

CORTLAND TOWNHOMES PLAT "A"

A RESIDENTIAL SUBDIVISION

SANTAQUIN, UTAH COUNTY, UTAH

FINAL PLAN SET

JULY 2025

CONTRACTOR NOTE:
THE SIZE, ELEVATION, & LOCATIONS OF EXISTING IMPROVEMENTS AND UTILITIES SHOWN HEREON ARE ASSUMED AND APPROXIMATELY SHOWN BASED UPON THE FIELD DATA FROM THE SURVEY. ALL SIZES, LOCATIONS & ELEVATIONS ARE TO BE VERIFIED. IF THERE ARE DIFFERENCES OR DISCREPANCIES, ATLAS ENGINEERING, LLC NEEDS TO BE NOTIFIED BEFORE CONSTRUCTION. ATLAS ENGINEERING, LLC WILL NOT BE LIABLE OR RESPONSIBLE FOR REMOVAL, CONSTRUCTION, OR INSTALLATION OF IMPROVEMENTS THAT ARE NOT IN ACCORDANCE WITH THESE PLANS. ANY AND ALL CHANGES OR VARIATIONS IN THE REMOVAL, CONSTRUCTION OR INSTALLATION OF THE IMPROVEMENTS MADE WITHOUT THE APPROVAL OF THE DESIGNER WILL RESULT IN SOLE LIABILITY TO THE CONTRACTOR. IN ADDITION, ATLAS ENGINEERING, LLC ASSUMES NO RESPONSIBILITY FOR ANY AND ALL EXISTING UTILITIES NOT SHOWN ON THIS PLAN AND ASSUMES NO LIABILITY FOR FAILURE TO EXACTLY LOCATE ALL EXISTING UTILITIES, SHOULD THERE BE INCIDENT.

DATA TABLE PHASE 1
ZONING CLASSIFICATION=MSR
NUMBER OF UNITS=34
ACREAGE=1.79 ACRES
ACREAGE TO BE DEDICATED FOR STREET ROW=0 SF
PARKING PROVIDED=84
ADA STALLS PROVIDED=1
BUILDING AREA SF=34x509.33=17,317
PARKING LOT AREA SF=31,239
LANDSCAPE AREA IN SF=17,275 (22%)

-SHEET INDEX-

SHEET	SHEET NAME
1	COVER & INDEX
2	SITE PLAN
3	GRADING PLAN
4	EXISTING TOPOGRAPHY
5	FIRE ACCESS PLAN
6	PHASING PLAN
7	TBC PLAN
8	FINAL PLAT
PP-01	PLAN & PROFILE – 200 NORTH – STA. 10+60 TO STA. 16+00
DT-01	DETAIL SHEET

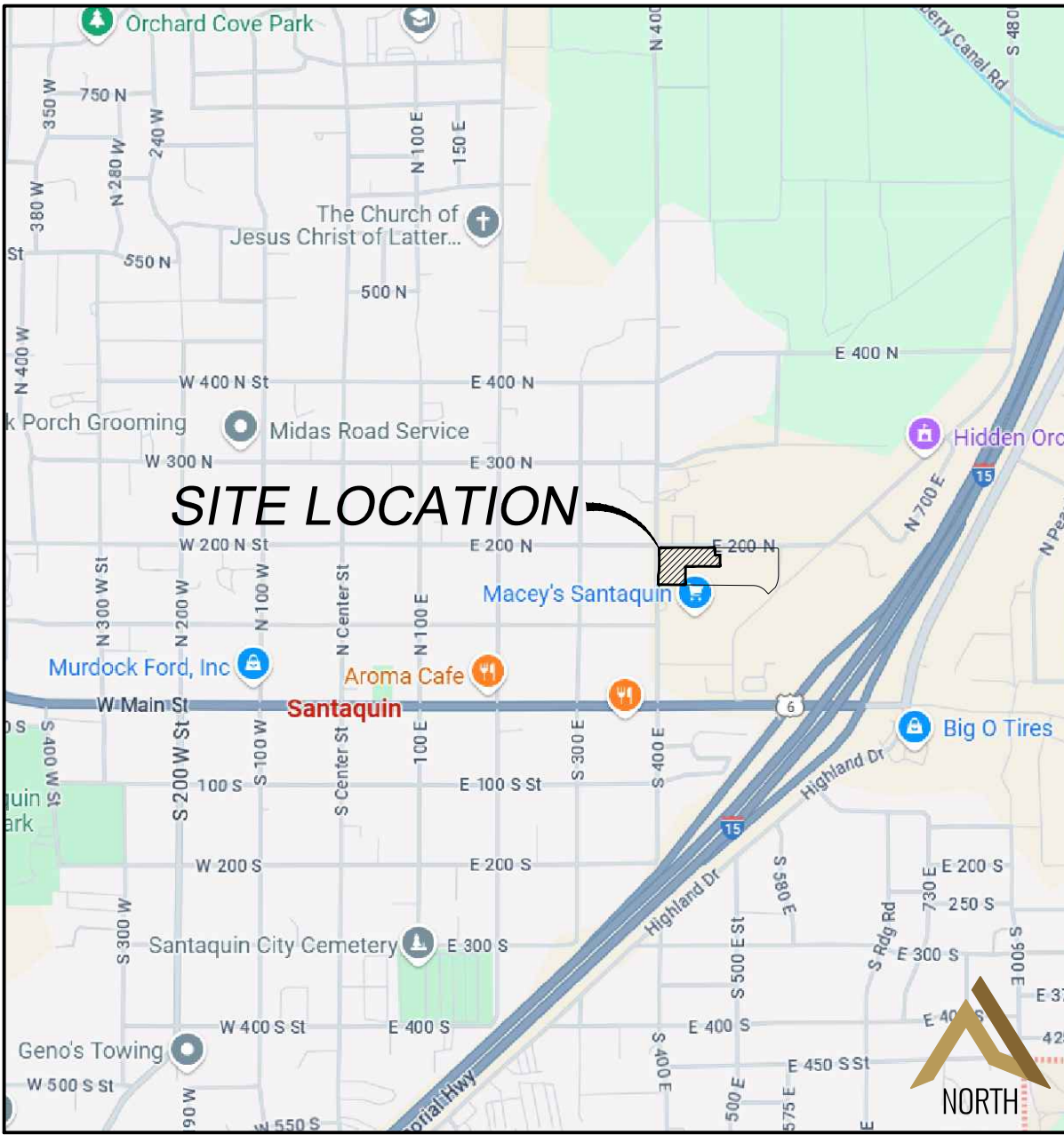
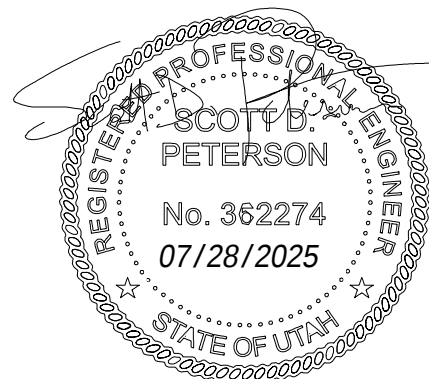
GENERAL NOTES:
1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCE AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN THE GEOTECHNICAL REPORT/ STUDY FOR PROPOSED RIDLEY'S FAMILY MARKET DEVELOPMENT DATED APRIL 26, 2018 PERFORMED BY GSH GEOTECHNICAL, INC., JOB NO.2588-001-18 SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

BOUNDARY DESCRIPTION:
BEGINNING AT A POINT WHICH LIES S00°30'42"E 1737.86 FEET ALONG THE QUARTER SECTION LINE AND S89°29'04"E 29.85 FEET FROM THE NORTH 1/4 CORNER OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN; THENCE NORTH 00°30'56" EAST 53.51 FEET; THENCE NORTH 06°47'35" EAST 54.87 FEET; THENCE NORTH 00°30'56" EAST 139.43 FEET; THENCE NORTHEASTERLY 18.77 FEET ALONG THE ARC OF A 12.00 FOOT RADIUS CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 89°37'18", CHORD BEARS N45°19'35"E 16.91 FEET; THENCE SOUTH 89°51'46" EAST 376.98 FEET; THENCE SOUTH 51.85 FEET; THENCE SOUTH 89°46'+23" EAST 35.10 FEET; THENCE SOUTH 00°13'37" WEST 79.00 FEET; THENCE NORTH 89°46'23" WEST 241.52 FEET; THENCE SOUTH 00°13'37" WEST 130.08 FEET; THENCE NORTH 89°29'04" WEST 189.99 FEET TO THE POINT OF BEGINNING.

