PROPOSED C-STORE FOR:

J-MART

SHEBOYGAN, WISCONSIN



2637 Tulip Lane Green Bay, WI 543 I 3 Phone: (920) 469-9288 Fax: (920) 469-6809 E-mail: Info@IntegrityEngineering.biz

INTEGRITY MISSION STATEMENT

WE PROVIDE HIGH QUALITY ARCHITECTURAL DESIGN AND STRUCTURAL ENGINEERING. OUR PLANS MOVE SMOOTHLY THROUGH THE STATE REVIEW PROCESS AND MAKE BUILDING CONSTRUCTION MORE ENJOYABLE. OUR SERVICE IS UNMATCHED AND OUR INTEGRITY IS IMPECCABLE.

IF YOU HAVE ANY QUESTIONS OR COMMENTS ABOUT THE CONTENT OR PRESENTATION OF MATERIAL ON THIS PLAN, PLEASE CALL (920) 469-9288

GENERAL CONDITIONS:

THESE PLANS ARE PRESENTED TO LEAD A HIGH QUALITY DESIGN/BUILD TEAM. EACH CONTRACTOR AND SUBCONTRACTOR IS RESPONSIBLE TO PROVIDE EXCELLENT DESIGN, BUILDING MATERIALS, AND CRAFTSMANSHIP WHICH WE CAN ALL BE PROUD OF. WE ENCOURAGE YOU TO PROVIDE EXPERTISE IN YOUR CHOSEN FIELD AND TO BRING IDEAS AND CONCERNS TO THE ATTENTION OF THE GENERAL CONTRACTOR.

THESE DRAWINGS COVER STRUCTURAL AND GENERAL CONSTRUCTION ONLY. ALL WORK SHALL CONFORM TO STANDARD PRACTICES AND APPLICABLE LAWS. WHETHER THEY ARE SPECIFICALLY STATED IN THESE PLANS OR NOT.

-VISIT THE SITE TO VERIFY EXISTING CONDITIONS, ACCESS, ETC. PRIOR TO

-MAINTAIN A CLEAN JOB SITE AT ALL TIMES.

-OBTAIN AND PAY FOR PERMITS, LICENSES, FEES, ETC. AS MAY BE REQUIRED FOR COMPLETION OF HIS OWN PORTION OF THE PROJECT. -FIELD VERIFY DIMENSIONS.

-REPORT ANY DISCREPANCY NOTED BETWEEN THESE PLANS AND APPLICABLE CODES TO THE GENERAL CONTRACTOR.

-PROVIDE ALL BARRIERS, FENCES, SAFETY EQUIPMENT AND PRECAUTIONS

REQUIRED BY APPLICABLE LAWS AND STANDARD PRACTICES.

ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURERS REQUIREMENTS AND RECOMMENDATIONS.

ANY HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION, REMODELING, OR EXCAVATION SHALL BE REMOVED AND/OR CONTAINED IN ACCORDANCE WITH

GOVERNING LOCAL, STATE, AND FEDERAL REGULATIONS. THIS DESIGN, THESE DRAWING, AND INCLUDED DETAILS ARE THE COPYRIGHTED

PROPERTY OF INTEGRITY ENGINEERING & DESIGN, LLC. NO PART SHALL BE

COPIED, DISTRIBUTED, OR MADE AVAILABLE TO ANYONE WITHOUT THE EXPRESS

WRITTEN CONSENT OF INTEGRITY ENGINEERING & DESIGN, LLC.

TO MAKE THIS PLAN MORE CONTRACTOR FRIENDLY, WE HAVE PREPARED IT WITH OUR <u>QUICK SPEC</u> SYSTEM.

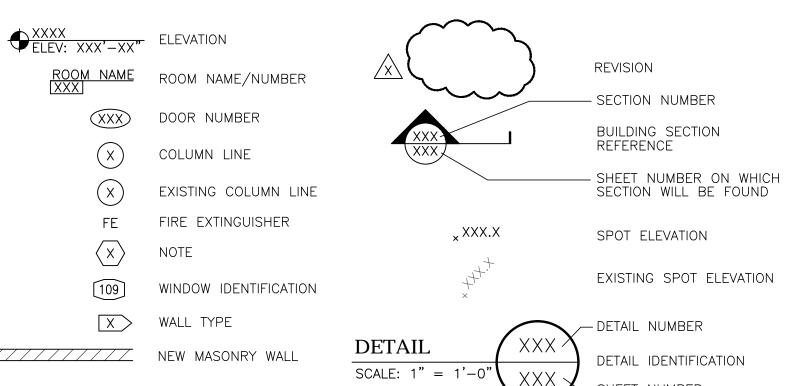
QUICK SPEC

THE WRITTEN SPEC IS GENERAL AND DOES NOT GO INTO DEPTH TO REITERATE STANDARD PRACTICES OR APPLICABLE LAWS. IT IS WRITTEN IN AN EASY TO READ FORMAT. THE SPECIFICATION IS SPLIT INTO APPROPRIATE SECTIONS AND LISTED ON THE PLAN WHERE IT IS NEEDED. YOU WILL FIND THESE SECTIONS QUICKLY BY THE SHADOW BOX AROUND IT (SIMILAR TO THIS ONE).

SPECIFIC CASES THAT CANNOT BE DESCRIBED IN A GENERAL SPEC ARE NOTED ON THE PLANS. IF THERE IS A DISCREPANCY BETWEEN THE PLAN AND THE GENERAL SPEC, THE PLAN NOTES WILL SUPERSEDE THE GENERAL SPEC.

KEY TO SYMBOLS AND MATERIALS

SYMBOLS



NEW STUD WALL

REMOVED

EXISTING WALL TO BE

EXISTING WALL TO

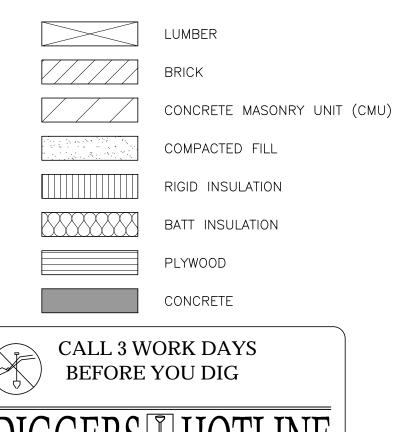
NEW STUD WALL IN

REMODELED SPACE

SHEET NUMBER DETAIL NUMBER

SHEET NUMBER ON WHICH DETAIL WILL BE FOUND PLAN DETAIL REFERENCE - AREA INCLUDED IN DETAIL

MATERIALS



DIGGERS I HOTLINE

(800) 242-8511 FAX (800) 388-3860

WEBSITE: www.diggershotline.com

BUILDING DATA

BUILDING CODE: IBC 2015 WITH WI AMENDMENTS

BUILDING SIZE:

FIRST FLOOR AREA (SQ. FT.): ALLOWABLE AREA PER FLOOR (SQ. FT.): 13,838 NUMBER OF STORIES: 21'-2" MAXIMUM OVERALL HEIGHT:

CONSTRUCTION CLASSIFICATION: NEW - TYPE VB

OCCUPANCY:

B, M

DESIGN LOADS: PER IBC 2015, CHAPTER 16

35 PSF ULTIMATE DESIGN WIND SPEED = 115 MPH WIND EXPOSURE = SEISMIC CATEGORY =

SOIL BEARING PRESSURE = 2000 PSF PRESUMED

FIRE PROTECTION SYSTEMS

AUTOMATIC FIRE SPRINKLER SYSTEM - NOT REQUIRED STANDPIPE SYSTEMS - NOT REQUIRED SEE IBC 905 FIRE ALARM SYSTEM - NOT REQUIRED SEE IBC 907 SMOKE DETECTORS - INSTALL PER APPLICABLE CODES EXIT SIGNS - PROVIDE EXIT SIGNS PER IBC SECTION 1013 FIRE EXTINGUISHERS - INSTALL PER NFPA 1 AND APPLICABLE LOCAL CODES

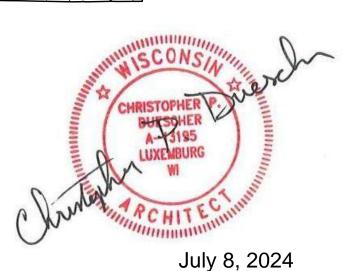
SITE LOCATION MAP

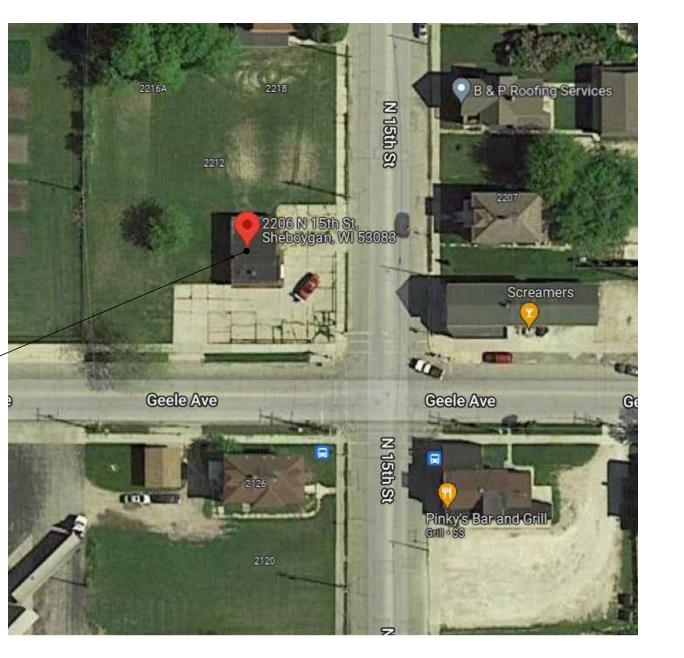
DEPT. OF SAFETY AND PROFESSIONAL SERVICES DIVISION OF INDUSTRY SERVICES

SEE CORRESPONDENCE

Fransaction # CB-0824011159-PRB

August 6, 2024 2206 N 15TH ST. SHEBOYGAN, WI 53083





DRAWING INDEX

T1.0 COVER SHEET

C101 SITE DEMOLITION PLAN, SITE PLAN, AND TYPICAL DETAILS

C102 SITE GRADING AND EROSION CONTROL PLAN

C103 SITE UTILITY AND SITE UTILITY DETAILS

S1.0 FOUNDATION PLAN

S2.0 FOUNDATION DETAILS

S3.0 ROOF FRAMING PLAN

S3.1 SNOW DRIFT LOADING PLAN / ROOF SLOPE DIAGRAM / FRAMING DETAILS

A1.0 FLOOR PLAN

A1.1 F.F.E. PLAN / REFLECTED CEILING PLAN / ENLARGED RESTROOM PLAN

A2.0 EXTERIOR ELEVATIONS

A2.1 EXTERIOR RENDERINGS

A3.0 SECTIONS

A3.1 SECTIONS

A3.2 SECTION DETAILS

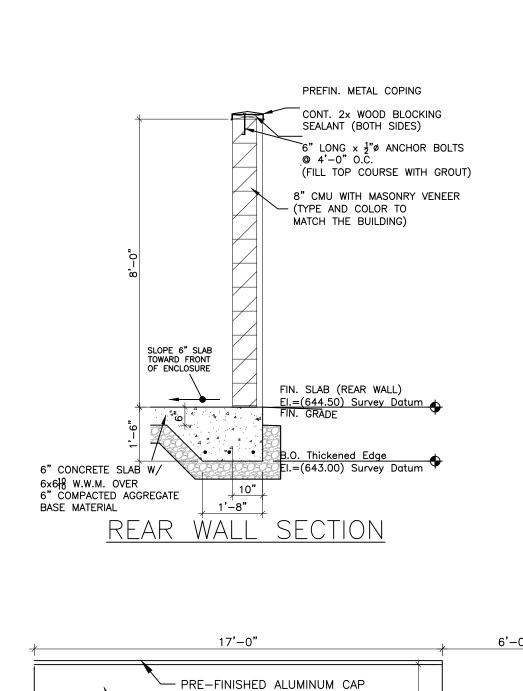
A4.0 SCHEDULES A4.1 HEAD, JAMB, AND SILL DETAILS

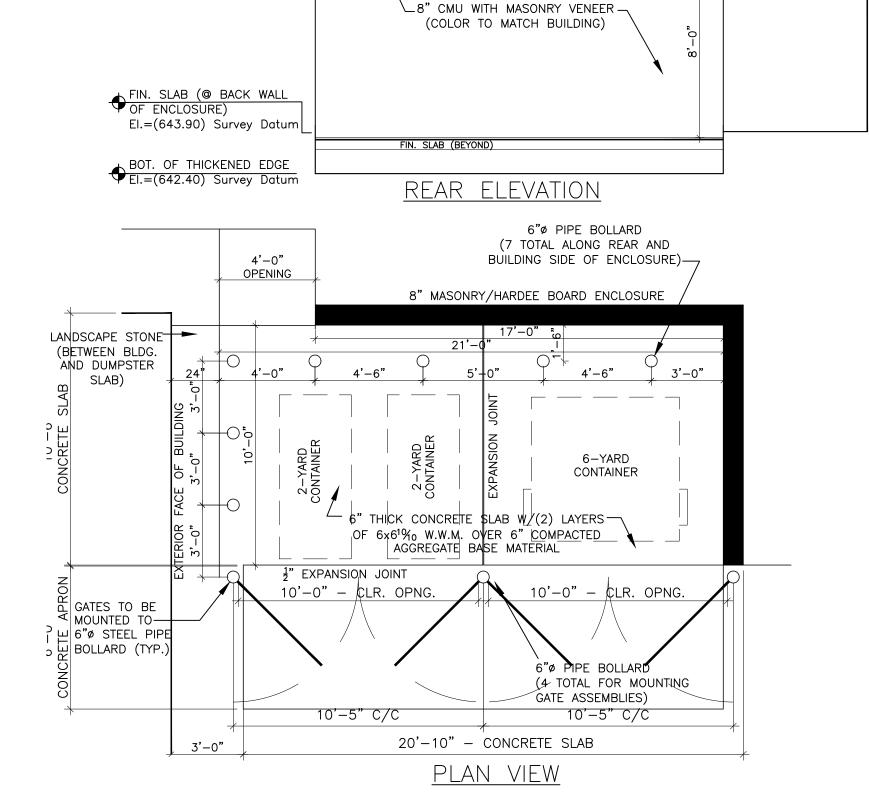
REVISED PLAN JULY 01, 2024

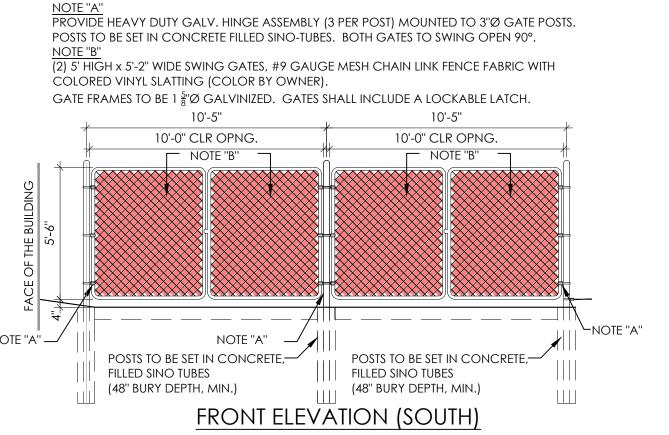
BUILDING SIZE HAS BEEN REVISED AND INTERIOR FLOOR PLAN LAYOUT HAS BEEN RECONFIGURED TO MATCH. ALL SHEETS HAVE BEEN REVISED TO ACCOMMODATE.

THE STAMP OF INTEGRITY ENGINEERING'S SUPERVISING PROFESSIONAL ON THIS SET OF DRAWINGS IS IN NO WAY ATTESTING TO THE ACCURACY AND COMPLETENESS OF THE DRAWINGS PREPARED BY SUB-CONSULTANTS INCLUDED HEREIN. THE RESPONSIBILITY FOR THE DRAWINGS BY SUB-CONSULTANTS LIES WITH THE RESPECTIVE SUB-CONSULTANTS (CIVIL, MEPFP, ETC.) THEY ARE INCLUDED HERE FOR CONVENIENCE AND INFORMATIONAL PURPOSES ONLY.

