

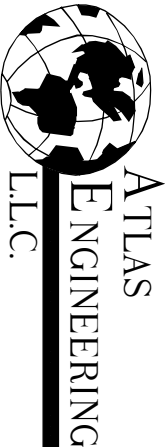
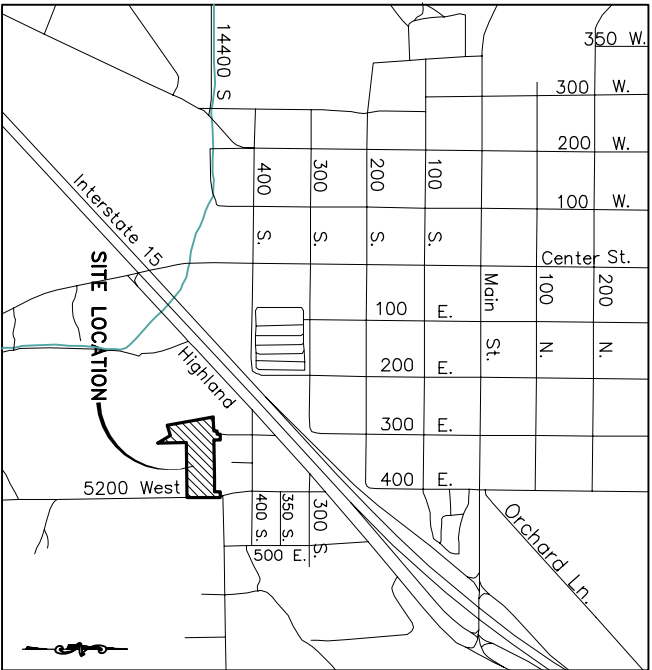
FALCON RIDGE
A RESIDENTIAL SUBDIVISION
SANTAQUIN, UTAH COUNTY, UTAH
FINAL PLAN SET
MAY 2021

SHEET

-SHEET INDEX-
SHEET NAME

1	COVER & INDEX
2	FINAL PLAT
3	UTILITY PLAN
4	EXISTING TOPOGRAPHY
5	GRADING PLAN
6	RECORD OF SURVEY (BY OTHERS)
PP-01	300 EAST – STREET PLAN & PROFILE – STA. 11+00 TO STA. 15+25.99
PP-02	500 SOUTH – STREET PLAN & PROFILE – STA. 10+00 TO STA. 13+00
PP-03	500 SOUTH – STREET PLAN & PROFILE – STA. 13+00 TO STA. 16+43.21
PP-04	400 EAST – STREET PLAN & PROFILE – STA. 10+00 TO STA. 13+74.18
DT-01	DETAIL SHEET

LEGEND	
LEGEND APPLIES TO ALL SHEETS	
	SECTION CORNER
	EXISTING VALVE
	EXISTING POWER POLE
	PROPOSED STREET LIGHT
	PROPOSED FIRE HYDRANT
	EXISTING SIGN
	EXISTING STREET SIGN
	PROPERTY BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY LINE
	LOT LINE
	SECTION LINE
	BUILDING SETBACK
	EASEMENT
	EXISTING DEED LINE
	EDGE OF PAVEMENT
	EXISTING OVER HEAD POWER
	EXISTING GAS
	EXISTING FENCE LINE
	EXISTING DITCH
	EXISTING SANITARY SEWER W/MANHOLE
	PROPOSED IRRIGATION LINE
	EXISTING CULINARY WATERLINE
	EXISTING PRESSURIZED IRRIGATION
	PROPOSED CULINARY WATERLINE
	PROPOSED PRESSURIZED IRRIGATION
	PROPOSED SEWER LINE



PHONE: 801-655-0566
FAX: 801-655-0109
946 E. 800 N. STE A
SPANISH FORK, UT 84660



DATA TABLE:
ZONING CLASSIFICATION= R-10
OF LOTS= 19
TOTAL ACREAGE= 6.46
LOT ACREAGE= 4.76
ROW ACREAGE= 1.70
LOTS/ACRE= 2.94

NOTE TO DEVELOPERS AND GENERAL CONTRACTORS:
IT IS IMPORTANT FOR THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THE DEVELOPMENT PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

ENGINEER CONTACT INFO:
ATLAS ENGINEERING
PHONE: 801-655-0566
FAX: 801-655-0109
946 E. 800 N. SUITE A
SPANISH FORK, UT 84606

OWNER/DEVELOPER
PILOT PEAK INVESTMENTS,
JOHN SMILEY
KEVIN OLSON
SPANISH FORK, UTAH
801-372-3597

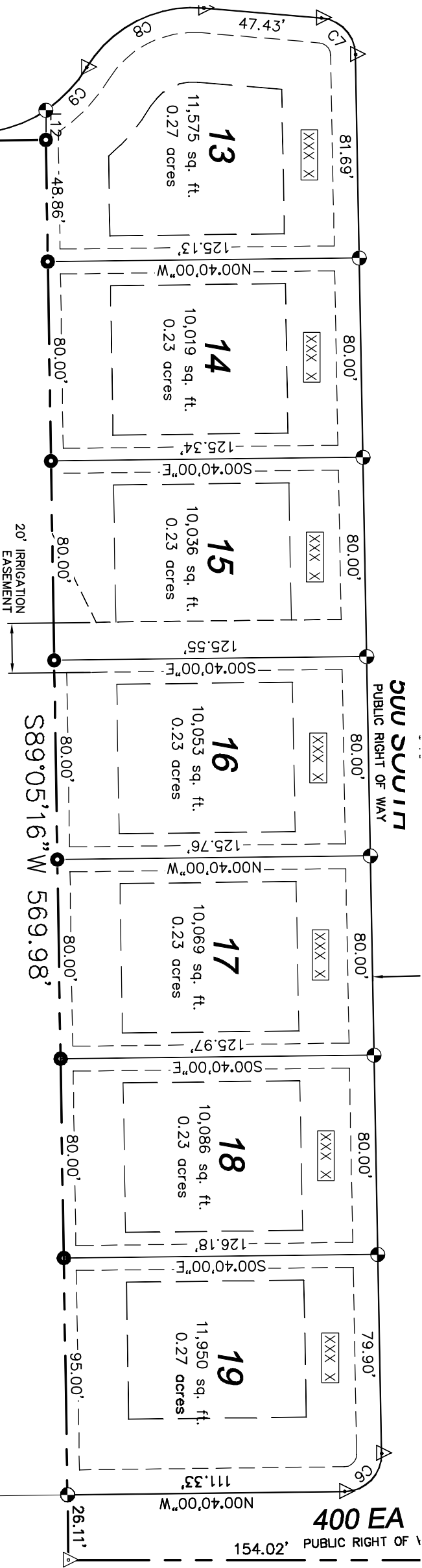
- PROPERTY BOUNDARY
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- EASEMENT
- CENTERLINE

PROPOSED LOT NUMBERS

XXX X.

