


	CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE	Fee: \$250.00 _____ Review Date: _____ Zoning: _____
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Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Applicant Name (Ind., Org. or Entity) Zach Fitzgerald		Authorized Representative	
Mailing Address 4619 Ashley Lane		City Sheboygan	State WI
Email Address zach@ifonlypretty.com		Phone Number (incl. area code) (515) 318-3183	
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Applicant Name (Ind., Org. or Entity) Blue Moon Studio Inc		Contact Person Margaret (Peggi) Thiesenhusen	
Mailing Address 834 North Water Street		City Sheboygan	State WI
Email Address peggi.bluemoonstudio@mac.com		Phone Number (incl. area code) 920-946-4149	
SECTION 3: Project or Site Location			
Project Address/Description 834 N. Water Street Sheboygan, WI 53081			Parcel No.
SECTION 4: Proposed Conditional Use			
Name of Proposed/Existing Business:		IF Only Pretty LLC - Jewelry	
Existing Zoning:			
Present Use of Parcel:			
Proposed Use of Parcel:			
Present Use of Adjacent Properties:			
SECTION 5: Certification and Permission			
Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.			
Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.			
Name of Owner/Authorized Representative (please print) Zachary Fitzgerald		Title IF Only Pretty Owner	Phone Number 515-318-3183
Signature of Applicant 		Date Signed 1-17-2023	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.



12 January 2023

Conditional Use Application Narrative

Proposed New Owner:

Zach & Ina Fitzgerald
1310 Wisconsin Ave.
Sheboygan, WI 53081

Designer:

Jake Jacobsen, AIA
Distinctive Design Studio
215 Pine St.
Sheboygan Falls, WI 53085

Contractor:

TBD

General Facility Information

Parcel 59281106720

Legal Description:

ORIGINAL PLAT PRT OF LOTS 7,8,9 & 10 BLK 123 DESC AS FOLLOWS: COM AT SE COR LOT 12 BLK 124, TH S 01°36'52" E 151.56' TO INTERSECTION OF N 11TH ST AND SW LN OF N WATER ST, TH N 43°57'31" W 16.04', TH S 88°35'36" W 41.28', TH S 40°44'53" W 112' TO A MEANDER COR LOCATED N 46°44'53" E 6' M/L FROM WATER'S EDGE OF SHEBOYGAN RIVER, TH N 46°21'42" W 174.58' TO A MEANDER COR, N 27°14'23" W 316.38' TO THE POINT OF BEGINNING, TH N 27°07'42" W 136.00' TO A MEANDER COR LOCATED N 88°36'33" E 3' M/L FROM THE WATER'S EDGE OF THE SHEBOYGAN RIVER, TH N 88°36'33" E 23.18', TH N 68°52'43" E 48', TH S 30°18'37" E 116', TH S 58°59'31" W 75.23' TO P.O.B.

Lot Area: 0.208 acres

Zoning: NC (Neighborhood Commercial)

Adjacent properties zoning: All neighboring properties are zoned UR-12 (Urban Residential)

Setbacks: Existing structure appears to be conforming – no additions are anticipated.

Current Use

Photo Studio and Residence

Existing use and conditions:

Building is currently occupied by a photography studio on the main floor and residence on the lower floor. The site and building are in good condition. The building masonry walls with a cast in place, CMU and concrete beam floor at the main floor. The floor does have a few areas with unprotected openings that will be infilled as part of the renovations, and at least two stairwell doors will require replacement with proper, fire-rated units.

Approximately 14 parking spots existing – no ADA spots currently designated

Executive summary:

The applicant is proposing to purchase the existing 17,000 square foot facility, which will allow their company to remain within the City of Sheboygan. The facility will undergo upgrades to provide a useful base of operations for the new owner on the main floor, while the lower floor will be utilized as a residence. The facility is currently being utilized in the same fashion, but the current owner never completed the CUP to allow this usage. Based on city inspection(s), the new owner will provide upgrades as needed to ensure code compliance for these separated uses. The residence in the lower level will be for the new owner's family only. There will be no rental living space withing the building. No garbage dumpster will be required as to service this business. If a dumpster is required at a future date, an approved enclosure will be provided.

Proposed Use:

Main floor – Business (jewelry production and office)
Lower Level – Residential (single family)

Proposed Parking:

14 spaces – no changes anticipated

Proposed alterations to building:

Exterior Building Upgrades:

Replace existing door at north stairwell, with outswing door, and provide appropriately sized landing at exit to allow safe egress. New owner proposes replacing the existing glass block window infill with storefront units to allow daylighting with energy efficient glazing. This project may be phased to based on budgetary constraints. New owner also proposes a “deck” along the riverside (west) façade to provide exterior space along the river. This structure will be fully supported by the existing building and will not extend closer to the water than similar structures at the neighboring building.