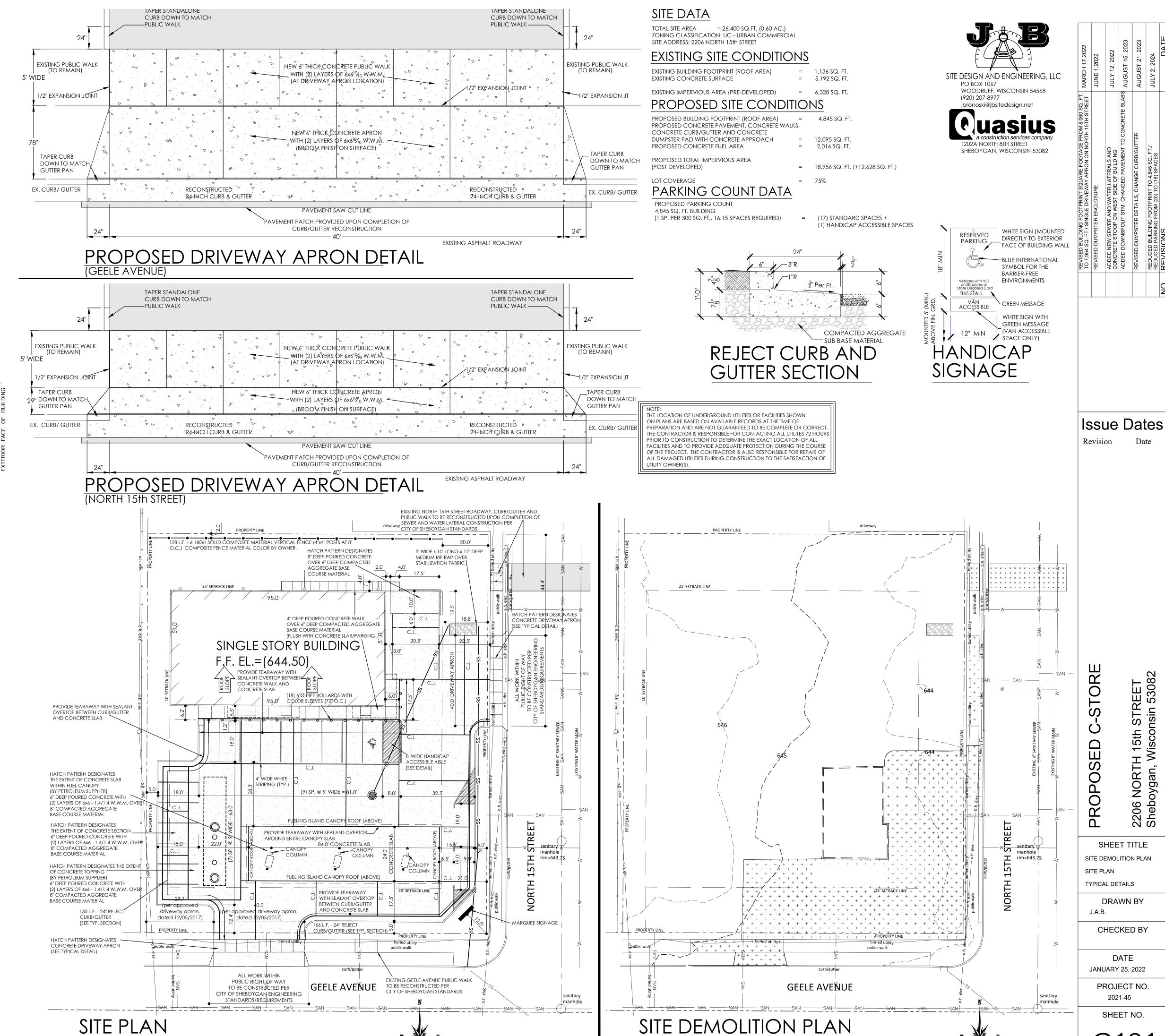
SHE





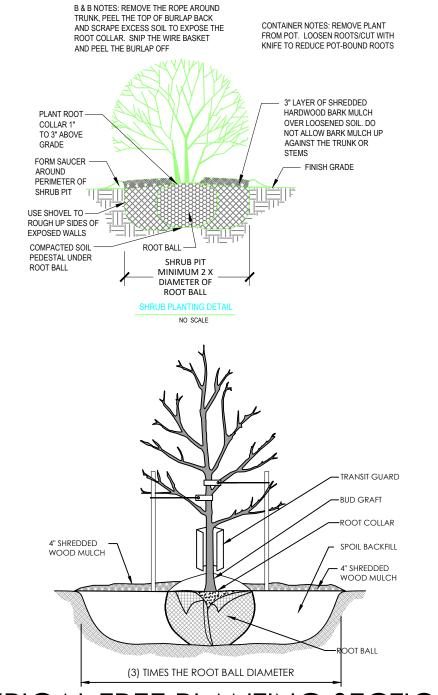


DUMPSTER ENCLOSURE



1"=20'

C101



TYPICAL TREE PLANTING SECTION

INSTALLATION SEQUENCING: DIG HOLE 3 TIMES BIGGER THAN ROOT BALL

ROUGHEN THE SIDES OF THE HOLE TO PREVENT GLAZING IN CLAY SOILS. PLACE TREE IN HOLE, BACKFILL $\frac{1}{3}$ WITH EXISTING SOIL AND REMOVE TRANSIT GUARD, BURLAP AND WIRE BASKET.

GENTLY TAMP TO HELP SETTLE THE SOIL AND REMOVE ANY AIR POCKETS. CREATE A WATER SAUCER TO COLLECT THE WATER UNTIL IT SOAKS INTO THE SOIL

REMOVE ONLY BROKEN OR DAMAGED BRANCHES.

GENERAL LANDSCAPE NOTES

ALL LANDSCAPE PLANTINGS, INCLUDING BUT NOT LIMITED TO PLANTING BEDS, TREES AND SHRUBS AS DEFINED, TO BE INSTALLED NO LATER THAN OCTOBER 1, 2019.

ALL EROSION MAT, SEEDING AND MULCH WITHIN ALL TURF AREAS TO BE INSTALLED NO LATER THAN OCTOBER 1, 2019. SEE SHEET C/1.1 FOR EXTENT OF EROSION MAT AS WELL AS REQUIRED SEED MIXTURE.

CALL DIGGER'S HOTLINE PRIOR TO DIGGING.

ALL BUILDING DIMENSIONS, GRADES AND ELEVATIONS TO BE VERIFIED IN THE FIELD. PLANT ALL TREES, SHRUBS AND EVERGREENS ACCORDING TO THE HEIGHT OF THE ROOT BALL OR POT.

ALL PERENNIAL BEDS TO RECEIVE 3" COMPOST.

ALL TREES IN THE LAWN AREAS TO RECEIVE A MULCH CIRCLE (NO LANDSCAPE EDGING) AND WATER SAUCER.

LANDSCAPE CONTRACTOR TO PROVIDE TWO LAYERS OF WEED BARRIER WITHIN

BUILDING FOUNDATION

65 POINTS (MIN.) REQUIRED

PLANTING AREAS AS DEFINED.

67 POINTS PROVIDED

= (3) PTS. PER - 12 POINTS TOTAL (3) ARTIC FIRE DOGWOOD = (5) PTS. PER - 15 POINTS TOTAL (2) EMERALD ARBORVITAE = (20) PTS. PER -40 POINTS TOTAL

DEVELOPED LOTS

30 POINTS (MIN.) REQUIRED 75 POINTS PROVIDED

(1) SUGAR MAPLE = (75) PTS. PER -75 POINTS TOTAL

STREET FRONTAGE 66 POINTS (MIN.) REQUIRED 80 POINTS PROVIDED

(4) EMERALD ARBORVITAE = (20) PTS. PER -80 POINTS TOTAL

PAVEMENT AREA

57 POINTS (MIN.) REQUIRED 107 POINTS PROVIDED

= (75) PTS. PER - 75 POINTS TOTAL (1) SUGAR MAPLE (2) ANDORRA JUNIPER = (3) PTS. PER - 6 POINTS TOTAL = (5) PTS. PER - 10 POINTS TOTAL (2) ARTIC FIRE DOGWOOD

LANDSCAPE POINTS REQUIRED FOR 'UC' URBAN COMMERCIAL ZONING BUILDING FOUNDATIONS = 292 LINEAL FEET

PER SECTION 15.604 AND TABLE 15.604; BUILDING FOUNDATION LANDSCAPE REQUIREMENTS

- FOR A TOTAL OF 59 POINTS REQUIRED 20 POINTS PER 100 LINEAL FEET NO CLIMAX TREES OR TALL TREES ALLOWED TO MEET REQUIREMENT

DEVELOPED LOTS = 4,845 SQUARE FOOT BUILDING FOOTPRINT PER SECTION 15.605 AND TABLE 15.605:DEVELOPED LOT LANDSCAPE REQUIREMENTS 5 POINTS PER 1,000 SQUARE FEET - FOR A TOTAL OF 25 POINTS REQUIRED

STREET FRONTAGE = 326 LINEAL FEET (NORTH 15th STREET and GEELE AVENUE) PER SECTION 15.606 AND TABLE 15.606:STREET FRONTAGE LANDSCAPE REQUIREMENTS

20 POINTS PER 100 LINEAL FEET - FOR A TOTAL OF 66 POINTS REQUIRED - A MINIMUM OF 50-PERCENT OF POINTS SHALL BE CLIMAX AND/OR TALL TREES (33 POINTS) A MINIMUM OF 30-PERCENT OF POINTS SHALL BE SMALL TREES (20 POINTS)

CONCRETE AREA = 14,080 SQUARE FEET

PER SECTION 15.607 AND TABLE 15.607:PAVED AREA LANDSCAPE REQUIREMENTS 40 POINTS PER 10,000 SQUARE FEET - FOR A TOTAL 57 POINTS REQUIRED

- A MINIMUM OF 30-PERCENT OF POINTS SHALL BE CLIMAX AND/OR TALL TREES (17 POINTS) - A MINIMUM OF 40-PERCENT OF POINTS SHALL BE SHRUBS (22 POINTS)

Symbol	MARK	QTY.	BOTANICAL NAME	COMMON NAME	PLANTED SIZE
	SM	2	ACER SACCHARUM	SUGAR MAPLE	2" DIA.
	AV TYPE 1	6	THUJA OCCIDENTALIS EMERA	EMERALD ARBORVITAE	6'0" TALL
(°)	AJ	6	JUNIPERUS HORIZONTALIS 'PLUMOSA'	Andorra Juniper	12"-15"
	RD	5	CORNUS SERICEA	ARTIC FIRE DOGWOOD	30"-36"

LANDSCAPE NOTES

LANDSCAPE INSTALLATION:

1. All written dimensions supersede scaled dimensions.

Verify all existing site and grading conditions prior to construction.

2. The Contractor shall verify location of all underground utilities and additional information prior to commencing construction. 3. Rough grading and drainage construction is to be completed prior to Landscape Contractor's work.

4. All work shall be in conformance with all applicable local codes and ordinances.

5. All areas disturbed by grading or site construction shall be fine graded, planted or seeded. See notes for specified seed mixes and installation procedures.

6. Contractor shall verify plant quantities shown on the Plan and provide a list to the client identifying the species and size to be used throughout the project. The Owner's representative reserves the right to reject any substandard planting material. Rejected material shall be removed from the project site immediately,

7. All turf grass areas shall receive a blended topsoil mix to a depth of six (6) inches. Contractor shall provide positive drainage away from all buildings for a minimum of ten (10) feet.

8. Soil preparation for perennial or groundcover planting beds shall be as follows:

A. Remove all roots, lumps, stones, sod and other extraneous materials harmful or toxic to plant growth.

B. Perennial and groundcover planting beds shall receive a eight (8) inch topsoil. Add 1/2 LB. of 5-10-5 garden fertilizer per 100 square feet and roto-till

amendments into the planting bed. C. Mix amended planting soil either prior to planting or apply on surface of planting bed and mix thoroughly before planting.

D. Grade, rake, and roll planting bed with roller weighing not less than 25 LBS. or more than 100 LBS.

per lineal foot so as to leave in condition to plant. E. Grade planting bed to a twelve (12) inch crown at center.

9. All mixed planting beds with perennials, groundcover, shrubs and trees shall receive a two (2) inch to three (3) inch layer of shredded bark mulch as noted on the Plan. All shrub and tree planted singly or together in beds shall receive a three (3) inch layer of shredded bark mulch as noted. Do not allow bark mulch to touch stems or trunks of perennials, shrubs or trees.

10. Unless otherwise shown, all perennials and shrubs to be planted in a triangular arrangement, spaced according to plant recommendation.

11. Plant Bed Edging - Install a shovel-cut bed edge to six (6) inch depth at perimeter of bed.

12. Unless otherwise noted, do not stake deciduous trees less than or equal to 2.5 inches caliper diameter at breast height and evergreen trees less than or equal to 6-feet in height.

13. See the Tree Staking Detail on this Plan if tree staking is required.

14. Plant species as defined are general planting types and are subject to modification/adjustment/change. SEED MIXES:

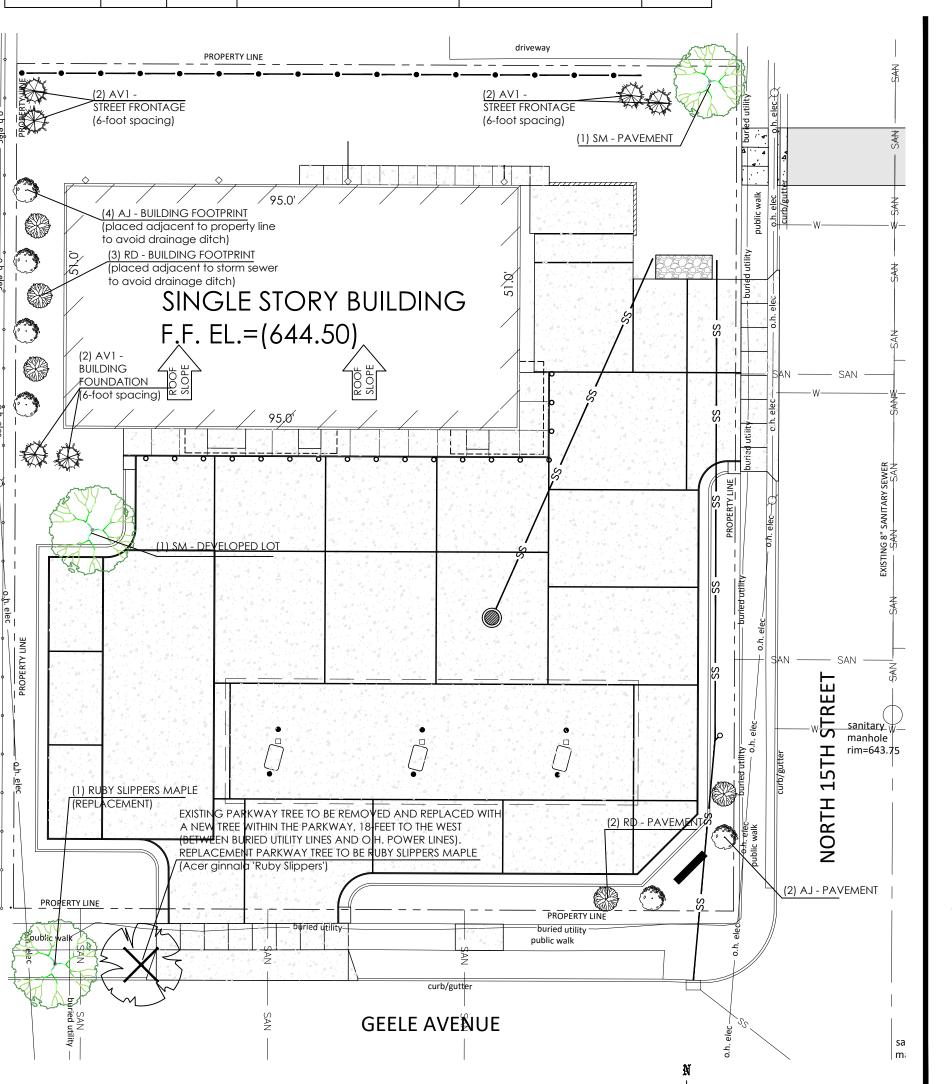
SEEDED TURF for LAWN AREAS: Sow at 5 lbs. / 1,000 sq. ft.