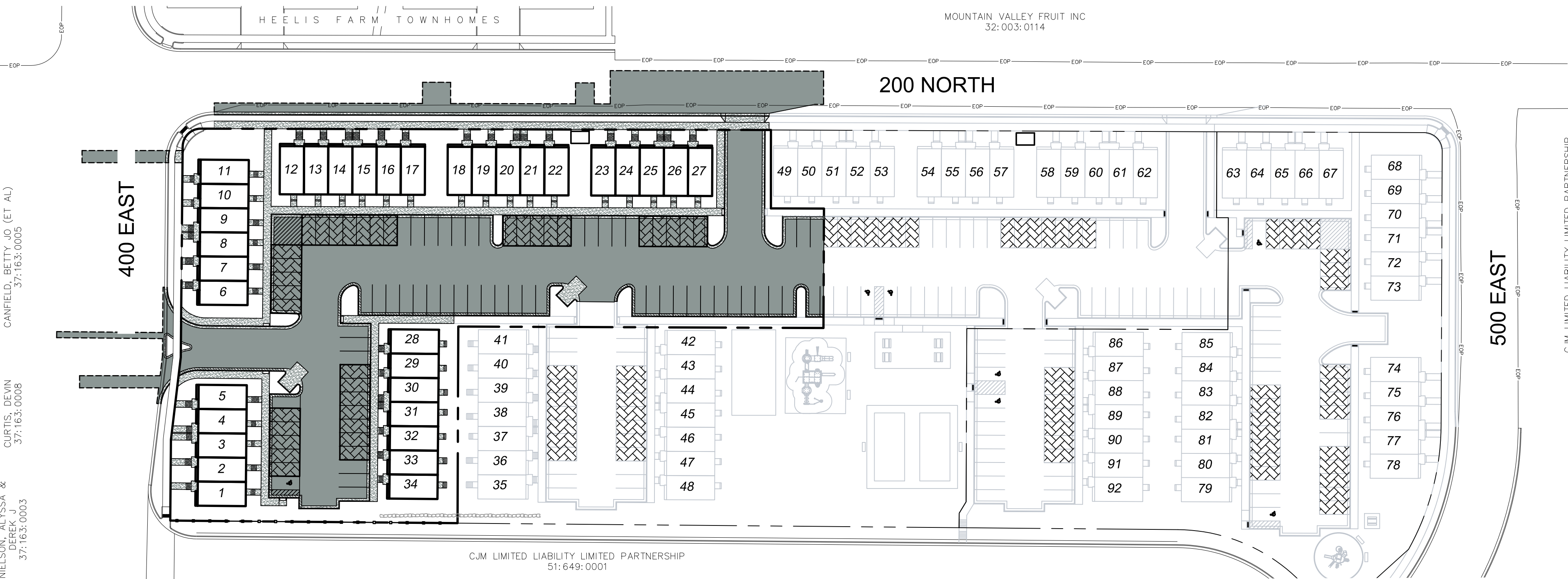
CONTAINING 1.79 ACRES.

OWNER/DEVELOPER
JIMMY DEGRAFFENRIED
WOODLAND HILLS, UTAH
801-830-5490

ENGINEER/SURVEYOR CONTACT INFO:
ATLAS ENGINEERING LLC
(801) 655-0566
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

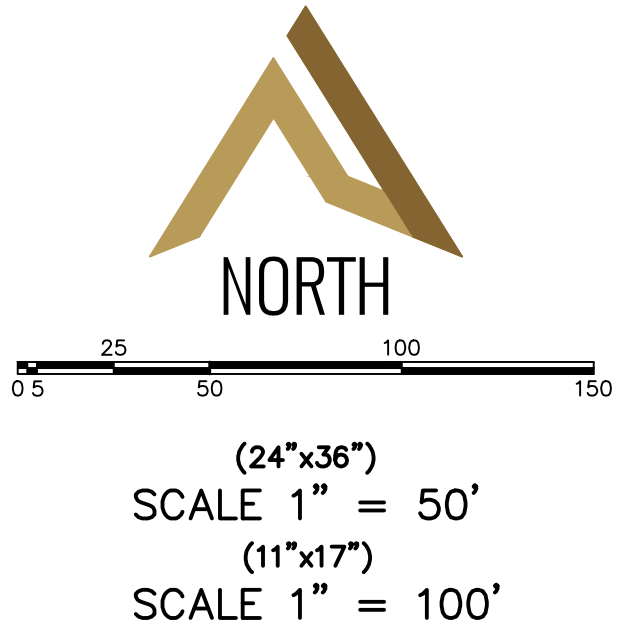


VICINITY MAP
-NTS-



LEGEND
(APPLIES TO ALL SHEETS)

EXISTING POWER POLE	EXISTING OVER HEAD POWER
PROPOSED STREET LIGHT	EXISTING FENCE LINE
EXISTING FIRE HYDRANT	EXISTING SANITARY SEWER W/MANHOLE
EXISTING WATER VALVE	EXISTING STORM DRAIN W/MH
EXISTING STREET LIGHT	EXISTING WATER
EXISTING SIGN	EXISTING PRESSURIZED IRRIGATION
PROPOSED FIRE HYDRANT	PROPOSED SEWER
PROPOSED WATER VALVE	PROPOSED STORM DRAIN
PROPERTY BOUNDARY	PROPOSED CULINARY WATER
CENTERLINE	PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
RIGHT-OF-WAY LINE	PROPOSED ASPHALT
LOT LINE	PROPOSED CONCRETE/CURB & GUTTER
SECTION LINE	REVERSE LIP CURB
EASEMENT	
EXISTING DEED LINE	



CORTLAND TOWNHOMES PLAT "A"



ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY

PHONE: 801-655-0566
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

NELSON, ALYSSA & DEREK JO (ET AL.)
37:163.0003
CANFIELD, BETTY JO (ET AL.)
37:163.0005
CURTIS, DEVIN
37:163.0008

CONSTRUCTION NOTES

1. INSTALL ADA RAMP PER SANTAQUIN CITY STANDARDS.
2. INSTALL 6" MASONRY WALL.
3. INSTALL STOP SIGN PER SANTAQUIN CITY STANDARDS.
4. INSTALL FIRE HYDRANT ASSEMBLY PER SANTAQUIN CITY STANDARDS.
5. INSTALL SC-740 STORMTECH CHAMBERS (OR EQUIVALENT).
6. CONST. DUMPSTER ENCLOSURE PER SANTAQUIN CITY STANDARDS.
7. PROPOSED MAILBOX CLUSTER LOCATION.
8. INSTALL 1.5" CULINARY WATER METER.
9. LOCATE AND TIE TO EXISTING PRESSURIZED IRRIGATION.
10. LOCATE AND TIE TO EXISTING CULINARY WATER.
11. INSTALL 8" CULINARY WATER VALVE PER SANTAQUIN CITY STANDARDS.
12. INSTALL 45° BEND.
13. CAP/PLUG & MARK TO SURFACE.
14. CONST. ROCK RETAINING WALL.

