

PARCEL NO. 59281322060

MAP NO. _____

ZONING CLASSIFICATION: PUD

Office Use Only

APPLICATION/FILE NO. _____

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE PERMIT

**Requirements Per Section 15.905
Revised May 2018**

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Dr. Toby Watson - South Pier Family Investments

ADDRESS: 2808 Kohler Memorial Drive E-MAIL: tobytylerwatson@gmail.com

PHONE: (920) 918-7377 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: South Pier Riverfront Townhouses - Phase 2

ADDRESS OF PROPERTY AFFECTED: South Pier Drive

LEGAL DESCRIPTION: SP - Riverfront Condominiums Phase 2 Expansion Area

(taken from Sheboygan County Land Records Web Portal)

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: N/A

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING
ANY CHANGES TO THE EXISTING USE: Residential – 3-Story Townhomes

Refer to the enclosed Precise Implementation Plan for additional information.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS
OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED
OPERATION OR USE: _____

Please refer to the enclosed Precise Implementation Plan for setback requirement throughout as
proposed on sheet A201 SITE PLAN.

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? This development is focused on creating another

opportunity for residential ownership within the South Pier Development District.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? _____

This in-fill development will fill an empty lot and will utilize an existing entrance. Please refer to the proposed site plans for both options associated with the proposed change to the City right-of-way in the northeast corner of the site. We are looking for approval of both options at this time and will coordinate the property line changes with the city.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? _____

The surrounding area includes multiple residential developments. Please refer to the enclosed precise implementation plan for additional information.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. _____

Yes.

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: South Pier Family Investments, Inc. - Dr. Toby Watson

ADDRESS: 2808 Kohler Memorial Drive, Suite 1 **E-MAIL:** tobytylerwatson@gmail.com

ARCHITECT: Abacus Architects, Inc. - Eric Fleischman

313 N. Plankinton Ave. Suite 208,
ADDRESS: Milwaukee 53203 **E-MAIL:** efleischman@abacusarchitects.net

CONTRACTOR: J&N Construction

ADDRESS: 1628 Calumet Drive, Sheboygan **E-MAIL:** nick@sheboyganbuilder.com

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE

5-17-22

DATE

Toby Watson

PRINT ABOVE NAME

Office Use Only

ACTION BY CITY PLAN COMMISSION

DATE OF MEETING: _____

APPROVED: _____ CONDITIONALLY APPROVED: _____ DENIED: _____

CONDITIONS

SIGNATURE: _____
Chairperson, City Plan Commission or
Representative Dept. of City Development

DATE: _____

NOTES

Permit may be revoked without notice if misrepresentation of any of the above information or attachments is found to exist.

Permit shall expire within one (1) year from date of approval unless substantial work has commenced.

Permit is null and void if issued in error. It is understood that any permit issued on this application will not grant any right or privilege to erect any structure or to use any permits for any purpose that is prohibited by the City Zoning Ordinance or any other State or local laws.

Changes in the plans or specifications submitted in the original application shall not be made without prior written approval of the City Plan Commission.

Check sidewalk grades from City Engineering Department with finished site grade.

South Pier Riverfront Condominiums

South Pier Drive

Sheboygan, WI

May 17, 2022

Precise Implementation Plan

Introduction

South Pier Riverfront Condominiums is a two-phase development. Phase 1 has already been completed, but is included in this precise implementation plan. Phase 1 included a new 4-story building, featuring 21 dwelling units with an enclosed on-grade parking structure. This building was constructed on the western portion of the site, whereas Phase 2 will occur on the eastern portion of the site. Phase 2 will involve a complimentary 3 story building, featuring 6 townhouse style dwelling units with an enclosed two-car garage for each individual unit.

The site is nestled between South Pier Drive, the Sheboygan River, The Reiss River Condominiums, and the public Fish Shanty. The project site is a partially developed city owned parcel of land. The development is focused on creating another opportunity for residential ownership within the South Pier Development District. The buildings have been designed to meet the South Pier Design Standards.

The Project Team

South Pier Riverfront Townhouses is headed by Dr. Toby Watson, President of South Pier Family Investments, Inc. The team members and their contact information is as follows:

Developer:

Dr. Toby Watson, President
South Pier Family Investments, Inc.
2808 Kohler Memorial Drive, Suite 1
Sheboygan, WI 53081
920-918-7377

Architect:

Eric Fleischman
Abacus Architects, Inc.
313 N. Plankinton Ave., Suite 208
Milwaukee, WI 53203

Civil Engineer:

Joel Van Ess, PE
Abacus Architects, Inc.

1135A Michigan Ave.,
Sheboygan, WI 53081
920-452-4444

Construction Manager:
Nicholas Kartes
J&N Construction
1628 Calumet Drive,
Sheboygan, WI 53081
920-889-7541

The Project Site

Approved for Phase 2 were the South Pier Riverfront Condominiums, after budgetary issues, this P.I.P. form is revised to show 6 new Townhouse units, and will continue to be constructed on a City of Sheboygan owned parcel of land referred to as “Lot 2 South Pier Plat”. The site is approximately 43,905 square feet (1.008 acres) in size. Prior to the construction of Phase 1, the site was used as a public parking lot. The portion of the lot where Phase 2 will occur is currently a relatively flat, grassed area. The site is fronted on the south by South Pier Drive, and the river walk of the Sheboygan River on the north. The parcel is bisected by a 35-foot wide public utility easement. The placement of the two buildings have taken this easement into consideration. The existing driveway located at the western end of the parcel is a “shared driveway” regulated by a perpetual access agreement between South Pier Riverfront Condominiums and Reiss River Condominiums.

Site improvements include new public and private sidewalks along South Pier Drive, along with landscaping integrated into the streetscape theme. The river side (rear of the site) will feature landscaping that will complement the “river walk” as it extends north and south from the site, including accent lighting for the large lawn area. Strong consideration shall also be given to use of boat slips along the length of the parcel at the river, for unit owners wishing to rent a boat slip in their “back yard”.

The proposed use of this site as a residential development complies with the comprehensive plan, as envisioned by the City of Sheboygan for the South Pier District.

Site unit density will be 27 units. This includes the 21 Phase 1 dwelling units, plus the 6 proposed Phase 2 dwelling units. Based on our site area of 1.008 acres, this will yield 27 units per acre.

Parking for the site will include both on-grade exterior and on-grade interior parking spaces. Phase 1 included 25 interior spaces and 21 of the 23 exterior spaces shown on the site plan, thus yielding a total existing parking stall count of 46 spaces. The construction of Phase 2 will include the 3 exterior on-grade exterior parking stalls as well as a two-car, on-grade parking garage for each individual unit, totaling 12 on-grade interior parking spaces, making a grand total of 15 parking spots, with only 12 required by the zoning code. The City of Sheboygan

Zoning ordinance states the requirement as a minimum of two parking stalls for each dwelling unit containing two or more bedrooms. The total proposed parking stall count will be 61 stalls.

The landscaping associated with this overall development was previously approved by the City during the permitting of Phase 1, and the same landscape plan will continue to be implemented during Phase 2 construction. The landscaping is an important component of the project's visual presentation and appeal. Please refer to the enclosed landscape plan for additional information.

The Building Plans

Phase 1 involved a grade level floor area of 11,757 square feet, and three identical floors above at approximately 11,265 square feet of floor area. The roof is used for mechanical equipment, screened from view. The total floor area of the Phase 1 building is approximately 45,552 square feet.

The Phase 2 building will have a grade level floor area of 6,348 square feet, and two identical floors above at approximately 6,348 of floor area. Unit 6, which will be occupied by the developer, will have a 442 square feet rooftop area, only accessible to the owner of the unit. The total floor area of the Phase 2 building will be approximately 22,180 square feet. The South Pier Riverfront Townhouses will have in interior on-grade parking garage for each individual unit with two floors of that unit above.

The building design complies with all of the applicable state and local building codes. It will be equipped with an automatic fire protection system.

5 units will have 4 bedrooms, 3-1/2 bathrooms and will be 3,012 square feet each 3-story townhouse unit. The sixth 3-story townhouse unit will be 3,707 total square feet, 3 bedrooms, and 3-1/2 bathrooms. Each unit will have an outdoor deck on the second and third floor. Each unit has its own individual entry.

Targeted unit sale prices will be \$499,000. The estimated approximate value of the Phase 2 building and site improvements will be approximately \$3,000,000.

Design Narrative

South Pier Townhouses – Phase 2

Sheboygan, Wisconsin

Abacus Architects, Inc.
May 16, 2022

Project No. 2022-12

The second building for South Pier Apartments (Phase 2) will be different in design but similar materials and colors to the first building. Phase 1 was 11,200 s.f. and 7 units per floor, Phase 2 will be a total of 6,350 s.f. per floor- 6 townhouse units with 3 stories. The total s.f. of the building including roof patios is 22,180 s.f. Each unit has a main entry and a two-car garage, with a shared parking lot and driveway area, as well as patio space on each floor. The building will be Construction Type VA (five-a) - constructed with wood stud walls, bottom chord bearing trusses, zip sheathing, slab on grade, and a geofoam base.

The materials on the exterior of the building will be very similar to the existing apartment building. The masonry base will match the existing masonry but will be a thin brick veneer. The siding will be the same color and LP Smartside system as Phase 1. The windows will be dark bronze sliding windows like the existing building. The new building will have decks similar in color and materials to the existing building but configured differently.

The building will be located and fit in the footprint that was previously approved as part of Phase 1. Site plan will include new parking locations and a driveway entry to each unit garage. The drives and landscaping will be adjusted to fit the new plans.

The landscaping plan intends to utilize the same amount and frequency of plants previously approved on June 26, 2019 with slight modification to the new driveway, by moving the plants south east towards South Pier Drive landscape buffer on the property line.

The total revised Phase 2 project value is estimated to be \$ 3 million with each of the six units being constructed at a cost of \$440,000 each and sold by the owner for \$499,000 each, with the sixth unit being occupied by the owner.

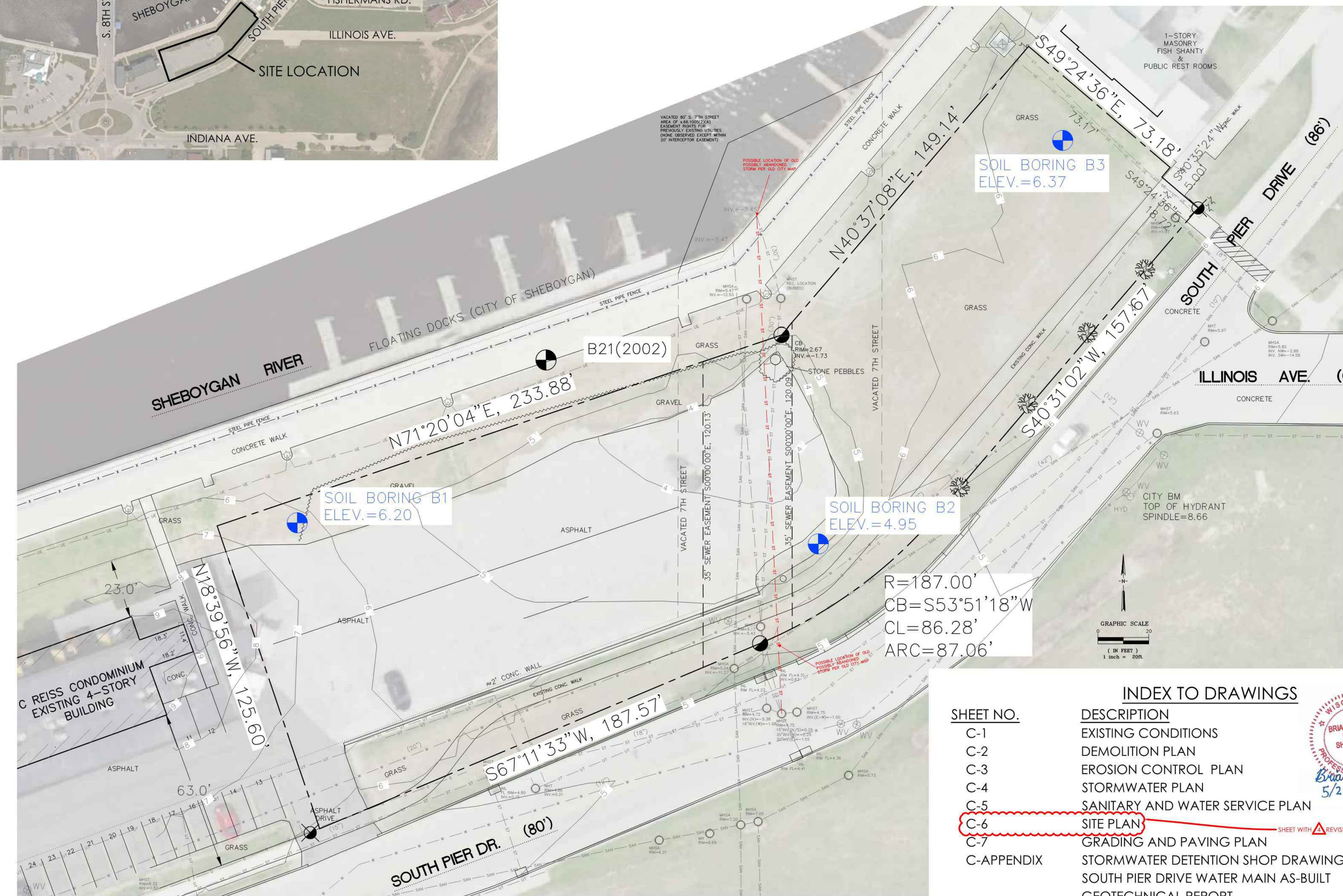
September 20, 2021

P:\2021-CONTRACTS\2021-53 South Pier Riverfront Condo\Phase - 2\Construction Documents\53 Site\2021-53 Design.dwg



SP RIVERFRONT CONDOMINIUMS

CITY OF SHEBOYGAN
SHEBOYGAN COUNTY, WISCONSIN



SHEET NO.	DESCRIPTION
C-1	EXISTING CONDITIONS
C-2	DEMOLITION PLAN
C-3	EROSION CONTROL PLAN
C-4	STORMWATER PLAN
C-5	SANITARY AND WATER SERVICE PLAN
C-6	SITE PLAN
C-7	GRADING AND PAVING PLAN
C-APPENDIX	STORMWATER DETENTION SHOP DRAWINGS FROM CONTECH SOUTH PIER DRIVE WATER MAIN AS-BUILT GEOTECHNICAL REPORT



BUILDING PLAN REVIEW SET

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NEW CONSTRUCTION FOR:
S P RIVERFRONT CONDOMINIUMS
SOUTH PIER DRIVE AT ILLINOIS AVENUE
SHEBOYGAN, WISCONSIN 53081

Project	Sheet Title
EXISTING CONDITIONS	
Revisions	
10/9/2019	
10/17/2019	
10/22/2019	
5/21/2020	
Date	07/15/2019
Job No.	18-160
Sheet No.	