ADDRESSES

N:
RTH 1/4 CORNER OF SECTION 12,
RANGE 1 EAST, SALT LAKE BASE AND
JTH 346.21 FEET TO THE NORTH LINE OF
BDIVISION; THENCE ALONG THE BOUNDARY



LINE TABLE	
LINE	BEARING
L1	N 01°12'37" W
L2	N 87°08'22" E
L3	N 00°00'00" E
L4	N 02°04'00" W
L5	N 04°52'14" E
L6	S 88°00'44" E
L7	S 00°00'00" E
L8	S 00°40'00" E
L9	S 00°40'00" E
L10	S 89°22'15" W
L11	S 89°22'15" W
L12	EAST

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD DIST.	CHORD BRG.
C1	1000.00	95.99	95.95	N 02°07'14" E
C2	1000.00	50.31	50.31	S 03°25'45" W
C3	306.59	128.11	127.18	N 12°38'14" W
C4	278.59	66.95	66.79	N 07°33'04" W
C5	15.00	23.46	21.14	N 44°08'07" E
C6	15.00	23.67	21.29	N 45°51'53" W
C7	15.00	22.01	20.09	S 46°54'14" W
C8	50.00	55.58	52.76	S 26°58'25" E
C9	55.00	23.93	23.74	N 46°21'15" W
C10	55.00	140.68	105.35	N 39°23'16" E
C11	55.00	60.11	57.16	S 36°01'34" E
C12	55.01	6.44	6.43	S 01°21'56" E
C13	1027.50	29.28	29.28	S 02°48'16" W
C14	1027.50	22.41	22.41	S 04°14'44" W
C15	972.50	44.70	44.70	N 03°33'13" E
C16	972.50	48.65	48.64	N 00°48'14" E
C17	1027.50	60.36	60.35	N 01°03'13" E
C18	15.00	24.56	21.90	S 44°09'47" E

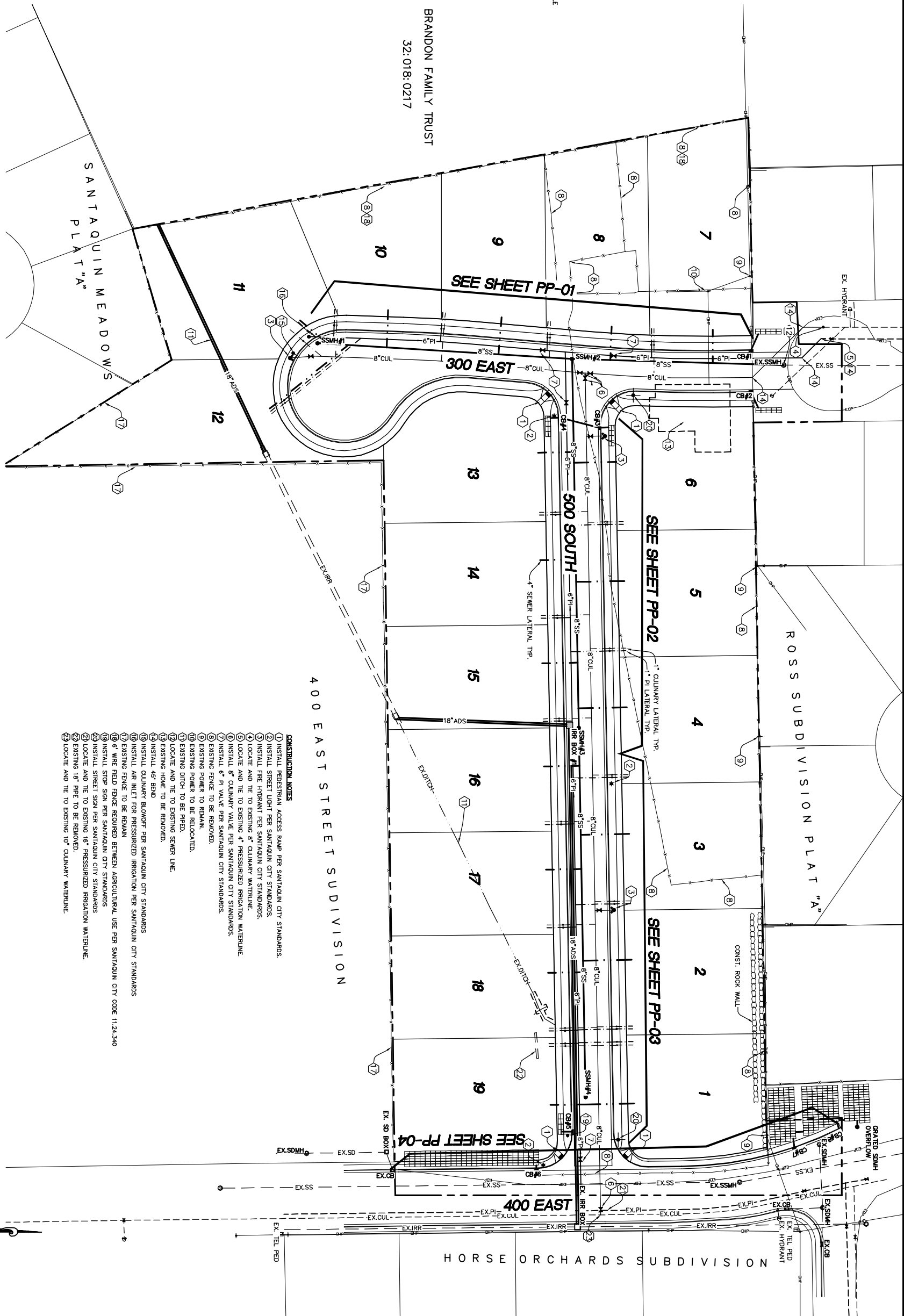
LEGEND

- FOUND BRASS CAP
- SET 5/8" IRON PIN
- CALCULATED POINT, NOT SET
- SET CURB PIN

1

LEGEND APPLIES TO ALL SHEETS

- | SYMBOL | DESCRIPTION |
|--------|-----------------------------------|
| | SECTION CORNER |
| | EXISTING VALVE |
| | EXISTING POWER POLE |
| | PROPOSED STREET LIGHT |
| | PROPOSED FIRE HYDRANT |
| | EXISTING SIGN |
| | EXISTING STREET SIGN |
| | PROPERTY BOUNDARY |
| | CENTERLINE |
| | RIGHT-OF-WAY LINE |
| | LOT LINE |
| | SECTION LINE |
| | BUILDING SETBACK |
| | EASEMENT |
| | EXISTING DEED LINE |
| | EDGE OF PAVEMENT |
| | EXISTING OVER HEAD POWER |
| | EXISTING GAS |
| | EXISTING FENCE LINE |
| | EXISTING DITCH |
| | EXISTING SANITARY SEWER W/MANHOLE |
| | PROPOSED IRRIGATION LINE |
| | EXISTING CULINARY WATERLINE |
| | EXISTING PRESSURIZED IRRIGATION |
| | PROPOSED CULINARY WATERLINE |
| | PROPOSED PRESSURIZED IRRIGATION |
| | PROPOSED SEWER LINE |



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01	2021-01-005 Falcon Ridge\CARD\FINAL\03-LITLITY PLAN.dwg			5/27/2021



FALCON RIDGE

ATLAS

ENGINEERING

L.L.C.