GENERAL NOTES:

1. ALL RECOMMENDATIONS MADE IN THE GEOTECHNICAL REPORT/ STUDY BY GSH GEOTECHNICAL, INC., JOB NUMBER 2588-001-18, DATED APRIL 26, 2018 SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
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NOTES:

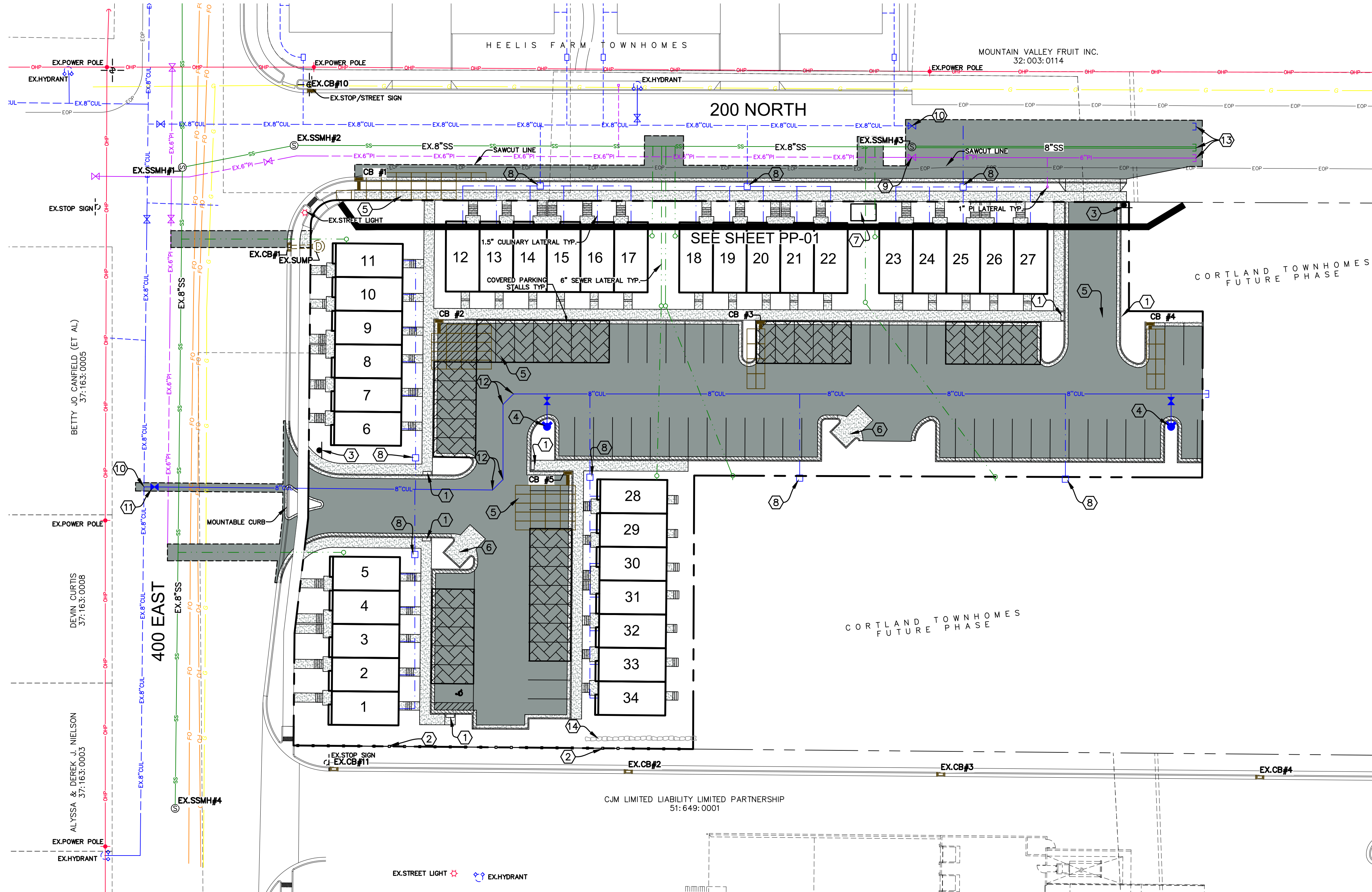
1. IRRIGATION PIPE SIZE TO BE APPROVED BY SCIC.
2. PIPE MATERIALS TO BE C900.
3. PER IPC 2021 TABLE E104.1, WITH 50-60 PSI SERVICE PRESSURE, A 1.5" CULINARY WATER METER WITH 1.5" DISTRIBUTION LINE CAN SERVICE 151 FIXTURES.

LEGEND

- EXISTING POWER POLE
- PROPOSED STREET LIGHT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STREET LIGHT
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- PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
- PROPOSED ASPHALT
- PROPOSED CONCRETE/CURB & GUTTER
- REVERSE LIP CURB



(24"x36")
SCALE 1" = 30'
(11"x17")
SCALE 1" = 60'



SHEET NO.

2

SITE PLAN

SANTAQUIN, UTAH

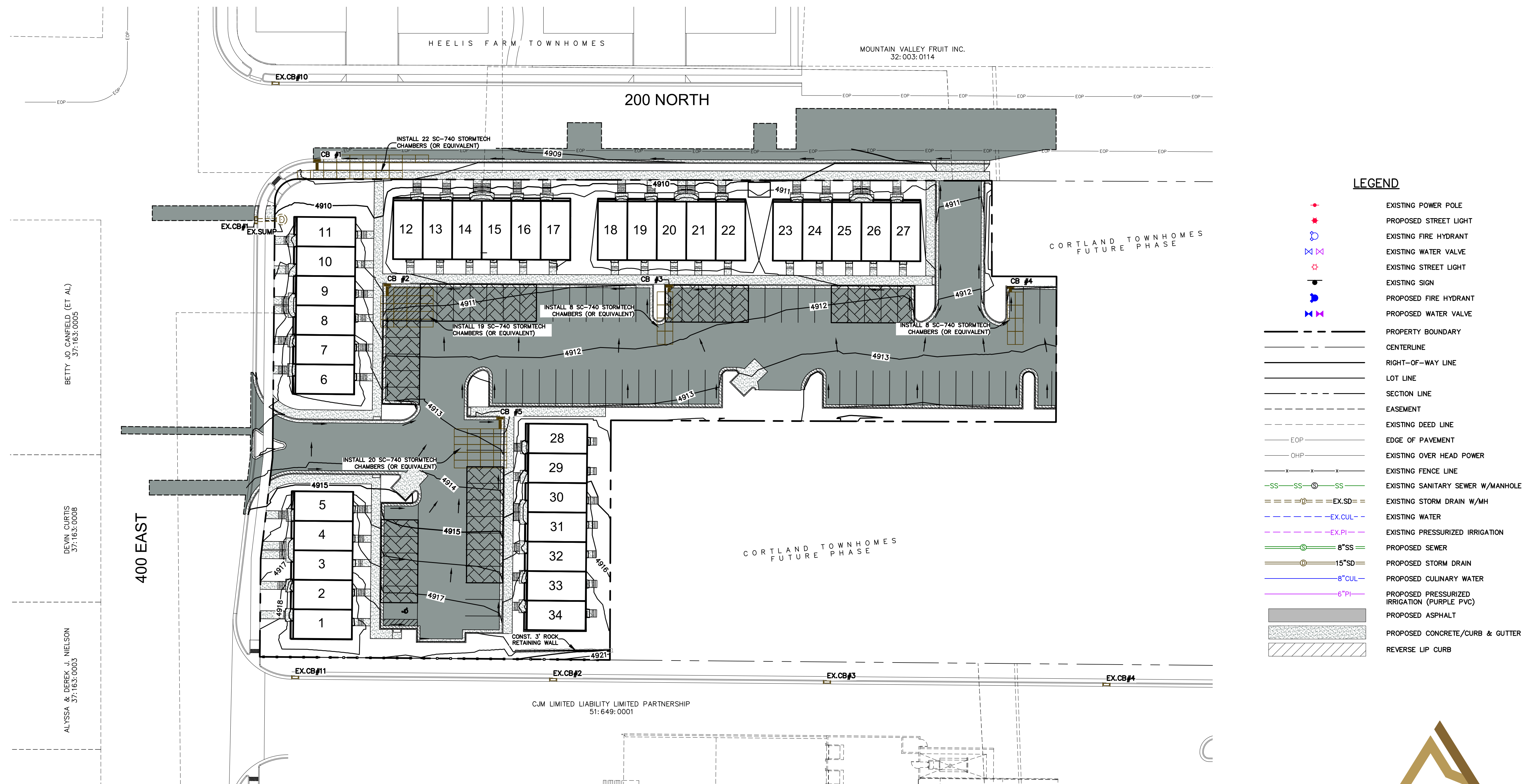
CORTLAND TOWNHOMES
PLAT "A"

ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY



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A north arrow pointing upwards, labeled "NORTH". Below it is a graphic scale bar with markings at 0, 5, 15, 30, 60, and 90 feet. Below the scale bar, the text "(24\"x36\")" is centered. Below that, the text "SCALE 1\" = 30'" is centered. Below that, the text "SCALE 1\" = 60'" is centered.