REVISIONS:

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NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT CONDOMINIUMS
GROUND LEASE PARCEL TWO SHEBOYGAN, WISCONSIN. 53081

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

DRAWN BY: MDW
CHECKED BY: JRV

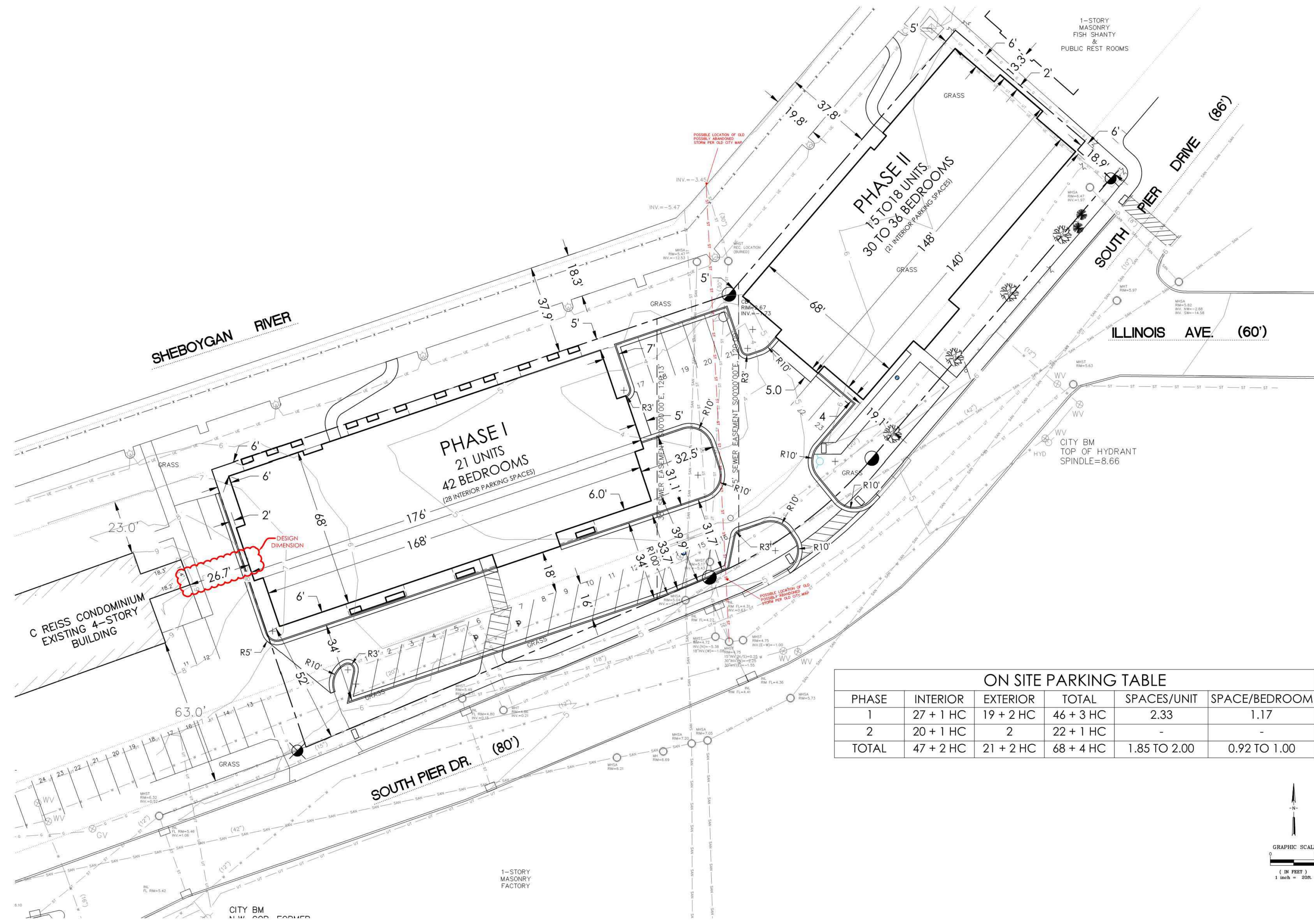
REFERENCE DRAWING

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202

PROJ. NO. 2021-53

PREVIOUSLY APPROVED DRAWING, FOR REFERENCE ONLY.

REFERENCE DRAWING



ON SITE PARKING TABLE					
PHASE	INTERIOR	EXTERIOR	TOTAL	SPACES/UNIT	SPACE/BEDROOM
1	27 + 1 HC	19 + 2 HC	46 + 3 HC	2.33	1.17
2	20 + 1 HC	2	22 + 1 HC	-	-
TOTAL	47 + 2 HC	21 + 2 HC	68 + 4 HC	1.85 TO 2.00	0.92 TO 1.00

BUILDING PLAN REVIEW SET

It's not simply Architecture, it's Kaz-i-tec-ture

David J. Kosciuszko, AIA
12910 West Waterford Avenue
Greenfield, Wisconsin 53228
Call: (414) 909-9489
Email: kaz@kazitecture.com
www.kazitecture.com

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S P RIVERFRONT CONDOMINIUMS
SOUTH PIER DRIVE AT ILLINOIS AVENUE
SHEBOYGAN, WISCONSIN 53081

Project:
Sheet Title:
SITE PLAN

Revisions:
10/9/2019
10/17/2019
10/22/2019
5/21/2020

Date: 07/15/2019
Job No: 18-160
Sheet No:

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SEPTEMBER 20, 2021
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1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (202) 452-4444 | 313 N. PLANKINOTON AVE SUITE 208 - MILWAUKEE, WI 53203

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CALL 811 OR 1-800-242-8511
TDD (FOR HEARING IMPAIRED) 1-800-542-2289
WIS. STATUTE 182.0175 (1974)
REQUIRES MAINT. OF 3 WORK DAYS
NOTICE REQUIRED 100% DISCOUNT
ALL UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED
UPON FIELD SURVEY OF VISIBLE ABOVE GROUND STRUCTURES,
RECORDED PLANS, OR LEGAL RECORD. MAINTAINING THE SUPERVISOR
HAS NOT LOCATED THE ACTUAL UNDERGROUND UTILITY. THE EXACT
LOCATION OF ALL UTILITIES MUST BE FIELD LOCATED AND MARKED
PRIOR TO BEGINNING ANY CONSTRUCTION.

GRADING NOTES

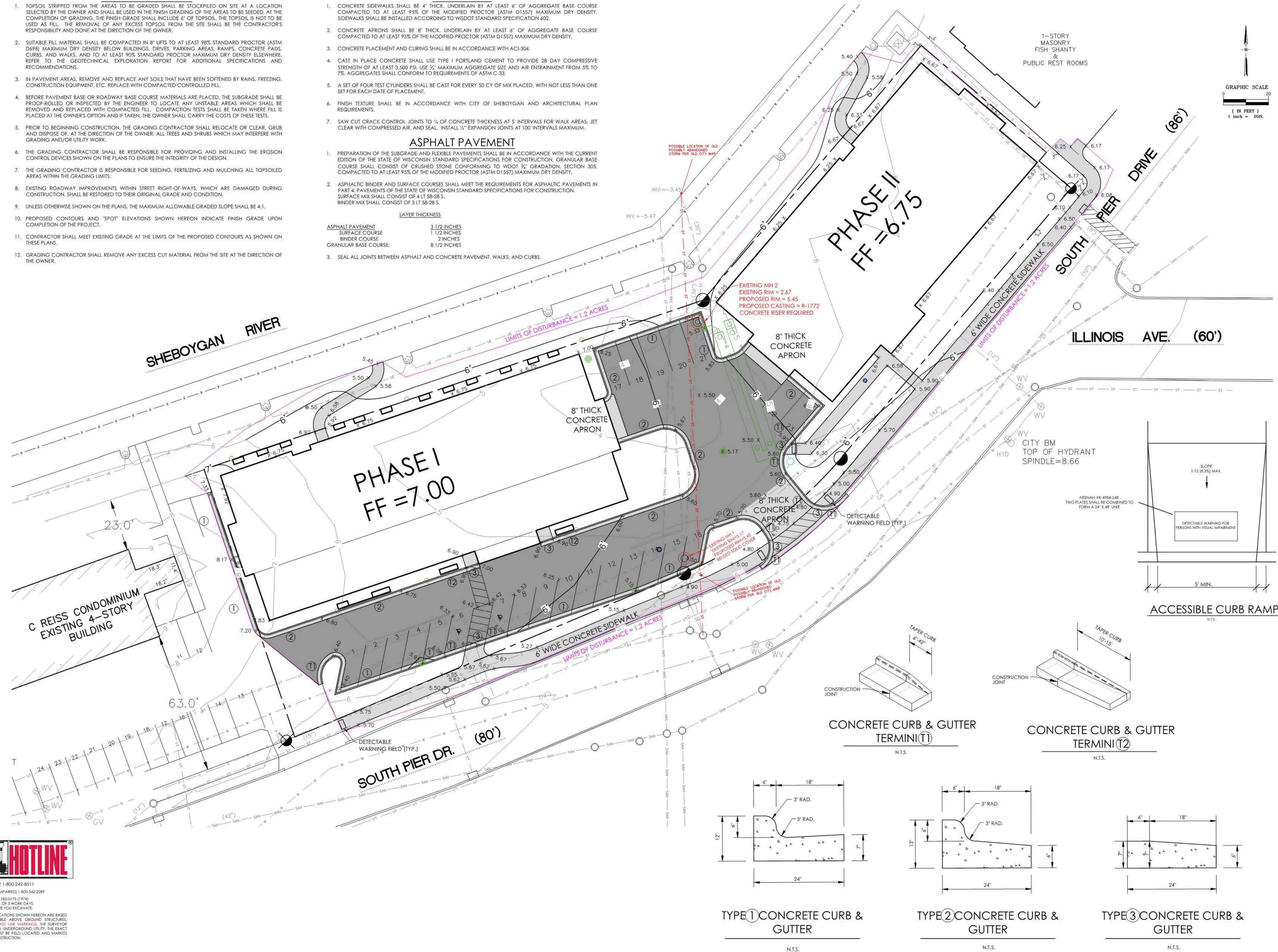
1. TOPSOIL STRIPPED FROM THE AREAS TO BE GRADED SHALL BE STOCKPILED ON SITE AT A LOCATION SELECTED BY THE OWNER AND SHALL BE USED IN THE FINISH GRADING OF THE AREAS TO BE SEED. AT THE COMPLETION OF GRADING, THE FINISH GRADE SHALL INCLUDE 6" OF TOPSOIL. THE TOPSOIL IS NOT TO BE USED AS FILL. THE REMOVAL OF ANY EXCESS TOPSOIL FROM THE SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND DONE AT THE DIRECTION OF THE OWNER.
2. SUITABLE FILL MATERIAL SHALL BE COMPACTED IN 8" LIFTS TO AT LEAST 98% STANDARD PROCTOR (ASTM D998) MAXIMUM DRY DENSITY BELOW BUILDINGS, DRIVES, PARKING AREAS, RAMPS, CONCRETE PADS, CURBS, AND WALKS, AND TO AT LEAST 90% STANDARD PROCTOR MAXIMUM DRY DENSITY ELSEWHERE. REFER TO THE GEOTECHNICAL EXPLORATION REPORT FOR ADDITIONAL SPECIFICATIONS AND RECOMMENDATIONS.
3. IN PAVEMENT AREAS, REMOVE AND REPLACE ANY SOILS THAT HAVE BEEN SOFTENED BY RAINS, FREEZING, CONSTRUCTION EQUIPMENT, ETC. REPLACE WITH COMPACTED CONTROLLED FILL.
4. BEFORE PAVEMENT BASE OR ROADWAY BASE COURSE MATERIALS ARE PLACED, THE SUBGRADE SHALL BE PROOF-ROLLED OR INSPECTED BY THE ENGINEER TO LOCATE ANY UNSTABLE AREAS WHICH SHALL BE REMOVED AND REPLACED WITH COMPACTED FILL. COMPACTION TESTS SHALL BE TAKEN WHERE FILL IS PLACED AT THE OWNER'S OPTION AND IF TAKEN, THE OWNER SHALL CARRY THE COSTS OF THESE TESTS.
5. PRIOR TO BEGINNING CONSTRUCTION, THE GRADING CONTRACTOR SHALL RELOCATE OR CLEAR, GRUB AND DISPOSE OF, AT THE DIRECTION OF THE OWNER, ALL TREES AND SHRUBS WHICH MAY INTERFERE WITH GRADING AND/OR UTILITY WORK.
6. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING THE EROSION CONTROL DEVICES SHOWN ON THE PLANS TO ENSURE THE INTEGRITY OF THE DESIGN.
7. THE GRADING CONTRACTOR IS RESPONSIBLE FOR SEEDING, FERTILIZING AND MULCHING ALL TOPSOILED AREAS WITHIN THE GRADING LIMITS.
8. EXISTING ROADWAY IMPROVEMENTS WITHIN STREET RIGHT-OF-WAYS, WHICH ARE DAMAGED DURING CONSTRUCTION, SHALL BE RESTORED TO THEIR ORIGINAL GRADE AND CONDITION.
9. UNLESS OTHERWISE SHOWN ON THE PLANS, THE MAXIMUM ALLOWABLE GRADED SLOPE SHALL BE 4:1.
10. PROPOSED CONTOURS AND "SPOT" ELEVATIONS SHOWN HEREON INDICATE FINISH GRADE UPON COMPLETION OF THE PROJECT.
11. CONTRACTOR SHALL MEET EXISTING GRADE AT THE LIMITS OF THE PROPOSED CONTOURS AS SHOWN ON THESE PLANS.
12. GRADING CONTRACTOR SHALL REMOVE ANY EXCESS CUT MATERIAL FROM THE SITE AT THE DIRECTION OF THE OWNER.

CONCRETE

1. CONCRETE SIDEWALKS SHALL BE 4" THICK, UNDERLAIN BY AT LEAST 6" OF AGGREGATE BASE COURSE COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR (ASTM D1557) MAXIMUM DRY DENSITY. SIDEWALKS SHALL BE INSTALLED ACCORDING TO WISDOT STANDARD SPECIFICATION 602.
2. CONCRETE APRONS SHALL BE 8" THICK, UNDERLAIN BY AT LEAST 6" OF AGGREGATE BASE COURSE COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR (ASTM D1557) MAXIMUM DRY DENSITY.
3. CONCRETE PLACEMENT AND CURING SHALL BE IN ACCORDANCE WITH ACI-304.
4. CAST IN PLACE CONCRETE SHALL USE TYPE I PORTLAND CEMENT TO PROVIDE 28 DAY COMPRESSIVE STRENGTH OF AT LEAST 3,500 PSI. USE 3/4" MAXIMUM AGGREGATE SIZE AND AIR ENTRAINMENT FROM 5% TO 7%. AGGREGATES SHALL CONFORM TO REQUIREMENTS OF ASTM C-33.
5. A SET OF FOUR TEST CYLINDERS SHALL BE CAST FOR EVERY 50 CY OF MIX PLACED, WITH NOT LESS THAN ONE SET FOR EACH DATE OF PLACEMENT.
6. FINISH TEXTURE SHALL BE IN ACCORDANCE WITH CITY OF SHEBOYGAN AND ARCHITECTURAL PLAN REQUIREMENTS.
7. SAW CUT CRACK CONTROL JOINTS TO 1/4 OF CONCRETE THICKNESS AT 5' INTERVALS FOR WALK AREAS. JET CLEAR WITH COMPRESSED AIR AND SEAL. INSTALL 1/2" EXPANSION JOINTS AT 100' INTERVALS MAXIMUM.

ASPHALT PAVEMENT

1. PREPARATION OF THE SUBGRADE AND FLEXIBLE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR CONSTRUCTION. GRANULAR BASE COURSE SHALL CONSIST OF CRUSHED STONE CONFORMING TO WISDOT 1/2" GRADATION, SECTION 305, COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR (ASTM D1557) MAXIMUM DRY DENSITY.
 2. ASPHALTIC BINDER AND SURFACE COURSES SHALL MEET THE REQUIREMENTS FOR ASPHALTIC PAVEMENTS IN PART 4 PAVEMENTS OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR CONSTRUCTION. SURFACE MIX SHALL CONSIST OF 4 LT 58-28.5. BINDER MIX SHALL CONSIST OF 3 LT 58-28.5.
- LAYER THICKNESS
- | | |
|----------------------|--------------|
| ASPHALT PAVEMENT | 3 1/2 INCHES |
| SURFACE COURSE | 1 1/2 INCHES |
| BINDER COURSE | 2 INCHES |
| GRANULAR BASE COURSE | 8 1/2 INCHES |
3. SEAL ALL JOINTS BETWEEN ASPHALT AND CONCRETE PAVEMENT, WALKS, AND CURBS.



