



Civil Engineering Services

SPECIFIC IMPLEMENTATION PLAN

Building Additions and Site Improvements
Sheboygan Christian School
929 Greenfield Avenue, Sheboygan, WI 53081

March 2024

OWNER CONTACT:

Ann Steenwyk – Director of Education and Instruction
Sheboygan Christian School
929 Greenfield Avenue
Sheboygan, WI 53081
(920) 458-9981
ann.steenwyk@sheboyganchristian.com

REGISTERED PROFESSIONAL ENGINEER:

Joel VanEss, P.E.
Abacus Architects, Inc.
1135A Michigan Avenue
Sheboygan, WI 53081
(920) 452-4444
jvaness@abacusarchitects.net

PROJECT DESCRIPTION

Tax Key Numbers: 59281321763

Zoning: Suburban Residential – 5 (SR-5)

A total of about 103,000 sq.ft. of new building additions will be added to the existing Sheboygan Christian High School over multiple phases to bring K through 8th grade students into the same building as the high school students and to add an auditorium and new gym. This phase adds multiple classrooms, men and women locker rooms, a kitchen, storage rooms, with alternate bids for a building extension and a small greenhouse.

Proposed additions this phase will include:

- The reconstruction of the west side of the existing building and a portion of the existing parking lot.
- The new building addition to the south of the existing building.
- Pavement additions and restriping of the west parking lot.
- A new drive and turnaround on the south side of the building.
- Relocation of the stormwater pond.

PUD zoning is proposed to help streamline the review process for the future additions to the proposed site through its multiple phases. No modifications are required for land use, density and intensity, or parking and loading requirements. However, the proposed alternate #1 building addition to the southeast falls within the SR-5 nonresidential building to residential side lot line setback of 50 feet at approximately 25 feet from the property line.

Civil plans found in the appendix show the extent of changes for this proposed phase of the project, as well as a proposed grading plan, and a proposed stormwater and utility plan.

Architectural plans found in the appendix show the exterior building elevations and provide details as to the materials and colors used for this phase of the project.

The original landscape plan for the project can be found in the appendix. A future landscape plan will be updated and sent by April 3rd.

APPENDIX TABLE OF CONTENTS

LOCATION MAP

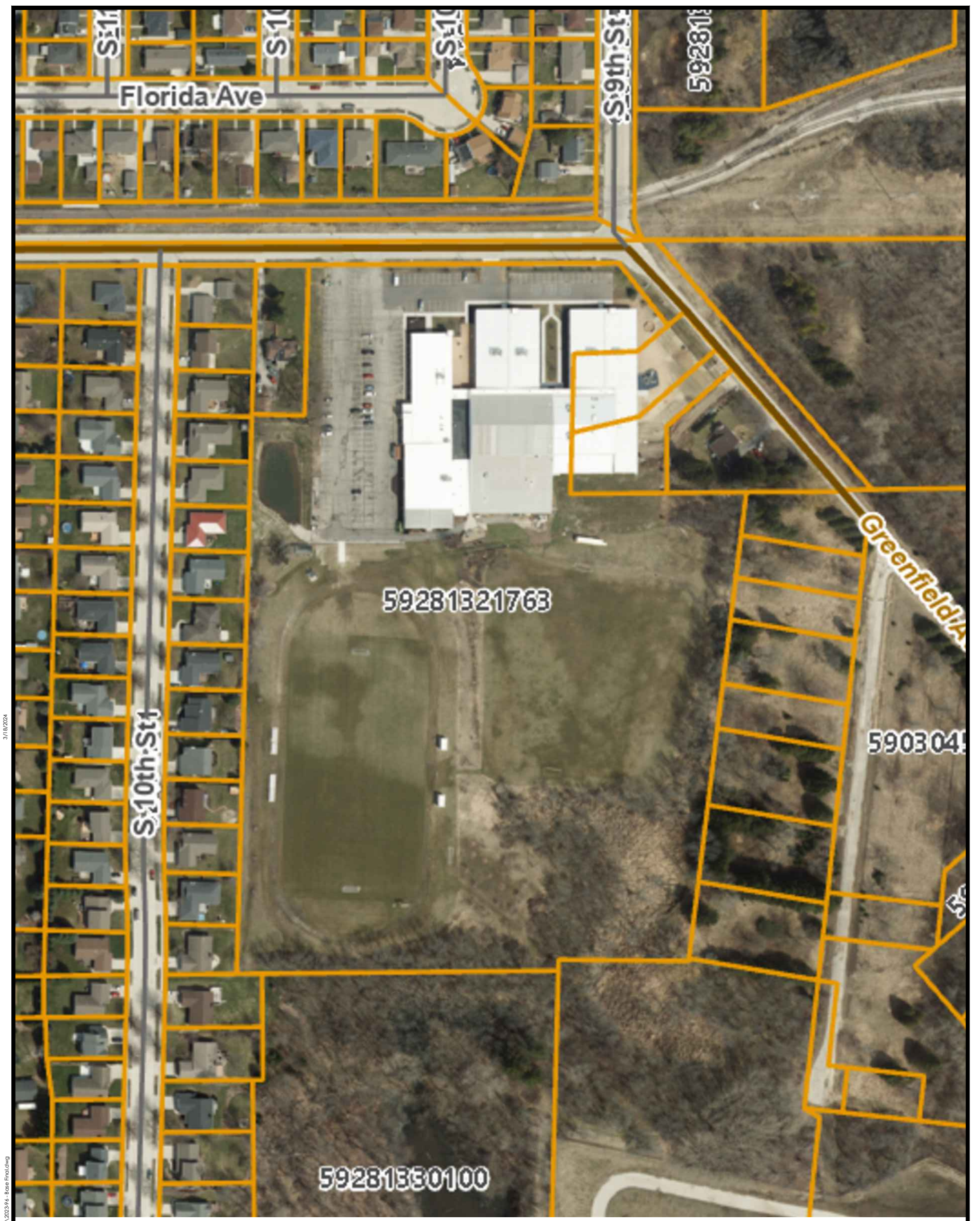
OWNER AND ZONING MAP

CIVIL PLAN SET

ARCHITECTURAL PLAN SET

LANDSCAPING PLAN

LOCATION MAP



3/18/2024

P:\2023\CONTRACTS\2023\96\Sheboygan Children School - Phase 3\Phase - 2\Construction Documents\3.3 Site\2023\96 - Base Field.dwg

LOCATION MAP



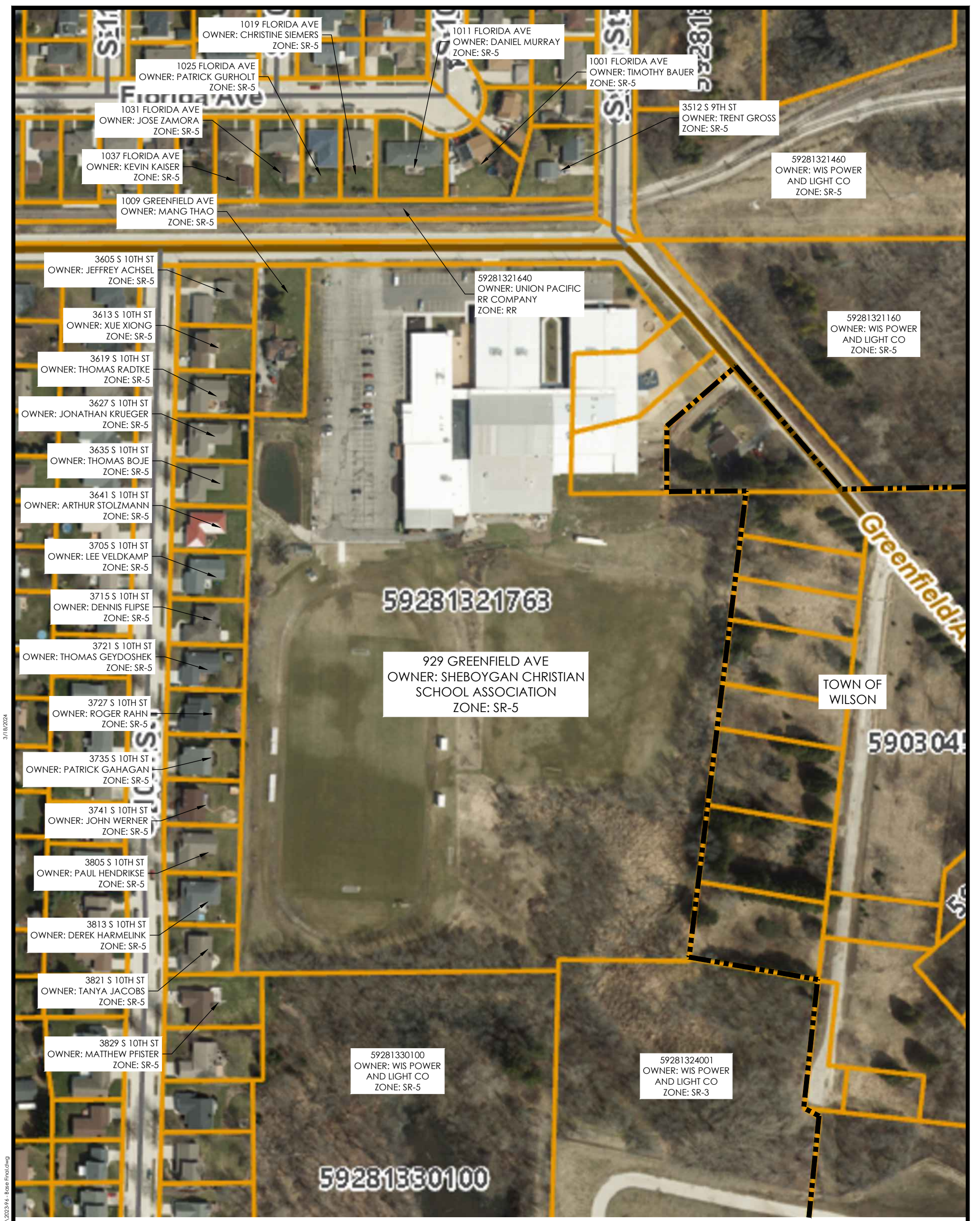
SCALE: 1"=150'

Date
Project Name
Location Proj. No.

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OWNERS AND ZONING MAP



3/18/2024

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OWNER MAP



SCALE: 1"=150'

March 18, 2024

Sheboygan Christian School

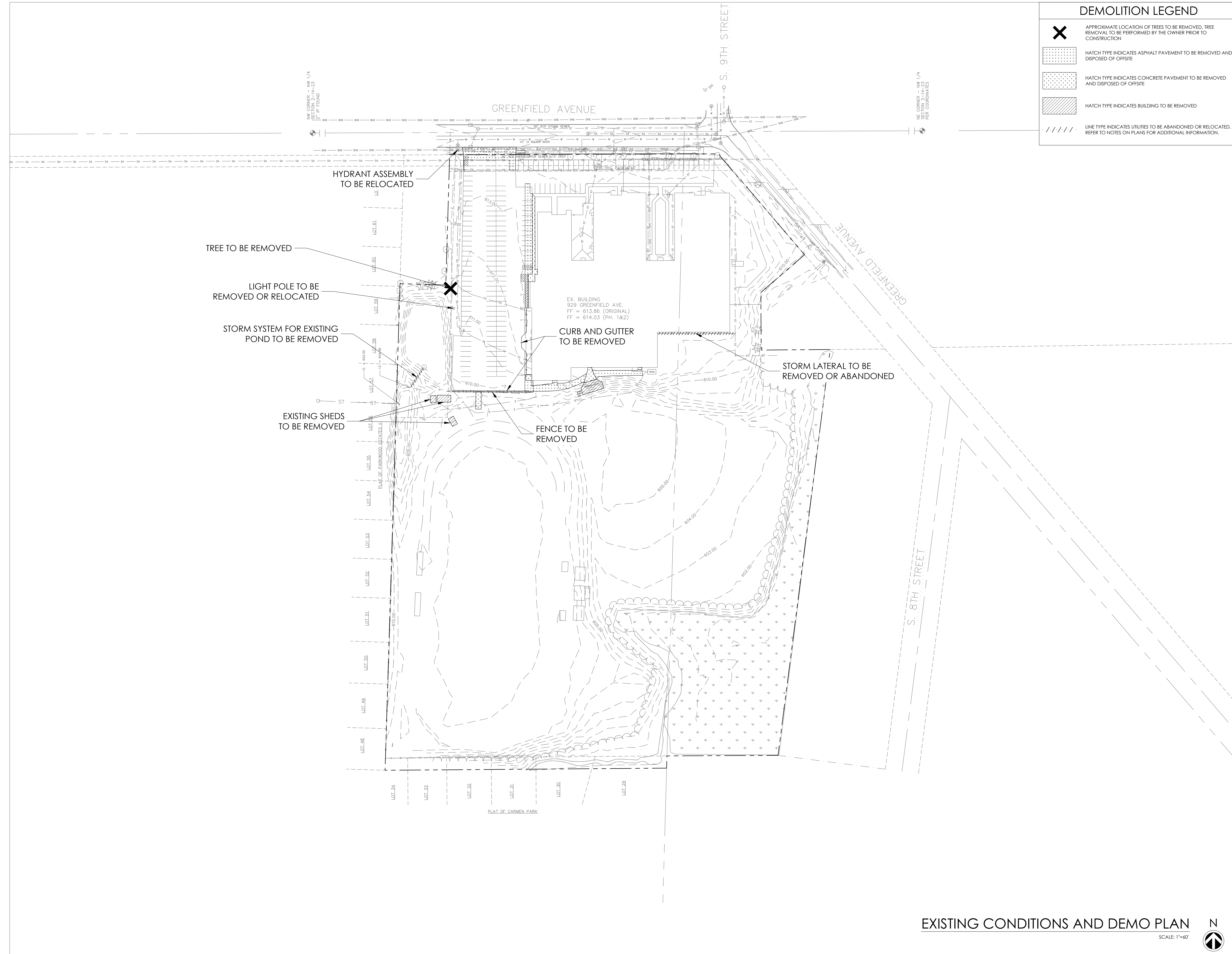
929 Greenfield Avenue, Sheboygan, WI

Proj. No. 2023-96

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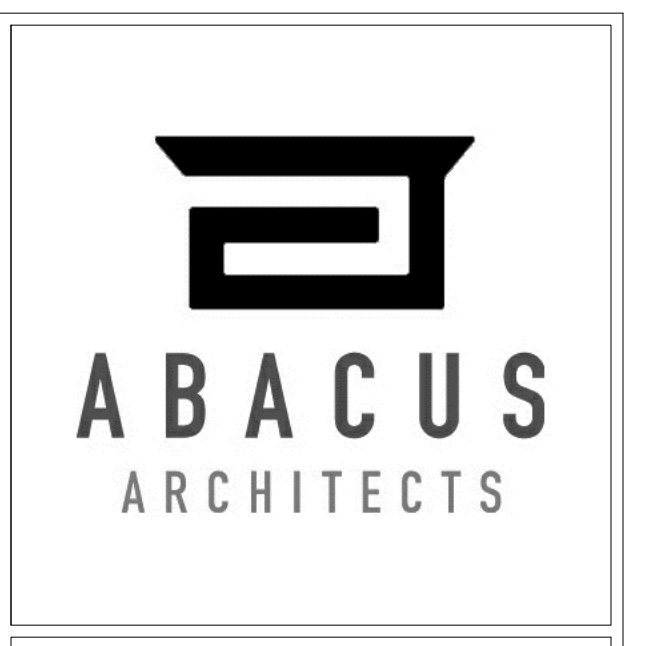


CIVIL PLAN SET



DEMOLITION LEGEND

- APPROXIMATE LOCATION OF TREES TO BE REMOVED. TREE REMOVAL TO BE PERFORMED BY THE OWNER PRIOR TO CONSTRUCTION
- HATCH TYPE INDICATES ASPHALT PAVEMENT TO BE REMOVED AND DISPOSED OFF-SITE
- HATCH TYPE INDICATES CONCRETE PAVEMENT TO BE REMOVED AND DISPOSED OFF-SITE
- HATCH TYPE INDICATES BUILDING TO BE REMOVED
- LINE TYPE INDICATES UTILITIES TO BE ABANDONED OR RELOCATED. REFER TO NOTES ON PLANS FOR ADDITIONAL INFORMATION.