SHEET NO.

GRADING PLAN

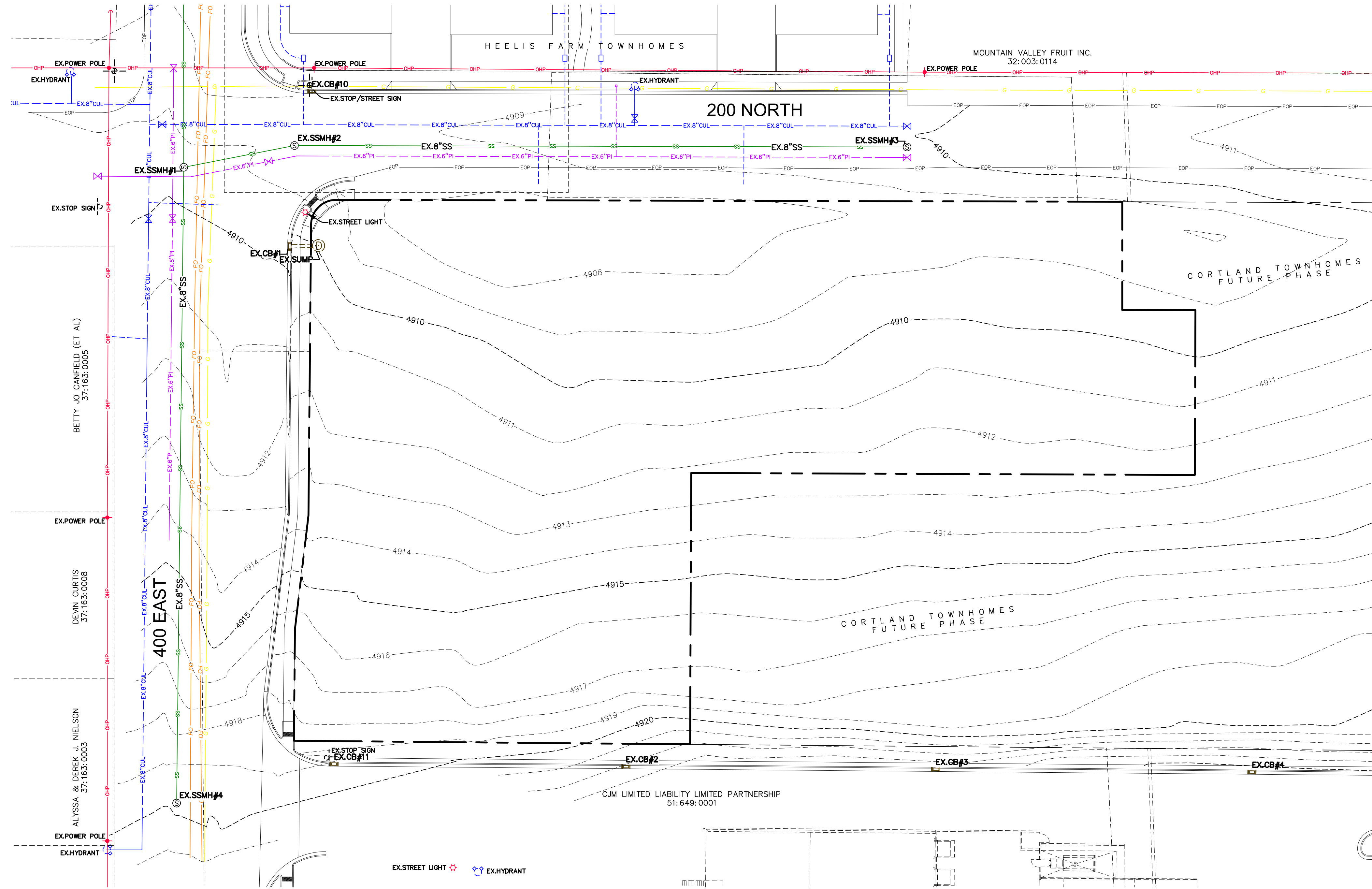
SANTAQUIN, UTAH

CORTLAND TOWNHOMES PLAT "A"

 **ATLAS ENGINEERING**
CIVIL · STRUCTURAL · SURVEY
PLA

PHONE: 801-655-0566
346 E. 800 N. SUITE A
SPANISH FORK, UT 84660

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LEGEND

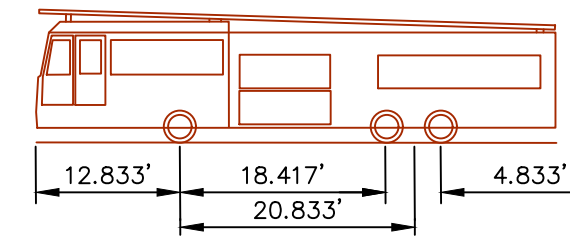
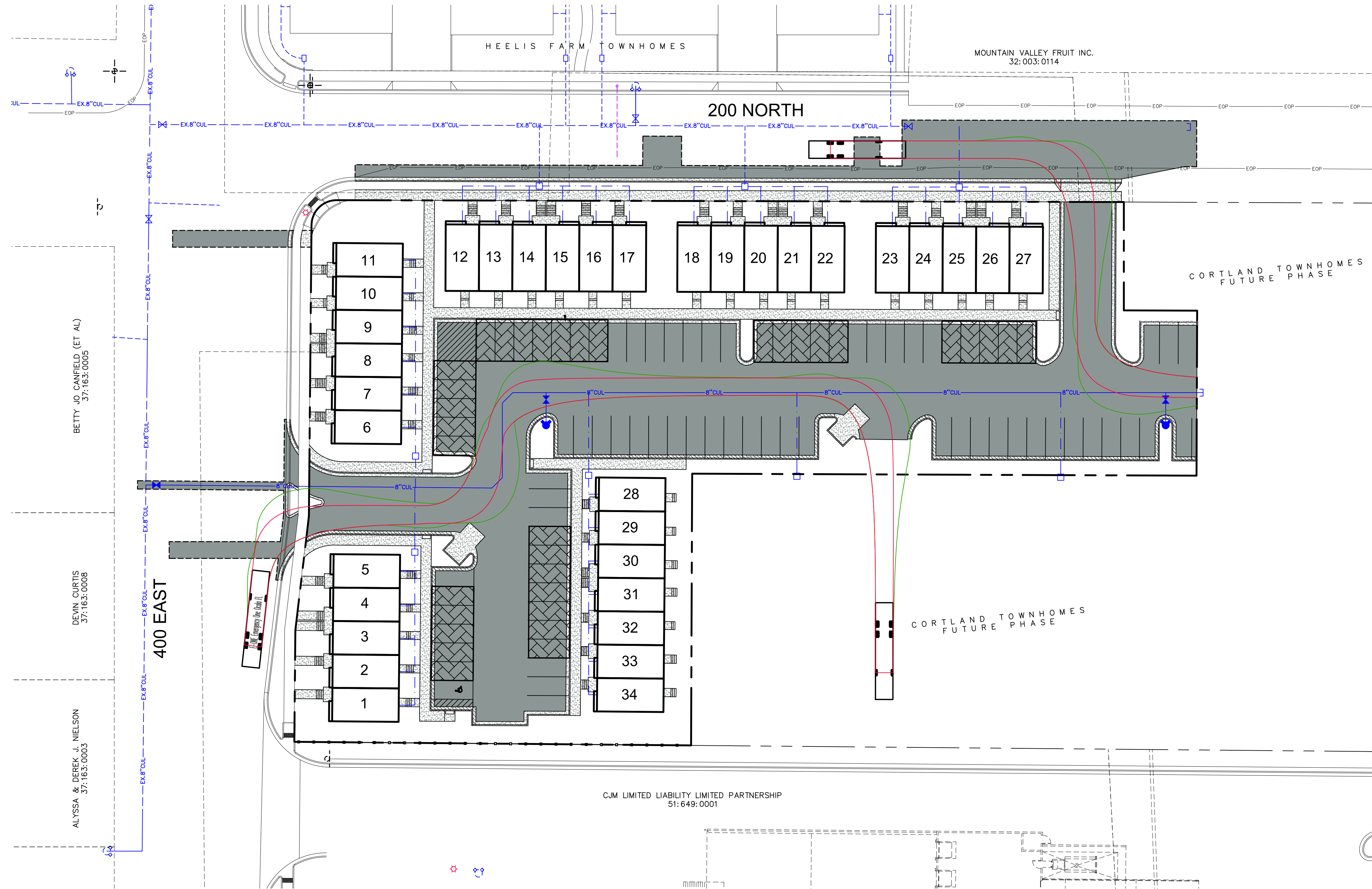
●	EXISTING POWER POLE
●	PROPOSED STREET LIGHT
●	EXISTING FIRE HYDRANT
●	EXISTING WATER VALVE
●	EXISTING STREET LIGHT
●	EXISTING SIGN
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---	PROPOSED ASPHALT
---	PROPOSED CONCRETE/CURB & GUTTER
---	REVERSE LIP CURB