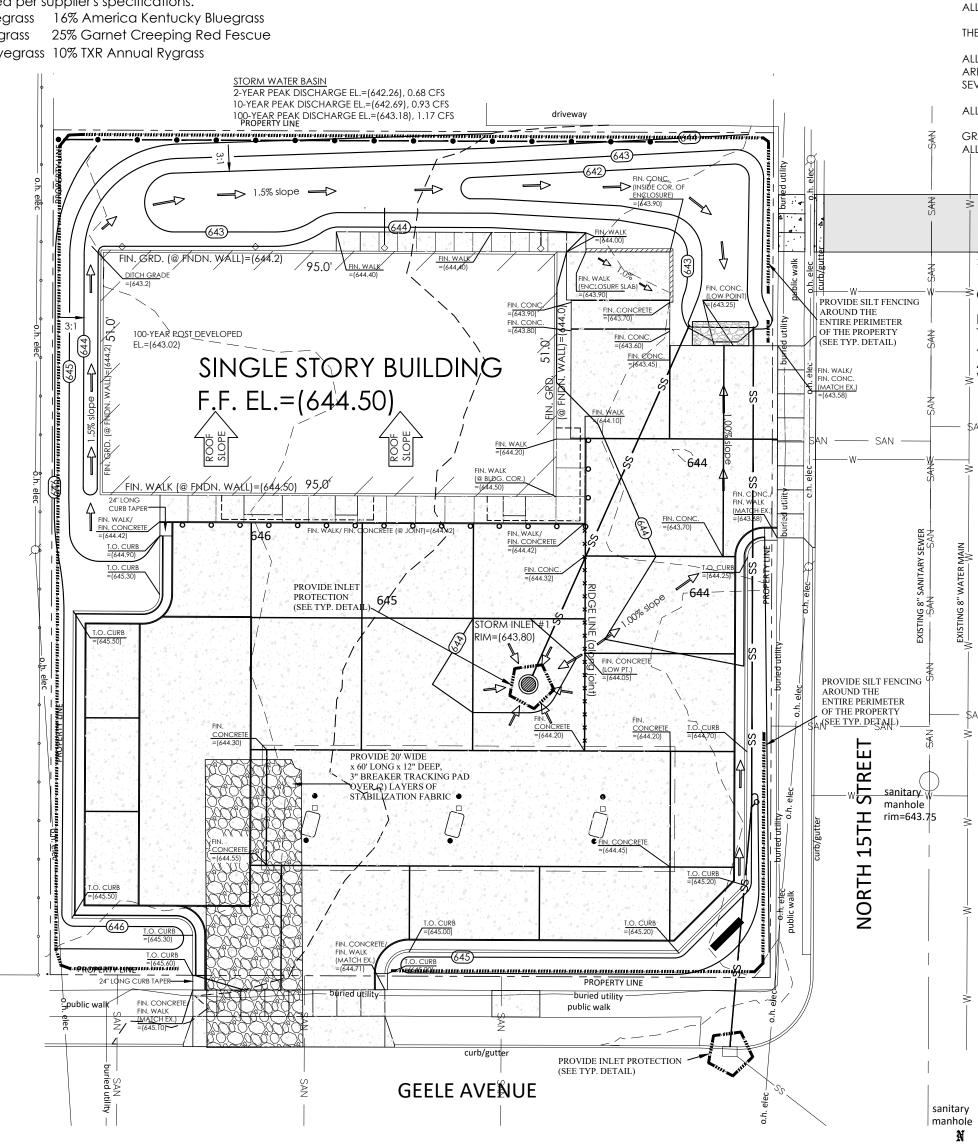
"Supreme Lawn Seed Mix"

Available from Reinders, Inc. (800) 785-3301, or approved equal To be installed and maintained per supplier's specifications.

17% Mercury Kentucky Bluegrass 16% America Kentucky Bluegrass

17% SR 2100 Kentucky Bluegrass 25% Garnet Creeping Red Fescue 15% Replicator Perennial Ryegrass 10% TXR Annual Rygrass

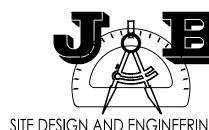






TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND BEFORE YOU DIG. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE

> THE LOCATION OF UNDERGROUND UTILITIES OR FACILITIES SHOWN ON PLANS ARE BASED ON AVAILABLE RECORDS AT THE TIME OF PREPARATION AND ARE NOT GUARANTEED TO BE COMPLETE OR CORRECT. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITES 72 HOURS PRIOR TO CONSTRUCTION TO DETERMINE THE EXACT LOCATION OF ALL FACILITIES AND TO PROVIDE ADEQUATE PROTECTION DURING THE COURSE OF THE PROJECT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR REPAIR OF ALL DAMAGED UTILITIES DURING CONSTRUCTION TO THE SATISFACTION OF UTILITY OWNER(S).



SITE DESIGN AND ENGINEERING, LLC PO BOX 1067 WOODRUFF, WISCONSIN 54568

jbronoski@jbsitedesign.net

SHEBOYGAN, WISCONSIN 53082

(920) 207-8977

SITE DEVELOPMENT AND EROSION CONTROL NOTES:

KEEP A COPY OF THE CURRENT AND APPROVED EROSION CONTROL PLAN ONSITE THROUGHOUT THE DURATION OF THE PROJECT.

SELECTED EARTHWORK CONTRACTOR IS RESPONSIBLE FOR THE ROUTINE SITE INSPECTION AT LEAST ONCE EVERY 7 DAYS

AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ONSITE AND

THE SELECTED EARTHWORK CONTRACTOR, SHALL INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

INSTALL PERIMETER EROSION CONTROLS AND STONE TRACKING PAD ENTRANCE PRIOR TO ANY LAND DISTURBANCE ACTIVITIES AND/OR SITE CLEARING/TOPSOIL STRIPPING. USE WDNR TECHNICAL STANDARD #1057 FOR STONE TRACKING PADS.

STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREAS (BARE GROUND). FOLLOW STEPS DEFINED WITHIN WDNR TECHNICAL STANDARD #1067.

CONSTRUCTION OF THE STORM WATER BASIN SHOULD BE CONSTRUCTED BEFORE ANY OTHER LAND DISTURBANCE ACTIVITIES TAKE PLACE. UPON COMPLETION OF SITE STABILIZATION (PAVEMENT, TOPSOIL/GRASS) THE STORM WATER BASIN SHOULD BE CLEANED OUT AND BASIN BOTTOM RESTORED TO DESIGNED GRADE

INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD #1056 FOR SILT FENCING. REMOVE SEDIMENT FROM BEHIND SILT FENCING AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.

SELECTED EARTHWORK CONTRACTOR IS RESPONSIBLE TO REPAIR ALL BREAKS AND/OR GAPS IN THE SILT FENCE IMMEDIATELY.

EARTHWORK CONTRACTOR TO STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR MORE THAN 14 DAYS. BETWEEN SEPTEMBER AND OCTOBER 15, STABILIZE WITH MULCH, TACKIFIER AND A PERENNIAL SEED MIX WITH WINTER WHEAT, ANNUAL OATS OR ANNUAL RYE AS APPROPRIATE FOR THE REGION AND SOIL TYPE. AFTER OCTOBER 15 STABILIZE WITH A POLYMER AND DORMANT SEED MIX AS APPROPRIATE FOR THE REGION

EARTHWORK CONTRACTOR TO SWEEP/CLEAN UP ALL SEDIMENTATION/TRASH THAT MAY MOVE OFFSITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS AND DO NOT ALLOW THESE ITEMS TO BE

CARRIED BY RUNOFF INTO THE EXISTING STORM WATER BASIN. SELECTED EARTHWORK CONTRACTOR WILL BE RESPONSIBLE TO INSTALL ANY/ALL ADDITIONAL EROSION CONTROL

AND SEDIMENT CONTROL MEASURES DEEMED NECESSARY BY SHEBOYGAN COUNTY AND/OR THE OWNER'S REPRESENTATIVE. ALL DISTURBED AREAS SHALL BE TOPSOILED (4" MIN.), FERTILIZED, SEEDED AND MULCH.

THE SEED MIXTURE SHALL BE WIS DOT MIXTURE #10 APPLIED AT A RATE OF 3 POUNDS/1,000 SQUARE FEET.

ALL EROSION CONTROL DEVICES SHOWN HEREIN WILL BE MAINTAINED UNTIL AT LEAST 80% OF THE DISTURBED AREA OF THE SITE HAS BEEN STABILIZED. ANY DISTURBED AREAS AND STOCKPILES LEFT INACTIVE FOR SEVEN DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED

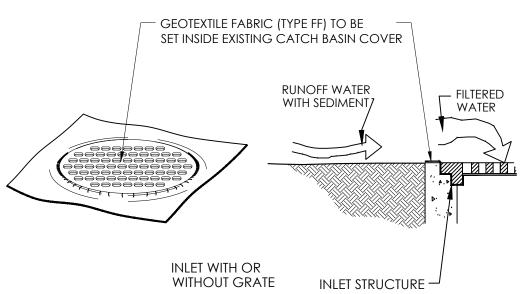
ALL CONSTRUCTION TRAFFIC WILL BE LIMITED TO ACCESS THE SITE OVER TRACKING PAD PROVIDED GRADING CONTRACTOR SHALL BE RESPONSIBLE TO CONTRACT LANDSCAPE CONTRACTOR TO RESTORE

ALL AREAS OF CONSTRUCTION SITE. 2"x2"x 44" LONG (MIN.)— WOOD STAKE GEOTEXTILE FABRIC BURY FABRIC IN TRENCH 6" DEEP x 4" WIDE BACKFILL AND COMPACT W/ EXCAVATED SOIL DIRECTION OF NSTALLATION SHALL BE IN ACCORDANCE WITH THE WDNR EXCESS FABRIC —— TECHINCAL STANDARDS 1056

SILT FENCE SECTION & DETAIL

FABRIC SHALL BE REPLACED AT THE ENGINEERS DISCRETION.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET, ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.



INLET PROTECTION DETAIL

Issued for Construction

Issue Dates

Revision

SHEET TITLE SITE GRADING AND EROSION CONTROL PLAN

DRAWN BY

CHECKED BY

DATE JANUARY 25, 2022

PROJECT NO. 2021-45

SHEET NO.

C102

1''=20'

SITE LANDSCAPE PLAN

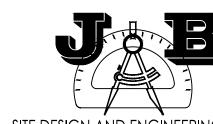
SITE GRADING AND EROSION CONTROL PLAN



CALL DIGGERS' HOTLINE 1-800-242-8511

TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND BEFORE YOU DIG. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

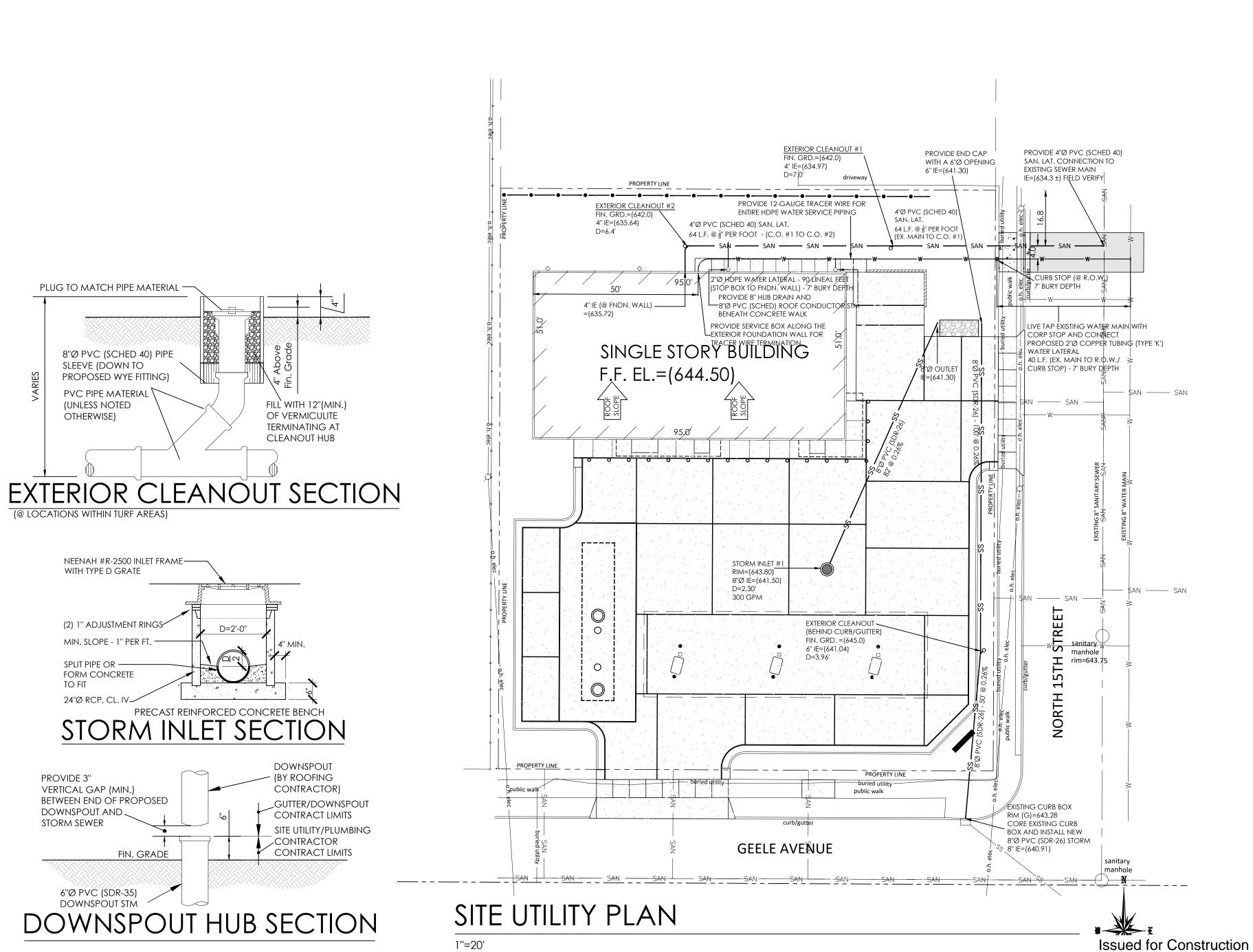
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SITE DESIGN AND ENGINEERING, LLC

PO BOX 1067 WOODRUFF, WISCONSIN 54568 (920) 207-8977





PLUG TO MATCH PIPE MATERIAL -

8"Ø PVC (SCHED 40) PIPE SLEEVE (DOWN TO

PROPOSED WYE FITTING)

NEENAH #R-2500 INLET FRAME----

PVC PIPE MATERIAL

(UNLESS NOTED

OTHERWISE)

(@ LOCATIONS WITHIN TURF AREAS)

WITH TYPE D GRATE

SPLIT PIPE OR ——FORM CONCRETE

PROVIDE 3"

VERTICAL GAP (MIN.)

DOWNSPOUT AND \

STORM SEWER

BETWEEN END OF PROPOSED

6"Ø PVC (SDR-35) DOWNSPOUT STM

FIN. GRADE

(2) 1" ADJUSTMENT RINGS

Issue Dates

Revision

SHEET TITLE

SITE UTILITY PLAN SITE UTILITY DETAILS

DRAWN BY

CHECKED BY

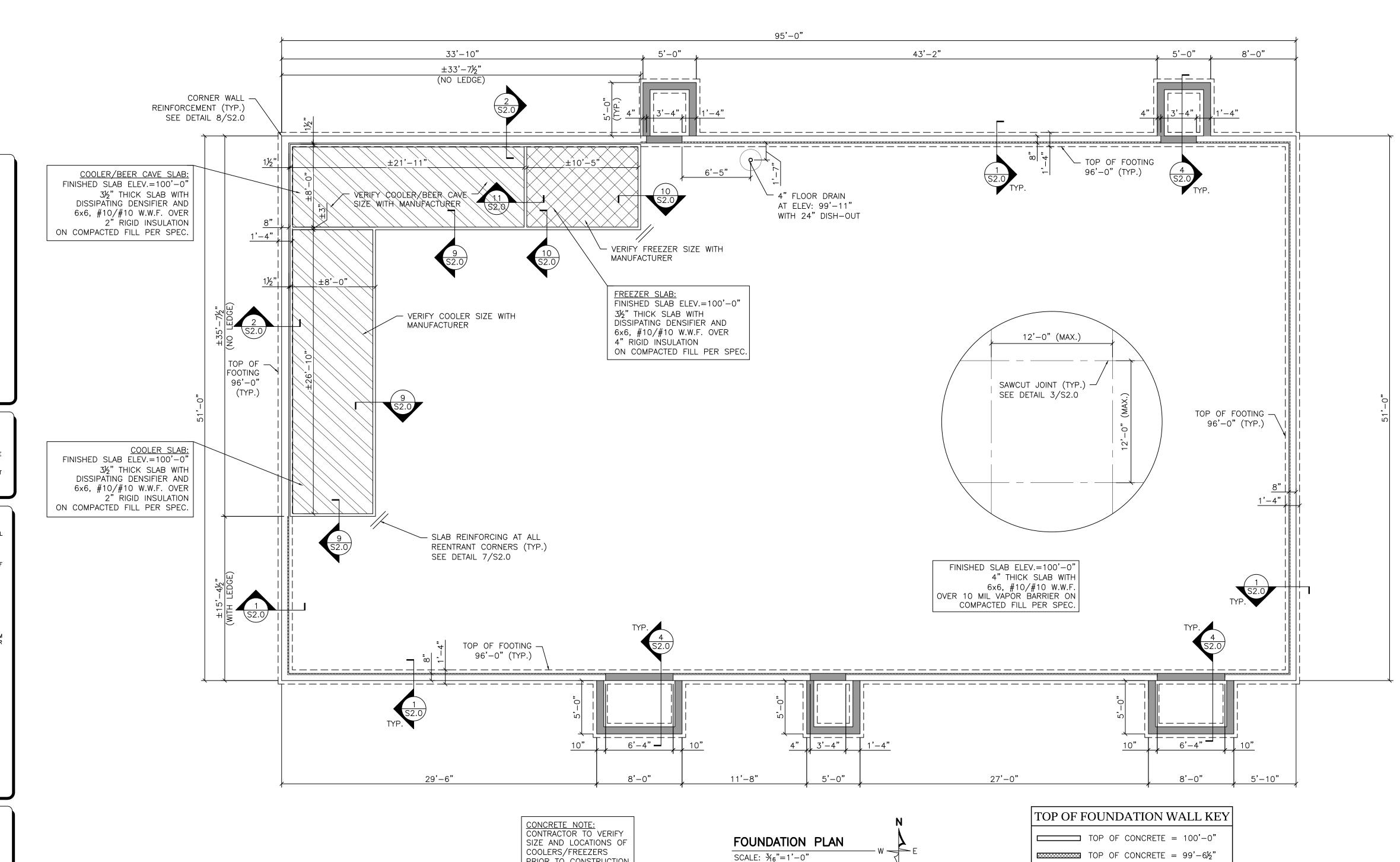
DATE JANUARY 25, 2022

PROJECT NO. 2021-45 SHEET NO.