Interior Improvements:

- Code required alterations to include a new fire-rated door at top of south stairs
- Secure existing doors at west (river) side of the building to preclude operation. The doors currently open to approximately three feet above the rip-rap along the shoreline, and as such, comprise a fall hazard.

Future construction:

- Additional bedroom(s) and bathroom within the south portion of the building.
 - It is understood that these bedrooms will require alternate egress platforms to exit through new, operable windows into the alley adjacent to the south face of the building.

How we got started

IF Only Pretty LLC was founded in 2012 by Ina and Zach Fitzgerald. Created out of a desire to make unique and customized jewelry, Ina and Zach started IFOP and instantly built a connection with their customers through the stories told on their bracelets.

What once started as a hobby for family and friends, we eventually entered into craft shows and is now one of the highest sought out personalized bracelets.

We live in Sheboygan, Wisconsin where we cut, hand-stamp, shaped, finish and seal every bracelet in our basement studio.

We've overcome a lot of obstacles to bring you sustainable jewelry. What makes it better?

- **USA Made & Designed** - 100% handmade in the USA
- **Solid Metal** - We only use 100% real solid metal, **no** plated metals
- **Handmade** - We take raw metal and perform over 200 processes before you receive it.
- **Living Wage** - Every one of our employees are paid above a living wage, even employees that are just starting out.

Only 100% Real Metal

- Our jewelry is much tougher to make because **we only use real solid metal**. Because of this, we perform a lot of extra processes to make your jewelry. Each piece of jewelry takes roughly 6 hours to make.
- We developed a food grade coating that protects your skin from becoming green without the harmful environmental impact.
- Real metal does tarnish, however it's extremely easy to clean and lasts about forever. You can easily clean it with any pot and pan cleaner.

Why we don't use plated metals

- Plating is an extremely thin layer of metal put on the outside of cheap metal or plastic. It is awful for the environment and contain cyanide and other toxic chemicals.
- The plating also wear off as early as a few months. as soon as it wears off, you have to either go to a jeweler and pay to have it re-plated or throw it away.

Sustainably sourced raw materials

- 100% of our cuff and bracelet metals are sourced in the USA.
- Necklace chain is sourced in either the USA or Italy.

Due to high demand, orders placed will arrive after Christmas.



IF only pretty | Be Proud of Your Story

All Products Cuffs Necklaces Earrings Ready to Ship Information ▾

👤 🔍 🛒 0



Collections



Cuffs



Necklaces



Chain Bracelets



Earrings

REAL Metals
NO Greenskin
100% Handcrafted



Master Plan for Phased Improvements:

Any code required updates will be completed immediately.

Exterior;

- South egress door & landing renovations as described above –2023
- Exterior window renovations as described above – 2023-2024
- Deck along riverfront - 2024

Interior;

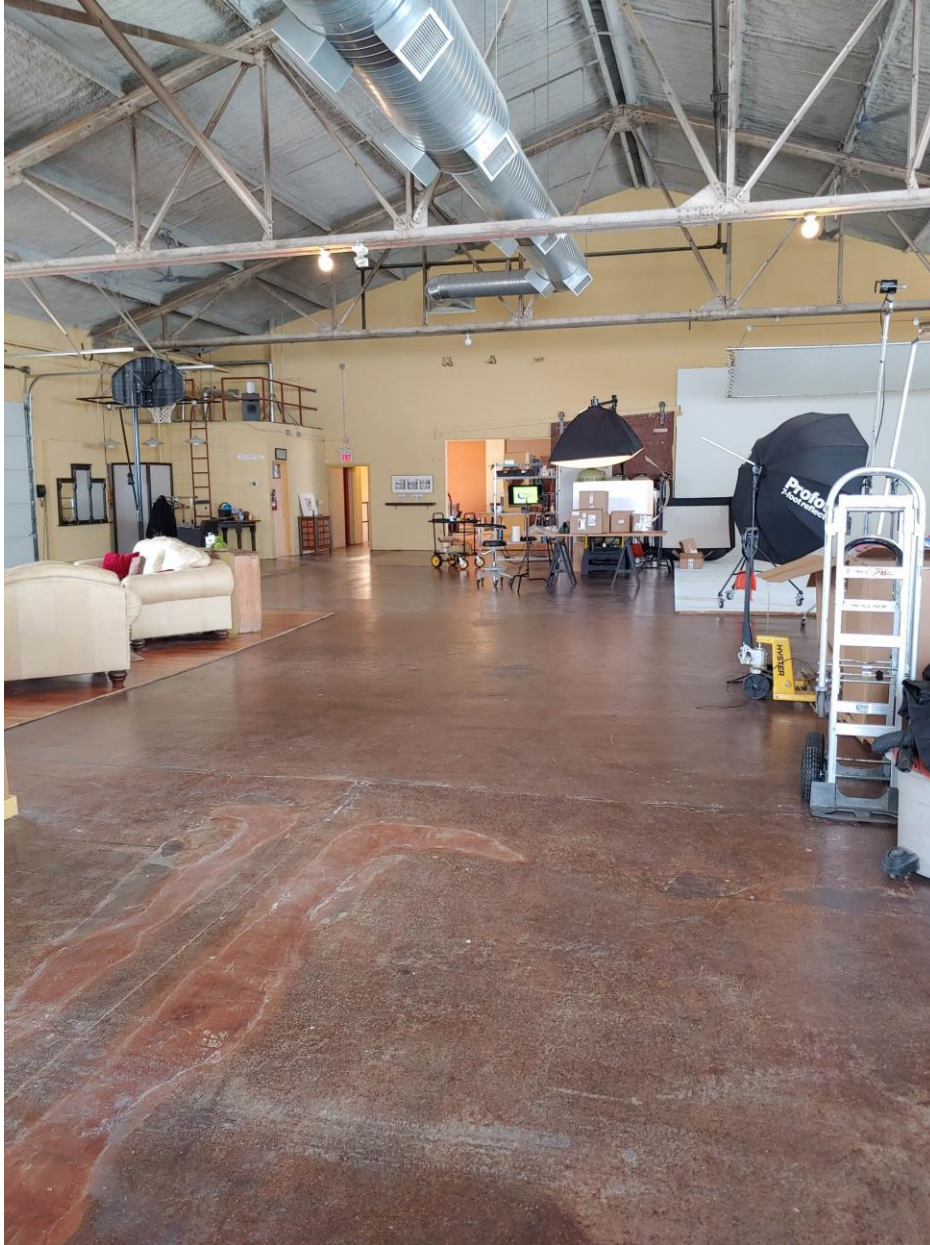
- Additional bedroom(s) with alternate egress windows at south – 2024
- Additional bathroom at south - 2025