REVISIONS:

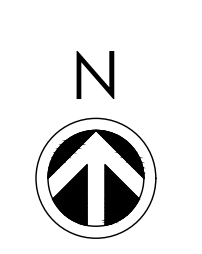
DATE	ISSUE
02-23-2023	ADDENDUM #1

NOTICE TO BIDDERS
 BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK. ON THEIR OWN WORK
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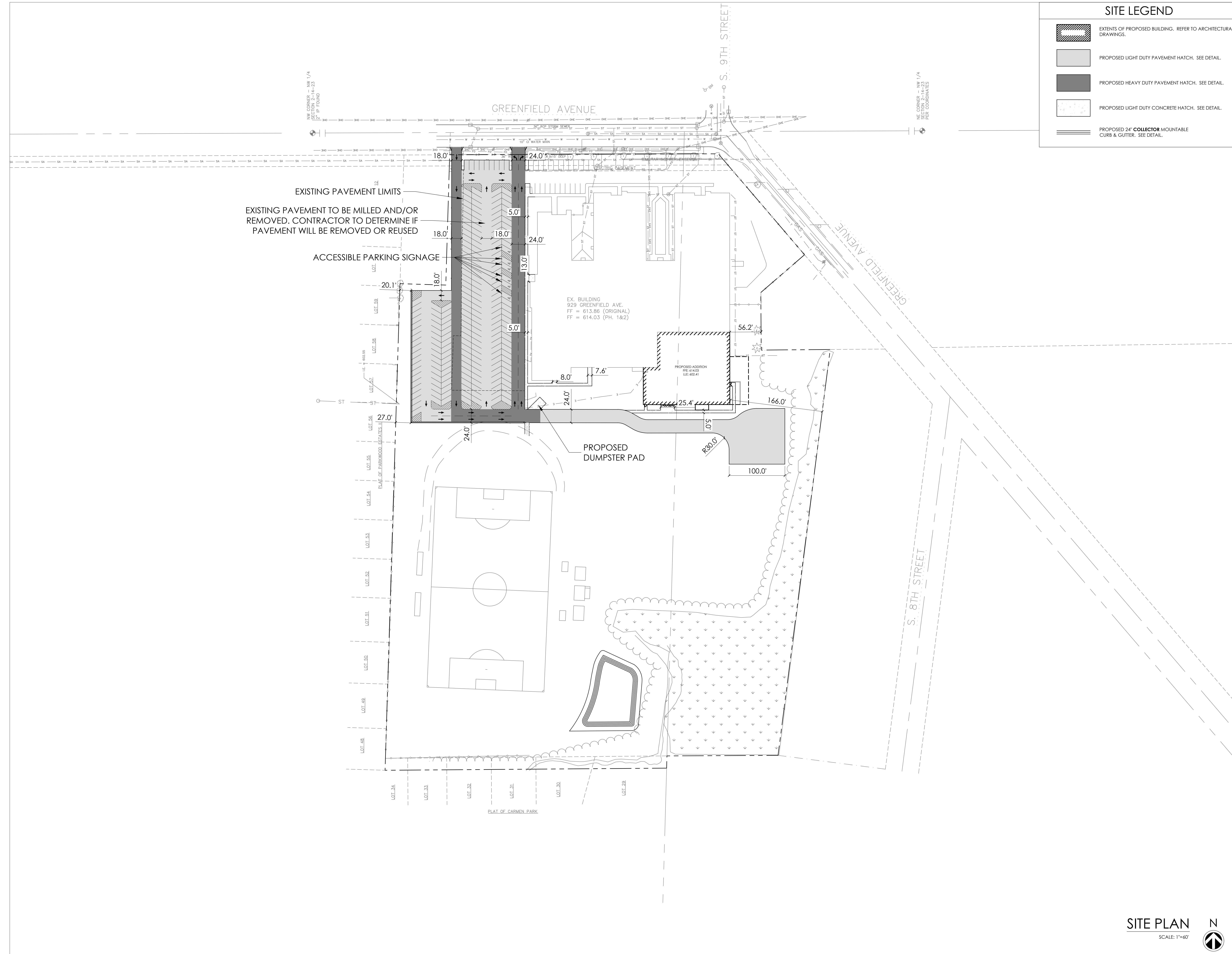
FEBRUARY 9, 2024
 BUILDING ADDITION - PHASE 3
SHEBOYGAN CHRISTIAN SCHOOL
 929 GREENFIELD AVENUE, SHEBOYGAN, WI 53081
 1135A MICHIGAN AVE., SHEBOYGAN, WI 53081 | (920) 452-4444 | 400 N. VEL R. PHILLIPS AVE., SUITE 210, MILWAUKEE, WI 53022 | (414) 837-4450

DRAWN BY: JMN
 CHECKED BY: JRV
 EXISTING CONDITIONS AND DEMO PLAN
A
200
 PROJ. NO. 2023-96

EXISTING CONDITIONS AND DEMO PLAN
 SCALE: 1"=60'



PERMIT SET



SITE LEGEND

- EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
- PROPOSED LIGHT DUTY PAVEMENT HATCH. SEE DETAIL.
- PROPOSED HEAVY DUTY PAVEMENT HATCH. SEE DETAIL.
- PROPOSED LIGHT DUTY CONCRETE HATCH. SEE DETAIL.
- PROPOSED 24" COLLECTOR MOUNTABLE CURB & GUTTER. SEE DETAIL.



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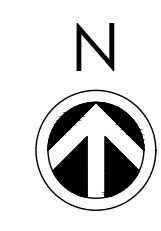
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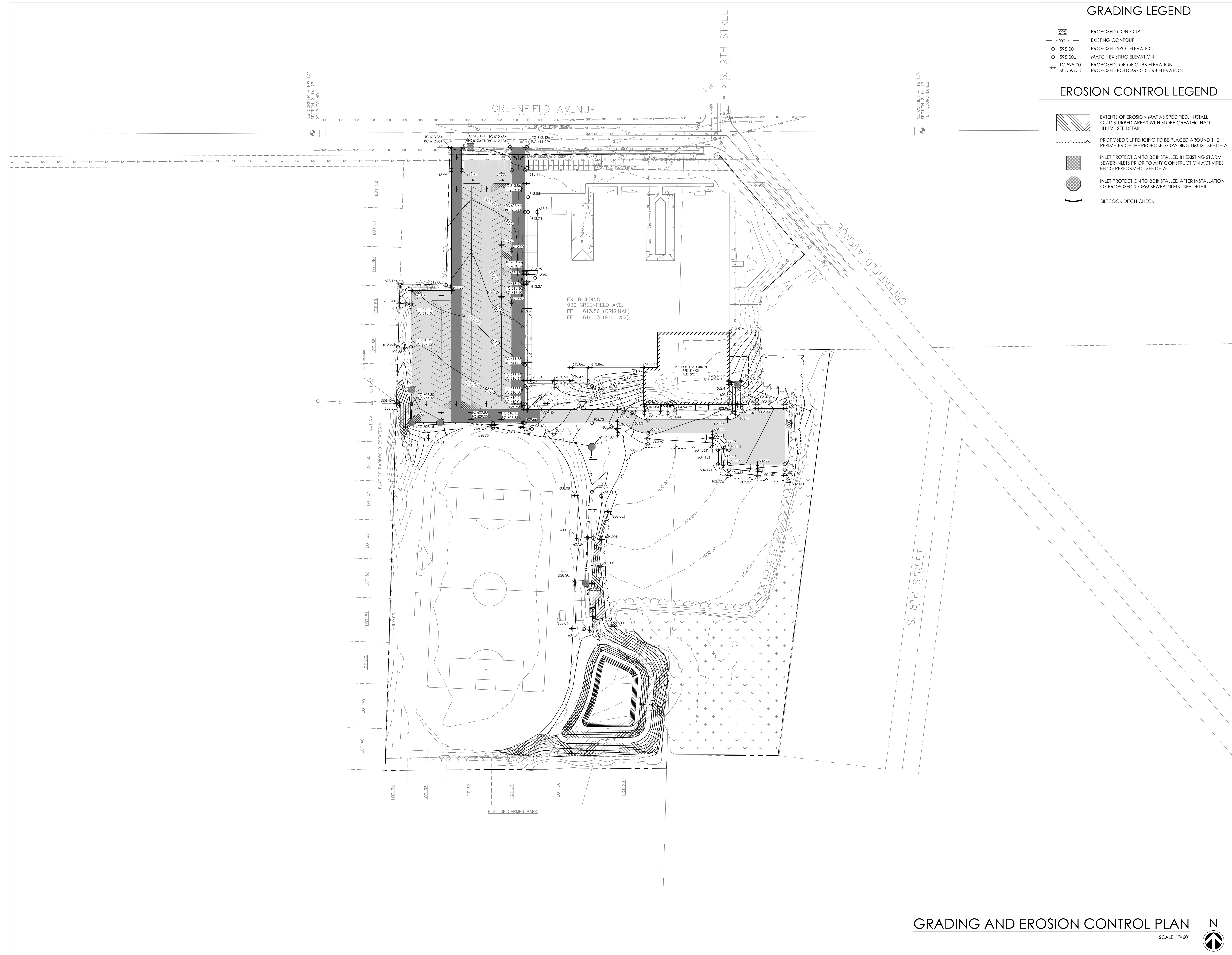
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SITE PLAN
A
201
PROJ. NO. 2023-96

SITE PLAN
SCALE: 1"=60'




PERMIT SET



GRADING LEGEND	
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED SPOT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED BOTTOM OF CURB ELEVATION

EROSION CONTROL LEGEND	
	EXTENTS OF EROSION MAT AS SPECIFIED. INSTALL ON DISTURBED AREAS WITH SLOPE GREATER THAN 4H:1V. SEE DETAIL.
	PROPOSED SILT FENCING TO BE PLACED AROUND THE PERIMETER OF THE PROPOSED GRADING LIMITS. SEE DETAIL.
	INLET PROTECTION TO BE INSTALLED IN EXISTING STORM SEWER INLETS PRIOR TO ANY CONSTRUCTION ACTIVITIES BEING PERFORMED. SEE DETAIL.
	INLET PROTECTION TO BE INSTALLED AFTER INSTALLATION OF PROPOSED STORM SEWER INLETS. SEE DETAIL.
	SILT SOCK DITCH CHECK



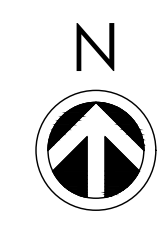
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GRADING AND EROSION CONTROL PLAN

SCALE: 1"=60'



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 GRADING AND EROSION CONTROL PLAN

A
202

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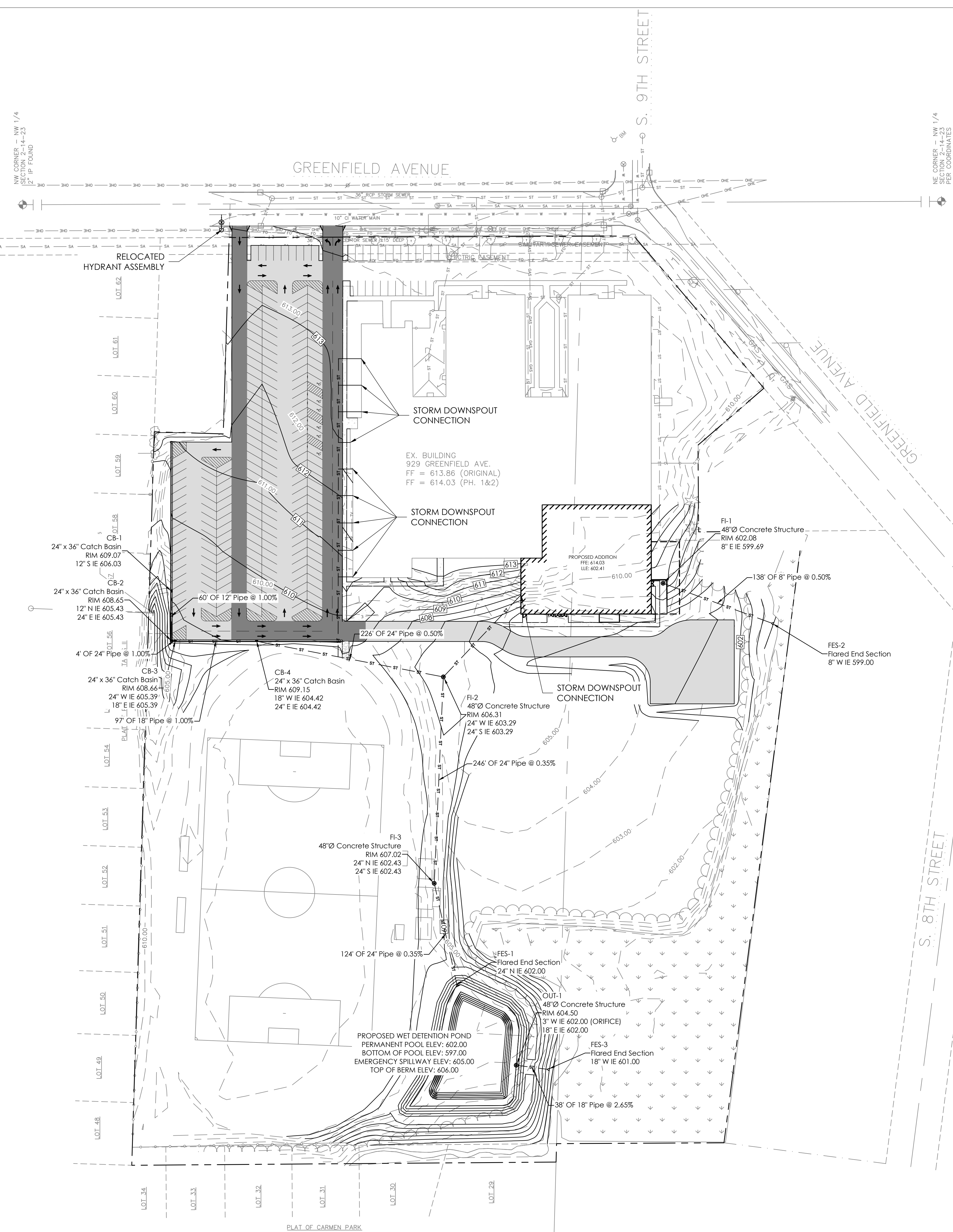
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PERMIT SET

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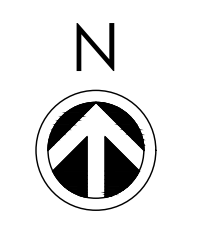
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UTILITY PLAN

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203

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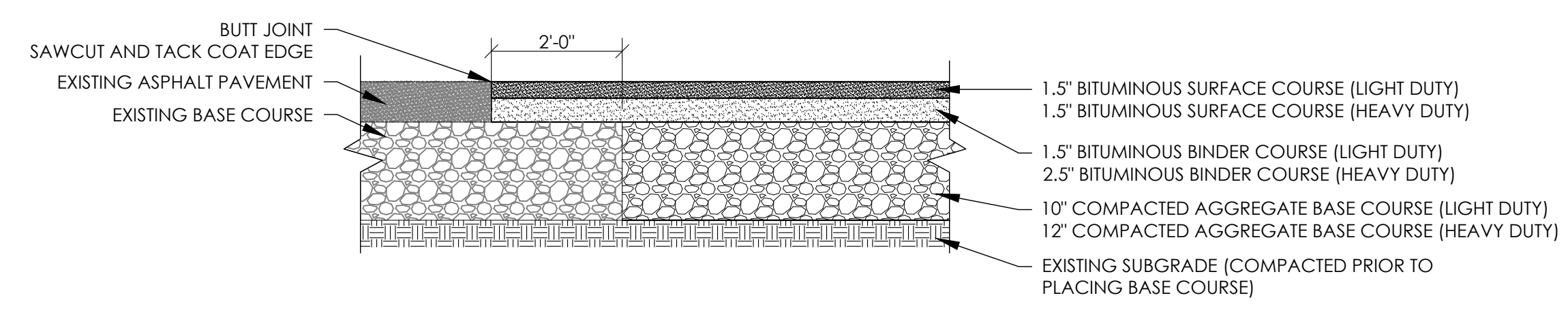
UTILITY PLAN
SCALE: 1"=60'



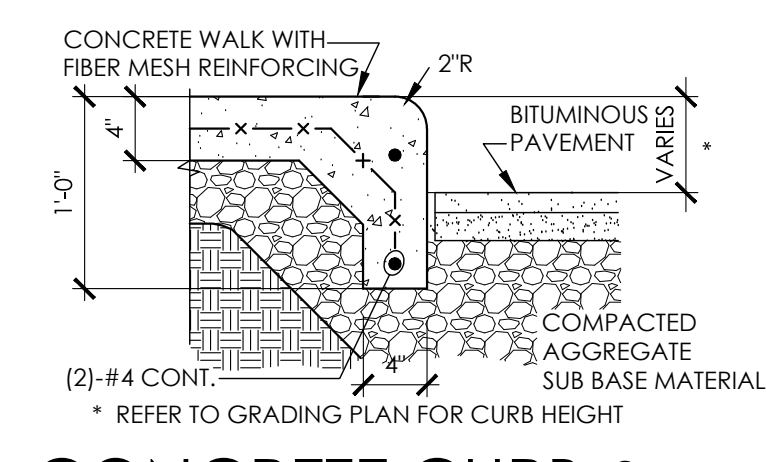
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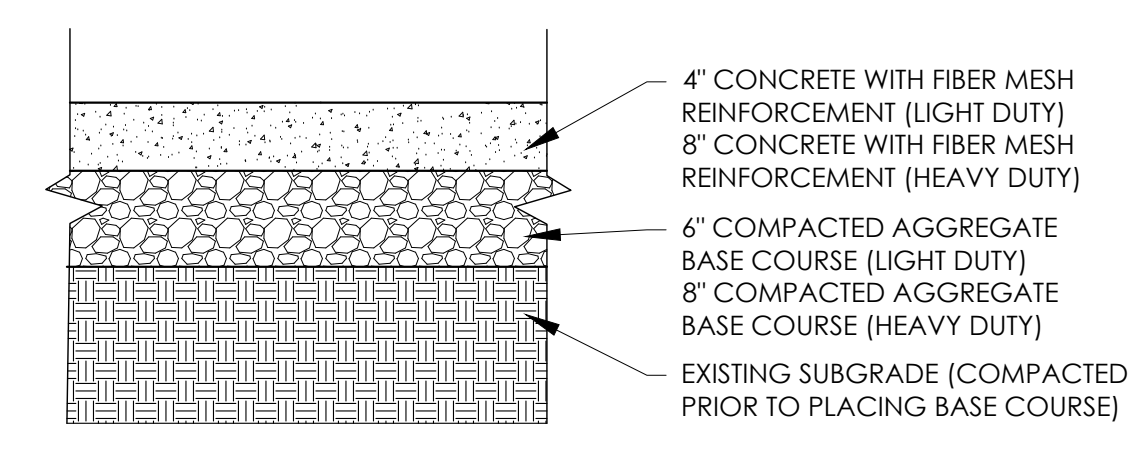
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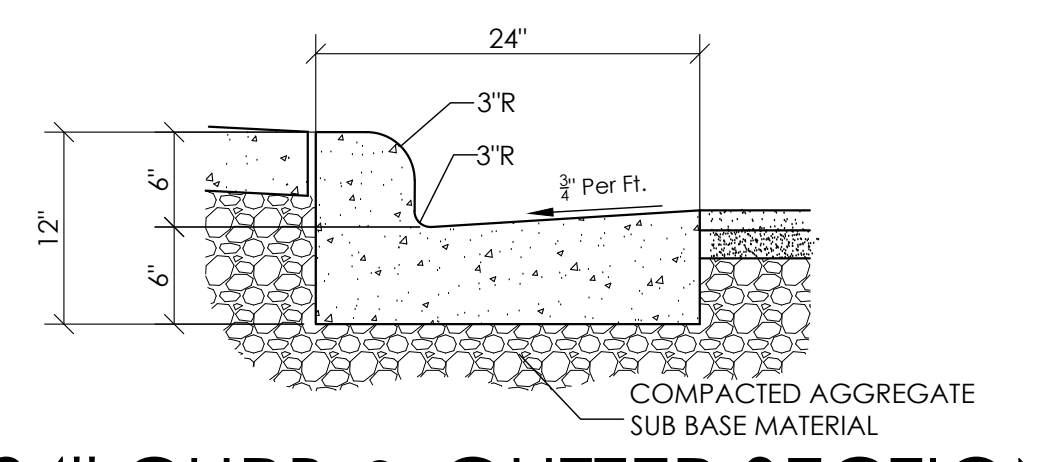
ASPHALT PAVEMENT CROSS SECTION