C103

ISSUE DATE	07-01-2024			
REVISIONS	REVISED PREVIOUSLY APPROVED PLAN			
ISSUE NO	~			

SHEBOYG 2206 N. 15TH S SHEBOYGAN, V



PRIOR TO CONSTRUCTION

<u>CONCRETE</u>

CONCRETE CONTRACTOR SHALL VERIFY SOIL CONDITIONS BEFORE PLACING FOUNDATIONS AND SLABS. NOTIFY THE GENERAL CONTRACTOR IF ANY SOIL CONDITIONS APPEAR OUT OF THE

FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR STRUCTURAL FILL. DO NOT PLACE FOOTINGS ON FROZEN GROUND. DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94.

) FOOTINGS AND WALLS SHALL HAVE STRENGTH EQUAL TO 4,000 PSI AT 28 DAYS. 2) SLABS ON GRADE SHALL HAVE STRENGTH EQUAL TO 4,000 PSI AT 28 DAYS 3) EXTERIOR CONCRETE SHALL HAVE STRENGTH EQUAL TO 4,000 PSI AT 28 DAYS. 4) COLUMNS, BEAMS AND STRUCTURAL SLABS SHALL HAVE STRENGTH EQUAL TO 4,000 PSI AT 28 DAYS 5) PRE CAST TOPPING SHALL HAVE STRENGTH EQUAL TO 4000 PSI AT 28 DAYS.

6) SLUMP SHALL NOT EXCEED 4".
7) ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR—ENTRAINED WITH 4—7%
AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT THE APPROVAL
OF THE GENERAL CONTRACTOR. CALCIUM CHLORIDE SHALL NOT BE USED.
8) MAXIMUM AGGREGATE SIZE FOR FOOTING TO BE 1 1/2" AND MAXIMUM AGGREGATE

SIZE FOR ALL OTHER WORK TO BE 3/4".

PLACE FLOOR SLABS WITH CONSTRUCTION JOINTS OR SAW JOINTS NOT EXCEEDING A MAXIMUM OF 156 SQUARE FEET OR AS INDICATED ON THE PLANS. SAW CUTTING TO BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. INTERIOR SLABS TO HAVE A TROWEL FINISH AND EXTERIOR SLABS TO HAVE A LIGHT BROOM FINISH. MAINTAIN FLOOR LEVEL AT WALLS AND PITCH SURFACES UNIFORMLY TO DRAINS. CONCRETE TO BE SEALED OR WET CURED FOR 7 DAYS. FLOORS TO RECEIVE TILE OR EPOXY TO BE WET CURED ONLY. EXTERIOR SLABS SHALL BE SEPARATED FROM BUILDINGS WITH

CONTINUOUS 1/2" FIBER EXPANSION JOINT. DESIGN AND CONSTRUCTION OF CAST-IN-PLACE CONCRETE SHALL CONFORM TO ACI 318 AND CRSI STANDARDS.

ANCHOR BOLTS AND THREADED RODS TO BE ASTM FI554. MINIMUM GRADE A36.

REINFORCING STEEL

REINFORCING STEEL TO CONFORM TO ASTM-A615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM-A185. LAP ALL HORIZONTAL REINFORCING AT SPLICES AND AROUND CORNERS 30 BAR DIAMETERS. WELDED WIRE FABRIC IS TO BE LAPPED 6" AND PLACED IN THE CENTER OF THE SLAB UNLESS INDICATED OTHERWISE. REINFORCING SHALL BE PLACED IN CONFORMANCE WITH CRSI "RECOMMENDED PRACTICES FOR PLACING BARS" AND ACI 318. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE, DIRT OR DEEP RUST WHEN PLACED. PROVIDE CONCRETE PROTECTION FOR REBARS PER ACI 318 SECTION 7.7.

THE SITE WORK CONTRACTOR IS REQUIRED TO CONTACT DIGGER'S HOTLINE. ALL UTILITIES SHALL BE LOCATED PRIOR TO STARTING EXCAVATION. ALL EXCAVATION AND BACK FILL FOR MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE MECHANICAL CONTRACTOR. THESE TRENCHES ARE TO BE FILLED IN 8" LIFTS AND COMPACTED TO 95% OF THE MODIFIED PROCTOR VALUE. ENSURE TRENCH ROUTE IS CLEAR OF UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO DIGGING.

THE EXCAVATION CONTRACTOR SHALL ADVISE THE GENERAL CONTRACTOR OF ANY SOIL CONDITIONS WHICH APPEAR OUT OF THE ORDINARY. THE SOIL BEARING CAPACITY IS LISTED ON THE COVER SHEET. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS AND AT SITE FILL AREAS SHALL BE REMOVED. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION.

ALL SUB GRADE FILL UNDER PAVED AREAS AND BUILDING AREAS SHALL BE CLEAN GRANULAR FILL CONFORMING TO GRADE 1 OR 2 OF SECTION 209 WDOT STANDARD. PLACE IN 8" MAXIMUM LIFTS AND COMPACT TO 95% OF THE MODIFIED PROCTOR VALUE. GRAVEL BASE BENEATH FLOOR SLABS SHALL BE 6 INCHES OF ¾" CRUSHED STONE OR SAND COMPACTED TO THE ABOVE STANDARD. GRAVEL BASE BENEATH DRIVES, PARKING AREAS, AND APRONS SHALL BE 12" OF COMPACTED CRUSHED STONE. TYPAR SHALL BE INSTALLED WHENEVER THIS 12" BASE RESTS ON CLAY OR LOOSE SOILS. FILL SHALL NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACKFILL.

FOUNDATION TRENCHES MUST BE BACK FILLED UNIFORMLY ON EACH SIDE WITH SAND. PLACE FILL IN 8" LIFTS AND COMPACT TO 95% OF THE MODIFIED PROCTOR VALUE. THE EXTERIOR SIDE MAY BE FILLED WITH COMPACTED NON-STRUCTURAL FILL IF THERE WILL NEVER BE A PARKING LOT OR ADDITION ON THAT SIDE. WHEN IN DOUBT, BACK FILL WITH SAND. THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AT A MINIMUM OF 2% SLOPE FOR 20'-0'' AWAY FROM THE BUILDING, STARTING AT 5'' BELOW THE FLOOR LINE OR AS INDICATED ON THE PLANS. PROVIDE 6" OF TOPSOIL AT ALL GRASS AND

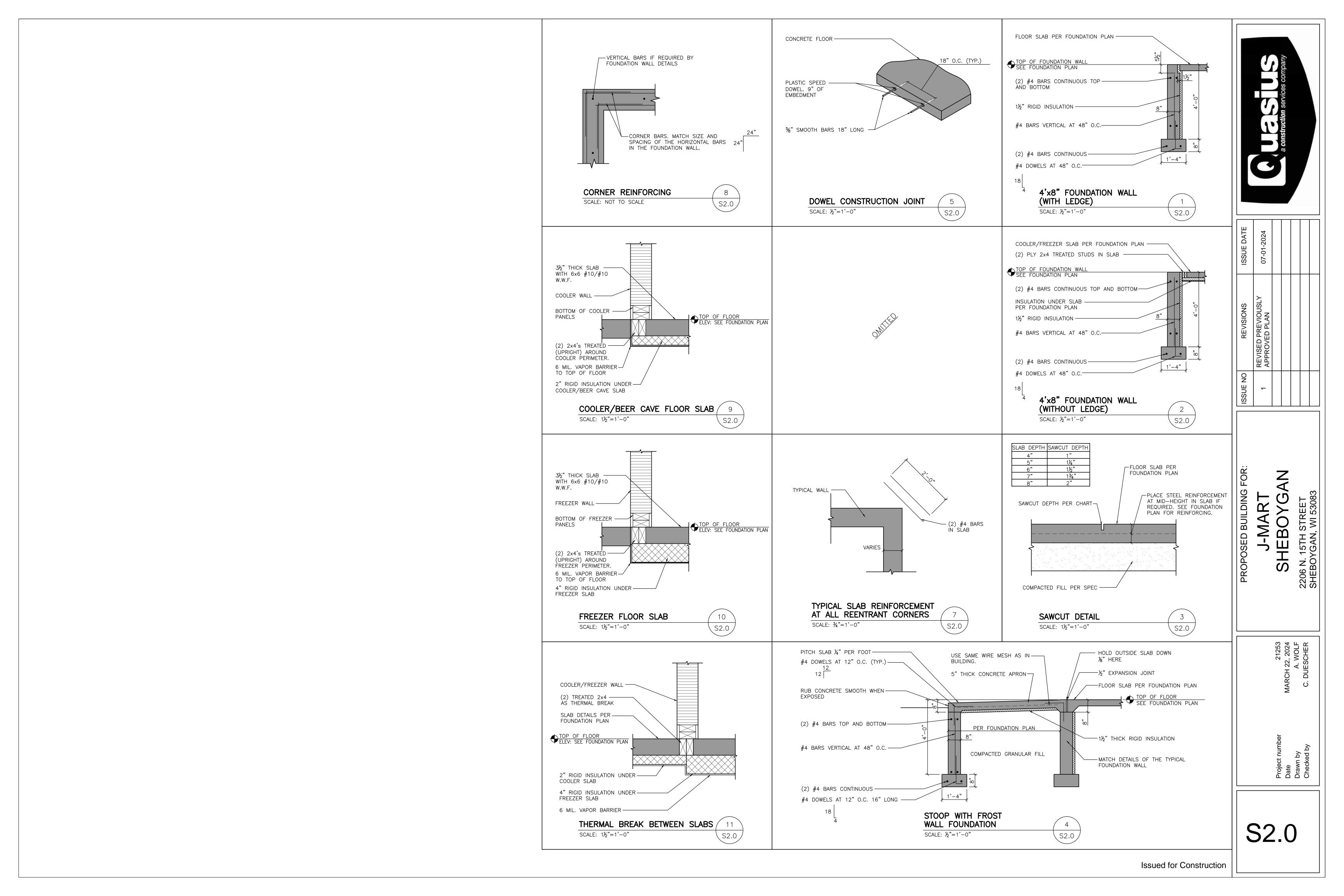
LANDSCAPED AREAS AND GRADE TO +/- 0.10 FEET. SPLASH BLOCKS ARE TO BE PLACED AT ALL DOWN SPOUTS WHICH DISCHARGE AT GRADE AND AT SPRINKLER DRAIN VALVES.

IF A CURRENT GEOTECHNICAL REPORT OR PLANS BY A CIVIL CONSULTANT ARE AVAILABLE, ALL REQUIREMENTS OF THAT REPORT AND PLANS MUST BE FOLLOWED. WHEN THE STRUCTURAL/ARCHITECTURAL PLANS OR THE INFORMATION ABOVE CONFLICT WITH THE GEOTECHNICAL REPORT OR THE CIVIL PLANS, THE INFORMATION IN THE GEOTECHNICAL REPORT AND CIVIL PLANS SUPERCEDE.

ALL UTILITIES SHALL BE INSTALLED PER INDUSTRY STANDARDS. WATER, SANITARY AND STORM SEWER SHALL BE INSTALLED PER "STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN". THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, APPLYING FOR, SCHEDULING AND COORDINATING THE INSTALLATION OF GAS, ELECTRIC, AND COMMUNICATION SERVICES.

LOCATIONS OF SITE UTILITIES ON THIS PLAN ARE PRELIMINARY AND MUST BE VERIFIED BY THE SITE UTILITY CONTRACTOR.

TOP OF CONCRETE = 99'-4"



WOOD TRUSSES

TRUSSES MUST BE INSTALLED PER TRUSS SUPPLIER SHOP DRAWINGS AND MUST MEET ALL REQUIREMENTS OF THE TRUSS SHOP DRAWINGS. WHERE THE TRUSS SHOP DRAWINGS CONFLICT WITH THE ROOF FRAMING PLAN, THE SHOP DRAWINGS SUPERCEDE.

WOOD TRUSSES SHALL BE DESIGNED FOR ALL LOADS AND REQUIREMENTS AS INDICATED ON THESE PLANS, AND AS OUTLINED BY IBC, CHAPTER 16. WOOD TRUSSES MUST MEET APPLICABLE REQUIREMENTS OF IBC, CHAPTER 23. TRUSS MANUFACTURER SHALL SPECIFY REQUIRED TRUSS BRACING AND HOLD DOWN CLIPS.

BUILDER MUST PROPERLY INSTALL ALL BRACING SPECIFIED BY THE TRUSS MANUFACTURER.

STRUCTURAL STEEL

STRUCTURAL STEEL FRAMING SHALL BE OF MATERIAL AS LISTED BELOW AND SHALL BE DETAILED, FABRICATED AND ERECTED TO COMPLY WITH THE A.I.S.C. MANUAL. PROVIDE ALL HOLES, ANCHOR BOLTS, BEARING PLATES, LINTELS, STIFFENERS, CLIP ANGLES, WELD PLATES, EMBEDMENTS, STAIRS, ETC. AS REQUIRED FOR STEEL STRUCTURE FABRICATION AS SHOWN ON THE DRAWINGS. WELDING SHALL BE PERFORMED BY AN AWS CERTIFIED WELDER PER AWS D1.1 AND IBC CHAPTER 22. BOLTS, NUTS AND WASHERS SHALL CONFORM TO REQUIREMENTS OF ASTM A325 AND BE INSTALLED PER THE A.I.S.C. SPECIFICATION FOR STRUCTURAL JOINTS. WORK SHALL BE PERFORMED ACCORDING TO A.I.S.C.'S CODE OF STANDARD PRACTICE AND IN ACCORDANCE WITH APPLICABLE LAWS AND CODES.

STEEL WIDE FLANGE BEAMS: ASTM A992 OR ASTM A572, MIN. 50 KSI YIELD.
STEEL WIDE FLANGE COLUMNS: ASTM A992 OR ASTM A572, MIN. 50 KSI YIELD.
STEEL LINTELS, ANGLES, PLATES, EMBEDMENTS, STAIRS, ETC.: ASTM A36
STEEL PIPE: ASTM A53 TYPE E OR S GRADE B.
STEEL TUBES: ASTM A500 GRADE B
STEEL DECK: ASTM A611, GRADE C
WELDING ELECTRODES: ULTIMATE STRENGTH 70 KSI

STEEL SHALL BE PRE-FINISHED WITH ONE COAT OF PRIMER UNLESS INDICATED OTHERWISE. FIELD WELDS TO BE CLEANED AND PRIMED. STEEL FRAMING MUST BE TEMPORARILY BRACED AS REQUIRED UNTIL THE PERMANENT BRACING SYSTEM HAS BEEN COMPLETED. STEEL ERECTOR SHALL FURNISH AND INSTALL.

WOOD FRAMING

WOOD FRAMING SPECIES SHALL BE SPRUCE/PINE/FIR NO. 2 CONSTRUCTION GRADE OR EQUAL UNLESS NOTED OTHERWISE. WOOD CONSTRUCTION AND ITS FASTENERS SHALL CONFORM TO APPLICABLE REQUIREMENTS OF IBC CHAPTER 23. ROOF DECKING SHALL BE 5/8" O.S.B. UNLESS NOTED OTHERWISE. ALL WOOD BASE PLATES IN CONTACT WITH MASONRY, CONCRETE, GROUND OR EXPOSED TO THE WEATHER MUST BE PRESERVATIVE TREATED LUMBER. WOOD FRAME CONNECTIONS MUST MEET MINIMUM REQUIREMENTS SET FORTH IN IBC TABLE

LAMINATED VENEER LUMBER (LVL) SHALL HAVE A MINIMUM BENDING STRESS OF 2,600 PSI. FIRE BLOCKING IS REQUIRED IN ALL CONCEALED VOIDS WITHIN STUD WALLS AT 10'-0" O.C. MAX AND AT EACH FLOOR OF MULTI STORY STRUCTURES. PROVIDE TEMPORARY BRACING OF ALL WALLS TO PROVIDE SUPPORT UNTIL PERMANENT BRACING SYSTEMS ARE IN PLACE.