David J. Kosciuszko, AIA
12910 West Waterford Avenue
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S P RIVERFRONT CONDOMINIUMS
SOUTH PIER DRIVE AT ILLINOIS AVENUE
SHEBOYGAN, WISCONSIN 53081

Sheet Title
GRADING AND PAVING PLAN

Revisions
10/9/2019
10/17/2019
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5/21/2020

Date: 07/15/2019
Job No.: 18-160
Sheet No.:



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SEPTEMBER 20, 2021
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GROUND LEASE PARCEL TWO SHEBOYGAN, WISCONSIN 53081

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 315 N. PLANKINION AVE SUITE 208, MILWAUKEE, WI 53203

DRAWN BY: MDW
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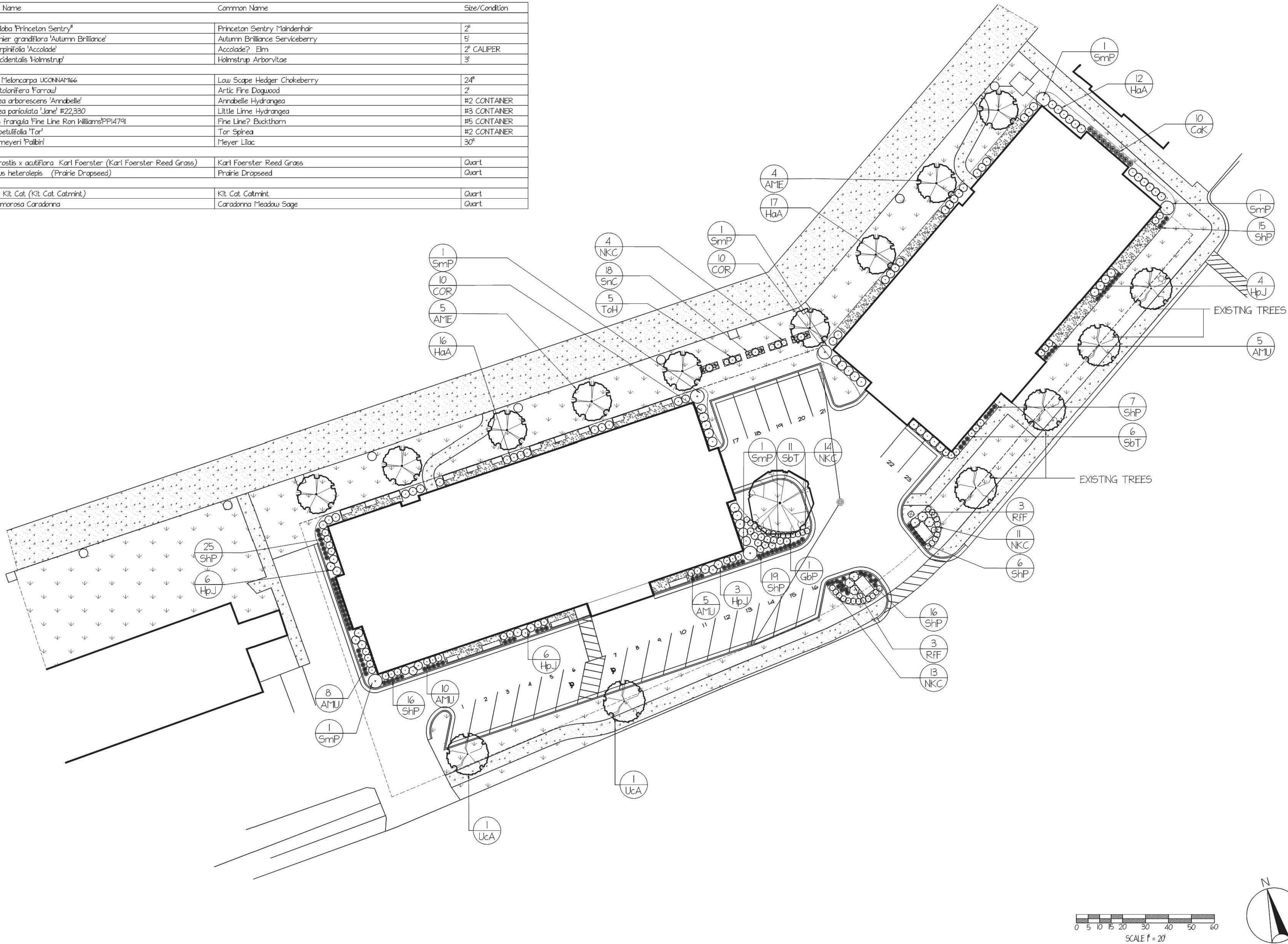
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September 20, 2021
P:\2021-CONTRACTS\2021-53 South Pier Riverfront Condo\Phase - 2\Construction Documents\3.3 Site\2021-53 Design.dwg
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SP RIVERFRONT CONDOMINIUMS PLANT SCHEDULE

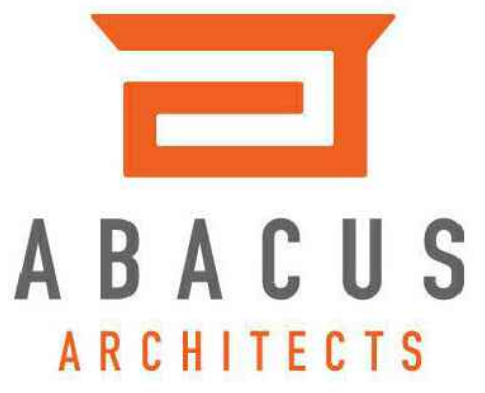
Key	Qty	Botanical Name	Common Name	Size/Condition
Trees				
GbP	1	Ginkgo biloba 'Princeton Sentry®'	Princeton Sentry® Maidenhair	2"
AMF	4	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	5'
UcA	2	Ulmus carpinifolia 'Accolade'	Accolade® Elm	2" CALIFER
ToH	5	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	3'
Shrubs				
AMU	28	Aronia - Meloncarpa UCONNAR166	Low Scape Hedger Chokeberry	24"
COR	20	Cornus stolonifera 'Fornau'	Artic Fire Dogwood	2"
HaA	45	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#2 CONTAINER
HpJ	19	Hydrangea paniculata 'Jane' #22,330	Little Lime Hydrangea	#3 CONTAINER
RIF	6	Rhamnus frangula Fine Line Ron Williams®P1479	Fine Line® Buckthorn	#5 CONTAINER
SbT	17	Spiraea betulifolia 'Tor'	Tor Spirea	#2 CONTAINER
SmP	6	Syringa meyeri 'Palibin'	Meyer Lilac	30"
Ornamental Grasses				
CaK	10	Calamagrostis x acutiflora 'Karl Foerster' (Karl Foerster Reed Grass)	Karl Foerster Reed Grass	Quart
ShP	88	Sporobolus heterolepis (Prairie Dropseed)	Prairie Dropseed	Quart
Perennials				
NKC	42	Nepeta x Kit. Cat. (Kit. Cat. Catmint)	Kit. Cat. Catmint	Quart
SnC	18	Salvia nemorosa 'Caradonna'	Caradonna Meadow Sage	Quart



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SOUTH PIER DRIVE AT ILLINOIS AVENUE
SHEBOYGAN, WISCONSIN 53081

Project: NEW CONSTRUCTION FOR:
Sheet Title: LANDSCAPE PLAN
Revisions:
Date: 06/26/2019
Job No. 18-160
Sheet No.



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SOUTH PIER RIVERFRONT CONDOMINIUMS
GROUND LEASE PARCEL TWO SHEBOYGAN, WISCONSIN 53081
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (202) 452-4444 | 313 N. PLANKINTON AVE SUITE 208 - MILWAUKEE, WI 53203

DRAWN BY: MDW
CHECKED BY: JRV

REFERENCE DRAWING

A
209

PROJ. NO. 2021-53

PREVIOUSLY APPROVED DRAWING, FOR REFERENCE ONLY.

REFERENCE DRAWING



Existing: Phase -1 Apartments



Previously approved design and materials for Phase 2



New Design







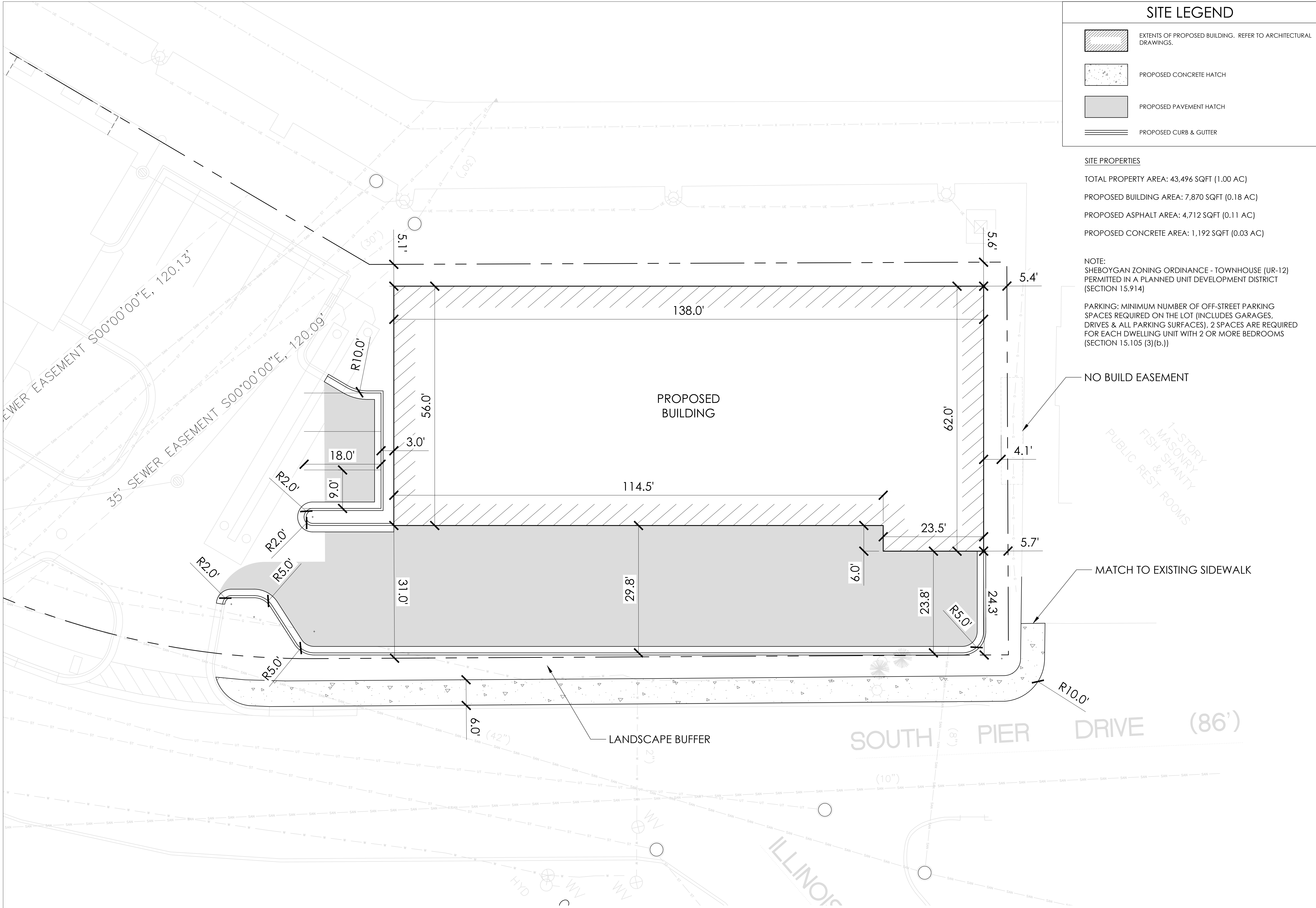






May 17, 2022

P:\2022-CONTRACTS\2022-12 South Pier Townhouses\Phase - 2\Construction Documents\3 Site\2022-12 - Base.dwg



SITE LEGEND

- EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
- PROPOSED CONCRETE HATCH
- PROPOSED PAVEMENT HATCH
- PROPOSED CURB & GUTTER

SITE PROPERTIES

- TOTAL PROPERTY AREA: 43,496 SQFT (1.00 AC)
- PROPOSED BUILDING AREA: 7,870 SQFT (0.18 AC)
- PROPOSED ASPHALT AREA: 4,712 SQFT (0.11 AC)
- PROPOSED CONCRETE AREA: 1,192 SQFT (0.03 AC)

NOTE:
SHEBOYGAN ZONING ORDINANCE - TOWNHOUSE (UR-12)
PERMITTED IN A PLANNED UNIT DEVELOPMENT DISTRICT
(SECTION 15.914)

PARKING: MINIMUM NUMBER OF OFF-STREET PARKING
SPACES REQUIRED ON THE LOT (INCLUDES GARAGES,
DRIVES & ALL PARKING SURFACES), 2 SPACES ARE REQUIRED
FOR EACH DWELLING UNIT WITH 2 OR MORE BEDROOMS
(SECTION 15.105 (3)(b.))

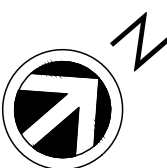
NO BUILD EASEMENT

MATCH TO EXISTING SIDEWALK

LANDSCAPE BUFFER

SITE PLAN

SCALE: 1"=10'



REVISIONS:

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND
SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF
OTHER SECTIONS OF WORK ON THEIR OWN WORK.

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NEW TOWNHOUSE BUILDING

SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081

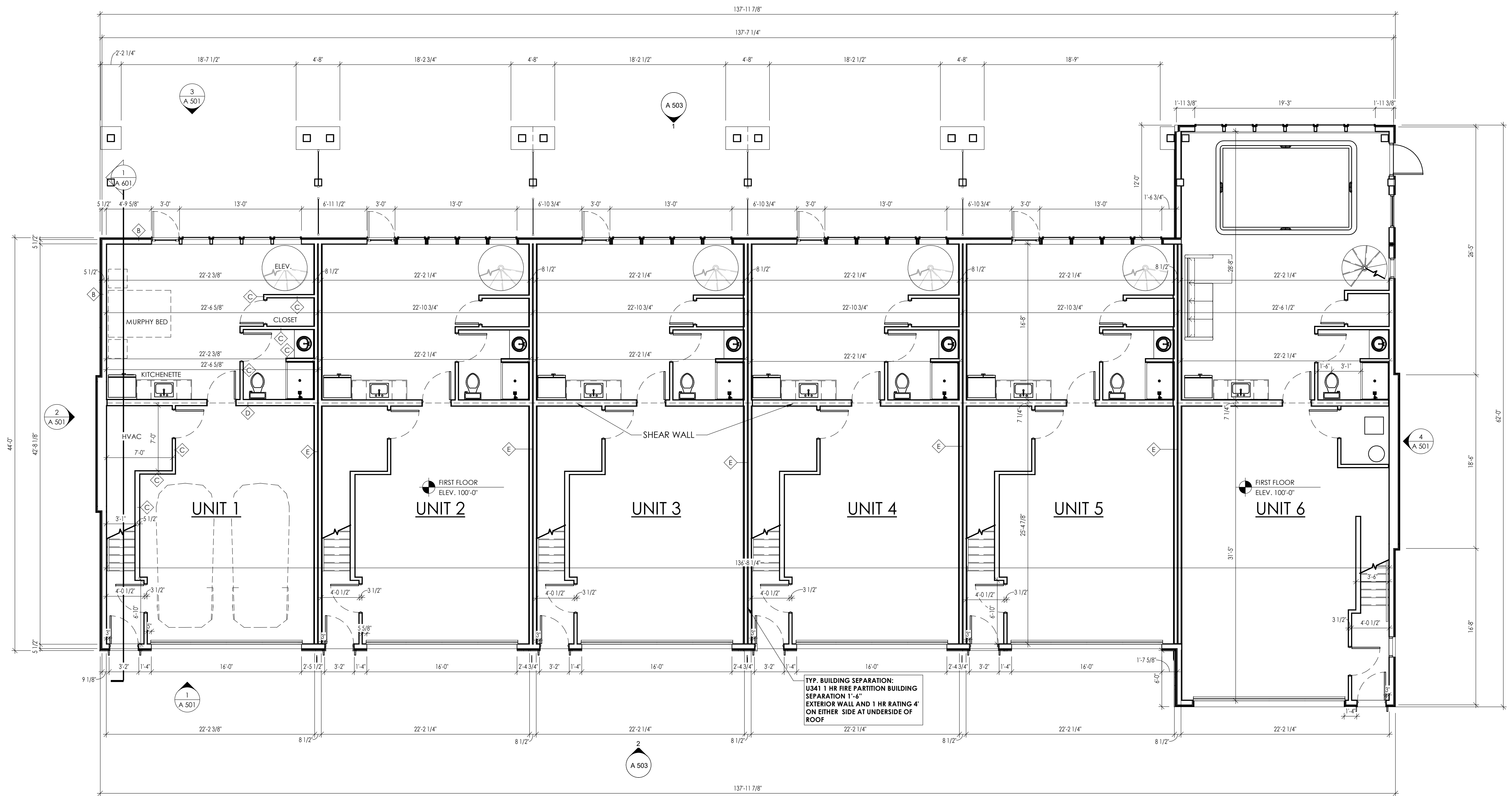
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 225 EAST ST. PAUL AVE. MILWAUKEE, WI 53202 | (414) 837-6450

