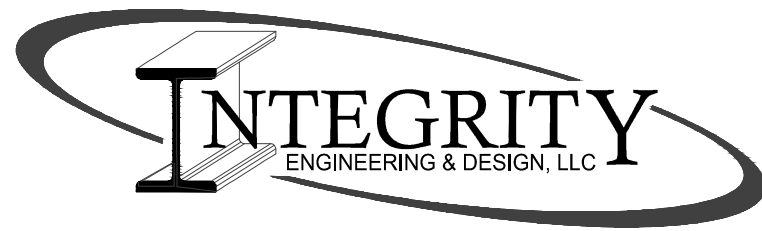


PROPOSED C-STORE FOR:
J-MART
SHEBOYGAN, WISCONSIN



2637 Tulip Lane Green Bay, WI 54313
Phone: (920) 469-9288 Fax: (920) 469-6809
E-mail: Info@IntegrityEngineering.biz

INTEGRITY MISSION STATEMENT

WE PROVIDE HIGH QUALITY ARCHITECTURAL DESIGN AND STRUCTURAL ENGINEERING. OUR PLANS MOVE SMOOTHLY THROUGH THE STATE REVIEW PROCESS AND MAKE BUILDING CONSTRUCTION MORE ENJOYABLE. OUR SERVICE IS UNMATCHED AND OUR INTEGRITY IS IMPECCABLE.

IF YOU HAVE ANY QUESTIONS OR COMMENTS ABOUT THE CONTENT OR PRESENTATION OF MATERIAL ON THIS PLAN, PLEASE CALL (920) 469-9288

GENERAL CONDITIONS:

THESE PLANS ARE PRESENTED TO LEAD A HIGH QUALITY DESIGN/BUILD TEAM. EACH CONTRACTOR AND SUBCONTRACTOR IS RESPONSIBLE TO PROVIDE EXCELLENT DESIGN, BUILDING MATERIALS, AND CRAFTSMANSHIP WHICH WE CAN ALL BE PROUD OF. WE ENCOURAGE YOU TO PROVIDE EXPERTISE IN YOUR CHOSEN FIELD AND TO BRING IDEAS AND CONCERNS TO THE ATTENTION OF THE GENERAL CONTRACTOR.

THESE DRAWINGS COVER STRUCTURAL AND GENERAL CONSTRUCTION ONLY. ALL WORK SHALL CONFORM TO STANDARD PRACTICES AND APPLICABLE LAWS, WHETHER THEY ARE SPECIFICALLY STATED IN THESE PLANS OR NOT.

EACH CONTRACTOR SHALL:

- VISIT THE SITE TO VERIFY EXISTING CONDITIONS, ACCESS, ETC. PRIOR TO BIDDING
- MAINTAIN A CLEAN JOB SITE AT ALL TIMES.
- OBTAIN AND PAY FOR PERMITS, LICENSES, FEES, ETC. AS MAY BE REQUIRED FOR COMPLETION OF HIS OWN PORTION OF THE PROJECT.
- FIELD VERIFY DIMENSIONS.
- REPORT ANY DISCREPANCY NOTED BETWEEN THESE PLANS AND APPLICABLE CODES TO THE GENERAL CONTRACTOR.
- PROVIDE ALL BARRIERS, FENCES, SAFETY EQUIPMENT AND PRECAUTIONS REQUIRED BY APPLICABLE LAWS AND STANDARD PRACTICES.

ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURERS REQUIREMENTS AND RECOMMENDATIONS.

ANY HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION, REMODELING, OR EXCAVATION SHALL BE REMOVED AND/OR CONTAINED IN ACCORDANCE WITH GOVERNING LOCAL, STATE, AND FEDERAL REGULATIONS.

THIS DESIGN, THESE DRAWING, AND INCLUDED DETAILS ARE THE COPYRIGHTED PROPERTY OF INTEGRITY ENGINEERING & DESIGN, LLC. NO PART SHALL BE COPIED, DISTRIBUTED, OR MADE AVAILABLE TO ANYONE WITHOUT THE EXPRESS WRITTEN CONSENT OF INTEGRITY ENGINEERING & DESIGN, LLC.

QUICK SPEC

TO MAKE THIS PLAN MORE CONTRACTOR FRIENDLY, WE HAVE PREPARED IT WITH OUR QUICK SPEC SYSTEM.

THE WRITTEN SPEC IS GENERAL AND DOES NOT GO INTO DEPTH TO REITERATE STANDARD PRACTICES OR APPLICABLE LAWS. IT IS WRITTEN IN AN EASY TO READ FORMAT. THE SPECIFICATION IS SPLIT INTO APPROPRIATE SECTIONS AND LISTED ON THE PLAN WHERE IT IS NEEDED. YOU WILL FIND THESE SECTIONS QUICKLY BY THE SHADOW BOX AROUND IT (SIMILAR TO THIS ONE).

SPECIFIC CASES THAT CANNOT BE DESCRIBED IN A GENERAL SPEC ARE NOTED ON THE PLANS. IF THERE IS A DISCREPANCY BETWEEN THE PLAN AND THE GENERAL SPEC, THE PLAN NOTES WILL SUPERSEDE THE GENERAL SPEC.

KEY TO SYMBOLS AND MATERIALS

SYMBOLS

XXXX
ELEV: XXX'-XX"

ELEVATION

ROOM NAME
XXX

ROOM NAME/NUMBER

XXX

DOOR NUMBER

X

COLUMN LINE

X

EXISTING COLUMN LINE

FE

FIRE EXTINGUISHER

X

NOTE

109

WINDOW IDENTIFICATION

X

WALL TYPE

NEW MASONRY WALL

NEW STUD WALL

EXISTING WALL TO BE REMOVED

EXISTING WALL TO REMAIN

NEW STUD WALL IN REMODELED SPACE



REVISION



SECTION NUMBER

BUILDING SECTION REFERENCE



SHEET NUMBER ON WHICH SECTION WILL BE FOUND

XXX.X

SPOT ELEVATION

XXXXX

EXISTING SPOT ELEVATION

DETAIL

SCALE: 1" = 1'-0"

XXX

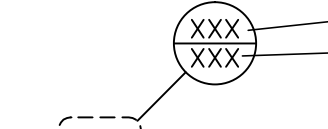
DETAIL NUMBER

XXX

DETAIL IDENTIFICATION

XXX

SHEET NUMBER



DETAIL NUMBER

SHEET NUMBER ON WHICH DETAIL WILL BE FOUND

XXX

PLAN DETAIL REFERENCE

XXX

AREA INCLUDED IN DETAIL

MATERIALS

LUMBER

BRICK

CONCRETE MASONRY UNIT (CMU)

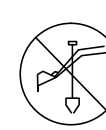
COMPACTED FILL

RIGID INSULATION

BATT INSULATION

PLYWOOD

CONCRETE



CALL 3 WORK DAYS BEFORE YOU DIG

DIGGERS HOTLINE

(800) 242-8511

FAX (800) 388-3860

WEBSITE: www.diggershotline.com

BUILDING DATA

BUILDING CODE: IBC 2015 WITH WI AMENDMENTS

BUILDING SIZE:

FIRST FLOOR AREA (SQ. FT.): 4,845
ALLOWABLE AREA PER FLOOR (SQ. FT.): 13,838
NUMBER OF STORIES: 1
MAXIMUM OVERALL HEIGHT: 21'-2"

CONSTRUCTION CLASSIFICATION:

NEW - TYPE VB

OCCUPANCY:

B, M

DESIGN LOADS: PER IBC 2015, CHAPTER 16

Cr = 1.0
Fg = 35 PSF
ULTIMATE DESIGN WIND SPEED = 115 MPH
WIND EXPOSURE = B
SEISMIC CATEGORY = A
SOIL BEARING PRESSURE = 2000 PSF PRESUMED

FIRE PROTECTION SYSTEMS

AUTOMATIC FIRE SPRINKLER SYSTEM - NOT REQUIRED
STANDPIPE SYSTEMS - NOT REQUIRED SEE IBC 905
FIRE ALARM SYSTEM - NOT REQUIRED SEE IBC 907
SMOKE DETECTORS - INSTALL PER APPLICABLE CODES
EXIT SIGNS - PROVIDE EXIT SIGNS PER IBC SECTION 1013
FIRE EXTINGUISHERS - INSTALL PER NFPA 1 AND APPLICABLE LOCAL CODES

DRAWING INDEX

- T1.0 COVER SHEET
- C101 SITE DEMOLITION PLAN, SITE PLAN, AND TYPICAL DETAILS
- C102 SITE GRADING AND EROSION CONTROL PLAN
- C103 SITE UTILITY AND SITE UTILITY DETAILS
- S1.0 FOUNDATION PLAN
- S2.0 FOUNDATION DETAILS
- S3.0 ROOF FRAMING PLAN
- S3.1 SNOW DRIFT LOADING PLAN / ROOF SLOPE DIAGRAM / FRAMING DETAILS
- A1.0 FLOOR PLAN
- A1.1 F.F.E. PLAN / REFLECTED CEILING PLAN / ENLARGED RESTROOM PLAN
- A2.0 EXTERIOR ELEVATIONS
- A2.1 EXTERIOR RENDERINGS
- A3.0 SECTIONS
- A3.1 SECTIONS
- A3.2 SECTION DETAILS
- A4.0 SCHEDULES
- A4.1 HEAD, JAMB, AND SILL DETAILS

REVISED PLAN JULY 01, 2024

BUILDING SIZE HAS BEEN REVISED AND INTERIOR FLOOR PLAN LAYOUT HAS BEEN RECONFIGURED TO MATCH. ALL SHEETS HAVE BEEN REVISED TO ACCOMMODATE.

NOTE:

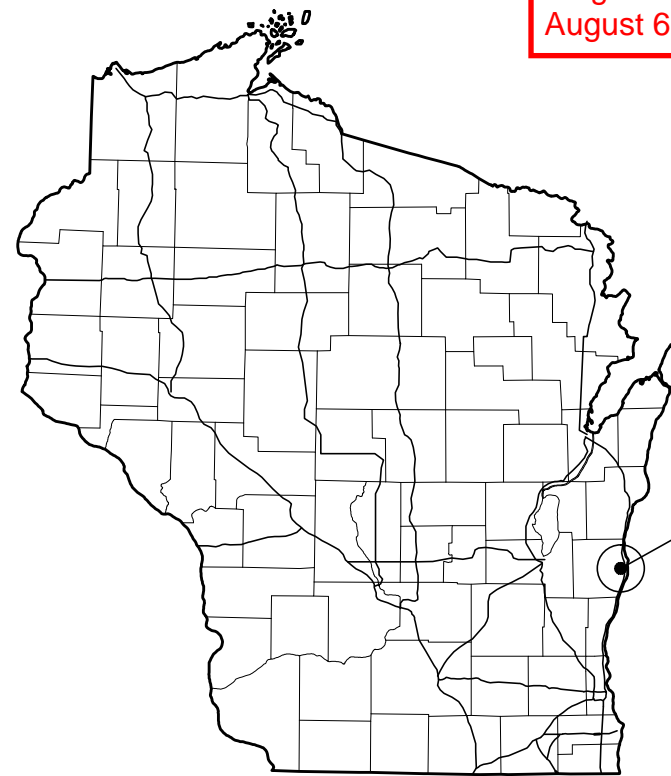
THE STAMP OF INTEGRITY ENGINEERING'S SUPERVISING PROFESSIONAL ON THIS SET OF DRAWINGS IS IN NO WAY ATTESTING TO THE ACCURACY AND COMPLETENESS OF THE DRAWINGS PREPARED BY SUB-CONSULTANTS INCLUDED HEREIN. THE RESPONSIBILITY FOR THE DRAWINGS BY SUB-CONSULTANTS LIES WITH THE RESPECTIVE SUB-CONSULTANTS (CIVIL, MEPPF, ETC.) THEY ARE INCLUDED HERE FOR CONVENIENCE AND INFORMATIONAL PURPOSES ONLY.

Conditionally APPROVED SITE LOCATION MAP
DEPT. OF SAFETY AND PROFESSIONAL SERVICES
DIVISION OF INDUSTRY SERVICES

Randall P. Dahmen

SEE CORRESPONDENCE

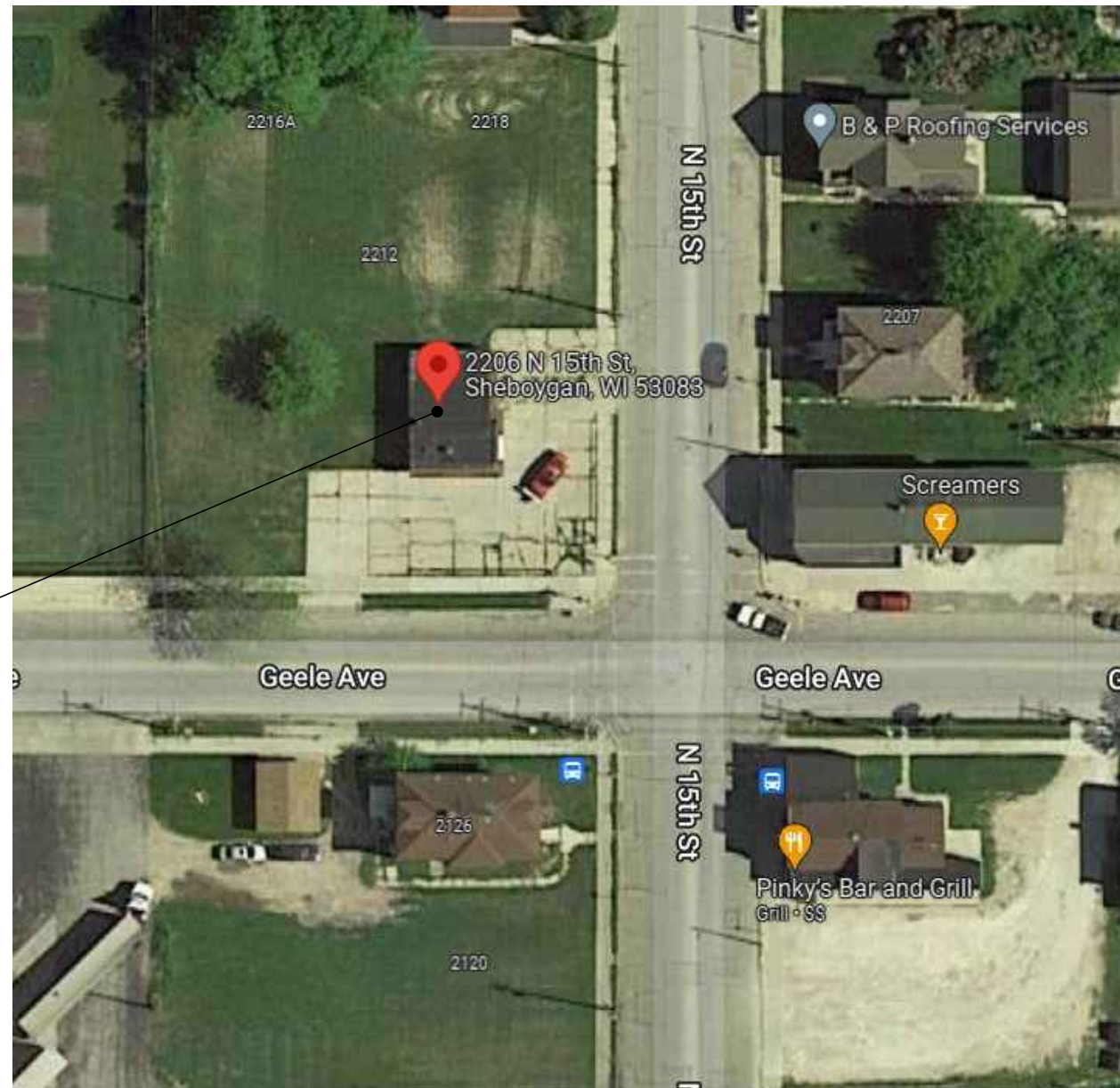
Transaction # CB-0824011159-PRB
New Bldg
August 6, 2024



SITE LOCATION
2206 N 15TH ST.
SHEBOYGAN, WI 53083



July 8, 2024



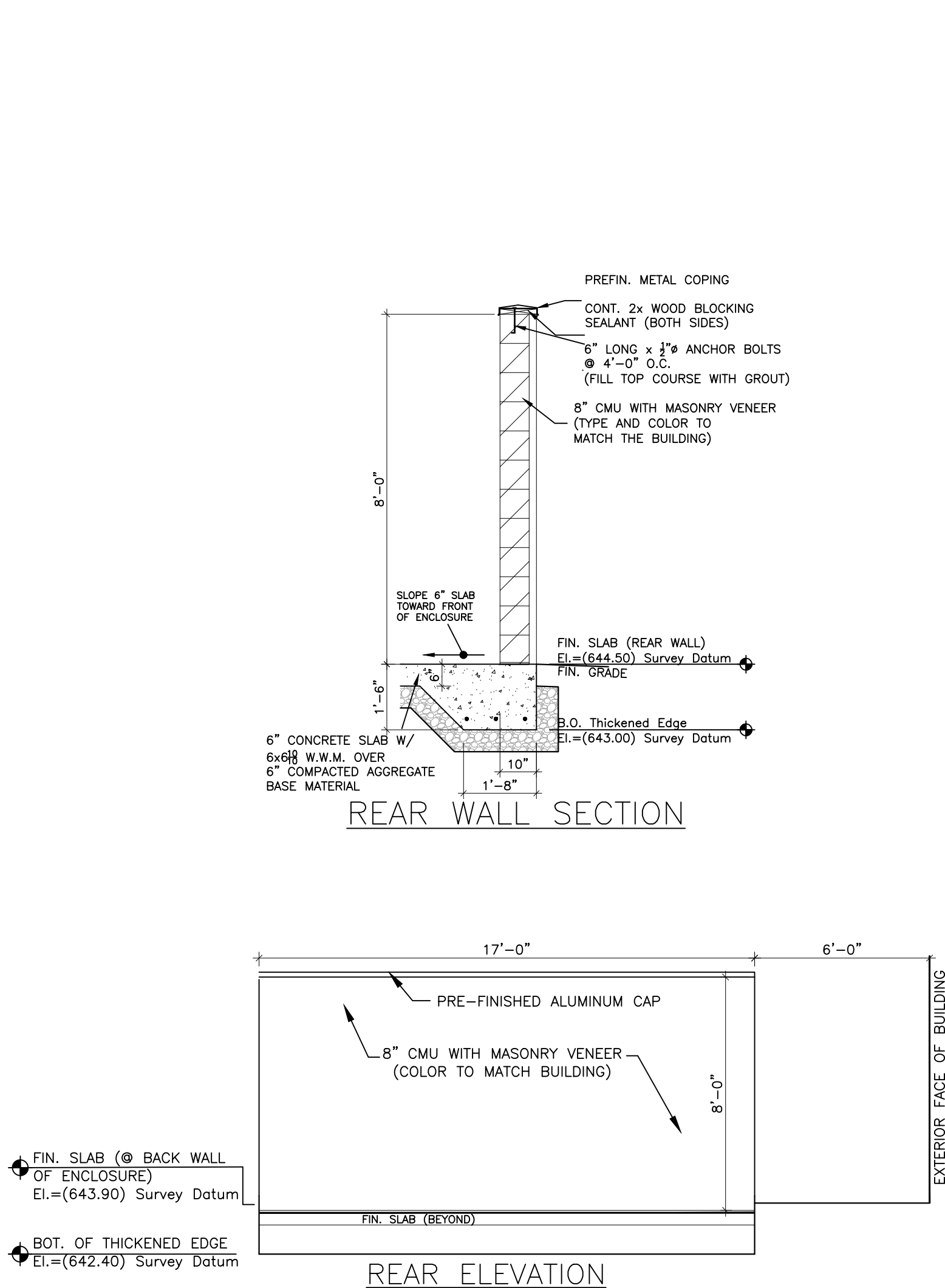
ISSUE NO	REVISIONS	ISSUE DATE
1	REVISED PREVIOUSLY APPROVED PLAN	07-01-2024

PROPOSED BUILDING FOR:
J-MART
SHEBOYGAN
2206 N. 15TH STREET
SHEBOYGAN, WI 53083

21253
MARCH 22, 2024
A. WOLF
C. DUESCHER

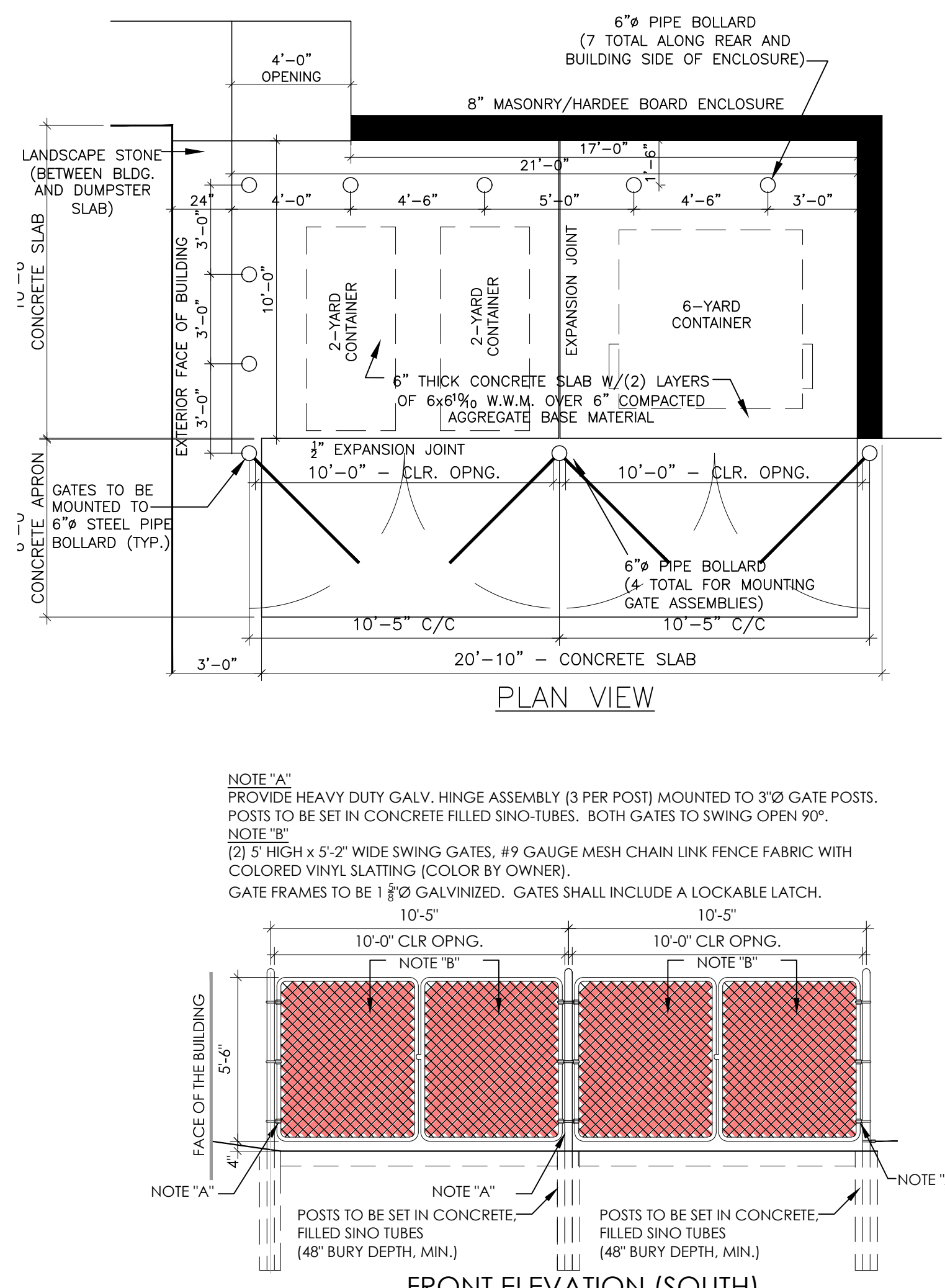
Project number
Date
Drawn by
Checked by

T1.0



REAR WALL SECTION

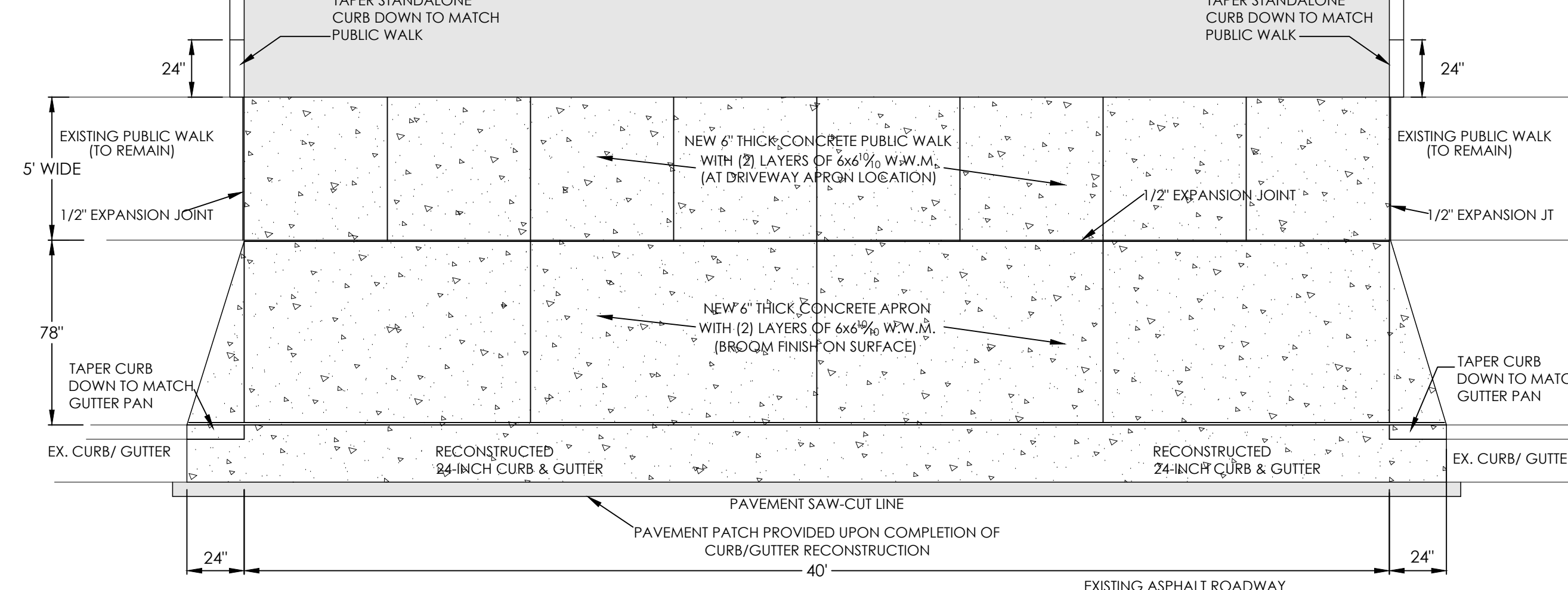
REAR ELEVATION



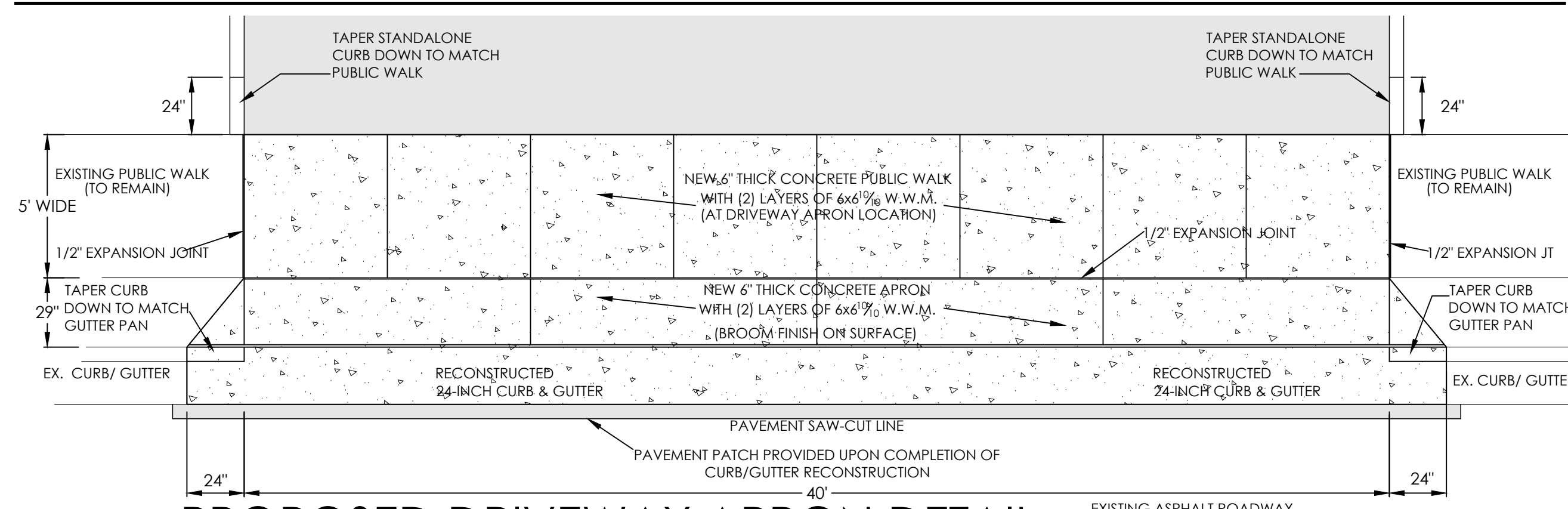
PLAN VIEW

FRONT ELEVATION (SOUTH)