LINTEL SCHEDULE

MARK	LINTEL	BEARING (EACH SIDE)	BEARING HEIGHT	REMARKS
L-1	_	_	_	LINTEL OMITTED
L-2	(3) PLY 1¾"x9¼" LVL	3"	9'-0"	DOUBLE KING STUDS REQUIRED BETWEEN WINDOW AND DOOR, DOUBLE KING STUDS REQUIRED ON EACH END
L-3	(3) PLY 1¾"x9¼" LVL	3"	9'-0"	DOUBLE KING STUDS REQUIRED ON EACH SIDE
L-4	(3) PLY 2x10	3"	7'-2"	SINGLE KING STUDS REQUIRED ON EACH SIDE
L-5	(3) PLY 1¾"x11½" LVL	1½"	9'-0"	DOUBLE KING STUDS REQUIRED ON EACH SIDE
L-6	(3) PLY 2x10	1½"	7'-2"	SINGLE KING STUDS REQUIRED ON EACH SIDE

NOTE: 1.) OTHER OPENINGS NOT LISTED IN THIS SCHEDULE REQUIRE NO SPECIAL STRUCTURAL HEADERS.

2.) PROVIDE (2) L50 CLIPS AT EACH END IF 8'-0" AND LARGER OPENINGS.

SHEAR WALL SHEATHING SCHEDULE

WALL #1 = SHEATHING ONE SIDE OF WALL WITH FASTENER SPACING AT 6" O.C., FULL DEPTH BLOCKING REQUIRED AT PANEL EDGES OF WALL SECTIONS 8'-0" OR LESS IN WIDTH.

PRIMARY SIMPSON-L50 CLIP LOCATION LOCATE SECOND-CLIP HERE IF (2)

ARE REQUIRED.

WALL HOLD-DOWN KEY

▲ SIMPSON HDU2-SDS2.5 HOLD-DOWN, 2-PLY STUDS SIMPSON HDU5-SDS2.5 HOLD-DOWN, 2-PLY STUDS

HOLD DOWN ANCHORING SCHEDULE ANCHOR DIAMETER | MINIMUM EMBEDMENT HOLD DOWN

HDU2-SDS2.5 SIMPSON HDU5-SDS2.5 INSTALL ANCHORS WITH RED HEAD A7 EPOXY OR EQUAL

NOTE: SEE DETAIL 1/S3.1 FOR EMBEDMENT NOTE

CONNECTION OF MULTIPLE PIECES OF <u>TOP LOADED</u> BEAMS

1/2

 $\overline{\text{MINIMUM}}$ OF 2 ROWS 16d (3½") NAILS AT 12" O.C.

MINIMUM OF 3 ROWS 16d $(3\frac{1}{2})$ NAILS AT 12" O.C. FOR 14", 16" AND 18" BEAMS

WOOD LINTELS

SCALE: 1" = 1'-0"

95'-0" (TRUSSES AT 24" O.C.) — LOAD BEARING WALL (TYP.) - GABLE END TRUSS BRACING AT 5'-4" O.C. (TYP.) SEE DETAILS 3/S3.1 AND 4/S3.1 L-6 ROOF TRUSSES AT 24" O.C. (TYP.) — REFRIGERATION CONDENSING UNITS - ROOF SHEATHING TO BE PLACED IN ALTERNATING PATTERN AS SHOWN (TYP.) SECURE ROOF SHEATHING -TO ENDWALL TRUSS AT 4" O.C. (TYP.) L-4L-2 L-2 L-2L-3SHEAR WALL #1 CANOPY (BY OTHER) CANOPY -LOAD BEARING WALL -(BY OTHER) (TYP.) GABLE END TRUSS BRACING AT 5'-4" O.C. (TYP.) ROOF FRAMING PLAN

SCALE: ½"=1'-0"

Issued for Construction

SEE DETAILS 3/S3.1 AND 4/S3.1

PROPOSED BUILDING F

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S3.0

NAILING SCHEDULE							
CONNECTION	NAILING (COMMON NAILS UNLESS OTHER CONNECTION IS REQUIRED)	STAPLES					
BRIDGING TO TRUSSES, FACE NAIL EACH END TOP PLATE TO STUD, END NAIL STUD TO SOLE PLATE	(2) 8d (2) 16d (4) 8d, TOE NAIL OR 2—16d, END NAIL	(2) 3" 14 GAGE (3) 3" 14 GAGE (3) 3" 14 GAGE (TOE NAIL OR END NAIL)					
DOUBLED STUDS, FACE NAIL BUILT-UP CORNER STUDS DOUBLED TOP PLATES, TYPICAL FACE NAIL DOUBLED TOP PLATES, LAP SPLICES	16d AT 24" O.C. 16d AT 24" O.C. 16d AT 16" O.C. (8) 16d	3" 14 GAGE AT 8" O.C. 3" 14 GAGE AT 16" O.C. 3" 14 GAGE AT 12" O.C. (12) 3" 14 GAGE					
CONTINUOUS HEADER, TWO PIECES CONTINUOUS HEADER TO STUD, TOENAIL	16d AT 12" O.C. ALONG EACH EDGE (4) 8d TOE NAIL						
OSB ROOF SHEATHING EXTERIOR WALL SHEATHING	8d AT 6" O.C. AT EDGES 8d AT 12" O.C. AT INTERMEDIATE MEMBERS 8d AT 6" O.C. AT EDGES 8d AT 12" O.C. AT INTERMEDIATE MEMBERS	1¾" 16 GA. AT 4" O.C. AT EDGES 1¾" 16 GA. AT 8" O.C. AT INTERMEDIATE SUPPORTS 1¾" 16 GA. AT 4" O.C. AT EDGES 1¾" 16 GA. AT 8" O.C. AT INTERMEDIATE SUPPORTS					
NOTES: 1. USE THESE PATTERNS UNLESS NOTED	OTHERWISE IN THE PLANS						

GENERAL NOTES: ATTIC DRAFTSTOP REQUIRED MAXIMUM ATTIC SPACE=3000 SQ. FT.

BALANCED ROOF SNOW LOAD=24.5 PSF

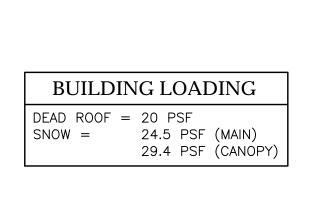
ROOF TRUSSES AT 24" O.C.

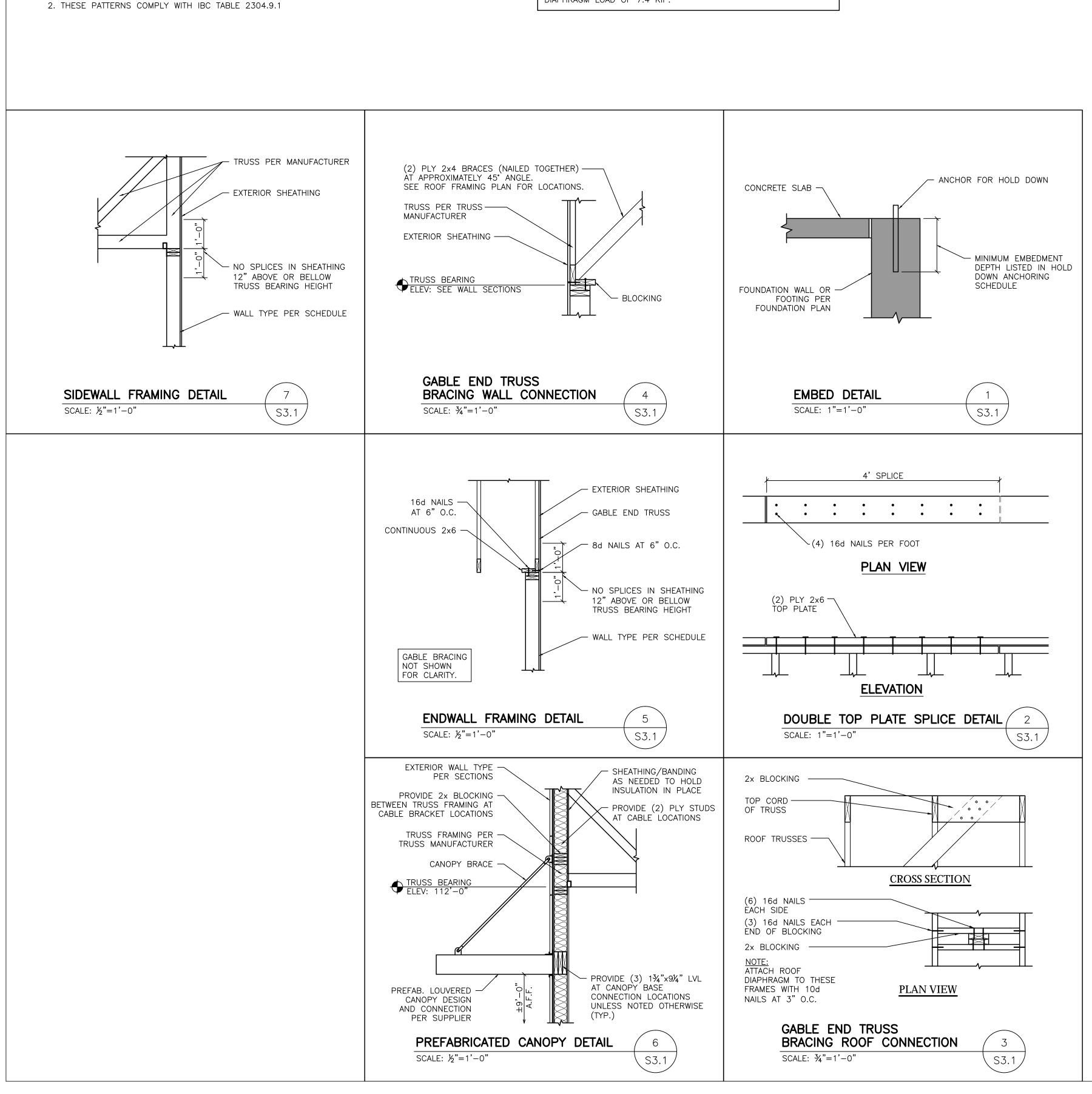
PROVIDE (2) STUDS UNDER ALL (2) PLY TRUSS. PROVIDE (3) STUDS UNDER ALL (3) PLY AND GIRDER TRUSSES UNLESS OTHERWISE NOTED. PROVIDE SIMPSON H-10A HOLD DOWN CLIPS ON ALL TRUSSES UNLESS OTHERWISE SPECIFIED BY THE TRUSS SUPPLIER.

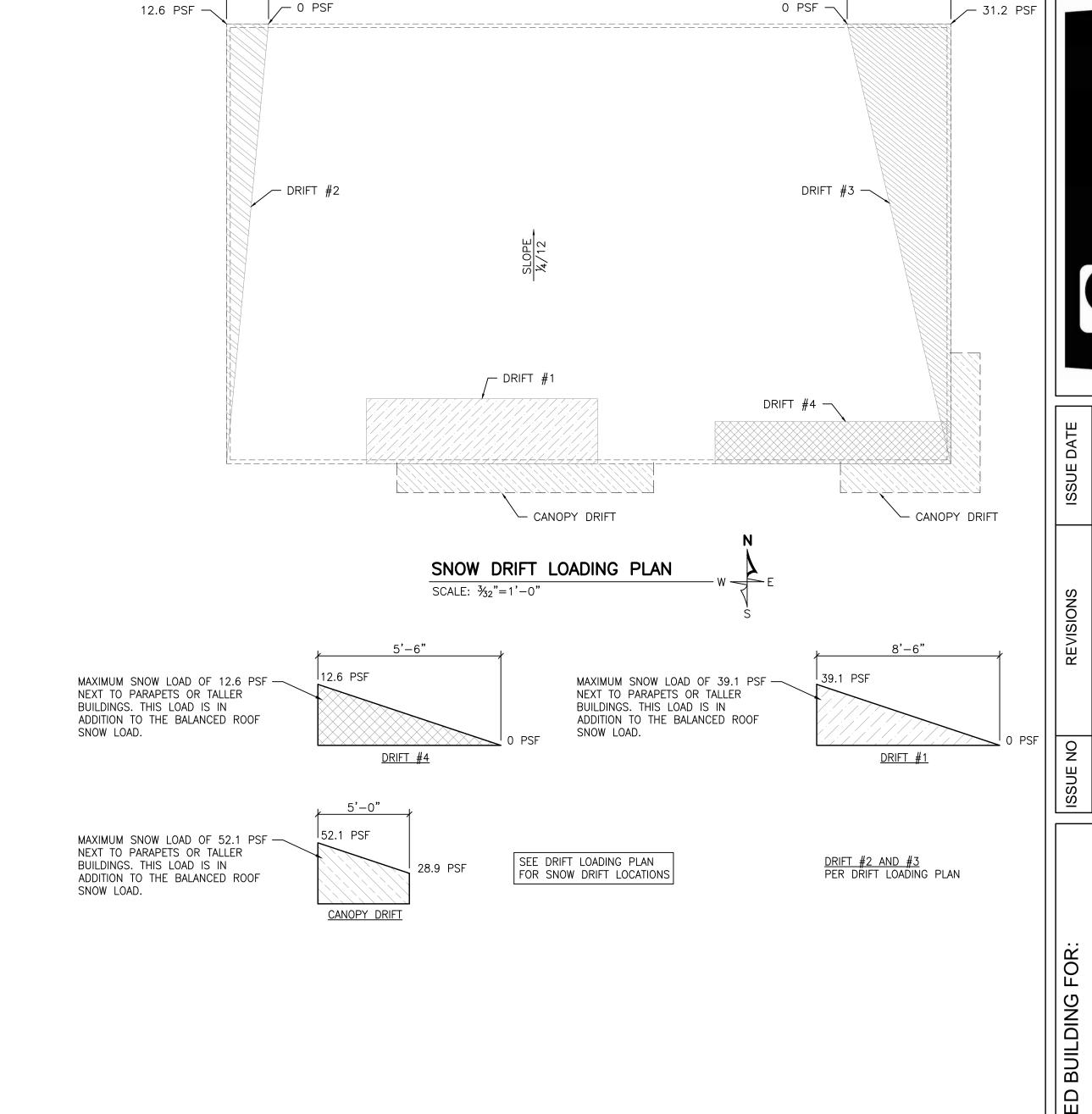
PROVIDE SIMPSON H-10A-2 HOLD DOWN CLIPS ON ALL (2) PLY TRUSSES UNLESS OTHERWISE SPECIFIED BY THE TRUSS SUPPLIER. ICE AND WATERSHIELD TO BE USED IN ALL VALLEYS AND AT EAVES TRUSS SUPPLIER TO INCORPORATE FRAMING FOR PARAPET WALLS IN DESIGN OF TRUSSES.

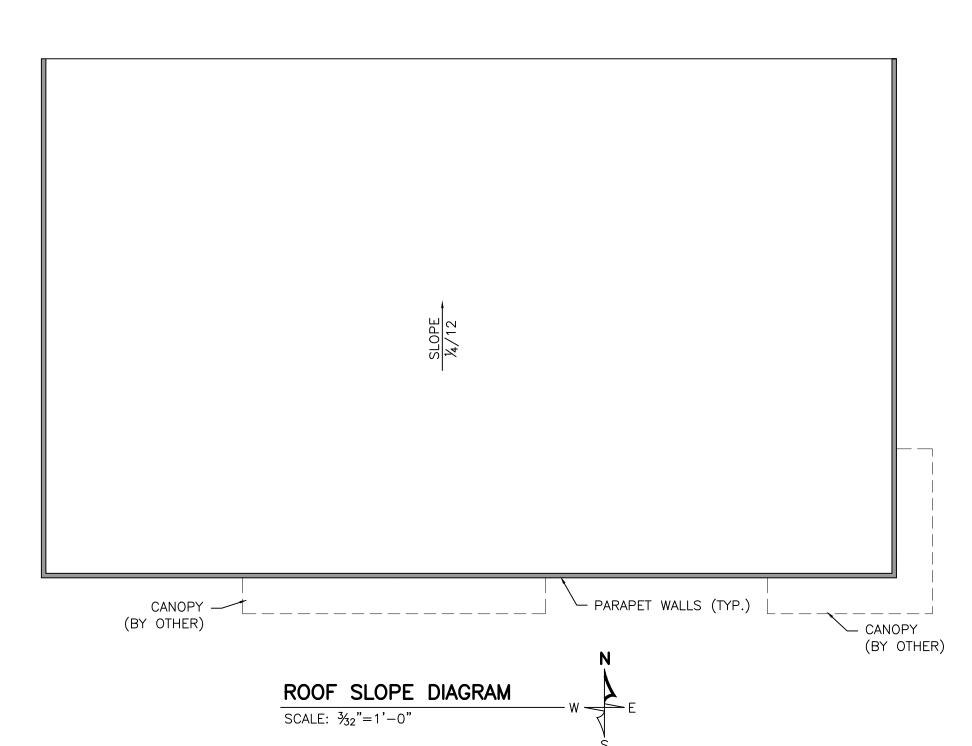
TRUSS MANUFACTURER TO VERIFY WEIGHT AND LOCATION OF HVAC UNITS WITH HVAC CONTRACTOR.

ENDWALL TRUSSES TO BE DESIGNED TO TRANSFER A WIND DIAPHRAGM LOAD OF 7.4 KIP.









