Midwest”. This project will help bring hundreds of people, who otherwise might not ever have this opportunity, to live right on Sheboygan’s most plentiful natural resource—Lake Michigan. Enhancing the beach community by bringing more people to the shores of Lake Michigan to live at a property that purposely focuses on holistic wellness is a goal and overall “Theme” of our project. The property will bring many new amenities to Sheboygan such as a lake front pool and common area, state of the art work out facility with lake views, pet wash stations, we will have surf boards, paddle boards, kayaks, lawn games and other outdoor recreational equipment available for our residents to utilize as a way to connect with nature. Malibu Apartments provides opportunities for a high quality of life in relaxed luxury apartments with breathtaking water views and seamless connectivity to Kite Beach, South Pier, King Park, and South Sheboygan areas. Malibu Apartments is also a pet friendly community for those residents with furry family members.

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Below are unit mix and parking details for Malibu Apartments:

Phase 1

22 Studios

58 One-bedroom units

64 Two-bedroom units

8 Three-bedroom units

152 total units

3,758 sf of Commercial restaurant space

207 parking stalls (135 interior stalls, 72 surface stalls, + street parking)

Phase 2

7 Studios

24 One-bedroom units

23 Two-bedroom units

4 Three-bedroom units

58 total units

75 parking stalls (+street parking)

*Typically for an urban setting like this with high walkability and located on a bus route, parking ratios tend to be close to 1 stall per unit.

The building areas for Phase 1 are as follows: (to be used for Floor Area Ratio calculations):

Main Level (garage level) = 67,659 sf

Second Floor = 43,383 sf

Third Floor = 42,590 sf

Fourth Floor = 42,590 sf

Fifth Floor = 42,590 sf

Total area = 238,812 sf.

Please see the attached for the location map, site map, site plan, floor plan (phase 1 SIP only), elevations, renderings, landscape plans, and conceptual grading and drainage plans. As we get closer to site plan approval, we will also provide a lumen intensity site plan and make sure to limit any over property line light wash.

Thank you for your consideration of this as the submittal packet for our PUD, GDP, and phase 1 SIP. We appreciate this opportunity and are excited to continue the redevelopment of this brownfield site.

Sincerely,

Jake Buswell
Partner
Malibu Apartments, LLC

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. NO USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



MALIBU APARTMENTS AT KITE BEACH - SHEBOYGAN, WI

CIVIL CONSTRUCTION PLAN SET

INDEX OF SHEETS

C001	1	COVER SHEET
C002	2	GENERAL NOTES AND QUANTITIES
C100	3	EXISTING CONDITIONS & DEMOLITION/REMOVAL PLAN
C101	4	EROSION CONTROL PLAN
C200-C201	5-6	SITE PLAN (NORTH AND SOUTH)
C300-C301	7-8	UTILITY PLAN (NORTH AND SOUTH)
C400-C401	9-10	GRADING PLAN (NORTH AND SOUTH)
C500	11	LANDSCAPE PLAN
C600	12	EMERGENCY VEHICLE TURNING PATH
C700	13	CONSTRUCTION DETAILS
C701	14	UTILITY DETAILS

SITE DATA

OWNER: SHEBOYGAN LAKEVIEW PROPERTY, LLC
C/O JAKE BUSWELL

SITE ADDRESS: TBD SOUTH 7TH STREET
SHEBOYGAN, WI 53081

PARCEL NUMBER: 59281318390 + 59281303390
PARCEL SIZE: 3.85 ACRES
ZONING: PLANNED UNIT DEVELOPMENT (PUD) - PENDING APPROVAL

EXISTING SITE (EXCLUDING ROW*):

GREEN SPACE: 164,913 (98.4%)
IMPERVIOUS AREA: 2,654 SF (1.6%)
BUILDINGS: 00 SF
PAVEMENT: 2,654 SF

PROPOSED SITE (EXCLUDING ROW*):

GREEN SPACE PROVIDED: 43,345 (25.9%)
IMPERVIOUS AREA: 124,222 SF (74.1%)
BUILDING: 90,930 SF
PAVEMENT: 33,292 SF
TOTAL DISTURBED AREA: 3.85 ACRES

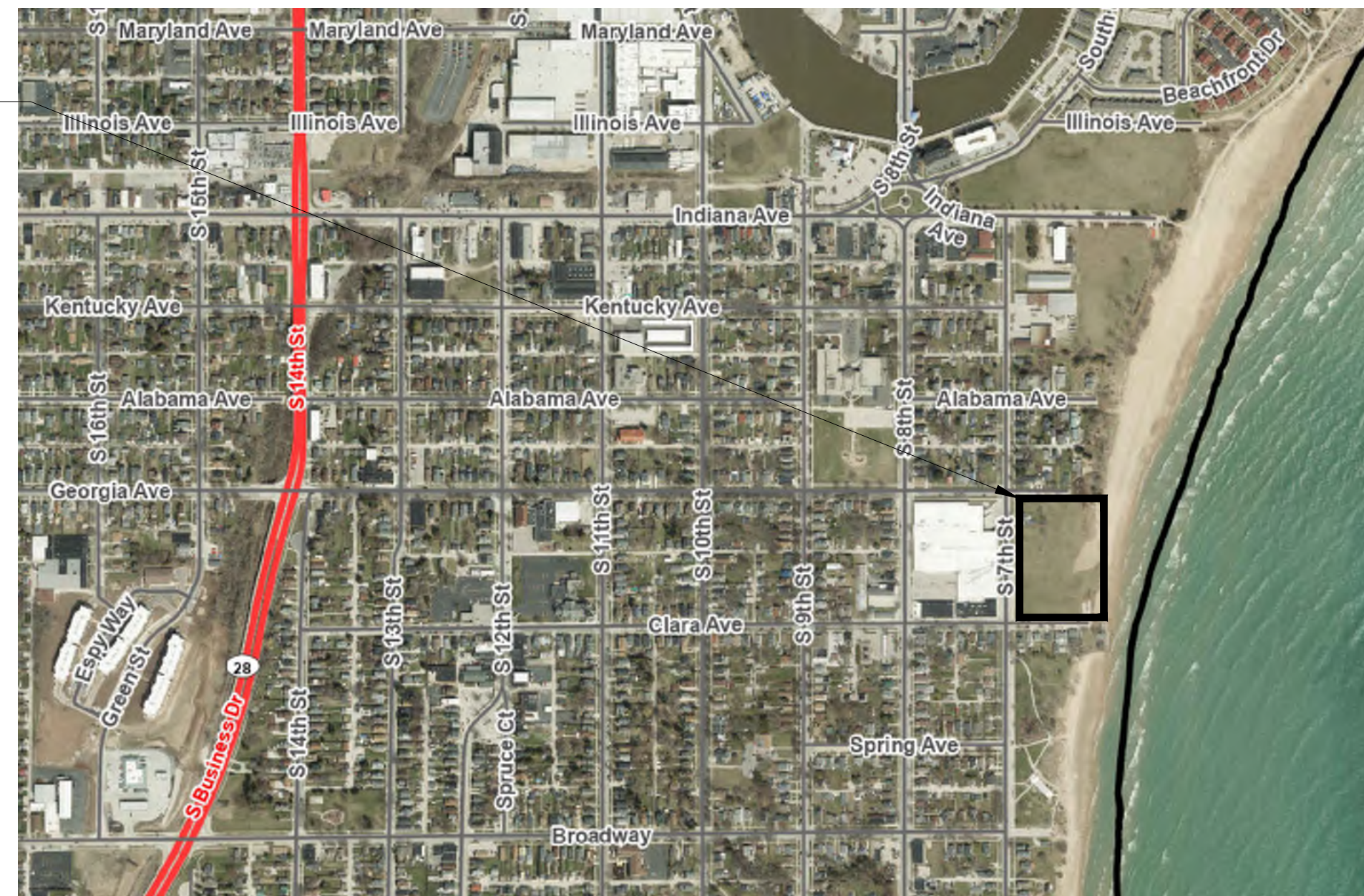
SETBACKS

FRONT: 5' (ACCESSORY)
SIDE: 20' (PRINCIPAL AND ACCESSORY)

PARKING

EXISTING: 0
PROVIDED: 77 EXTERIOR (INCLUDES 4 ADA-COMPLIANT)
205 INTERIOR

PROJECT LOCATION



LOCATION MAP

NO SCALE

PROJECT TEAM:

OWNER:
SHEBOYGAN LAKEVIEW PROPERTY, LLC

8575 W FOREST HOME AVE STE 160
GREENFIELD, WI 53228

JAKE BUSWELL
1525 TORREY VIEW DRIVE
SPARTA, WI 54656
262-623-8348
JAKE.BUSWELL@ALLAMERICANDOITCENTER.COM

CIVIL ENGINEER:
STANTEC CONSULTING SERVICES, INC.
312 N 5TH AVE
STURGEON BAY, WI 54235

CONTACT:
PETE HURTH, P.E.
920-298-1759
PETER.HURTH@STANTEC.COM

SKYLER WITALISON, P.E.
920-298-1763
SKYLER.WITALISON@STANTEC.COM

UTILITY CONTACT INFORMATION
MUNICIPAL SERVICES BUILDING
2026 NEW JERSEY AVENUE
SHEBOYGAN, WI 53081
920-459-3440
M-F 7:30AM-4:00PM

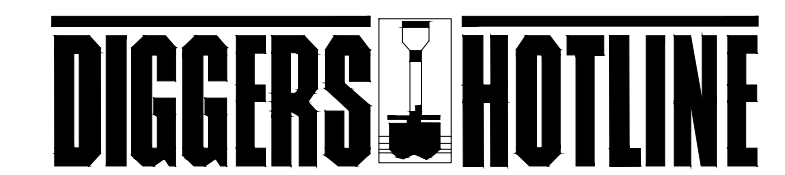
CITY OF SHEBOYGAN - PUBLIC WORKS
KEVIN JUMP, CITY ENGINEER
2026 NEW JERSEY AVENUE
SHEBOYGAN, WI 53081
920-459-3367
KEVIN.JUMP@SHEBOYGANWI.GOV

EMERGENCY NUMBERS
POLICE/FIRE
911

NON-EMERGENCY NUMBERS

POLICE DEPARTMENT
920-459-3333

FIRE DEPARTMENT
920-459-3327



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www.DiggersHotline.com

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

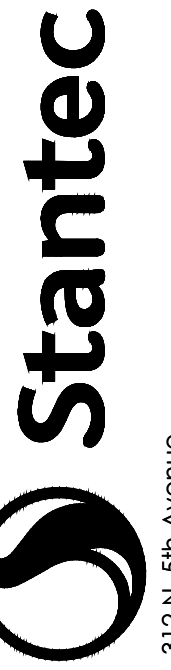
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THESE DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. STANTEC HAS NOT VERIFIED THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.