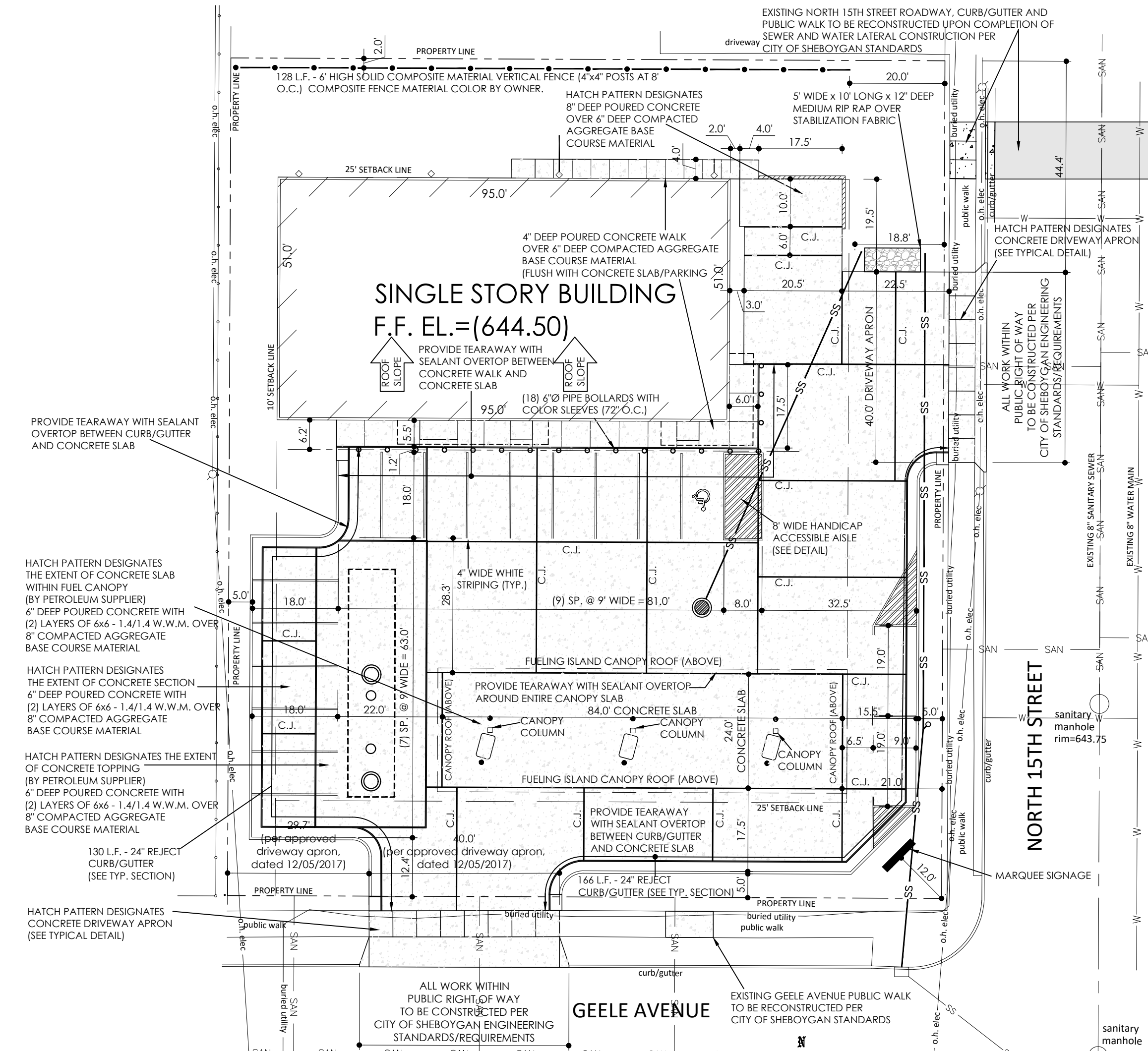
DUMPSTER ENCLOSURE



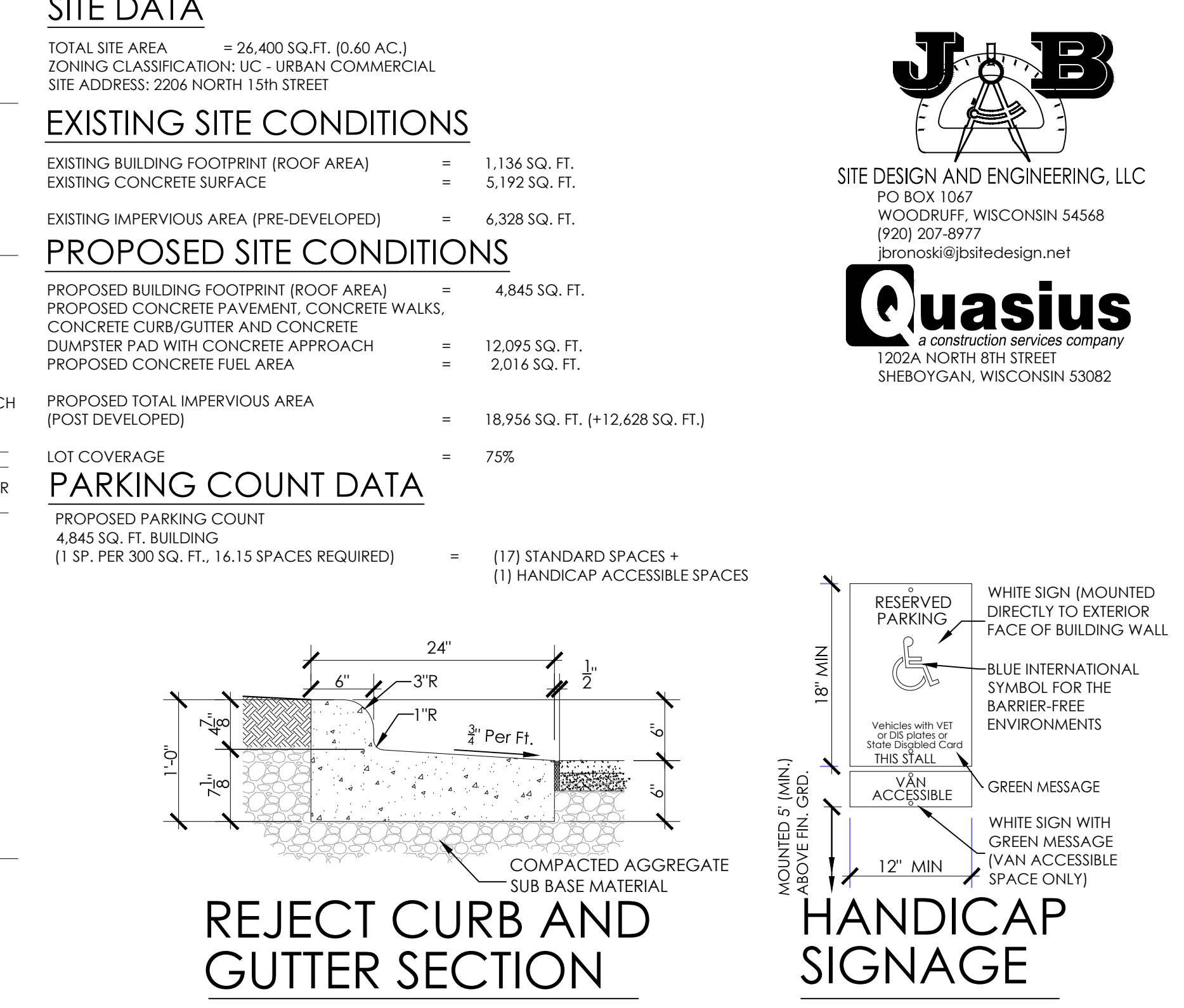
PROPOSED DRIVEWAY APRON DETAIL
(GEELE AVENUE)



PROPOSED DRIVEWAY APRON DETAIL
(NORTH 15th STREET)

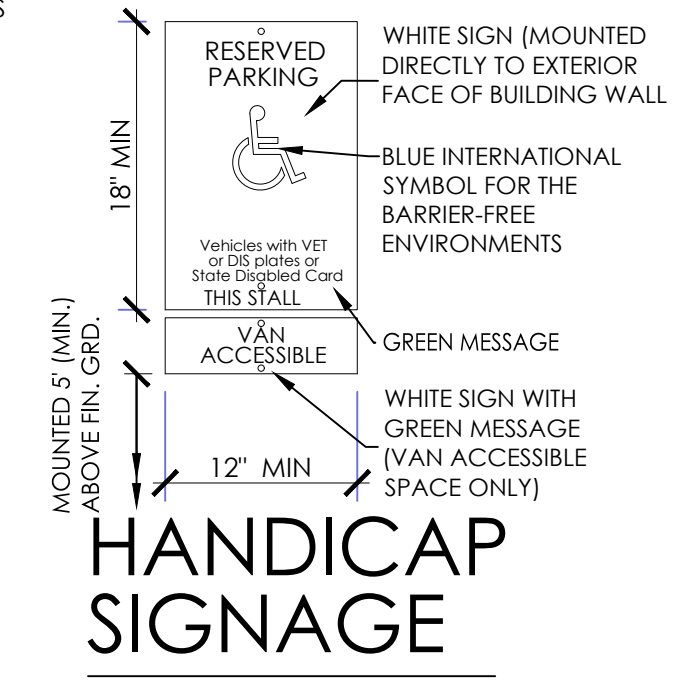


SITE PLAN



PARKING COUNT DATA

REJECT CURB AND GUTTER SECTION



HANDICAP SIGNAGE

SITE DEMOLITION PLAN

J.B.
SITE DESIGN AND ENGINEERING, LLC
PO BOX 1067
WOODRUFF, WISCONSIN 54568
(920) 207-8977
jbrunoski@jbsitedesign.net

Quasius
a construction services company
1202A NORTH 8TH STREET
SHEBOYGAN, WISCONSIN 53082

Issue Dates			NO. REVISIONS	DATE
Revision	Date			
PROPOSED C-STORE				
2206 NORTH 15th STREET Sheboygan, Wisconsin 53082				
SHEET TITLE				
SITE DEMOLITION PLAN				
SITE PLAN				
TYPICAL DETAILS				
DRAWN BY J.A.B.				
CHECKED BY				
DATE JANUARY 25, 2022				
PROJECT NO. 2021-45				
SHEET NO. C101				
REVISIONS				
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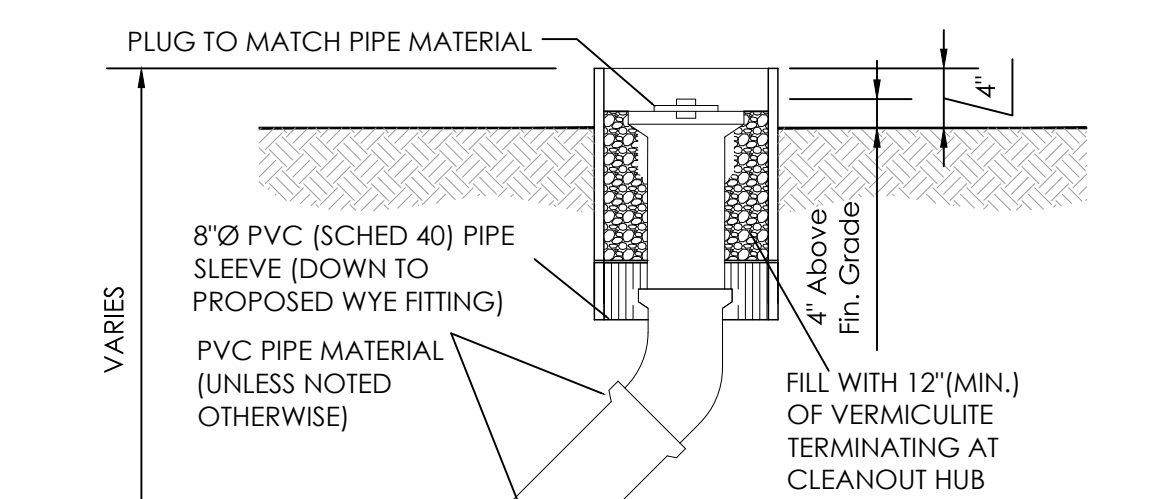


PO BOX 1067
WOODRUFF, WISCONSIN 54568
(920) 207-8977
jbrnoski@jbsitedesign.net

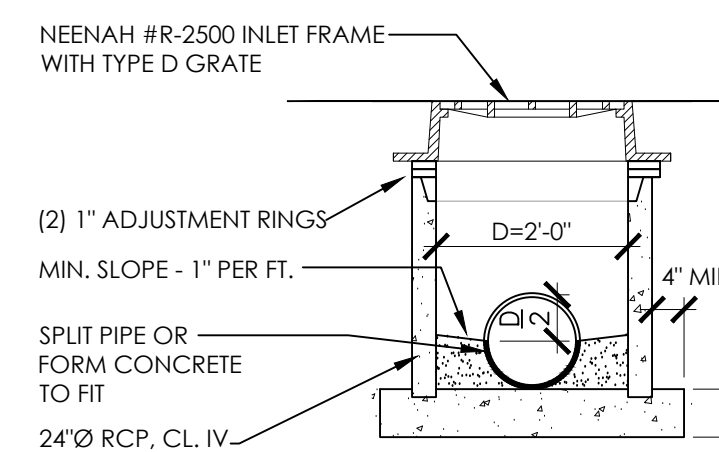


1202A NORTH 8TH STREET
SHEBOYGAN, WISCONSIN 53082

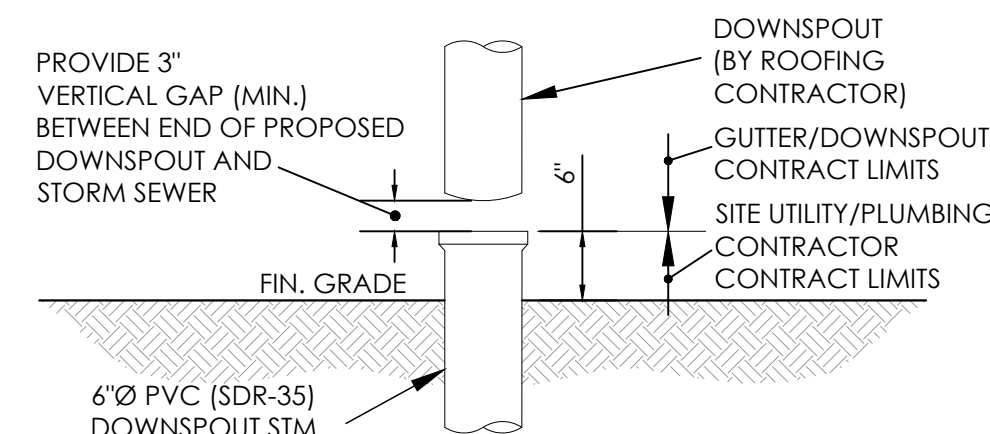
NOTE: THE LOCATION OF UNDERGROUND UTILITIES OR FACILITIES SHOWN ON PLANS ARE BASED ON AVAILABLE RECORDS AT THE TIME OF PREPARATION AND ARE NOT GUARANTEED TO BE COMPLETE OR CORRECT. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES 72 HOURS PRIOR TO CONSTRUCTION TO DETERMINE THE EXACT LOCATION OF ALL FACILITIES AND TO PROVIDE ADEQUATE PROTECTION DURING THE COURSE OF THE PROJECT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR REPAIR OF ALL DAMAGED UTILITIES DURING CONSTRUCTION TO THE SATISFACTION OF UTILITY OWNER(S).



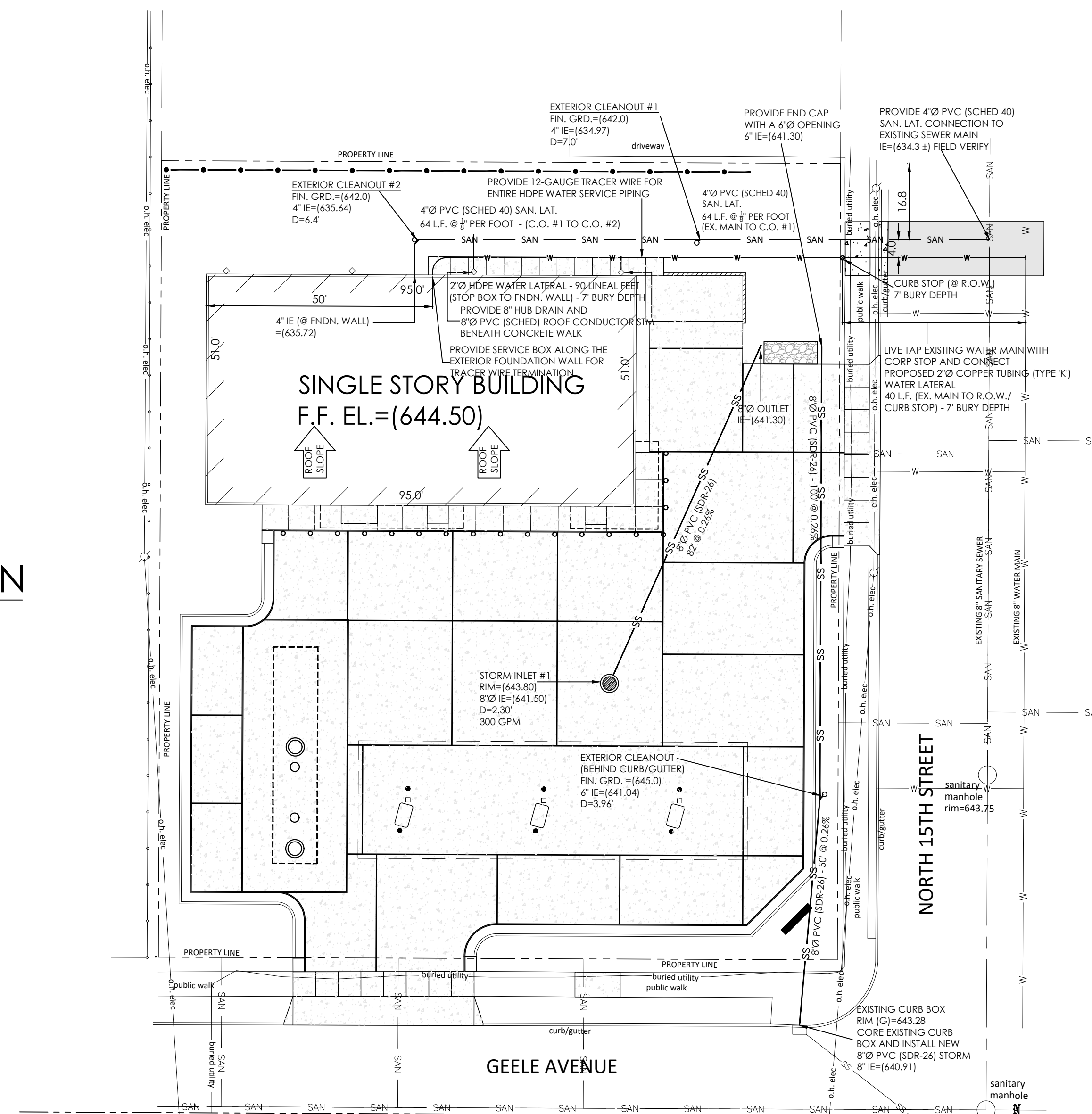
EXTERIOR CLEANOUT SECTION



STORM INLET SECTION



DOWNSPOUT HUB SECTION



SITE UTILITY PLAN

1"=20



Issued for Construction

REVISED BUILDING FOOTPRINT, FOOTING, 240X30 SQ. FT. TO 7,654 SQ. FT. SINGLE DRIVEWAY AROUND ON NORTH 15TH STREET	MARCH 17, 2022
REVISED DUMPISTER ENCLOSURE	JUNE 1, 2022
ADDED NEW SINKER AND WATER LATERALS AND ADDED STUOP ON WEST SIDE OF BUILDING	JULY 12, 2023
ADDED DOWNSPOUT SYSTEM, CHANGED PAVING TO CONCRETE SLABS	AUGUST 15, 2023
REVISED DUMPISTER DETAILS, CHANGE CURB/UGHTER	AUGUST 21, 2023
REDUCED BUILDING FOOTPRINT TO 4,945 SQ. FT/ REMOVED 10' X 10' DUMPSTO (2) 10' X 10' DUMPST	JULY 2, 2024
REVISING REVISIONS	DATE

Issue Dates

Revision	Date
----------	------

PROPOSED C-STORE

2206 NORTH 15th STREET
Sheboygan, Wisconsin 53082

SHEET TITLE SITE UTILITY PLAN SITE UTILITY DETAILS
DRAWN BY J.A.B.
CHECKED BY
DATE JANUARY 25, 2022
PROJECT NO. 2021-45
SHEET NO. C103

CONCRETE

CONCRETE CONTRACTOR SHALL VERIFY SOIL CONDITIONS BEFORE PLACING FOUNDATIONS AND SLABS. NOTIFY THE GENERAL CONTRACTOR IF ANY SOIL CONDITIONS APPEAR OUT OF THE ORDINARY.

FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR STRUCTURAL FILL. DO NOT PLACE FOOTINGS ON FROZEN GROUND.

DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94.

1) FOOTINGS AND WALLS SHALL HAVE STRENGTH EQUAL TO 4,000 PSI AT 28 DAYS.

2) SLABS ON GRADE SHALL HAVE STRENGTH EQUAL TO 4,000 PSI AT 28 DAYS.

3) EXTERIOR CONCRETE SHALL HAVE STRENGTH EQUAL TO 4,000 PSI AT 28 DAYS.

4) COLUMNS, BEAMS AND STRUCTURAL SLABS SHALL HAVE STRENGTH EQUAL TO 4,000 PSI AT 28 DAYS.

5) PRE CAST TOPPING SHALL HAVE STRENGTH EQUAL TO 4000 PSI AT 28 DAYS.

6) SLUMP SHALL NOT EXCEED 4".

7) ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED WITH 4-7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT THE APPROVAL OF THE GENERAL CONTRACTOR. CALCIUM CHLORIDE SHALL NOT BE USED.

8) MAXIMUM AGGREGATE SIZE FOR FOOTING TO BE 1 1/2" AND MAXIMUM AGGREGATE SIZE FOR ALL OTHER WORK TO BE 3/4".

PLACE FLOOR SLABS WITH CONSTRUCTION JOINTS OR SAW JOINTS NOT EXCEEDING A MAXIMUM OF 156 SQUARE FEET OR AS INDICATED ON THE PLANS. SAW CUTTING TO BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED.

INTERIOR SLABS TO HAVE A TROWEL FINISH AND EXTERIOR SLABS TO HAVE A LIGHT BROOM FINISH. MAINTAIN FLOOR LEVEL AT WALLS AND PITCH SURFACES UNIFORMLY TO DRAINS. CONCRETE TO BE SEALED OR WET CURED FOR 7 DAYS. FLOORS TO RECEIVE TILE OR EPOXY TO BE WET CURED ONLY. EXTERIOR SLABS SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 1/2" FIBER EXPANSION JOINT.

DESIGN AND CONSTRUCTION OF CAST-IN-PLACE CONCRETE SHALL CONFORM TO ACI 318 AND CRSI STANDARDS.

ANCHOR BOLTS AND THREADED RODS TO BE ASTM F1554, MINIMUM GRADE A36.

REINFORCING STEEL

REINFORCING STEEL TO CONFORM TO ASTM-A615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM-A185. LAP ALL HORIZONTAL REINFORCING AT SPICES AND AROUND CORNERS. 30 BAR DIAMETERS, WELDED WIRE FABRIC IS TO BE LAPPED 6" AND PLACED IN THE CENTER OF THE SLAB UNLESS INDICATED OTHERWISE. REINFORCING SHALL BE PLACED IN CONFORMANCE WITH CRSI "RECOMMENDED PRACTICES FOR PLACING BARS" AND ACI 318. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE, DIRT OR DEEP RUST WHEN PLACED. PROVIDE CONCRETE PROTECTION FOR REBARS PER ACI 318 SECTION 7.7.

SITE WORK

THE SITE WORK CONTRACTOR IS REQUIRED TO CONTACT DIGGER'S HOTLINE. ALL UTILITIES SHALL BE LOCATED PRIOR TO STARTING EXCAVATION.

ALL EXCAVATION AND BACK FILL FOR MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE MECHANICAL CONTRACTOR. THESE TRENCHES ARE TO BE FILLED IN 6" LIFTS AND COMPACTED TO 95% OF THE MODIFIED PROCTOR VALUE. ENSURE TRENCH ROUTE IS CLEAR OF UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO DIGGING.

THE EXCAVATION CONTRACTOR SHALL ADVISE THE GENERAL CONTRACTOR OF ANY SOIL CONDITIONS WHICH APPEAR OUT OF THE ORDINARY. THE SOIL BEARING CAPACITY IS LISTED ON THE COVER SHEET.

ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS AND AT SITE FILL AREAS SHALL BE REMOVED. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION.

ALL SUB GRADE FILL UNDER PAVED AREAS AND BUILDING AREAS SHALL BE CLEAN GRANULAR FILL CONFORMING TO GRADE 1 OR 2 OF SECTION 209 WOOT STANDARD. PLACE IN 8" MAXIMUM LIFTS AND COMPACT TO 95% OF THE MODIFIED PROCTOR VALUE. GRAVEL BASE BENEATH FLOOR SLABS SHALL BE 6 INCHES OF 3/4" CRUSHED STONE OR SAND COMPACTED TO THE ABOVE STANDARD. GRAVEL BASE BENEATH DRIVES, PARKING AREAS, AND APRONS SHALL BE 12" OF COMPACTED CRUSHED STONE. TYPICAL SHALL BE INSTALLED WHENEVER THIS 12" BASE RESTS ON CLAY OR LOOSE SOILS. FILL SHALL NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACKFILL.

FOUNDATION TRENCHES MUST BE BACK FILLED UNIFORMLY ON EACH SIDE WITH SAND. PLACE FILL IN 8" LIFTS AND COMPACT TO 95% OF THE MODIFIED PROCTOR VALUE. THE EXTERIOR SIDE MAY BE FILLED WITH COMPACTED NON-STRUCTURAL FILL IF THERE WILL NEVER BE A PARKING LOT OR ADDITION ON THAT SIDE. WHEN IN DOUBT, BACK FILL WITH SAND.

THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AT A MINIMUM OF 2% SLOPE FOR 20'-0" AWAY FROM THE BUILDING, STARTING AT 2" BELOW THE FLOOR LINE OR AS INDICATED ON THE PLANS. PROVIDE 6" OF TOPSOIL AT ALL GRASS AND LANDSCAPED AREAS AND GRADE TO +/- 0.10 FEET.

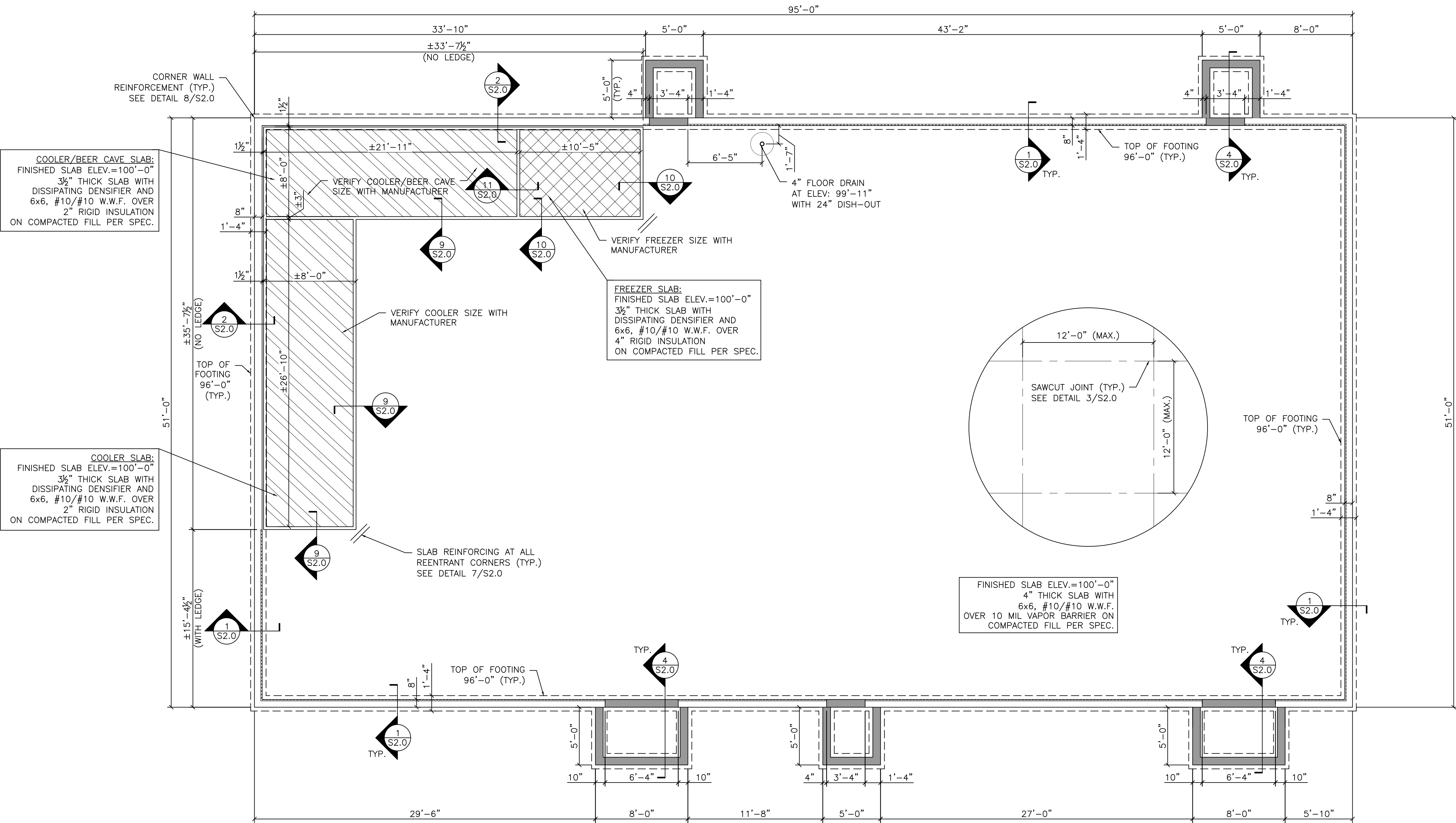
SPRINKLER BLOCKS ARE TO BE PLACED AT ALL DOWN SPOUTS WHICH DISCHARGE AT GRADE AND AT SPRINKLER DRAIN VALVES.

IF A CURRENT GEOTECHNICAL REPORT OR PLANS BY A CIVIL CONSULTANT ARE AVAILABLE, ALL REQUIREMENTS OF THAT REPORT AND PLANS MUST BE FOLLOWED. WHEN THE STRUCTURAL/ARCHITECTURAL PLANS OR THE INFORMATION ABOVE CONFLICT WITH THE GEOTECHNICAL REPORT OR THE CIVIL PLANS, THE INFORMATION IN THE GEOTECHNICAL REPORT AND CIVIL PLANS SUPERCEDE.

SITE UTILITIES

ALL UTILITIES SHALL BE INSTALLED PER INDUSTRY STANDARDS. WATER, SANITARY AND STORM SEWER SHALL BE INSTALLED PER "STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN". THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING, APPLYING FOR, SCHEDULING AND COORDINATING THE INSTALLATION OF GAS, ELECTRIC, AND COMMUNICATION SERVICES.

LOCATIONS OF SITE UTILITIES ON THIS PLAN ARE PRELIMINARY AND MUST BE VERIFIED BY THE SITE UTILITY CONTRACTOR.



CONCRETE NOTE:
CONTRACTOR TO VERIFY
SIZE AND LOCATIONS OF
COOLERS/FREEZERS
PRIOR TO CONSTRUCTION

FOUNDATION PLAN
SCALE: 3/16"=1'-0"

TOP OF FOUNDATION WALL KEY

TOP OF CONCRETE = 100'-0"

TOP OF CONCRETE = 99'-6 1/2"

TOP OF CONCRETE = 99'-4"



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1	REVISED PREVIOUSLY APPROVED PLAN	07-01-2024

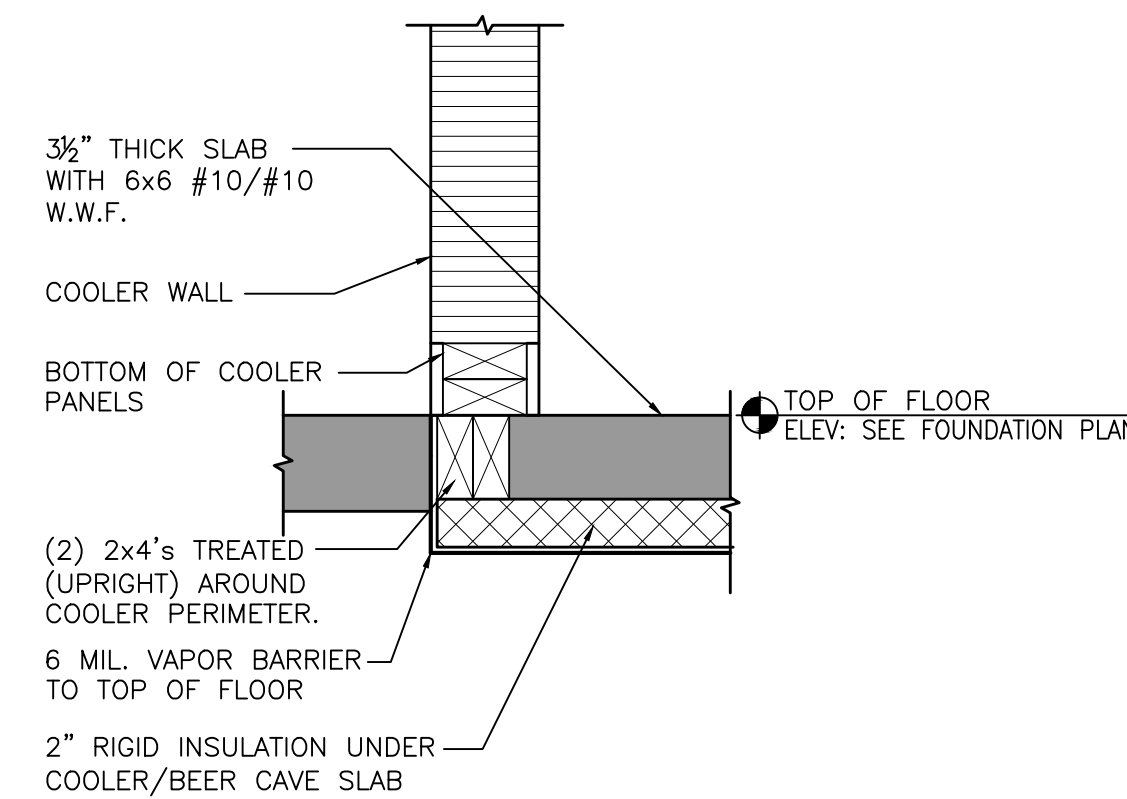
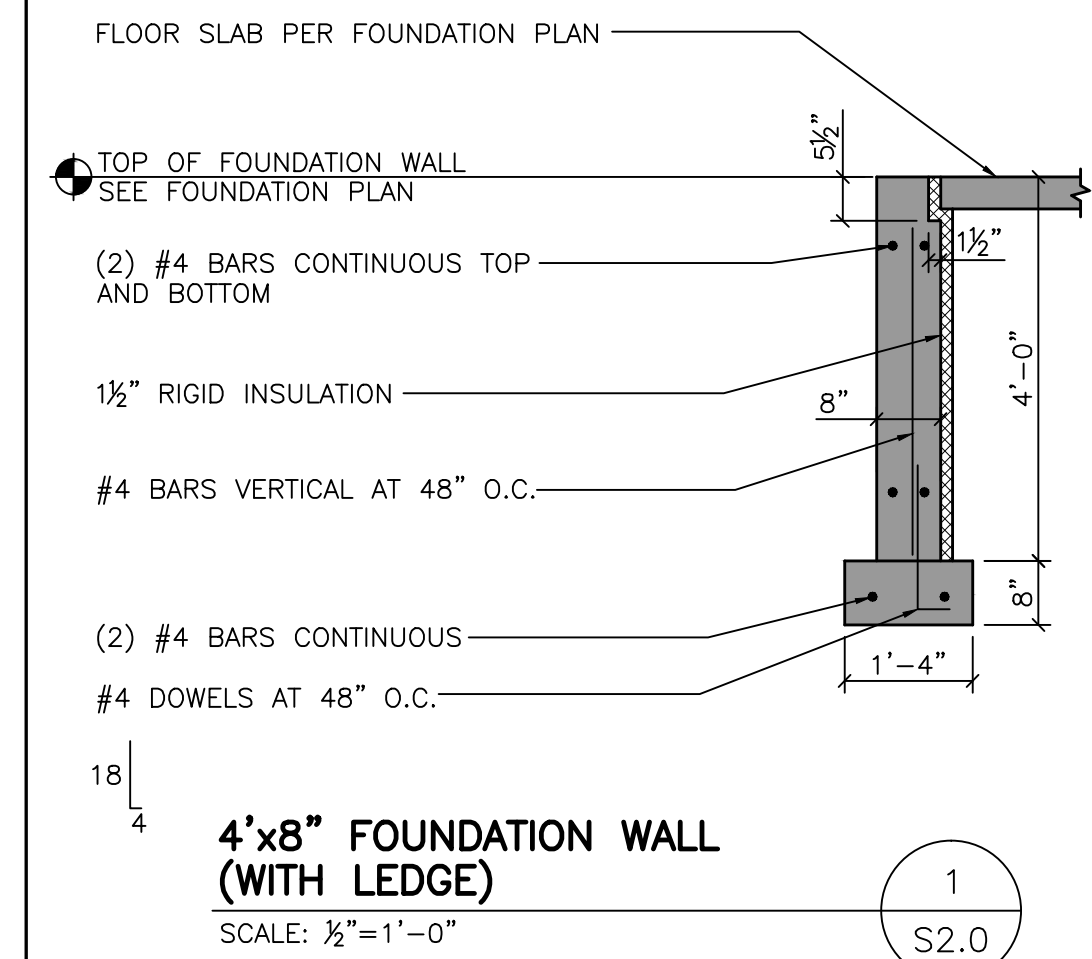
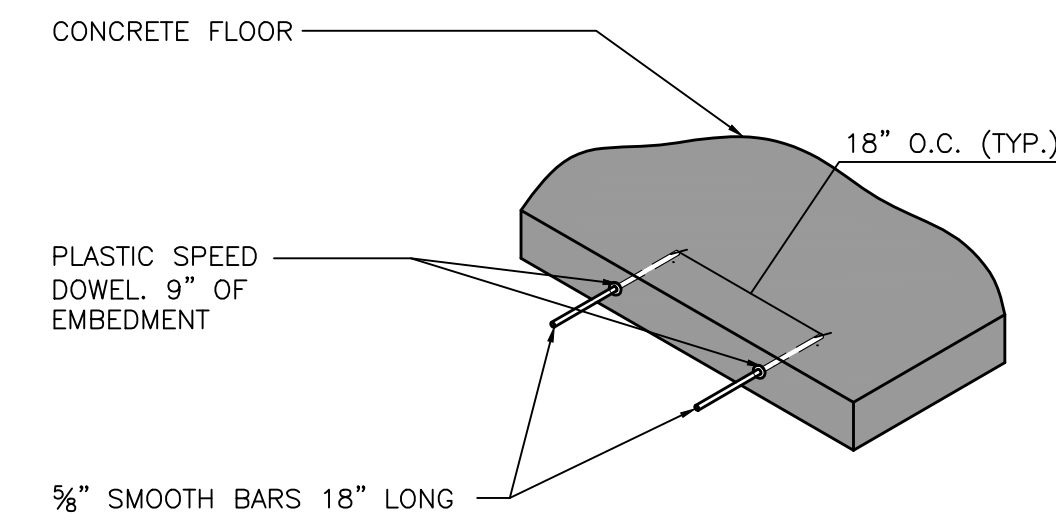
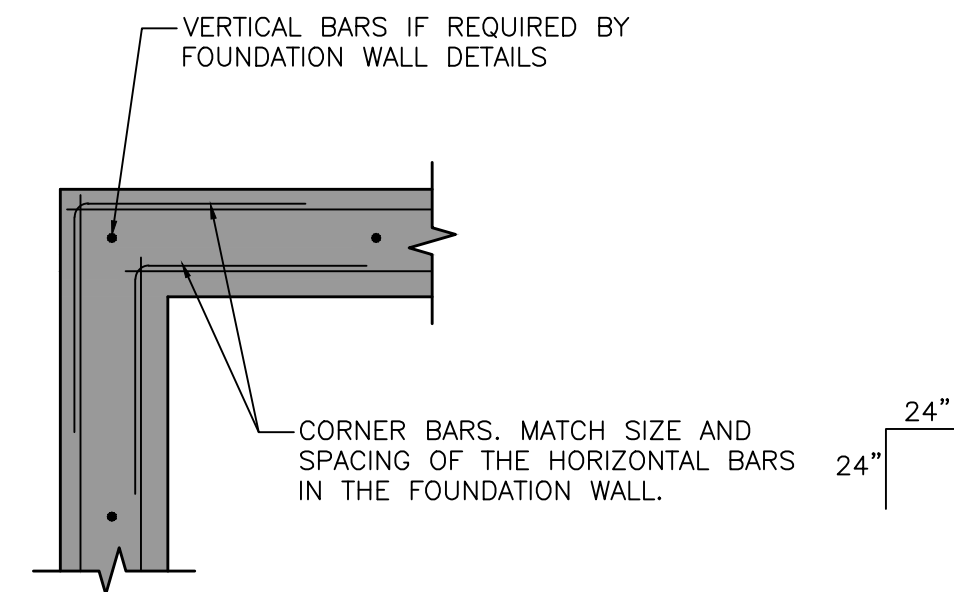
PROPOSED BUILDING FOR:
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SHEBOYGAN
2206 N. 15TH STREET
SHEBOYGAN, WI 53083

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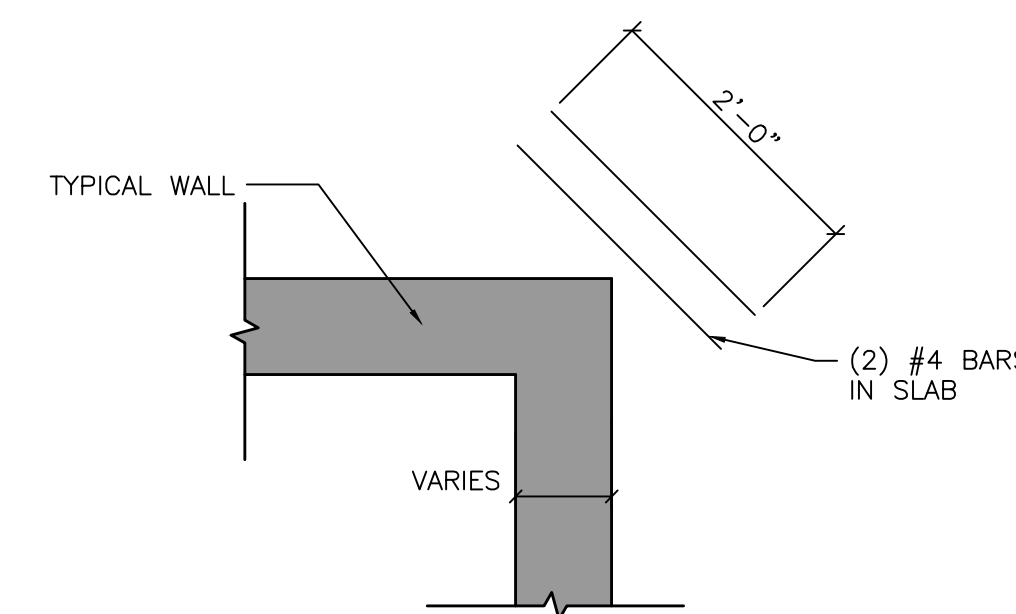
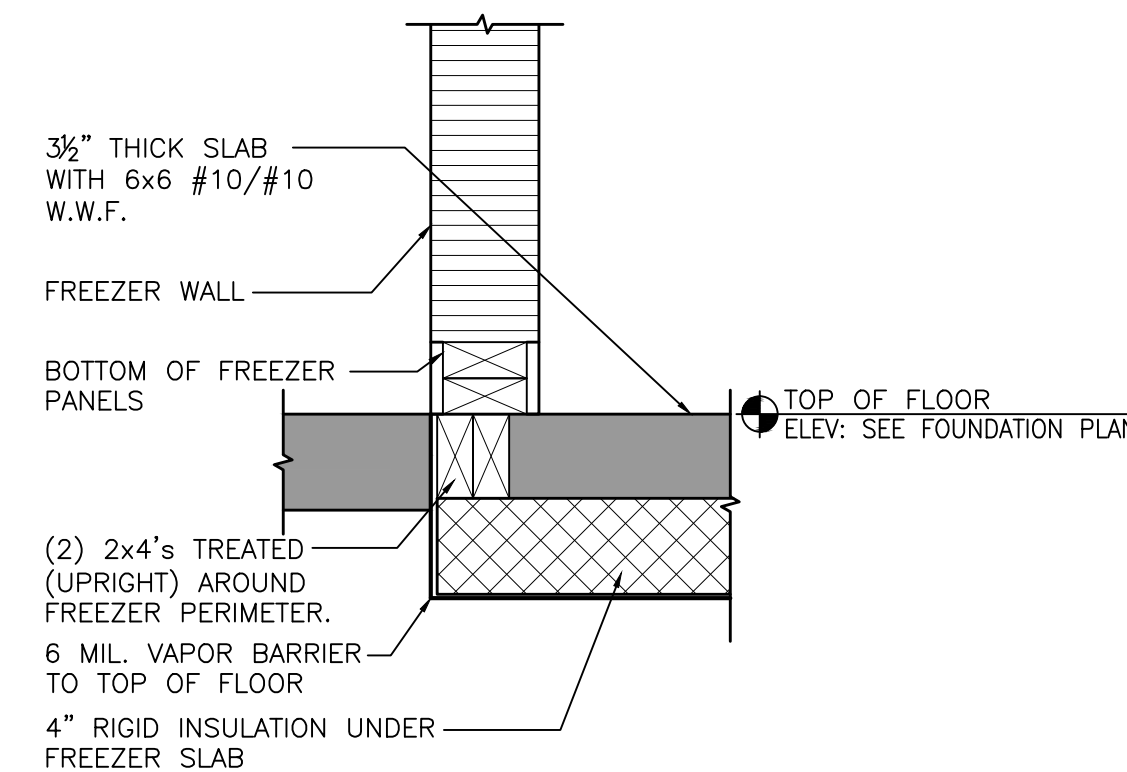
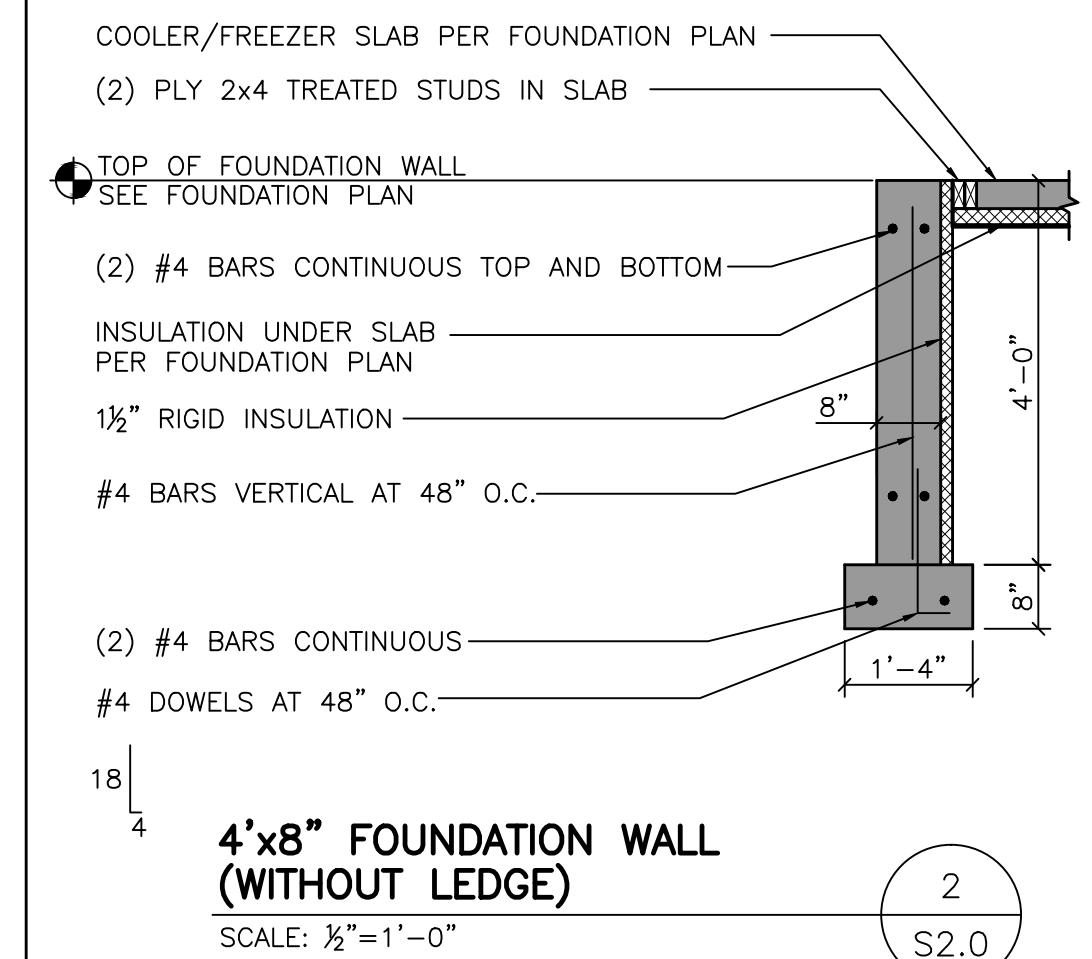
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MARCH 22, 2024
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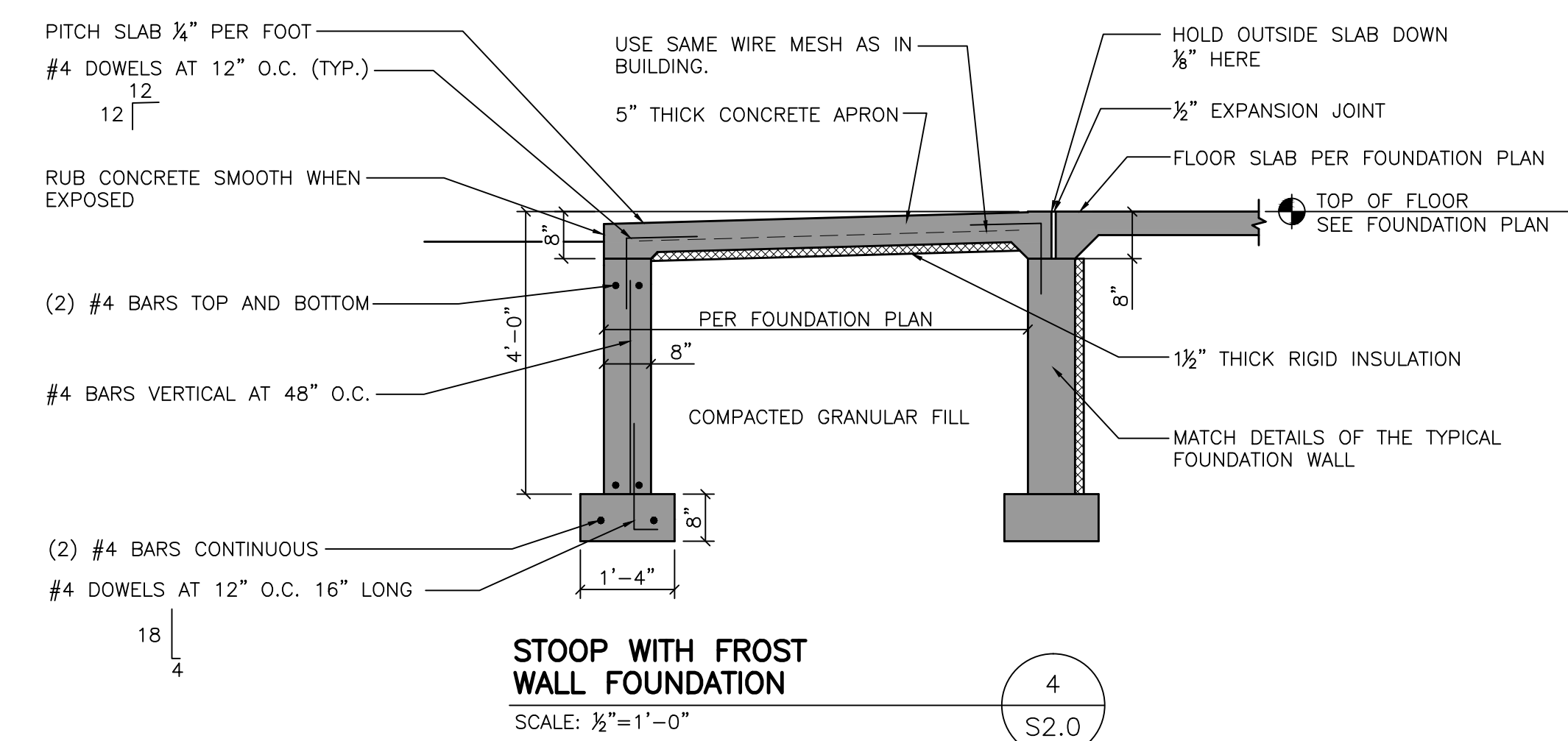
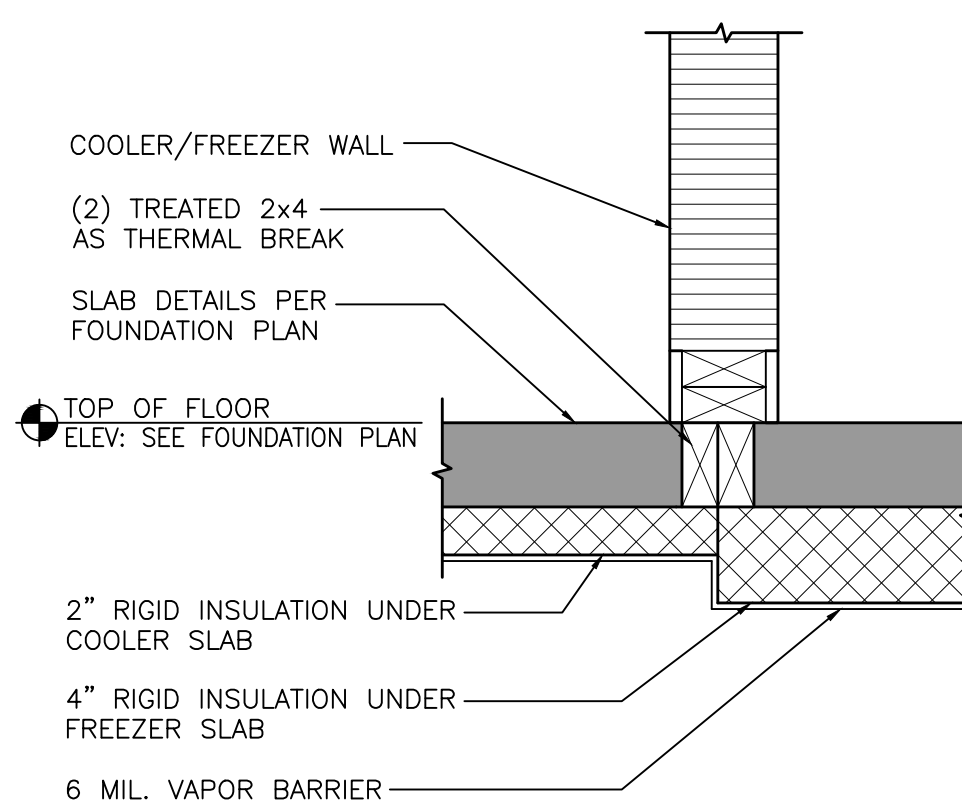
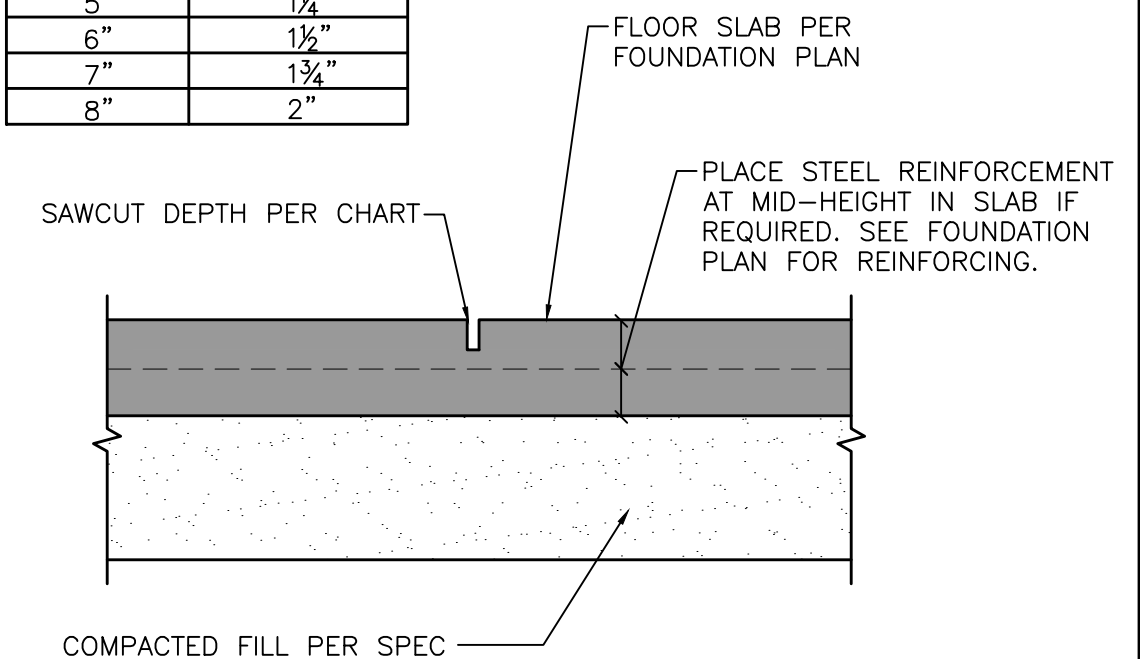
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SLAB DEPTH	SAWCUT DEPTH
4"	1"
5"	1¼"
6"	1½"
7"	1¾"
8"	2"