Proposed New southwest Elevation showing storefront glazing in existing openings.



Existing east elevation at entry



Main Level looking south



Dining area in lower level.



Proposed “deck” location at west side.

FEASABILITY STUDY

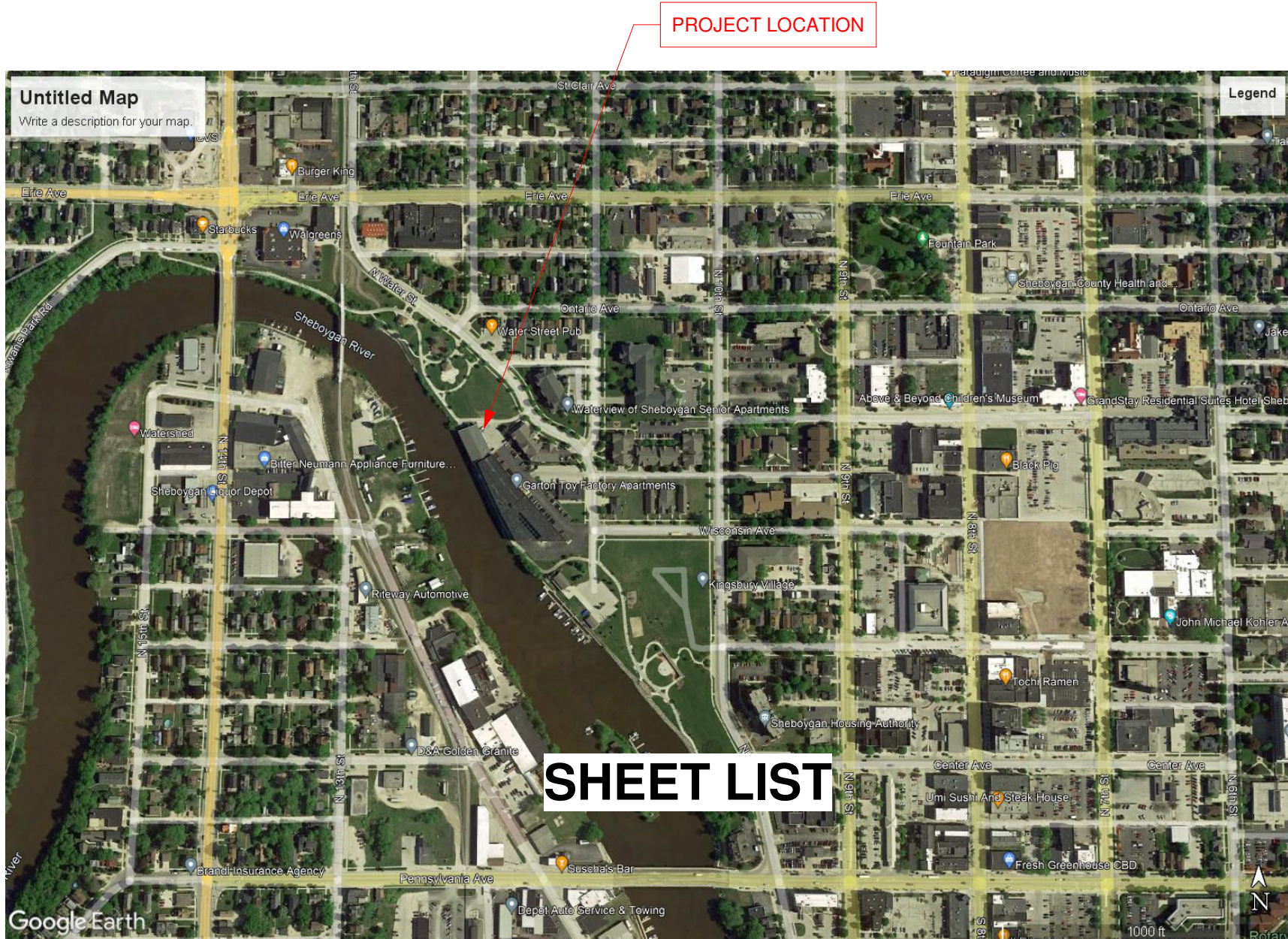
FITZGERALD

PROJECT INFORMATION

PROJECT ADDRESS

834 NORTH WATER ST.
SHEBOYGAN, WI

PROPOSED NEW OWNERS:
ZACH & INA FITZGERALD
1310 WISCONSIN AVE
SHEBOYGAN, WI 53081



SHEET LIST

SYMBOLS LEGEND

SHEET NUMBERING	SECTION REFERENCE	COLUMN GRID DESIGNATORS	PARTITION TYPE SYMBOL
DETAIL REFERENCE	DETAIL NUMBERING	LINE TYPE IDENTIFICATION	WALL IDENTIFICATION
ELEVATION REFERENCE	ELEVATION SYMBOLS	OPENING IDENTIFICATIONS	ROOM IDENTIFICATION

SHEET #	SHEET NAME	REVISION		--	--	--	--	--	--	--	--	--	
		#	DATE										
GENERAL													
G000	COVER	1											
CIVIL													
C100	SITE PLAN	1											
ARCHITECTURAL													
A100	LOWER LEVEL PLAN	1											
A101	FIRST FLOOR PLAN	1											
A200	EXTERIOR ELEVATIONS	1											

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WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB.

WHEN PLANS ARE PRINTED ON 12 x 18 PAPER, DRAWINGS ARE REDUCED BY 50%.