OWNER/
JIMMY D.
WOODLA
801-836-8888

PHONE: 801-836-8888
FAX: 801-836-8888
946 E 800 N
SPANISH VALLEY, UT 84081

OWNER/DEVELOPER
JIMMY DEGRAFFENREID
WOODLAND HILLS, UTAH
801-830-5490

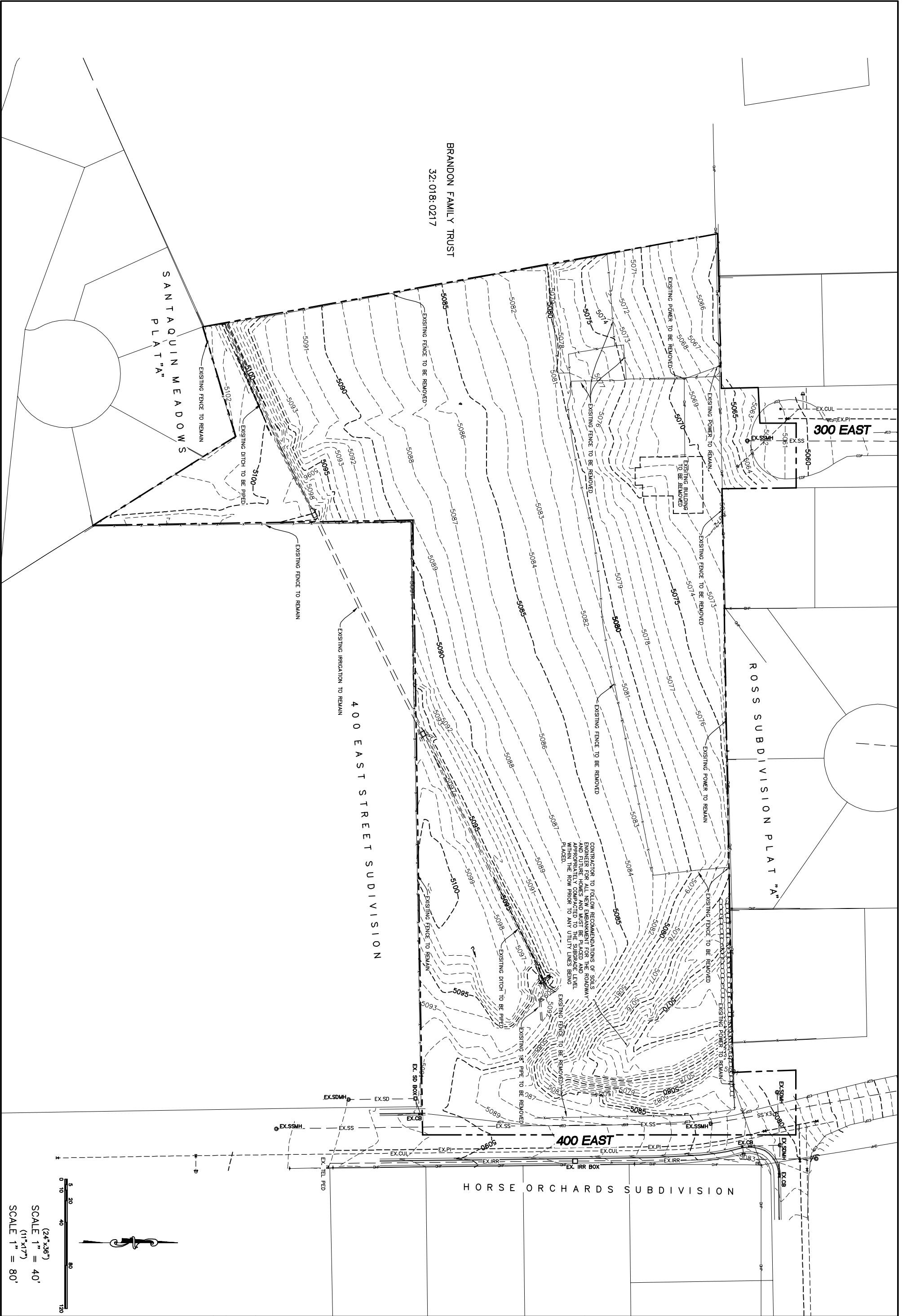
PHONE: 801-655-0566
FAX: 801-655-0109
946 E 800 N STE A
SPANISH FORK, UT 84660

UTILITY PLAN

SANTAQUIN CITY, UTAH

SHEET NO.

3



NO.	REVISIONS	BY	DATE
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FALCON RIDGE

ATLAS

ENGINEERING

L.L.C.