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WOOD TRUSSES

TRUSSES MUST BE INSTALLED PER TRUSS SUPPLIER SHOP DRAWINGS AND MUST MEET ALL REQUIREMENTS OF THE TRUSS SHOP DRAWINGS. WHERE THE TRUSS SHOP DRAWINGS CONFLICT WITH THE ROOF FRAMING PLAN, THE SHOP DRAWINGS SUPERCEDE.

WOOD TRUSSES SHALL BE DESIGNED FOR ALL LOADS AND REQUIREMENTS AS INDICATED ON THESE PLANS, AND AS OUTLINED BY IBC, CHAPTER 16. WOOD TRUSSES MUST MEET APPLICABLE REQUIREMENTS OF IBC, CHAPTER 23. TRUSS MANUFACTURER SHALL SPECIFY REQUIRED TRUSS BRACING AND HOLD DOWN CLIPS.

BUILDER MUST PROPERLY INSTALL ALL BRACING SPECIFIED BY THE TRUSS MANUFACTURER.

STRUCTURAL STEEL

STRUCTURAL STEEL FRAMING SHALL BE OF MATERIAL AS LISTED BELOW AND SHALL BE DETAILED, FABRICATED AND ERECTED TO COMPLY WITH THE A.I.S.C. MANUAL. PROVIDE ALL HOLES, ANCHOR BOLTS, BEARING PLATES, LINTELS, STIFFENERS, CLIP ANGLES, WELD PLATES, EMBEDMENTS, STAIRS, ETC. AS REQUIRED FOR STEEL STRUCTURE FABRICATION AS SHOWN ON THE DRAWINGS. WELDING SHALL BE PERFORMED BY AN AWS CERTIFIED WELDER PER AWS D1.1 AND IBC CHAPTER 22. BOLTS, NUTS AND WASHERS SHALL CONFORM TO REQUIREMENTS OF ASTM A325 AND BE INSTALLED PER THE A.I.S.C. SPECIFICATION FOR STRUCTURAL JOINTS. WORK SHALL BE PERFORMED ACCORDING TO A.I.S.C.'S CODE OF STANDARD PRACTICE AND IN ACCORDANCE WITH APPLICABLE LAWS AND CODES.

STEEL WIDE FLANGE BEAMS: ASTM A992 OR ASTM A572, MIN. 50 KSI YIELD.

STEEL WIDE FLANGE COLUMNS: ASTM A992 OR ASTM A572, MIN. 50 KSI YIELD.

STEEL LINTELS, ANGLES, PLATES, EMBEDMENTS, STAIRS, ETC.: ASTM A36

STEEL PIPE: ASTM A53 TYPE E OR S GRADE B.

STEEL TUBES: ASTM A500 GRADE B

STEEL DECK: ASTM A611, GRADE C

WELDING ELECTRODES: ULTIMATE STRENGTH 70 KSI

STEEL SHALL BE PRE-FINISHED WITH ONE COAT OF PRIMER UNLESS INDICATED OTHERWISE. FIELD WELDS TO BE CLEANED AND PRIMED.

STEEL FRAMING MUST BE TEMPORARILY BRACED AS REQUIRED UNTIL THE PERMANENT BRACING SYSTEM HAS BEEN COMPLETED. STEEL ERECTOR SHALL FURNISH AND INSTALL.

WOOD FRAMING

WOOD FRAMING SPECIES SHALL BE SPRUCE/PINE/FIR NO. 2 CONSTRUCTION GRADE OR EQUAL UNLESS NOTED OTHERWISE. WOOD CONSTRUCTION AND ITS FASTENERS SHALL CONFORM TO APPLICABLE REQUIREMENTS OF IBC, CHAPTER 23. ROOF DECKING SHALL BE 5/8" O.S.B. UNLESS NOTED OTHERWISE. ALL WOOD BASE PLATES IN CONTACT WITH MASONRY, CONCRETE, GROUND OR EXPOSED TO THE WEATHER MUST BE PRESERVATIVE TREATED LUMBER.

WOOD FRAME CONNECTIONS MUST MEET MINIMUM REQUIREMENTS SET FORTH IN IBC TABLE 2304.10.1

LAMINATED VENEER LUMBER (LVL) SHALL HAVE A MINIMUM BENDING STRESS OF 2,600 PSI.

FIRE BLOCKING IS REQUIRED IN ALL CONCEALED VOIDS WITHIN STUD WALLS AT 10'-0" O.C. MAX AND AT EACH FLOOR OF MULTI STORY STRUCTURES.

PROVIDE TEMPORARY BRACING OF ALL WALLS TO PROVIDE SUPPORT UNTIL PERMANENT BRACING SYSTEMS ARE IN PLACE.

LINTEL SCHEDULE

MARK	LINTEL	BEARING (EACH SIDE)	BEARING HEIGHT	REMARKS
L-1	-	-	-	LINTEL OMITTED
L-2	(3) PLY 1¾"x9¼" LVL	3"	9'-0"	DOUBLE KING STUDS REQUIRED BETWEEN WINDOW AND DOOR, DOUBLE KING STUDS REQUIRED ON EACH END
L-3	(3) PLY 1¾"x9¼" LVL	3"	9'-0"	DOUBLE KING STUDS REQUIRED ON EACH SIDE
L-4	(3) PLY 2x10	3"	7'-2"	SINGLE KING STUDS REQUIRED ON EACH SIDE
L-5	(3) PLY 1¾"x11½" LVL	1½"	9'-0"	DOUBLE KING STUDS REQUIRED ON EACH SIDE
L-6	(3) PLY 2x10	1½"	7'-2"	SINGLE KING STUDS REQUIRED ON EACH SIDE

NOTE: 1.) OTHER OPENINGS NOT LISTED IN THIS SCHEDULE REQUIRE NO SPECIAL STRUCTURAL HEADERS.
2.) PROVIDE (2) L50 CLIPS AT EACH END IF 8'-0" AND LARGER OPENINGS.

SHEAR WALL SHEATHING SCHEDULE

WALL #1 = SHEATHING ONE SIDE OF WALL WITH FASTENER SPACING AT 6" O.C., FULL DEPTH BLOCKING REQUIRED AT PANEL EDGES OF WALL SECTIONS 8'-0" OR LESS IN WIDTH.

WALL HOLD-DOWN KEY

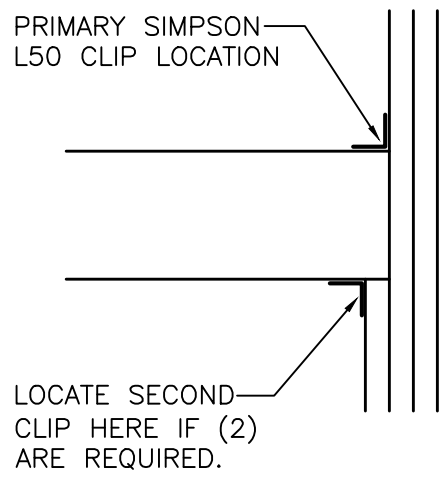
- ▲ SIMPSON HDU2-SDS2.5 HOLD-DOWN, 2-PLY STUDS
- SIMPSON HDU5-SDS2.5 HOLD-DOWN, 2-PLY STUDS

HOLD DOWN ANCHORING SCHEDULE

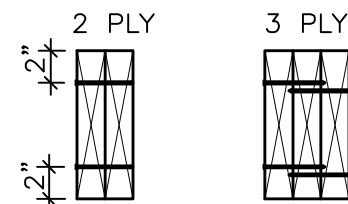
HOLD DOWN	ANCHOR DIAMETER	MINIMUM EMBEDMENT
SIMPSON HDU2-SDS2.5	¾"	6"
SIMPSON HDU5-SDS2.5	¾"	8"

INSTALL ANCHORS WITH RED HEAD A7 EPOXY OR EQUAL

NOTE: SEE DETAIL 1/S3.1 FOR EMBEDMENT NOTE



CONNECTION OF MULTIPLE PIECES OF TOP LOADED BEAMS

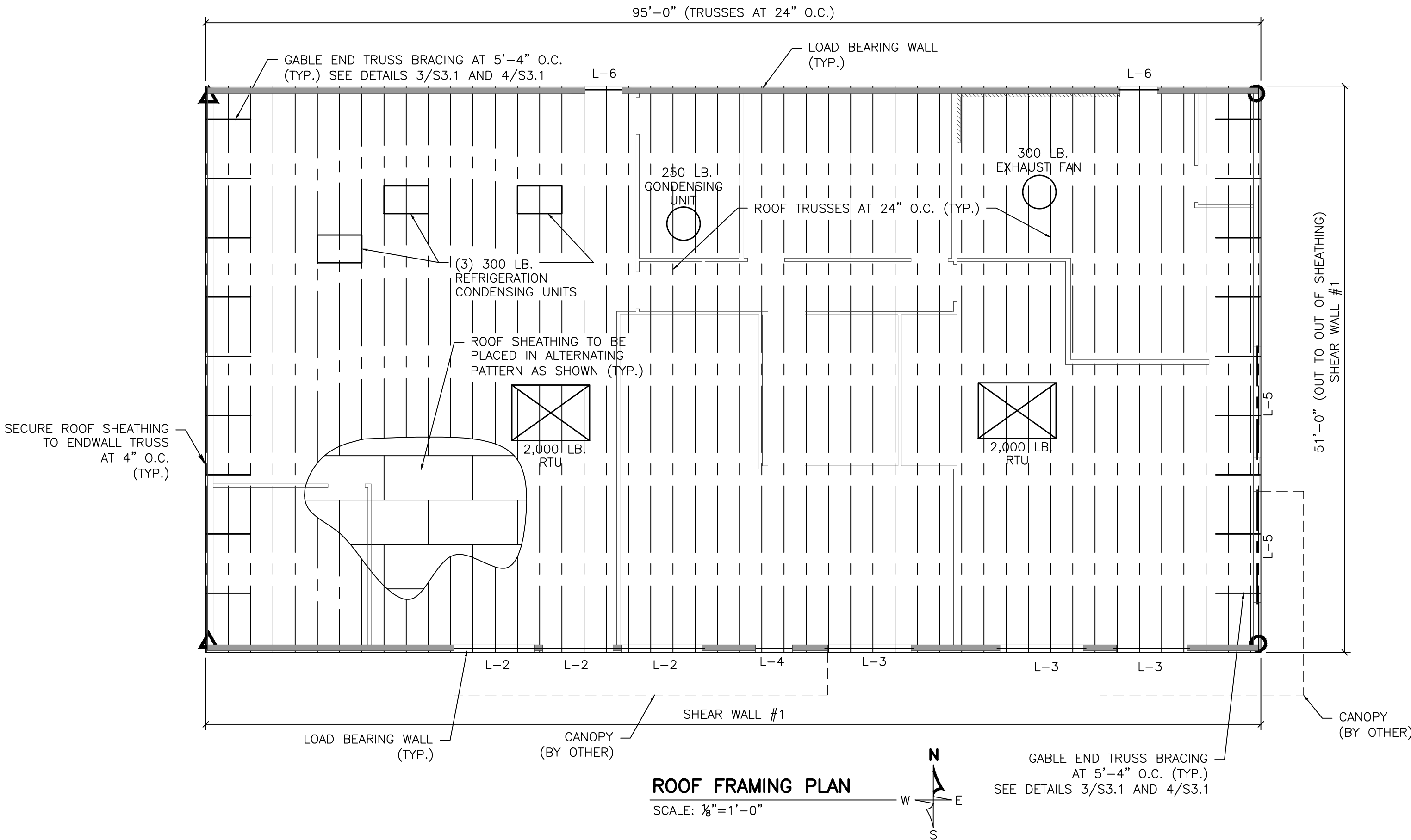


NOTES:
MINIMUM OF 2 ROWS 16d (3½")
NAILS AT 12" O.C.

MINIMUM OF 3 ROWS 16d (3½")
NAILS AT 12" O.C. FOR 14", 16"
AND 18" BEAMS

WOOD LINTELS

SCALE: 1" = 1'-0"



ROOF FRAMING PLAN

SCALE: ¾"=1'-0"