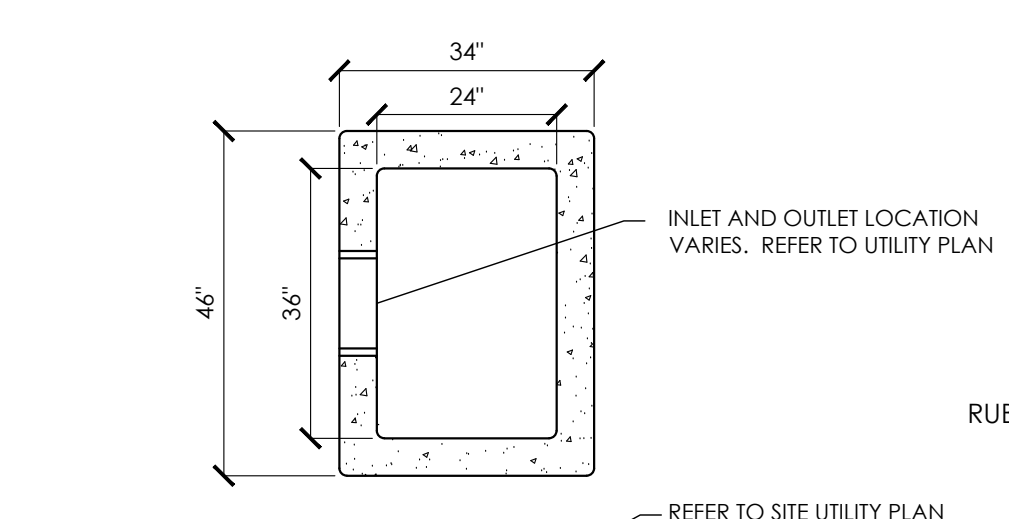
CONCRETE CURB & SIDEWALK SECTION



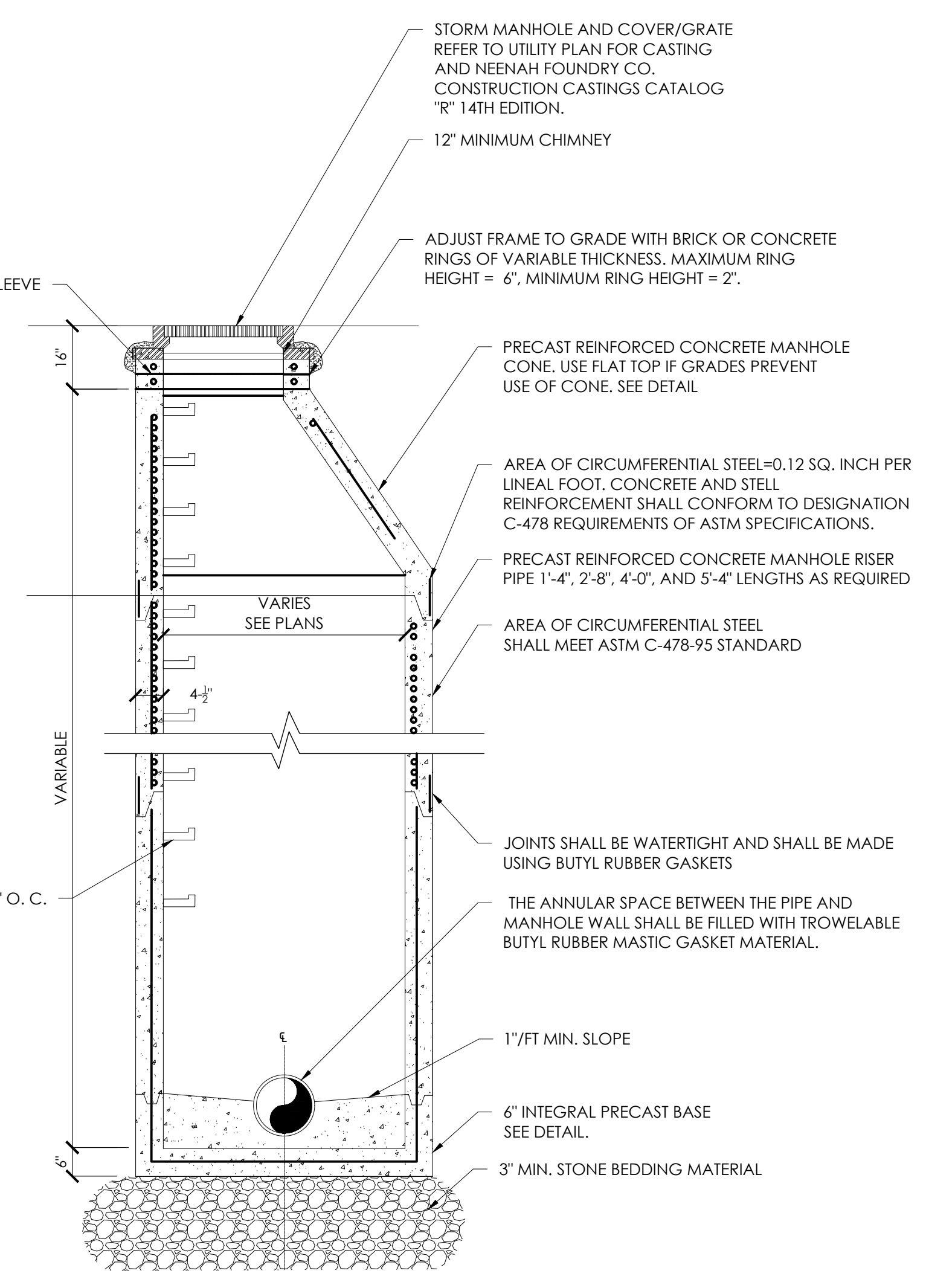
CONCRETE PAVEMENT CROSS SECTION



24\"/>

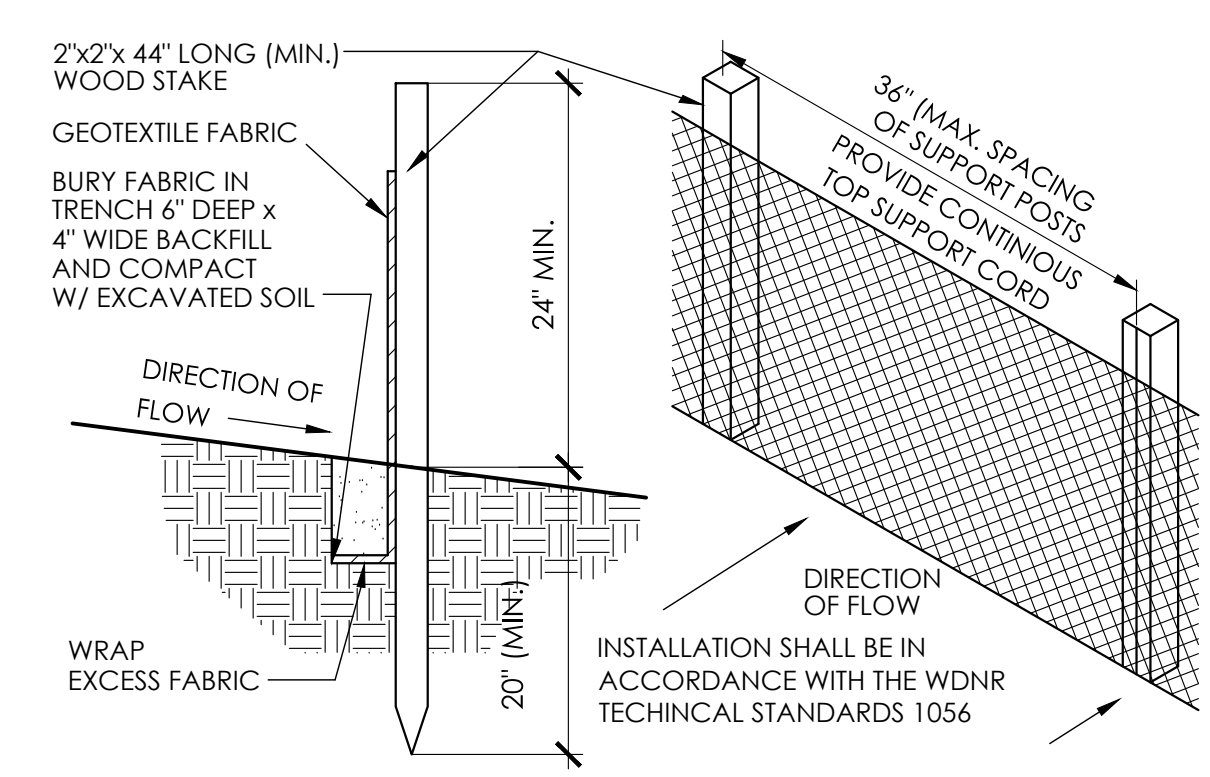


PRECAST REINFORCED CONCRETE ACCEPTABLE CURB INLET SECTION

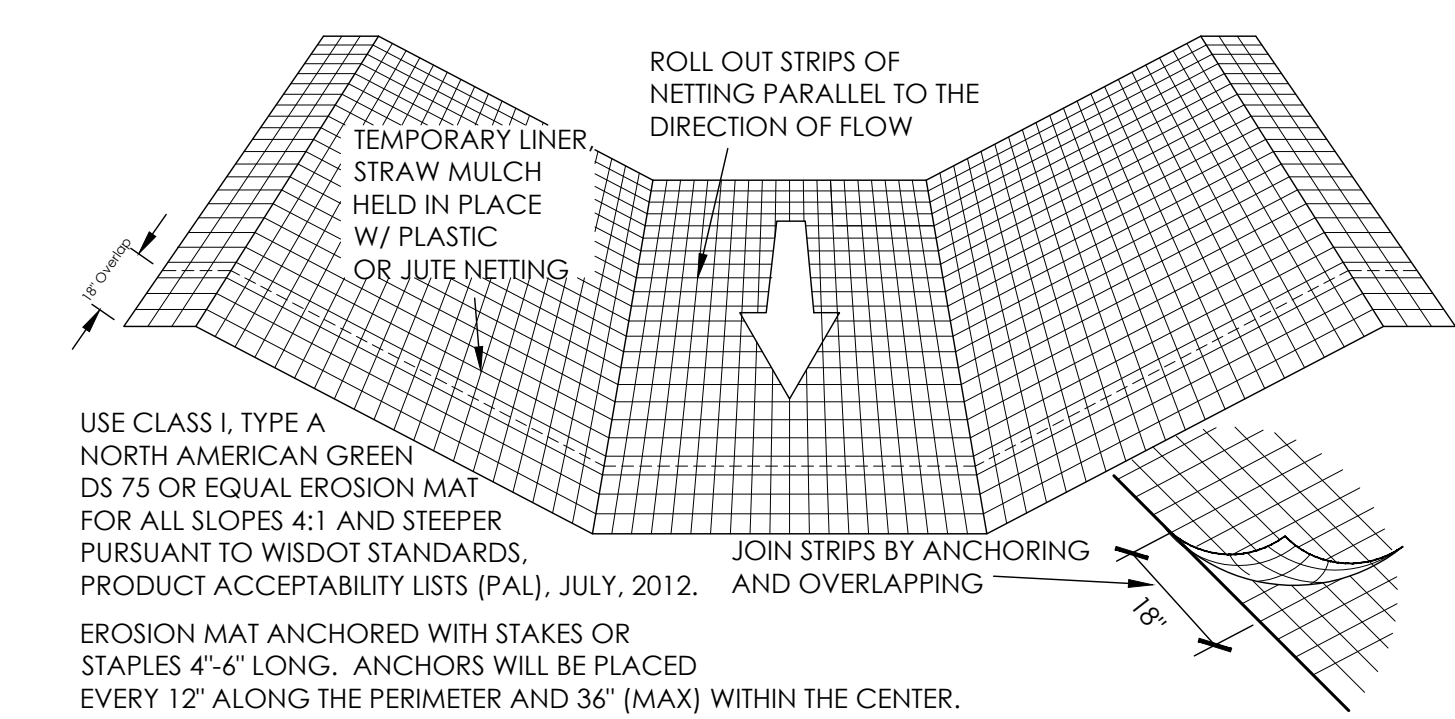


STORM MANHOLE NOTES:

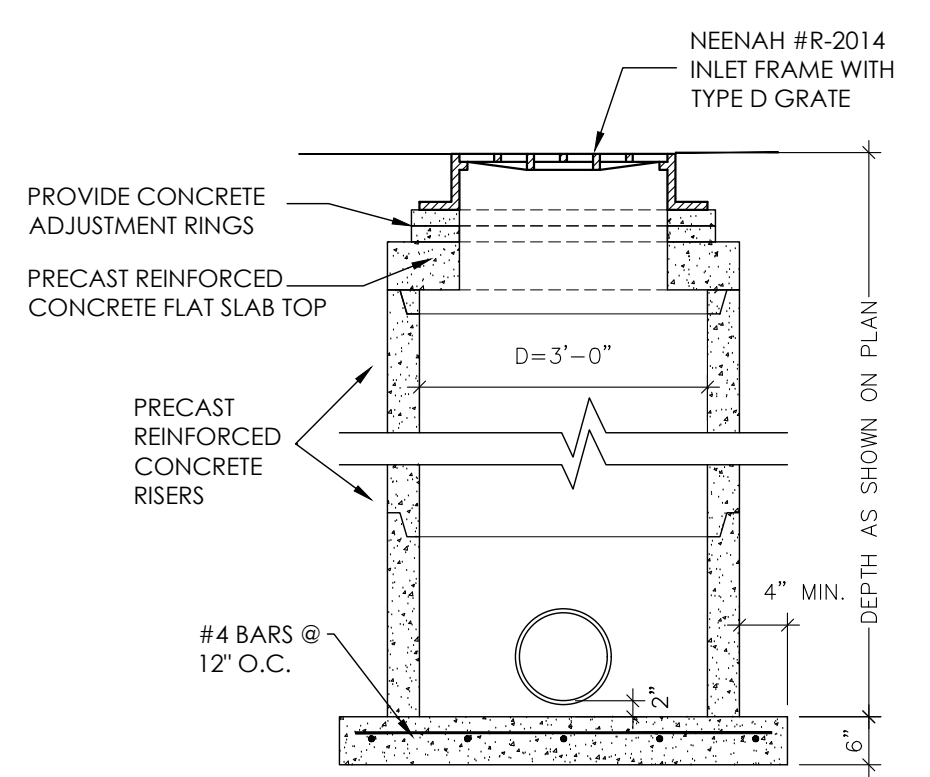
1. PRECAST ADJUSTING RINGS TO BE REINFORCED WITH ONE HOOP OF STEEL CENTERED WITH THE RING. WHERE NECESSARY, RINGS SHALL BE GROOVED TO RECEIVE STEP.
2. CONCRETE AND STEEL REINFORCEMENT SHALL CONFORM TO DESIGNATION C-478 REQUIREMENTS OF ASTM SPECIFICATIONS.
3. 3\"/>