DRAWN BY: JMN

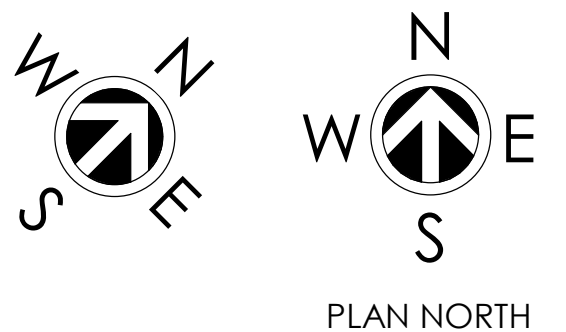
CHECKED BY: JRV

A
201

PROJ. NO. 2022-12



OVERALL FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

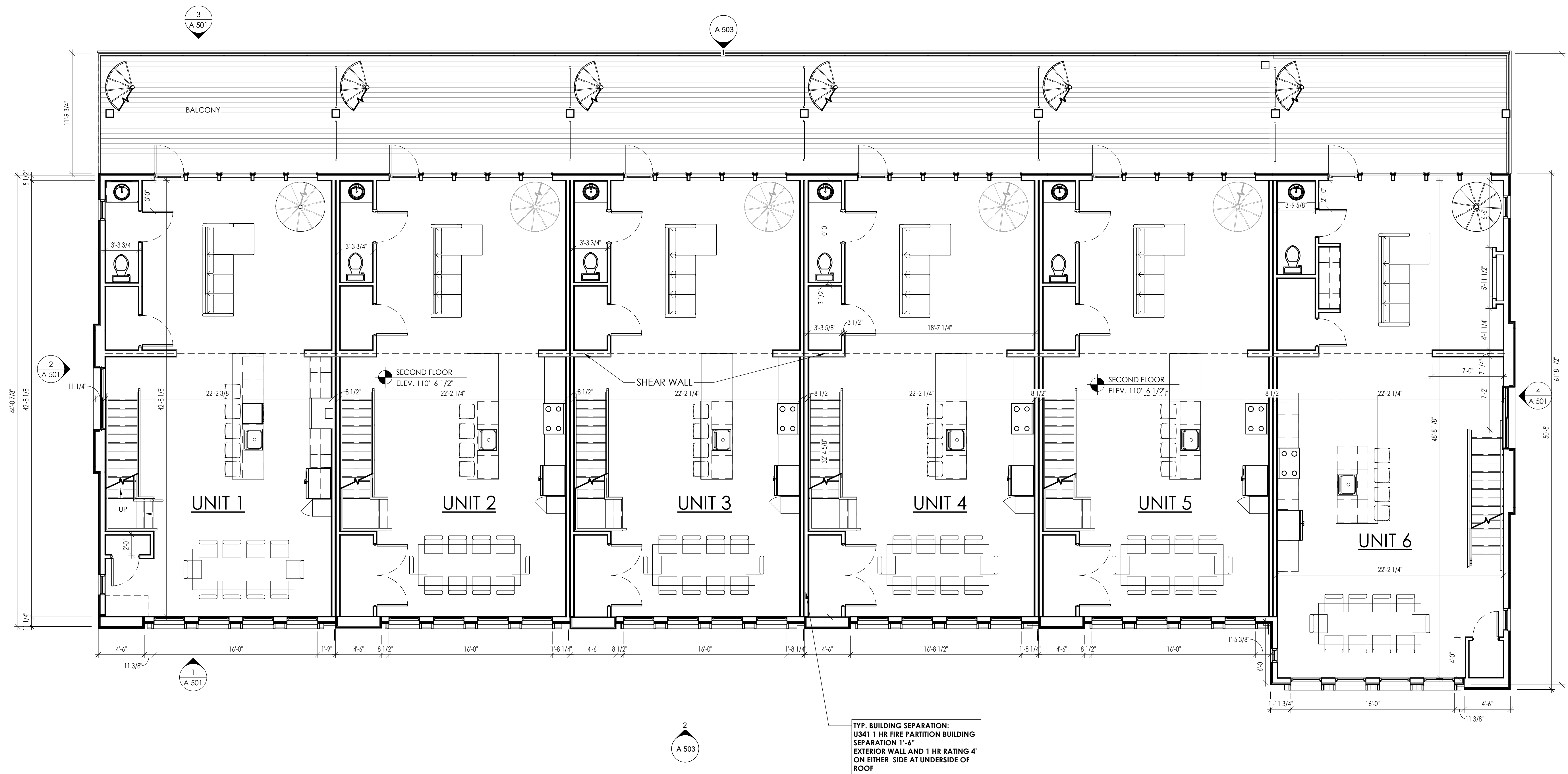


DRAWN BY: Author
CHECKED BY: Checker

OVERALL FIRST FLOOR
PLAN

A
306

PROJ. NO. 2022-12



OVERALL SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

GROSS FLOOR AREA: 6,135 SQ. FT.

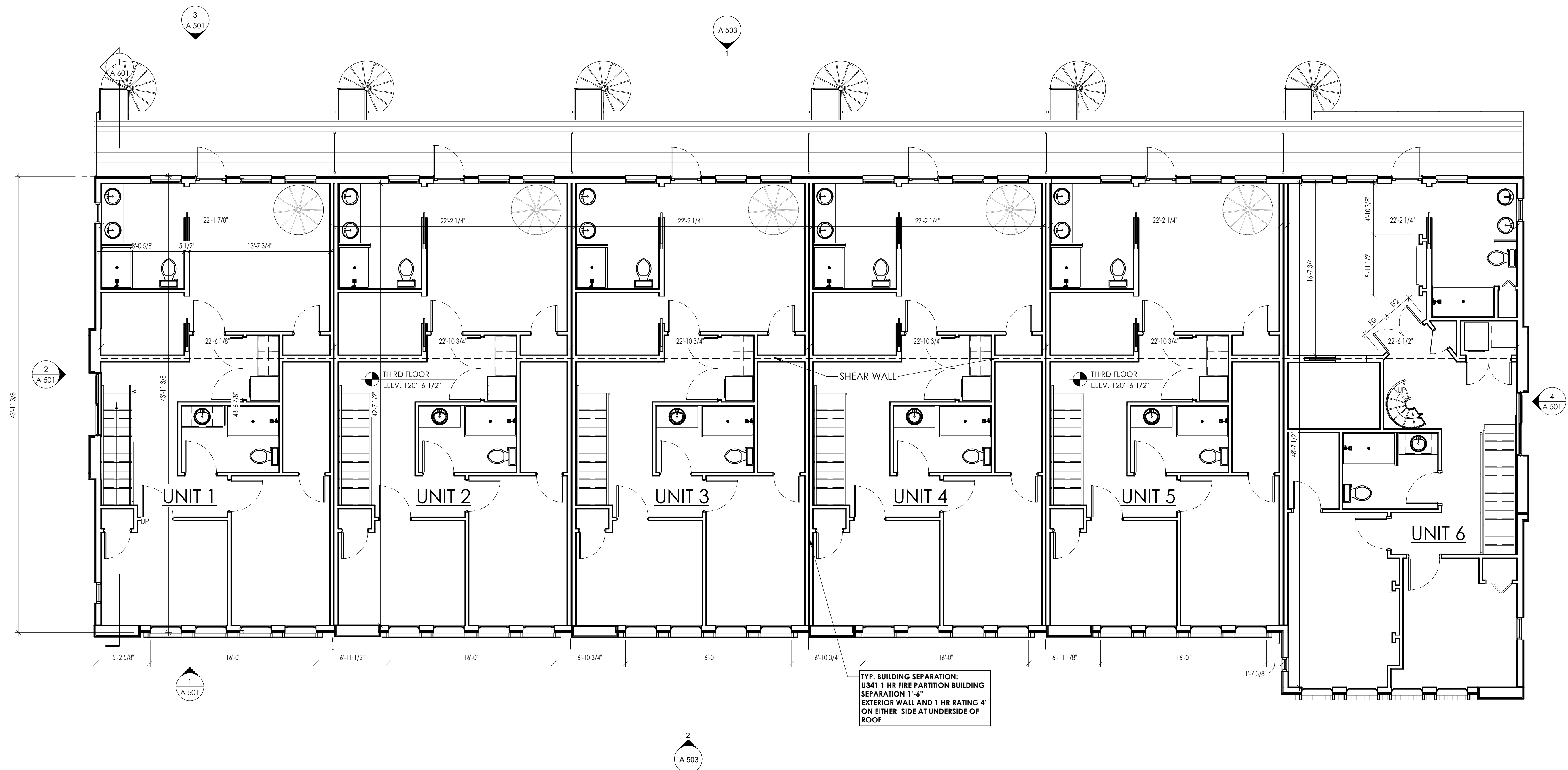


DRAWN BY: EF, SG
CHECKED BY: PM

OVERALL SECOND
FLOOR PLAN

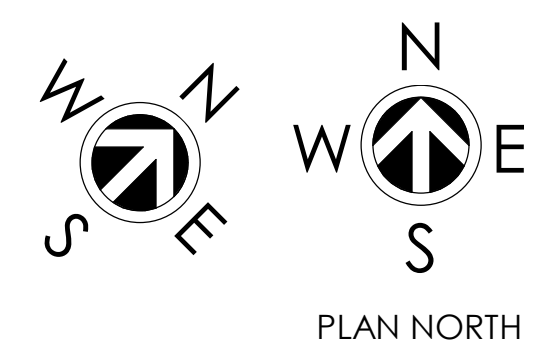
A
307

PROJ. NO. 2022-12



OVERALL THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"

GROSS FLOOR AREA: 6,135 SQ. FT.



DRAWN BY: Author
CHECKED BY: Checker

OVERALL THIRD FLOOR
PLAN

A
308

PROJ. NO. 2022-12

GENERAL PLAN NOTES

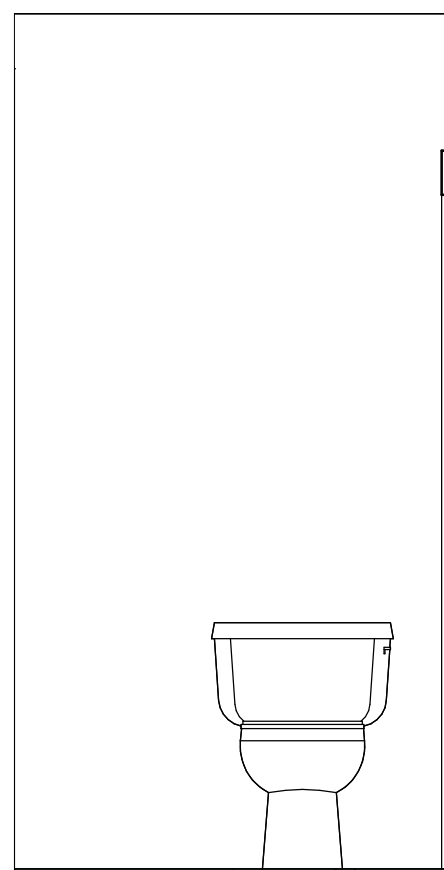
- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.
- EXTERIOR DIMENSIONS TAKEN FROM FACE OF BRICK ON FIRST FLOOR & FACE OF STUDS ON 2ND FLOOR THROUGH ROOF DECK LEVEL.
- ALL DOOR FRAMES TO BE 4" OFF WALL UNLESS OTHERWISE NOTED
- SEE SHEETS A316-A322 FOR ENLARGED RESIDENT UNIT PLANS
- ALL INSULATION SHOWN IN INTERIOR WALLS TO BE SOUND ATTENUATING BATT INSULATION
- FIRE EXTINGUISHER CABINETS LOCATED IN CORRIDOR WALLS SHALL BE 1 HOUR RATED CABINETS
- EXACT ELEVATOR SHAFT SIZE TO BE DETERMINED BASED ON FINAL ELAVATOR MANUFACTURER SELECTION
- WHEEL STOPS AND PIPE BALLARDS SHOULD BE ADDED AT ALL MEP EQUIPMENT LOCATIONS IN PARKING GARAGES. THIS WILL BE COORDINATED AFTER MEP DESIGNS ARE SUBMITTED

GENERAL UNIT TYPE PLAN NOTES

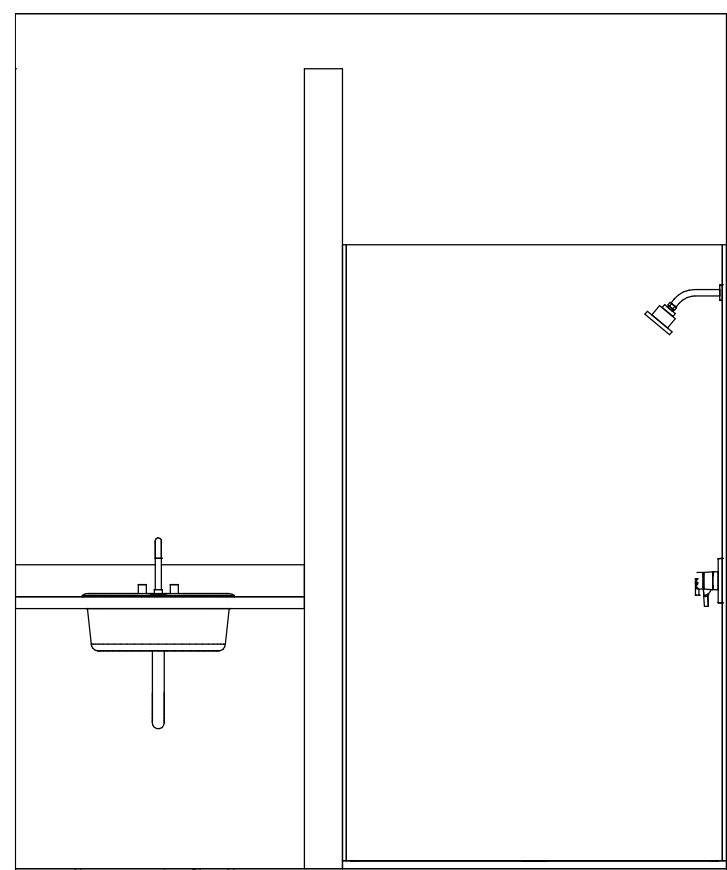
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- ALL BEDROOM CLOSETS TO HAVE WOOD SHELVING SYSTEM
- SEE LAUNDRY ELEVATIONS FOR LAUNDRY SHELVING TYPE AND SIZE.
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- PROVIDE CEILING FANS IN EACH BEDROOM.
- PROVIDE 220 VOLT OUTLET NEAR PATIO DOOR FOR HEAT LAMPS.
- PLUMBING FIXTURES TO BE KOHLER OR EQUAL WITH A MODERN, SQUARE AESTHETIC, WHITE COLOR.
- ALL HARDWARE TO HAVE A BRUSHED NICKEL FINISH.
- SEE UNIT PLAN FOR WALL ACCENT PAINT LOCATIONS.
- PROVIDE AN OPTION FOR A "SHOWER TOWER" TYPE SHOWER FAUCET IN EACH SHOWER UNIT.
- FINISHES SUBJECT TO OWNER SELECTING FINISH PACKAGE "OPTION 1" OR "OPTION 2"
- SEE DETAIL 11/A609 FOR HALF WALL CONSTRUCTION IN BATHROOM AS APPLICABLE.