CITY OF SHEBOYGAN

SHEBOYGAN COUNTY, WISCONSIN



312 N. 5th Avenue
Sturgeon Bay, WI 54235
www.stantec.com

COVER SHEET

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE

06.17.2024 DRAFT

NO REVISION DATE

SURVEY STANTEC

DRAWN MTA

DESIGNED PJH

CHECKED SRW

APPROVED PJH

PROJ. NO. 193804785

SHEET NUMBER

C001

Plot Date: 06/17/2024 - 3:57pm
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User: jwitalison
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Sheet: SHEET BORDER_22x34

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Plot Date: 06/17/2024 - 3:57pm
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User: jwifolson
Sheet: SHEET BORDER 2204.dwg, 193806785.MALIBU APFS. SHEET BORDER 2204, ACAD:2378 C1 Shp, 20240603.SHEET BORDER 2204

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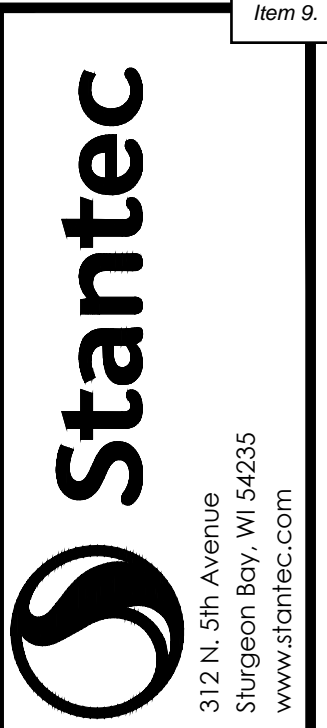
GENERAL

- THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS OR HER PROPOSAL. HE OR SHE SHALL BASE THEIR BID ON HIS OR HER OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS FO THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS OR HER INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
- CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
- ANY ADJACENT PROPERTIES OR ROAD RIGHTS-OF-WAY WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL AND SHOULD BE INCLUDED IN THE BID PRICES.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
- ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATION AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

QUANTITIES TAB
TO BE
PROVIDED IN FUTURE

EROSION CONTROL NOTES

- EROSION CONTROL METHODS SHALL BE IMPLEMENTED AS DIRECTED BY THE ENGINEER PRIOR TO AND DURING CONSTRUCTION TO CONTROL WATER POLLUTION, EROSION, AND SILTATION
- THE LANDOWNER (REPRESENTATIVE) SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE MAINTAINED AT THE CONSTRUCTION SITE. SEE CONSTRUCTION SITE INSPECTION REPORT (FORM 3400-187) FROM THE WDNR
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND DOCUMENTATION OF EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION PHASE. OWNER IS RESPONSIBLE FOR POST-CONSTRUCTION MAINTENANCE AND EFFORT
- ALL DISTURBED AREAS SHALL BE TREATED WITH STABILIZATION MEASURES, AS SPECIFIED, WITHIN 3 WORKING DAYS OF FINAL GRADING
- A MINIMUM OF 4 TO 6 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED
- WINTER STABILIZATION: ALL AREAS REQUIRING SEED AFTER OCTOBER 15TH SHALL BE STABILIZED BY AN APPROVED WINTER STABILIZATION METHOD
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR STORM EVENT SHALL BE CLEANED BY THE END OF EACH WORKDAY. FLUSHING SHALL NOT BE ALLOWED
- WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCHING, OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENTS AND WATER RESOURCES
- ANY DISTURBED AREAS OR SOIL STOCKPILES THAT REMAINS FOR MORE THAN 7 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES. ALL TOPSOIL STOCKPILES SHALL BE SEEDED OR HAULED OFF-SITE WITHIN 60 DAYS OF CONSTRUCTION COMPLETION. THE CONTRACTOR SHALL DISPOSE OF ALL OTHER WASTE AND EXCESS MATERIAL IN AN APPROVED MANNER
- ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND STABILIZATION WORK REDONE
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY EROSION CONTROL PRACTICES SHALL BE REMOVED
- EROSION CONTROL CONSTRUCTION STANDARDS - SEE WDNR CONSTRUCTION SITE EROSION & SEDIMENT CONTROL STANDARDS AS FOLLOWS:
 - 1053 = CHANNEL EROSION MAT
 - 1066 = CONSTRUCTION SITE DIVERSION
 - 1062 = DITCH CHECKS
 - 1068 = DUST CONTROL
 - 1050 = LAND APPLICATION OF ADDITIVES FOR EROSION CONTROL
 - 1058 = MULCHING FOR CONSTRUCTION SITES
 - 1052 = NON-CHANNEL EROSION MAT
 - 1059 = SEEDING
 - 1057 = TRACKOUT CONTROL PRACTICES
 - 1067 = GRADING PRACTICES FOR EROSION CONTROL - TEMPORARY
 - 1054 = VEGETATIVE BUFFER FOR CONSTRUCTION SITES
 - 1061 = DE-WATERING
 - 1055 = SEDIMENT BALE BARRIER
 - 1064 = SEDIMENT BASIN
 - 1063 = SEDIMENT TRAP
 - 1070 = SILT CURTAIN
 - 1056 = SILT FENCE
 - 1060 = STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES
 - 1069 = TURBIDITY BARRIERS
 - 1051 = WATER APPLICATION OF ADDITIVES FOR EROSION CONTROL
 - 1071 = INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS



GENERAL NOTES AND QUANTITIES

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE	
06.17.2024 DRAFT	
NO	REVISION DATE
SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	193806785
SHEET NUMBER	
C002	

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Plot Date: 06/17/2024 - 3:57pm
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SHEET KEY NOTES

1. REMOVE ASPHALT; SAW CUT ALONG ROADWAY
2. RAZE/REMOVE WALL
3. REMOVE/REROUTE TELECOMMUNICATIONS LINE AND PEDESTAL; UNDER SEPARATE CONTRACT WITH SERVICE PROVIDER
4. OVERHEAD ELECTRIC POLES AND LINES TO BE REMOVED/BURIED UNDER SEPARATE CONTRACT VIA POWER PROVIDER
5. REMOVE ELECTRIC BOXES; VERIFY WITH POWER PROVIDER PRIOR TO REMOVAL
6. 20' SEWER EASEMENT
7. FLOODPLAIN BOUNDARY
8. OHW PER CITY OF SHEBOYGAN

REMOVAL NOTES

- REMOVAL OF ANY EXISTING SOILS/MATERIALS REQUIRE COMPLETION OF A HAZARDOUS MATERIAL SURVEY IN ACCORDANCE WITH LOCAL RULES AND REGULATIONS. CONTRACTOR SHALL PROVIDE THE APPROPRIATE SURVEY AT NO ADDITIONAL COST TO THE OWNER

EX. CONDITIONS & DEMOLITION/REMOVAL PLAN

SHEBOYGAN KITE BEACH
 MALIBU APARTMENTS, LLC
 SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE
 06.17.2024 DRAFT

NO REVISION DATE

SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	19380785

SHEET NUMBER
C100

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

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SHEET KEY NOTES

SEE EROSION CONTROL NOTES SHEET C002

1. STONE TRACKING PAD; SEE WDNR STANDARD 1057 "TRACKOUT CONTROL PRACTICES"
2. SILT FENCE; SEE WDNR STANDARD 1056 "SILT FENCE"

EROSION CONTROL PLAN
 SHEBOYGAN KITE BEACH
 MALIBU APARTMENTS, LLC
 SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE
 06.17.2024 DRAFT

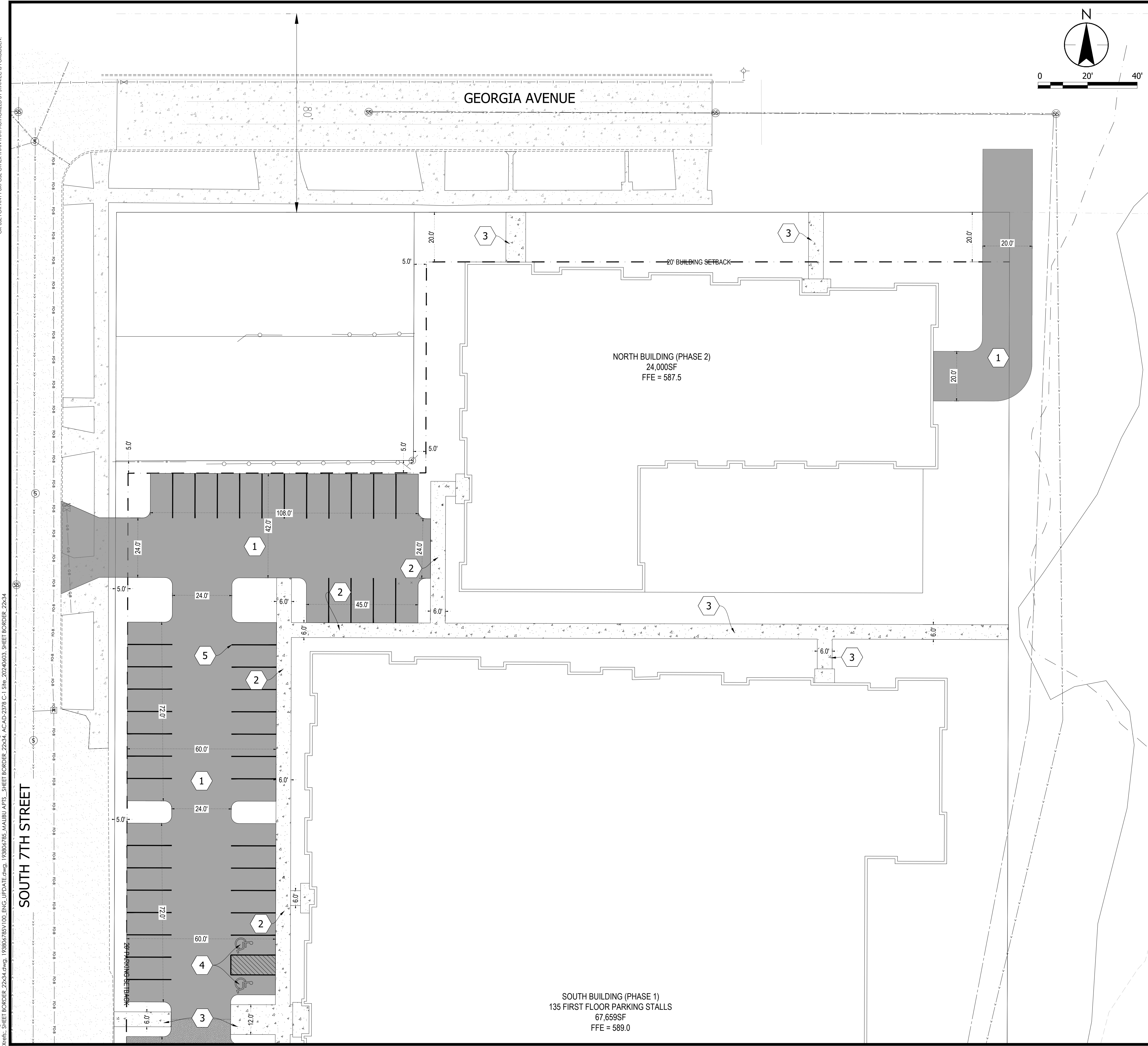
NO	REVISION	DATE

SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	19380785

SHEET NUMBER
C101

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

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SHEET KEY NOTES

1. ASPHALT PAVEMENT - 4" SECTION; SEE DETAIL A SHEET C700
2. CONCRETE SIDEWALK; 4" THICKNESS WITH THICKENED EDGE AT INTERFACE WITH ASPHALT AREAS; SEE DETAIL B SHEET C700
3. CONCRETE SIDEWALK; 4" THICKNESS; SEE DETAIL C SHEET 700
4. ADA-COMPLIANT PARKING STALL WITH SIGN, LOADING AREA, AND PAVEMENT SYMBOL
5. PAINT STRIPE; 4" WIDTH; COLOR BY OWNER PREFERENCE

SITE CONSTRUCTION NOTES

-

DATE OF ISSUANCE	
06.17.2024 DRAFT	
NO.	REVISION DATE
SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	193804785

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

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- SHEET KEY NOTES**
1. ASPHALT PAVEMENT - 4" SECTION; SEE DETAIL A SHEET C700
 2. CONCRETE SIDEWALK; 4" THICKNESS WITH THICKENED EDGE AT INTERFACE WITH ASPHALT AREAS; SEE DETAIL B SHEET C700
 3. CONCRETE SIDEWALK; 4" THICKNESS; SEE DETAIL C SHEET 700
 4. ADA-COMPLIANT PARKING STALL WITH SIGN, LOADING AREA, AND PAVEMENT SYMBOL
 5. PAINT STRIPE; 4" WIDTH; COLOR BY OWNER PREFERENCE