#	DATE	DESCRIPTION
1		PLANNING DOCS

FEASABILITY STUDY

834 NORTH WATER ST.
SHEBOYGAN, WI

PROJECT #: 22-071

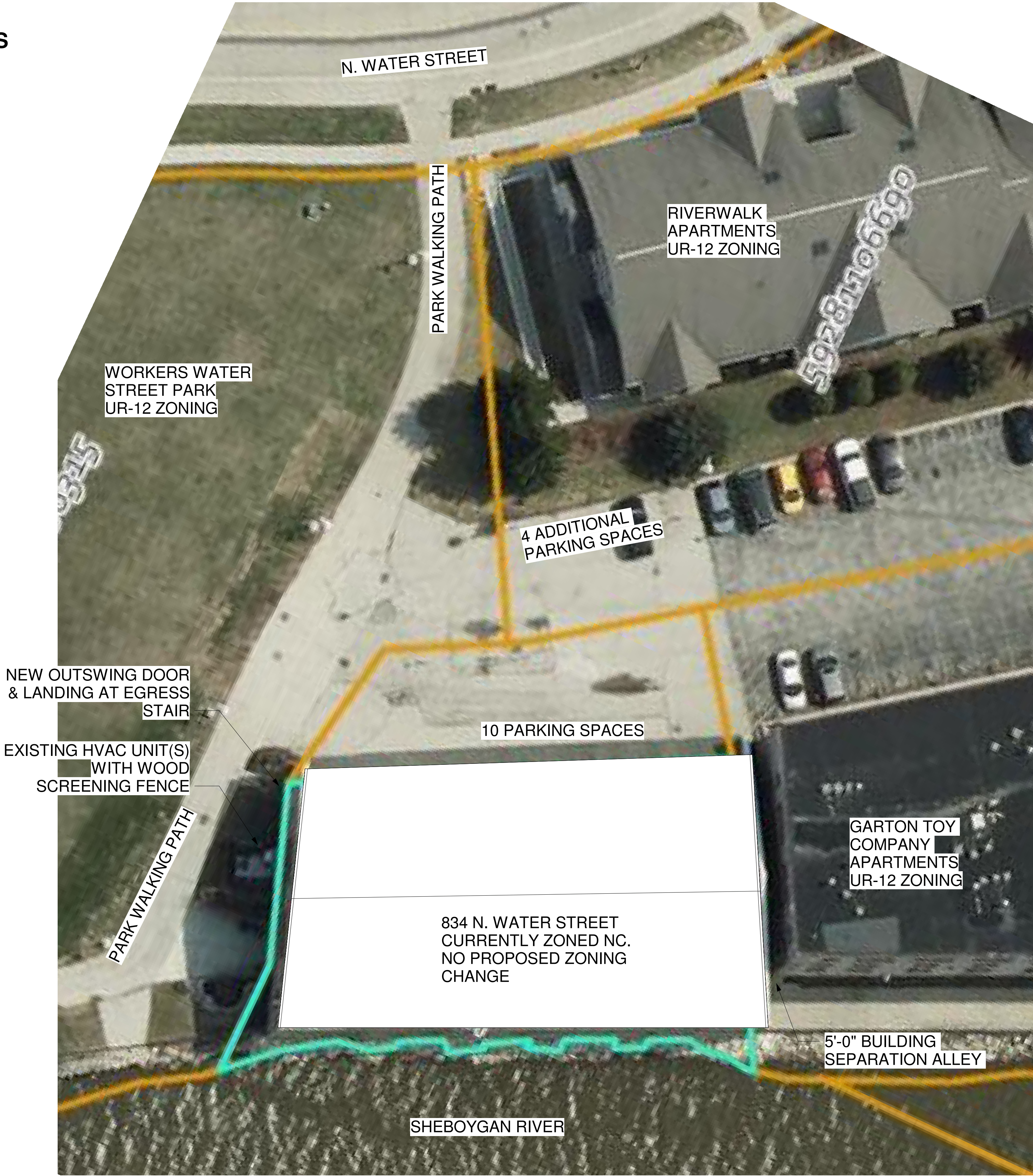
PRELIMINARY PLANS

COVER

G000

NC ZONING NOTES

SETBACK REQUIREMENTS:
FRONT/STREET - 0'
SIDE, RESIDENTIAL - 0'
REAR - RESIDENTIAL - 20'
PAVEMENT - 10'
MINIMUM BUILDING SEPARATION - 0'