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21253
MARCH 22, 2024
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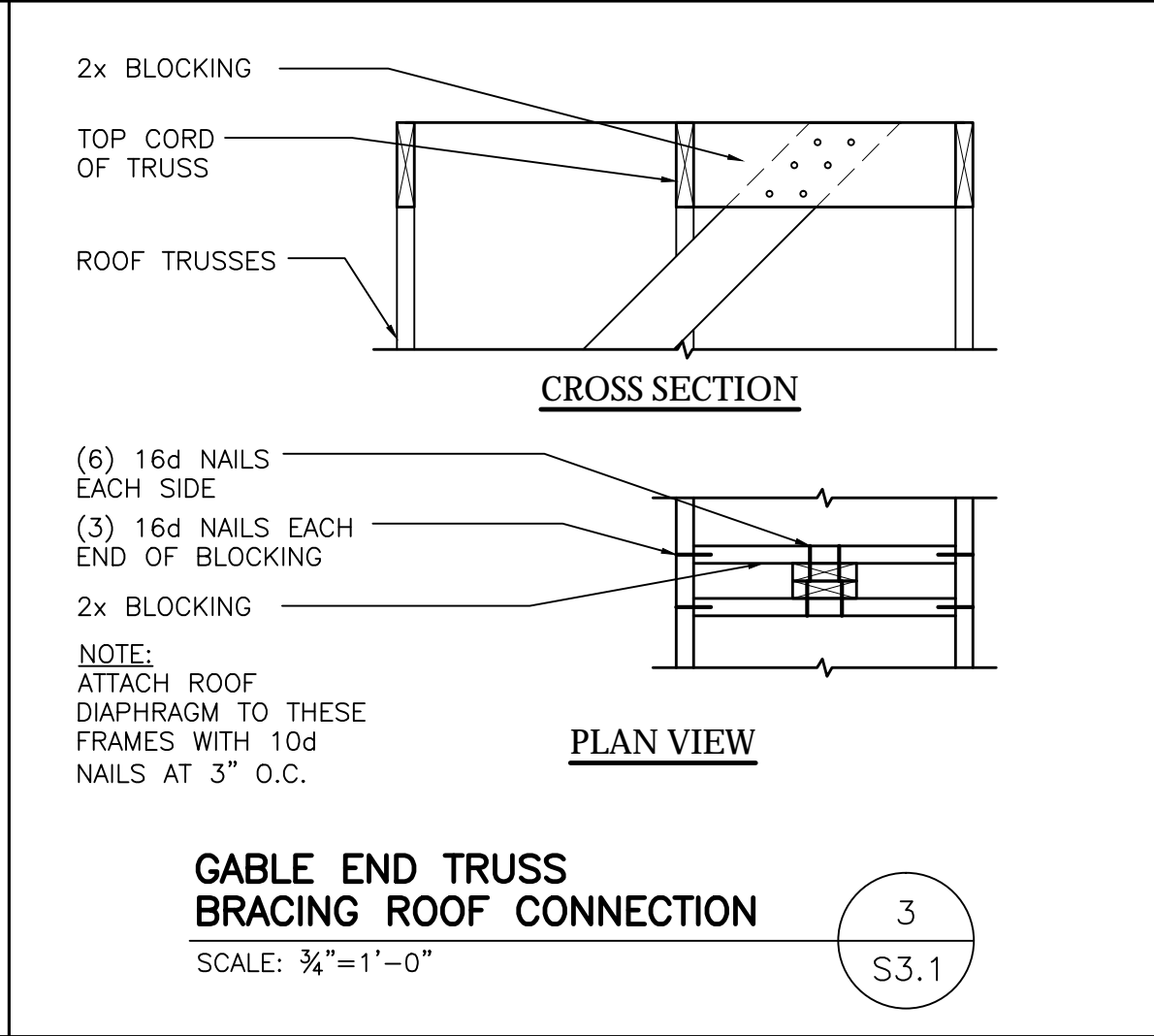
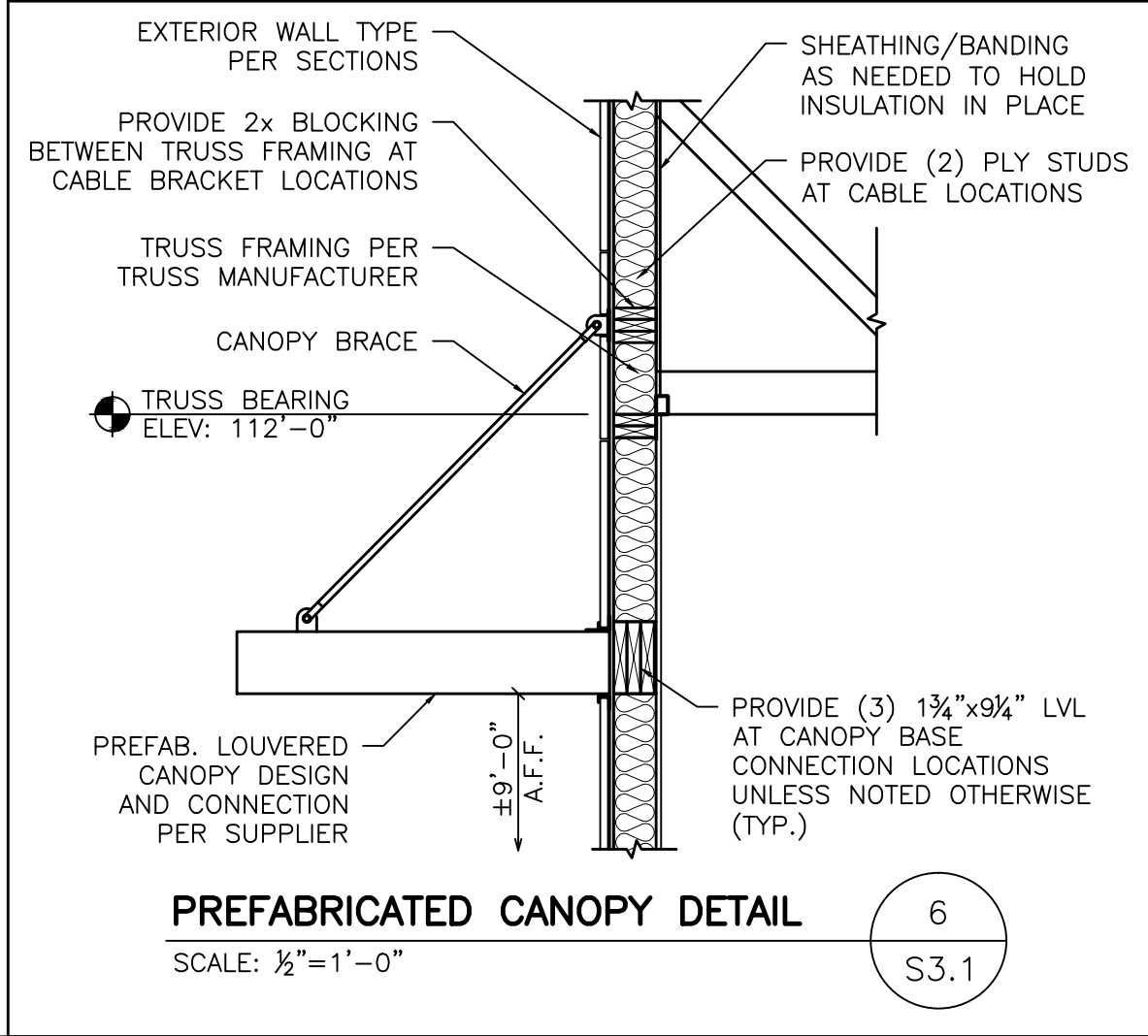
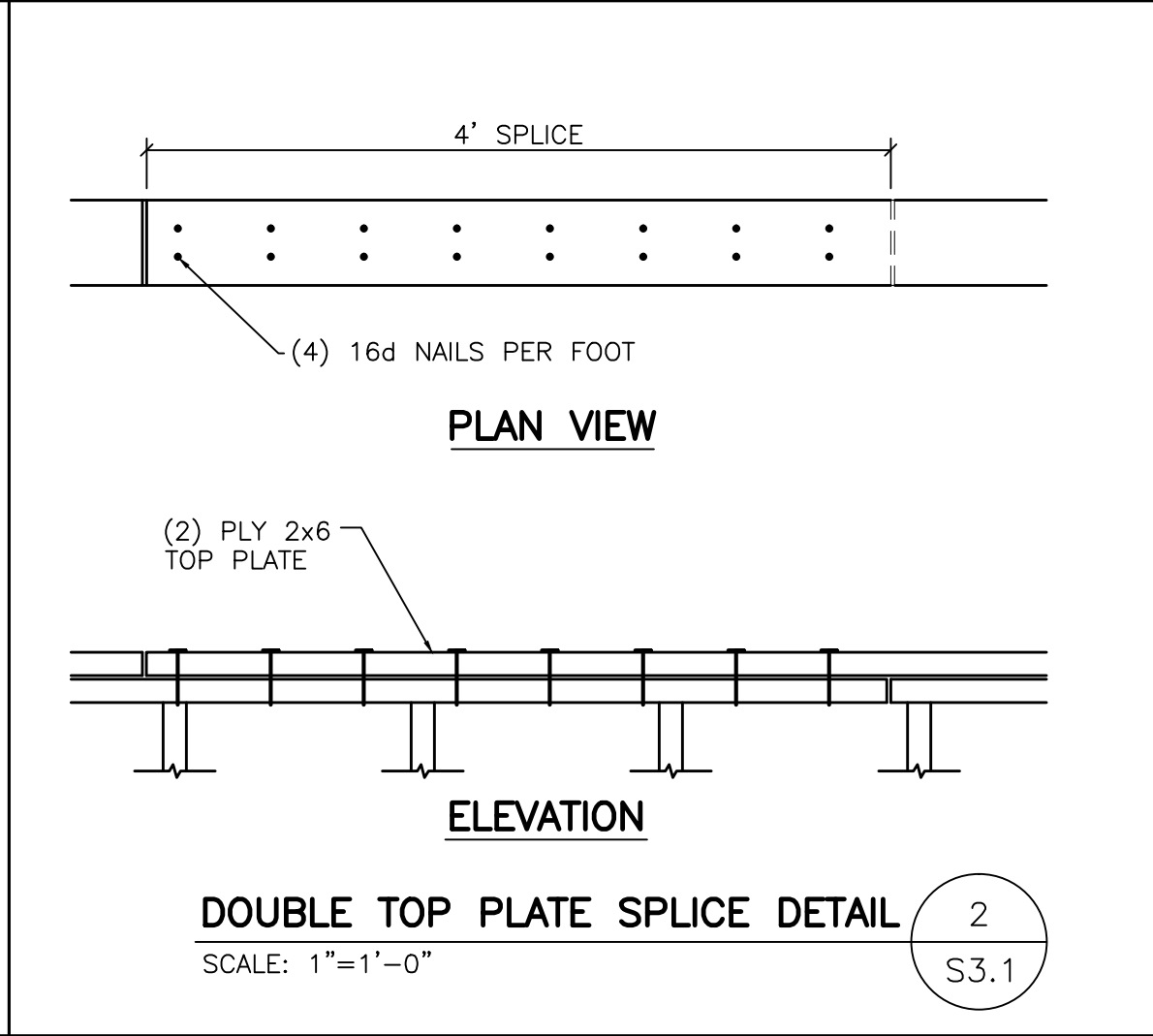
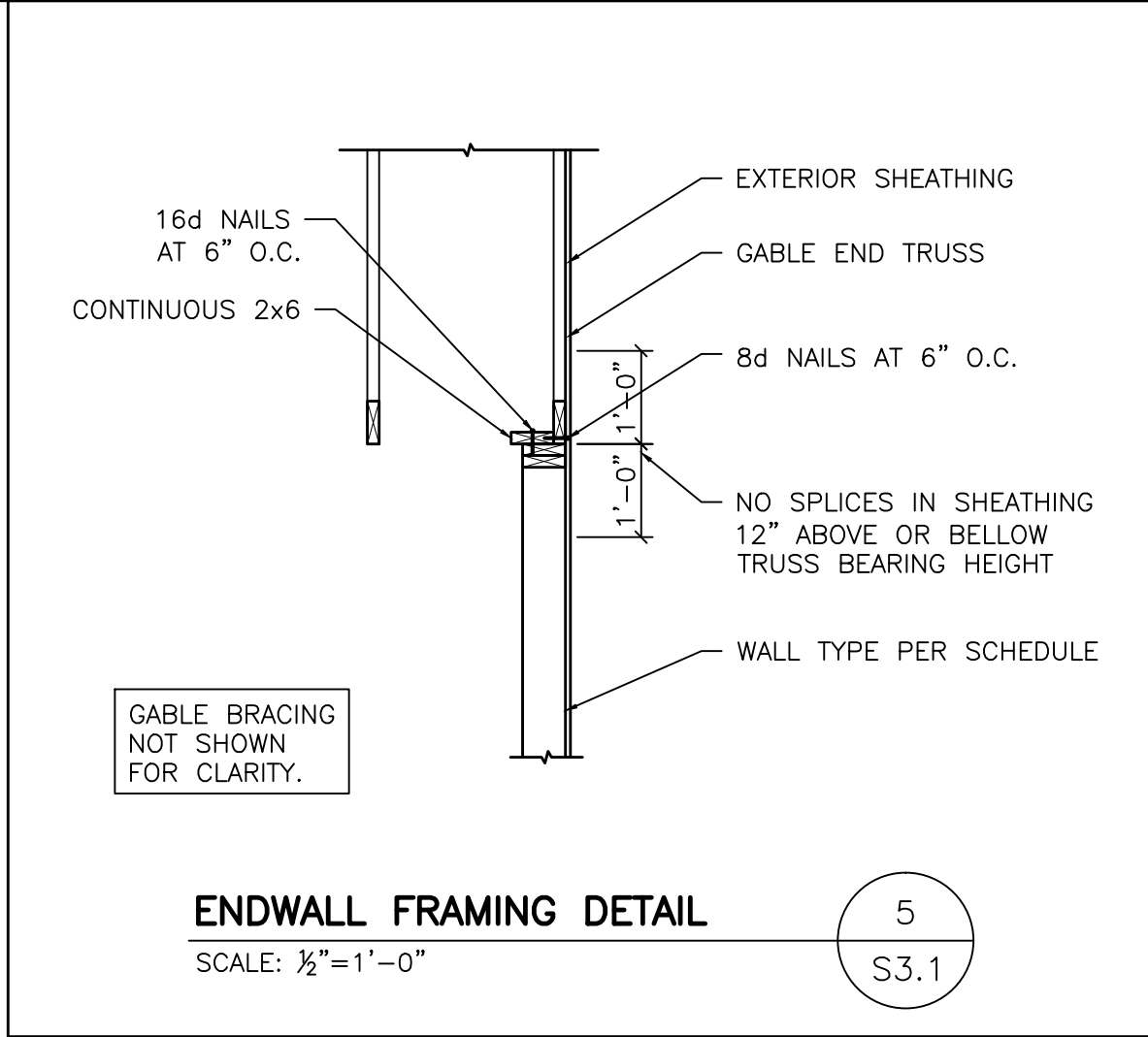
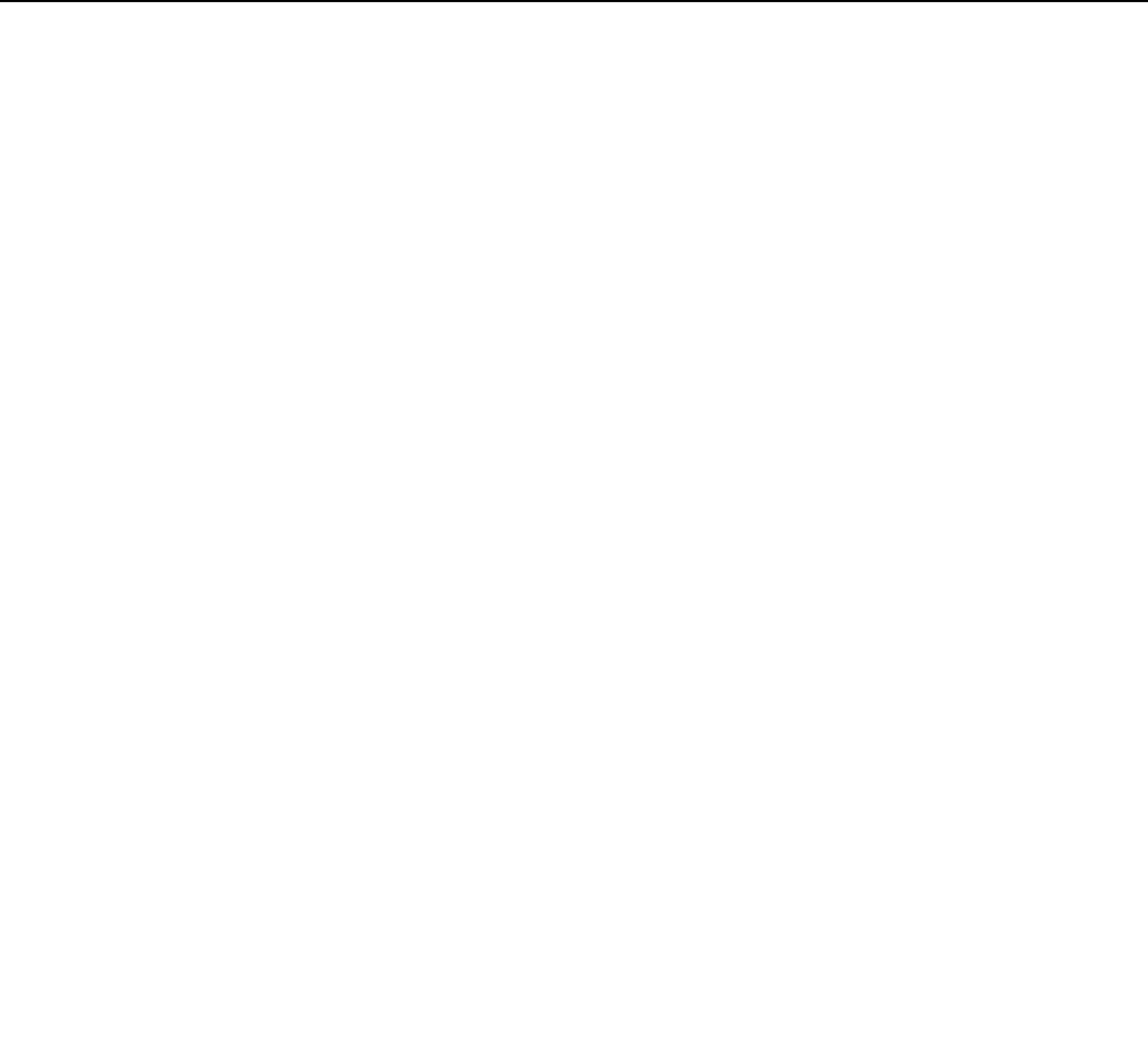
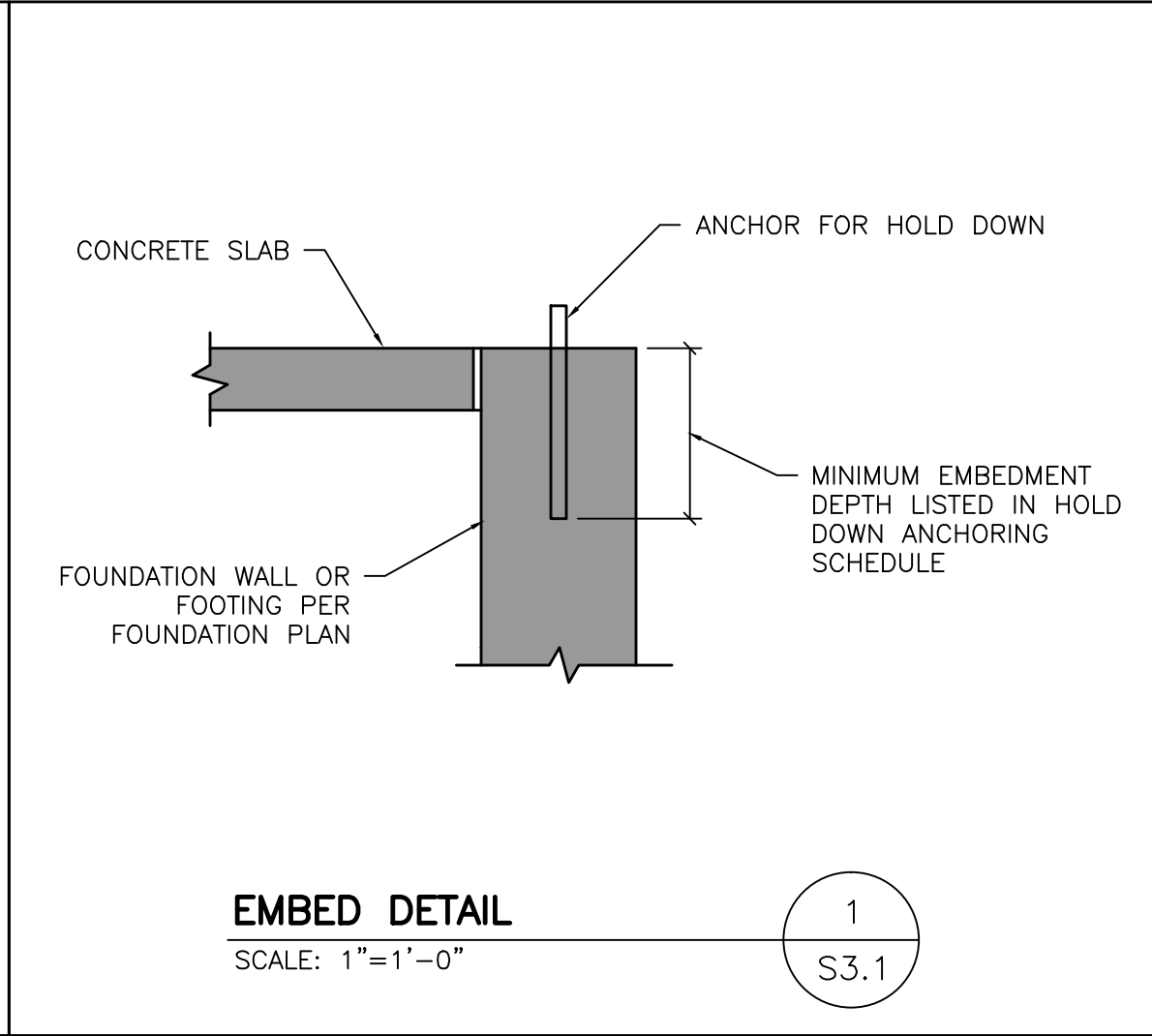
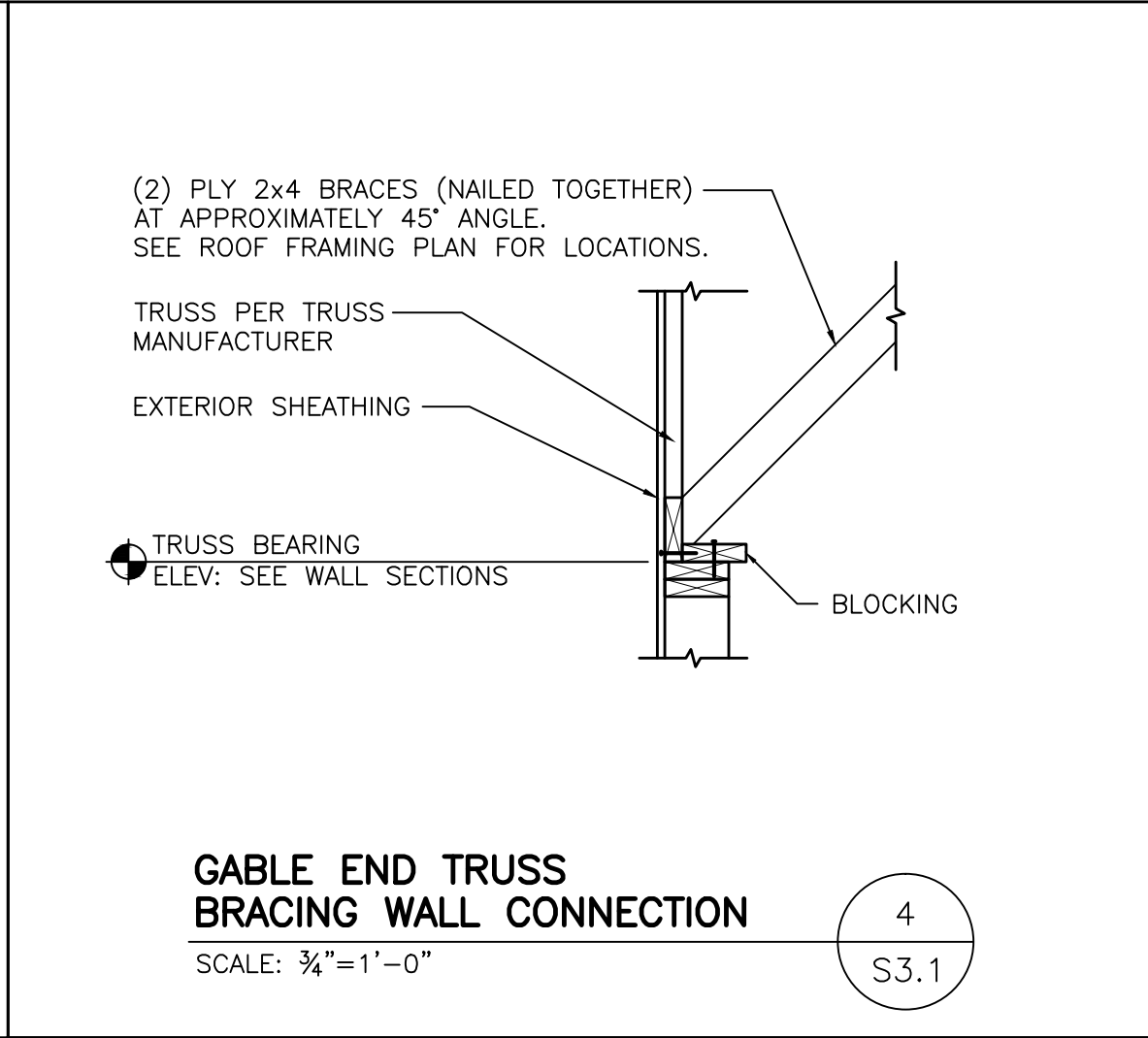
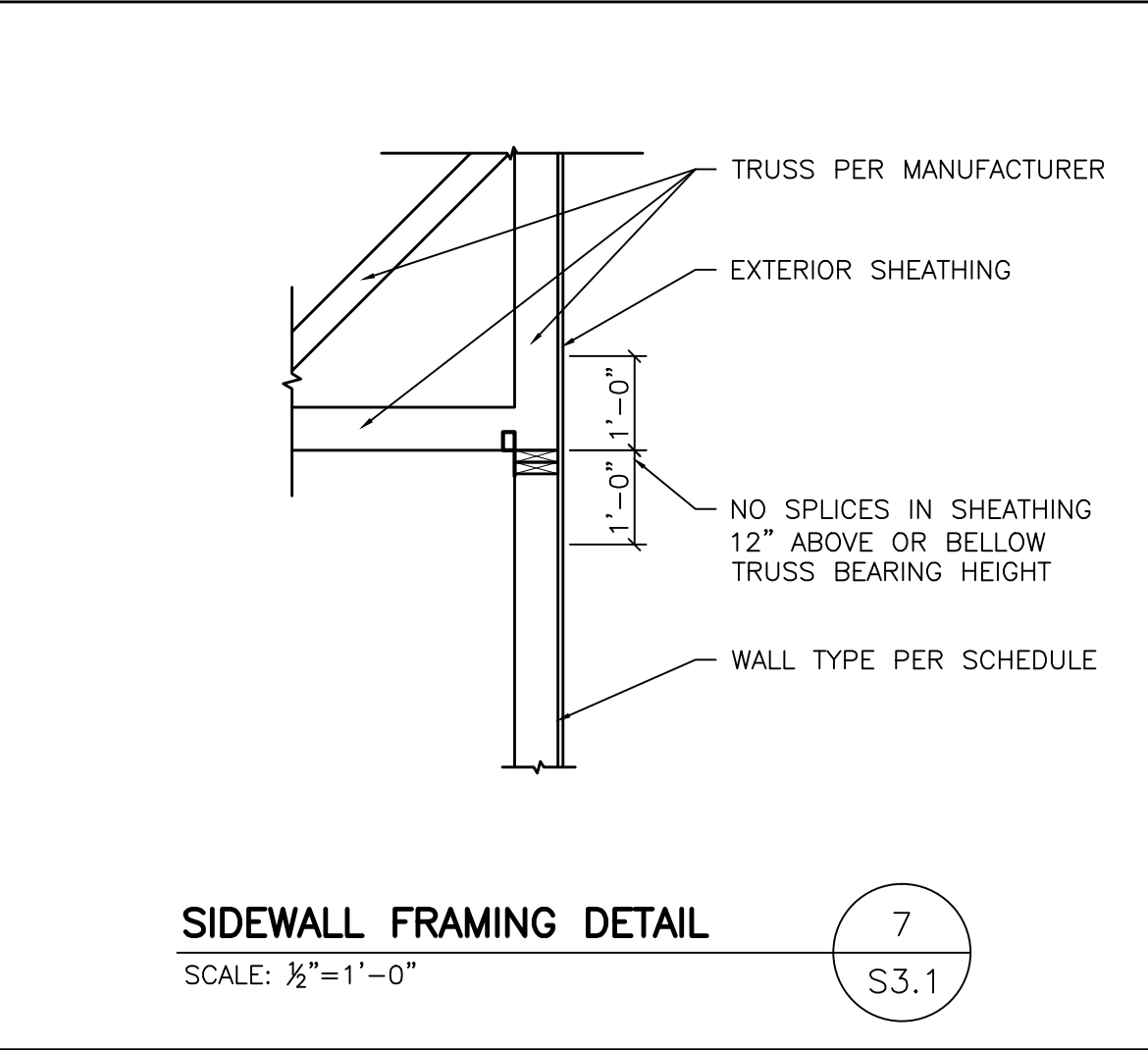
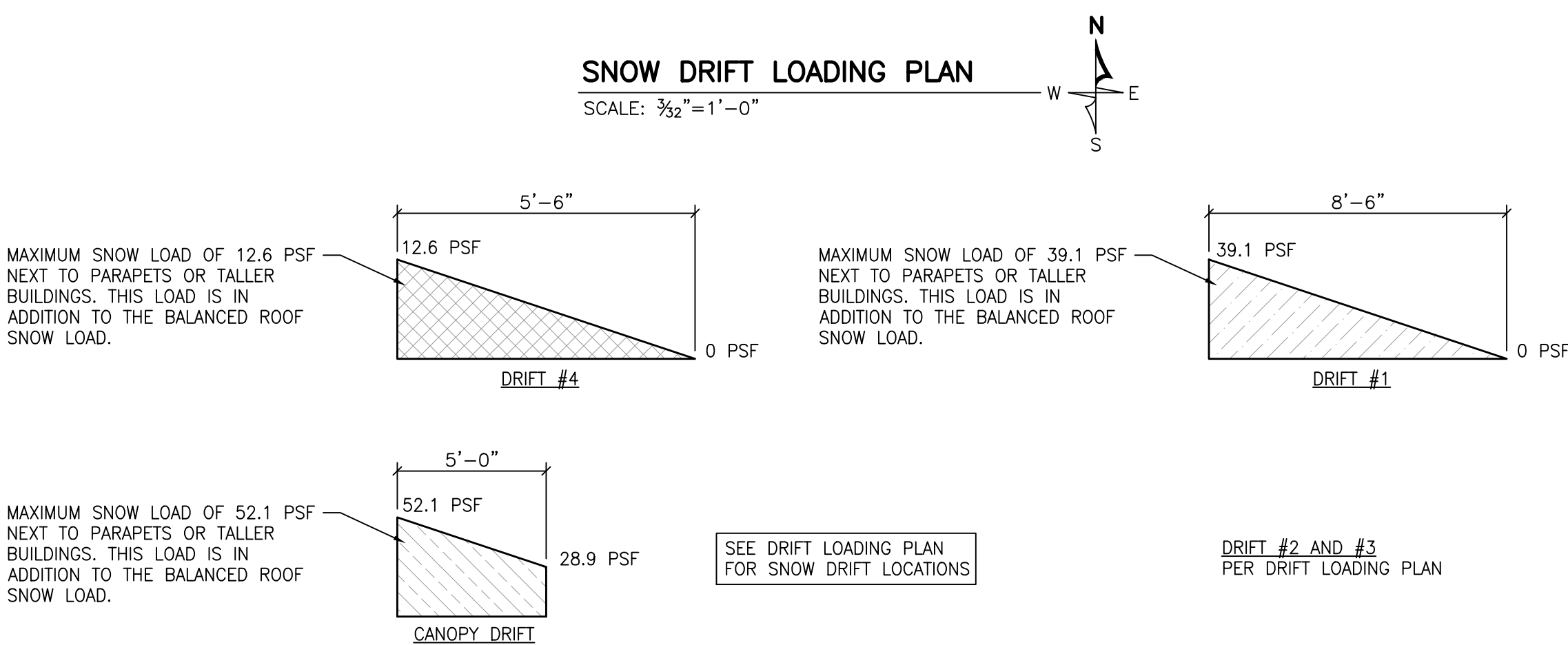
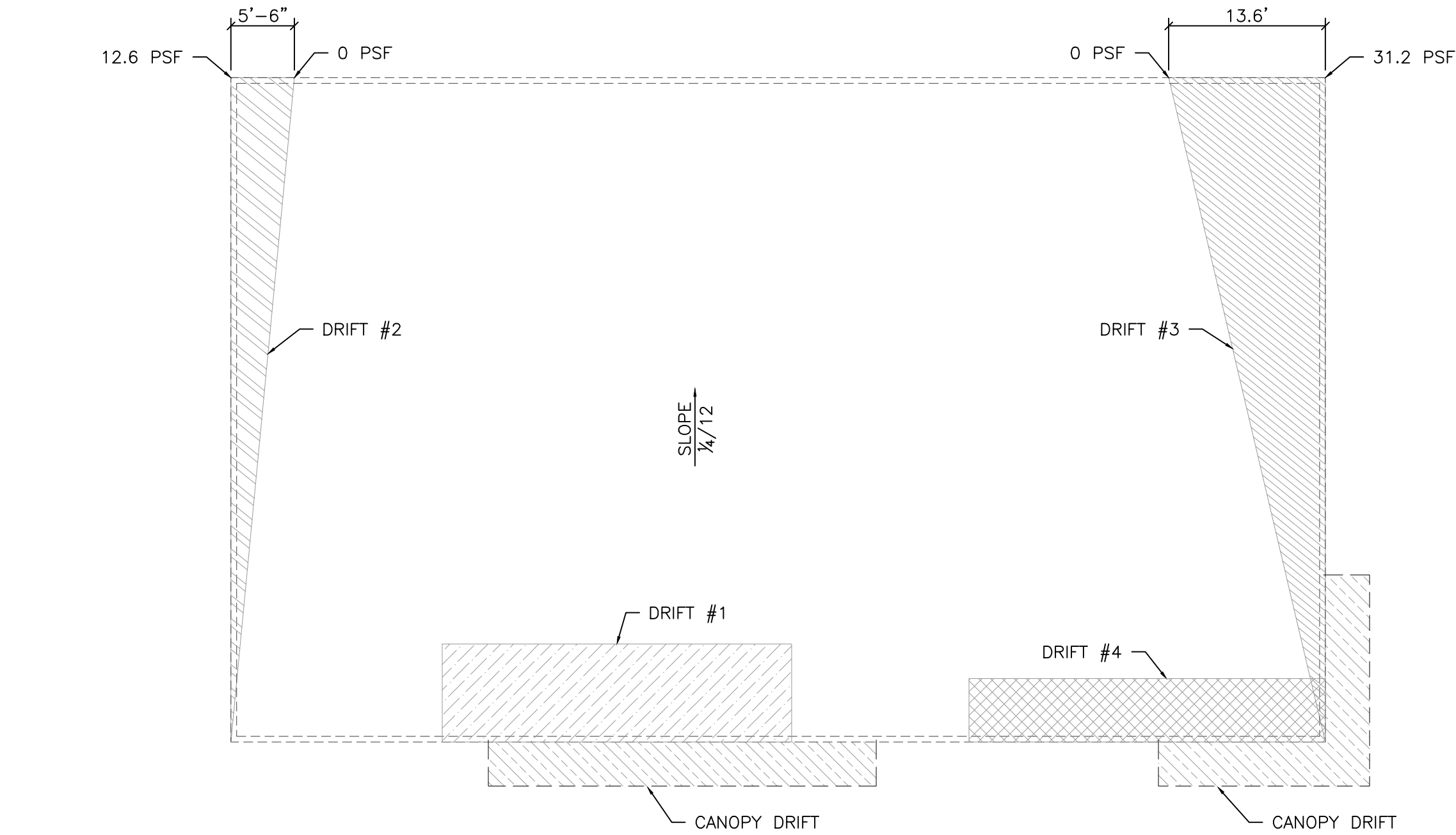
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NAILING SCHEDULE		
CONNECTION	NAILING (COMMON NAILS UNLESS OTHER CONNECTION IS REQUIRED)	STAPLES
BRIDGING TO TRUSSES, FACE NAIL EACH END TOP PLATE TO STUD, END NAIL STUD TO SOLE PLATE	(2) 8d (2) 16d (4) 8d, TOE NAIL OR 2-16d, END NAIL	(2) 3" 14 GAGE (3) 3" 14 GAGE (3) 3" 14 GAGE (TOE NAIL OR END NAIL)
DOUBLED STUDS, FACE NAIL BUILT-UP CORNER STUDS DOUBLED TOP PLATES, TYPICAL FACE NAIL DOUBLED TOP PLATES, LAP SPLICES	16d AT 24" O.C. 16d AT 24" O.C. 16d AT 16" O.C. (8) 16d	3" 14 GAGE AT 8" O.C. 3" 14 GAGE AT 16" O.C. 3" 14 GAGE AT 12" O.C. (12) 3" 14 GAGE
CONTINUOUS HEADER, TWO PIECES	16d AT 12" O.C. ALONG EACH EDGE	
CONTINUOUS HEADER TO STUD, TOENAIL	(4) 8d TOE NAIL	
OSB ROOF SHEATHING	8d AT 6" O.C. AT EDGES 8d AT 12" O.C. AT INTERMEDIATE MEMBERS	1½" 16 GA. AT 4" O.C. AT EDGES 1¾" 16 GA. AT 8" O.C. AT INTERMEDIATE SUPPORTS
EXTERIOR WALL SHEATHING	8d AT 6" O.C. AT EDGES 8d AT 12" O.C. AT INTERMEDIATE MEMBERS	1¾" 16 GA. AT 4" O.C. AT EDGES 1¾" 16 GA. AT 8" O.C. AT INTERMEDIATE SUPPORTS

NOTES: 1. USE THESE PATTERNS UNLESS NOTED OTHERWISE IN THE PLANS
2. THESE PATTERNS COMPLY WITH IBC TABLE 2304.9.1

GENERAL NOTES:
ATTIC DRAFTSTOP REQUIRED MAXIMUM ATTIC SPACE=3000 SQ. FT.
ROOF TRUSSES AT 24" O.C.
BALANCED ROOF SNOW LOAD=24.5 PSF
PROVIDE (2) STUDS UNDER ALL (2) PLY TRUSS. PROVIDE (3) STUDS UNDER ALL (3) PLY AND GIRDER TRUSSES UNLESS OTHERWISE NOTED.
PROVIDE SIMPSON H-10A HOLD DOWN CLIPS ON ALL TRUSSES UNLESS OTHERWISE SPECIFIED BY THE TRUSS SUPPLIER.
PROVIDE SIMPSON H-10A-2 HOLD DOWN CLIPS ON ALL (2) PLY TRUSSES UNLESS OTHERWISE SPECIFIED BY THE TRUSS SUPPLIER.
ICE AND WATERSHIELD TO BE USED IN ALL VALLEYS AND AT EAVES
TRUSS SUPPLIER TO INCORPORATE FRAMING FOR PARAPET WALLS IN DESIGN OF TRUSSES.
TRUSS MANUFACTURER TO VERIFY WEIGHT AND LOCATION OF HVAC UNITS WITH HVAC CONTRACTOR.
ENDWALL TRUSSES TO BE DESIGNED TO TRANSFER A WIND DIAPHRAGM LOAD OF 7.4 KIP.