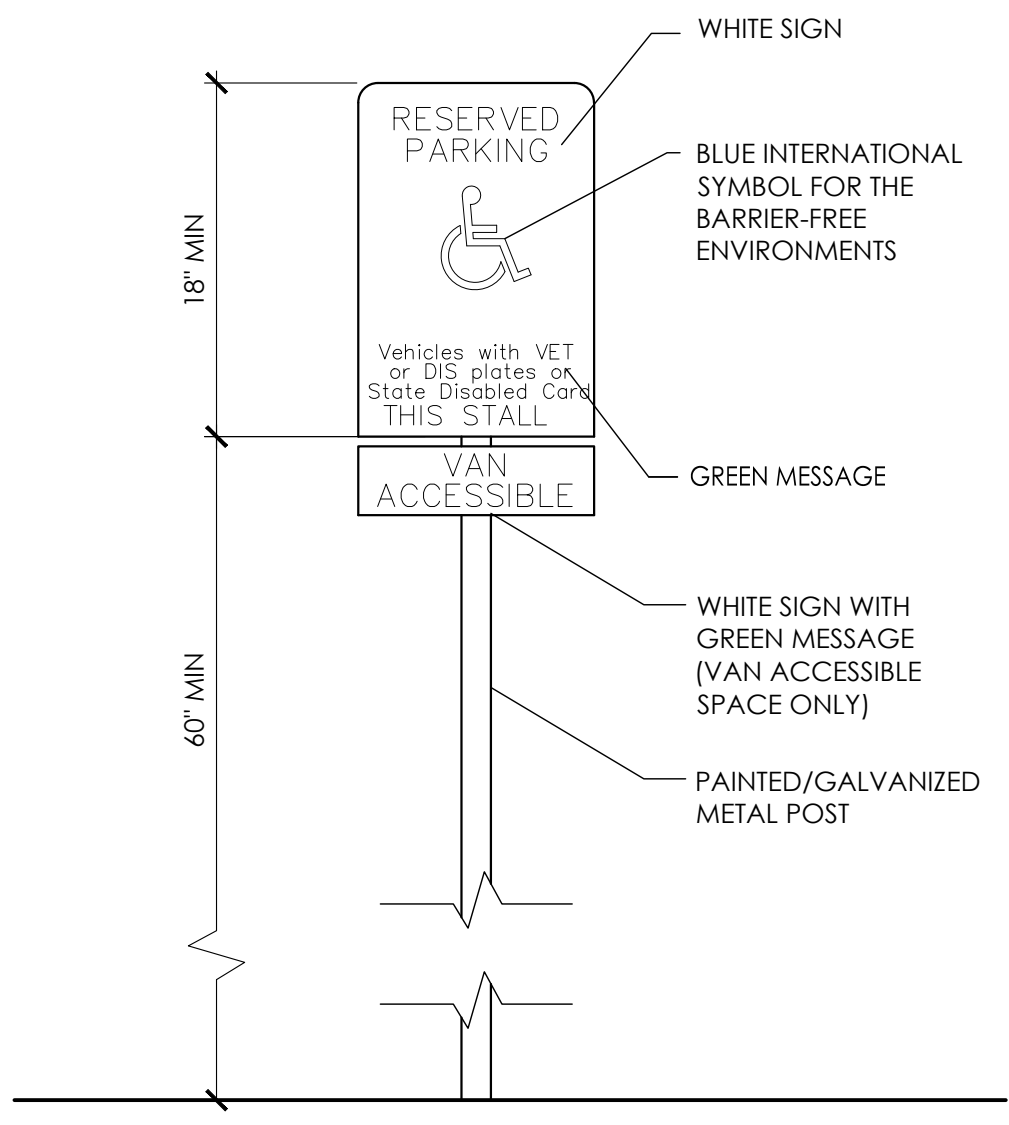
SILT FENCE SECTION & DETAIL



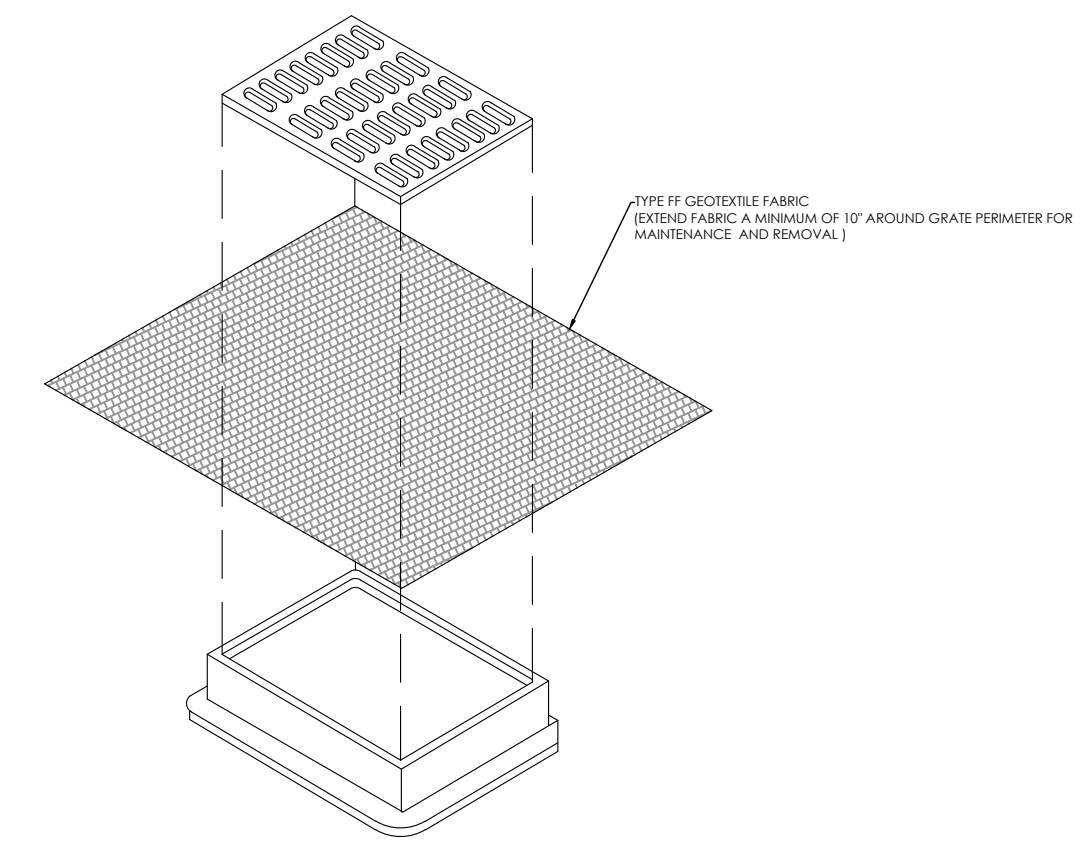
EROSION MATTING DETAIL (FOR SIDE SLOPES ONLY - NOT FOR CHANNELIZED FLOW)



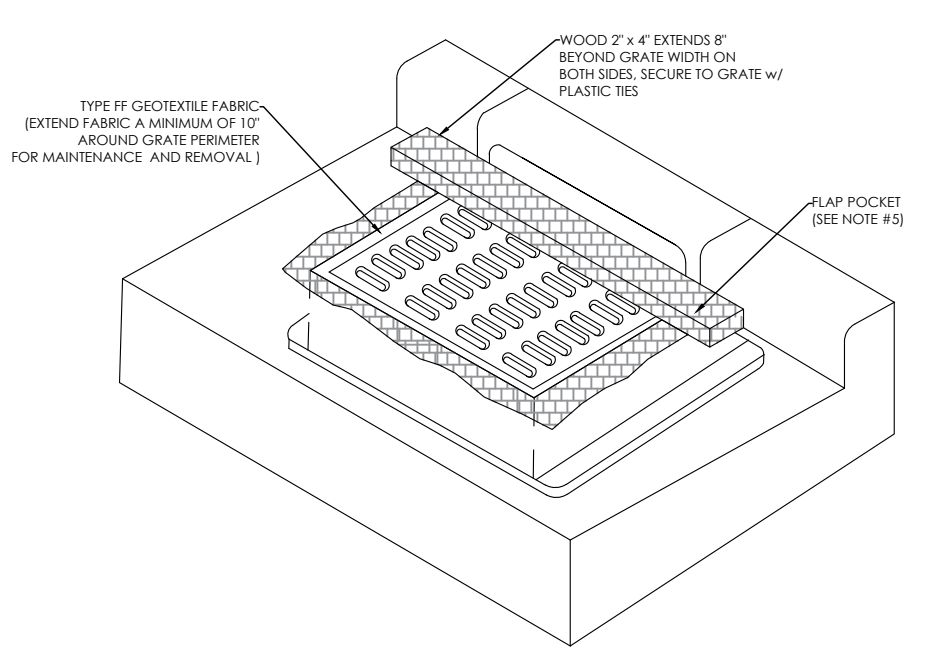
PRECAST REINFORCED CONCRETE ACCEPTABLE STORM INLET SECTION



ACCESSIBLE PARKING SIGNAGE DETAIL



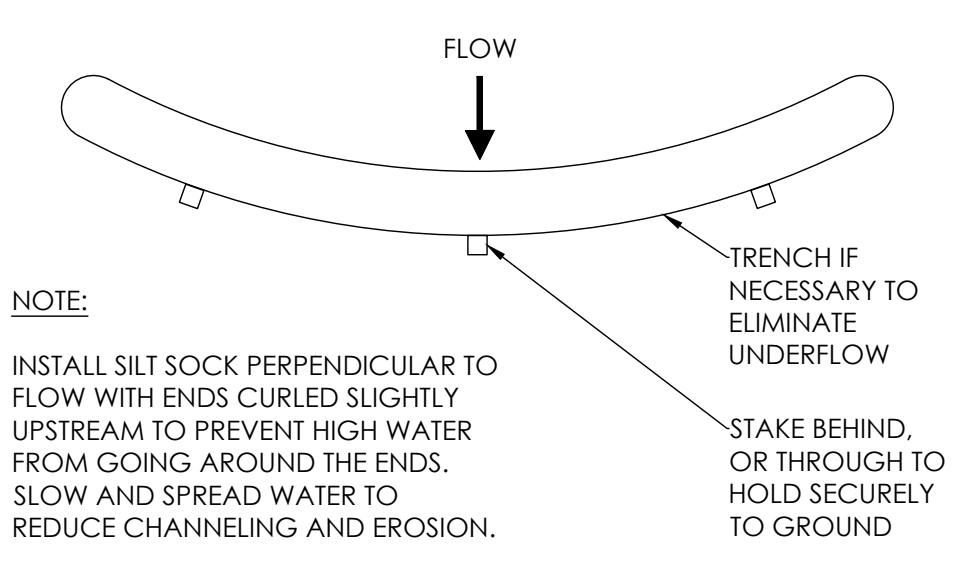
INLET PROTECTION TYPE \"/>



INLET PROTECTION TYPE \"/>

MAINTENANCE NOTES:
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

STORM MANHOLE DETAIL



NOTE:
INSTALL SILT SOCK PERPENDICULAR TO FLOW WITH ENDS CURLED SLIGHTLY UPSTREAM TO PREVENT HIGH WATER FROM GOING AROUND THE ENDS. SLOW AND SPREAD WATER TO REDUCE CHANNELING AND EROSION.

SILT SOCK DITCH CHECK

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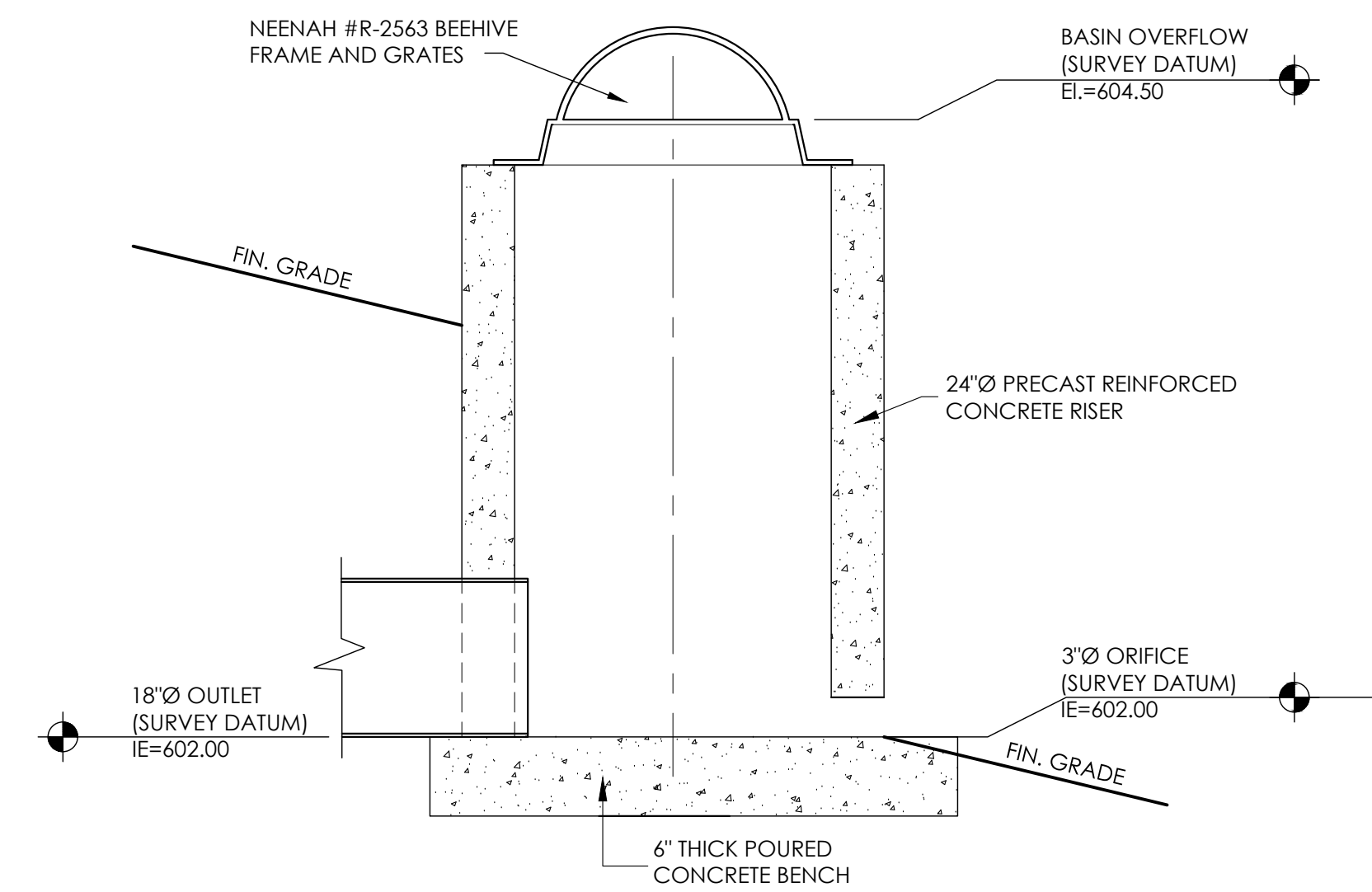
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DETAILS
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204
PROJ. NO. 2023-96

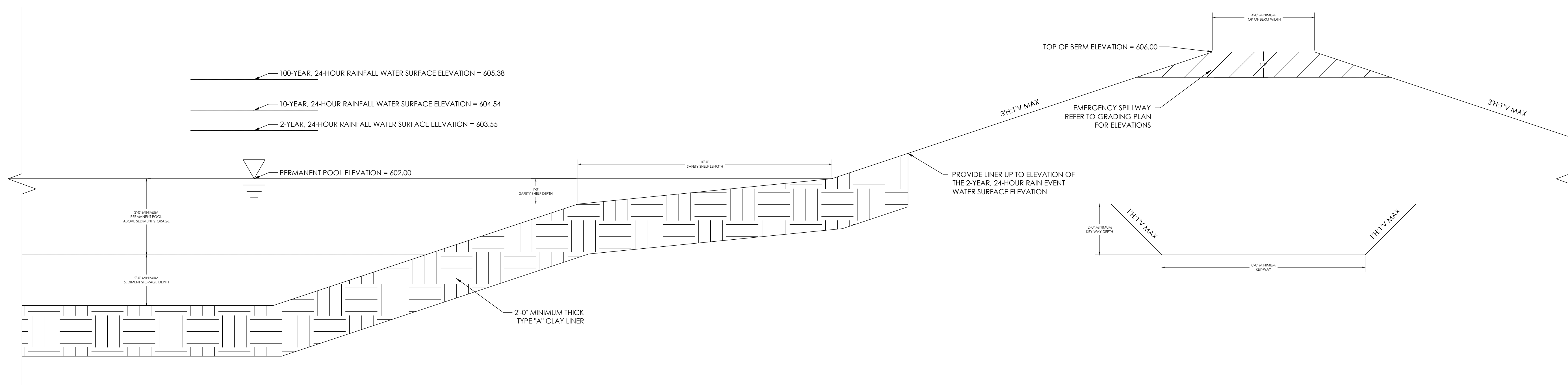
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POND OUTLET SECTION



WET DETENTION POND CROSS SECTION

FEBRUARY 9, 2024

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PERMIT SET

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DETAILS

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205

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DETAILS

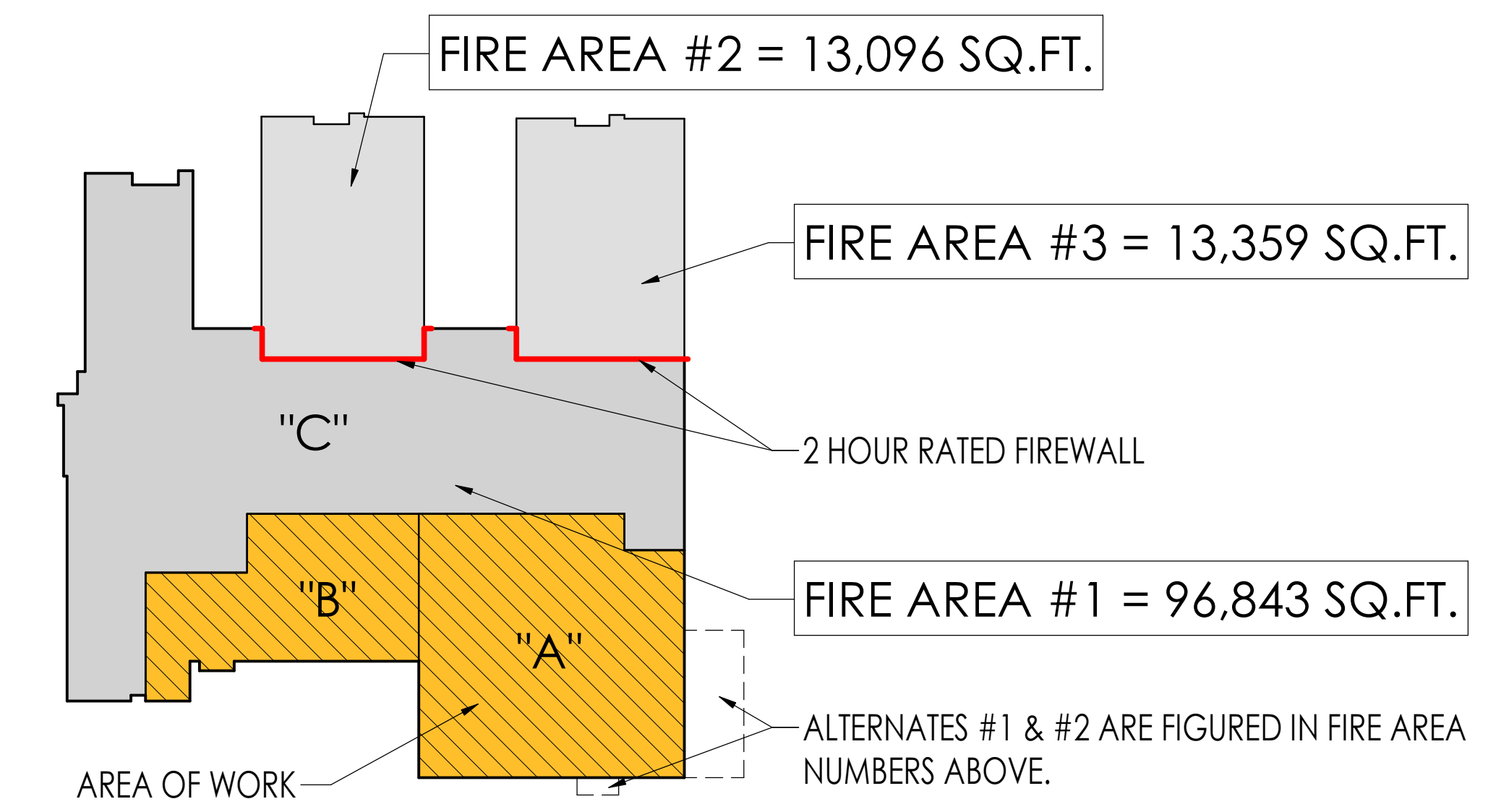
ARCHITECTURAL PLAN SET

GENERAL PLAN NOTES

- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- EXTERIOR DIMENSIONS TAKEN FROM FACE OF SHEATHING, FACE OF CONCRETE, OR FACE OF MASONRY.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD, FACE OF CONC. FACE OF MASONRY OR FINISH FACE OF EXISTING CONSTRUCTION.
- GENERAL CONTRACTOR VERIFY ALL FIELD CONDITIONS & DIMENSIONS.
- ALL DOORS IN STUD WALLS TO BE 6" FROM PERPENDICULAR WALL OPENINGS UNLESS OTHERWISE NOTED.
- ALL INSULATION SHOWN IN INTERIOR STUD WALLS TO BE MINERAL FIBER BATT INSULATION FOR SOUND.
- INSTALL MOISTURE RESISTANT GYPSUM DRYWALL IN TOILET ROOMS, WALL AREAS WITHIN 8 FEET OF SINKS, AND OTHER DAMP OR HIGH HUMIDITY AREAS.
- PROVIDE BLOCKING FOR ALL WALL SUPPORTED EQUIPMENT AND ACCESSORIES MOUNTED ON STUD WALLS - COORDINATE WITH OWNER.
- WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT INDIVIDUAL UNITS OF WORK AT ADA STANDARD MOUNTING HEIGHTS FOR THE PARTICULAR APPLICATION INDICATED (SEE DETAIL 3/A301).
- ALL COLUMN BOX-OUTS ARE WALL TYPE 'E' UNLESS OTHERWISE NOTED.
- ALL INTERIOR ELEVATION TAGS SHOWN ON FINISH PLANS.