NORTH

0 15 30 60 90

(24"x36")
SCALE 1" = 30'
(11"x17")
SCALE 1" = 60'

CORTLAND TOWNHOMES PLAT "A"		EXISTING TOPOGRAPHY		SHEET NO. 4	
ATLAS ENGINEERING CIVIL · STRUCTURAL · SURVEY		SANTAQUIN, UTAH		REVISIONS	
PHONE 801-655-6565 946 E. 800 N. SUITE A SPRINGDALE, UT 84660		C:\USERS\GAVIN\ATLAS ENGINEERING\COMMUNICATION SITE - DOCUMENTS\1.0 OPERATIONS\1.1 - CIVIL\2025\25-002 CORTLAND TOWNHOMES\CADD\FINAL PHASE 1\04-EXISTING TOPO.DWG		BY DATE	



E-ONE Emergency one ocala FL
Overall length - 46.333ft
Overall width - 8.333ft
Overall body height - 11.833ft
Min body ground clearance - 1.393ft
Track width - 8.333ft
Lock-to-lock time - 6.00 sec.
Max wheel angle - 45°

LEGEND

- EXISTING POWER POLE
- PROPOSED STREET LIGHT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STREET LIGHT
- EXISTING SIGN
- PROPOSED FIRE HYDRANT
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(24"x36")
SCALE 1" = 30'
(11"x17")
SCALE 1" = 60'

CORTLAND TOWNHOMES
PLAT "A"

ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY

PHONE 801-655-1665
946 E. 800 N. SUITE A
SPRINGDALE, UT 84660

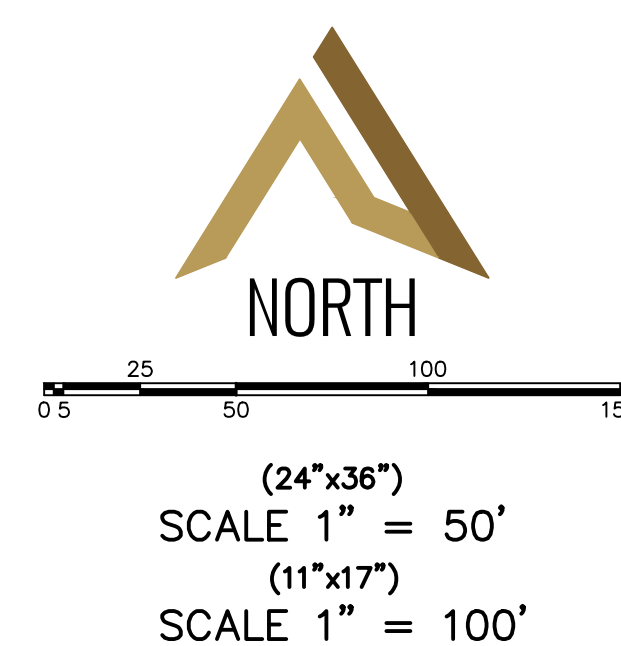
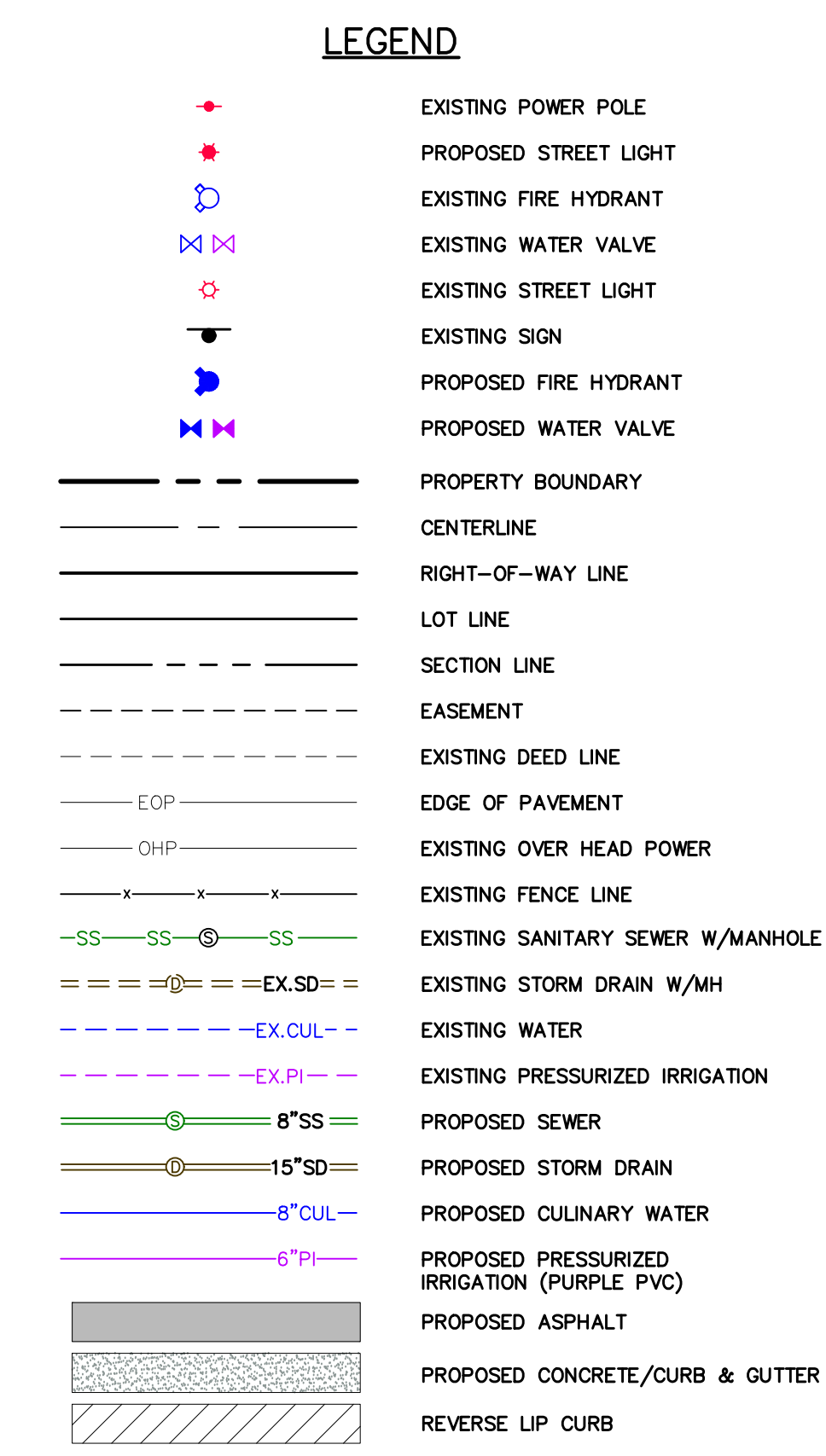
SHEET NO.