SHEBOYG

2206 N. 15TH STREET SHEBOYGAN, WI 5308

INTERIOR PARTITION WALLS

INTERIOR PARTITION WALLS ARE DIMENSIONED FROM FACE OF STUD TO FACE OF STUD.

INTERIOR PARTITIONS ARE 3½" FOR WOOD STUDS AND 3½" FOR METAL STUDS. PLUMBING

WALLS ARE 5½" FOR WOOD STUDS OR 6" FOR METAL STUDS.

STUDS ARE SPACED AT 16" ON CENTER UNLESS NOTED OTHERWISE. USE MINIMUM ½" GYPSUM BOARD ON THE FINISHED SIDES OF INTERIOR PARTITIONS. PROVIDE EXPANSION JOINTS AT 30'-0" O.C. FOR LONG GYPSUM BOARD WALLS.

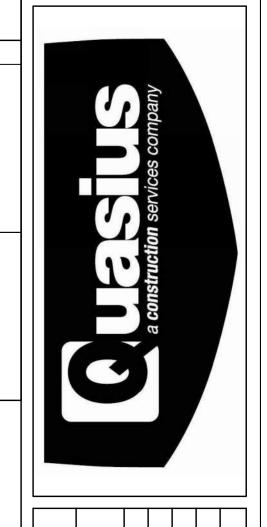
PARTITION WALLS WHICH ARE NOT FULL HEIGHT MUST BE BRACED TO CROSS WALLS OR TO THE STRUCTURE ABOVE TO PROVIDE ADEQUATE STABILITY.

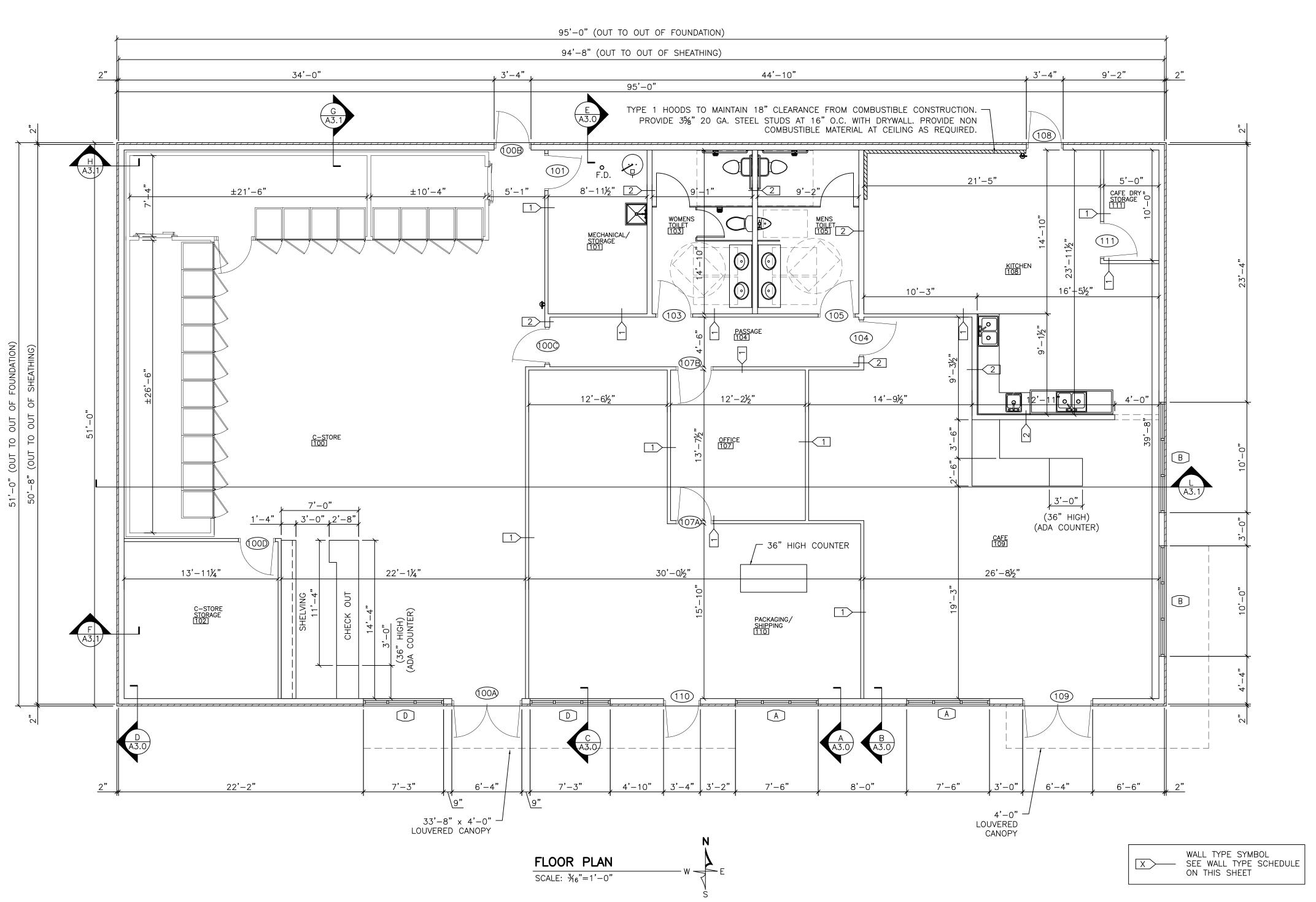
DRYWALL

DRYWALL SHALL BE INSTALLED PER THE LATEST EDITIONS OF "RECOMMENDED SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD" GA-216 AS PUBLISHED BY THE GYPSUM ASSOCIATION AND THE "GYPSUM CONSTRUCTION HANDBOOK" AS PUBLISHED BY UNITED STATES GYPSUM COMPANY. PROVIDE CONTROL JOINTS AS REQUIRED.

NOTE:
USE CROWNTONKA AND THERMALRITE
WALK-IN COOLERS AND FREEZERS
THAT MEET IBC 2603.9, OR EQUIVALENT

NO.	DESCRIPTION	WALL DIAGRAM
1>	%" GYPSUM BOARD 2×4 WOOD STUDS AT 16" O.C. BATT INSULATION %" GYPSUM BOARD	
	HEIGHT: TO UNDERSIDE OF TRUSS	
2	%" GYPSUM BOARD 2×6 WOOD STUDS AT 16" O.C. BATT INSULATION %" GYPSUM BOARD	
	HEIGHT: TO UNDERSIDE OF TRUSS	





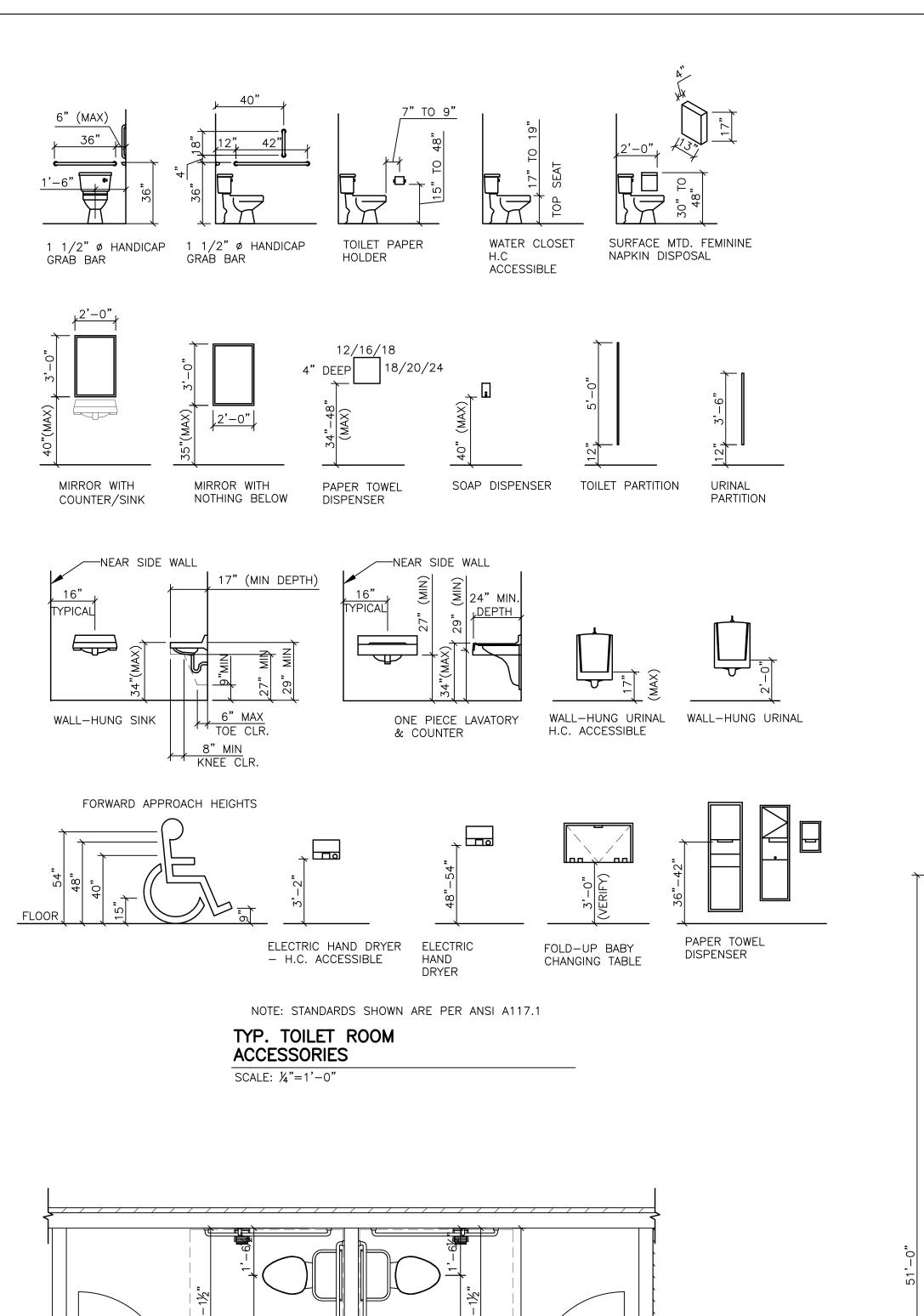
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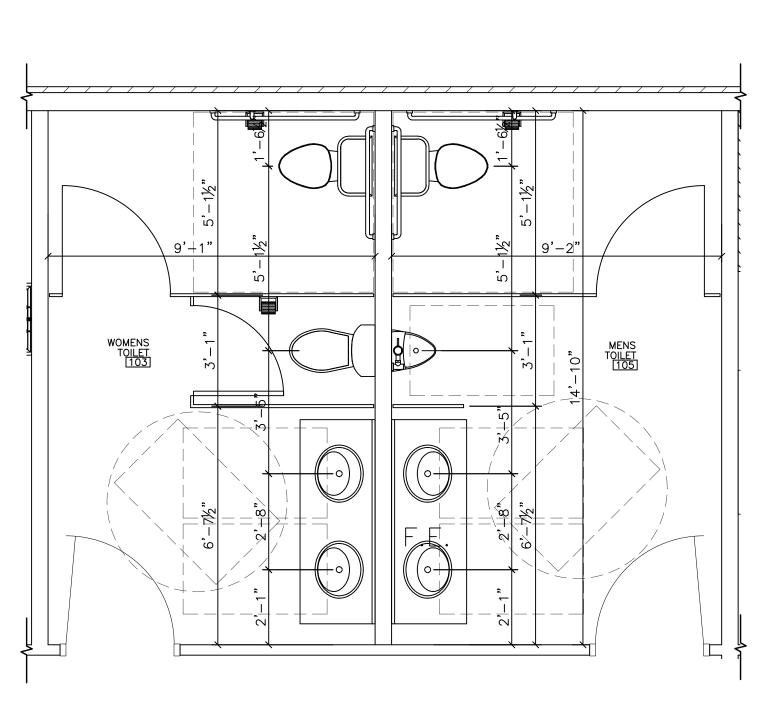
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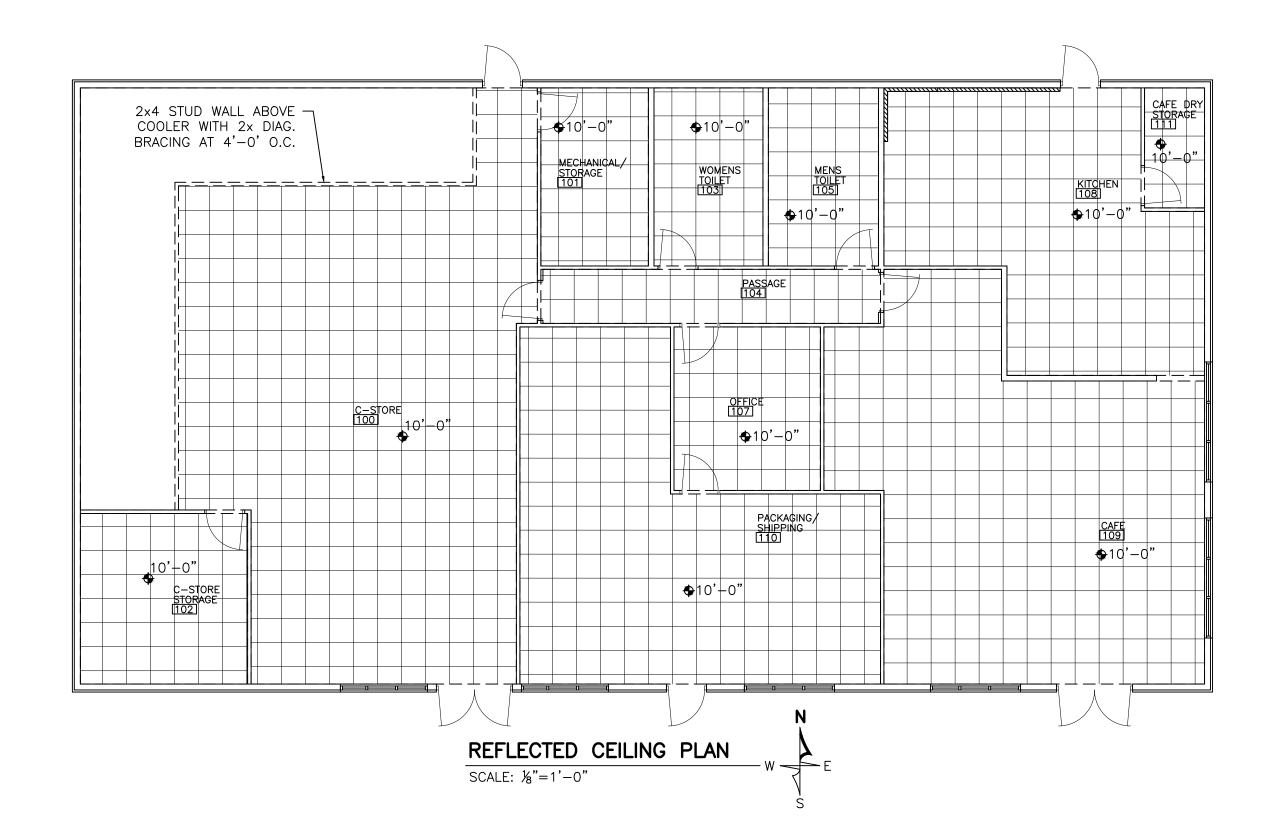
2206 N. 15TH STREET SHEBOYGAN, WI 53083