LIFE SAFETY PLAN LEGEND

--- ACCESSIBLE PATH OF EGRESS
 33" EXIT AND AVAILABLE EXIT INCHES
 FE-1 & FE-2 FIRE EXTINGUISHER
 --- FIRE AND SMOKE PROTECTION FEATURES
 - - - 2-HOUR FIRE WALL
 • REQUIRED AT WALLS INDICATED ON PLAN
 • EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE
 • 30" MIN. ABOVE ADJACENT ROOFS
 • AT STEPPED ROOF LOCATIONS, EXTEND 30" MIN ABOVE TOP OF ADJACENT ROOF
 - - - 1-HOUR FIRE BARRIER
 • REQUIRED AT WALLS WHICH ENCLOSE RATED ROOMS
 • EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE



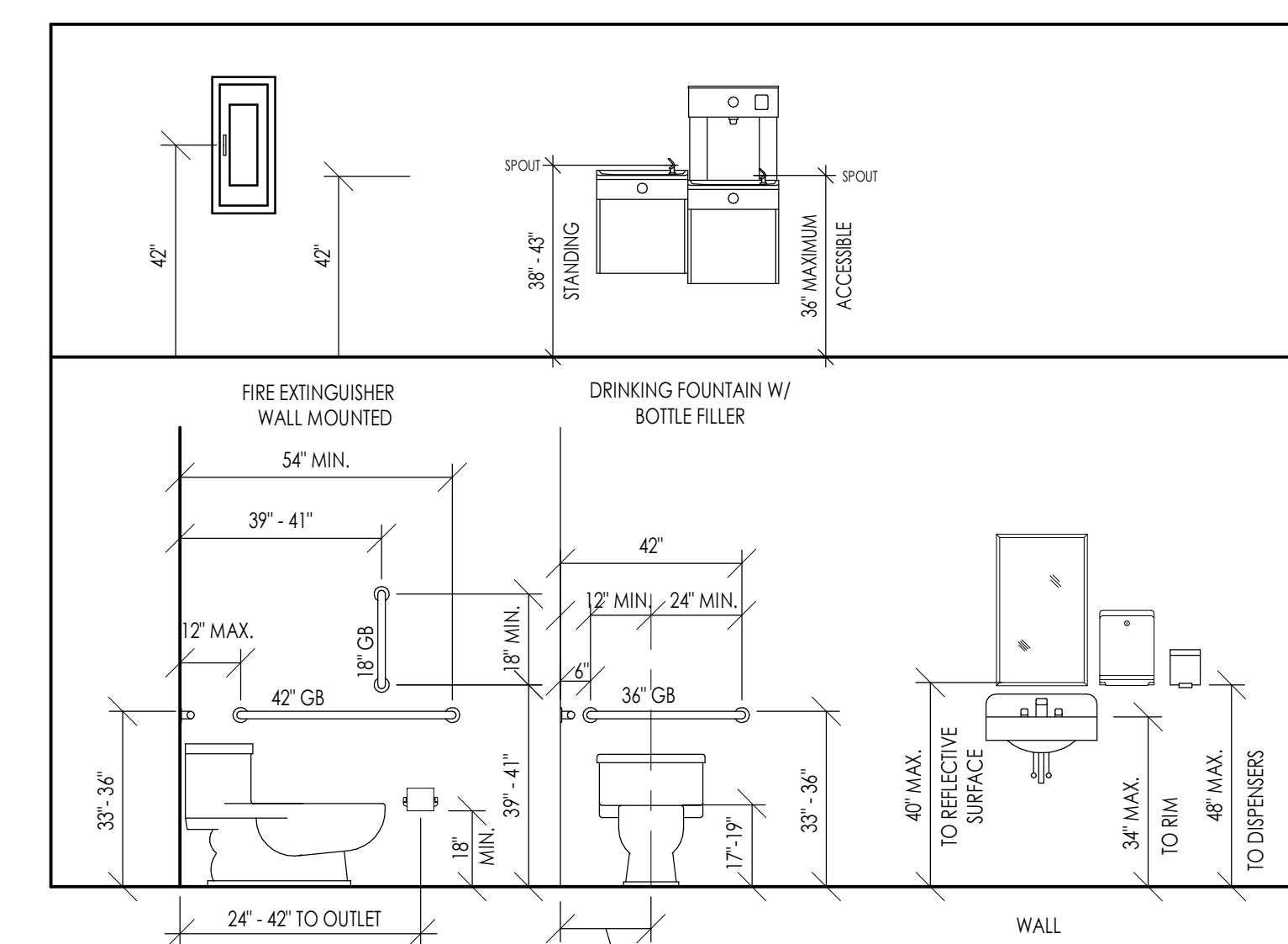
KEY PLAN - OVERALL

SANITARY FIXTURES

A-3 OCCUPANT LOAD	- 2,738
E OCCUPANT LOAD	- 2,338
TOTAL OCCUPANT LOAD	- 5,041
A-3 FIXTURE OCCUPANT LOAD	- 2,738 x .55 = 1,506
E FIXTURE OCCUPANT LOAD	- 2,338 x .55 = 1,286
TOTAL FIXTURE OCCUPANT LOAD	- 2,792

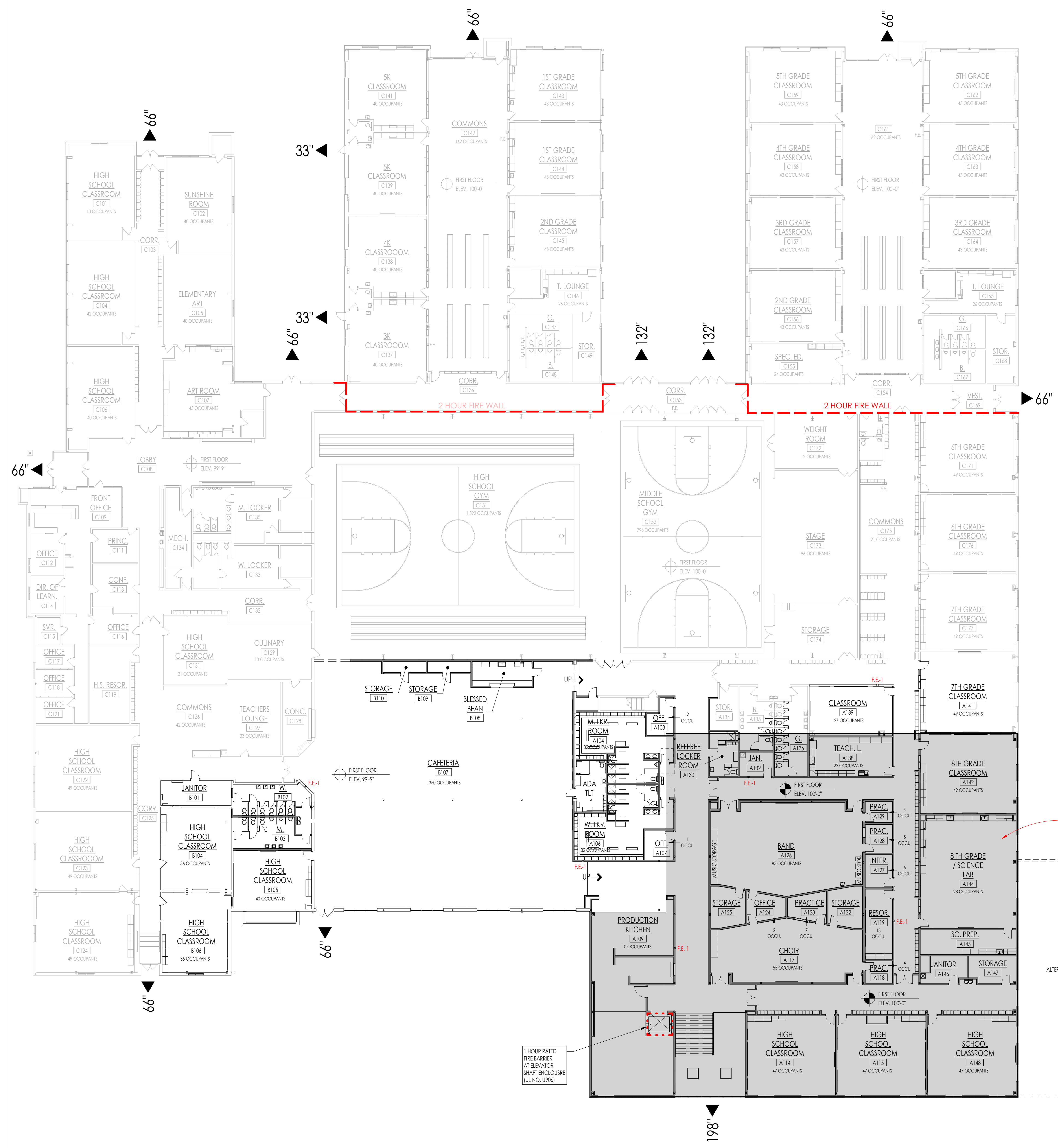
OCCUPANCY WATER CLOSETS LAVATORIES DRINKING

A-3	M 1:150 W 1:75	M 1:200 W 1:200	1:1000
E	M 1:150 W 1:50	M 1:150 W 1:50	1:1000
REQUIRED			
A-3	M 6 W 11	M 4 W 4	2
E	M 13 W 13	M 13 W 13	13
TOTAL	M 19 W 24	M 17 W 17	15
PROVIDED			
	M 26 W 38	M 20 W 22	16

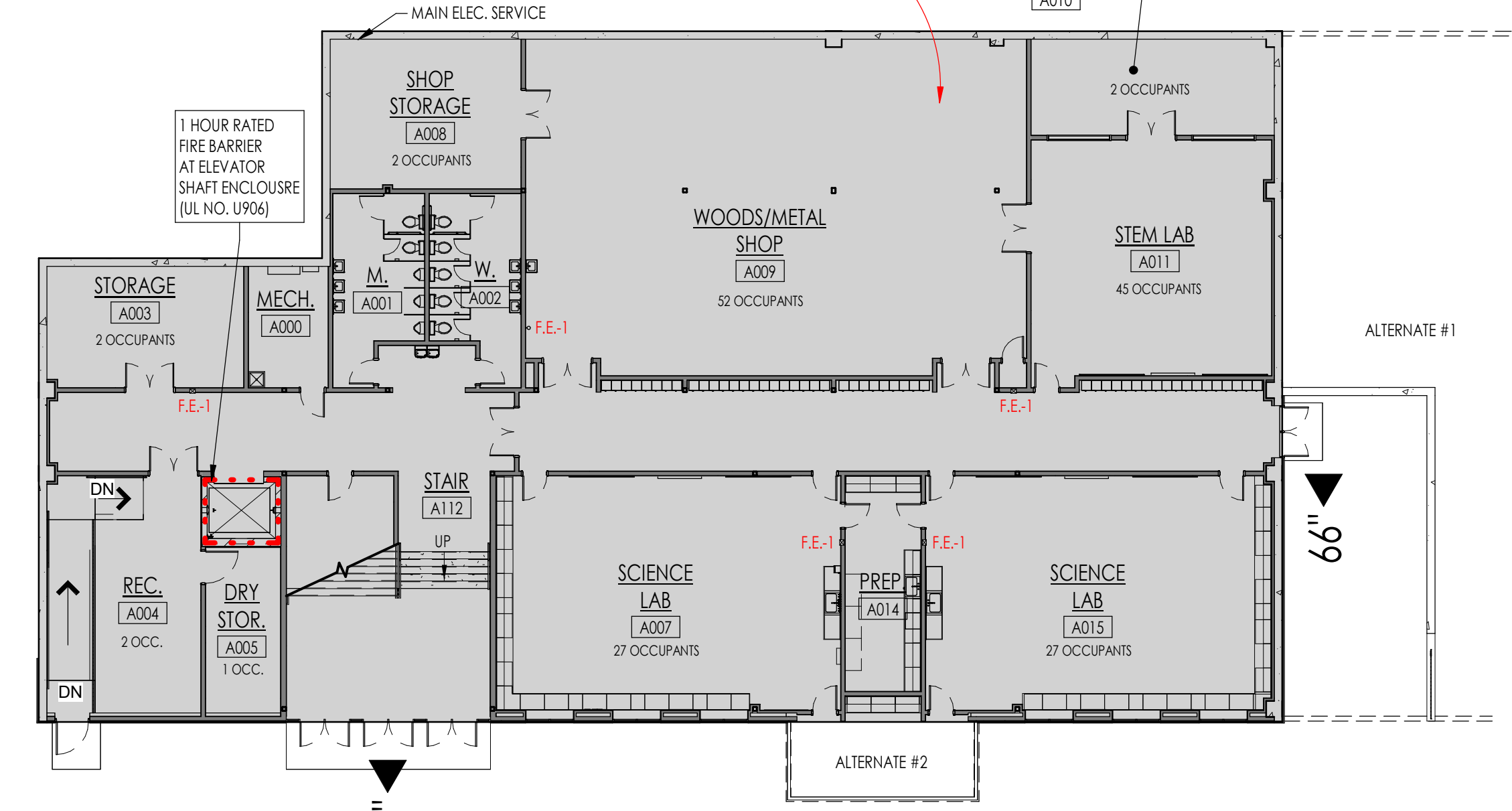


ACCESSORY MOUNTING HEIGHTS SCALE: 3/8" = 1'-0" (A 301)

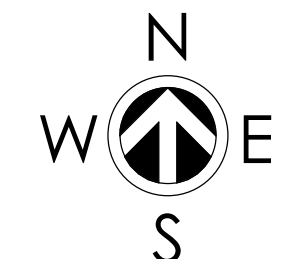
SHADED AREA DENOTES NEW ADDITION

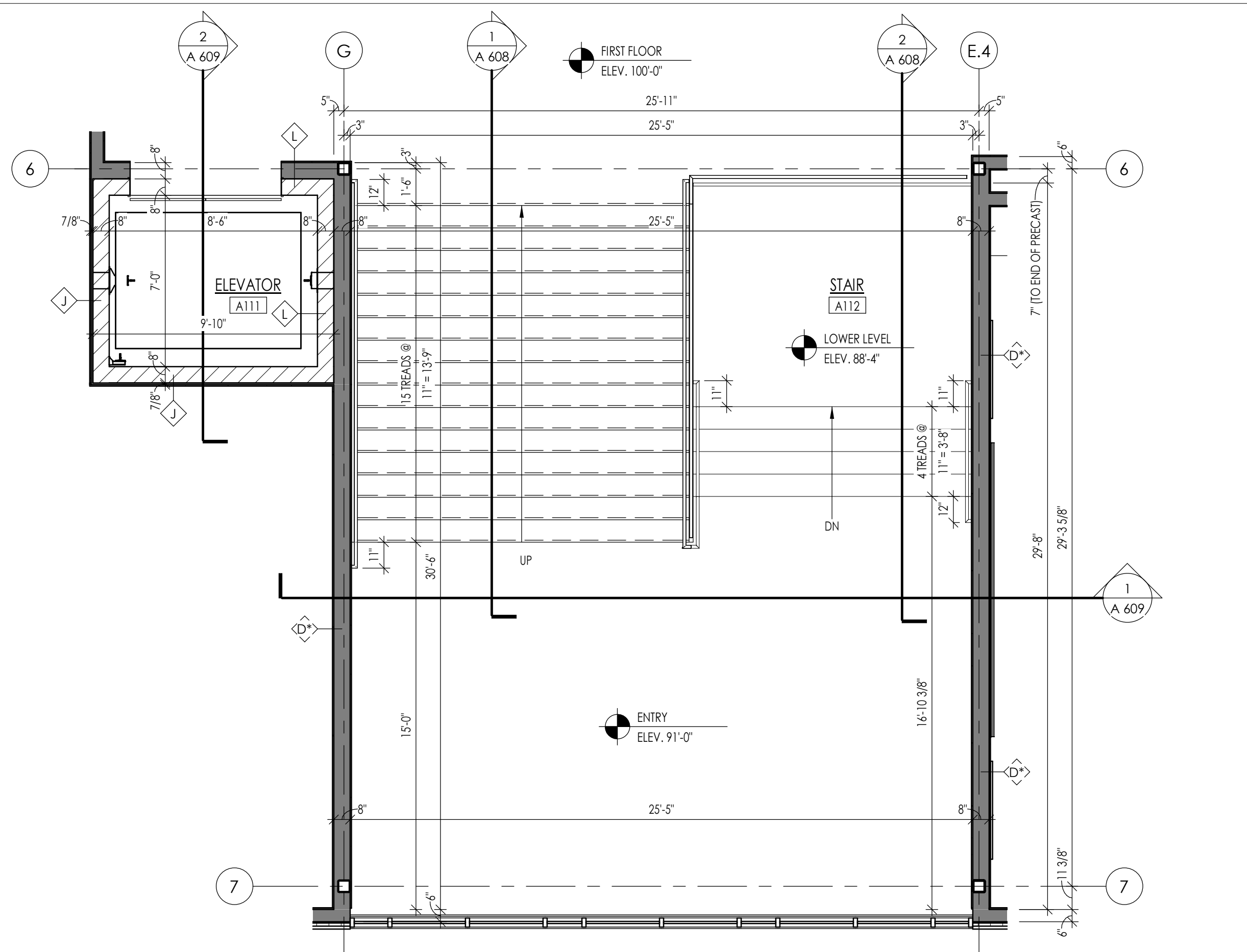


FIRST FLOOR LIFE SAFETY PLAN SCALE: 1/16" = 1'-0" (A 301)