OWNER/DEVELOPER

JIMMY DEGRAFFENREID

WOODLAND HILLS, UTAH

801-830-5490

PHONE: 801-655-0566

FAX: 801-655-0109

946 E 800 N STE A

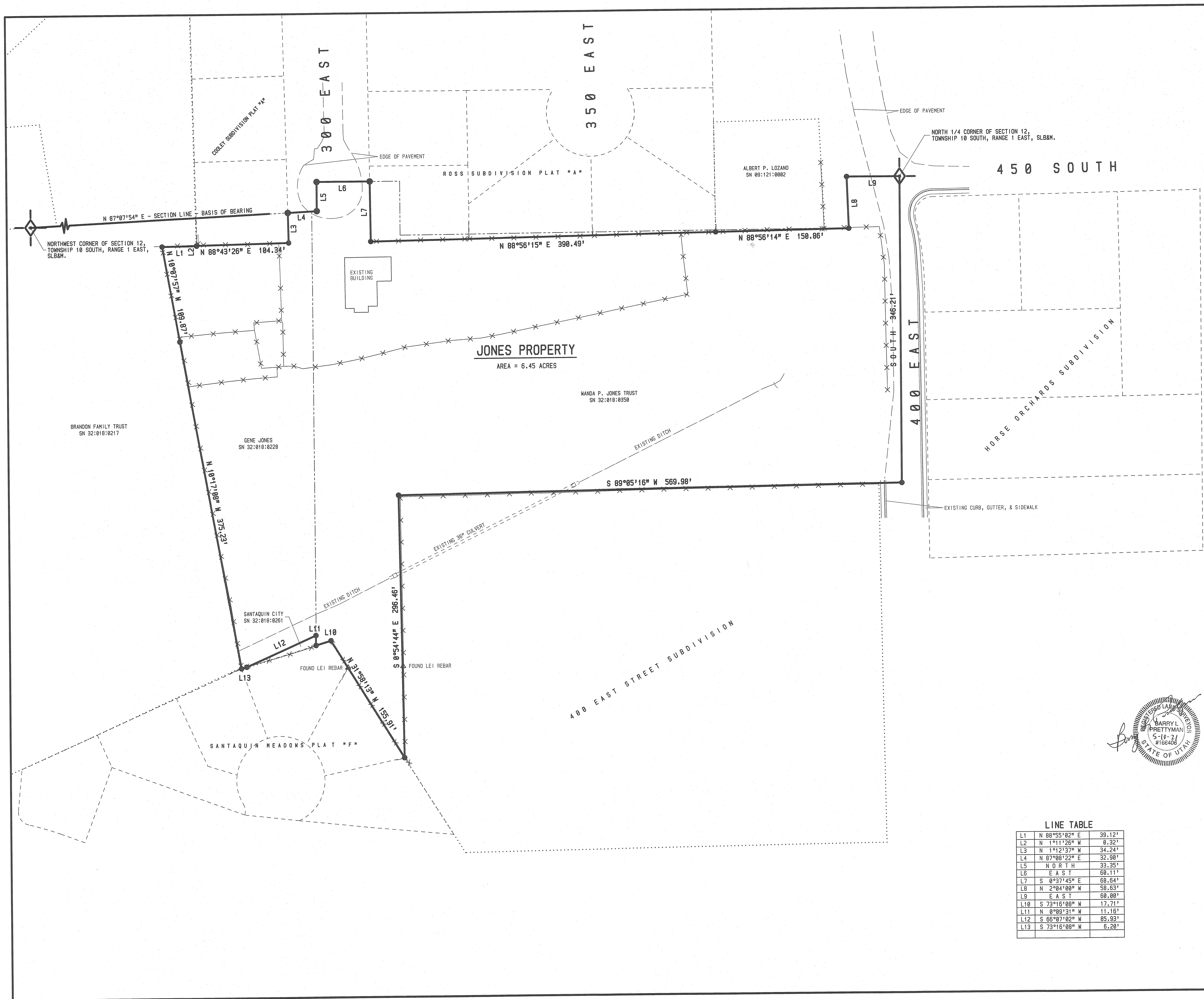
SPANISH FORK, UT 84660

EXISTING TOPOGRAPHY

SANTAQUIN CITY, UTAH

SHEET NO.

4



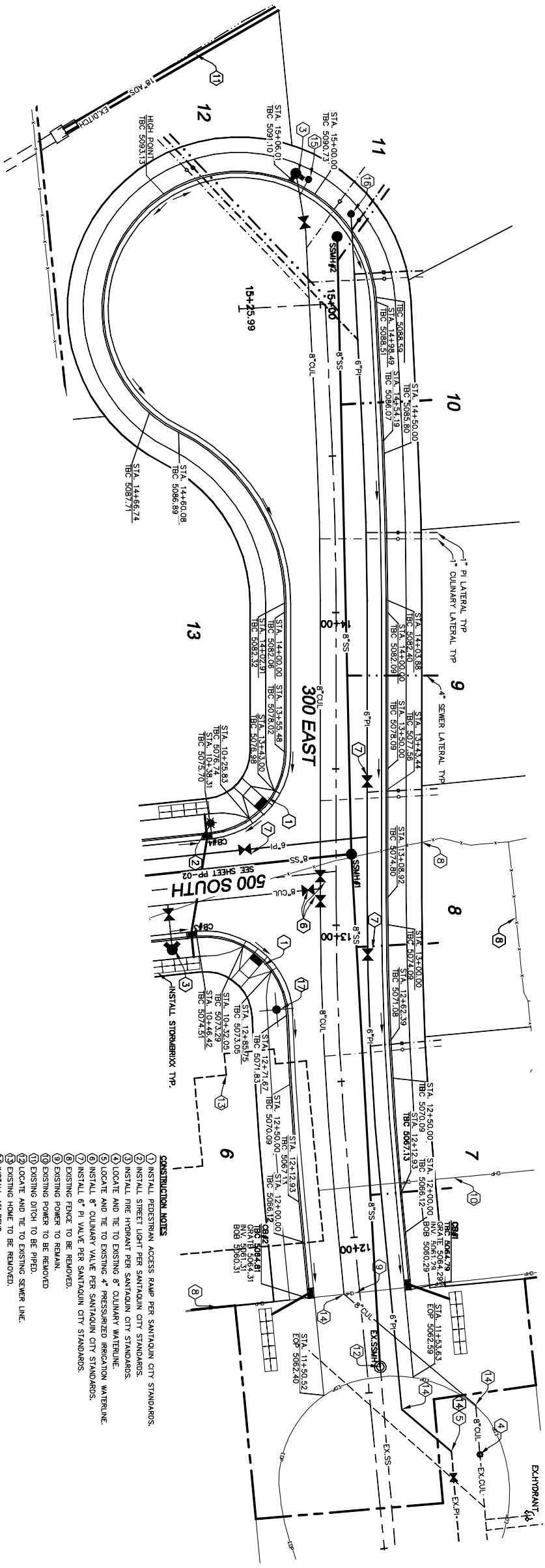
SURVEYED BOUNDARY DESCRIPTION:
BEGINNING AT THE NORTH 1/4 CORNER OF SECTION 12, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 346.21 FEET TO THE NORTH LINE OF 400 EAST STREET SUBDIVISION; THENCE ALONG THE BOUNDARY OF SAID SUBDIVISION THE FOLLOWING TWO COURSES TO WIT: (1) SOUTH 88°05'15" WEST 589.88 FEET, (2) SOUTH 0°54'44" EAST 296.46 FEET TO THE NORTH LINE OF SANTAQUIN MEADOWS PLAT "F"; THENCE ALONG SAID SUBDIVISION THE FOLLOWING TWO COURSES TO WIT: (1) NORTH 31°58'13" WEST 155.91 FEET, (2) SOUTH 73°16'08" WEST 17.71 FEET; THENCE NORTH 0°09'31" WEST 11.16 FEET; THENCE SOUTH 66°07'02" WEST 85.93 FEET; THENCE SOUTH 73°16'08" WEST 6.20 FEET ALONG THE NORTH LINE OF SAID PLAT "F"; THENCE NORTH 10°17'00" WEST 375.23 FEET; THENCE NORTH 10°07'57" WEST 109.87 FEET; THENCE NORTH 88°55'02" EAST 39.12 FEET; THENCE NORTH 1°11'26" WEST 0.32 FEET; THENCE NORTH 88°43'26" EAST 104.34 FEET ALONG THE SOUTH LINE OF COOLEY PLAT "A"; THENCE NORTH 1°12'37" WEST 34.24 FEET ALONG THE EAST LINE OF SAID COOLEY SUBDIVISION; THENCE NORTH 87°08'22" EAST 32.90 FEET; THENCE NORTH 33.35 FEET; THENCE EAST 68.11 FEET TO THE WEST LINE OF ROSS SUBDIVISION PLAT "A"; THENCE ALONG SAID SUBDIVISION THE FOLLOWING TWO COURSES TO WIT: (1) SOUTH 0°37'45" EAST 68.64 FEET, (2) NORTH 88°56'15" EAST 390.49 FEET; THENCE NORTH 88°56'14" EAST 158.86 FEET; THENCE NORTH 2°04'00" WEST 58.63 FEET; THENCE EAST 68.08 FEET TO THE POINT OF BEGINNING. CONTAINING 6.45 ACRES.