BUILDING LOADING
DEAD ROOF = 20 PSF
SNOW = 24.5 PSF (MAIN)
29.4 PSF (CANOPY)



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SHEBOYGAN, WI 53083

21253	Project number
MARCH 22, 2024	Date
A. WOLF	Drawn by
C. DUESCHER	Checked by

S3.1

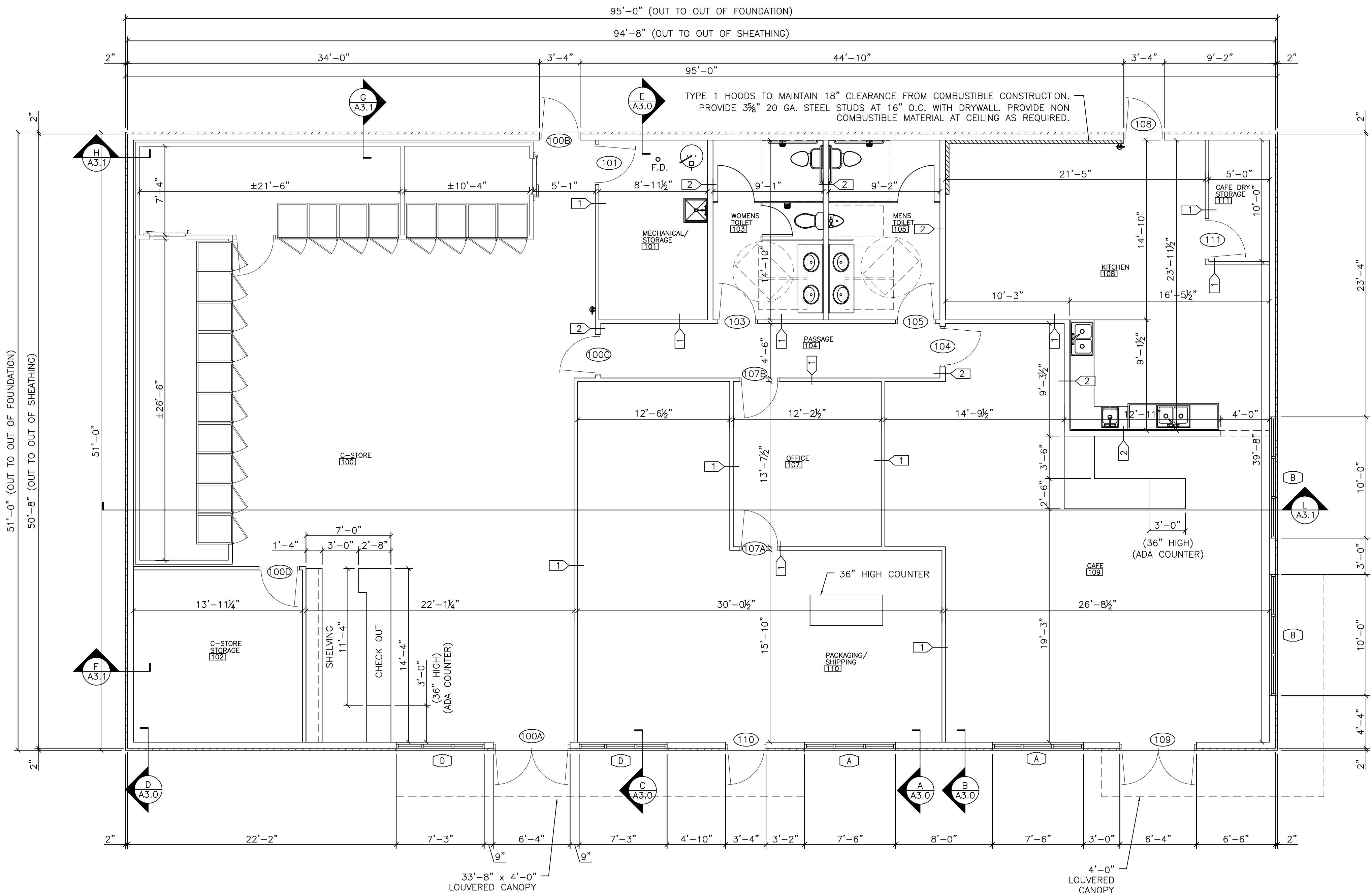
INTERIOR PARTITION WALLS

INTERIOR PARTITION WALLS ARE DIMENSIONED FROM FACE OF STUD TO FACE OF STUD.
INTERIOR PARTITIONS ARE 3/8" FOR WOOD STUDS AND 3/4" FOR METAL STUDS. PLUMBING WALLS ARE 5/8" FOR WOOD STUDS OR 6" FOR METAL STUDS.
STUDS ARE SPACED AT 16" ON CENTER UNLESS NOTED OTHERWISE. USE MINIMUM 1/2" GYPSUM BOARD ON THE FINISHED SIDES OF INTERIOR PARTITIONS. PROVIDE EXPANSION JOINTS AT 30'-0" O.C. FOR LONG GYPSUM BOARD WALLS.
PARTITION WALLS WHICH ARE NOT FULL HEIGHT MUST BE BRACED TO CROSS WALLS OR TO THE STRUCTURE ABOVE TO PROVIDE ADEQUATE STABILITY.
DRYWALL
DRYWALL SHALL BE INSTALLED PER THE LATEST EDITIONS OF "RECOMMENDED SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD" GA-216 AS PUBLISHED BY THE GYPSUM ASSOCIATION AND THE "GYPSUM CONSTRUCTION HANDBOOK" AS PUBLISHED BY UNITED STATES GYPSUM COMPANY. PROVIDE CONTROL JOINTS AS REQUIRED.

NOTE:
USE CROWNTONKA AND THERMALRITE WALK-IN COOLERS AND FREEZERS THAT MEET IBC 2603.9, OR EQUIVALENT

WALL TYPE SCHEDULE

NO.	DESCRIPTION	WALL DIAGRAM
1	5/8" GYPSUM BOARD 2x4 WOOD STUDS AT 16" O.C. BATT INSULATION 5/8" GYPSUM BOARD HEIGHT: TO UNDERSIDE OF TRUSS	
2	5/8" GYPSUM BOARD 2x6 WOOD STUDS AT 16" O.C. BATT INSULATION 5/8" GYPSUM BOARD HEIGHT: TO UNDERSIDE OF TRUSS	



FLOOR PLAN
SCALE: 3/16"=1'-0"

WALL TYPE SYMBOL
SEE WALL TYPE SCHEDULE
ON THIS SHEET



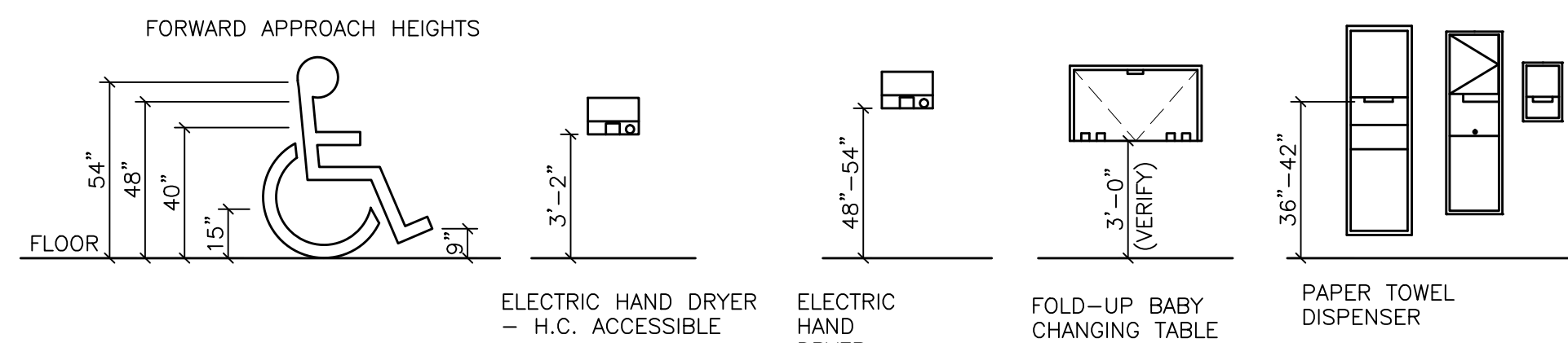
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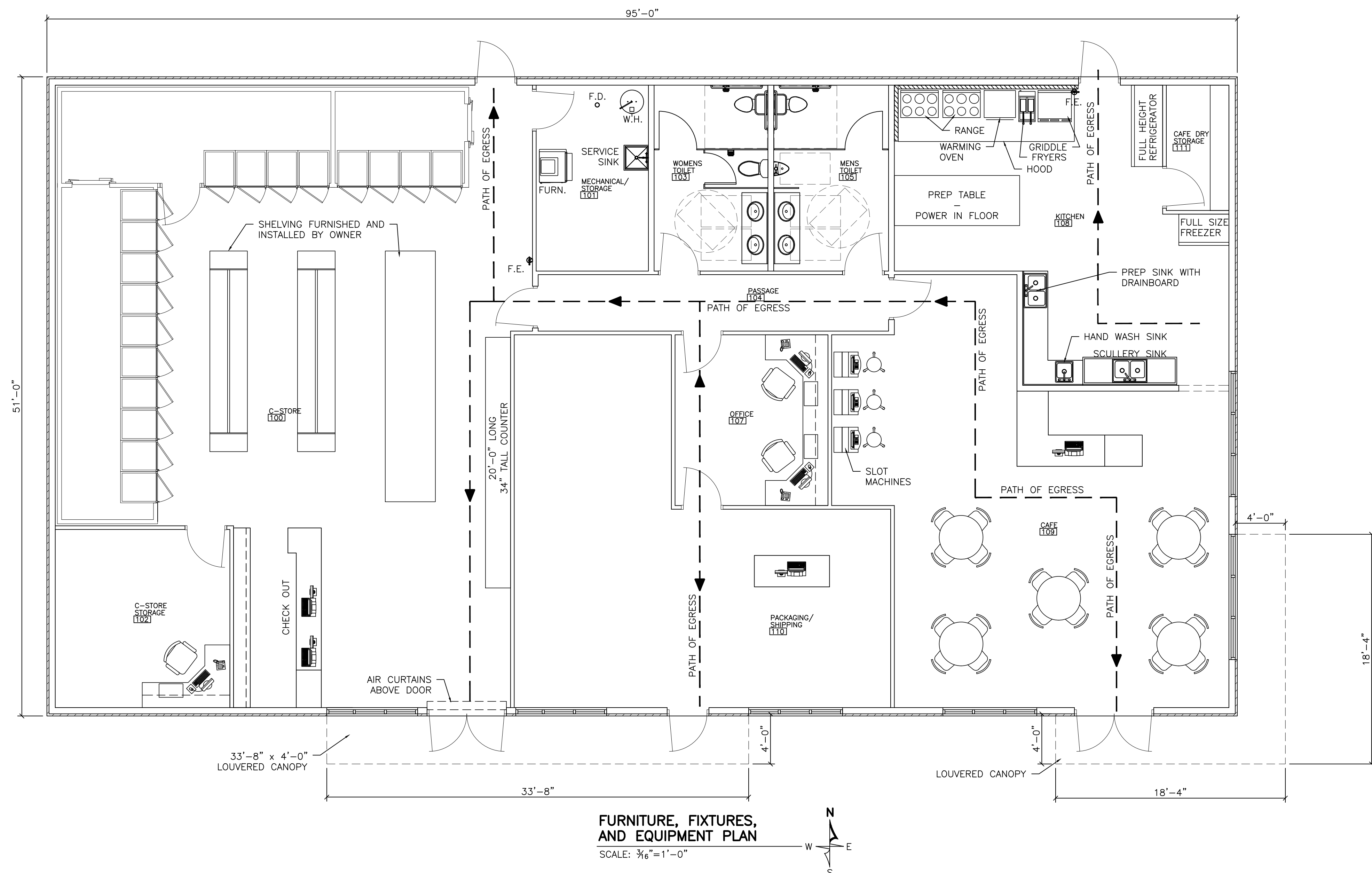
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TYP. TOILET ROOM
ACCESSORIES

Architectural floor plan of a two-stall restroom. The plan is divided into a "WOMENS TOILET" section on the left and a "MENS TOILET" section on the right. Each section contains two stalls. The stalls are separated by a central partition. The plan includes dimensions for stall width (3'-1"), stall depth (5'-1 1/2"), and overall stall width (6'-7 1/2"). It also shows the location of sinks, mirrors, and doors. The plan is oriented with the entrance at the top.



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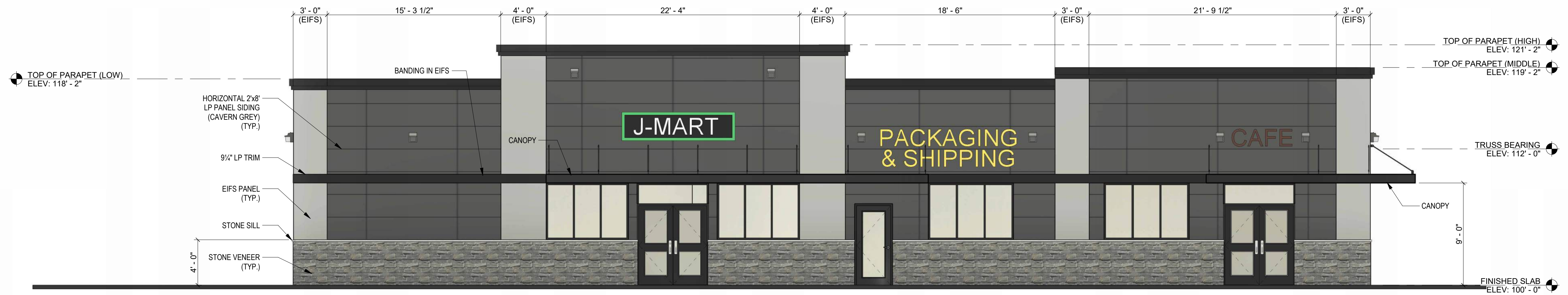
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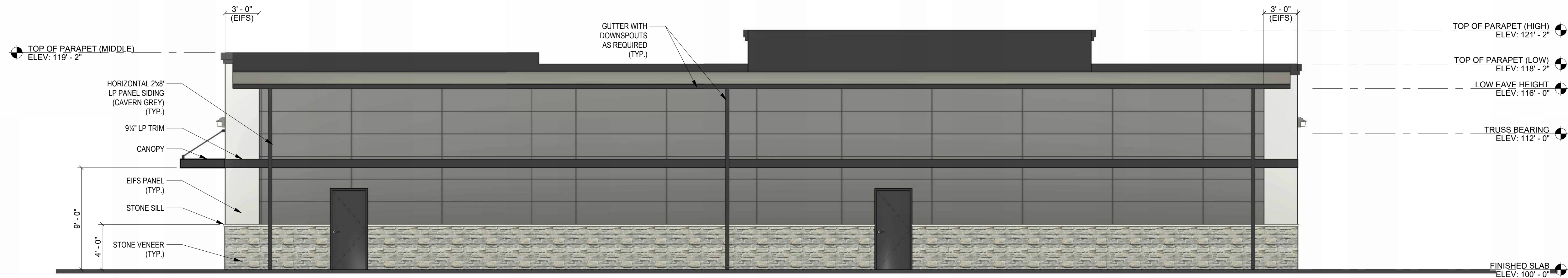
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NOTE:
DIMENSIONS SHOWN ARE BASED ON
1 1/2" EIFS WITH 1/2" SETBACK FROM
FACE OF MASONRY VENEER.

SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



NORTH ELEVATION
SCALE: 3/16" = 1'-0"



WEST ELEVATION
SCALE: 3/16" = 1'-0"



EAST ELEVATION
SCALE: 3/16" = 1'-0"



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STONE VENEER

STONE VENEER SHALL BE INSTALLED PER INDUSTRY STANDARDS. ALL STONE VENEER SHALL BE LAID UP IN CEMENT AND LIME MORTAR. STONE VENEER SHALL BE FULLY BEDDED IN PLACE. STONE VENEER SHALL BE TIED TO MASONRY OR WOOD BACK-UP WITH STANDARD VENEER ANCHORS 16" VERTICALLY AND 24" HORIZONTALLY.

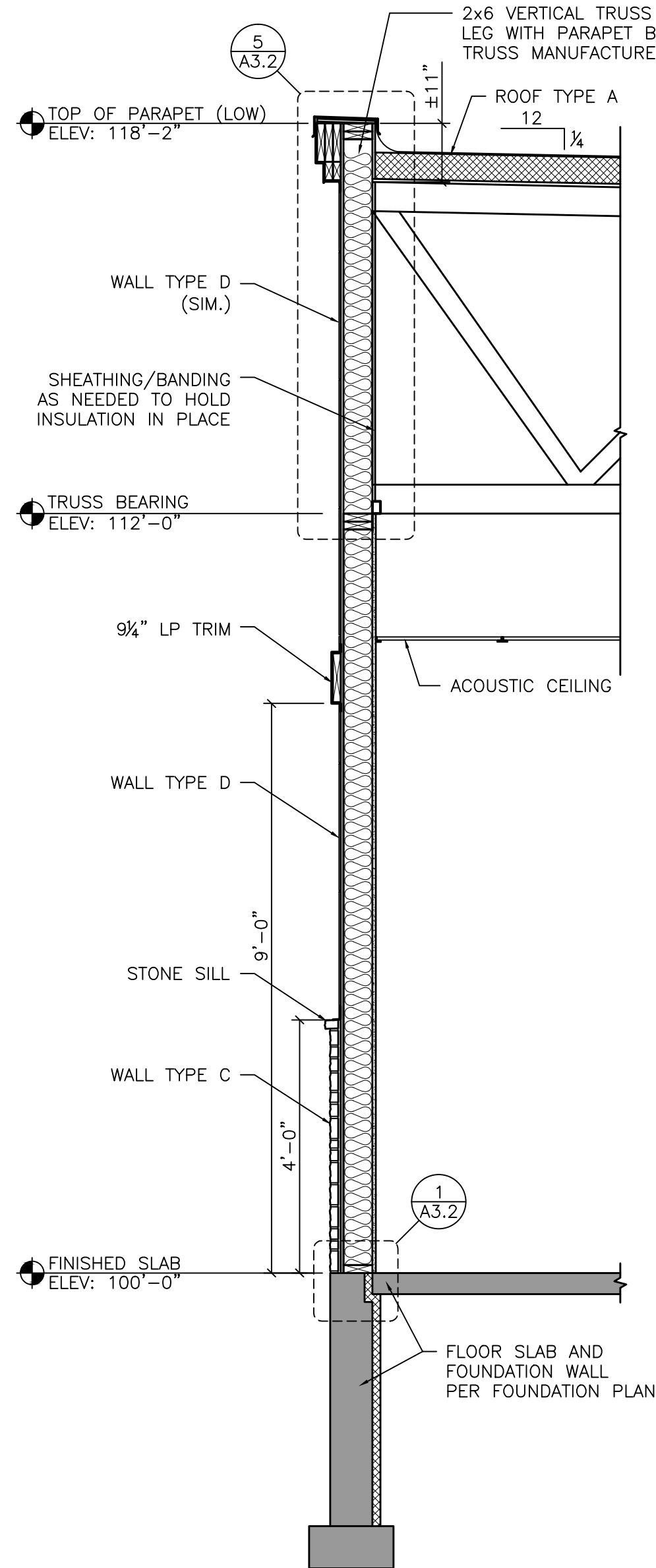
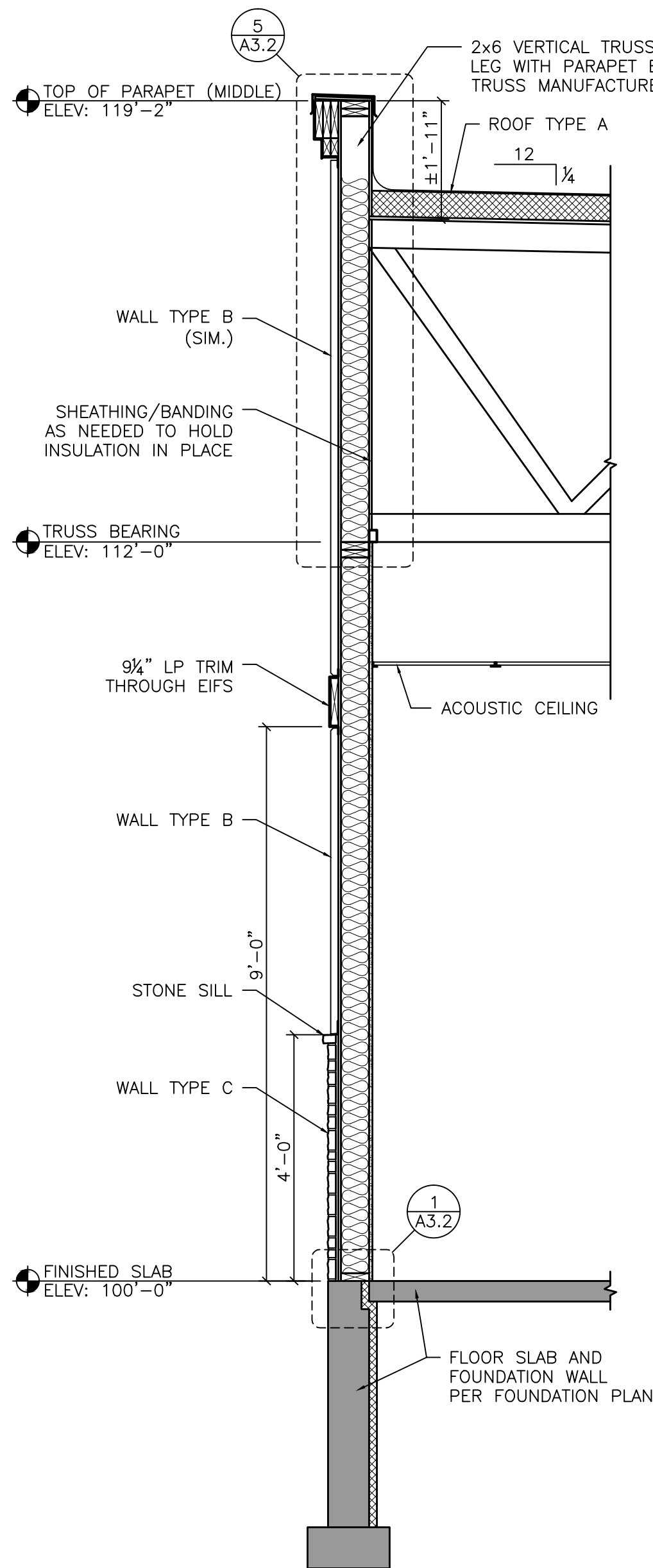
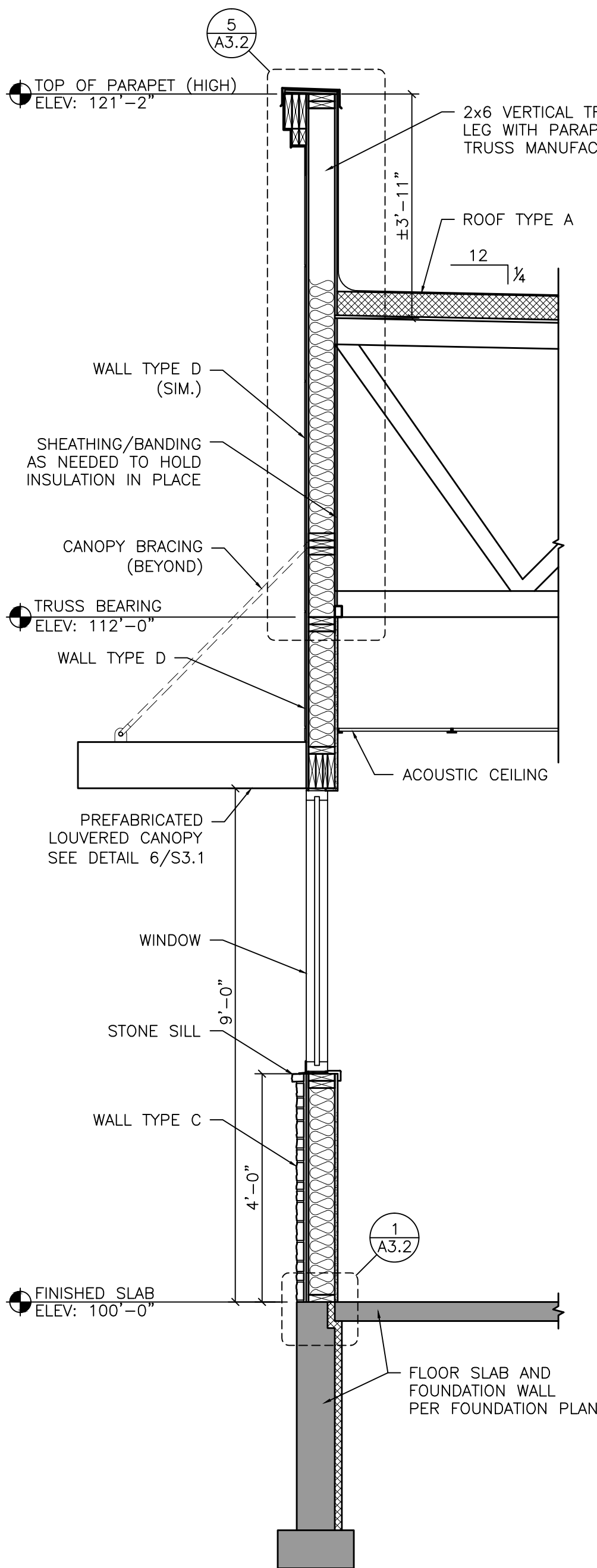
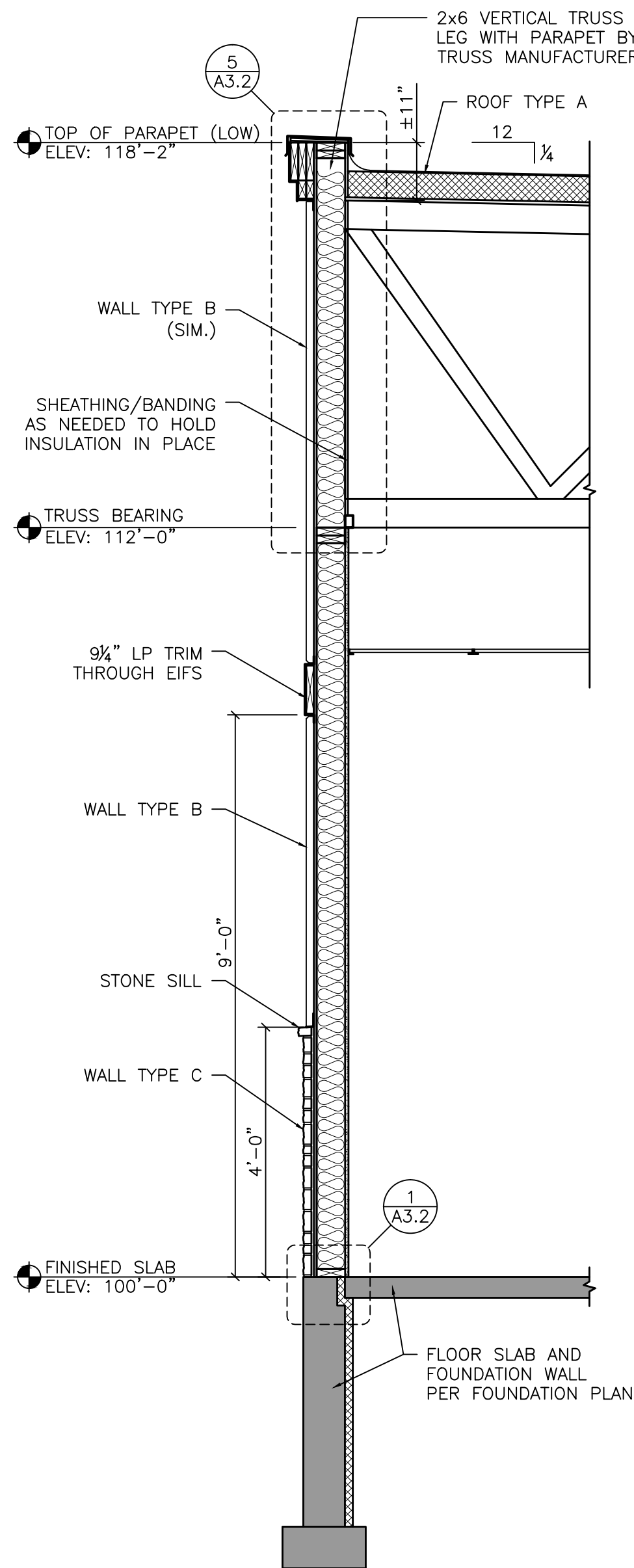
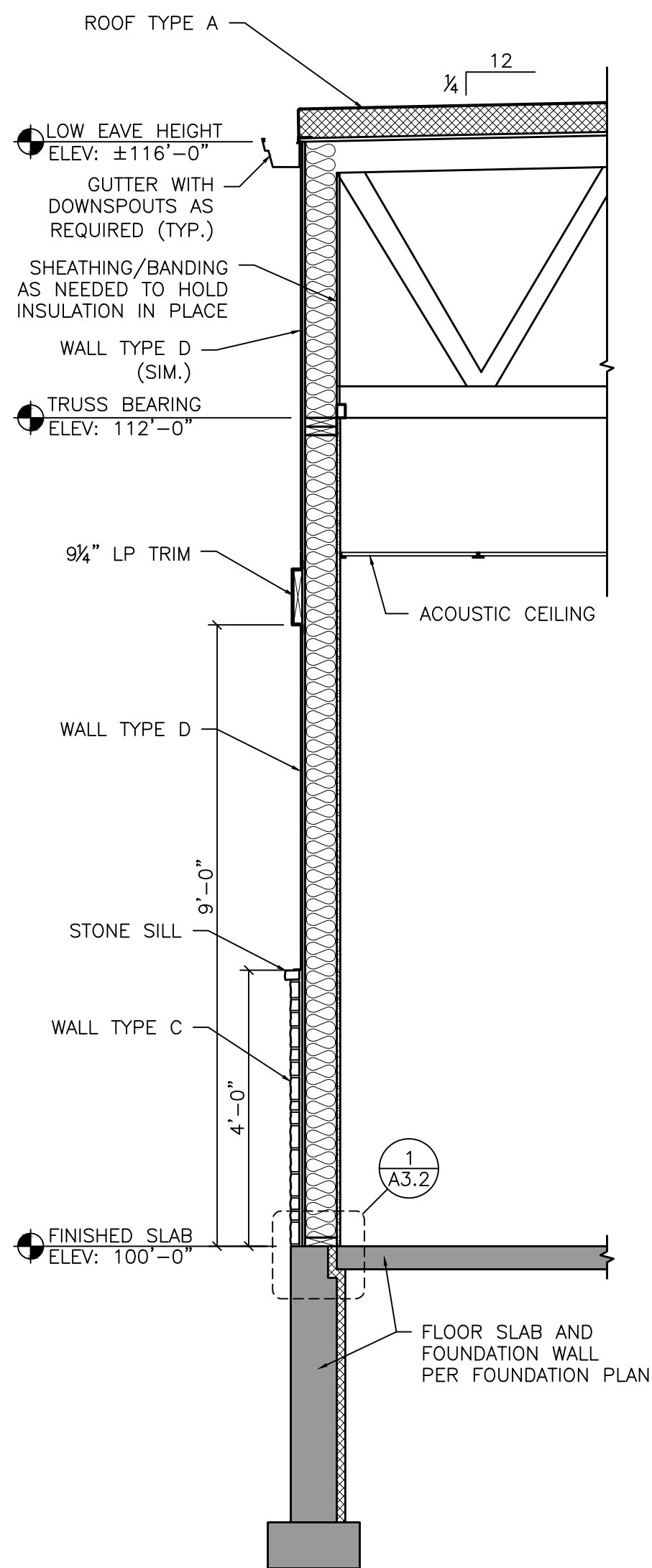
INSTALL 16" LONG COTTON ROPE WEEPS AT BOTTOM COURSE AND ABOVE ALL OPENINGS IN EXTERIOR WALLS AT 16" O.C. PROVIDE MORTAR NET TO ENSURE WEEP HOLES REMAIN OPEN. FLASHING SHALL BE RUBBERIZED-ASPHALT FLASHING. FLASHING SHALL BE INSTALLED AT BOTTOM COURSE AND ABOVE ALL OPENINGS IN EXTERIOR WALLS. SEAL BOTTOM OF FLASHING TO CONCRETE.