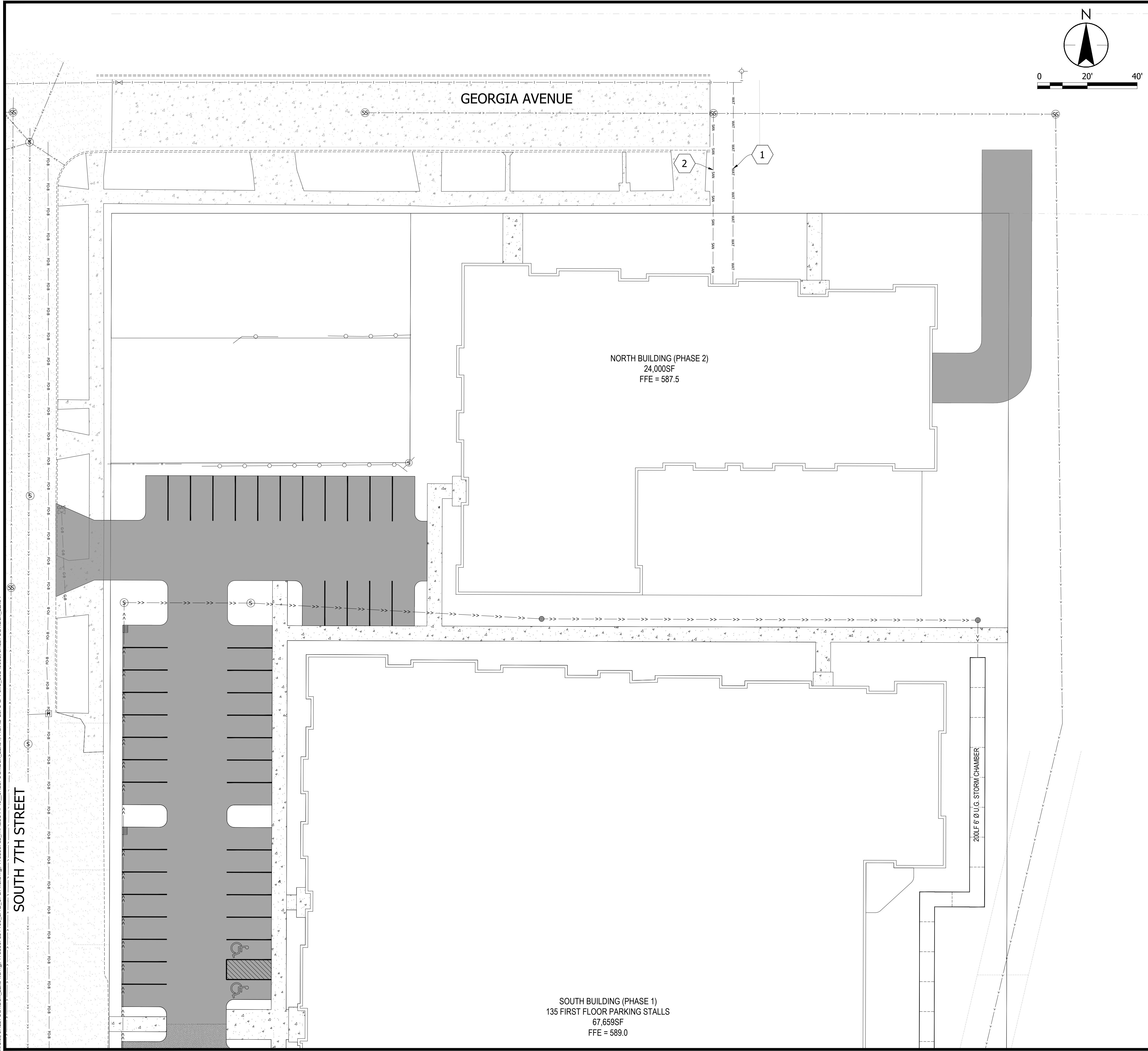
SITE CONSTRUCTION NOTES

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DATE OF ISSUANCE	06.17.2024 DRAFT
NO. REVISION	DATE
SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	193806785
SHEET NUMBER	C201

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

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SHEET KEY NOTES

1. WATER CONNECT
2. SEWER CONNECT

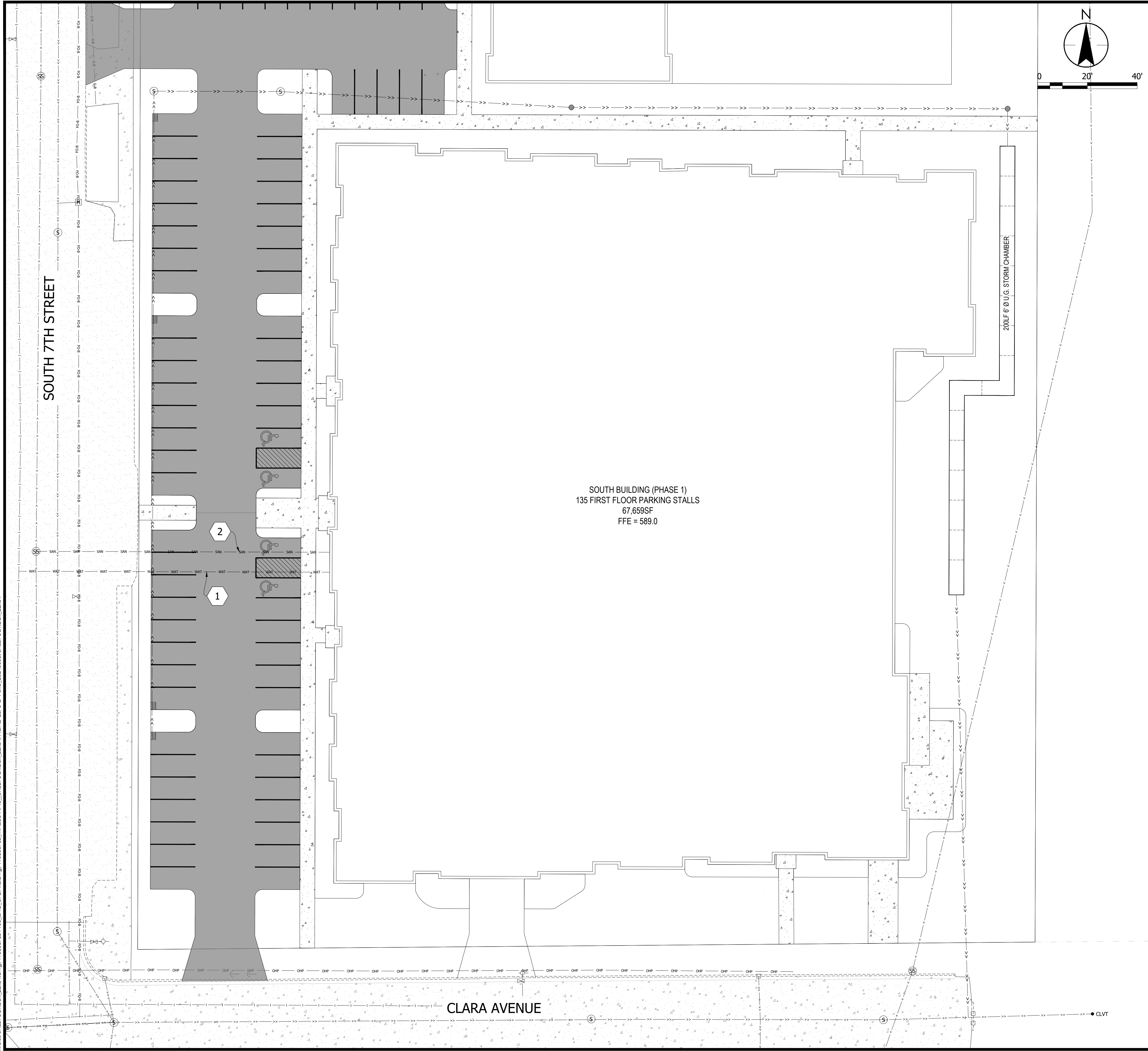
DATE OF ISSUANCE	06.17.2024 DRAFT
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NO	REVISION	DATE

SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	193806785

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

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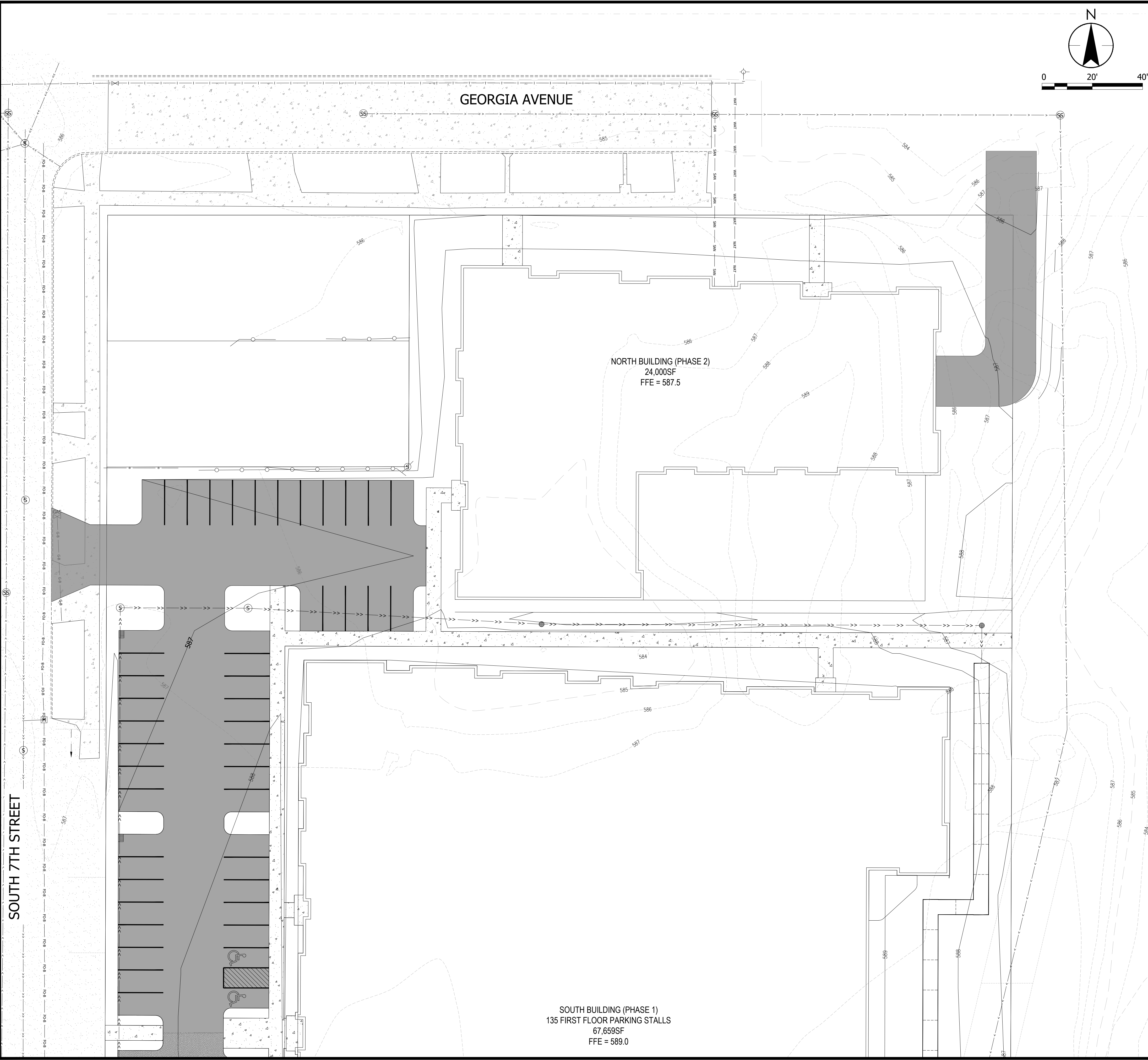


SHEET KEY NOTES

1. WATER CONNECT
2. SEWER CONNECT

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

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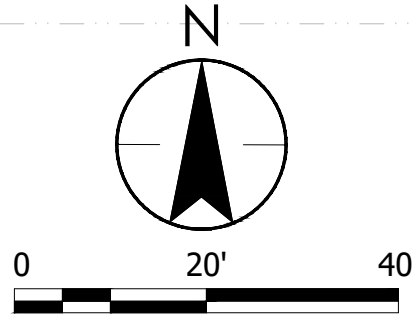