NARRATIVE:
BASIS OF BEARING IS UTAH COORDINATE BEARINGS, CENTRAL ZONE. (N 87°07'54" E BETWEEN THE NORTHWEST CORNER AND THE NORTH 1/4 CORNER OF SECTION 12, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SLB&M.) PURPOSE OF SURVEY IS TO COMPARE DEEDED PROPERTY AGAINST EXISTING PROPERTY IN ACTUAL POSSESSION AND PREPARE A SURVEYED BOUNDARY DESCRIPTION.

SURVEYORS CERTIFICATE:
I, BARRY L. PRETTYMAN, A LICENSED SURVEYOR HOLDING CERTIFICATE NO. 166406, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED FROM A FIELD SURVEY MADE UNDER MY DIRECTION AND CORRECTLY SHOWS THE DIMENSIONS AND MONUMENTS OF THE ABOVE DESCRIBED PARCEL OF LAND TO THE BEST OF MY KNOWLEDGE AND BELIEF.
Barry L. Prettyman DATE: May 10, 2021
BARRY L. PRETTYMAN

LEGEND:
● = 5/8" REBAR WITH ORANGE CAP MARKED ATLAS ENGINEERING.
--- JONES DEED LINES
--- ADJACENT LAND OWNER DEED LINES
- - - EXISTING FENCES

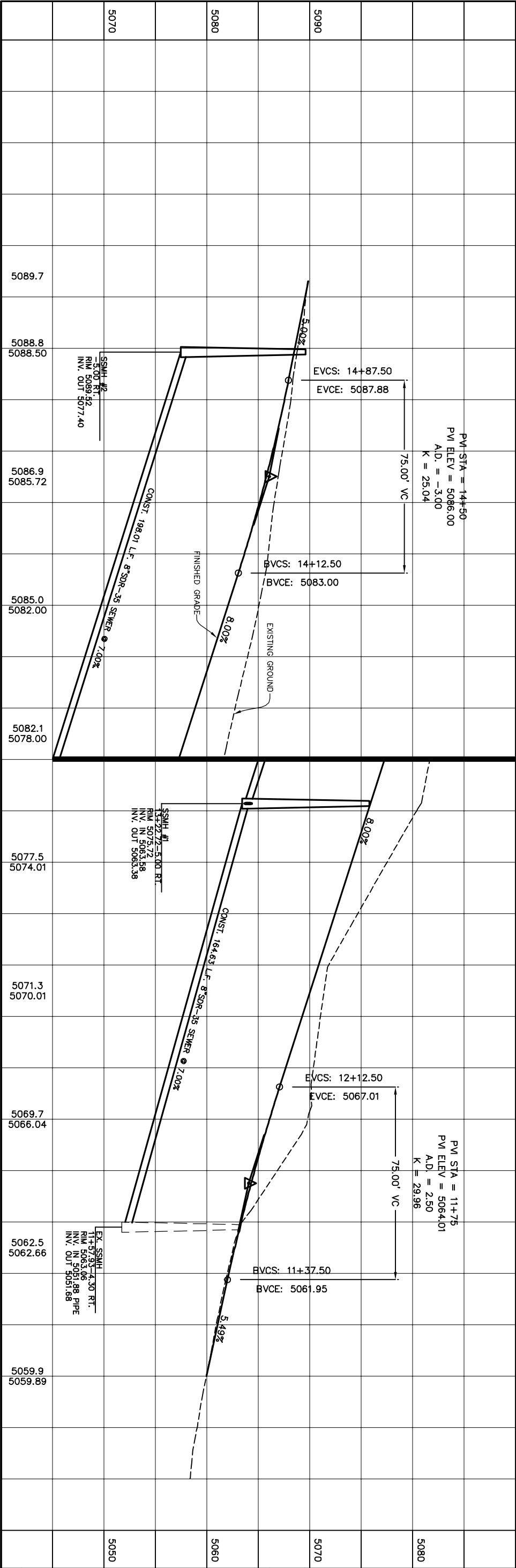
LINE TABLE			
L1	N 88°55'02" E	39.12'	
L2	N 1°11'26" W	0.32'	
L3	N 1°12'37" W	34.24'	
L4	N 87°08'22" E	32.90'	
L5	N O R T H	33.35'	
L6	E A S T	68.11'	
L7	S 0°37'45" E	68.64'	
L8	N 2°04'00" W	58.63'	
L9	E A S T	68.08'	
L10	S 73°16'08" W	17.71'	
L11	N 0°09'31" W	11.16'	
L12	S 66°07'02" W	85.93'	
L13	S 73°16'08" W	6.20'	



- CONSTRUCTION NOTES**
1. INSTALL PEDESTAL ACCESS RAMP PER SANTIAGUIN CITY STANDARDS.
 2. INSTALL STREET LIGHT PER SANTIAGUIN CITY STANDARDS.
 3. INSTALL FIRE HYDRANT PER SANTIAGUIN CITY STANDARDS.
 4. LOCATE AND TIE TO EXISTING 8" CULINARY WATERLINE.
 5. LOCATE AND TIE TO EXISTING 4" PRESSURIZED IRRIGATION WATERLINE.
 6. INSTALL 8" CULINARY VALVE PER SANTIAGUIN CITY STANDARDS.
 7. INSTALL 8" PI VALVE PER SANTIAGUIN CITY STANDARDS.
 8. EXISTING FENCE TO BE REMOVED.
 9. EXISTING POWER TO BE REMOVED.
 10. EXISTING DITCH TO BE PIPED.
 11. LOCATE AND TIE TO EXISTING SEWER LINE.
 12. EXISTING HOME TO BE REMOVED.
 13. INSTALL 45' BEND.
 14. INSTALL CULINARY BLOWOFF PER SANTIAGUIN CITY STANDARDS.
 15. INSTALL AIR INLET FOR PRESSURIZED IRRIGATION PER SANTIAGUIN CITY STANDARDS.
 16. INSTALL STREET SIGN PER SANTIAGUIN CITY STANDARDS.