MAXIMUM BUILDING HEIGHT - 20'
PROJECT FACILITY CURRENTLY MEETS ALL
ZONING SETBACK REQUIREMENTS. NO
CHANGES TO EXISTING BUILDING AREA,
LANDSCAPE OR SIGNAGE IS PROPOSED OR
ANTICIPATED.



1 SITE PLAN - SITE PLAN
1/16" = 1'-0"

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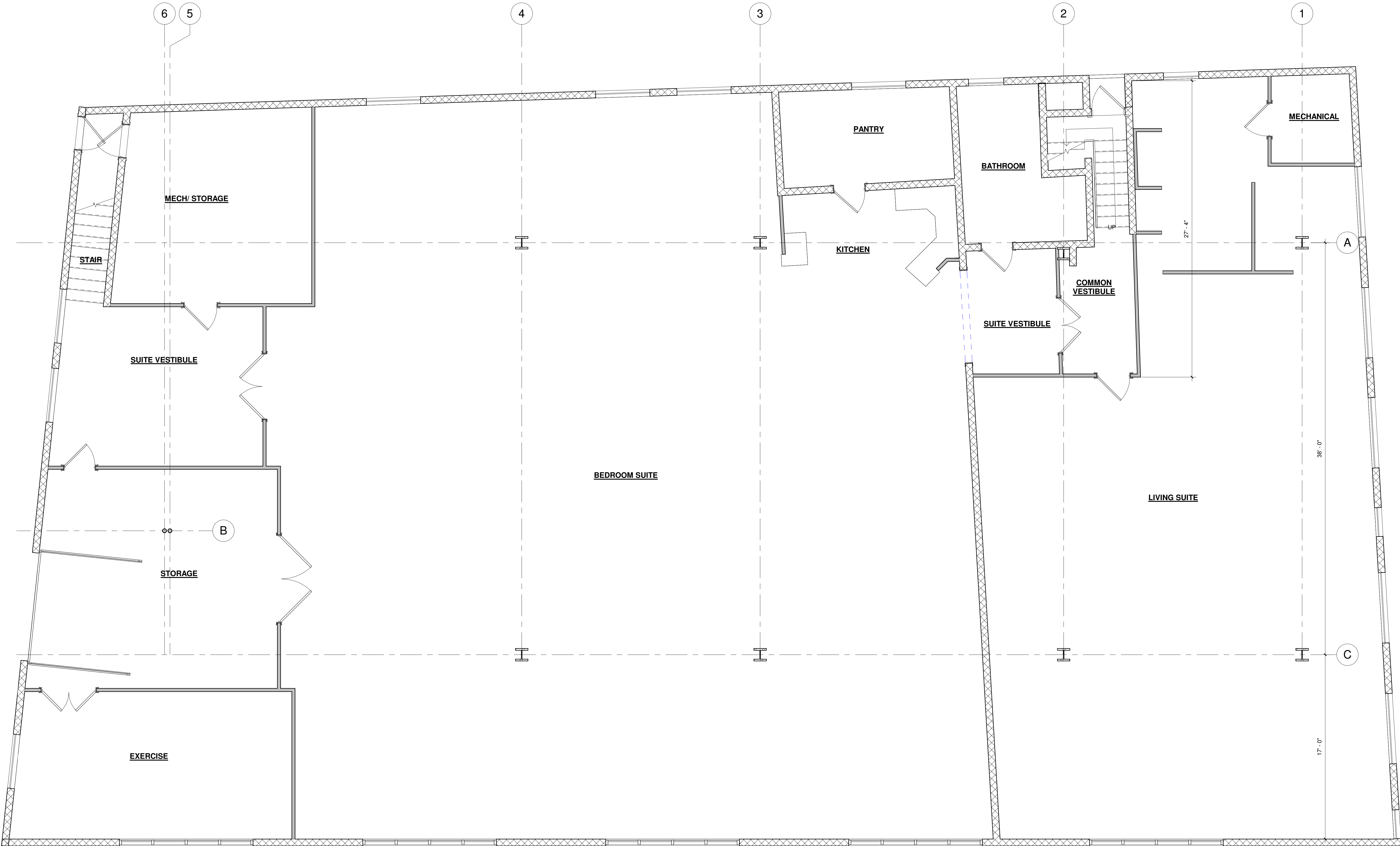
FEASABILITY STUDY