SOUTH 7TH STREET

GEORGIA AVENUE

NORTH BUILDING (PHASE 2)
 24,000SF
 FFE = 587.5

SOUTH BUILDING (PHASE 1)
 135 FIRST FLOOR PARKING STALLS
 67,659SF
 FFE = 589.0



DATE OF ISSUANCE	
06.17.2024 DRAFT	

NO	REVISION	DATE

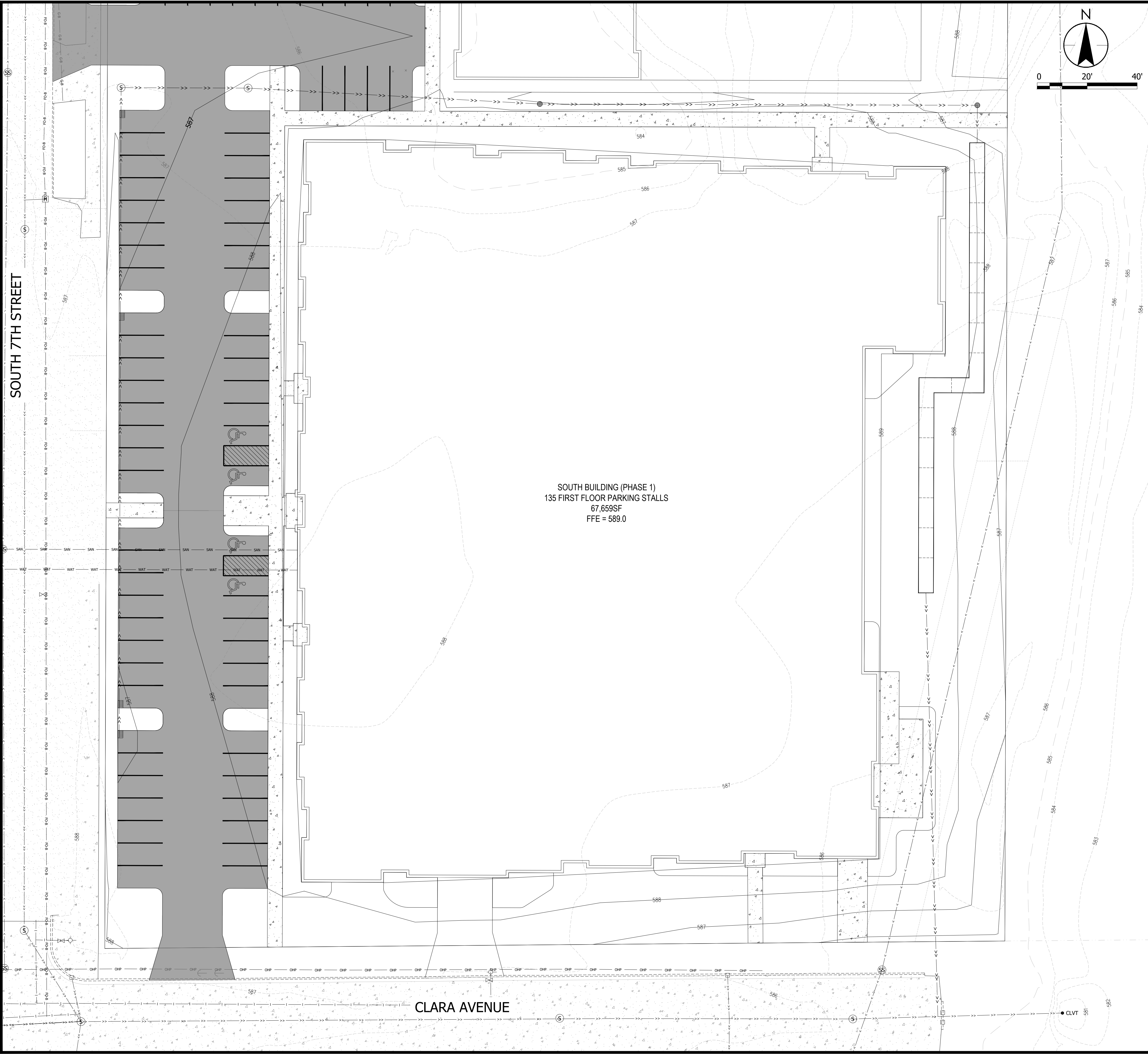
SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH

PROJ. NO. 193806785

SHEET NUMBER
C400

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

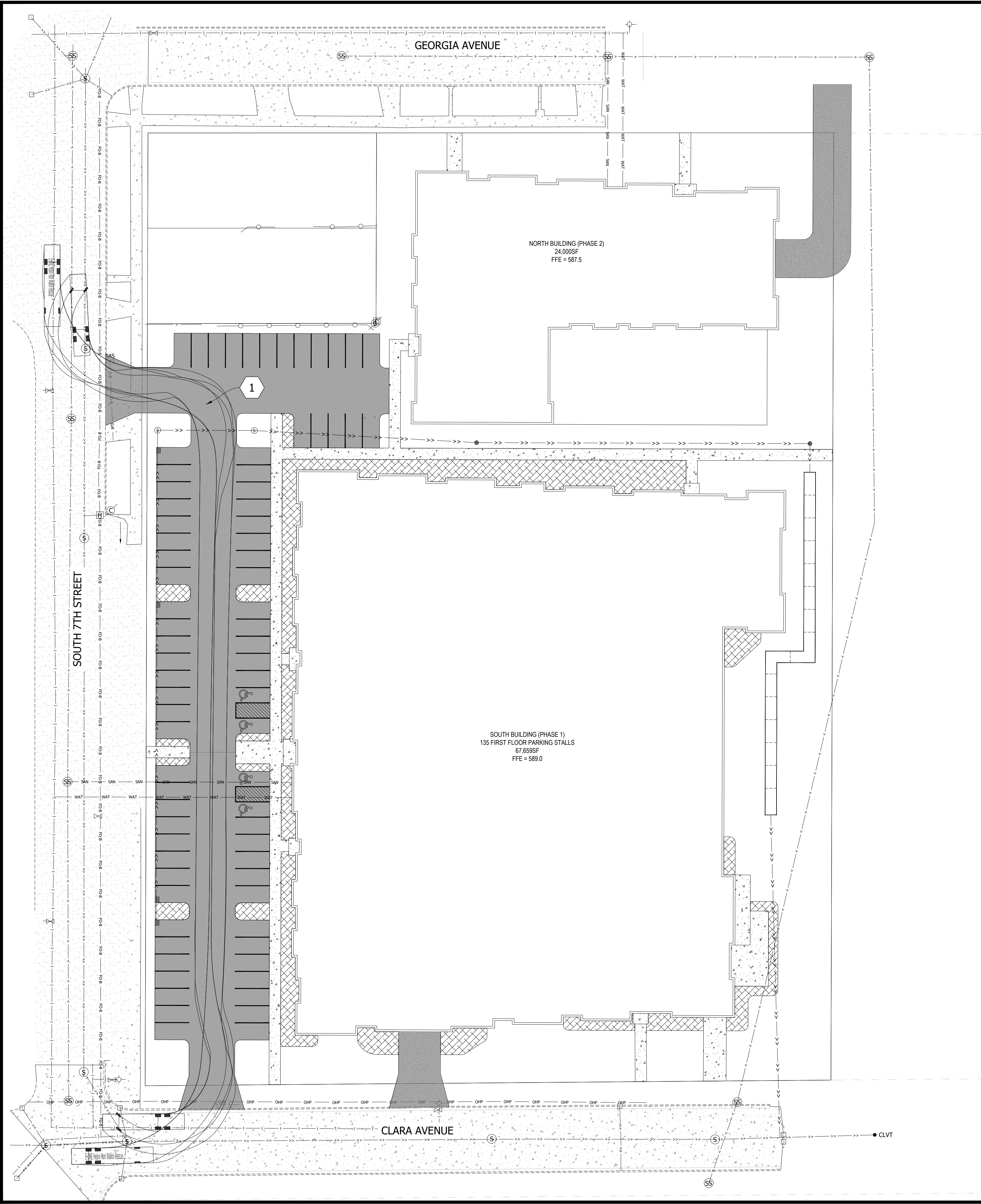
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DATE OF ISSUANCE	06.17.2024 DRAFT
NO. REVISION	DATE
SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	19380785
SHEET NUMBER	C401