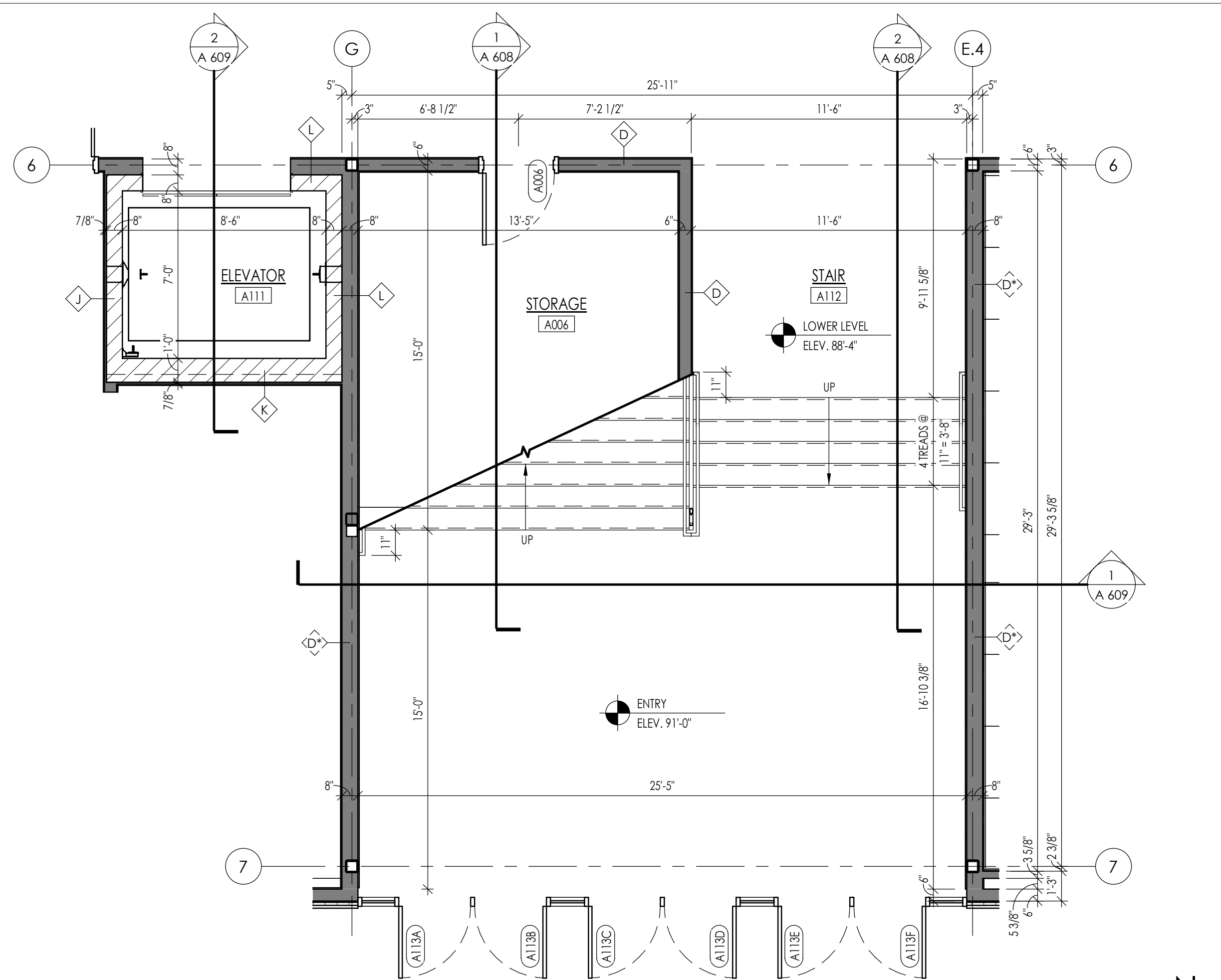


LOWER LEVEL LIFE SAFETY PLAN SCALE: 1/16" = 1'-0" (A 301)



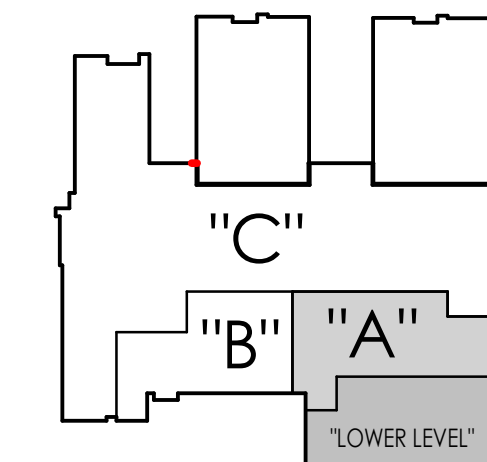


FIRST FLOOR STAIR PLAN
SCALE: 1/4" = 1'-0"



LOWER LEVEL STAIR PLAN
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION
1	INFILL WALL WITH SIMILAR MATERIALS TO EXISTING ADJACENT CONSTRUCTION - PROVIDE SMOOTH, SEAMLESS TRANSITION BETWEEN NEW & EXISTING CONSTRUCTION
2	EXACT LOCATION OF TRANSITION BETWEEN EXISTING AND NEW CONSTRUCTION TO BE DETERMINED IN FIELD.
3	NEW DRINKING FOUNTAIN WITH BOTTLE FILLER AT ACCESSIBLE HEIGHT
4	EXISTING ELECTRICAL PANEL
5	NEW LOCKERS - SEE DETAIL 2/A306
6	PAINT EXPOSED EXISTING/NEW STEEL COLUMN
7	EXISTING MASONRY PIER TO REMAIN - VERIFY EXTENTS IN FIELD
8	ALIGN FINISH FACE OF NEW & EXISTING CONSTRUCTION
9	ELECTRICIAN TO SUPPLY OUTLET BOX ABOVE EACH TABLE FOR DROPDOWN POWER CORD.
10	OWNER SUPPLIED REFRIGERATOR
11	COOLER & FREEZER TO BE SET 8" BELOW FIRST FLOOR ON TOP OF PRECAST PLANK IN HATCHED AREA - COORDINATE WITH PRODUCTION KITCHEN DRAWINGS AND OTHER TRADES AS NEEDED.
12	CONCRETE RETAINING WALL w/ PAINTED STEEL GUARDRAIL SYSTEM - SEE STRUCTURAL DRAWINGS
13	CONCRETE STOOP - SEE STRUCTURAL DRAWINGS
14	SCIENCE ISLANDS BASED OFF OF FLINN SCIENTIFIC CLASSROOM LAB STATIONS ITEM #AP6205
15	EXISTING RELOCATED STORAGE CABINETS
16	WALLS WITH PLUMBING FIXTURES TO RECEIVE VERTICAL TILE AS SHOWN. WALLS WITHOUT PLUMBING FIXTURES TO RECEIVE 4" HIGH HORIZONTAL TILE WAINSCOTTING (CT-1)
17	NEW TILE PATTERN TO START AND FOLLOW EXISTING TILE PATTERN AS SHOWN
18	FIBERGLASS FLOOR MOUNTED SLOP SINK. PROVIDE FIBERGLASS PANELS ON WALL BEHIND SINK.
19	INSTRUCTORS DEMONSTRATION TABLE BASED OFF OF FLINN SCIENTIFIC ITEM #AP6548
20	OWNER SUPPLIED WASHING MACHINE & DRYER
21	PLASTIC LAMINATE COUNTERTOP ON BRACKETS AT 2'-10" A.F.F.
24	RUN TILE AROUND CORNER TO FACE OF LOCKERS



AREA KEY

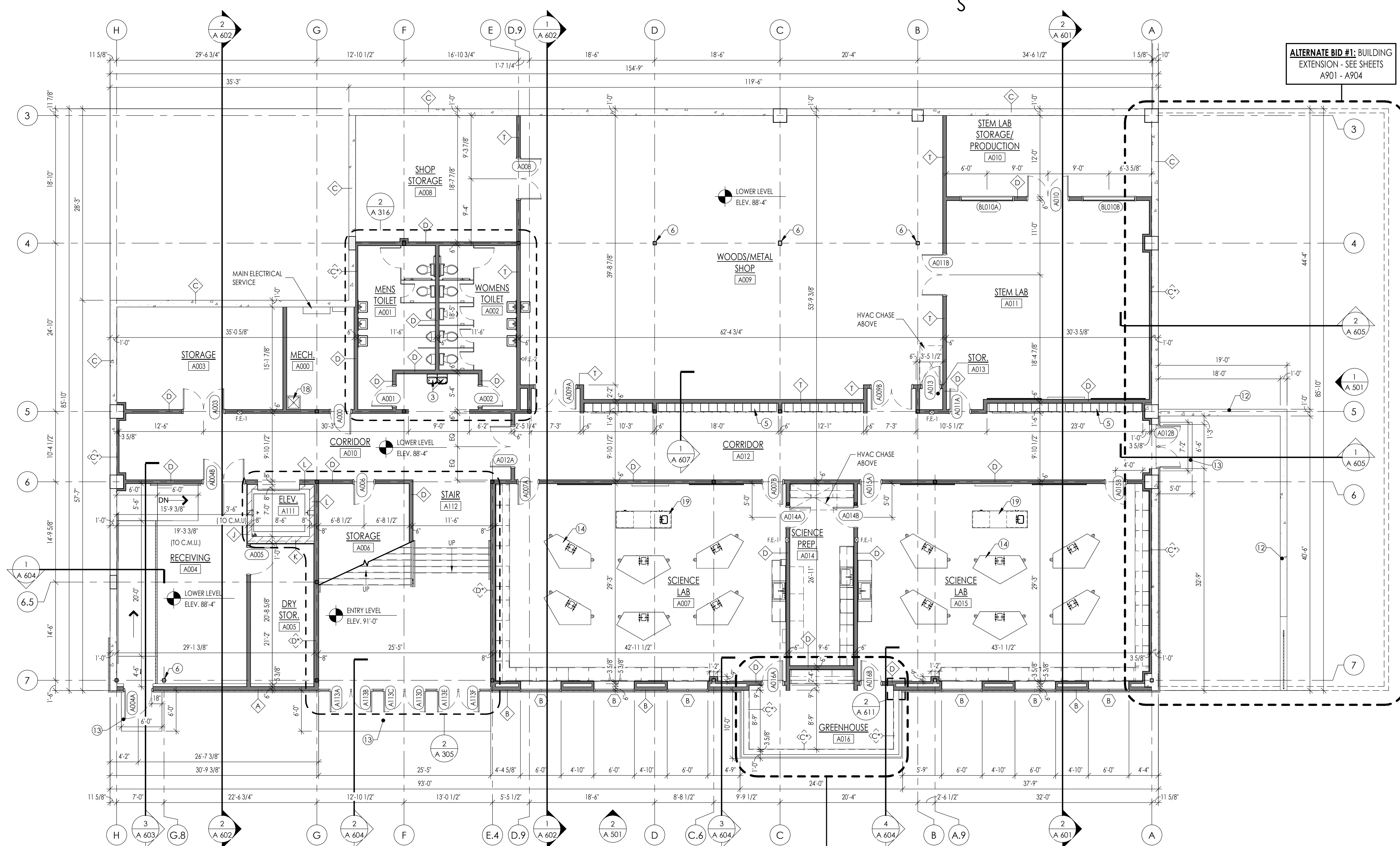
GENERAL PLAN NOTES

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- GENERAL CONTRACTOR VERIFY ALL FIELD CONDITIONS & DIMENSIONS.
- ALL DOORS IN STUD WALLS TO BE 6" FROM PERPENDICULAR WALL OPENINGS UNLESS OTHERWISE NOTED.
- ALL INSULATION SHOWN IN INTERIOR STUD WALLS TO BE MINERAL FIBER BATT INSULATION FOR SOUND.
- INSTALL MOISTURE RESISTANT GYPSUM DRYWALL IN TOILET ROOMS, WALL AREAS WITHIN 6 FEET OF SINKS, AND OTHER DAMP OR HIGH HUMIDITY AREAS.
- PROVIDE BRACING FOR ALL WALL SUPPORTED EQUIPMENT AND ACCESSORIES MOUNTED ON STUD WALLS - COORDINATE WITH OWNER.
- WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT INDIVIDUAL UNITS OF WORK AT ADA STANDARD MOUNTING HEIGHTS FOR THE PARTICULAR APPLICATION INDICATED (SEE DETAIL 3/A301).
- ALL COLUMN BOX-OUTS ARE WALL TYPE 'E' UNLESS OTHERWISE NOTED.
- ALL INTERIOR ELEVATION TAGS SHOWN ON FINISH PLANS.



REVISIONS:

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK, ON THEIR OWN WORK
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NOTE: BASE BID FOR ALTERNATE BID #2 (GREENHOUSE) OMIT GREENHOUSE CONSTRUCTION AND EXTEND EXTERIOR WALL THROUGH LOCATION WHERE GREENHOUSE IS SHOWN ON PLAN. OMIT GREENHOUSE CASWORK AND DOORS A016A & A016B. EXTEND ROOM #404 (SCIENCE PREP) 2'-4" SOUTH AND ADJUST LOCATION OF SCIENCE PREP CASWORK ACCORDINGLY.

ALTERNATE BID #2: GREENHOUSE

LOWER LEVEL FLOOR PLAN - AREA "A"
SCALE: 1/8" = 1'-0"

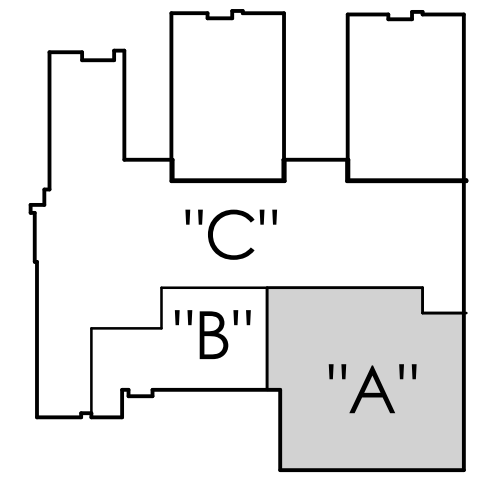
FEBRUARY 9, 2024
PHASE THREE
SHEBOYGAN CHRISTIAN SCHOOL
929 GREENFIELD AVE. SHEBOYGAN, WI 53081
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 (720) 452-4444 | 313N. PLANKINGTON AVE. SUITE 208, MILWAUKEE, WI 53203

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LOWER LEVEL FLOOR PLAN

A
305

PROJ. NO. 2023-96



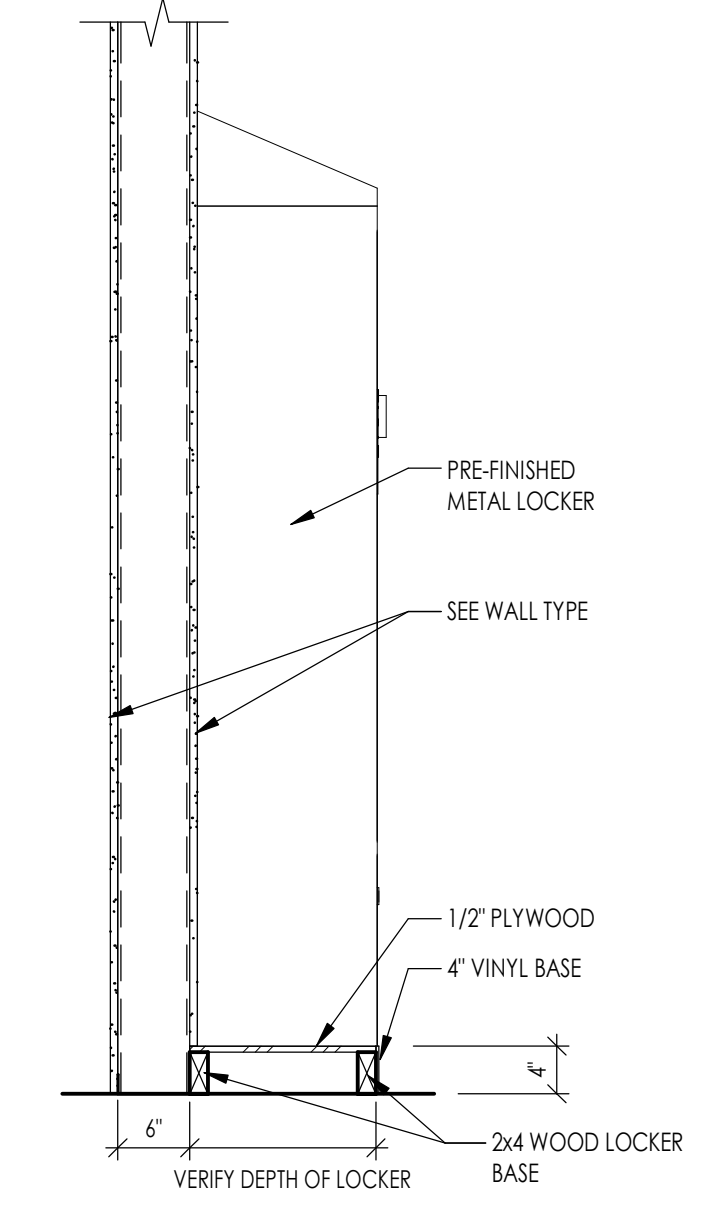
AREA KEY

GENERAL PLAN NOTES

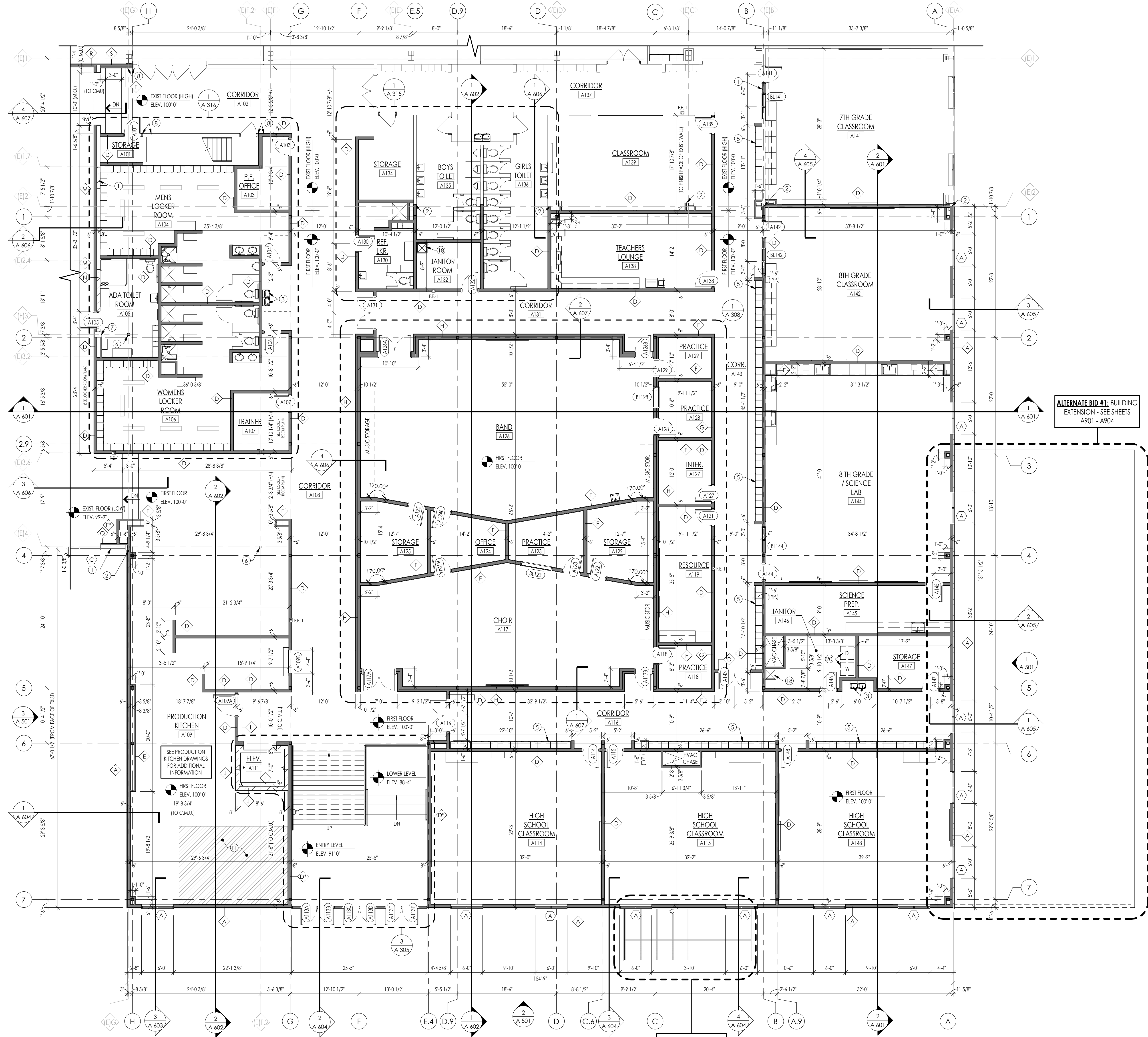
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- INSTALL MOISTURE RESISTANT GYPSUM DRYWALL IN TOILET ROOMS. WALL AREAS WITHIN 8 FEET OF SINKS, AND OTHER DAMP OR HIGH HUMIDITY AREAS.
- PROVIDE BRACKETS FOR ALL WALL SUPPORTED EQUIPMENT AND ACCESSORIES MOUNTED ON STUD WALLS. COORDINATE WITH OWNER.
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FLOOR PLAN KEYNOTES