FLOOR PLAN KEYNOTES

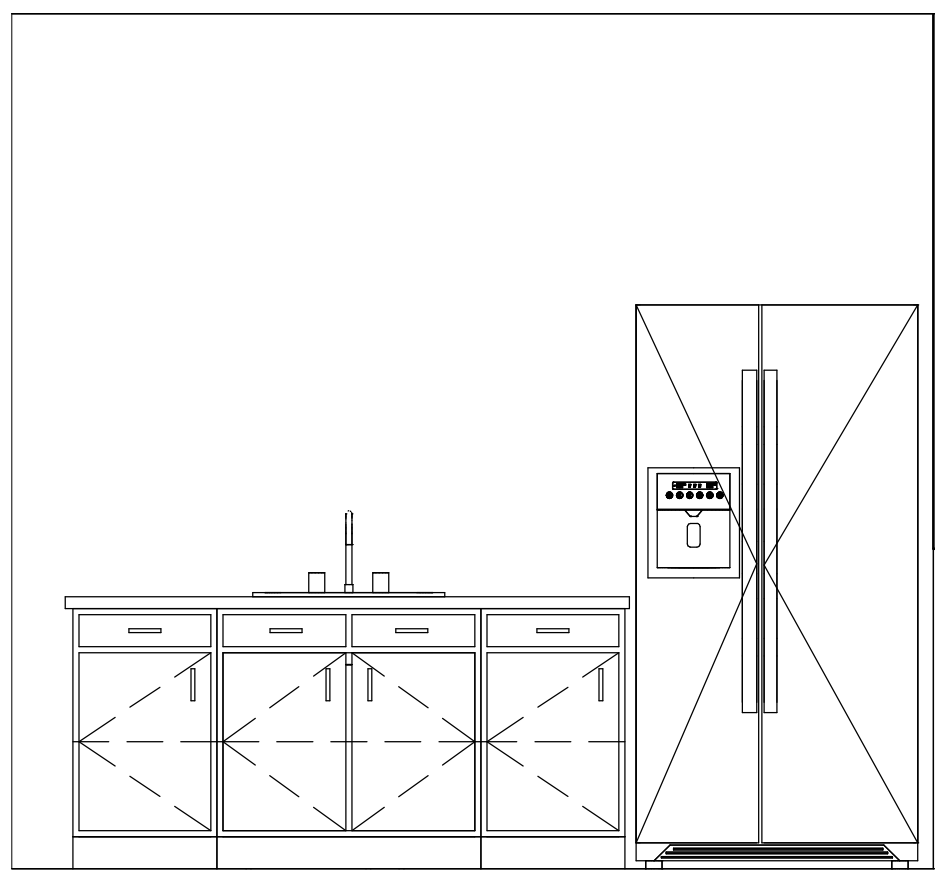
NO.	DESCRIPTION
1	TOILET PAPER HOLDER
2	24" TOWEL RACK 42" AFF
3	ROBE HOOK 42" AFF
4	METAL FRAMED MIRROR
5	4 HIGH 24" WOOD SHELVING AT 1'-4" EQUALLY SPACED TOP SHELF AT 64" AFF
6	12" WOOD SHELVING AT 60" AFF W/ HANGER ROD
7	4 HIGH 12" WOOD SHELVING AT 1'-4" EQUALLY SPACED. TOP SHELF AT 64" AFF
8	BUILT-IN SHOWER SHELVES. SEE ELEVATION



TLT. ELEV. 4
SCALE: 1/2" = 1'-0" A 316

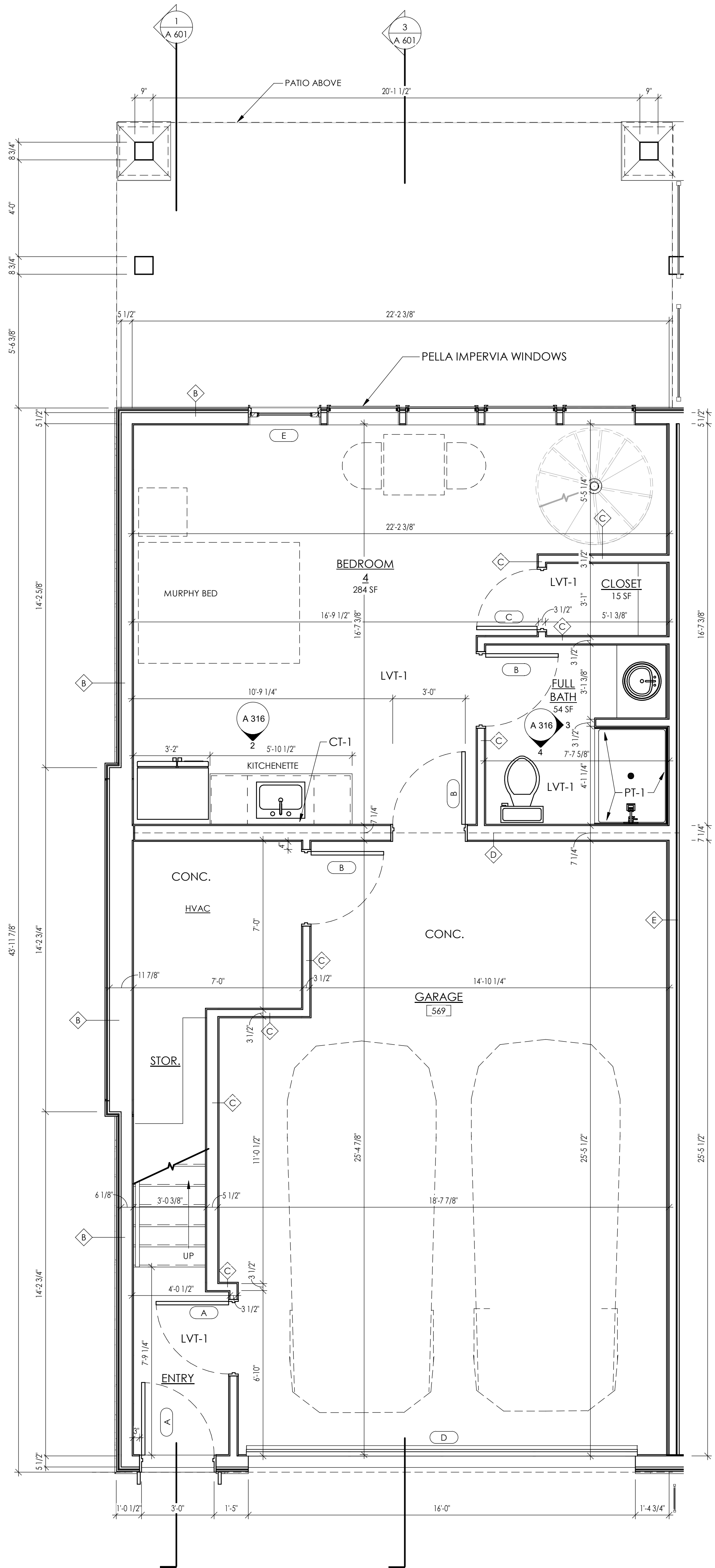


TLT ELEV. 3
SCALE: 1/2" = 1'-0" A 316



KITCHENETTE ELEV. 2
SCALE: 1/2" = 1'-0" A 316

*NOTE: SPIRAL STAIRCASE OR PNEUMATIC ELEVATOR OPTIONAL FOR TENANTS



UNIT 1 - FIRST FLOOR PLAN 1

SCALE: 3/8" = 1'-0" A 316



REVISIONS:

NOTICE TO BIDDERS
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MAY 17, 2022
NEW CONSTRUCTION FOR:

SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKTON AVE SUITE 208, MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: SG,EF

CHECKED BY: PM

TYPICAL UNIT -
TOWNHOUSE PLAN

A
316

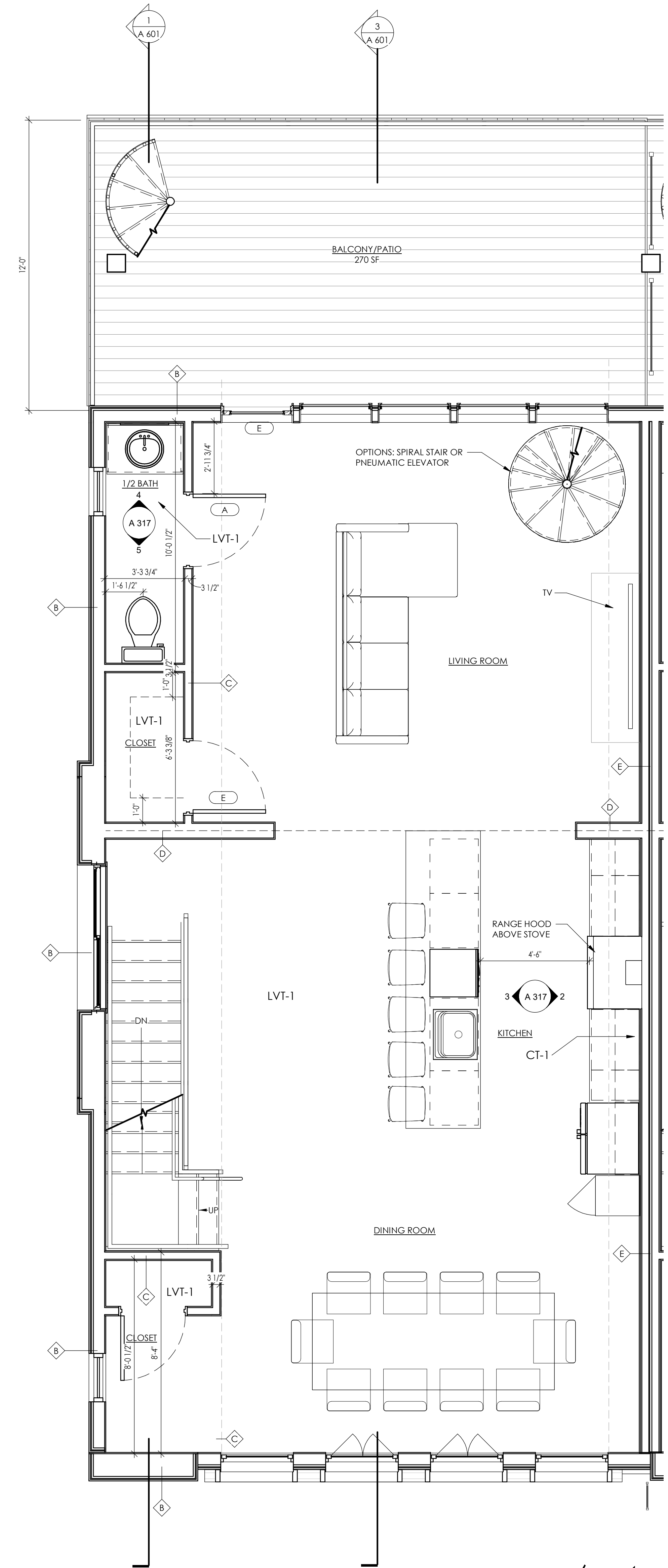
PROJ. NO. 2022-12

GENERAL PLAN NOTES

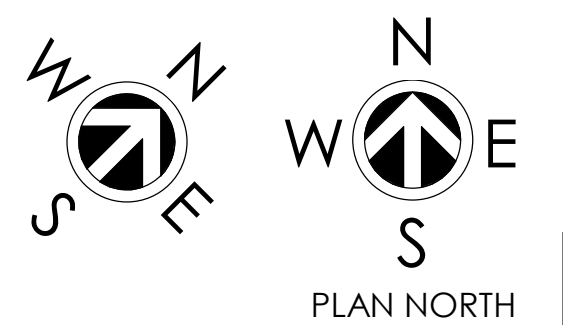
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UNIT 1 - SECOND FLOOR PLAN
SCALE: 3/8" = 1'-0" A 317

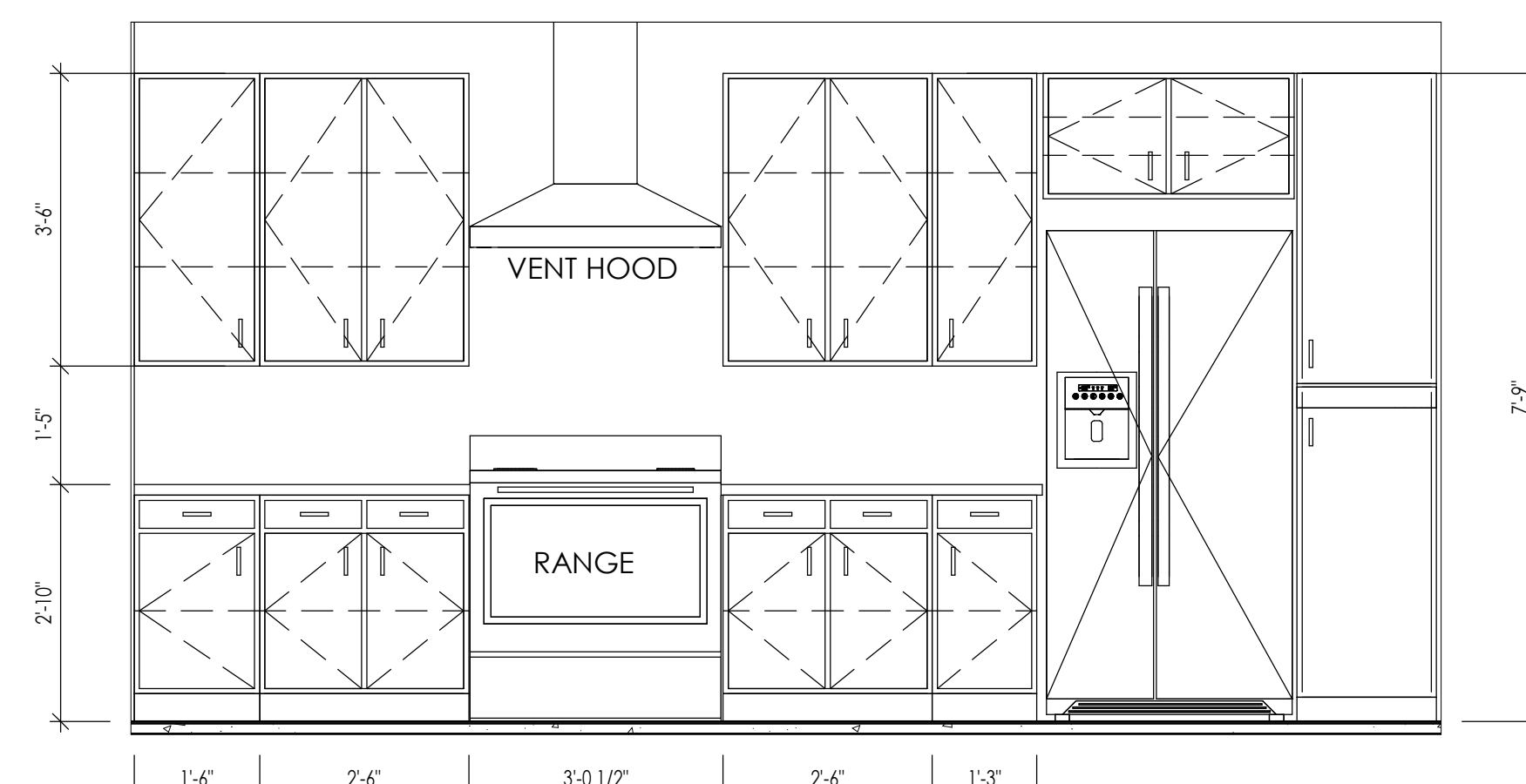
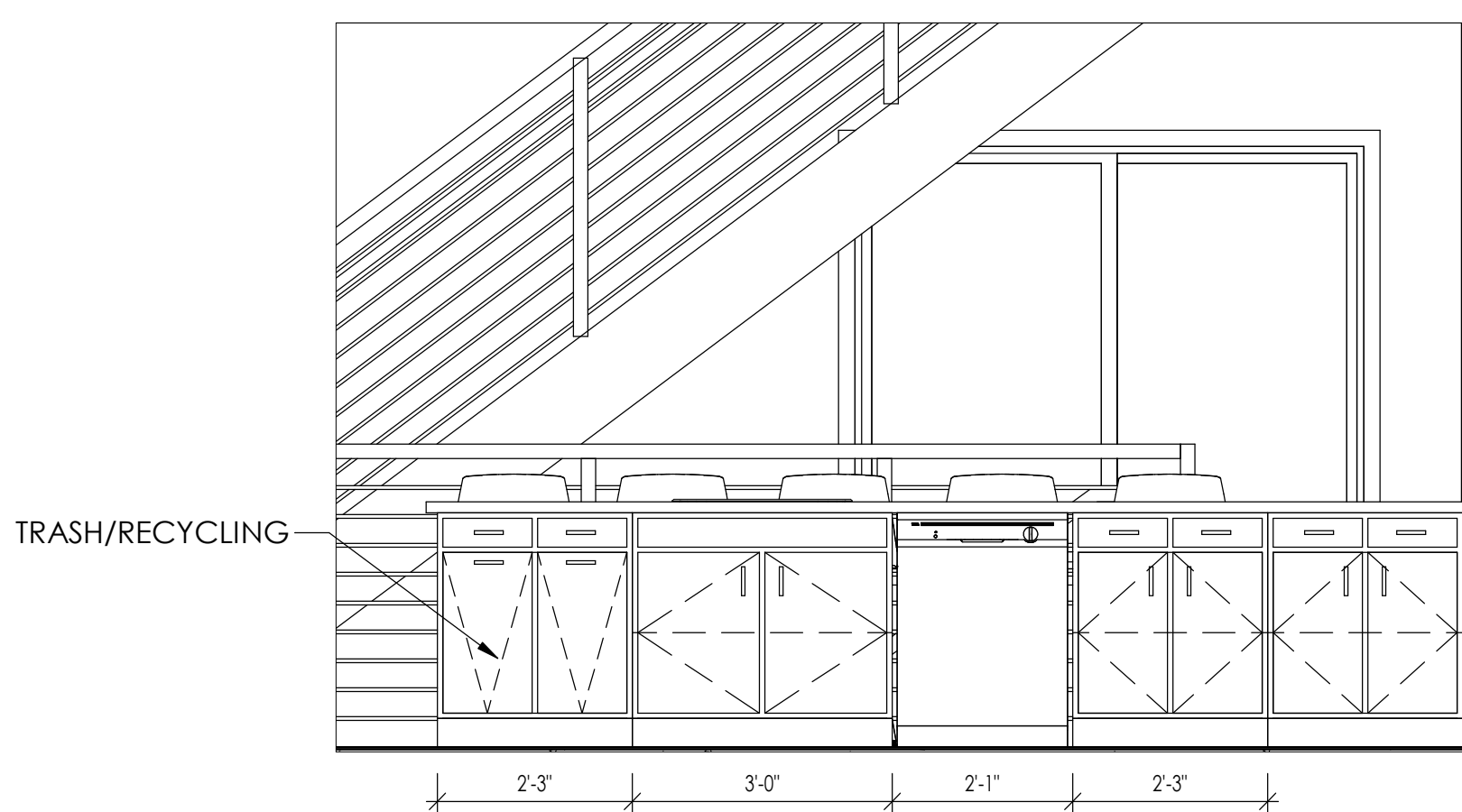