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SHEET KEY NOTES

1. VEHICLE TURNING RADIUS - 43' FIRE ENGINE

EMERGENCY VEHICLE TURNING PATH

SHEBOYGAN KITE BEACH
 MALIBU APARTMENTS, LLC
 SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

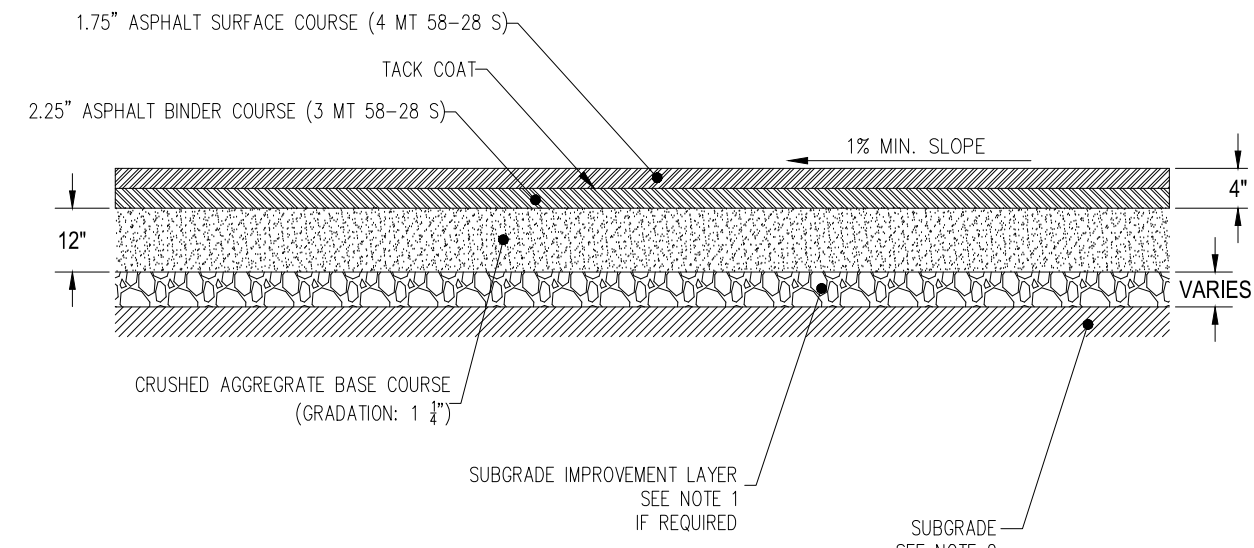
DATE OF ISSUANCE
 06.17.2024 DRAFT

NO	REVISION	DATE

SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	193806785

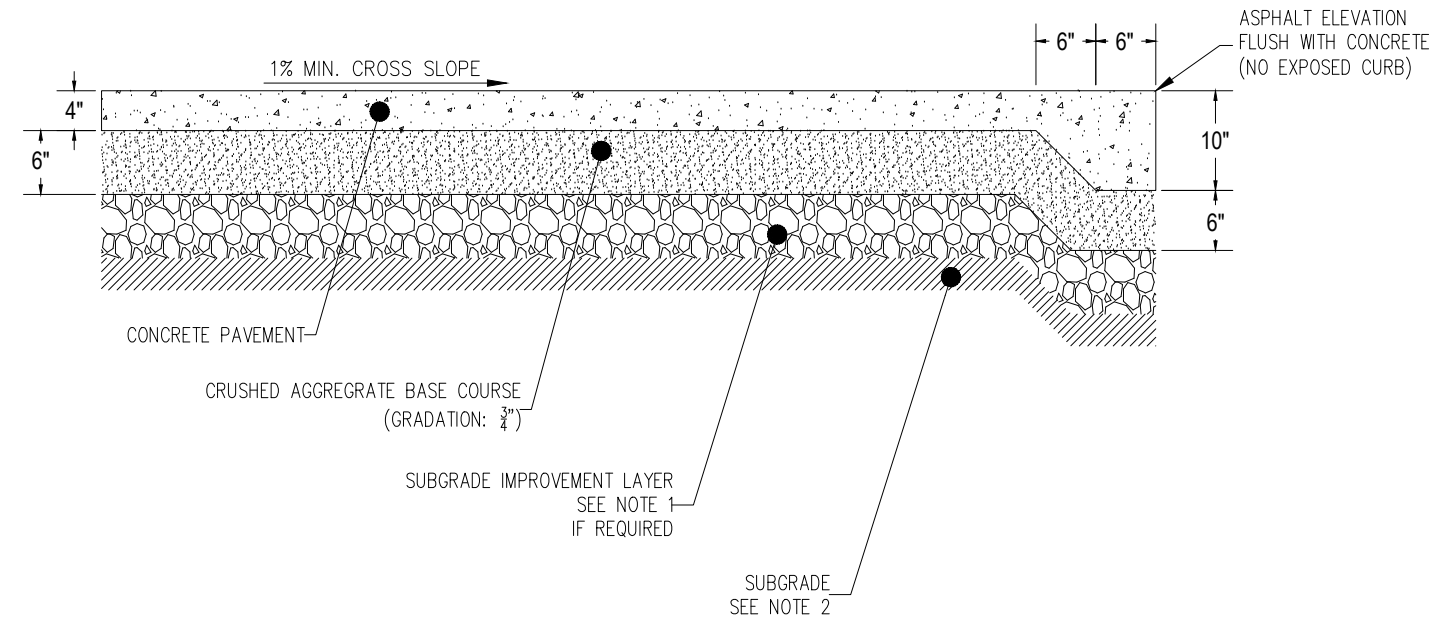
SHEET NUMBER
C600

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



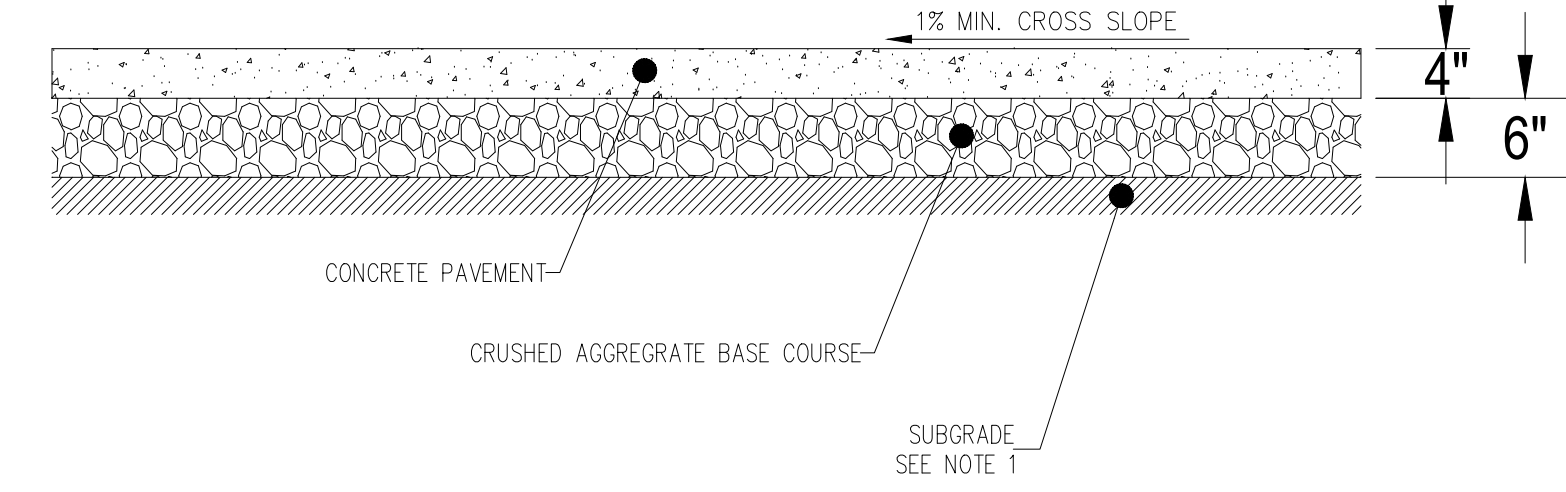
- NOTES**
- UNSTABLE AREAS SHALL BE UNDERCUT TO SUCH DEPTHS DETERMINED NECESSARY IN THE FIELD TO REACH STABLE MATERIALS AND THE AREA BACKFILLED WITH CRUSHED STONE (GRADATION 1 1/2) OR FREE DRAINING GRANULAR FILL.
 - COMPACT SUBGRADE TO 95% STANDARD PROCTOR. SUBGRADE TO BE INSPECTED BY PROJECT FOREMAN PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE.
- SPECIFICATIONS**
- THE ASPHALTIC BASE AND SURFACE COURSE SHOULD BE PLACED AND PROVIDED IN ACCORDANCE WITH SECTION 455/460 OF THE STATE OF WISCONSIN STANDARD SPECIFICATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
 - THE CRUSHED AGGREGATE BASE COURSE SHOULD BE PROVIDED AND PLACED IN ACCORDANCE WITH SECTION 301/305 OF THE STANDARD SPECIFICATION.
 - ASPHALT PAVING CONTRACTOR TO SAW CUT EXISTING ASPHALT EDGE PRIOR TO JOINING NEW PAVEMENT.

A N.T.S. ASPHALT PAVEMENT - 4" SECTION



- NOTES**
- UNSTABLE AREAS SHALL BE UNDERCUT TO SUCH DEPTHS DETERMINED NECESSARY IN THE FIELD TO REACH STABLE MATERIALS AND THE AREA BACKFILLED WITH CRUSHED STONE (GRADATION 1 1/2) OR FREE DRAINING GRANULAR FILL.
 - COMPACT SUBGRADE TO 95% STANDARD PROCTOR. SUBGRADE TO BE INSPECTED BY PROJECT FOREMAN PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE.
- SPECIFICATIONS**
- CONCRETE PAVEMENT CONSTRUCTION SHALL BE PLACED AND PROVIDED IN ACCORDANCE WITH SECTION 501 OF THE STATE OF WISCONSIN STANDARD SPECIFICATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
 - CONCRETE SHALL BE 4,000 PSI MINIMUM.
 - CONCRETE SHALL RECEIVE A BROOMED FINISH.

B N.T.S. CONCRETE SIDEWALK WITH THICKENED EDGE - 4" THICKNESS



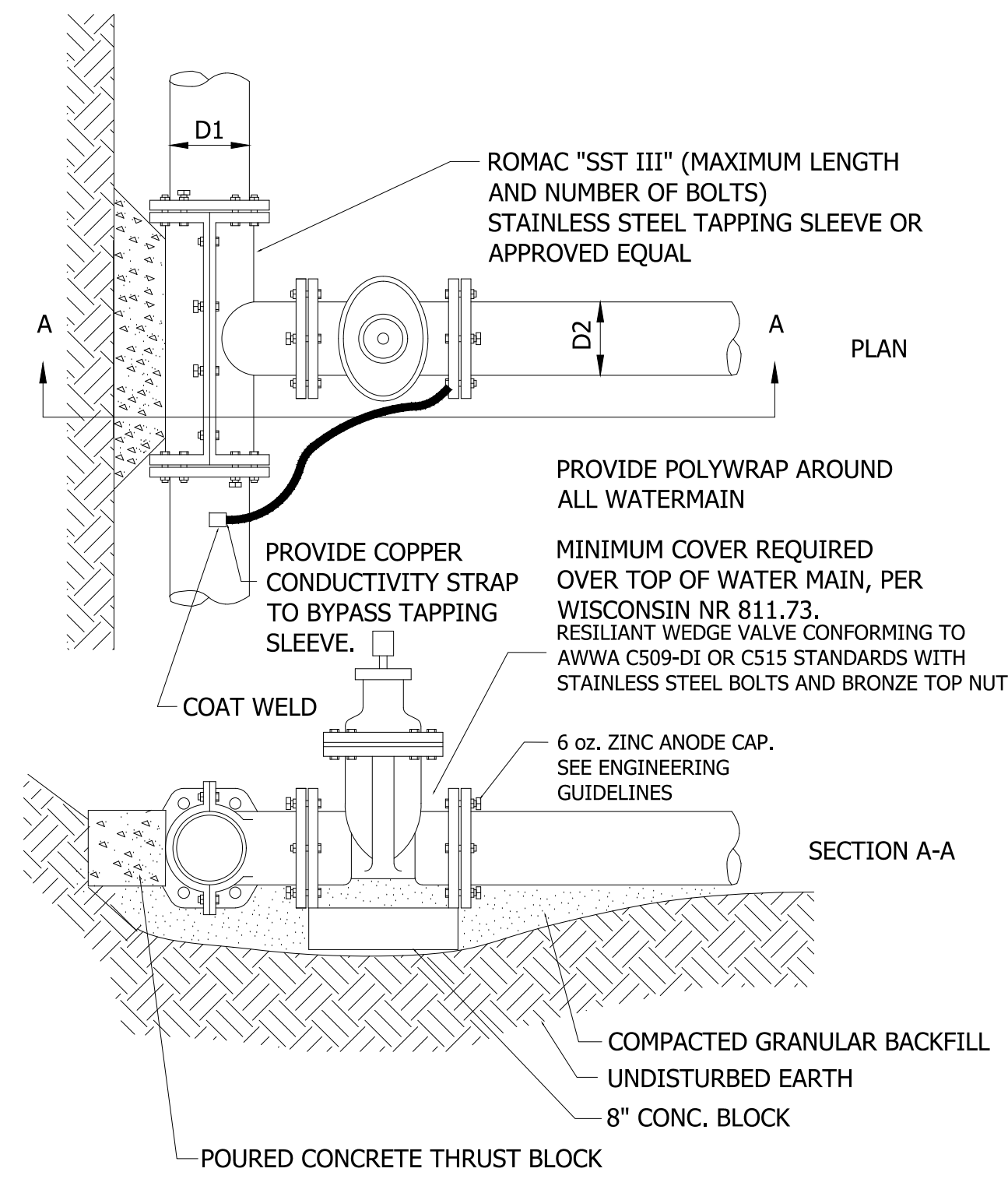
- NOTES**
- COMPACT SUBGRADE TO 95% STANDARD PROCTOR. SUBGRADE TO BE INSPECTED BY PROJECT FOREMAN PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE.
- SPECIFICATIONS**
- CONCRETE PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT FDM.
 - CONCRETE SHALL BE 4,000 PSI MINIMUM.
 - CONCRETE SHALL RECEIVE A BROOMED FINISH.

C N.T.S. CONCRETE SIDEWALK/PAVEMENT/SLAB - 4" THICKNESS

Plot Date: 06/17/2024 - 3:58pm
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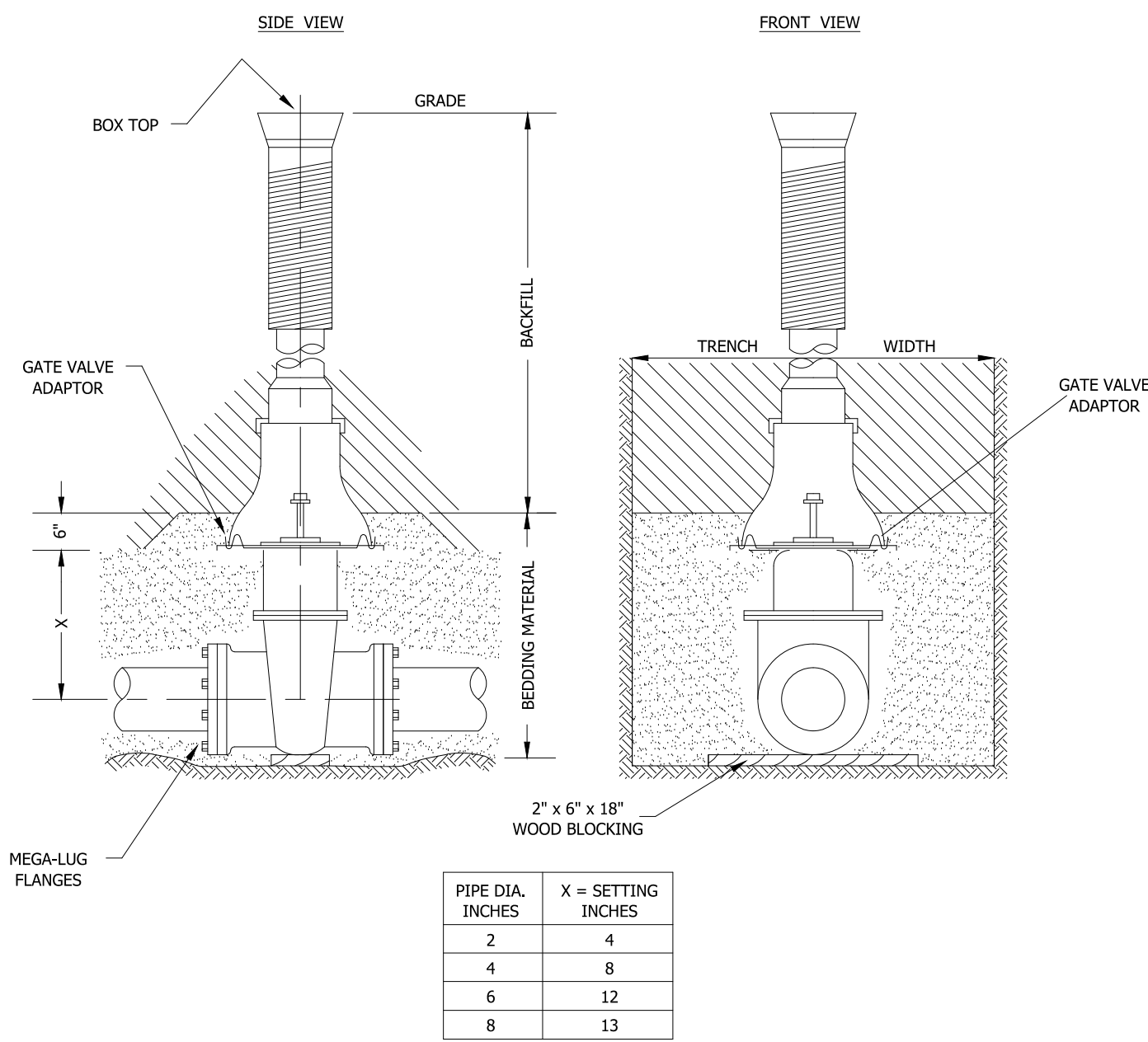
DATE OF ISSUANCE	
06.17.2024 DRAFT	
NO	REVISION DATE
SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	193806785