24"x36" = 20'
11"x17" = 40'



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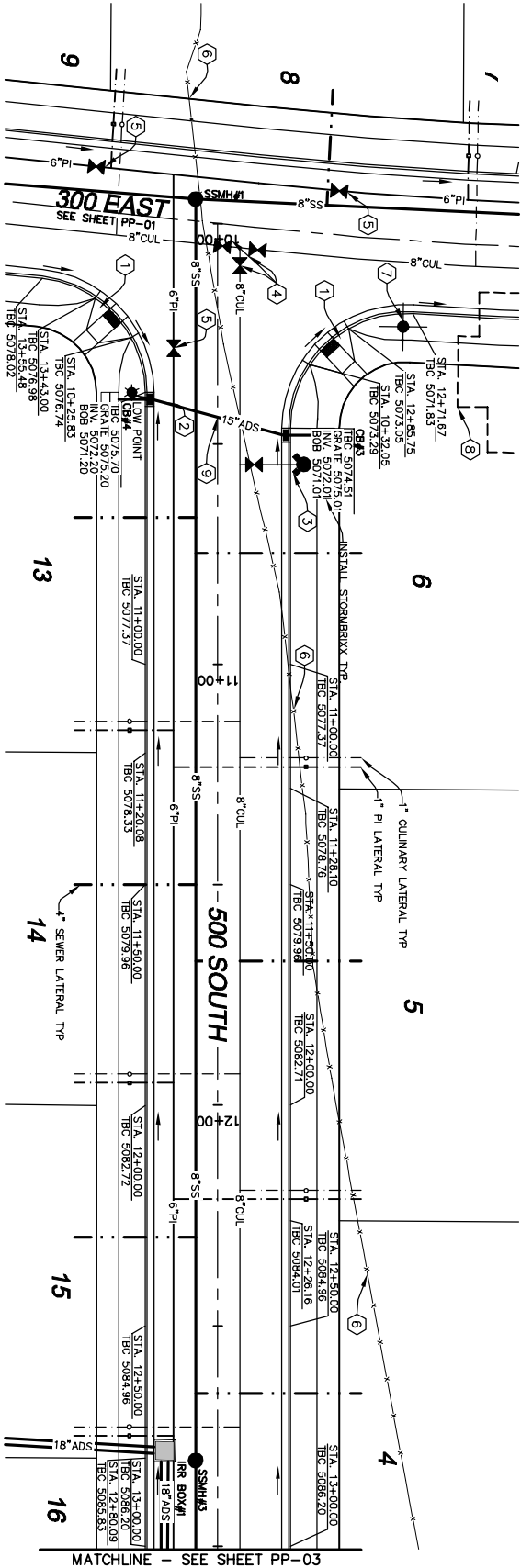
FALCON RIDGE
ATLAS
ENGINEERING
L.L.C.

OWNER/DEVELOPER
JIMMY DEGRAFFENREID
WOODLAND HILLS, UTAH
801-830-5490
PHONE: 801-655-0566
FAX: 801-655-0109
946 E 800 N STE A
SPANISH FORK, UT 84660

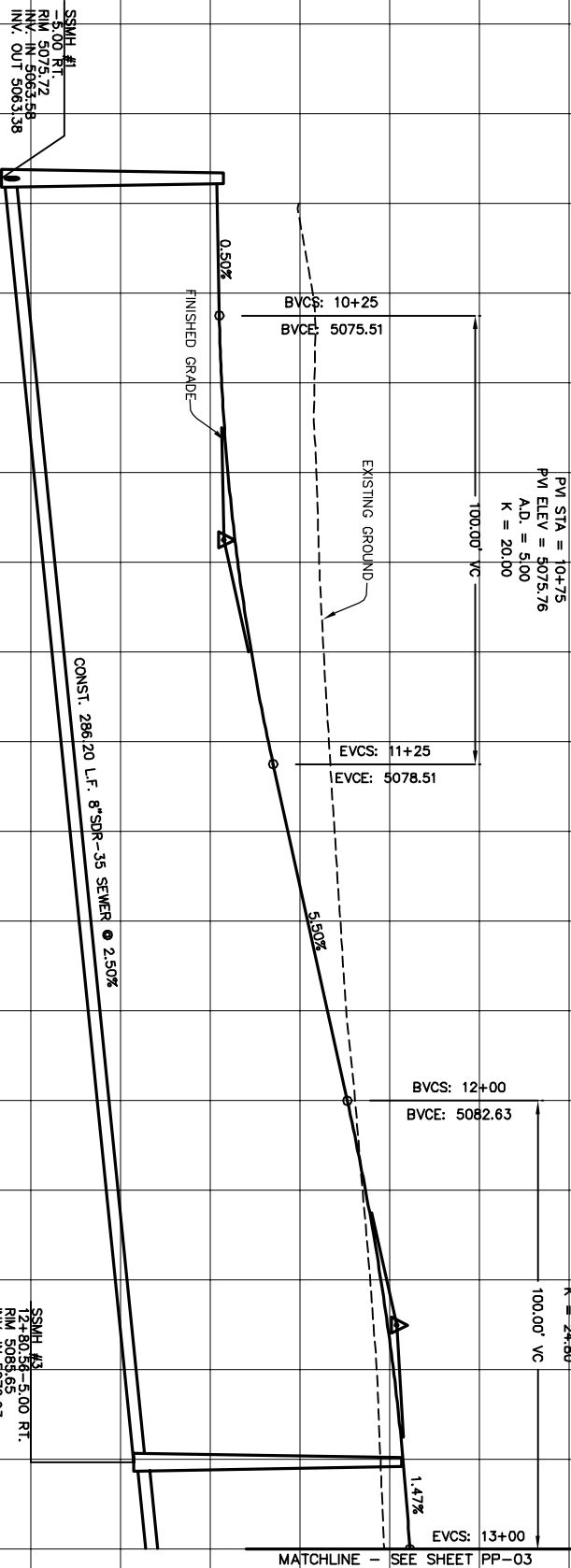
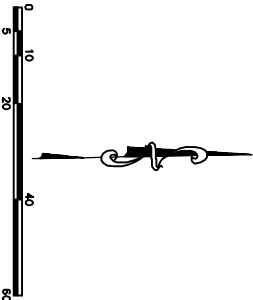
300 EAST
STA. 11+00 TO STA. 15+25.99
STREET PLAN & PROFILE

SHEET NO.
PP-01

- CONSTRUCTION NOTES
1. INSTALL PEDESTRIAN ACCESS RAMP PER SANTIAGO CITY STANDARDS.
 2. INSTALL STREET LIGHT PER SANTIAGO CITY STANDARDS.
 3. INSTALL FIRE HYDRANT PER SANTIAGO CITY STANDARDS.
 4. INSTALL 8" CULINARY VALVE PER SANTIAGO CITY STANDARDS.
 5. INSTALL 6" PI VALVE PER SANTIAGO CITY STANDARDS.
 6. EXISTING FENCE TO BE REMOVED.
 7. INSTALL STREET SIGN PER SANTIAGO CITY STANDARDS
 8. EXISTING HOME TO BE REMOVED.
 9. CONST. 30.88 L.F. 15" ADS @ 0.62%



-24"x36"-
SCALE 1" = 20'
-11"x17"-
SCALE 1" = 40'