TLT ROOM ELEVATION
SCALE: 1/2" = 1'-0" A 317

TLT ROOM ELEVATION
SCALE: 1/2" = 1'-0" A 317

CASEWORK ELEVATION
SCALE: 1/2" = 1'-0" A 317

CASEWORK ELEVATION
SCALE: 1/2" = 1'-0" A 317

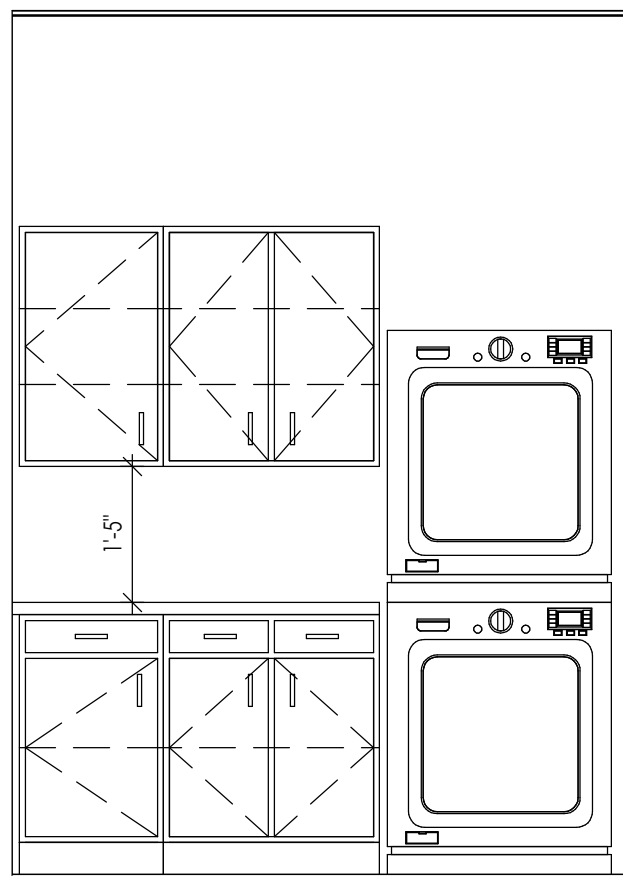


GENERAL PLAN NOTES

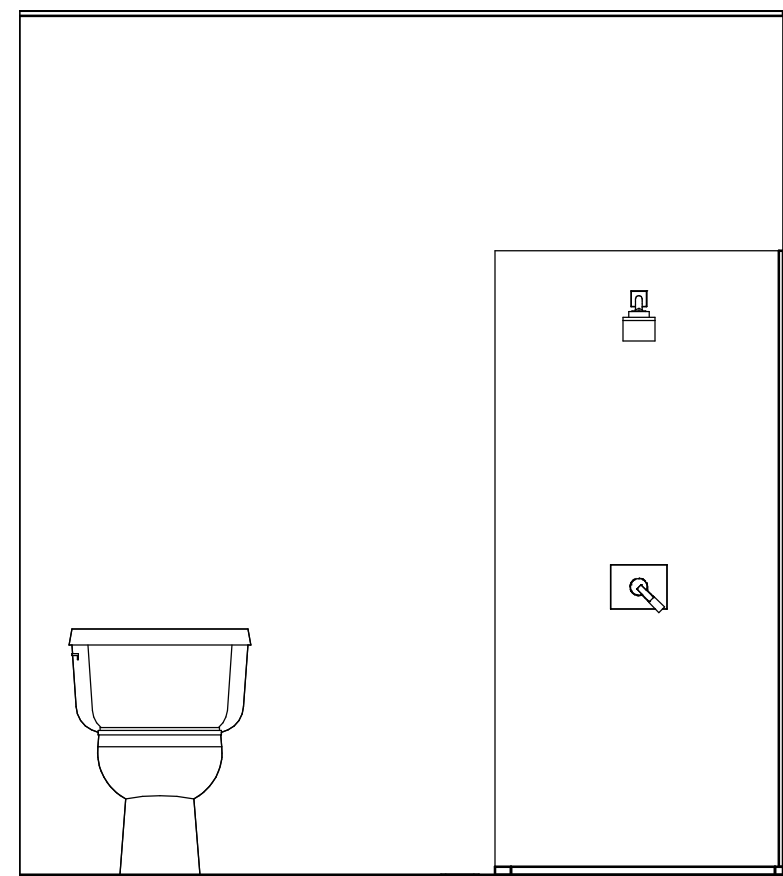
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GENERAL UNIT TYPE PLAN NOTES

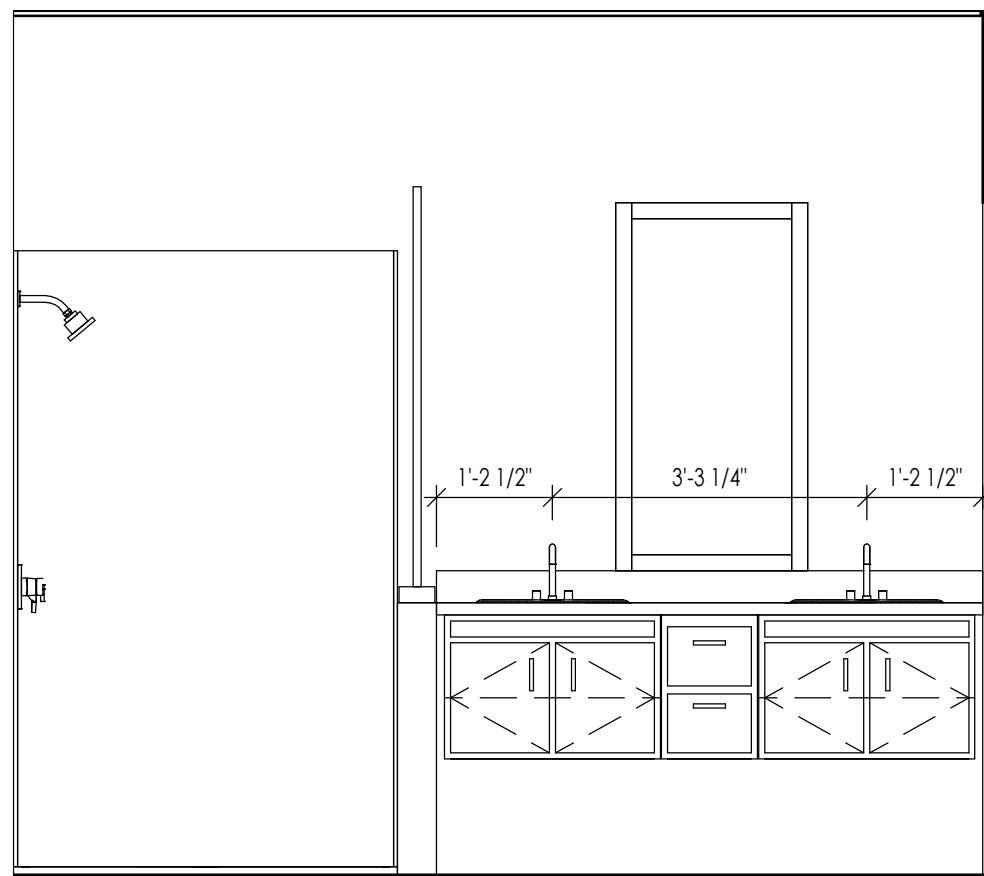
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- PROVIDE 220 VOLT OUTLET NEAR PATIO DOOR FOR HEAT LAMPS.
- PLUMBING FIXTURES TO BE KOHLER OR EQUAL WITH A MODERN, SQUARE AESTHETIC; WHITE COLOR.
- ALL HARDWARE TO HAVE A BRUSHED NICKEL FINISH.
- SEE UNIT PLAN FOR WALL ACCENT PAINT LOCATIONS.
- PROVIDE AN OPTION FOR A "SHOWER TOWER" TYPE SHOWER FAUCET IN EACH SHOWER UNIT.
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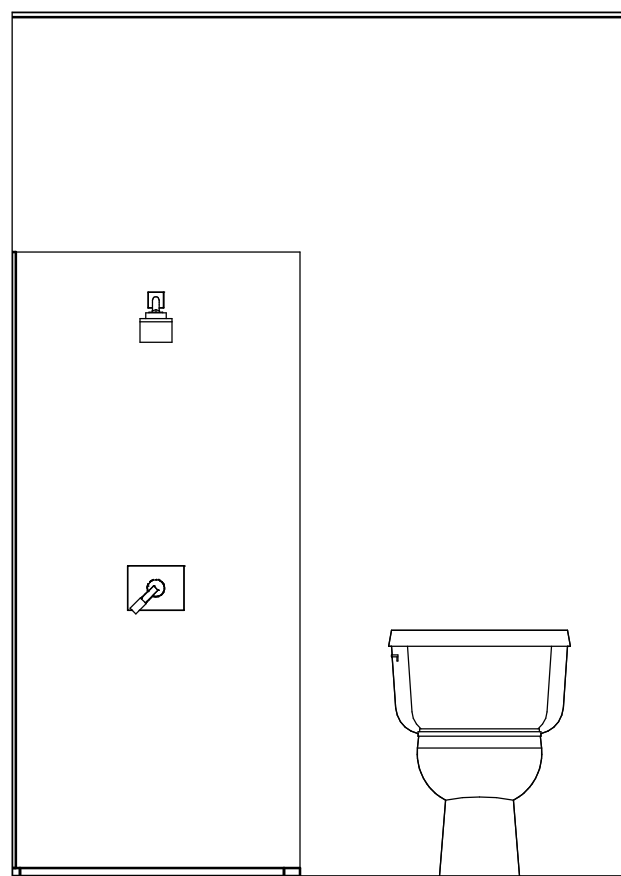
CASEWORK ELEV. 6
SCALE: 1/2" = 1'-0" A 318



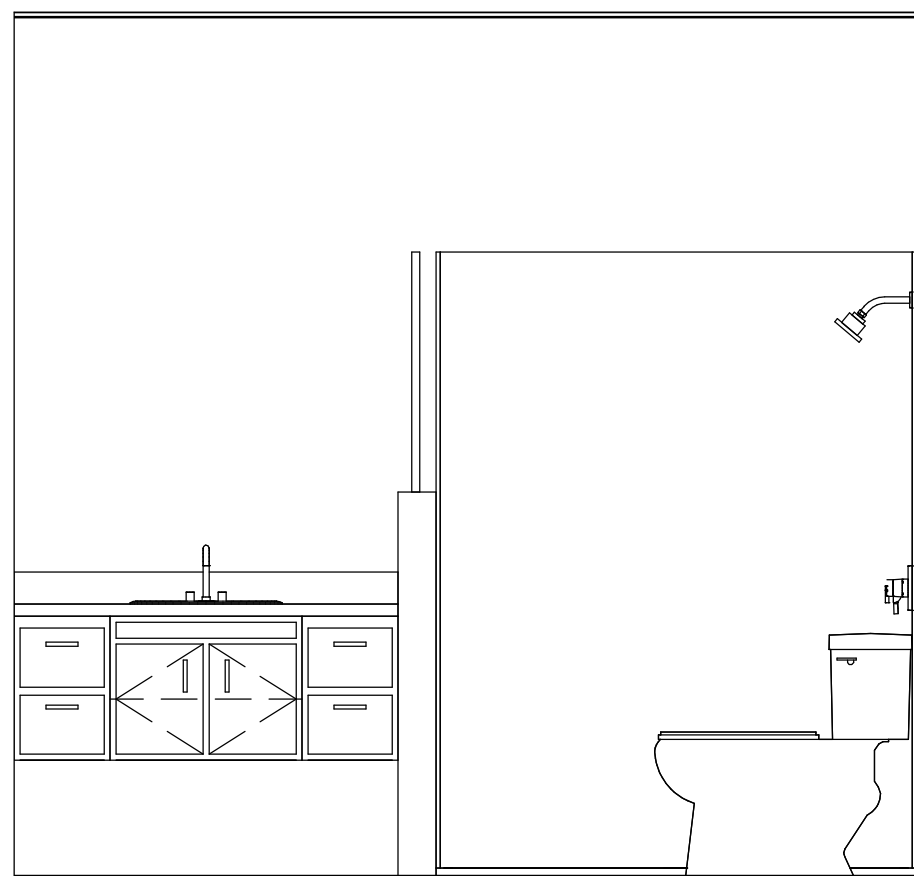
BATHROOM ELEVATION 5
SCALE: 1/2" = 1'-0" A 318