CULTURED STONE VENEER

ALL CULTURED STONE VENEER SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. EXTERIOR WALL SHEATHING SHALL BE COVERED WITH A WATER-RESISTANT MEMBRANE.

FLASH AND CAULK AS REQUIRED.

NO CONTROL JOINTS ARE REQUIRED.



WALL AND ROOF TYPE SCHEDULE

LETTER	DESCRIPTION
A	TPO FULLY ADHERED ROOF MEMBRANE 5" POLYISOCYANURATE INSULATION 5/8" OSB SHEATHING WOOD TRUSSES BY TRUSS MANUFACTURER
B	EIFS 7/16" OSB SHEATHING 2x6 WOOD STUDS AT 16" O.C. 5 1/2" BATT INSULATION (R-19) VAPOR BARRIER 5/8" GYPSUM BOARD
C	2" MASONRY VENEER METAL LATH AND STUCCO AIR BARRIER 7/16" OSB SHEATHING 2x6 WOOD STUDS AT 16" O.C. 5 1/2" BATT INSULATION (R-19) VAPOR BARRIER 5/8" GYPSUM BOARD
D	LP PANEL SIDING AIR BARRIER 7/16" OSB SHEATHING 2x6 WOOD STUDS AT 16" O.C. 5 1/2" BATT INSULATION (R-19) VAPOR BARRIER 5/8" GYPSUM BOARD



ISSUE NO	REVISED PREVIOUSLY APPROVED PLAN	REVISIONS	ISSUE DATE
1			07-01-2024

PROPOSED BUILDING FOR:

J-MART
SHEBOYGAN

2206 N. 15TH STREET
SHEBOYGAN, WI 53083

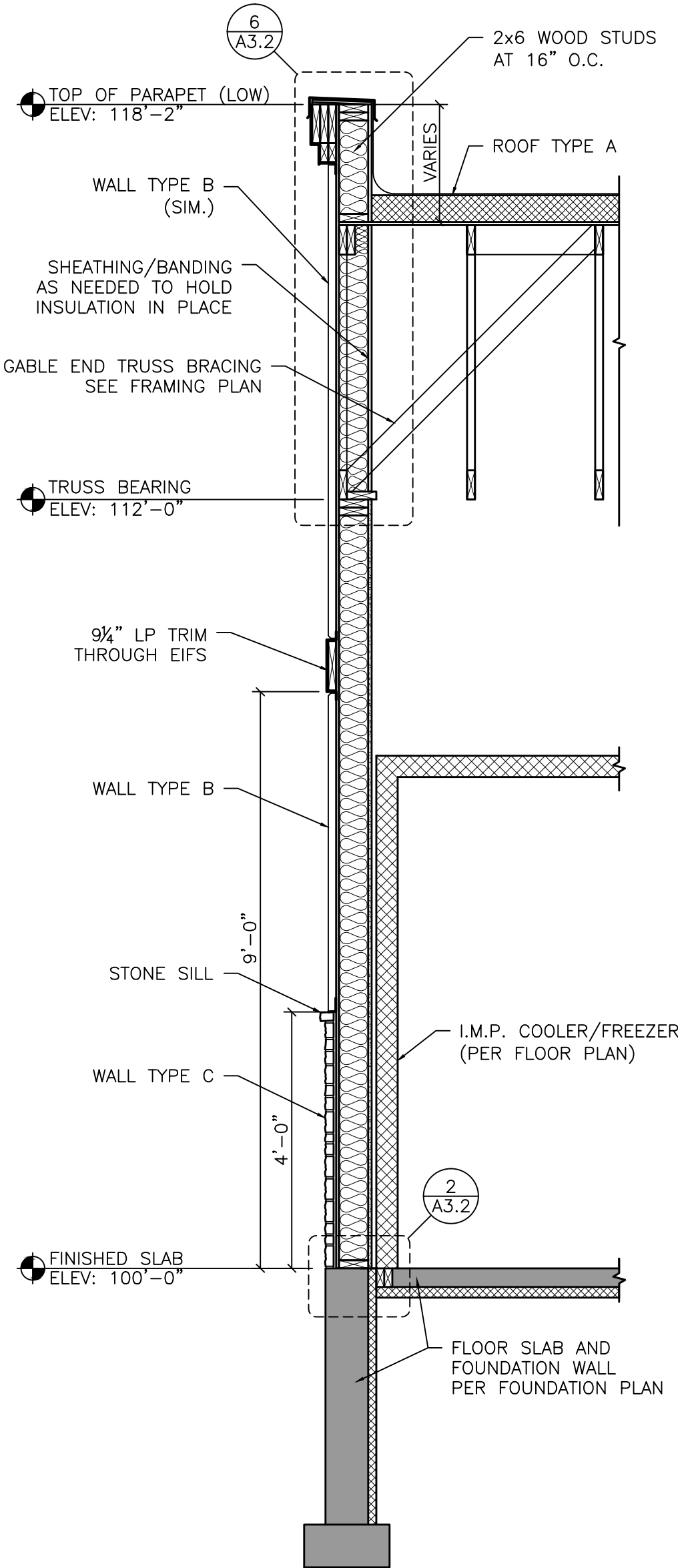
21253
MARCH 22, 2024
A. WOLF
C. DUESCHER

Project number
Date
Drawn by
Checked by

A3.0

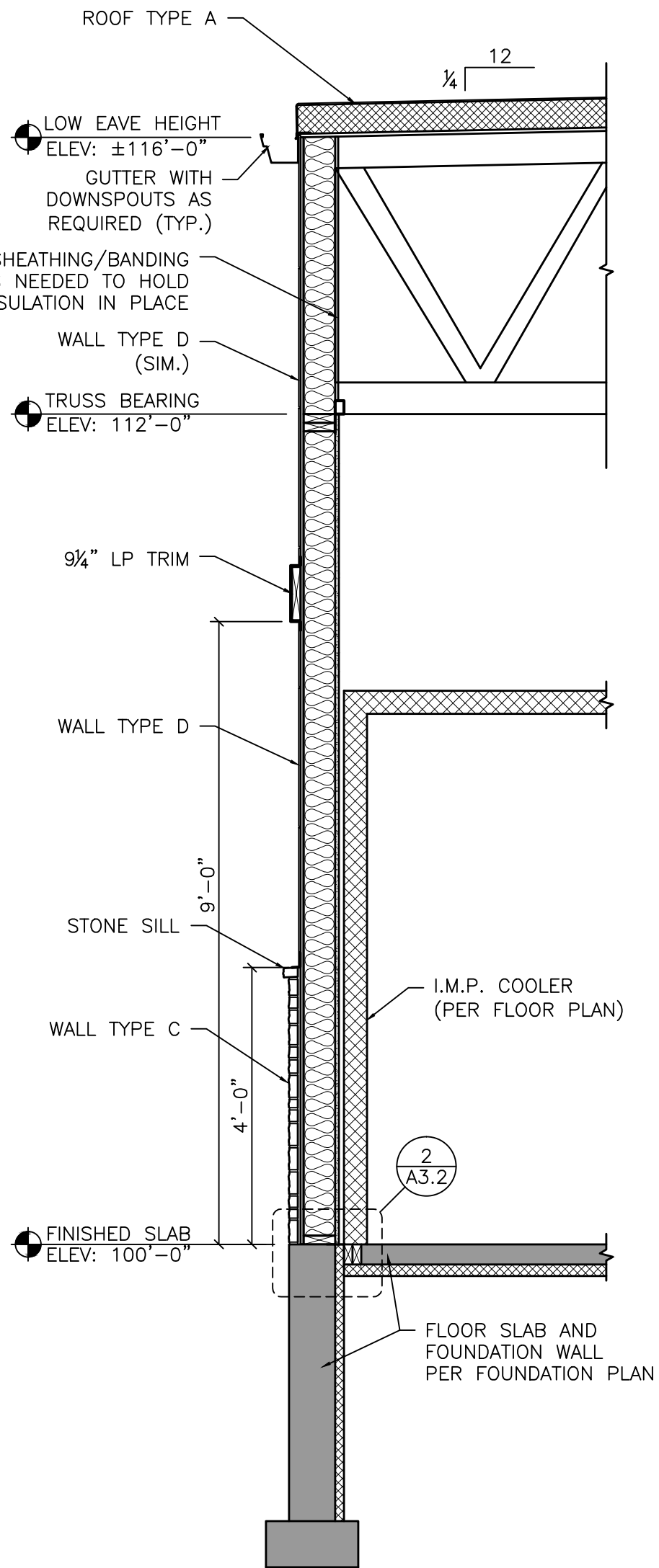
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WALL AND ROOF TYPE SCHEDULE	
LETTER	DESCRIPTION
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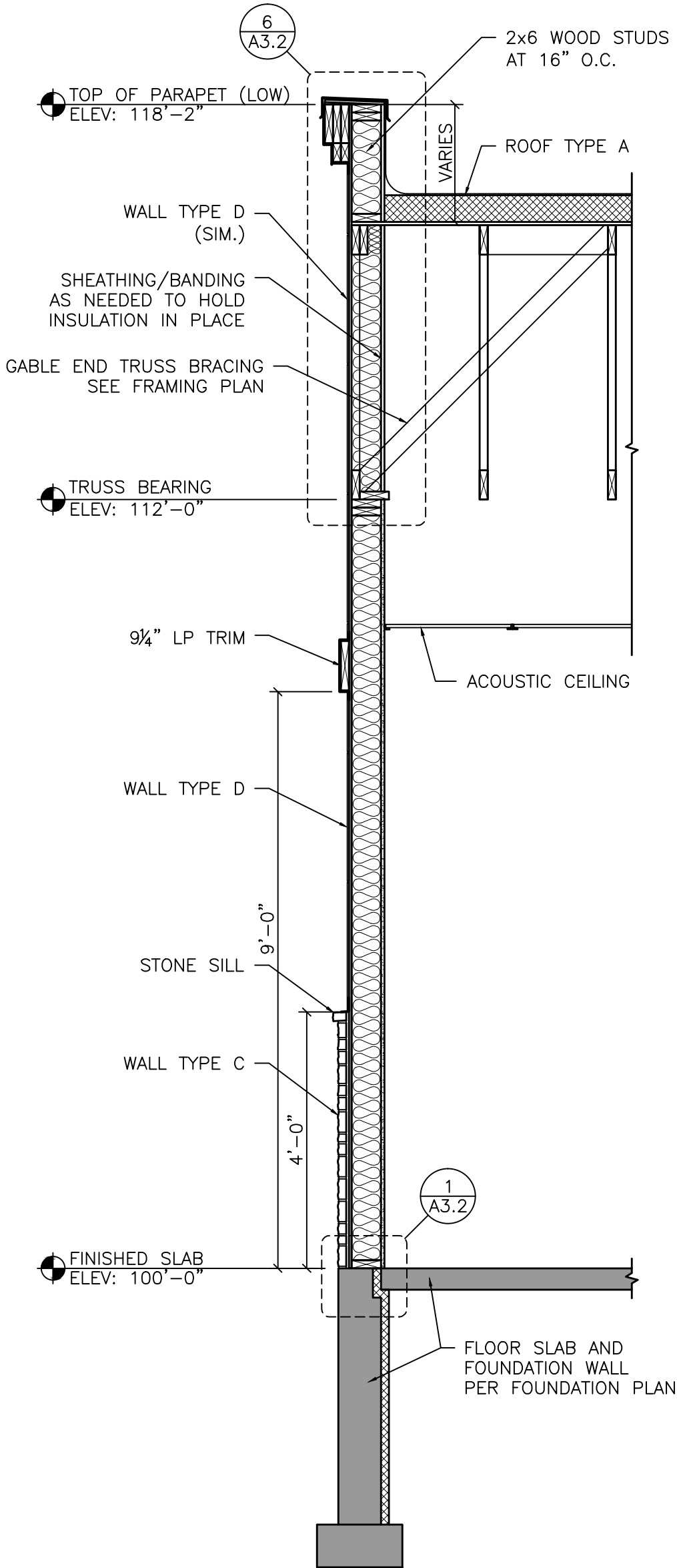
WALL SECTION
SCALE: 1/2"=1'-0"

H
A3.1



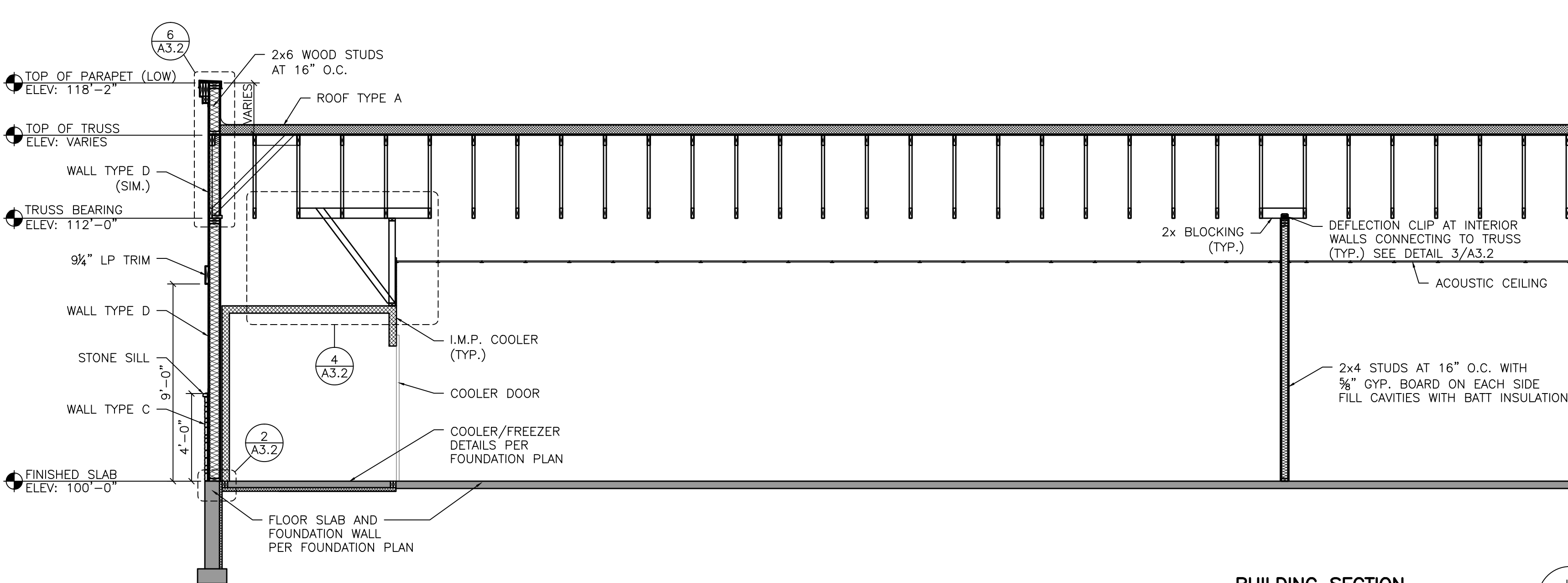
WALL SECTION
SCALE: 1/2"=1'-0"

G
A3.1



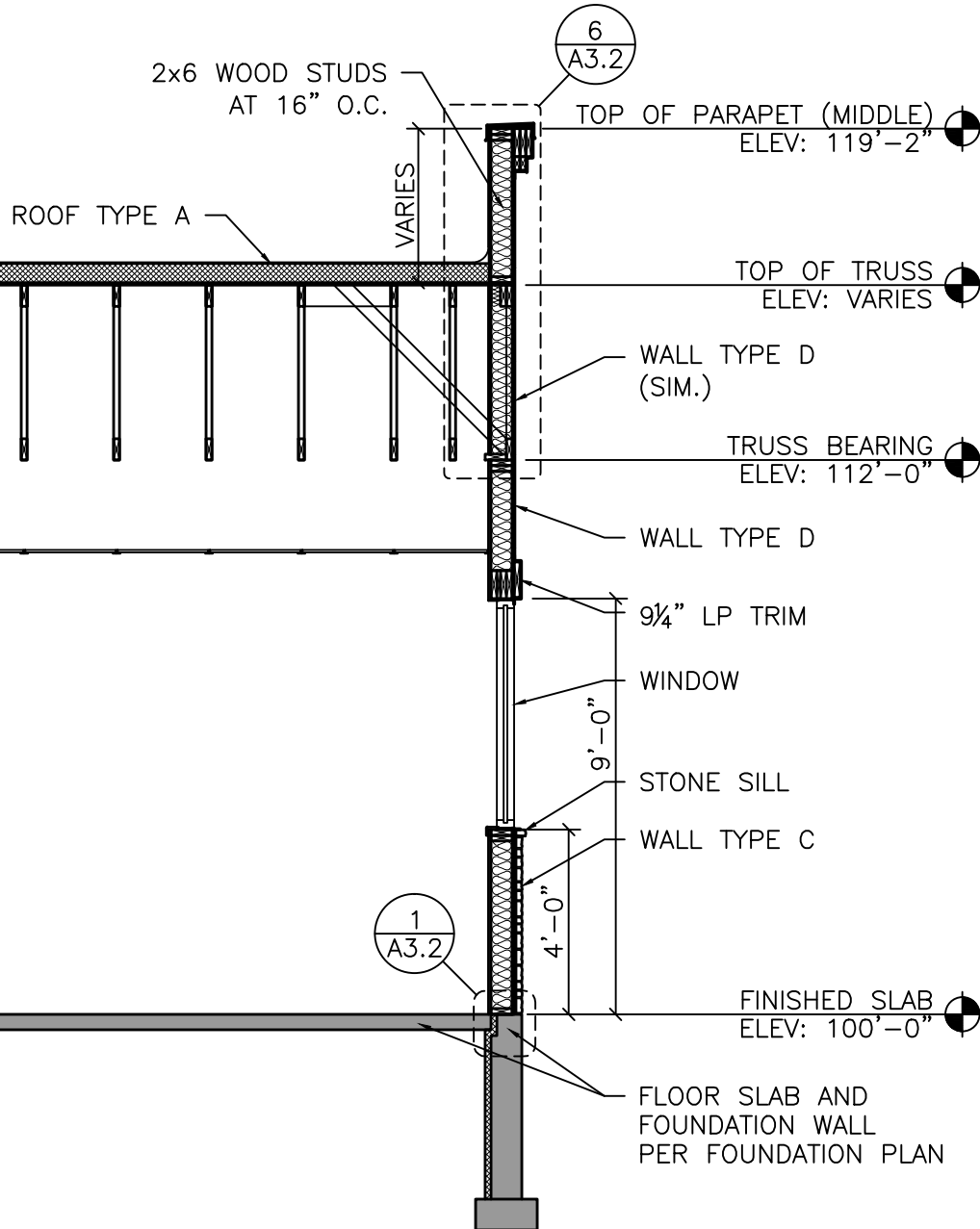
WALL SECTION
SCALE: 1/2"=1'-0"

F
A3.1



BUILDING SECTION
SCALE: 1/4"=1'-0"