5

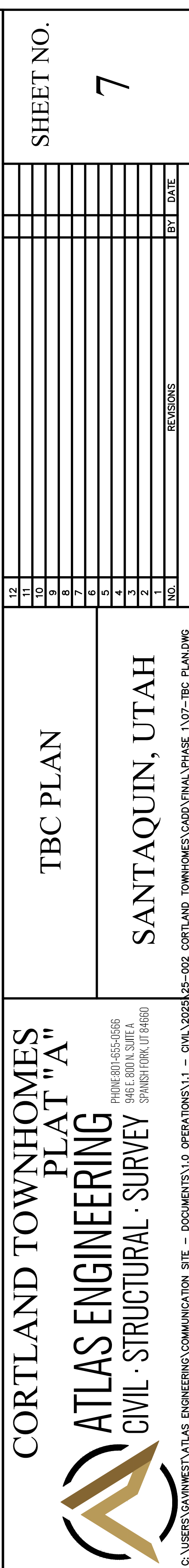
FIRE ACCESS PLAN

SANTAQUIN, UTAH

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 CORTLAND TOWNHOMES PLAT "A" ATLAS ENGINEERING CIVIL · STRUCTURAL · SURVEY PHONE 801-555-0555 946 E. 800 N. SUITE A SPANISH FORK, UT 84650	PHASING PLAN	12				SHEET NO.
		11				
		10				
		9				
		8				
		7				
	SANTAQUIN, UTAH	6				
		5				
		4				
		3				
		2				
		1				
NO. _____				BY: _____	DATE: _____	
REVISIONS						



PROPERTY BOUNDARY
RIGHT-OF-WAY LINE
LOT LINE
SECTION LINE
SETBACK
EASEMENT
CENTERLINE

BEARING
COMMON AREA/OPEN SPACE
LIMITED COMMON OWNERSHIP
PRIVATE OWNERSHIP

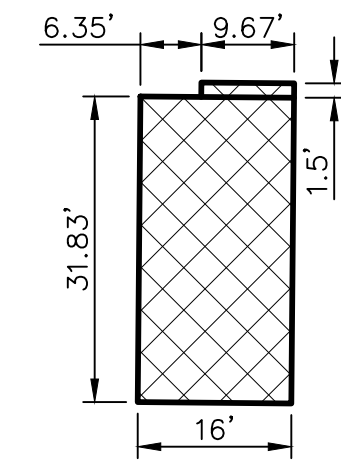
TOTAL ACREAGE=1.79
TOTAL # OF UNITS=34
TOTAL ACREAGE OF LOTS=0.40
ACREAGE IN ROADS=0
ACREAGE OF OPEN SPACE=1.39 ACRES
ZONING=MSR

ATLAS ENGINEERING LLC
(801) 655-0566
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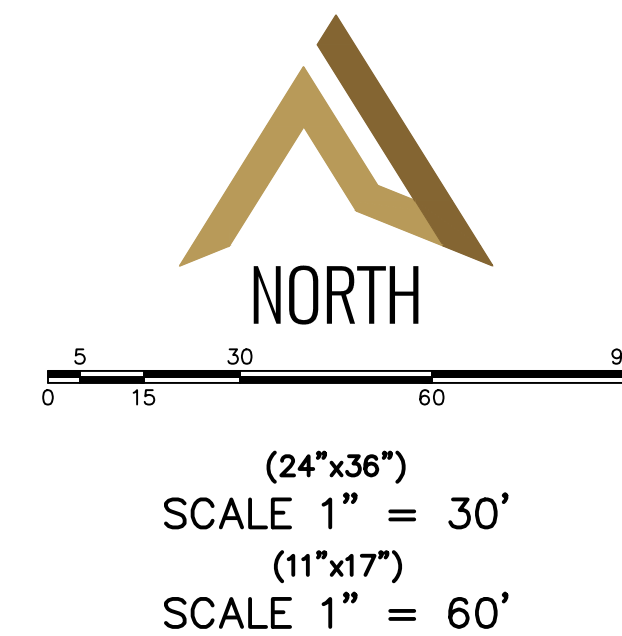
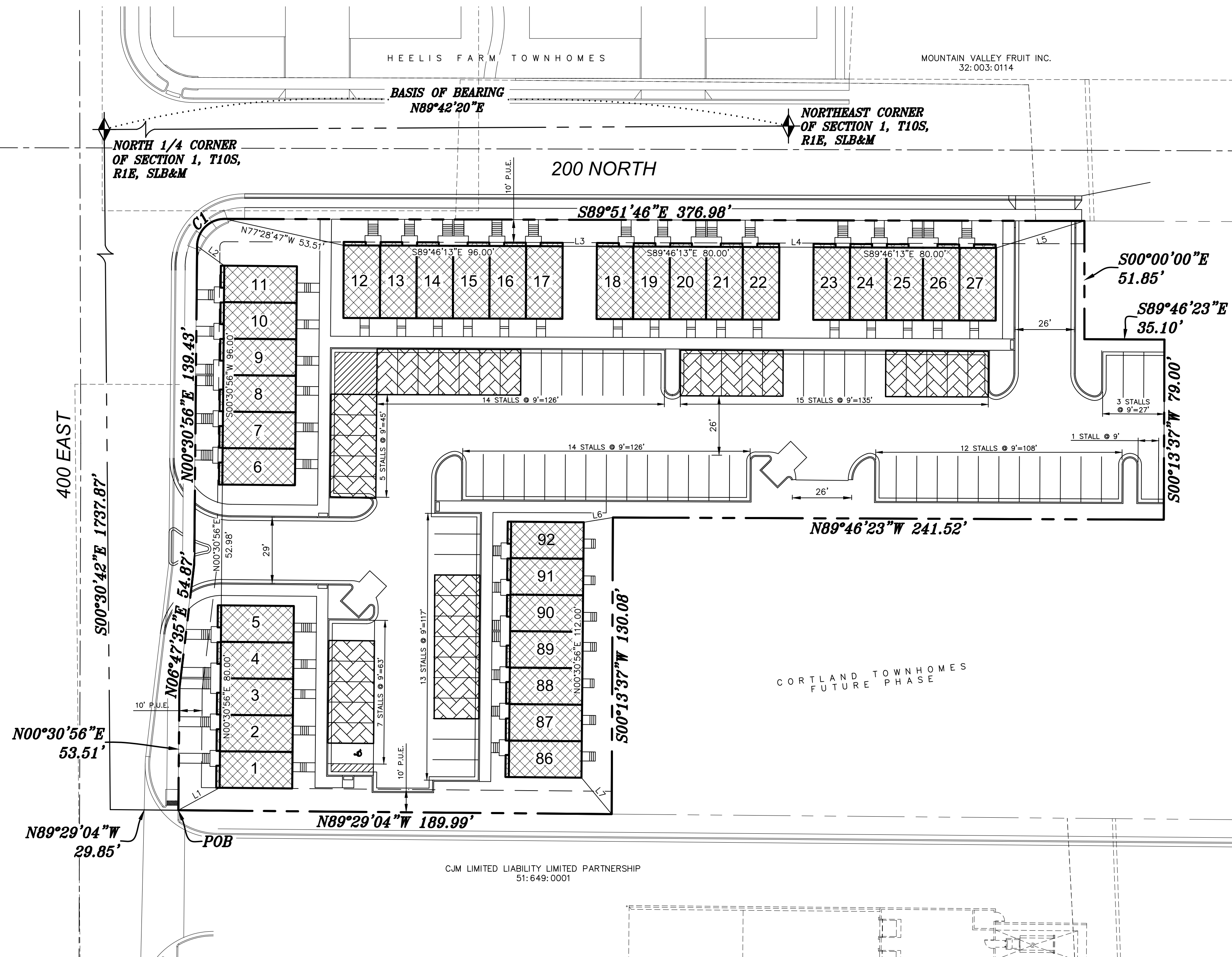
1. VERTICAL DATA BASED ON NAVD 88.
2. COORDINATE SYSTEM = NAD83
3. PROJECT TO BE COMPLETED IN 3 PHASES.