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

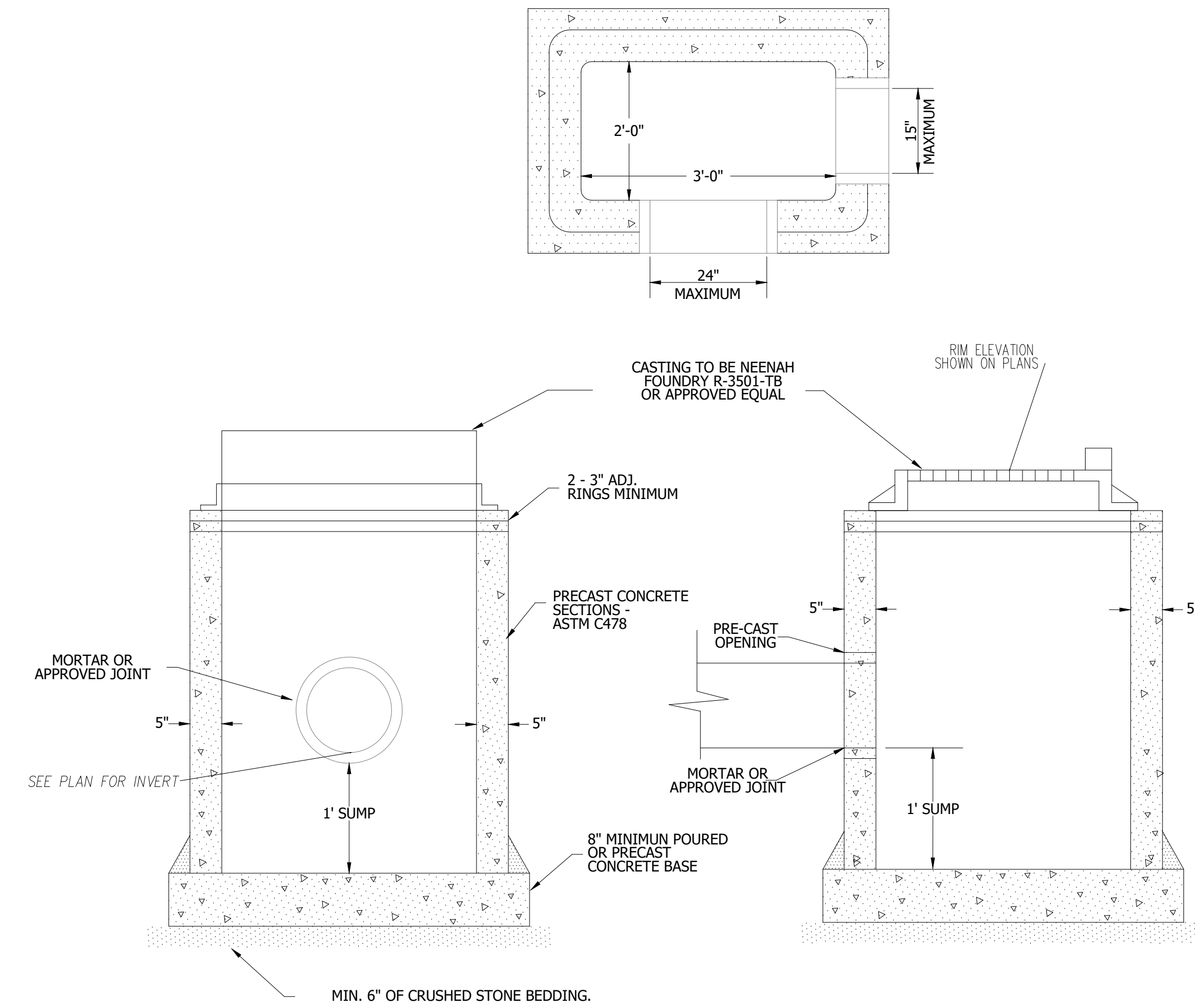


NOTES: STAINLESS OR CORE BLUE BOLTS REQUIRED FOR ALL MECHANICAL FITTINGS. ANTI-CORROSIVE COATING REQUIRED ON ALL BOLTS AND TIE ROD ASSEMBLIES.

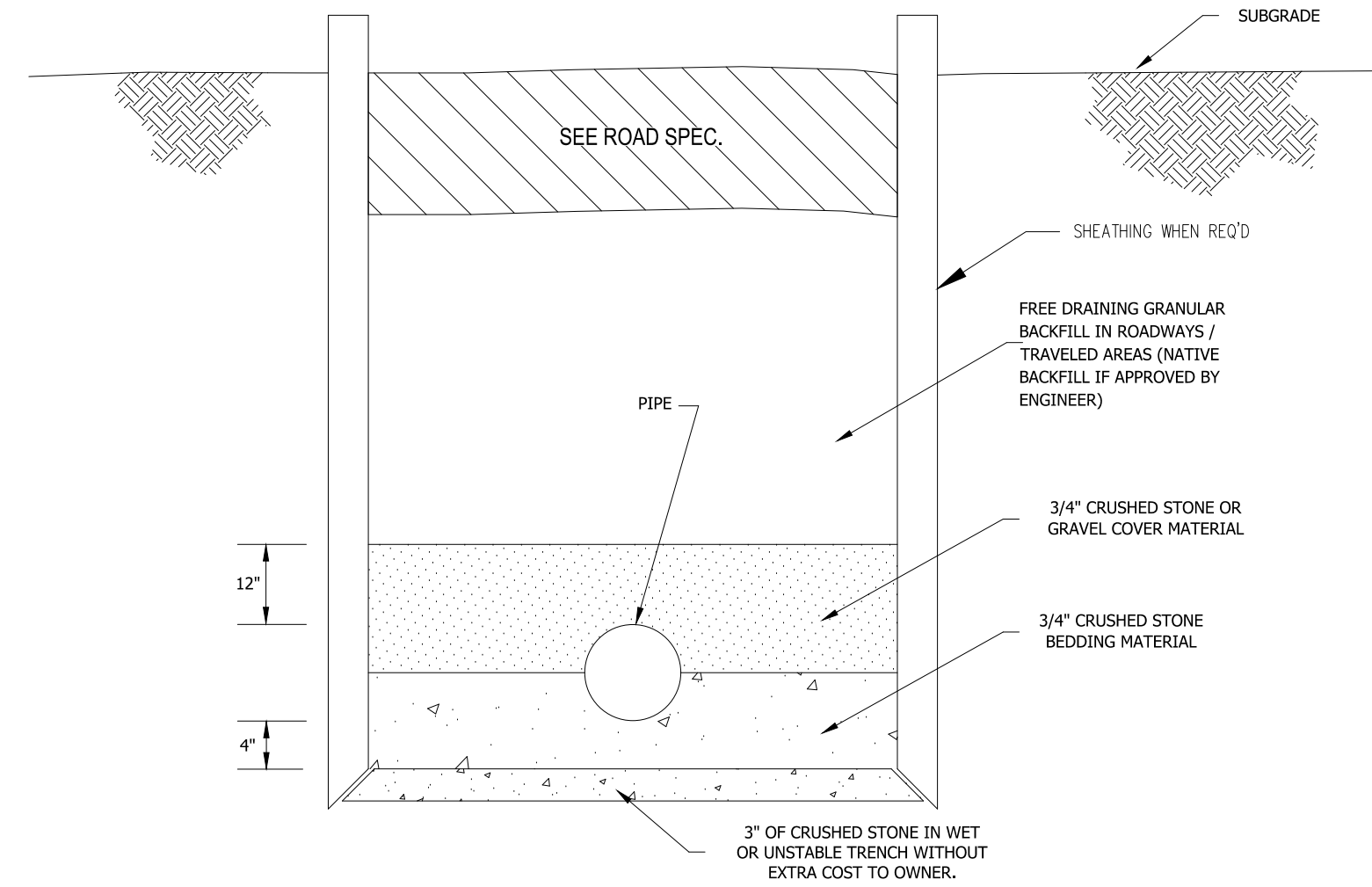
A N.T.S. WATER MAIN WET TAP



B N.T.S. GATE VALVE FOR WATER SERVICE



C N.T.S. STORM CATCH BASIN - 2'x3'



ROAD BACKFILL IN EXISTING OR PROPOSED ROADS SHALL BE COMPACTED TO 95% STANDARD PROCTOR.

BEDDING MATERIAL SHALL BE CRUSHED STONE CHIPS MEETING THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE SIZES	PERCENTAGE PASSING BY WEIGHT
1-INCH	100
3/4 INCH	90-100
3/8 INCH	20-55
No. 4	0-10
No. 8	0-5

COVER MATERIAL SHALL CONSIST OF CRUSHED BANK-RUN GRAVEL. THIS MATERIAL SHALL SUBSTANTIALLY CONFORM TO THE FOLLOWING GRADATION REQUIREMENTS.

SIEVE SIZES	PERCENTAGE PASSING BY WEIGHT
1-INCH	100
3/4 INCH	85-100
3/8 INCH	50-80
No. 4	35-65
No. 40	15-30
No. 200	5-15

NOTE:
 • BURIED DEPTHS VARY, SEE UTILITY PLAN FOR SEWER AND WATER DEPTHS.
 • TRACER WIRE SHALL BE INSTALLED FOR ALL NON-METALLIC SEWER AND WATER PIPING PER SPS 382.30 REQUIREMENTS.