834 NORTH WATER ST.
SHEBOYGAN, WI
PROJECT #: 22-071

PRELIMINARY PLANS

SITE PLAN

C100



1 FLOOR PLAN - EXISTING LOWER LEVEL
1/4" = 1'-0"

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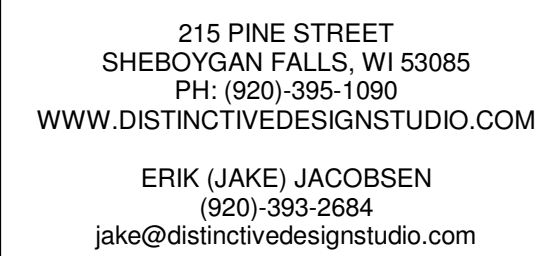
834 NORTH WATER ST.
SHEBOYGAN, WI

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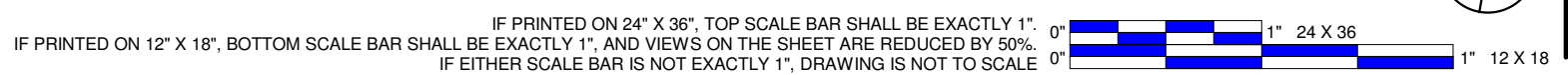
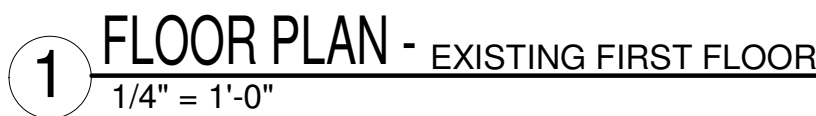
PRELIMINARY PLANS