L
A3.1



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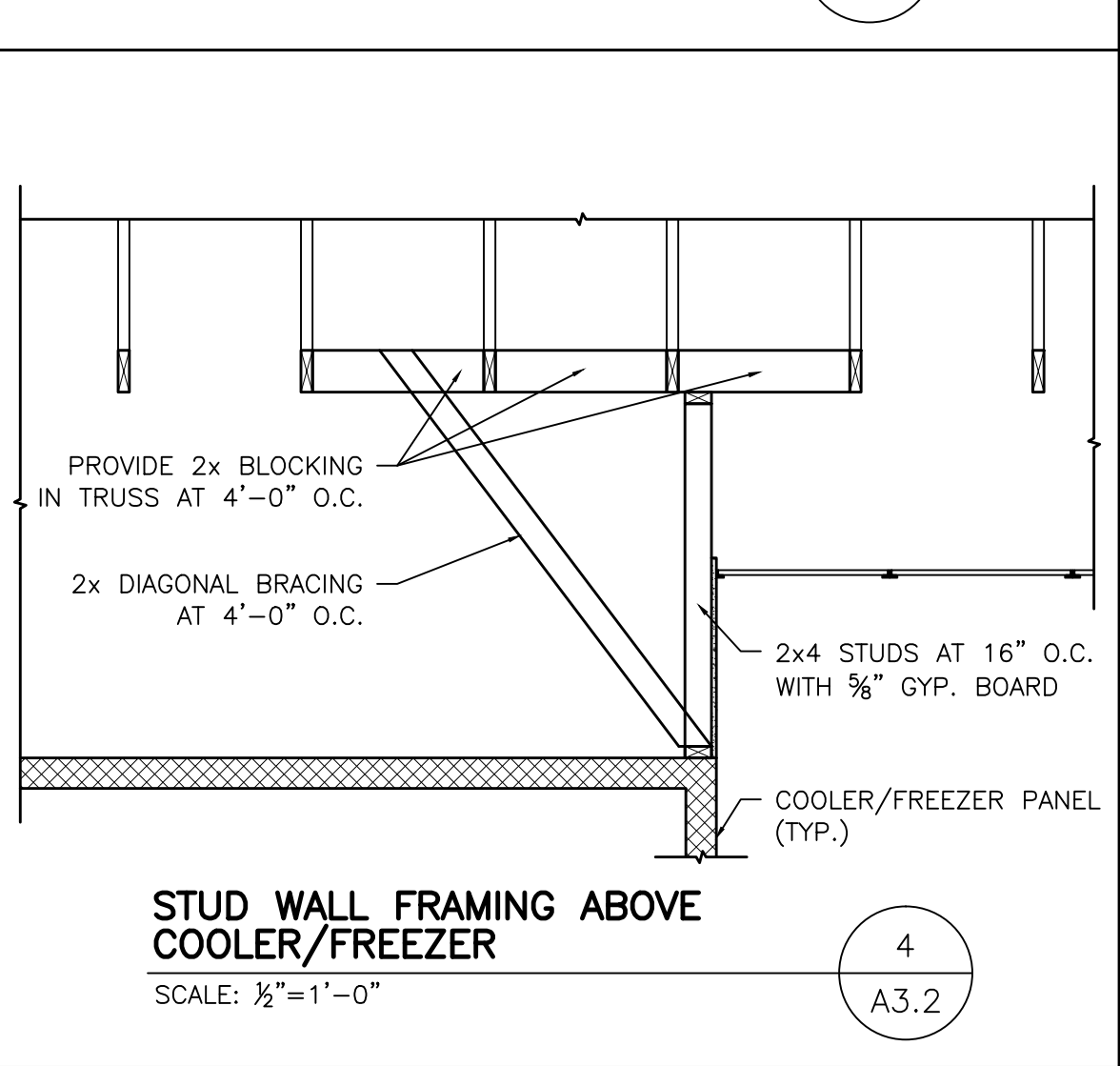
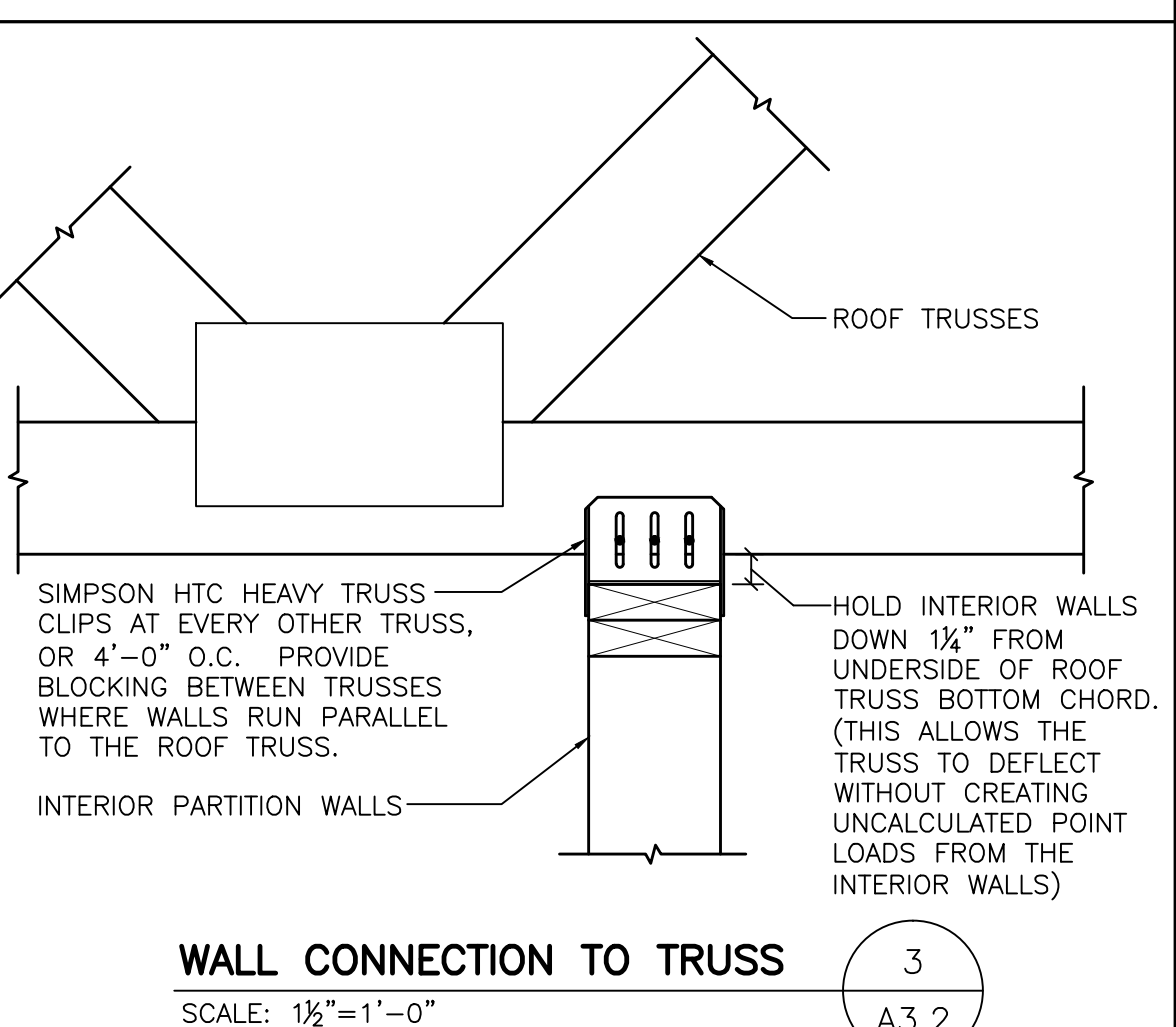
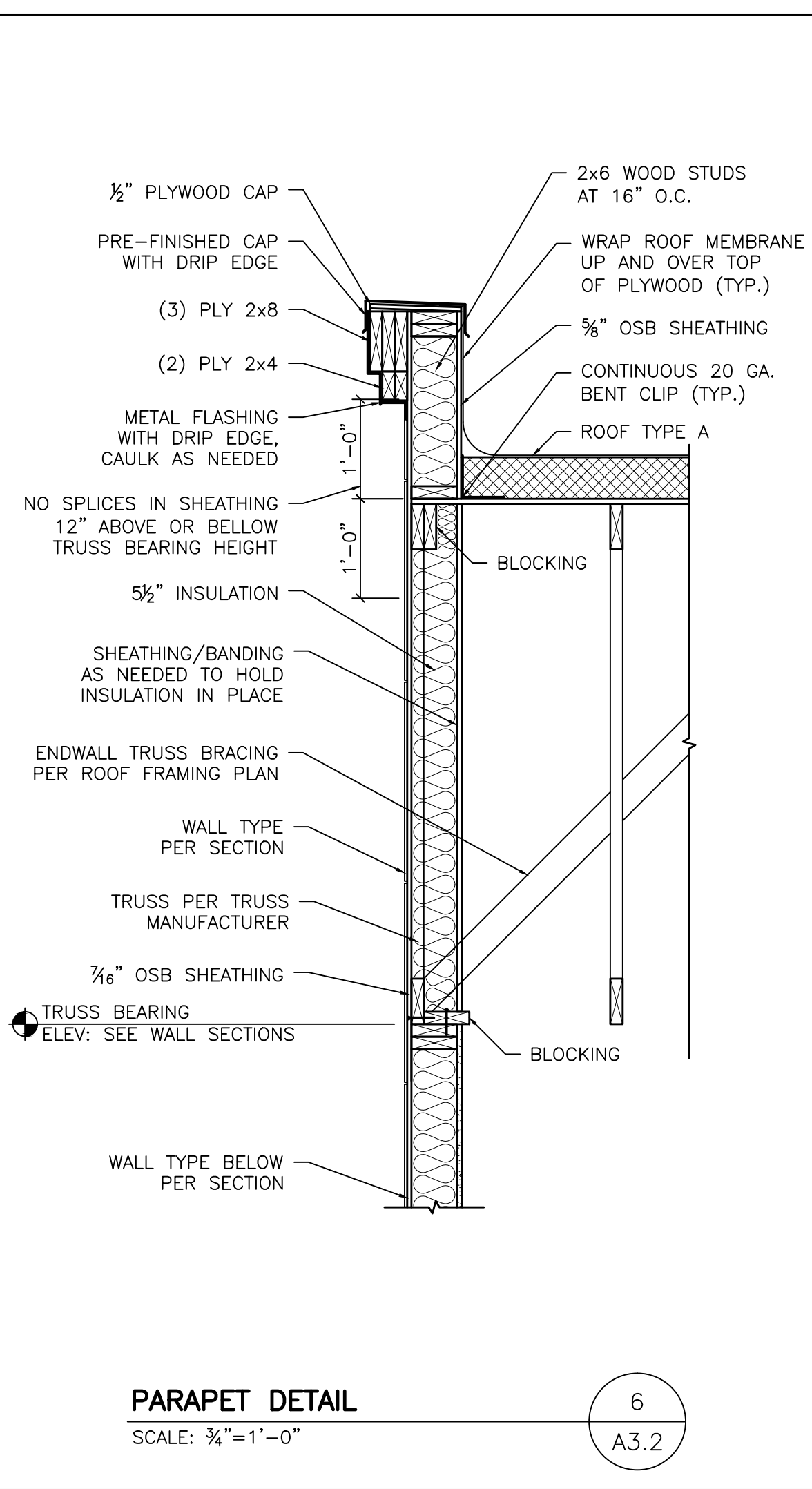
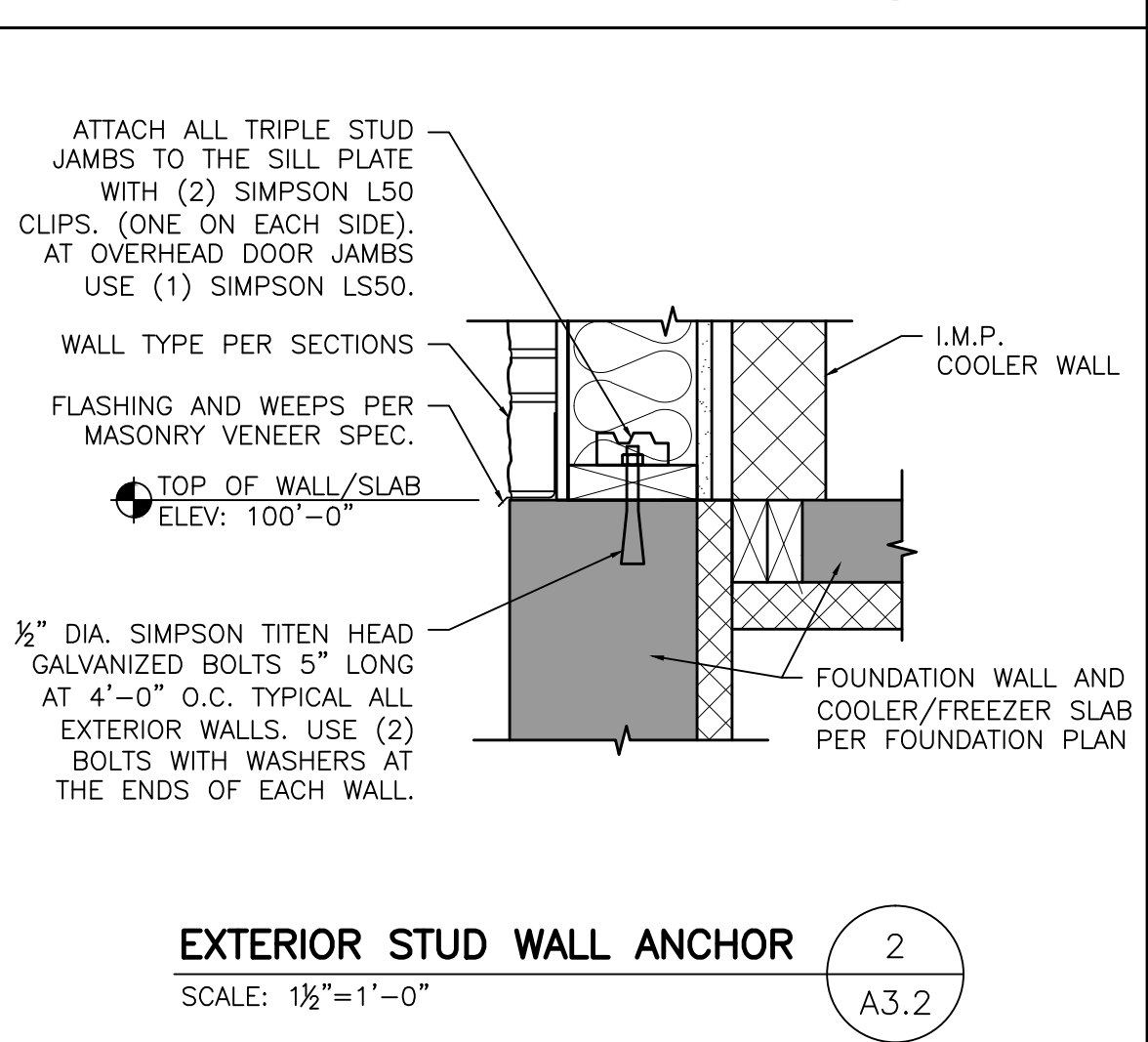
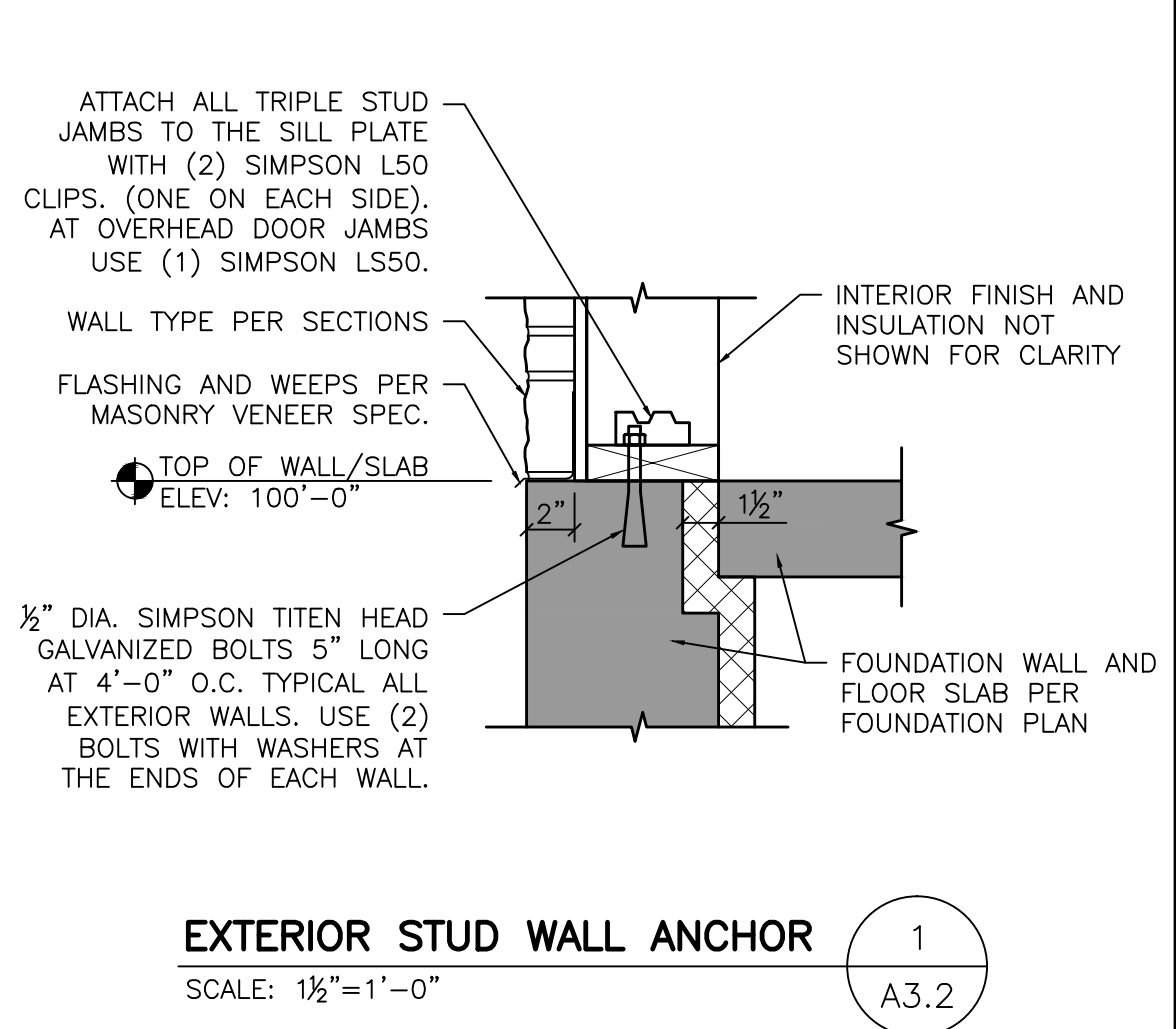
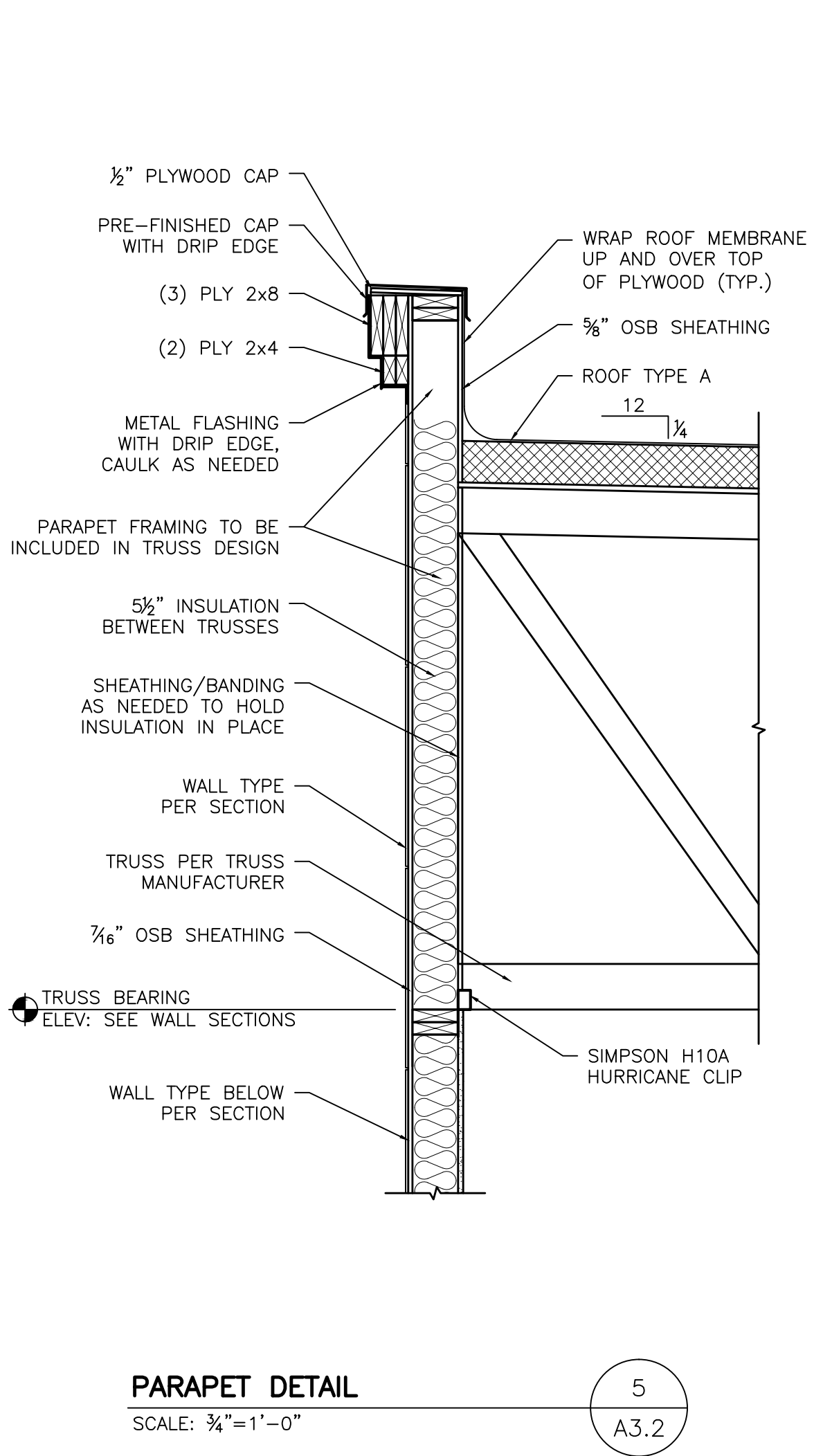
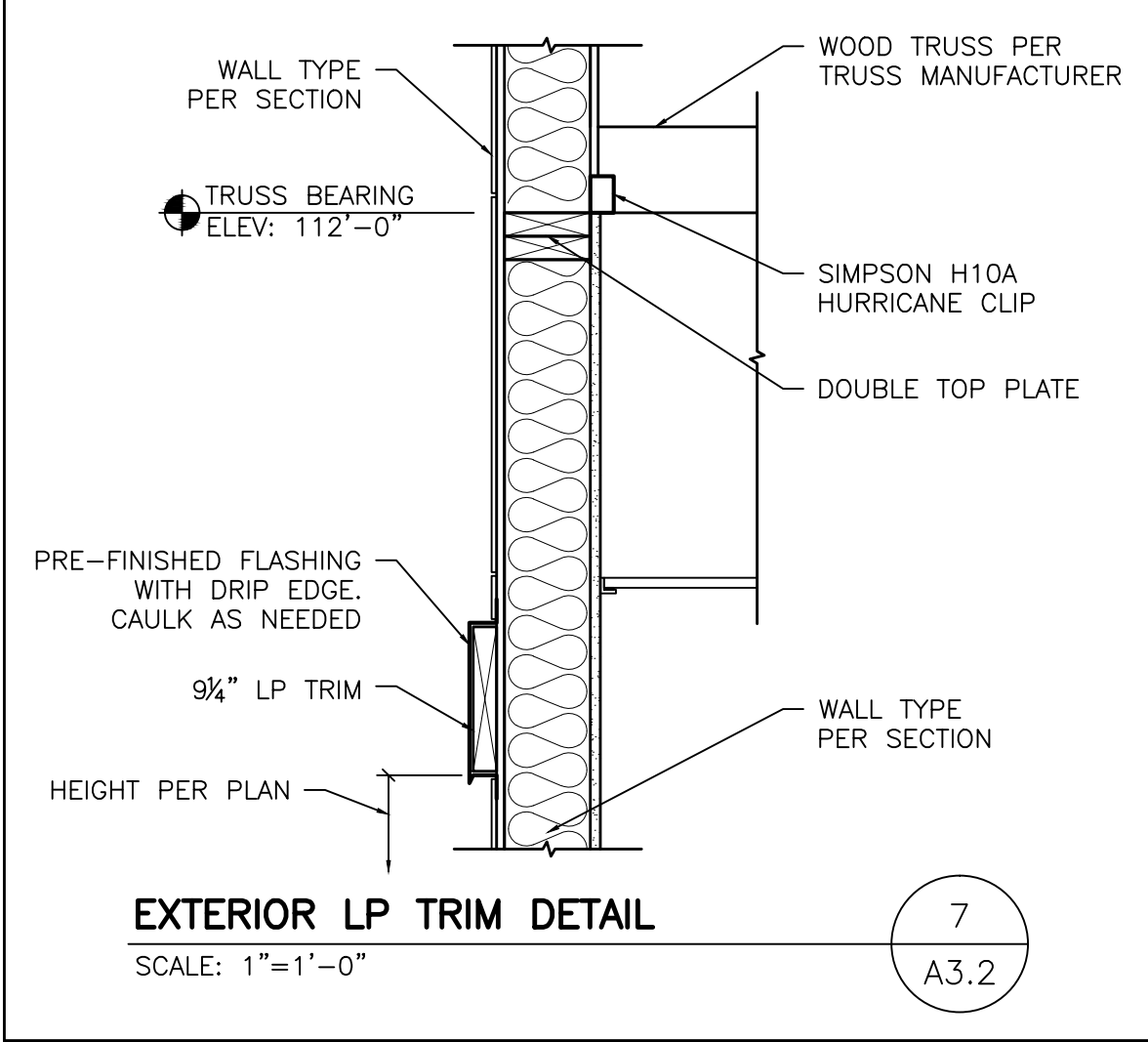
ISSUE NO	REVISIONS	ISSUE DATE
1	REVISED PREVIOUSLY APPROVED PLAN	07-01-2024

PROPOSED BUILDING FOR:
**J-MART
SHEBOYGAN**
2206 N. 15TH STREET
SHEBOYGAN, WI 53083

Project number
Date
Drawn by
Checked by

21253
MARCH 22, 2024
A. WOLF
C. DUESCHER

A3.1



ISSUE NO	REVISIONS	ISSUE DATE
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SHEBOYGAN, WI 53083

21253

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A3.2

INTERIOR WALL FINISHES PER ROOM FINISH SCHEDULE

EXTERIOR SIDE

INTERIOR SIDE

SEE LINTEL SCHEDULE FOR LINTEL SIZE AND TYPE

HOLLOW METAL FRAME

DOOR PER DOOR AND FRAME SCHEDULE

HEAD

HOLLOW METAL FRAME

DOOR PER DOOR AND FRAME SCHEDULE

JAMB

STONE VENEER

FLASHING AS REQUIRED

HOLLOW METAL FRAME

DOOR PER DOOR AND FRAME SCHEDULE

JAMB

SHIM, FLASH, AND CAULK AS REQUIRED

HOLLOW METAL DOOR FRAME

5

A4.1

SCALE: 1½"=1'-0"

INTERIOR WALL FINISHES PER ROOM FINISH SCHEDULE

EXTERIOR SIDE

INTERIOR SIDE

SEE LINTEL SCHEDULE FOR LINTEL SIZE AND TYPE

HOLLOW METAL FRAME

DOOR PER DOOR AND FRAME SCHEDULE

HEAD

HOLLOW METAL FRAME

DOOR PER DOOR AND FRAME SCHEDULE

JAMB

HOLLOW METAL FRAME

DOOR PER DOOR AND FRAME SCHEDULE

JAMB

HOLLOW METAL FRAME

DOOR PER DOOR AND FRAME SCHEDULE

JAMB

SHIM, FLASH, AND CAULK AS REQUIRED

HOLLOW METAL DOOR FRAME

3

A4.1

SCALE: 1½"=1'-0"

INTERIOR WALL FINISHES PER ROOM FINISH SCHEDULE

EXTERIOR SIDE

INTERIOR SIDE

SEE LINTEL SCHEDULE FOR LINTEL SIZE AND TYPE

SIDING PER ARCH. PLANS

SHIM SPACE

ALUMINUM FRAME

DOOR PER DOOR AND FRAME SCHEDULE

HEAD

SIDING PER ARCH. PLANS

SHIM SPACE

ALUMINUM FRAME

DOOR PER DOOR AND FRAME SCHEDULE

JAMB

STONE VENEER

FLASHING AS REQUIRED

ALUMINUM FRAME

SHIM SPACE

DOOR PER DOOR AND FRAME SCHEDULE

JAMB

SHIM, FLASH, AND CAULK AS REQUIRED

ALUMINUM DOOR

1

A4.1

SCALE: 1½"=1'-0"

INTERIOR WALL FINISHES PER ROOM FINISH SCHEDULE

EXTERIOR SIDE

INTERIOR SIDE

SIDING PER ARCH. PLANS

SEE LINTEL SCHEDULE FOR LINTEL SIZE AND TYPE

SHIM SPACE

ALUMINUM FRAME

GLAZING PER WINDOW SCHEDULE

HEAD

SIDING PER ARCH. PLANS

SHIM SPACE

ALUMINUM FRAME

JAMB

ROUGH OPENING

POSITIVE PITCH FLASHING

SHIM SPACE

STONE VENEER

GLAZING PER WINDOW SCHEDULE

ALUMINUM FRAME

DRYWALL SILL (TYP.)

SILL

SHIM, FLASH, AND CAULK AS REQUIRED

ALUMINUM WINDOW

4

A4.1

SCALE: 1½"=1'-0"

INTERIOR WALL FINISHES PER ROOM FINISH SCHEDULE

EXTERIOR SIDE

INTERIOR SIDE

SEE LINTEL SCHEDULE FOR LINTEL SIZE AND TYPE

SHIM SPACE

ALUMINUM FRAME

DOOR PER DOOR AND FRAME SCHEDULE

HEAD

SHIM SPACE

ALUMINUM FRAME

DOOR PER DOOR AND FRAME SCHEDULE

JAMB

SHIM, FLASH, AND CAULK AS REQUIRED

ALUMINUM DOOR

2

A4.1

SCALE: 1½"=1'-0"

Quasius

a construction services company

ISSUE NO

1

REVISIONS

REVISED PREVIOUSLY APPROVED PLAN

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