GRANULAR MATERIAL SHALL CONSIST OF UNIFORM GRADED DURABLE PARTICLES. SUFFICIENT FINE MATERIAL SHALL BE PRESENT TO FILL ALL THE VOIDS OF THE COURSE MATERIAL. SOME FINE CLAY OR LOAM PARTICLES ARE DESIRABLE, BUT THEY SHALL NOT BE PRESENT IN THE FORM OF LUMPS. GRANULAR BACK FILL SHALL CONFORM TO THE FOLLOWING GRADATION REQUIREMENTS:

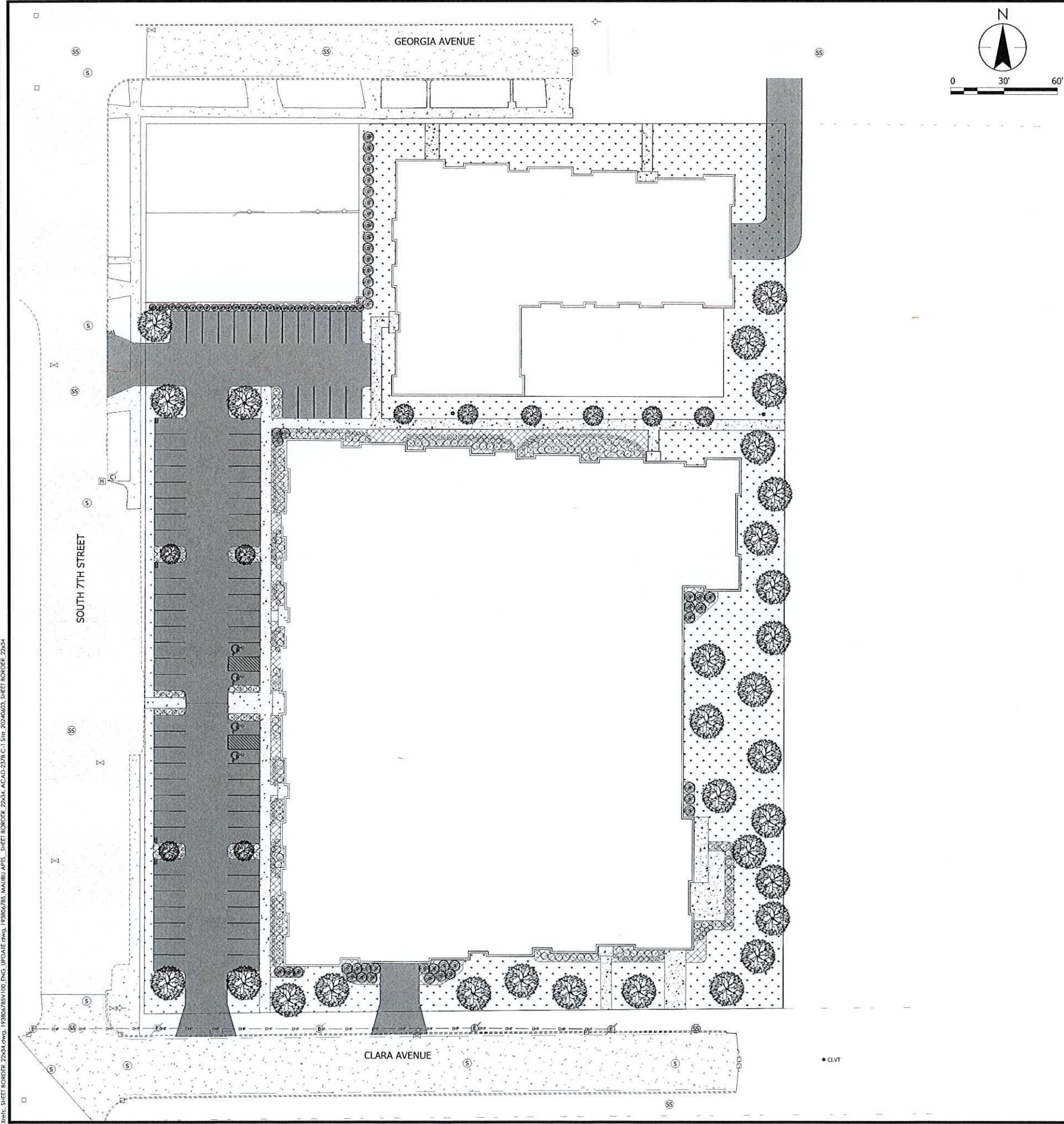
SIEVE SIZES	PERCENTAGE PASSING BY WEIGHT
2-INCH	95-100
No. 4	65-60
Finer than No. 200	35-65

D N.T.S. PIPE BURIAL BACKFILL SPECIFICATIONS

Plot Date: 06/17/2024 - 5:58pm
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THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING.

Plot Date: 06/24/2024 3:26pm
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 Title: 19380785_SHEET_BORDER.dwg



LANDSCAPE REQUIREMENTS for PHASE 1
 ZONING: UR:12

BUILD FOUNDATION
 50 Landscaping Points per 100ft Building Foundation
 Foundation Length 1,219 LF
 Required Landscaping Points ~~6095~~ **610 pts**

DEVELOPED LOTS
 20 Landscaping Points per 1,000 SQ FT of Gross Floor Area
 Gross Floor Area 238,812 SQ FT
 Required Landscaping Points ~~4777~~ **4777 pts**

STREET FRONTAGES
 50 Landscaping Points per 100ft Street Frontage
 North Property Line 240 LF
 South Property Line 360 LF
 West ~~500~~ Property Line 400 LF
 Required Landscaping Points 500 PTS

PAVED AREAS
 100 Landscaping Points per 10,000 SQ FT of Paved Area or 20 Parking Stalls
 Parking Stalls 77
 Pavement Area 33,292 SQ FT
 Required Landscaping Points ~~400~~ **385 pts**

TOTAL PHASE 1 REQUIRED LANDSCAPING PTS = ~~6330~~ 6272 pts

TYPE	QUANTITY	SPECIES - COMMON NAME	SPECIES - LATIN NAME	POINT VALUE	TOTAL
CLIMAX TREE (2" CALIPER IN MULCH CIRCLE)	30	WHITE OAK	Quercus alba	75	2250
TALL DECIDUOUS TREE (1 1/2" CALIPER IN MULCH CIRCLE)	10	SUGAR CONE MAPLE	Acer saccharum	75 750	750 750
TALL EVERGREEN TREE (5' TALL IN MULCH CIRCLE)	45	EASTERN WHITE PINE	Pinus strobus	40	1800
MEDIUM EVERGREEN TREE (4' TALL IN MULCH CIRCLE)	31	AMERICAN ARBORVITAE	Thuja occidentalis	20	620
MEDIUM EVERGREEN SHRUB (18" TALL/WIDE)	56	PYRAMIDAL ARBORVITAE	Thuja occidentalis	5	280
LOW EVERGREEN SHRUB (12" TALL/WIDE)	70	WISCONSIN JUNIPER	Juniper horizontalis	3	210
TALL DECIDUOUS SHRUB (36" TALL)	88 ?	NANNYBERRY	Viburnum cassinoides	5	440
MEDIUM DECIDUOUS SHRUB (24" TALL)	150 ?	AMERICAN HAZELNUT	Corylus americana	3	450
MULCH BED	0			0	0
TURF SOO	0			0	0
TOTAL					6350

Approved with noted corrections and attached conditions.
 Janet M. Wellman
 7.5.2024

Item 9.

Stantec
 312 N. 5th Avenue
 Sheboygan, WI 54235
 www.stantec.com

LANDSCAPE PLAN
 SHEBOYGAN KITE BEACH
 MALIBU APARTMENTS, LLC
 SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE
 06.17.2024 DRAFT

NO REVISION DATE

SURVEY STANTEC
 DRAWN MIA
 DESIGNED PJH
 CHECKED SRW
 APPROVED PJH

PROJ. NO. 19380785

SHEET NO. **C50** 113



knothe • bruce
ARCHITECTS

Phone: 8401 Greenway Blvd., Suite 900
608.836.3690 Middleton, WI 53562

ISSUED
Issued for Review - November 21, 2023

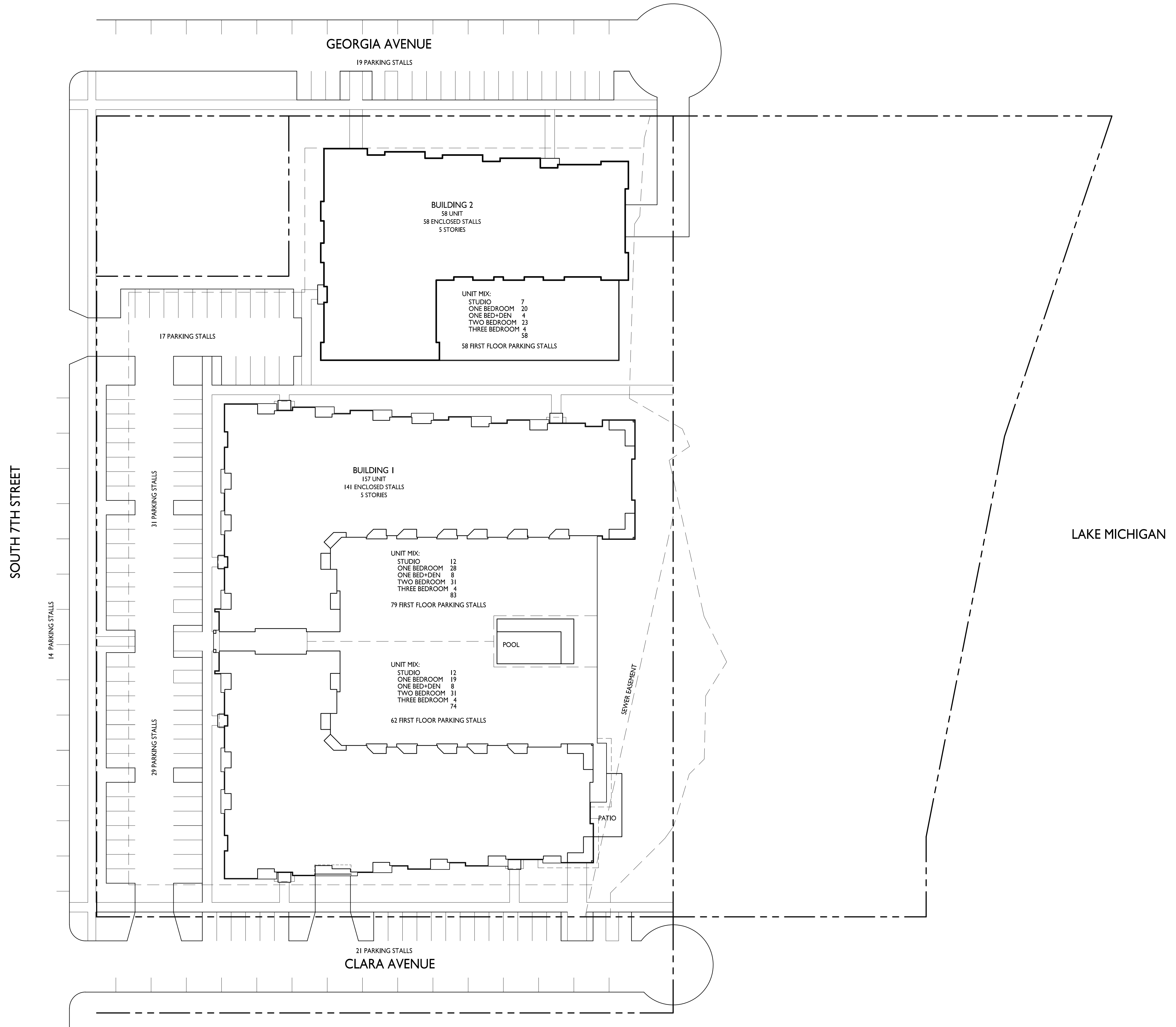
PROJECT TITLE
**Buswell Sheboygan
Development**