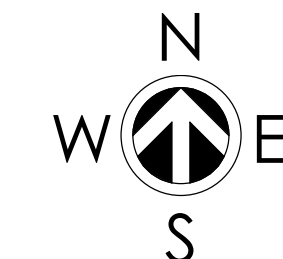
NO.	DESCRIPTION
1	INFILL WALL WITH SIMILAR MATERIALS TO EXISTING ADJACENT CONSTRUCTION - PROVIDE SMOOTH, SEAMLESS TRANSITION BETWEEN NEW & EXISTING CONSTRUCTION
2	EXACT LOCATION OF TRANSITION BETWEEN EXISTING AND NEW CONSTRUCTION TO BE DETERMINED IN FIELD.
3	NEW DRINKING FOUNTAIN WITH BOTTLE FILLER AT ACCESSIBLE HEIGHT
4	EXISTING ELECTRICAL PANEL
5	NEW LOCKERS - SEE DETAIL 2/A306
6	PAINT EXPOSED EXISTING/NEW STEEL COLUMN
7	EXISTING MASONRY PIER TO REMAIN - VERIFY EXTENTS IN FIELD
8	ALIGN FINISH FACE OF NEW & EXISTING CONSTRUCTION
9	ELECTRICIAN TO SUPPLY OUTLET BOX ABOVE EACH TABLE FOR DROPDOWN POWER CORD.
10	OWNER SUPPLIED REFRIGERATOR
11	COOLER & FREEZER TO BE SET 8" BELOW FIRST FLOOR ON TOP OF PRECAST PLANK IN HATCHED AREA - COORDINATE WITH PRODUCTION KITCHEN DRAWINGS AND OTHER TRADES AS NEEDED.
12	CONCRETE RETAINING WALL w/ PAINTED STEEL GUARDRAIL SYSTEM - SEE STRUCTURAL DRAWINGS
13	CONCRETE STOOP - SEE STRUCTURAL DRAWINGS
14	SCIENCE ISLANDS BASED OFF OF FLINN SCIENTIFIC CLASSROOM LAB STATIONS ITEM #AP6205
15	EXISTING RELOCATED STORAGE CABINETS
16	WALLS WITH PLUMBING FIXTURES TO RECEIVE VERTICAL TILE AS SHOWN. WALLS WITHOUT PLUMBING FIXTURES TO RECEIVE 4" HIGH HORIZONTAL TILE WAINSCOTTING (C1-1)
17	NEW TILE PATTERN TO START AND FOLLOW EXISTING TILE PATTERN AS SHOWN
18	FIBERGLASS FLOOR MOUNTED SLOP SINK. PROVIDE FIBERGLASS PANELS ON WALL BEHIND SINK
19	INSTRUCTOR DEMONSTRATION TABLE BASED OFF OF FLINN SCIENTIFIC ITEM #AP6548
20	OWNER SUPPLIED WASHING MACHINE & DRYER
21	PLASTIC LAMINATE COUNTERTOP ON BRACKETS AT 2'-10" A.F.F.
24	RUN TILE AROUND CORNER TO FACE OF LOCKERS



LOCKER WALL
DETAIL
SCALE: 3/4" = 1'-0" A 306



FIRST FLOOR PLAN - AREA "A"
SCALE: 1/8" = 1'-0" A 306



ALTERNATE BID #2:
GREENHOUSE (BELOW)

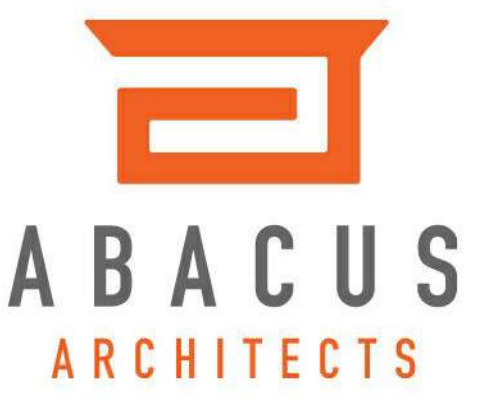
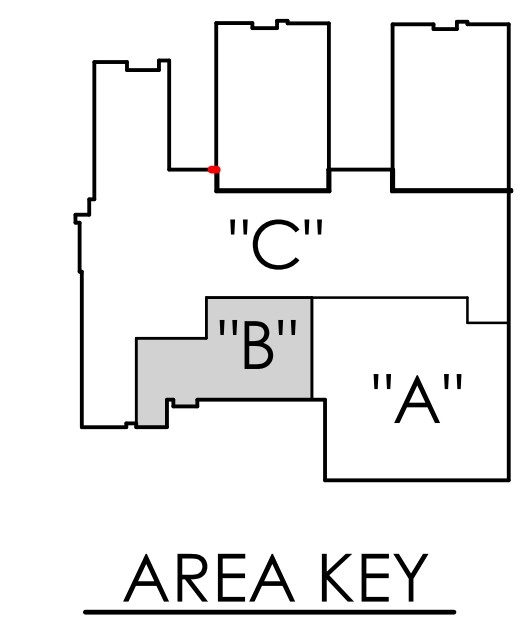
ALTERNATE BID #1: BUILDING
EXTENSION - SEE SHEETS
A901 - A904

FLOOR PLAN KEYNOTES

NO.	DESCRIPTION
1	INFILL WALL WITH SIMILAR MATERIALS TO EXISTING ADJACENT CONSTRUCTION - PROVIDE SMOOTH, SEAMLESS TRANSITION BETWEEN NEW & EXISTING CONSTRUCTION
2	EXACT LOCATION OF TRANSITION BETWEEN EXISTING AND NEW CONSTRUCTION TO BE DETERMINED IN FIELD.
3	NEW DRINKING FOUNTAIN WITH BOTTLE FILLER AT ACCESSIBLE HEIGHT
4	EXISTING ELECTRICAL PANEL
5	NEW LOCKERS - SEE DETAIL Z/A306
6	PAINT EXPOSED EXISTING/NEW STEEL COLUMN
7	EXISTING MASONRY PIER TO REMAIN - VERIFY EXTENTS IN FIELD
8	ALIGN FINISH FACE OF NEW & EXISTING CONSTRUCTION
9	ELECTRICIAN TO SUPPLY OUTLET BOX ABOVE EACH TABLE FOR DROPDOWN POWER CORD.
10	OWNER SUPPLIED REFRIGERATOR
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13	CONCRETE STOOP - SEE STRUCTURAL DRAWINGS
14	SCIENCE ISLANDS BASED OFF OF FLINN SCIENTIFIC CLASSROOM LAB STATIONS ITEM #AP6205
15	EXISTING RELOCATED STORAGE CABINETS
16	WALLS WITH PLUMBING FIXTURES TO RECEIVE VERTICAL TILE AS SHOWN, WALLS WITHOUT PLUMBING FIXTURES TO RECEIVE 4" HIGH HORIZONTAL TILE WAINSCOTTING (CT-1)
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24	RUN TILE AROUND CORNER TO FACE OF LOCKERS

GENERAL PLAN NOTES

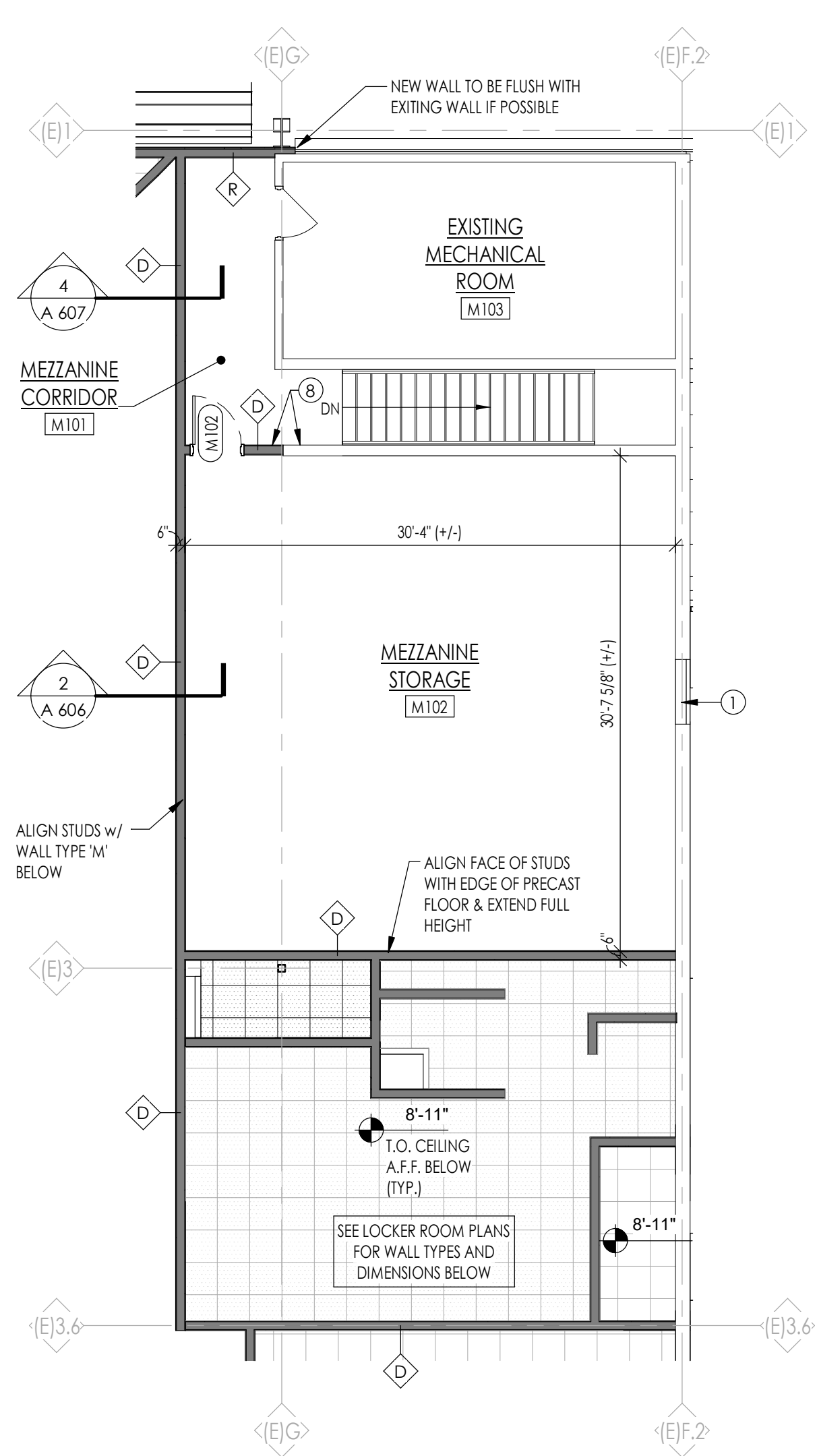
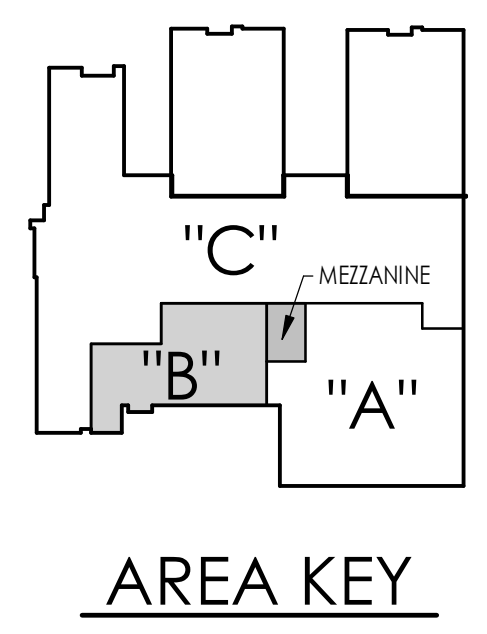
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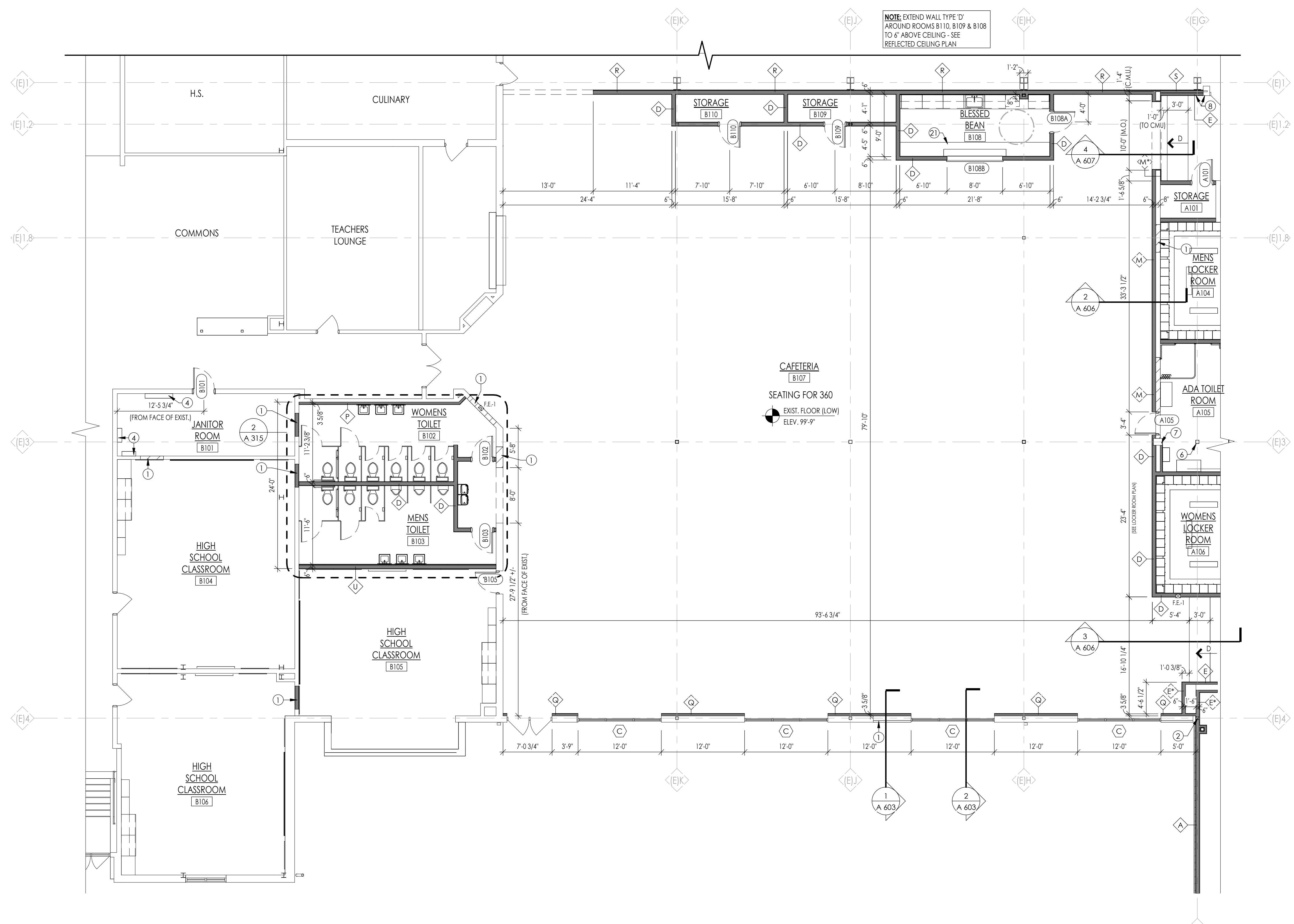
REVISIONS:

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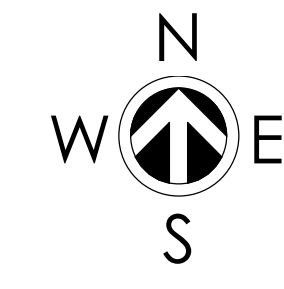
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MEZZANINE PLAN
 SCALE: 1/8" = 1'-0"
 2 A 307



FIRST FLOOR PLAN - AREA "B"
 SCALE: 1/8" = 1'-0"
 1 A 307



FEBRUARY 9, 2024
 PHASE THREE
SHEBOYGAN CHRISTIAN SCHOOL
 929 GREENFIELD AVE. SHEBOYGAN, WI 53081
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 (P) 432-4444 | 3131 N. PLANKINGTON AVE. SUITE 208, MILWAUKEE, WI 53203

DRAWN BY: DG/SLL
 CHECKED BY: PGM

FIRST FLOOR PLAN - AREA "B"