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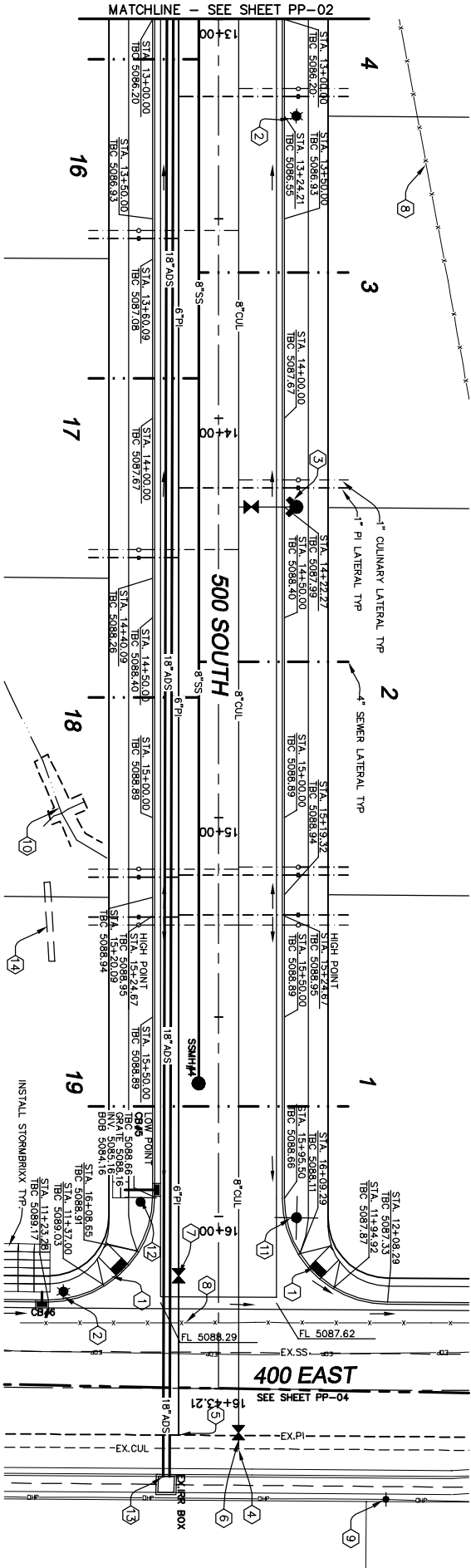
500 SOUTH
STA. 10+00 TO STA. 13+00

STREET PLAN & PROFILE

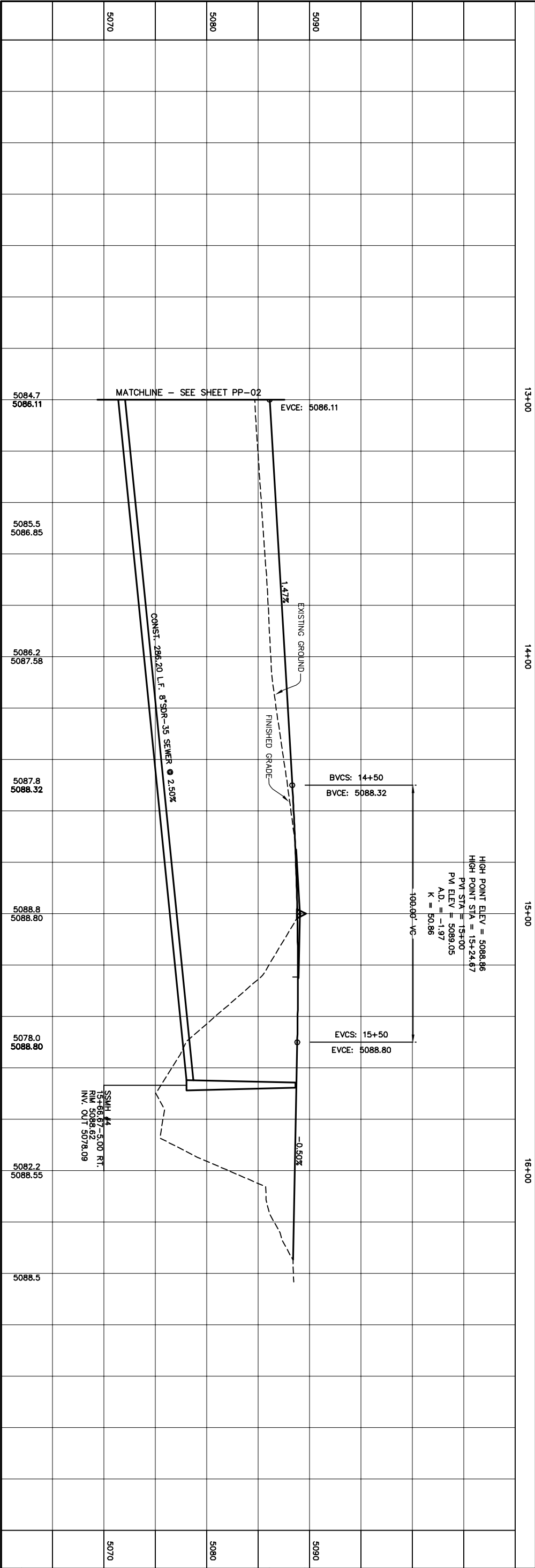
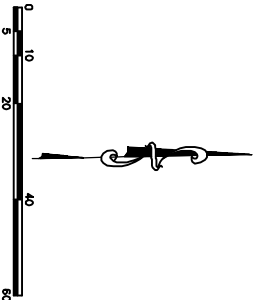
SHEET NO.

PP-02

- CONSTRUCTION NOTES**
1. INSTALL PEDESTRIAN ACCESS RAMP PER SANTIAGO CITY STANDARDS.
 2. INSTALL STREET LIGHT PER SANTIAGO CITY STANDARDS.
 3. INSTALL FIRE HYDRANT PER SANTIAGO CITY STANDARDS.
 4. LOCATE AND RE-TO EXISTING 10" CULINARY WATERLINE.
 5. LOCATE AND RE-TO EXISTING 16" PRESSURIZED IRRIGATION WATERLINE.
 6. INSTALL 8" CULINARY VALVE PER SANTIAGO CITY STANDARDS.
 7. INSTALL 6" P.V. VALVE PER SANTIAGO CITY STANDARDS.
 8. EXISTING FENCE TO BE REMOVED.
 9. EXISTING POWER TO BE REMOVED.
 10. EXISTING DITCH TO BE REPEL.
 11. INSTALL STREET SIGN PER SANTIAGO CITY STANDARDS.
 12. INSTALL STOP SIGN PER SANTIAGO CITY STANDARDS.
 13. LOCATE AND RE-TO EXISTING IRRIGATION BOX.
 14. EXISTING 18" PIPE TO BE REMOVED.