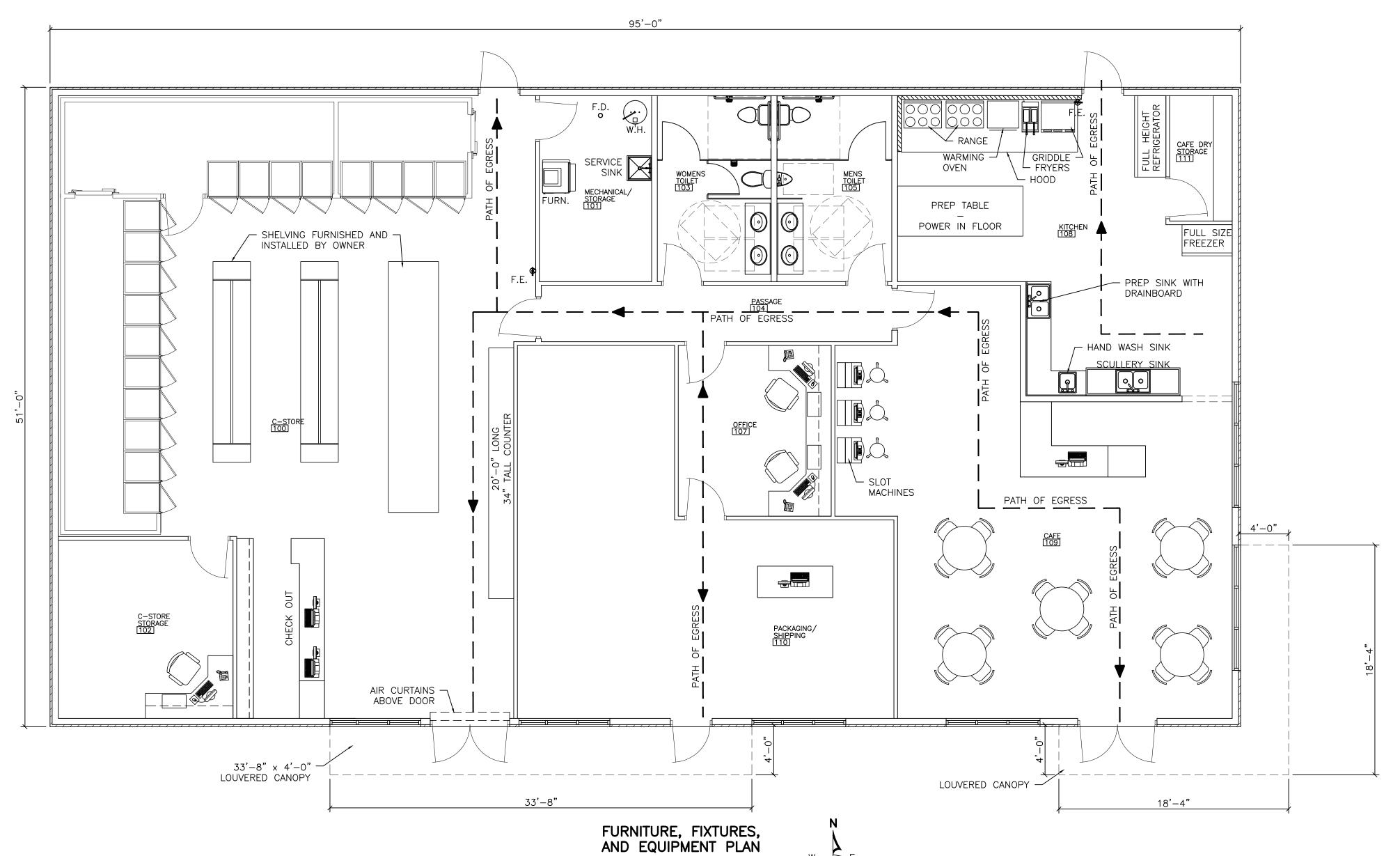




ENLARGED RESTROOM PLAN

SCALE: %"=1'-0"





SCALE: 3/6"=1'-0"



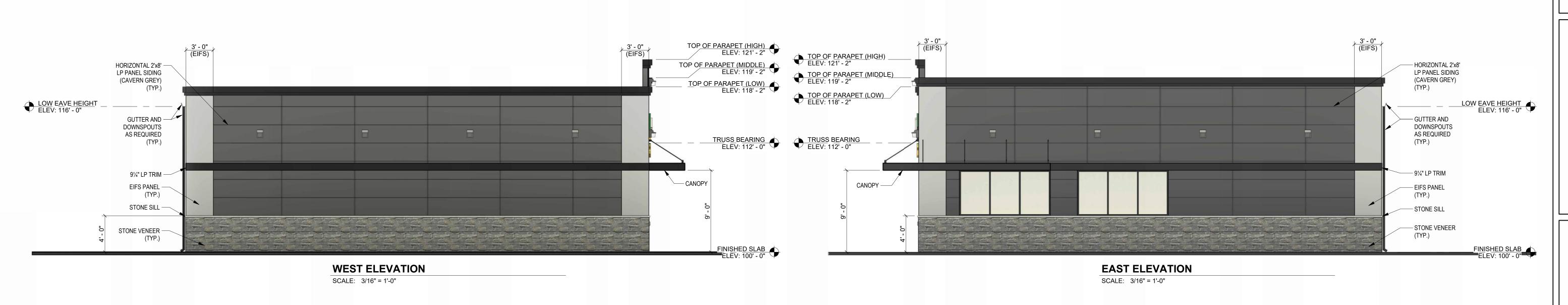
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REVISED APPROVE	REVISIONS REVISED PREVIOUSLY APPROVED PLAN	
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ISSUE DATE	07-01-2024			
REVISIONS	REVISED PREVIOUSLY APPROVED PLAN			
ISSUE NO	1			

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2206 N. 15TH STREET
SHEBOYGAN, WI 53083

PROPOSED BUILDING FOR:

ARCH 22, 2024 A. WOLF C. DUESCHER

Project number Date Drawn by Checked by

A2.1

STONE VENEER

STONE VENEER SHALL BE INSTALLED PER INDUSTRY STANDARDS. ALL STONE VENEER SHALL BE LAID UP IN CEMENT AND LIME MORTAR. STONE VENEER SHALL BE FULLY BEDDED IN PLACE. STONE VENEER SHALL BE TIED TO MASONRY OR WOOD BACK-UP WITH STANDARD VENEER ANCHORS 16" VERTICALLY AND 24" HORIZONTALLY.

INSTALL 16" LONG COTTON ROPE WEEPS AT BOTTOM COURSE AND ABOVE ALL OPENINGS IN EXTERIOR WALLS AT 16" O.C. PROVIDE MORTAR NET TO ENSURE WEEP HOLES REMAIN OPEN. FLASHING SHALL BE RUBBERIZED—ASPHALT FLASHING. FLASHING SHALL BE INSTALLED AT BOTTOM COURSE AND ABOVE ALL OPENINGS IN EXTERIOR WALLS. SEAL BOTTOM OF FLASHING TO CONCRETE.

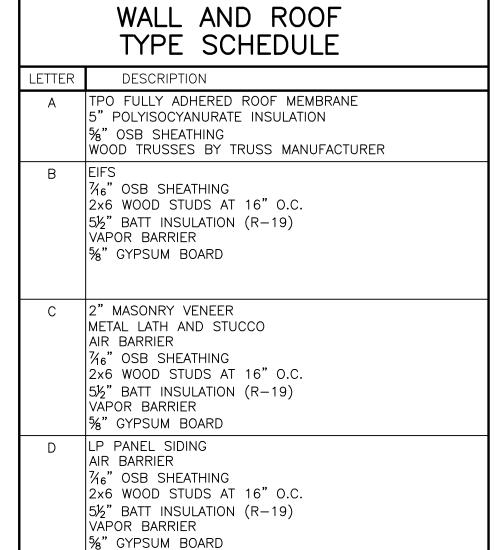
CULTURED STONE VENEER

ALL CULTURED STONE VENEER SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.

EXTERIOR WALL SHEATHING SHALL BE COVERED WITH A WATER—RESISTANT MEMBRANE.

FLASH AND CAULK AS REQUIRED.

NO CONTROL JOINTS ARE REQUIRED.





ISSUE DATE	07-01-2024			
REVISIONS	REVISED PREVIOUSLY APPROVED PLAN			
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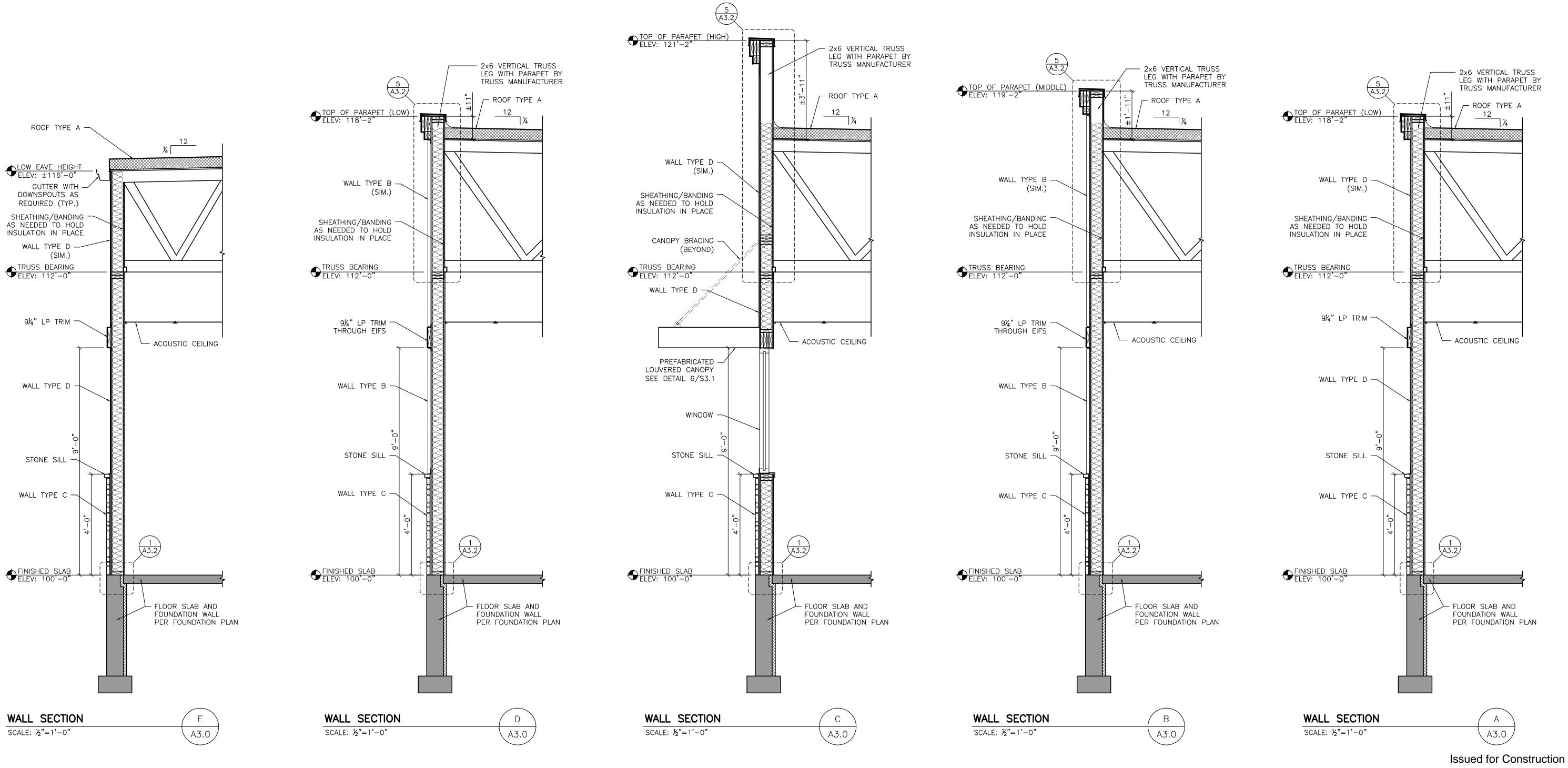
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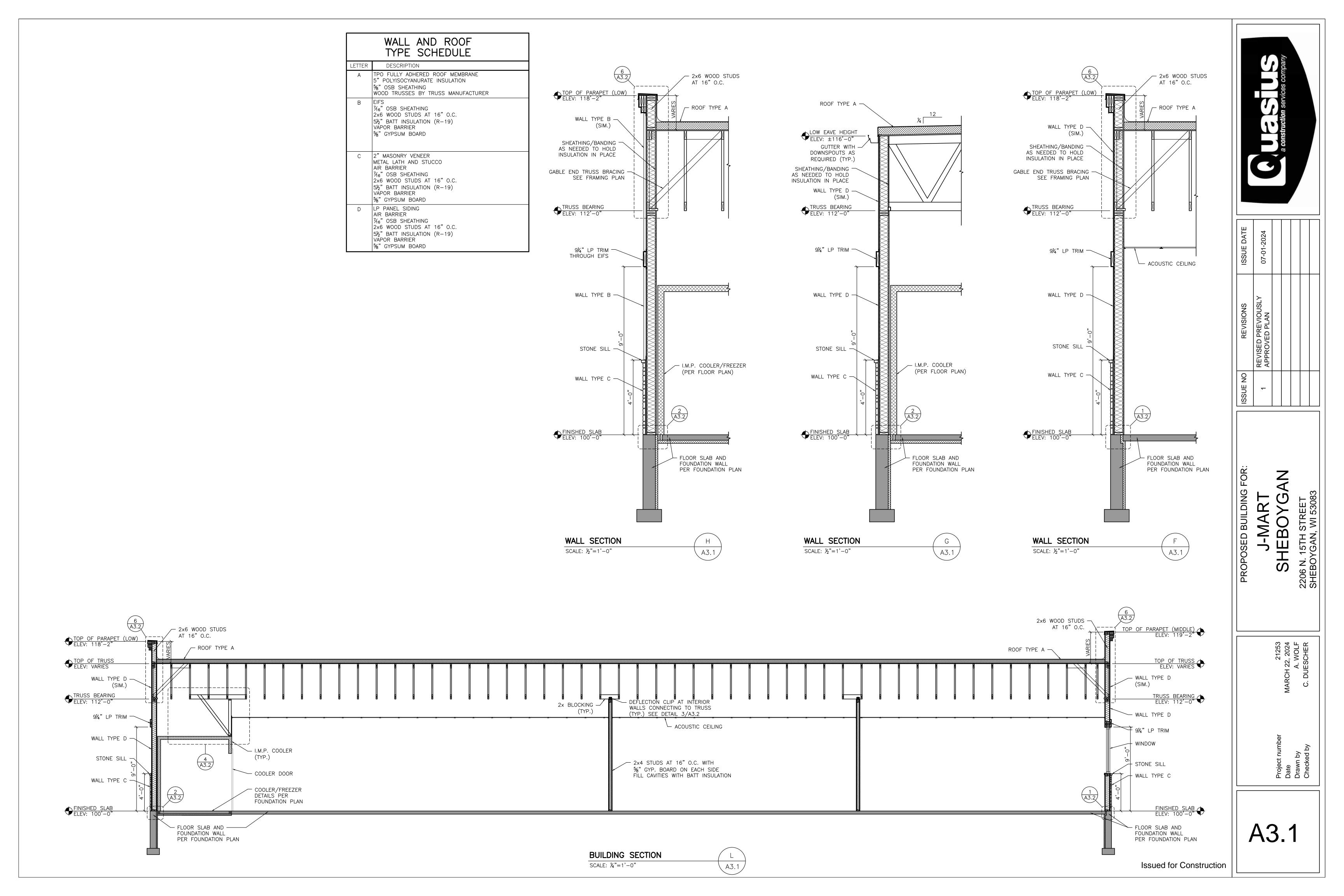
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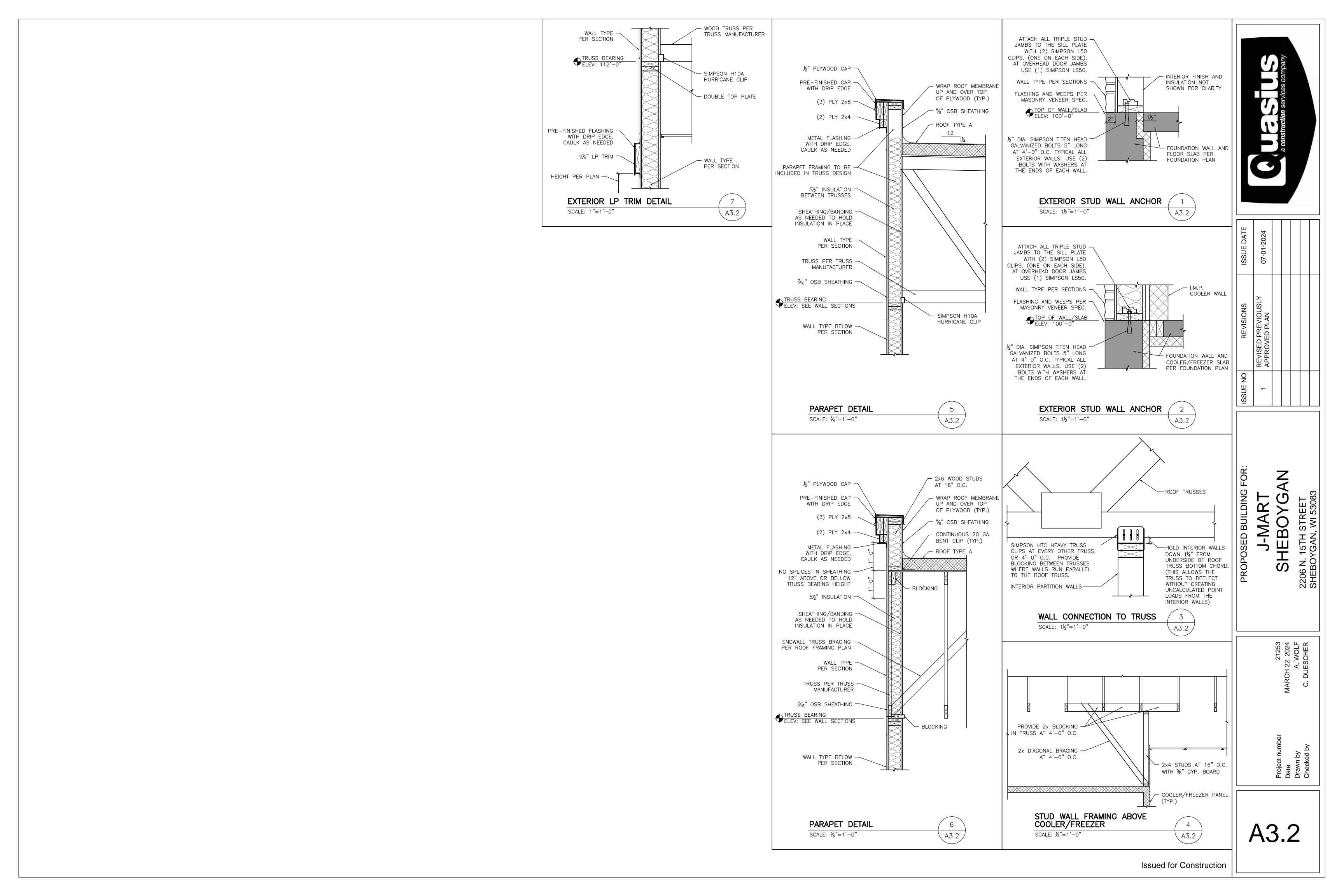
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PLUMBING SHALL BE COMPLETED AS A DESIGN/BUILD PACKAGE. THE PLUMBING SUBCONTRACTOR IS RESPONSIBLE TO PROVIDE EXCELLENT DESIGN, BUILDING MATERIALS, AND CRAFTSMANSHIP. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES. SEPARATE PLANS SHALL BE SUBMITTED TO THE STATE FOR APPROVAL. THE PLUMBING WORK IS NOT A PART OF THIS PLAN. SEE PLUMBING PLAN FOR SPECIFICATIONS. ALL PENETRATIONS THRU RATED CONSTRUCTION SHALL BE A U.L. APPROVED METHOD. PLUMBING ENTILES TO MEET ALL ADDICABLE PROLUMENTATIONS. FIXTURES TO MEET ALL APPLICABLE REQUIREMENTS.