LINE	DIRECTION	LENGTH
L1	N61°27'38"E	20.59'
L2	N54°10'24"W	14.71'
L3	S89°46'13"E	15.00'
L4	S89°46'13"E	15.00'
L5	N72°59'56"E	40.51'
L6	N80°36'56"E	12.94'
L7	N39°41'37"W	20.76'

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	18.77'	12.00'	16.91'	N45°19'35"E	89°37'18"



—NTS—



CLERK-RECORDER SEAL	SURVEYOR'S SEAL
------------------------	-----------------

I, MATTHEW B. JUDD DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 167268 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

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MEMBER: _____

MEMBER: _____

MEMBER: _____

STATE OF UTAH > S.S.
COUNTY OF UTAH >
ON THE _____ DAY OF _____, A.D. 2025 PERSONALLY APPEARED
BEFORE ME _____ WHOSE IDENTITY IS
PERSONALLY KNOWN TO ME OR PROVEN IN THE BASIS OF SATISFACTORY
EVIDENCE AND WHO BY ME DULY SWORN/AFFIRED, DID SAY THAT THEY ARE
THE _____ OF _____ AND THAT SAID DOCUMENT
WAS SIGNED BY THEM IN BEHALF OF SAID _____ BY AUTHORITY OF ITS
BYLAWS, OR RESOLUTION OF ITS BOARD OF DIRECTORS, AND SAID _____
ACKNOWLEDGED TO ME THAT SAID _____ EXECUTED THE SAME.

COMMISSION NUMBER / EXPIRES _____ PRINTED FULL NAME OF NOTARY _____

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____ A.D. 2025.

<u>APPROVED</u>	<u>APPROVED</u>
CITY MANAGER	CITY ATTORNEY
<u>APPROVED</u>	<u>ATTEST</u>
ENGINEER (SEE SEAL)	CLERK-RECORDER
<u>APPROVED</u>	
COMMUNITY DEVELOPMENT DIRECTOR	

A RESIDENTIAL SUBDIVISION IN
SANTAQUIN, UTAH

CONTAINING 34 LOTS AND 1.79 ACRES.
LOCATED IN THE NORTHEAST 1/4 OF SECTION 1, OF TOWNSHIP 10 SOUTH,
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH.

NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	COUNTY RECORDER SEAL
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—NTS—

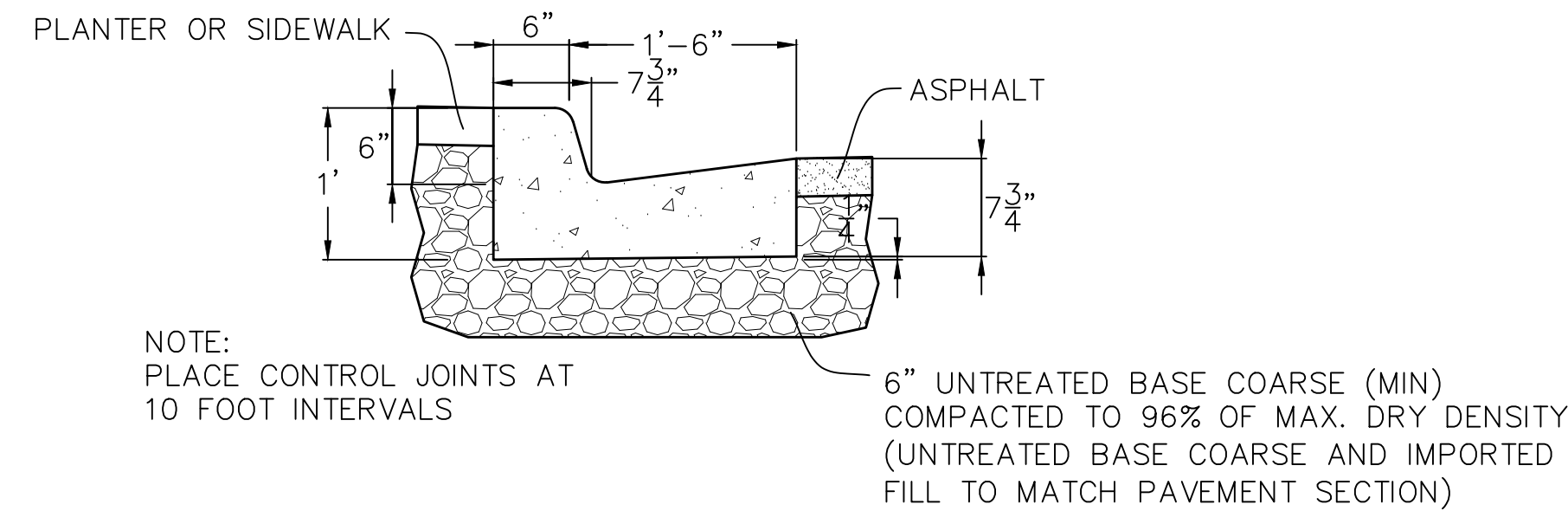


-NTS-

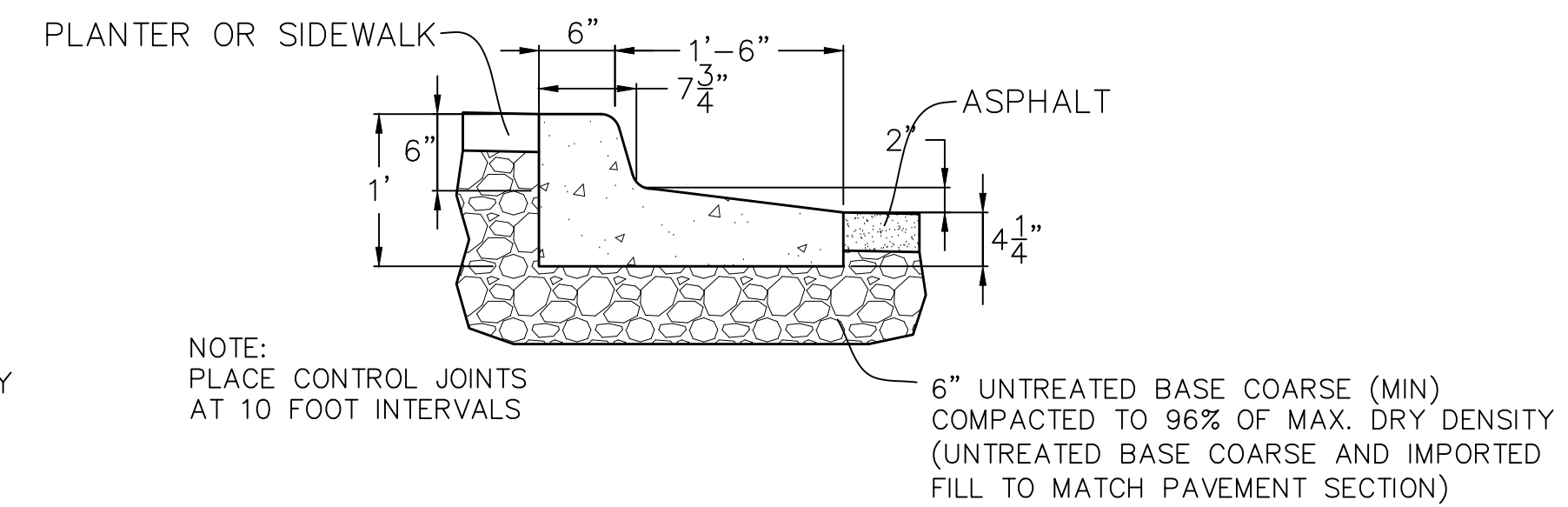
NOTE:
FOLLOW RECOMMENDATIONS FROM GEOTECHNICAL INVESTIGATION FOR PROPOSED RIDLEY'S FAMILY MARKET
DEVELOPMENT DATED APRIL 26, 2018 PERFORMED BY GSH GEOTECHNICAL, INC., JOB NO.2588-001-18



NOTE:
SCREENED ON THREE (3) SIDES WITH A MASONRY WALL HAVING A HEIGHT OF AT LEAST ONE (1') FOOT ABOVE RECEPTACLE. A STEEL SITE-OBSCURING GATE AT LEAST SIX (6') FEET HIGH IS REQUIRED.