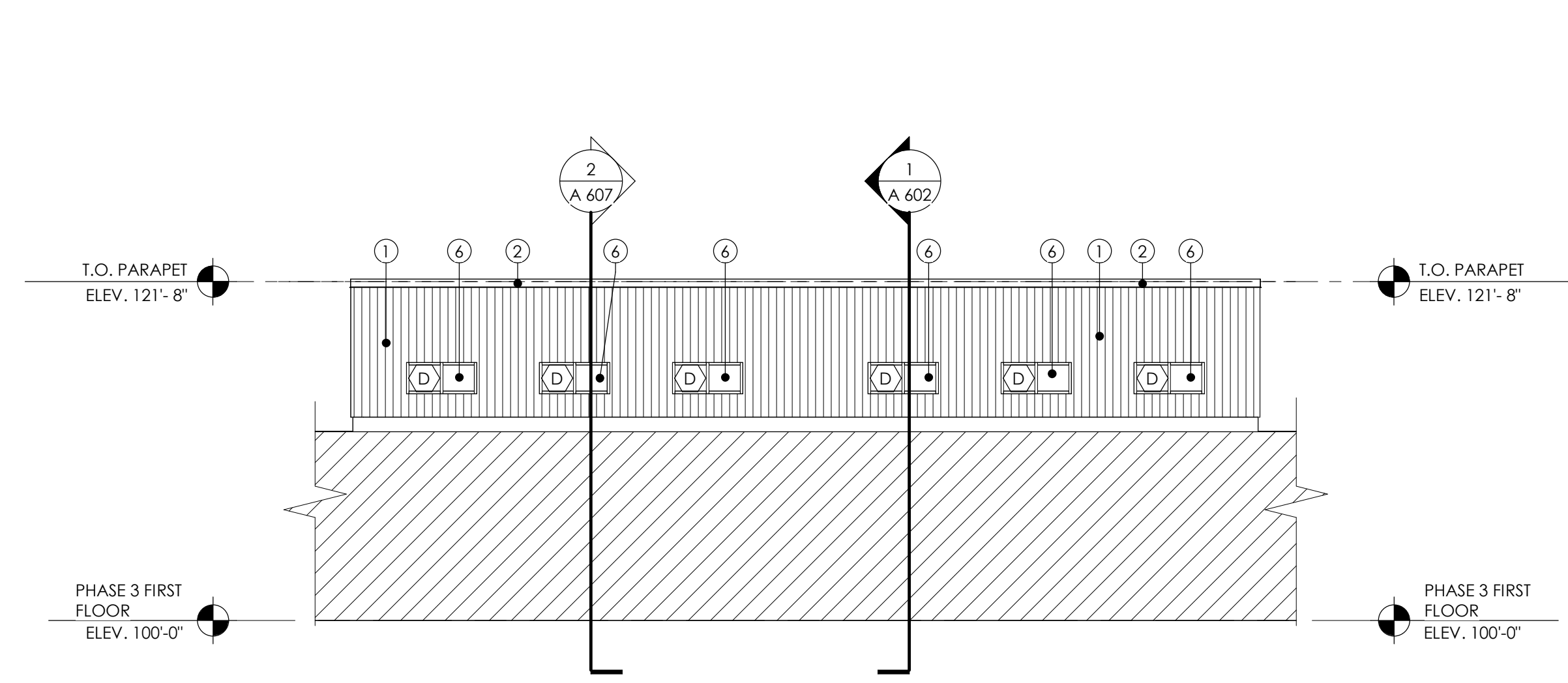
A
307

PROJ. NO. 2023-96

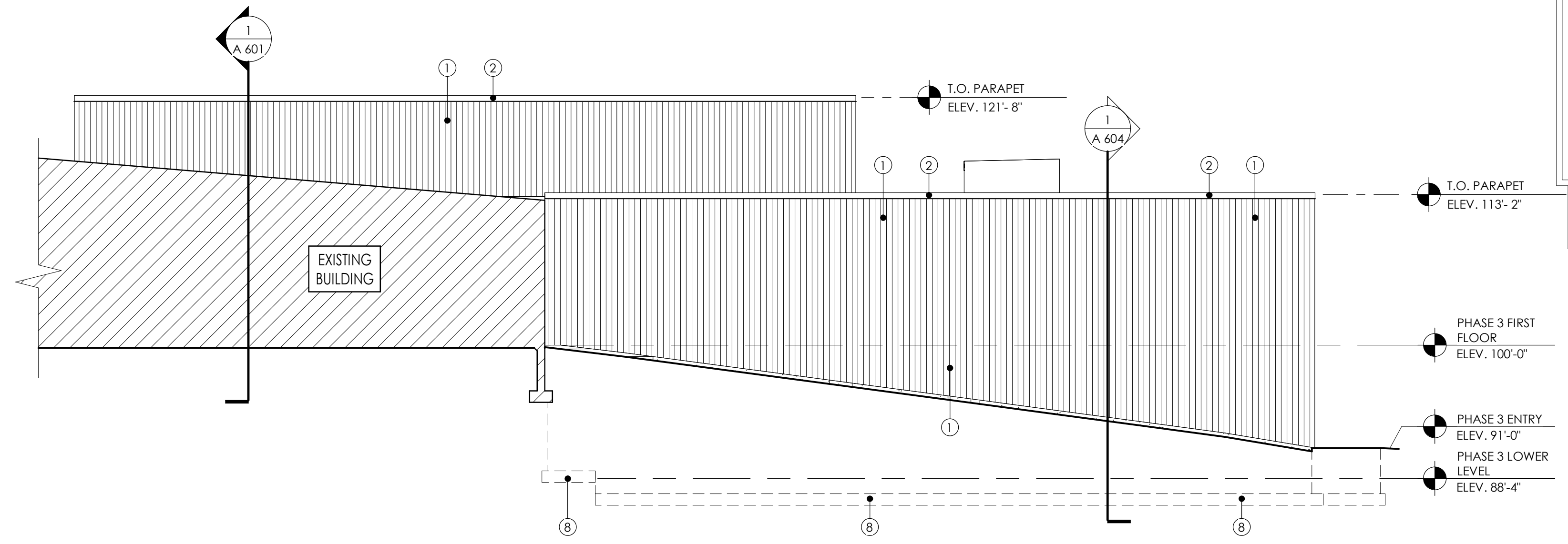
ELEVATION KEYNOTES	
NO.	DESCRIPTION
1	VERTICAL METAL WALL PANEL
2	PRE-FINISHED METAL COPING
3	INSULATED HOLLOW METAL DOOR & FRAME
4	EXISTING BUILDING
5	ALUMINUM STOREFRONT ENTRANCE DOOR AND FRAME
6	ALUMINUM STOREFRONT WINDOW ASSEMBLY
7	INFILL EXISTING METAL WALL PANEL (MATCH EXISTING)
8	FOUNDATION & FOOTING - SEE STRUCTURAL DRAWINGS
9	RETAINING WALL WITH PAINTED STEEL GUARDRAIL - SEE STRUCTURAL DRAWINGS
10	PRE-FABRICATED GREENHOUSE FRAME AND GLAZING - ALTERNATE #2

GENERAL EXTERIOR ELEVATION NOTES

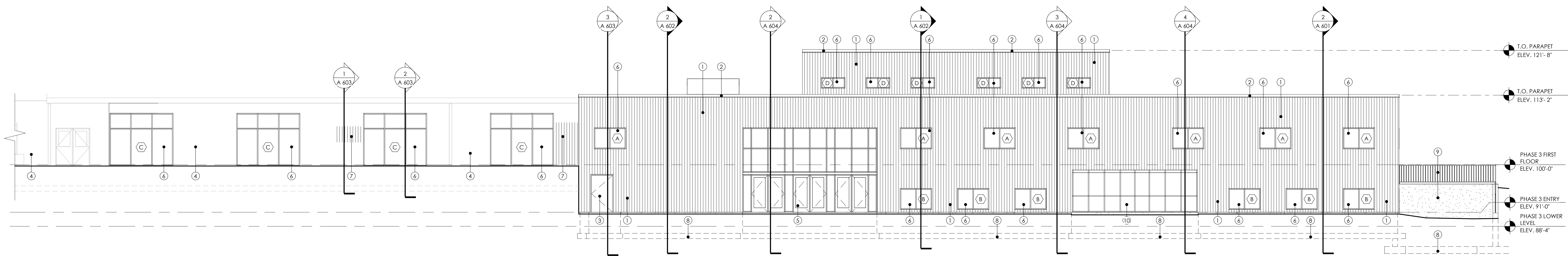
- ALL EXPOSED MISC. EXTERIOR STEEL SHALL BE PAINTED WITH PAINT FINISH E-1.
- MASONRY CONTROL JOINTS SHALL BE LOCATED AT ALL MASONRY HEIGHT CHANGES, WINDOW OPENINGS, DOOR OPENINGS, 5' MAX. FROM BUILDING CORNERS, AND 25' MAX. AT CONTINUOUS WALL LOCATIONS.



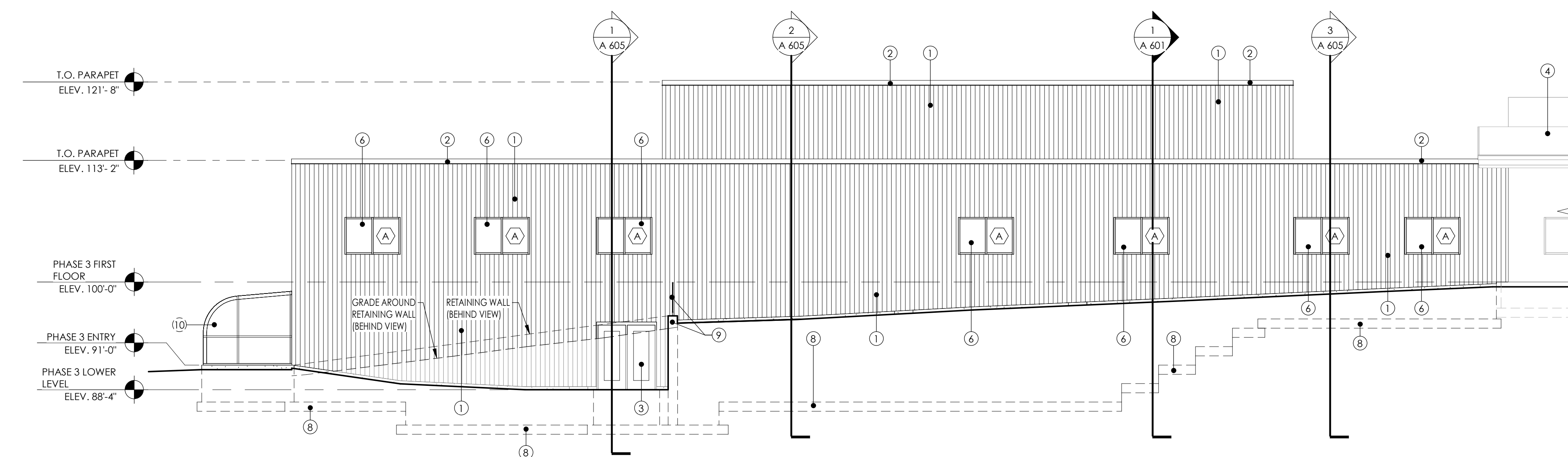
NORTH ELEVATION 4
 SCALE: 1/8" = 1'-0" A 501



WEST ELEVATION 3
 SCALE: 1/8" = 1'-0" A 501



SOUTH ELEVATION 2
 SCALE: 1/8" = 1'-0" A 501



EAST ELEVATION 1
 SCALE: 1/8" = 1'-0" A 501

FEBRUARY 9, 2024
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EXTERIOR ELEVATIONS

A
501

PROJ. NO. 2023-96

NOTE: ALL VERTICAL METAL PANEL SIDING AT BUILDING ADDITION WILL MATCH THE SIDING ON THE EXISTING ADJACENT BUILDING SHOWN IN THE IMAGES BELOW



REVISIONS:

△ DATE ISSUE

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ISSUE DATE: FEBRUARY 9, 2024
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1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 920.462.4444 | 640 VEIL E. PHILIPS AVE. SUITE 210, MILWAUKEE, WI 53203

DRAWN BY: Author

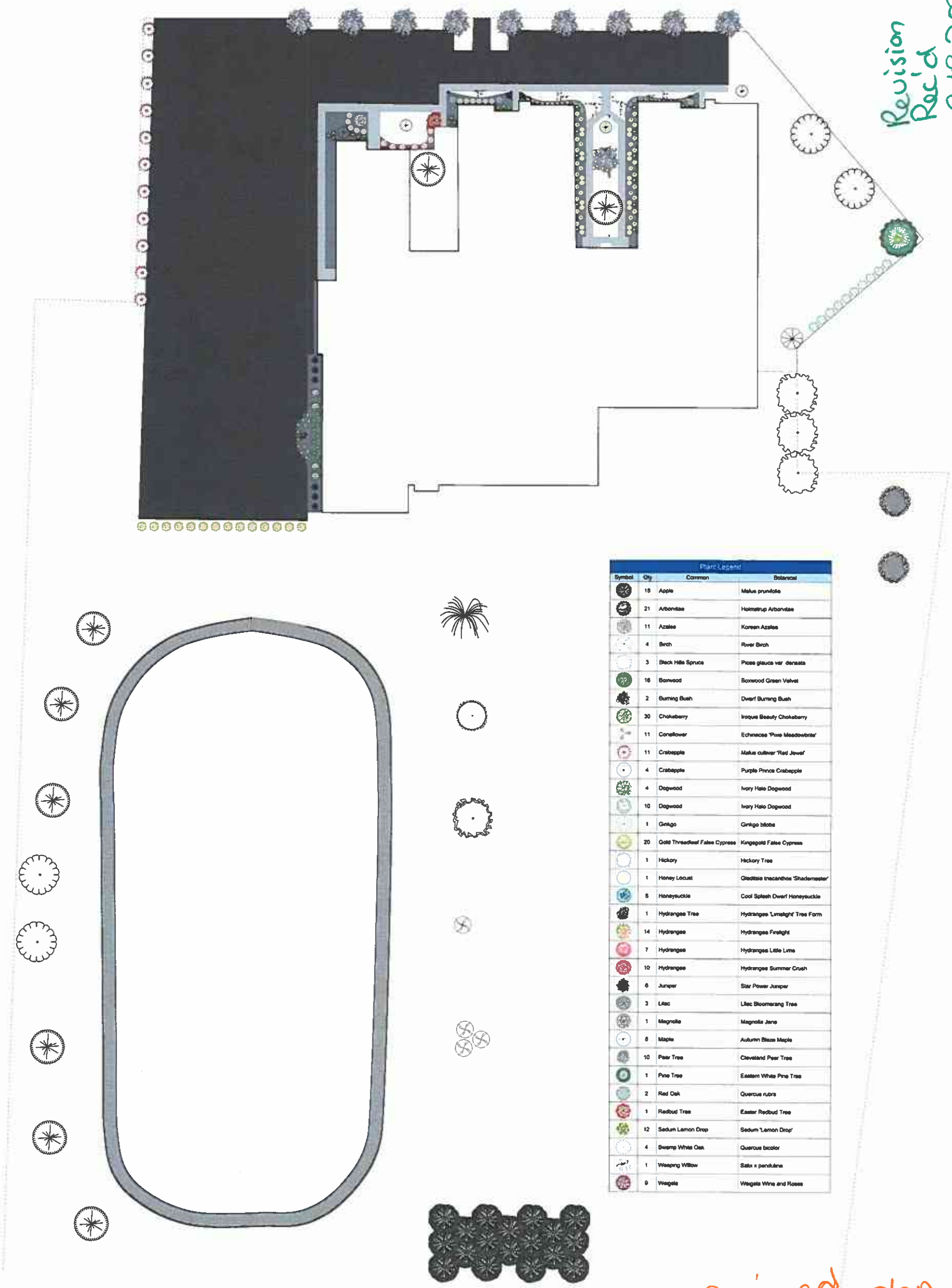
CHECKED BY: Checker

EXTERIOR PHOTOS

M1

PROJ. NO. 2023-96

LANDSCAPE PLAN



Revision
Rec'd
8-18-2021
jmc

Plant Legend			
Symbol	Qty	Common	Botanical
[Symbol]	18	Apple	Malus prunifolia
[Symbol]	21	Arborvitae	Hormosira Arborvitae
[Symbol]	11	Azalea	Korean Azalea
[Symbol]	4	Birch	River Birch
[Symbol]	3	Black Hills Spruce	Picea glauca var. densata
[Symbol]	18	Borwood	Borwood Green Velvet
[Symbol]	2	Burning Bush	Dwarf Burning Bush
[Symbol]	30	Chokeberry	Iroquo Beauty Chokeberry
[Symbol]	11	Cornflower	Echinacea 'Pure Meadowbrite'
[Symbol]	11	Crabapple	Malus cultivar 'Red Jewel'
[Symbol]	4	Crabapple	Purple Prince Crabapple
[Symbol]	4	Dogwood	Ivory Halo Dogwood
[Symbol]	10	Dogwood	Ivory Halo Dogwood
[Symbol]	1	Ginkgo	Ginkgo biloba
[Symbol]	20	Gold Threadleaf False Cypress	Kinggold False Cypress
[Symbol]	1	Hickory	Hickory Tree
[Symbol]	1	Honey Locust	Gleditsia inaequalis 'Shademaster'
[Symbol]	8	Honeysuckle	Cool Splash Dwarf Honeysuckle
[Symbol]	1	Hydrangea Tree	Hydrangea 'Lunelight' Tree Form
[Symbol]	14	Hydrangea	Hydrangea 'Fragrant'
[Symbol]	7	Hydrangea	Hydrangea Little Lime
[Symbol]	10	Hydrangea	Hydrangea Summer Crush
[Symbol]	6	Juniper	Star Power Juniper
[Symbol]	3	Lilac	Lilac Blooming Tree
[Symbol]	1	Magnolia	Magnolia Jane
[Symbol]	8	Maple	Autumn Blaze Maple
[Symbol]	10	Pear Tree	Cleveland Pear Tree
[Symbol]	1	Pine Tree	Eastern White Pine Tree
[Symbol]	2	Red Oak	Quercus rubra
[Symbol]	1	Redbud Tree	Easter Redbud Tree
[Symbol]	12	Sedum Lemon Drop	Sedum 'Lemon Drop'
[Symbol]	4	Swamp White Oak	Quercus bicolor
[Symbol]	1	Weeping Willow	Salix x pendulina
[Symbol]	9	Weigela	Weigela Wine and Roses

Designed by:
**Texture
Not Found**

Designer:
Jeremy Jensema
920-917-0673
proflandscapejj@gmail.com
proflandscape.com

Designed For:
Sheboygan Christian
School

Revised
Landscape Plan
Approved w/
Conditions
8-20-2021
jmc