HEATING, VENTILATION, AND AIR CONDITIONING (HVAC)

HVAC SHALL BE COMPLETED AS A DESIGN/BUILD PACKAGE, THE HVAC SUBCONTRACTOR IS HVAC SHALL BE COMPLETED AS A DESIGN/BUILD PACKAGE. THE HVAC SUBLONTRACTOR IS RESPONSIBLE TO PROVIDE EXCELLENT DESIGN, BUILDING MATERIALS, AND CRAFTSMANSHIP. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES. SEPARATE PLANS AND CALCULATIONS SHALL BE SUBMITTED TO THE STATE FOR APPROVAL. THE HEATING AND VENTILATION WORK IS NOT A PART OF THIS PLAN. SEE HVAC PLAN FOR SPECIFICATIONS. ALL PENETRATIONS THRU RATED CONSTRUCTION SHALL BE A U.L. APPROVED METHOD.

ELECTRICAL SHALL BE COMPLETED AS A DESIGN/BUILD PACKAGE. THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE TO PROVIDE EXCELLENT DESIGN, BUILDING MATERIALS, AND CRAFTSMANSHIP. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL

THE ELECTRICAL WORK IS NOT DEFINED ON THIS PLAN. SEE THE ELECTRICAL PLAN AND SPECIFICATIONS FOR DETAILS. SEPARATE PLANS AND CALCULATIONS SHALL BE SUBMITTED TO THE STATE FOR APPROVAL. THESE INCLUDE A GENERAL LIGHTING AND EMERGENCY LIGHTING PLAN AND CALCULATIONS TO SHOW COMPLIANCE WITH THE INTERNATIONAL ENERGY COMPLIANCE

PROVIDE MEANS OF EGRESS ILLUMINATION PER IBC 1008. THE ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT CANDLE AT THE WALKING SURFACE LEVEL. ALL PENETRATIONS THRU RATED CONSTRUCTION SHALL BE A U.L. APPROVED SPECIFICATIONS.

DOORS, WINDOWS AND FRAMES

FURNISH AND INSTALL ALL DOORS AND WINDOW ASSEMBLIES AS INDICATED ON THE PLANS. INCLUDE ALL HARDWARE INDICATED AND THAT MAY BE REQUIRED FOR A COMPLETE JOB. DOORS AND WINDOWS SHALL OPERATE SMOOTHLY WITHOUT BINDING AND BE INSTALLED PLUM AND TRUE. HARDWARE SHALL FIT PROPERLY AND BE ADJUSTED AS REQUIRED. PROVIDE INSECT SCREENS ON ALL OPERABLE WINDOW UNITS.

HARDWARE

UNLESS SPECIFIED IN THE HARDWARE SCHEDULE:

-ALL LOCK SETS SHALL BE LEVER TYPE AS REQUIRED TO MEET REQUIREMENTS OF THE A.D.A.
-ALL OTHER HARDWARE SHALL CONFORM TO THE REQUIREMENTS OF THE A.D.A.
-ALL EXIT DOORS SHALL BE EQUIPPED WITH LEVER TYPE EXIT HARDWARE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A LATCH, KEY, OR BOLT.

FINISHES

PROVIDE AND INSTALL ALL FINISHES AS INDICATED ON PLANS. INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. "FINISH" INSTALLER INSPECT SUBSURFACE AND PREPARE AS REQUIRED PRIOR TO INSTALLATION OF THE PRODUCT. INTERIOR FINISHES TO MEET THE REQUIREMENTS OF IBC CHAPTER 8.

PAINTING

PAINT ALL AREAS REQUIRED FOR A COMPLETE JOB.

APPLY PAINT AS RECOMMENDED BY STANDARD PRACTICE AND MANUFACTURER'S RECOMMENDATIONS.

REMOVE OR PROTECT HARDWARE, PLATES, LIGHT FIXTURES, SPRINKLER HEADS, ETC. THAT ARE NOT INTENDED TO BE PAINTED. PROVIDE MASKING AS REQUIRED. DISPOSAL OF EXCESS PAINT MATERIALS IS THE RESPONSIBILITY OF THE PAINTING CONTRACTOR.

DISPOSAL MUST BE IN ACCORDANCE WITH APPLICABLE LAWS AND CODES.

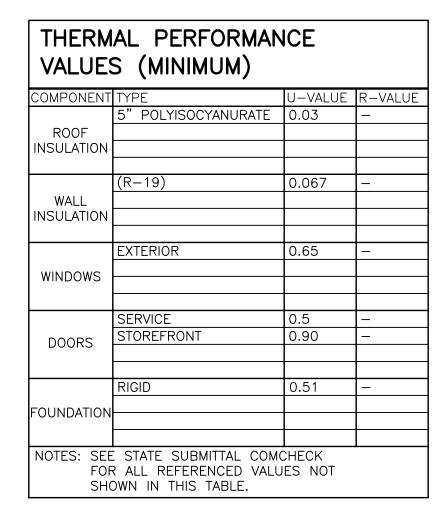
PROVIDE CAULKING AND BACKER ROD AS RECOMMENDED BY THE MANUFACTURER TO SEAL EXTERIOR AND INTERIOR JOINTS, AT EXPANSION JOINTS, FRAMES OF DOORS, WINDOWS, AND OTHER EXTERIOR OPENINGS. ALSO CAULK AROUND PLUMBING FIXTURES, COUNTERTOPS, ROOF OPENINGS, ETC. AND AS REQUIRED FOR A COMPLETE JOB. CAULK TO BE INSTALLED AFTER FINISH IS APPLIED TO SURFACES. PENETRATIONS THROUGH FIRE RATED ASSEMBLIES MUST MEET

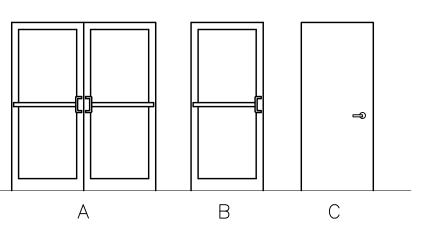
SIGNAGE SHALL MEET THE REQUIREMENTS OF THE A.D.A.

WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE-LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL

MOUNTING HEIGHT SHALL BE 60" ABOVE FINISH FLOOR TO THE CENTERLINE OF THE SIGN UNLESS INDICATED OTHERWISE.

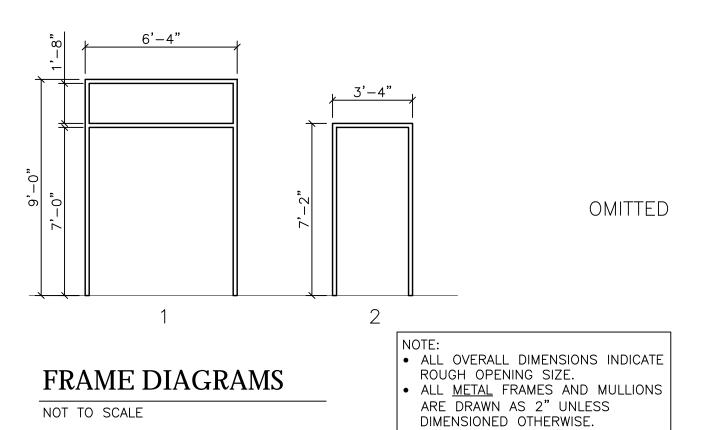
PROVIDE HANDICAP PARKING SIGNS AS INDICATED ON THE PLANS AND AS REQUIRED BY

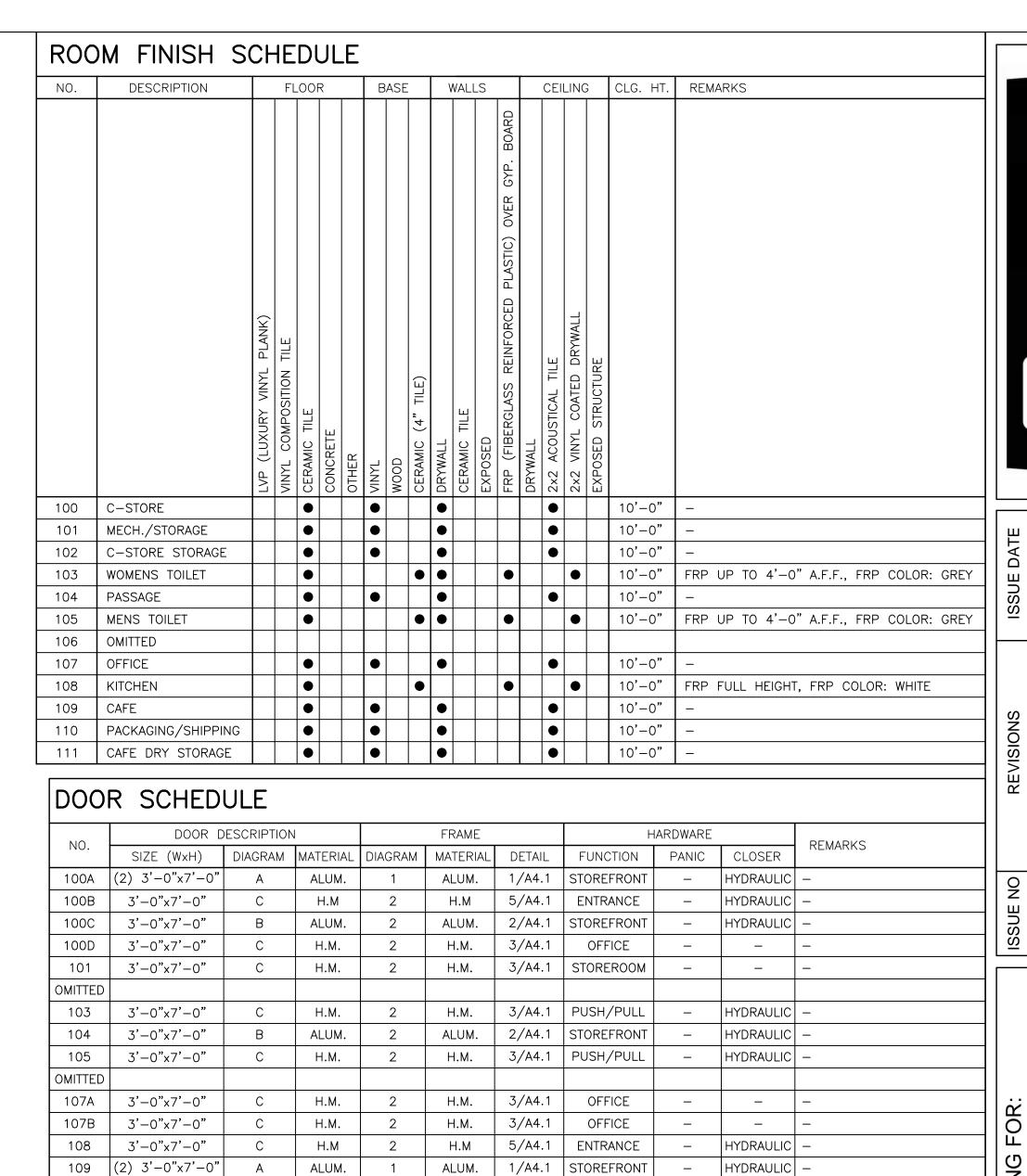




DOOR DIAGRAMS

NOT TO SCALE





1/A4.1 | STOREFRONT |

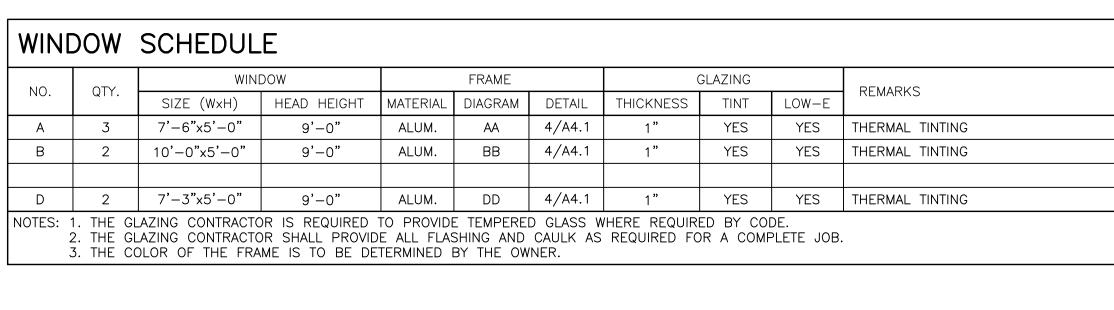
3/A4.1 | STOREROOM |

HYDRAULIC -

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OFFICE
Push—button locking. Push—button locks
outside lever until unlocked with key or by
rotating inside lever.

STOREROOM Outside lever fixed. Entrance by key only. Inside lever always unlocked.



ALUM.

Turn/push-button locking: pushing and turning button locks outside lever requiring use of key until button is manually unlocked

2. THE GLAZING CONTRACTOR IS REQUIRED TO PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE.

STOREFRONT Blank plate on push side. Handle on pull side. Deadbolt

NOTES: 1. ALL EXTERIOR DOORS TO BE INSULATED AND HAVE WEATHER-STRIPPING AND A THRESHOLD.

3. COLOR OF DOOR, FRAME AND HARDWARE TO BE DETERMINED BY OWNER.

4. DOOR PROVIDER MUST MEET ALL APPLICABLE CODES.

H.M.

110

3'-0"x7'-0"

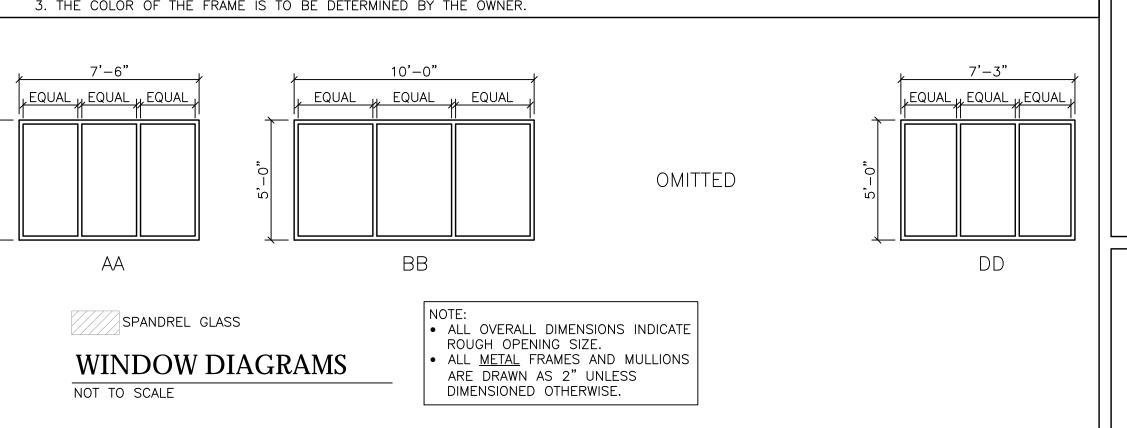
PASSAGE Both levers always unlocked.

PUSH/PULL Blank plate on push side. Lever on pull side.

111 3'-0"x7'-0"

ALUM.

H.M.



Issued for Construction

PROPOSED BUILDING 2206 N. 15TH STREET SHEBOYGAN, WI 53083 SHEBOYG J-MAR

A4.0