1403-1435 S 7th Street
Sheboygan, Wisconsin
SHEET TITLE
Site Plan

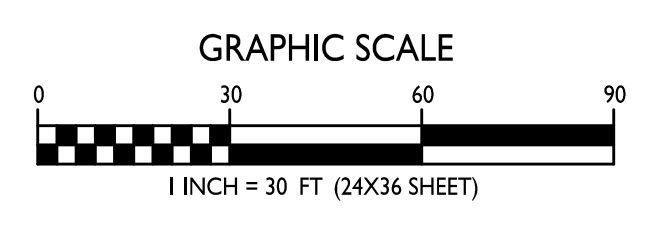
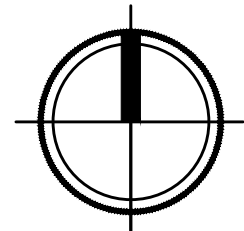
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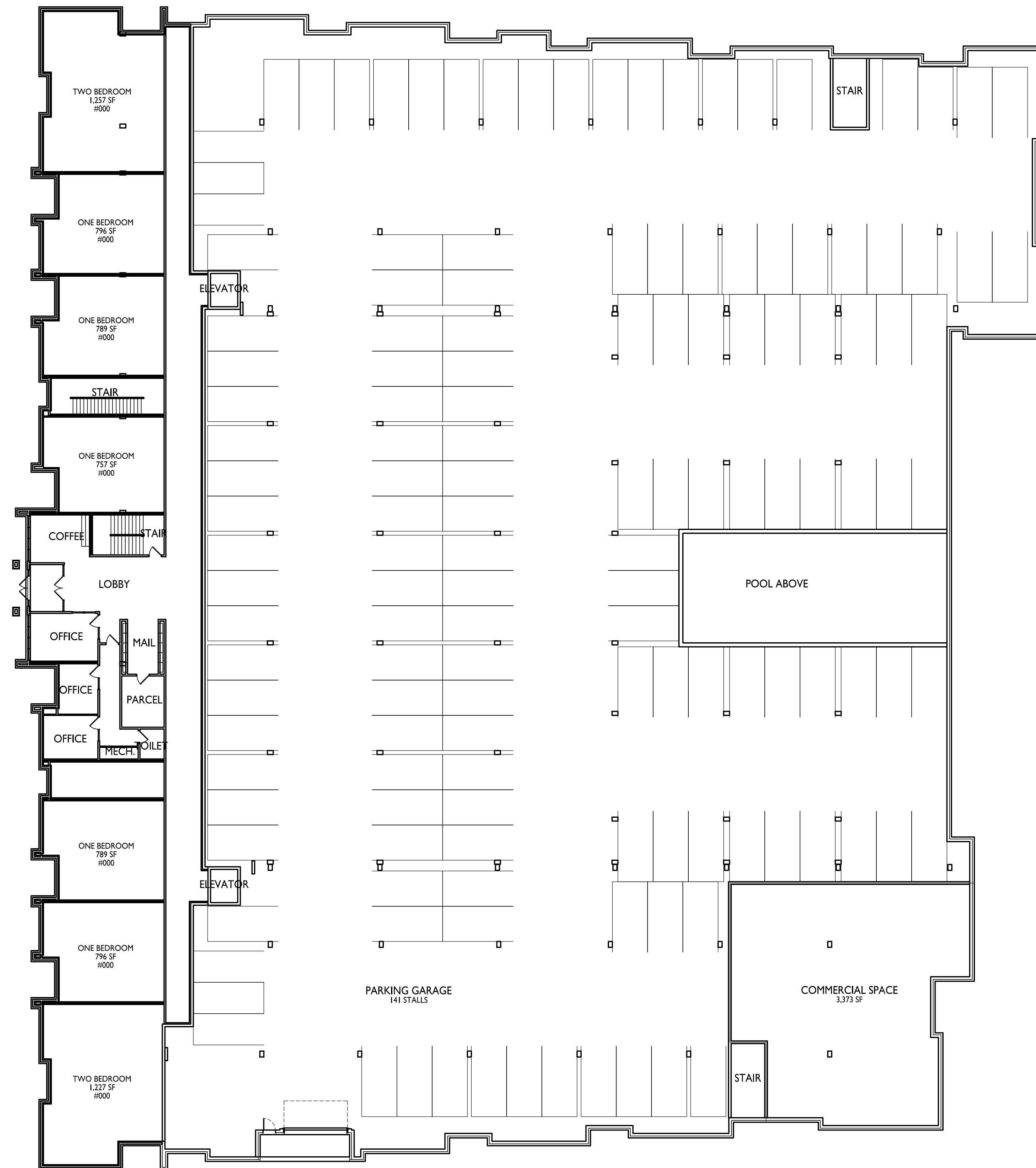
C-1.1

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I SITE PLAN - OPTION I
C-1.1 1" = 30'-0"





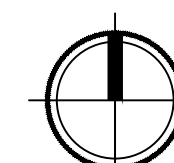
ISSUED
Issued for GDP-SIP Approval - June 18, 2024

PROJECT TITLE
**Buswell Sheboygan
Development**

1403-1435 S 7th Street
Sheboygan, Wisconsin
SHEET TITLE
First Floor Plan

SHEET NUMBER

1
FIRST FLOOR PLAN
A-1.1 1/16" = 1'-0"



A-1.1

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PROJECT TITLE
**Buswell Sheboygan
Development**

1403-1435 S 7th Street
Sheboygan, Wisconsin
SHEET TITLE
Second Floor Plan

SHEET NUMBER

1 SECOND FLOOR PLAN
A-1.2 1/16" = 1'-0"





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ARCHITECTS

Phone: 8401 Greenway Blvd., Suite 900
608.836.3690 Middleton, WI 53562

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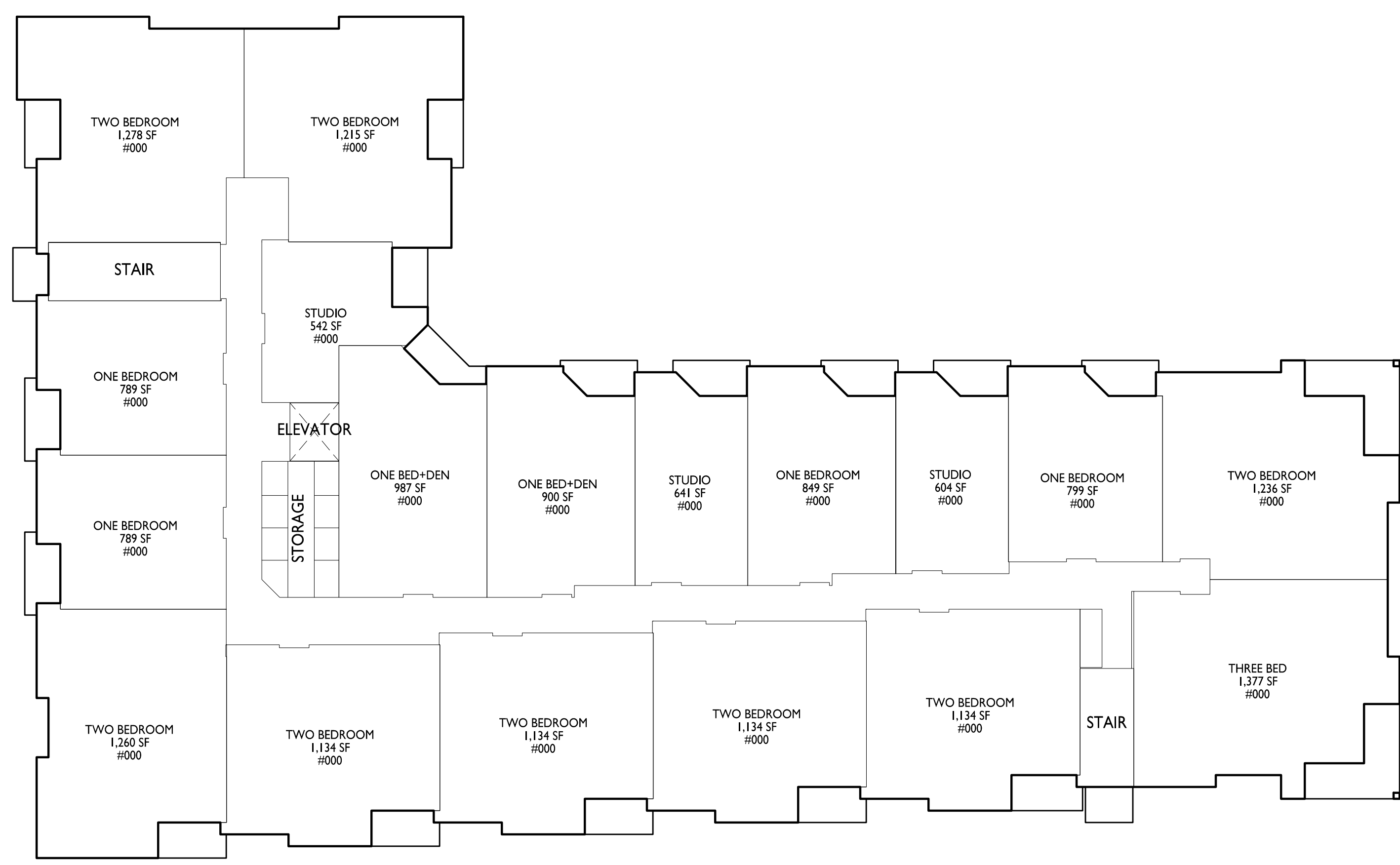
PROJECT TITLE
Buswell Sheboygan
Development

1403-1435 S 7th Street
Sheboygan, Wisconsin
SHEET TITLE
Third, Fourth, and
Fifth Floor Plan

SHEET NUMBER

A-1.3

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1
A-1.3
THIRD, FOURTH,
AND FIFTH FLOOR PLANS
1/16" = 1'-0"

MALIBU

APARTMENTS, LLC



SHEBOYGAN, WISCONSIN





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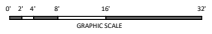


WEST ELEVATION

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE SLP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANEL	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRUFF BLUE - DREAM COLLECTION
04	BRICK VENEER	KOHLER BRICK	CAPT COOL - HERITAGE TEXTURE
05	CAST STONE	CORNOVA STONE	ALABASTER GROUND FACE
06	CAST STONE VENEER	CORNOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
09	ROOF ALUCAN	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	ANDERSEN	WHITE
11	STANDING STEAM METAL ROOF	CMG	SILVER
12	ALUMINUM STOREFRONT	TBD	WHITE
13	GLASS BALCONY	TBD	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTEED	SILVER BIRCH



SOUTH ELEVATION



Exterior Elevations

Buswell Sheboygan Development
1403-1435 S. 7th Sreet Sheboygan, Wisconsin



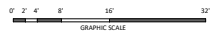


EAST ELEVATION

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT BIRCH
02	COMPOSITE PANELS	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRUE BLUE - DREAM COLLECTION
04	BRICK VENEER	ACEK BRICK	CAPE COD - HERITAGE TEXTURE
05	CAST STONE	CORDOVA STONE	ALABASTER GROUND FACE
06	CAST STONE VENEER	CORDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENT	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	HANDBERSON	WHITE
11	STANDING SEAM METAL ROOF	EMG	SILVER
12	ALUMINUM STOREFRONT	TED	WHITE
13	GLASS RAILING	TED	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTEED	SILVER BIRCH



NORTH ELEVATION



Exterior Elevations

A-2.2

Buswell Sheboygan Development
1403-1435 S. 7th Sreet Sheboygan, Wisconsin

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WEST INTERIOR ELEVATION

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANEL	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRUE BLUE - DREAM COLLECTION
04	BRICK VENEER	ACME BRICK	CAPE COD - HERITAGE TEXTURE
05	CAST STONE	CONDOVA STONE	ALABASTER GROUND FACE
06	CAST STONE VENEER	CONDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENT	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	ANDERSEN	WHITE
11	STANDING SEAM METAL ROOF	CMG	SILVER
12	ALUMINUM STOREFRONT	TBO	WHITE
13	GLASS RAILING	TBO	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTEED	SILVER BIRCH



EAST INTERIOR ELEVATION



WEST ELEVATION

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANELS	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRUE BLUE - DREAM COLLECTION
04	BRICK VENEER	ACME BRICK	CAPE COD - HERITAGE TEXTURE
05	EAST STONE	CORDOVA STONE	ALABASTER GROUND FACE
06	EAST STONE VENEER	CORDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	WARRANTY COLUMNS	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENT	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	HANDBLIND	SUNSET
11	STANDING SEAM METAL ROOF	CMSS	SILVER
12	ALUMINUM STOREFRONT	TBD	WHITE
13	GLASS BALCONY	TBD	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTEED	SILVER BIRCH



SOUTH ELEVATION



Colored Exterior Elevations

A-2.4

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EAST ELEVATION

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANELS	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRUE BLUE - DREAM COLLECTION
04	BRICK VENEER	ACME BRICK	CAPE COD - HERITAGE TEXTURE
05	EAST STONE	CORDOVA STONE	ALABASTER GROUND FACE
06	EAST STONE VENEER	CORDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	WARRANTY COLUMNS	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENT	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	HANDBLIND	SINTE
11	STANDING SEAM METAL ROOF	CMAS	SILVER
12	ALUMINUM STOREFRONT	TBD	WHITE
13	GLASS BALCONY	TBD	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTEED	SILVER BIRCH



NORTH ELEVATION



Colored Exterior Elevations

A-2.5

Buswell Sheboygan Development
1403-1435 S. 7th Sreet Sheboygan, Wisconsin

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WEST INTERIOR ELEVATION

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANELS	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRILE BLUE - DREAM COLLECTION
04	BRICK VENEER	ACME BRICK	CAPE COD - HERITAGE TEXTURE
05	EAST STONE	CORDOVA STONE	ALABASTER GROUND FACE
06	EAST STONE VENEER	CORDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	WARRANTY COLUMNS	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENTS	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	PANDERSON	SUNSET
11	STANDING SEAM METAL ROOF	CMAS	SILVER
12	ALUMINUM STOREFRONT	TBD	WHITE
13	GLASS BALCONY	TBD	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTEED	SILVER BIRCH



EAST INTERIOR ELEVATION



Colored Exterior Elevations

A-2.6

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