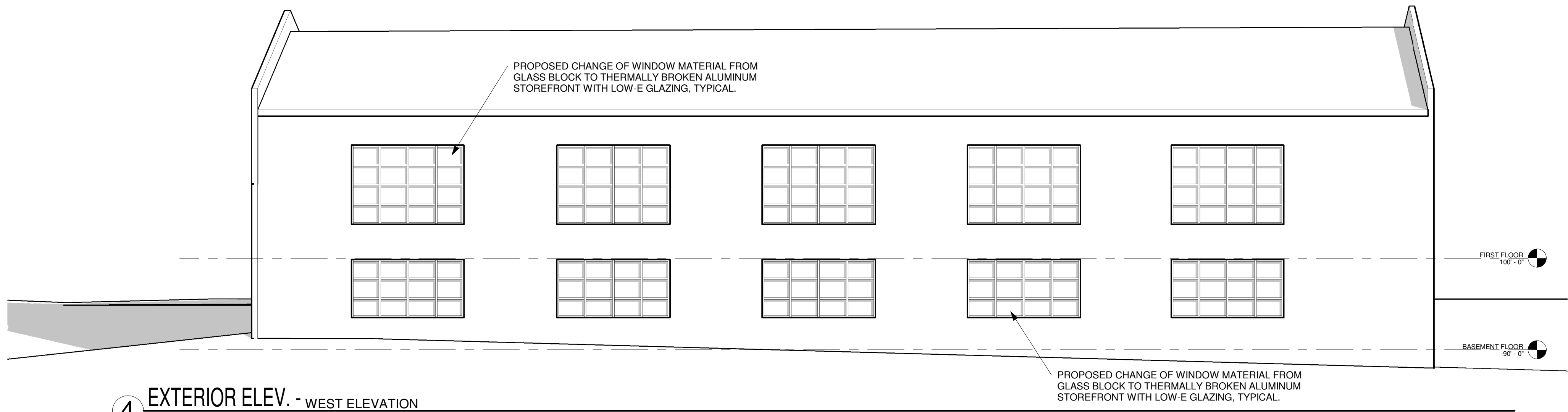
LOWER LEVEL PLAN

A100

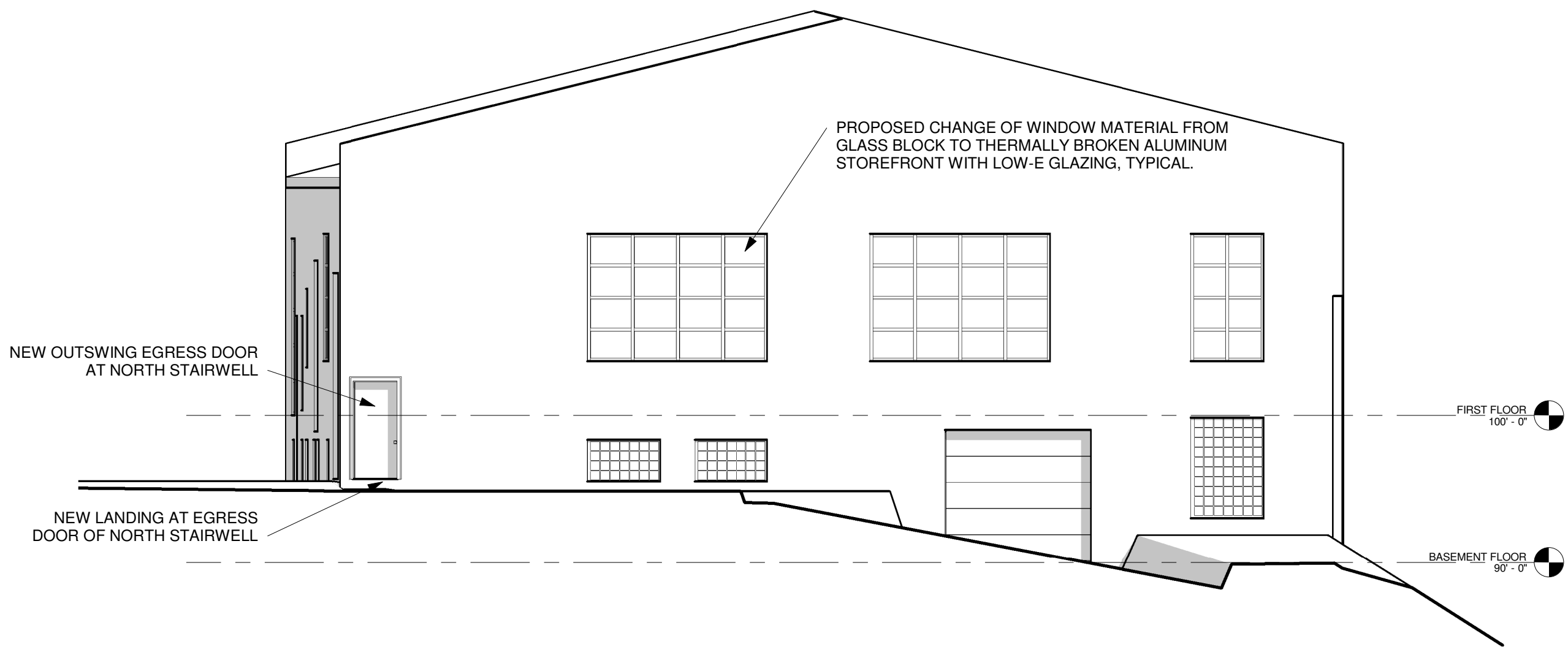


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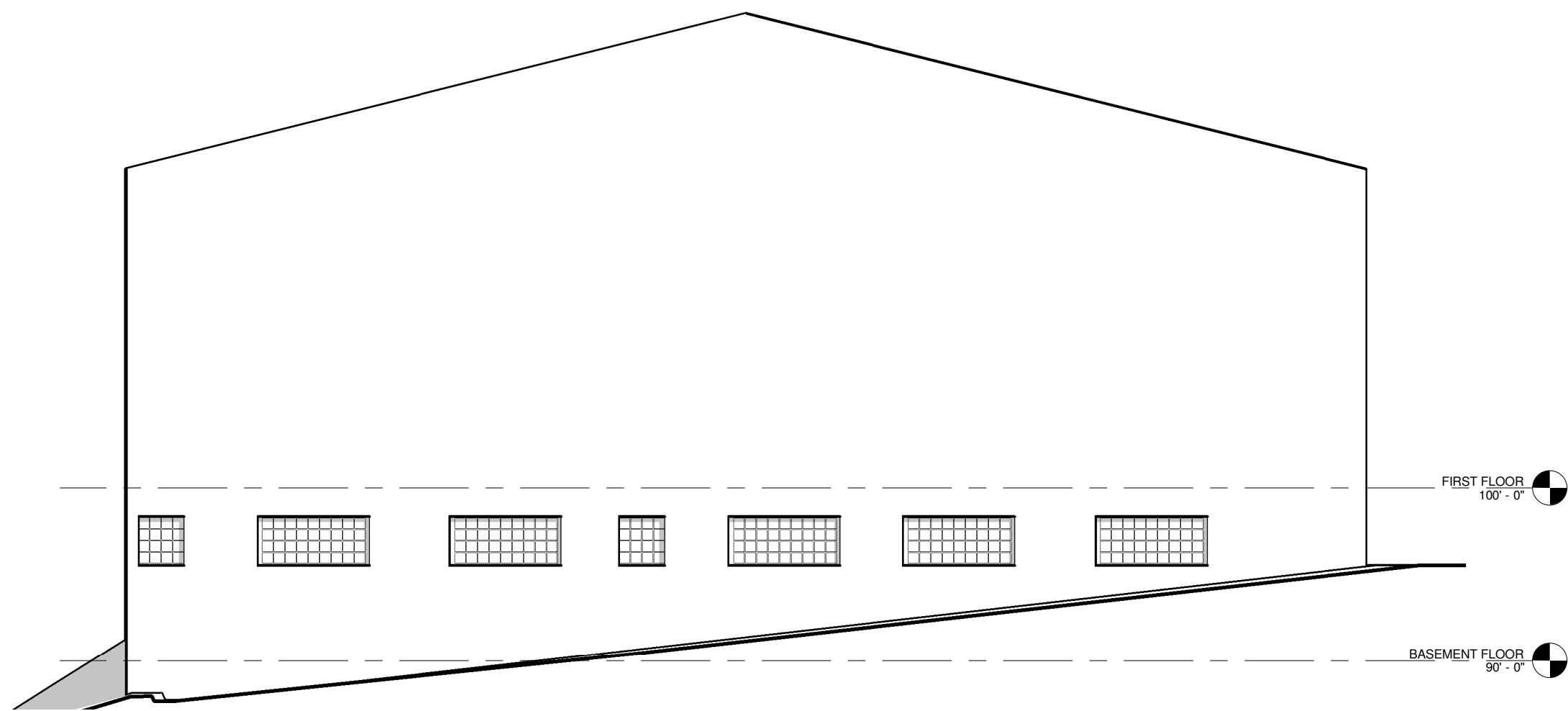
A101



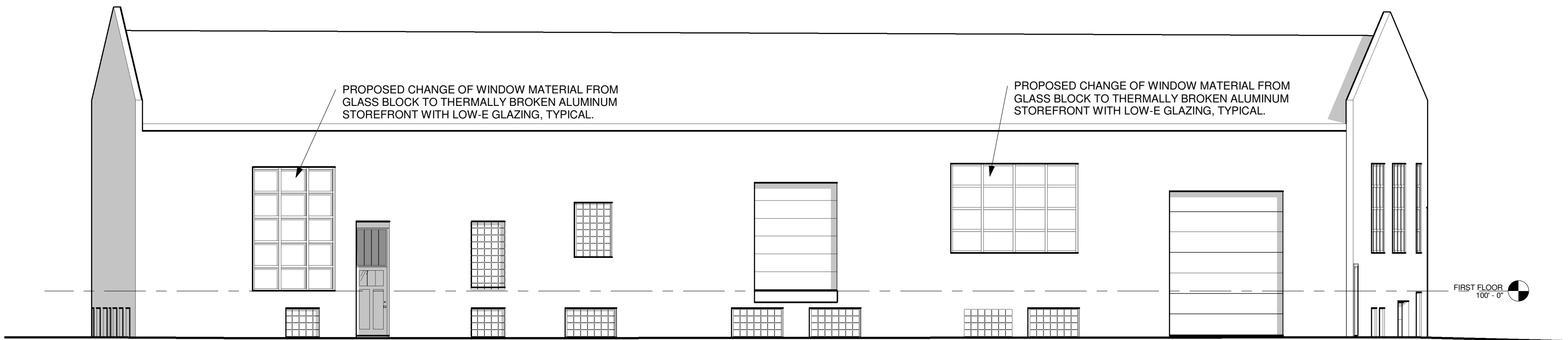
4 EXTERIOR ELEV. - WEST ELEVATION
1/8" = 1'-0"



3 EXTERIOR ELEV. - NORTH ELEVATION
1/8" = 1'-0"



2 EXTERIOR ELEV. - SOUTH ELEVATION
1/8" = 1'-0"



1 EXTERIOR ELEV. - EAST ELEVATION
1/8" = 1'-0"

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PRELIMINARY PLANS

EXTERIOR ELEVATIONS

A200