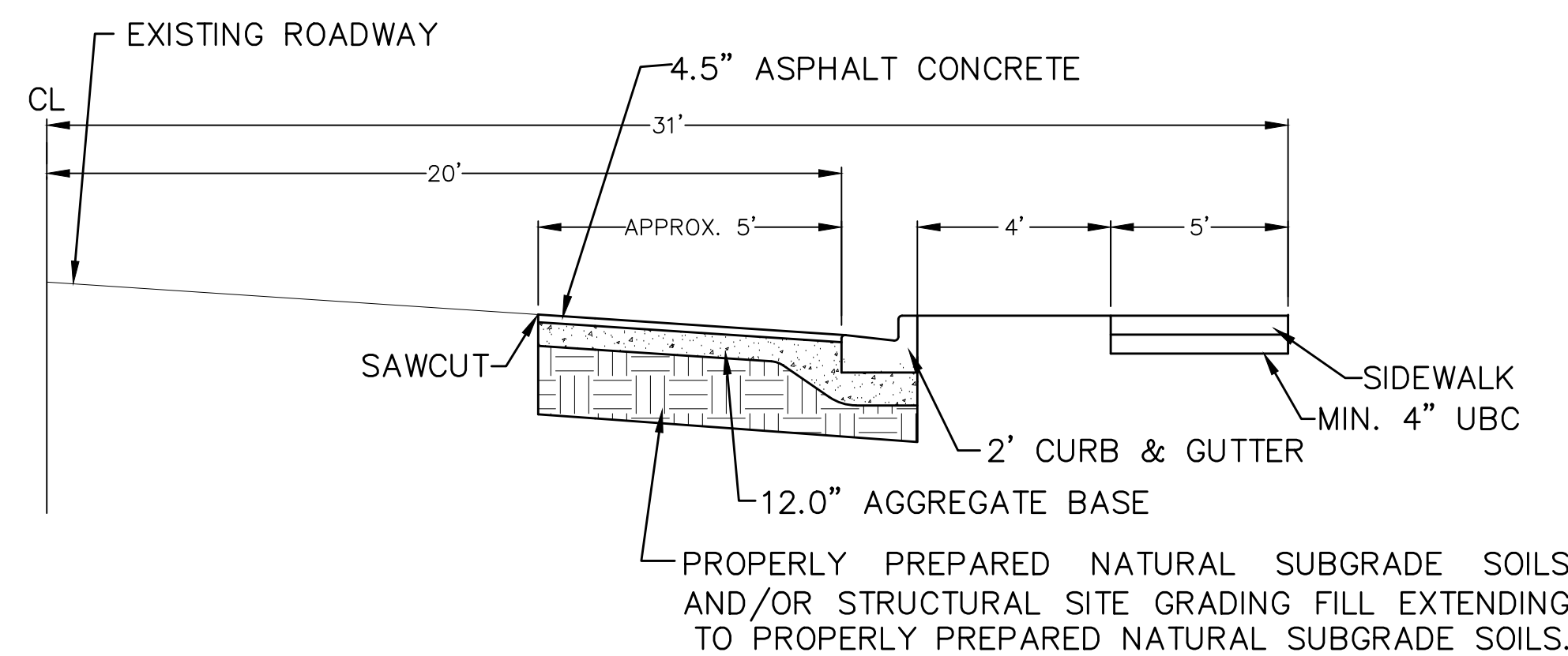
FOR USE IN PRIVATE STREETS
-NTS-



FOR USE IN PRIVATE STREETS
-NTS-



-NTS-

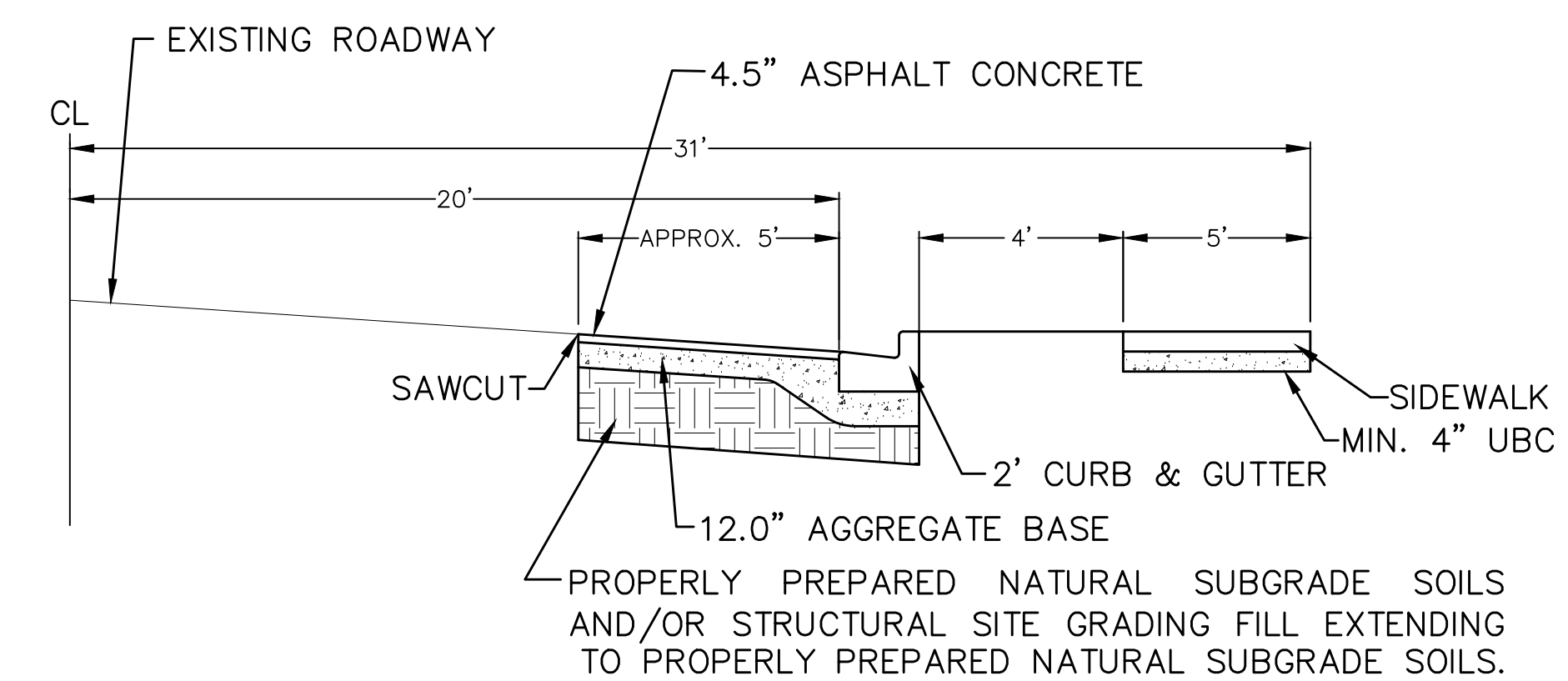


*2" THICK OVERLAY REQUIRED ON 200
NORTH OVER THE ENTIRE ROADWAY

—NTS—

NOTES:

1. 100-YEAR WATER ELEVATION MAY NOT ENCROACH WITHIN 6" VERTICALLY OF ANY HABITABLE STRUCTURE OR EXCEED THE EDGE OF RIGHT-OF-WAY.
2. 100-YEAR WATER ELEVATION MAY NOT RISE ABOVE AN ELEVATION OF 3" BELOW THE TOP OF ANY BERM OR EDGE OF RIGHT-OF-WAY IF ADJACENT EXISTING BUILDINGS ARE BELOW STREET LEVEL.
3. THE CROWN OF THE ROAD SHALL BE HELD TO EXISTING GRADE, UNLESS PERMITTED OTHERWISE BY THE CITY ENGINEER WHERE NEEDED TO ENABLE CONTAINMENT OF 100-YEAR STORM, TO MATCH GRADE AT ADJACENT PREVIOUSLY DEVELOPED PROPERTIES, OR TO MEET GRADE AT INTERSECTIONS



*2" THICK OVERLAY REQUIRED ON 500
EAST OVER THE ENTIRE ROADWAY

—NTS—

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