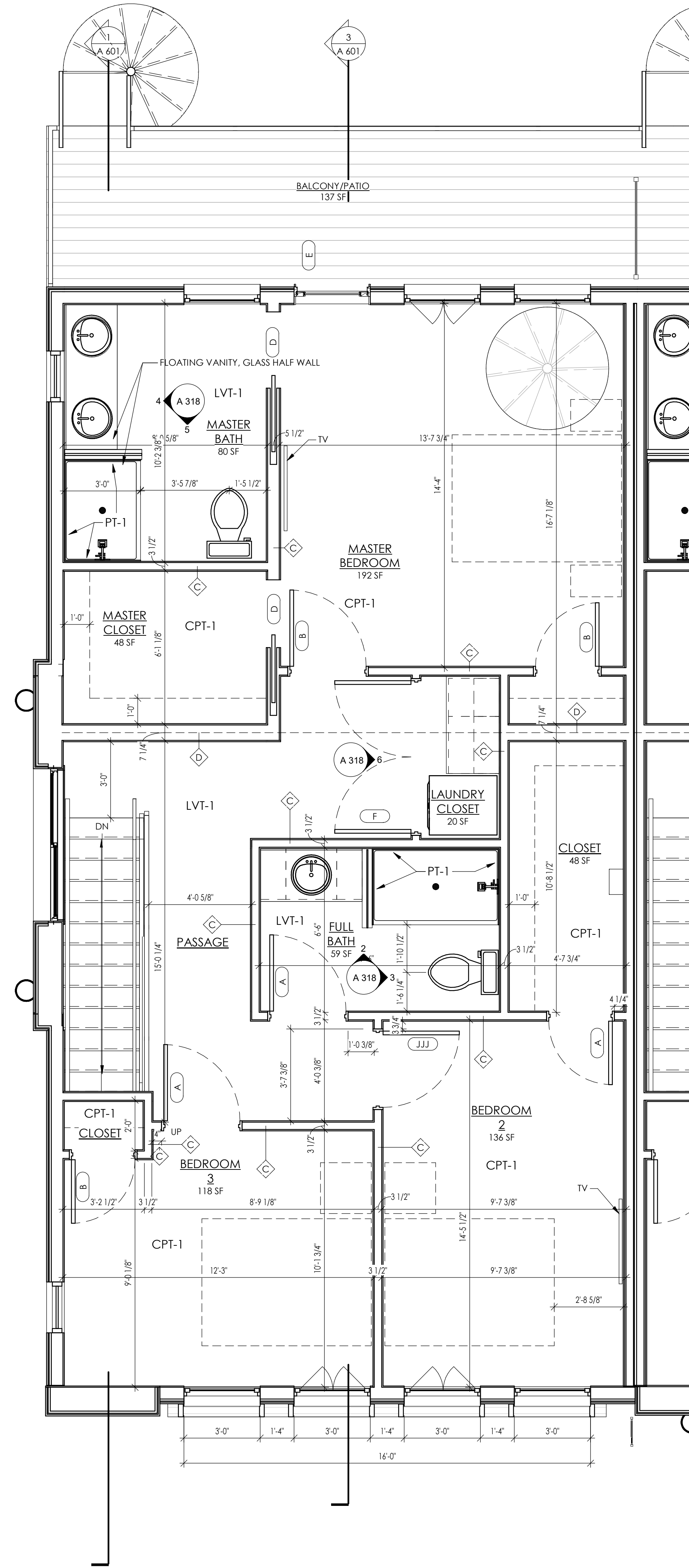
BATHROOM ELEVATION 4
SCALE: 1/2" = 1'-0" A 318



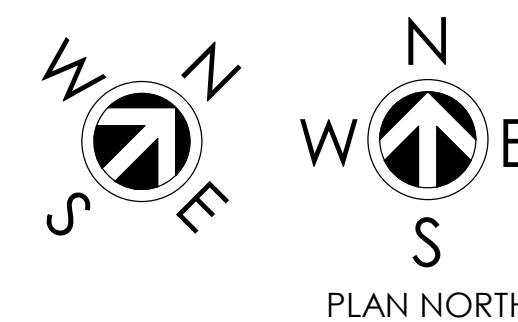
BATHROOM ELEVATION 3
SCALE: 1/2" = 1'-0" A 318



BATHROOM ELEVATION 2
SCALE: 1/2" = 1'-0" A 318



UNIT 1 - THIRD FLOOR PLAN 1
SCALE: 3/8" = 1'-0" A 318



FLOOR PLAN KEYNOTES	
NO.	DESCRIPTION
1	TOILET PAPER HOLDER
2	24" TOWEL RACK 42" AFF
3	ROBE HOOK 42" AFF
4	METAL FRAMED MIRROR
5	4 HIGH 24" WOOD SHELVEING AT 1'-4" EQUALLY SPACED TOP SHELF AT 64" AFF
6	12" WOOD SHELVEING AT 60" AFF W/ HANGER ROD
7	4 HIGH 12" WOOD SHELVEING AT 1'-4" EQUALLY SPACED. TOP SHELF AT 64" AFF
8	BUILT-IN SHOWER SHELVES. SEE ELEVATION

DOOR REMARKS	
1	- CARD READER
2	- VINYL SWEEP AT BASE, VINYL SEAL JAMB AND HEAD
3	- 1/2" WIDER DOOR FRAME THAN SCHEDULED DUE TO SHEAR WALL.
4	- 1 1/2" UNDERCUT ON DOOR TO ALLOW FOR MECH EQUIP.
5	- FRENCH DOORS WITH 12 EQUALLY SIZED GLASS PANELS
UNITS 1-15 ENLARGED PLAN DOOR REMARKS DOOR REMARKS SHOWN ON UNIT FLOOR PLAN AT DOOR TAG	

ROOM FINISH LEGEND	
KEY	DESCRIPTION
ACT-1	ACOUSTIC CEILING TILE - 24" x 24"
ACT-2	VINYL FACED GYPSUM BOARD - 24" x 24"
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
ES	EXPOSED STRUCTURE
EX	EXISTING FINISH
FAF	FLUID APPLIED FLOORING
GT	GLASS TILE
GYP	GYPSUM BOARD
HM	HOLLOW METAL
LT	LEATHER TILE
LVT	LUXURY VINYL TILE
P-	PAINT FINISH
PT	PORCELAIN TILE
PTB	PORCELAIN TILE BASE
SC	SEALED CONCRETE
VB	VINYL BASE
WB	WOOD BASE
WD	WOOD

ROOM FINISH REMARKS	
NO.	DESCRIPTION
1	FIRST FLOOR STAIR LANDING TO BE LVT-1; ALL STAIR TREADS AND RISERS AND UPPER LANDINGS TO BE CPT-2
2	SEE FINISH PLANS FOR FLOOR PATTERN
3	SEE REFLECTED CEILING PLANS FOR GYPSUM SOFFIT LOCATIONS
4	SEE FINISH PLANS/UNIT PLANS FOR ACCENT PAINT LOCATIONS
5	SEE INTERIOR ELEVATIONS FOR PORCELAIN TILE (PT) AND CERAMIC TILE (CT) LOCATIONS
6	FOURTH FLOOR UNITS HAVE A CEILING HEIGHT OF 10'-0"
7	UNIT 14 SHALL HAVE A LEVEL 5 DRYWALL FINISH

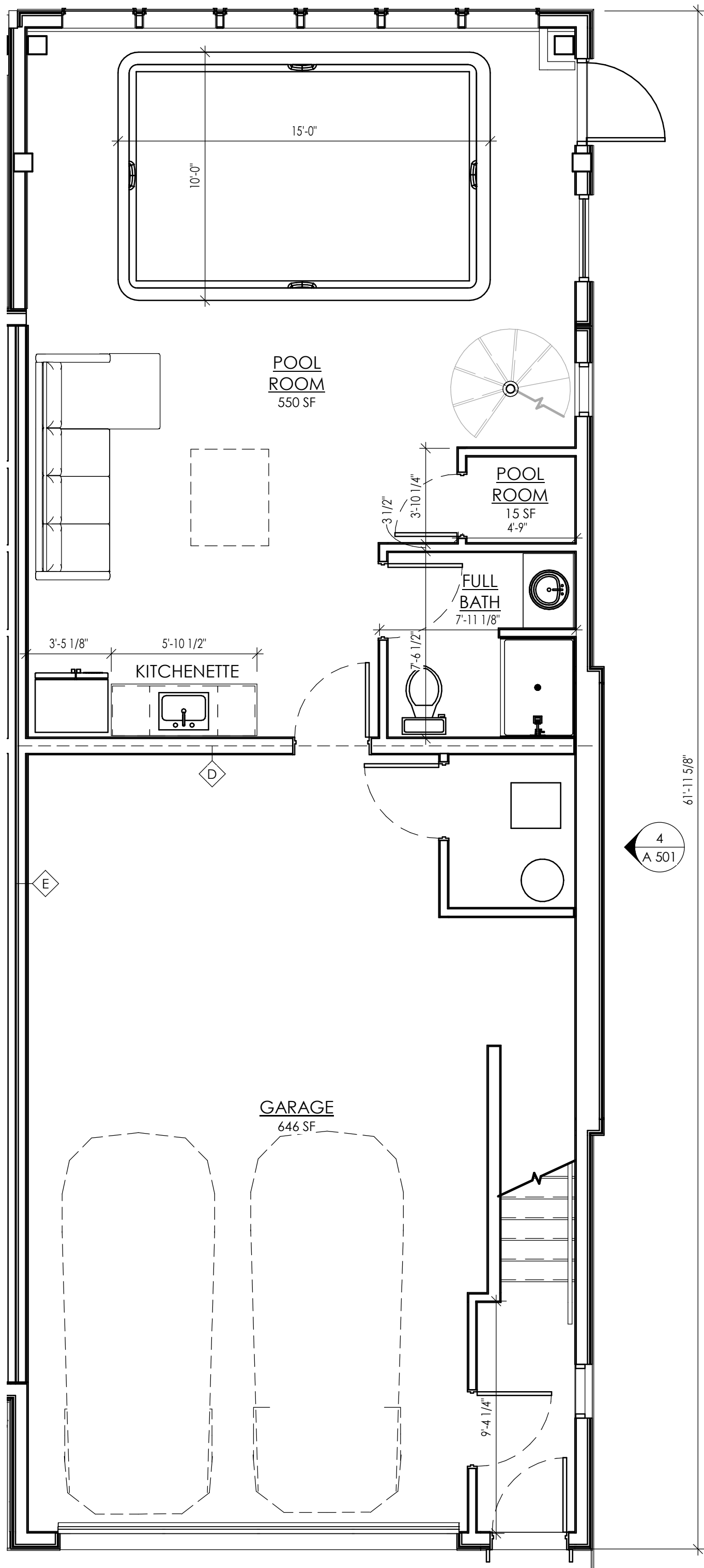
CUSTOM UNIT TYPE PLAN NOTES	
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• ALL WASHER AND DRYER UNITS TO BE FRONT LOADING	
• ALL BEDROOM CLOSETS SHOULD HAVE WOOD SHELVEING SYSTEM	
• ALL STORAGE CLOSETS SHOULD HAVE WOOD SHELVEING 24" DEEP, (4) HIGH, SPACED AT 16" STARTING AT FINISHED FLOOR UNLESS OTHERWISE NOTED	
• SEE LAUNDRY ELEVATIONS FOR LAUNDRY SHELVEING TYPE AND SIZE.	
• PROVIDE BACKLIT MIRROR IN EACH UNIT BATHROOM WIDTH EQUAL TO COUNTERTOP LENGTH.	
• SEE SHEET A401 FOR DOOR AND FRAME ELEVATIONS & GLASS TYPES.	
• PROVIDE CEILING FANS IN EACH BEDROOM.	
• PROVIDE 220 VOLT OUTLET NEAR PATIO DOOR FOR HEAT LAMPS.	
• PLUMBING FIXTURES TO BE KOHLER OR EQUAL WITH A MODERN, SQUARE AESTHETIC; WHITE COLOR.	
• ALL HARDWARE TO HAVE A BRUSHED NICKEL FINISH UNLESS NOTED OTHERWISE.	
• SEE UNIT PLAN FOR WALL ACCENT PAINT LOCATIONS.	



REVISIONS:

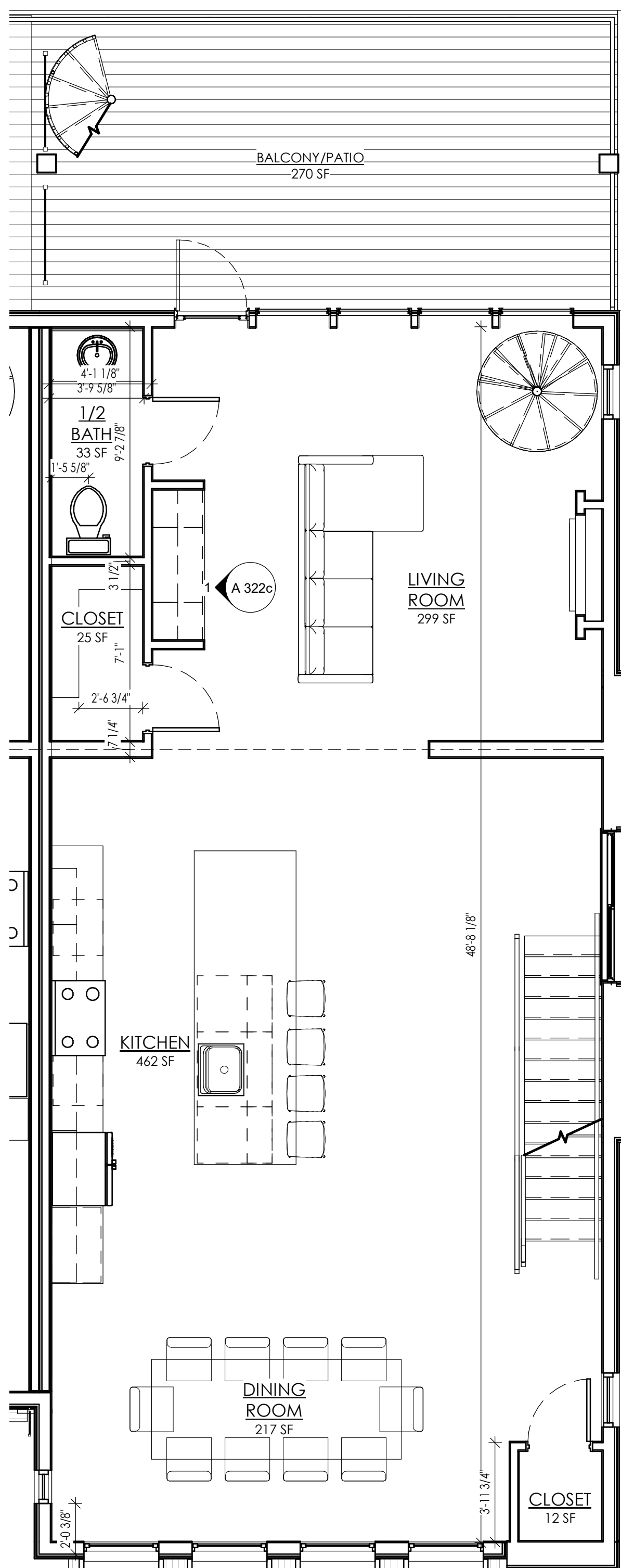
1 10/04/21 Addendum 01

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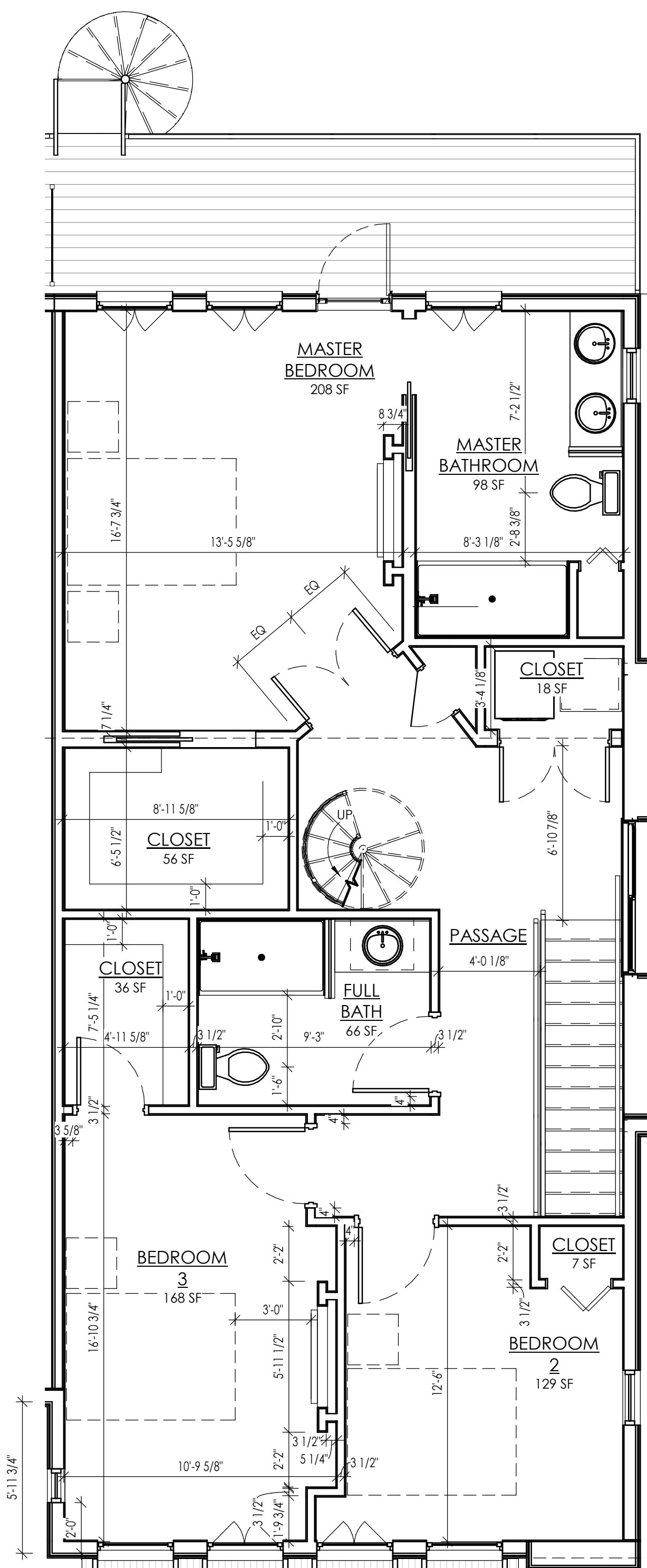
GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"