-24"x36"-
SCALE 1" = 20'
-11"x17"-
SCALE 1" = 40'



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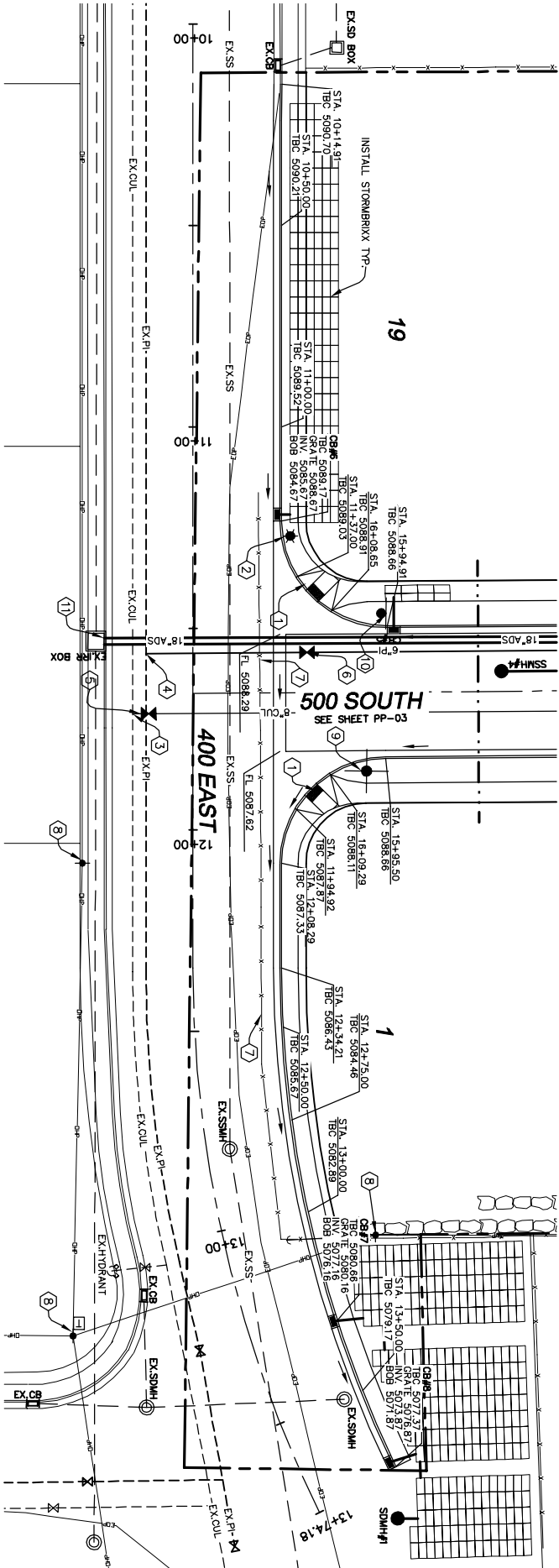
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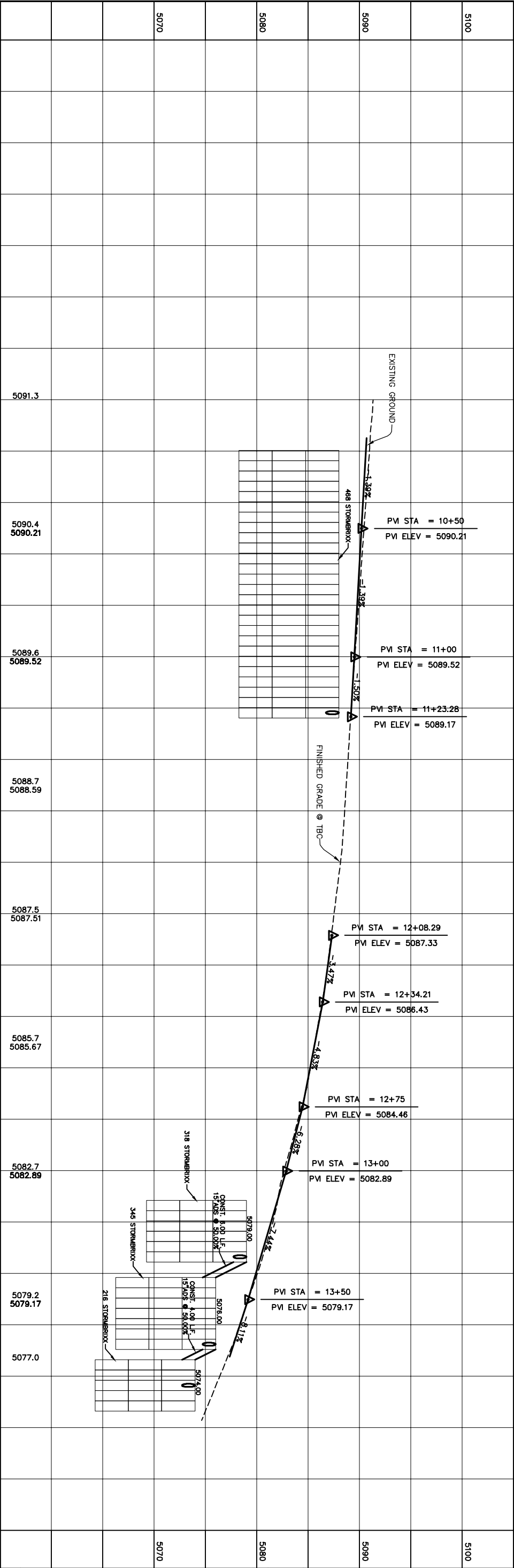
500 SOUTH
STA. 13+00 TO STA. 16+43.21
STREET PLAN & PROFILE

SHEET NO.
PP-03

- CONSTRUCTION NOTES**
1. INSTALL PEDESTRIAN ACCESS RAMP PER SANTIAGO CITY STANDARDS.
 2. INSTALL STREET LIGHT PER SANTIAGO CITY STANDARDS.
 3. LOCATE AND TIE TO EXISTING 10" CULINARY WATERLINE.
 4. LOCATE AND TIE TO EXISTING 16" PRESSURIZED IRRIGATION WATERLINE.
 5. INSTALL 8" CULINARY VALVE PER SANTIAGO CITY STANDARDS.
 6. INSTALL 6" PI VALVE PER SANTIAGO CITY STANDARDS.
 7. EXISTING FENCE TO BE REMOVED.
 8. EXISTING POWER TO BE REPAIRED.
 9. INSTALL STREET SIGN PER SANTIAGO CITY STANDARDS.
 10. INSTALL STOP SIGN PER SANTIAGO CITY STANDARDS.
 11. LOCATE AND TIE TO EXISTING IRRIGATION BOX.



24"x36"
SCALE 1" = 20'
11"x17"
SCALE 1" = 40'



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400 EAST
STA. 10+00 TO STA. 13+74.18
STREET PLAN & PROFILE

SHEET NO.
PP-04