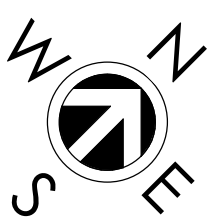
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 720.452.4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203
PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: DG.EF

CHECKED BY: PM

WATSON UNIT

A
322a

PROJ. NO. 2022-12



REVISIONS:

1 10/04/21 Addendum 01

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND
SPECIFICATION SECTIONS TO DETERMINE THE IMPACT
OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.
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MAY 17, 2022
NEW CONSTRUCTION FOR:
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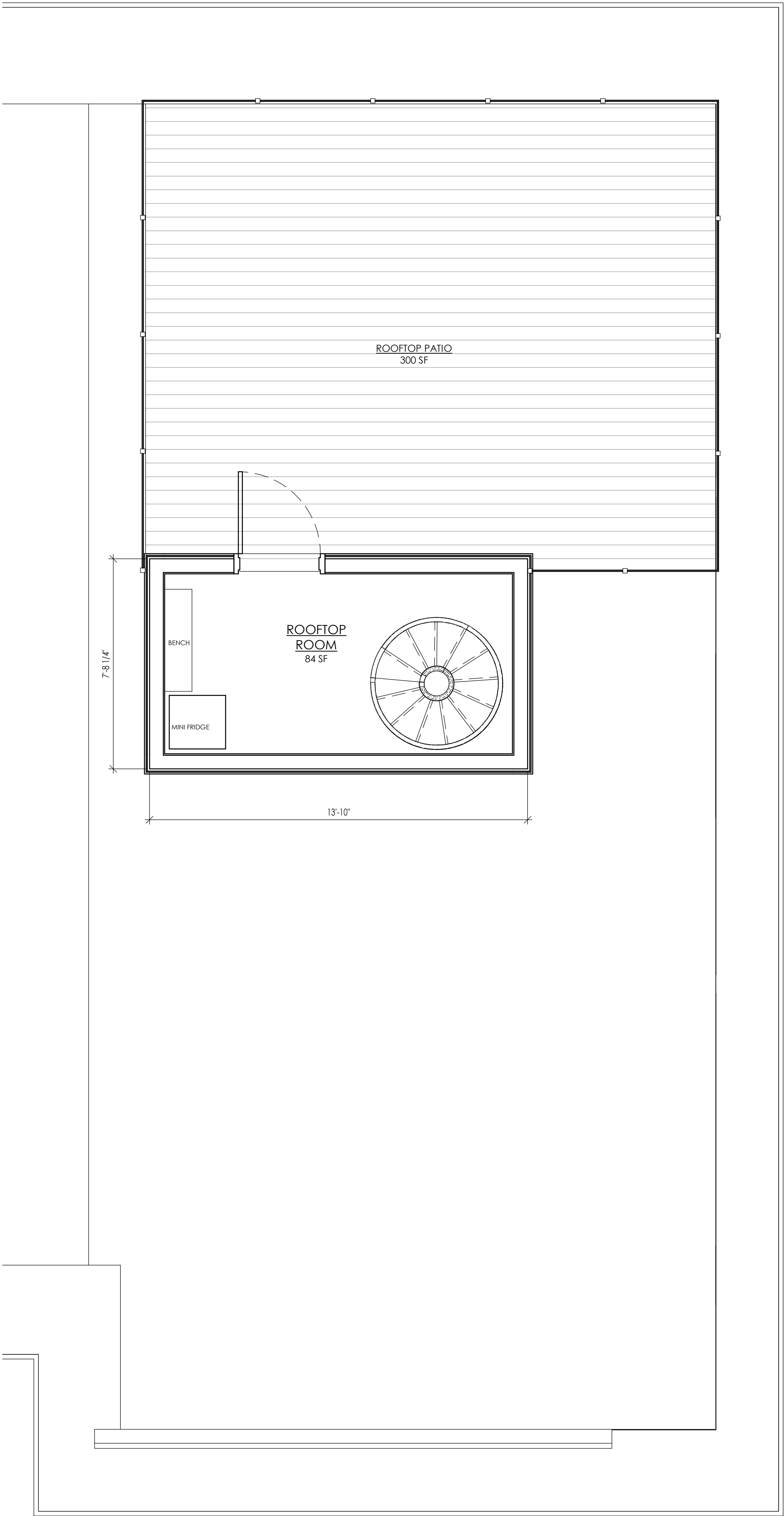
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ROOF PATIO PLAN
SCALE: 3/8" = 1'-0" 

***NOTE:** COLORS AND MATERIALS TO BE MATCHED TO PHASE 1 APARTMENTS AND APPROVED BY ARCHITECT.

NO.	DESCRIPTION
1	STRAND SUBSTRATE LAP SIDING - COLOR TO BE DETERMINED BY OWNER
2	ALUMINUM FASCIA PANEL - COLOR TO BE DETERMINED BY OWNER
3	EXTRUDED WOOD FRAME - COLOR TO BE DETERMINED BY OWNER
4	ALUMINUM FASCIA PANEL - COLOR TO BE DETERMINED BY OWNER
5	UP/DOWN LIGHTING FIXTURE - SEE ELECTRICAL DRAWINGS
6	THIN BRICK VENEER
7	STRAND SUBSTRATE TRIM. ALL TRIM SHALL BE 6" X 1 1/4" UNLESS SPECIFICALLY NOTED OTHERWISE. COLORS AND TEXTURES TO BE DETERMINED BY OWNER
8	PRE-FABRICATED ALUMINUM RAILING SYSTEM. COLOR TO BE DETERMINED BY OWNER. PROVIDE ALL REQUIRED ACCESSORIES AND MOUNTING BRACKETS AND HARDWARE. COMPLETED INSTALLATION MUST MEET STRUCTURAL REQUIREMENTS FOR A LATERAL LOAD OF 200 POUND APPLIED IN ANY DIRECTION.

NO.	DESCRIPTION
9	COMPOSITE DECKING ON PRESERVATIVE 2x WOOD FRAMING. COLOR TO BE DETERMINED BY OWNER
10	BUILT-UP COLUMN. REFERENCE STRUCTURAL DRAWINGS. COLUMN TO BE CLAD WITH STRAND SUBSTRATE TRIM BOARDS. COLOR TO BE DETERMINED BY OWNER
11	CASE STONE COPING CAP. COLOR TO BE DETERMINED BY OWNER. CAP SHALL BE TWO PIECE CONSTRUCTION. GROUND AND CAULK JOINT
12	BRICK COLUMN BASE ENCLOSURE - MATCH FACE BRICK VENEER
13	WOOD SLAT PATIO PARTITION
14	WOOD SLAT PARTITION



REVISIONS:

NOTICE TO BIDDERS
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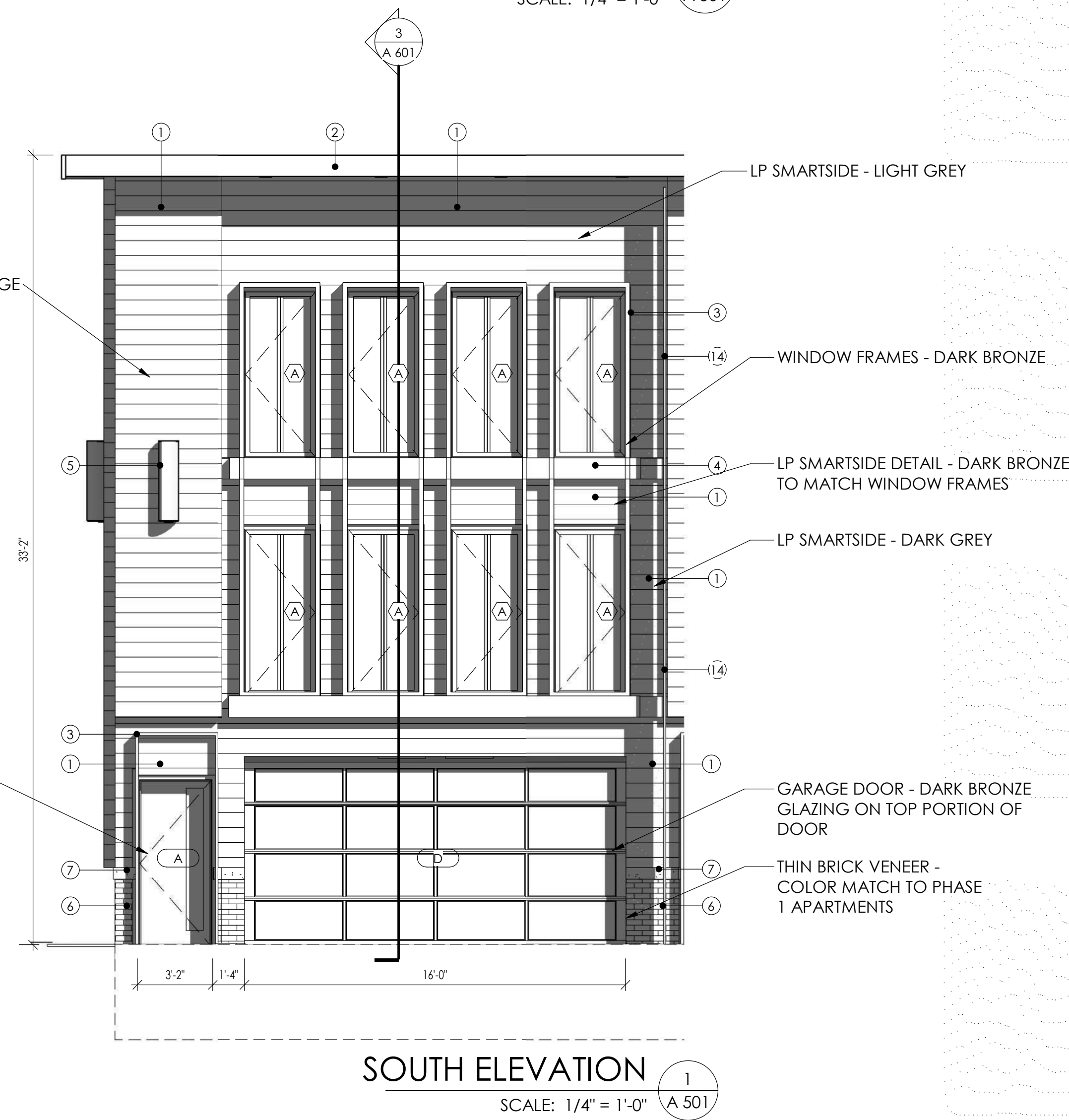
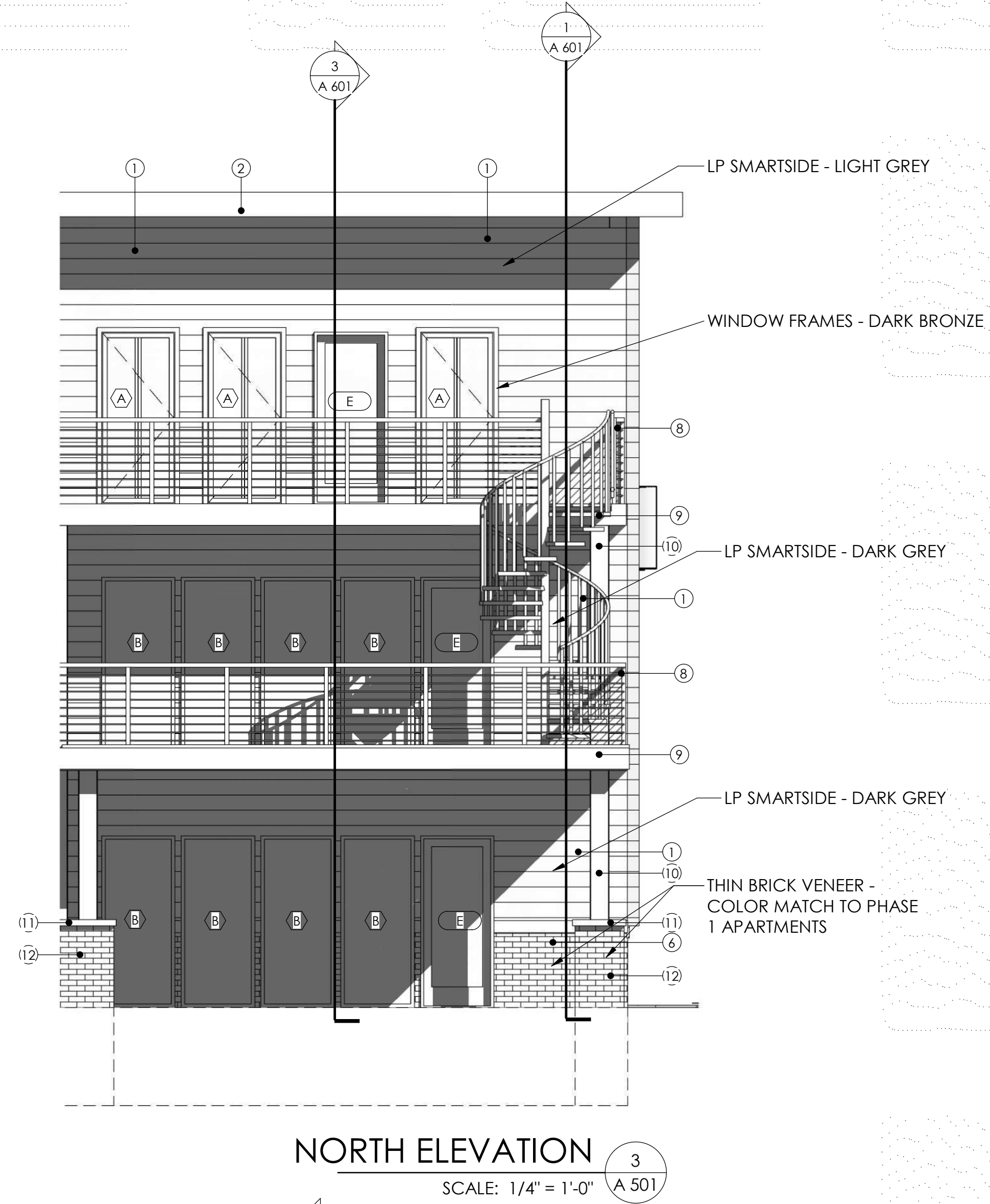
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TYPICAL ELEVATION -
TOWNHOUSE

A
501

PROJ. NO. 2022-12





RIVER ELEVATION 1
SCALE: 1/8" = 1'-0" A 503



STREET ELEVATION 2
SCALE: 1/8" = 1'-0" A 503

NEW CONSTRUCTION FOR:

SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081

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EXTERIOR ELEVATIONS

A
503

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