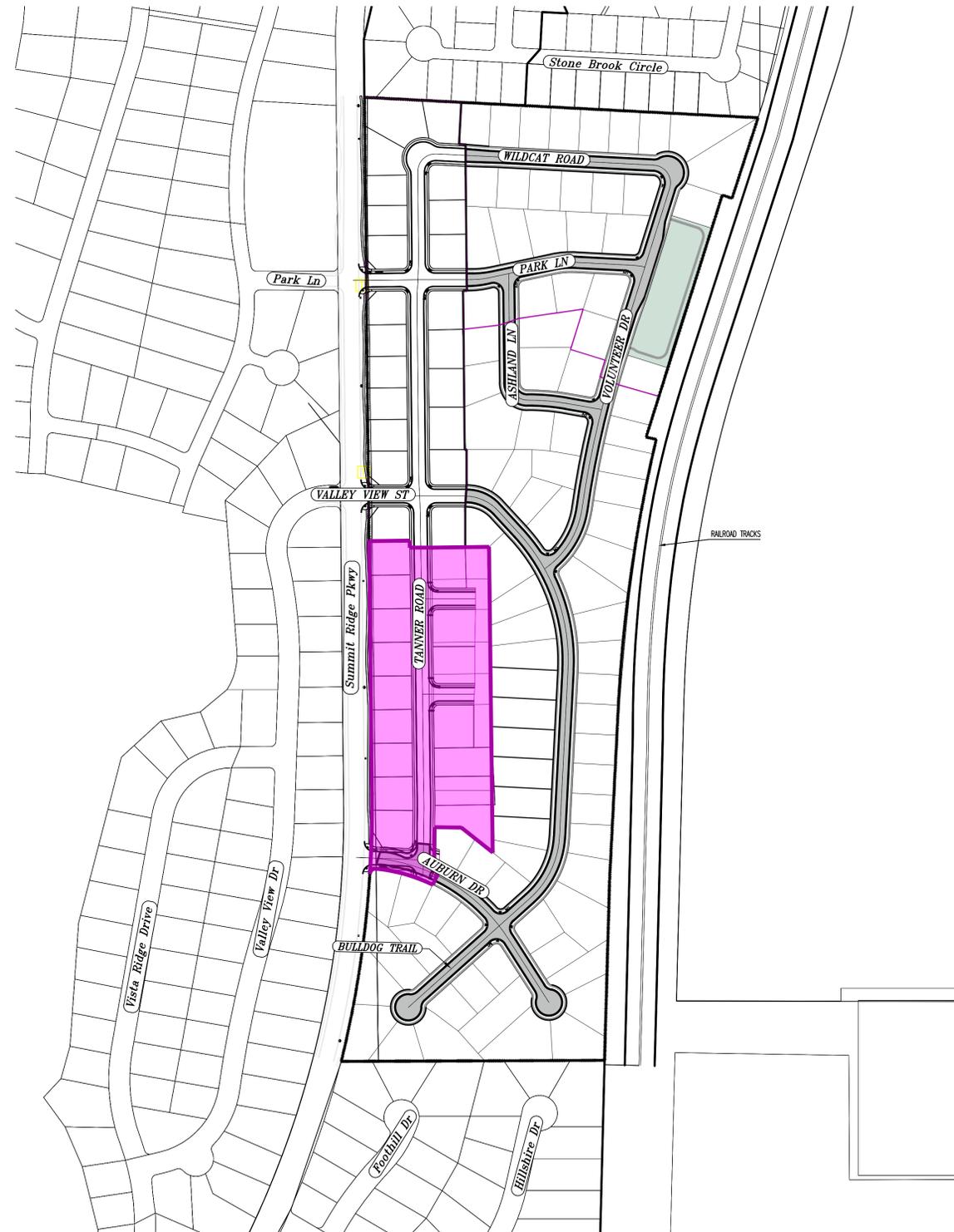


# Tanner Flats @ Summit Ridge - PHASE 2 AMENDED - May 25

Santaquin, Utah County, Utah



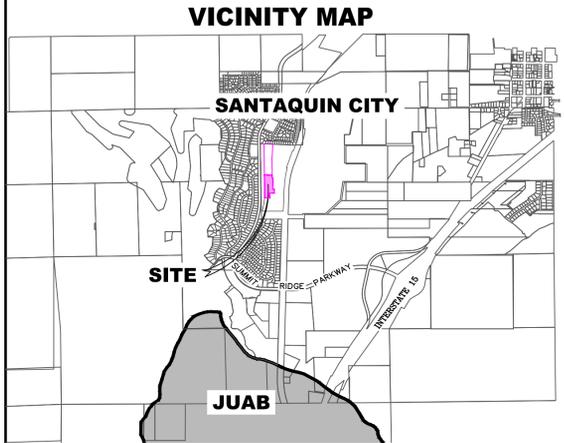
PHASE 2 BREAKDOWN	
TOTAL PLAT ACREAGE	6.87 ACRES
TOTAL LOT ACREAGE	5.35 ACRES
TOTAL ROW ACREAGE	1.92 ACRES
TOTAL OPEN SPACE	- ACRES
ZONE	R-1-10
DENSITY	2.47 / du
NUMBER OF LOTS	17 LOTS

**PROJECT DEVELOPER**  
Skylar Tolbert  
Ivory Development  
801-520-9127  
skylart@ivorydevelopment.com

**PROJECT ENGINEER & SURVEYOR**  
REGION ENGINEERING & SURVEYING  
1776 NORTH STATE STREET #110  
OREM, UTAH 84057  
PH - 801.376.2245

INDEX OF PLAN SHEETS	
SHEET	DESCRIPTION
CS-01	COVER SHEET & NOTES
PH-01	PHASE PLANS
EX-01	EXISTING SITE
PLAT	PLAT SHEETS
FEN-01	FENCING PLAN
DM-01-04	DEMO PLANS
UP-01	SITE & UTILITY PLANS
GR-01-3	GRADING PLANS
PP-01	PLAN & PROFILE - AUBURN DR
EC-01	EROSION CONTROL PLAN
EC-02-03	EROSION CONTROL DETAILS
DT-01-02	TYPICAL DETAILS

- NOTES:**
1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
  2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
  3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND SHEET DT-02 UNLESS OTHERWISE NOTED.
  4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P.I. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
  5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
  6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
  7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.
  8. ALL BACKFILL WITHIN ROADWAY MUST BE A1a MATERIAL.
  9. WATER DEDICATION REQUIRED AT FINAL.



ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS  
A 4 BOX NCBU TO BE LOCATED ON THE NORTH SIDE OF THE PARK LANE ENTRANCE & A 5 BOX NCBU WILL BE LOCATED ON THE SOUTH THE AUBURN DRIVE ENTRANCE

**NOTES TO CONTRACTOR:**  
CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.  
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

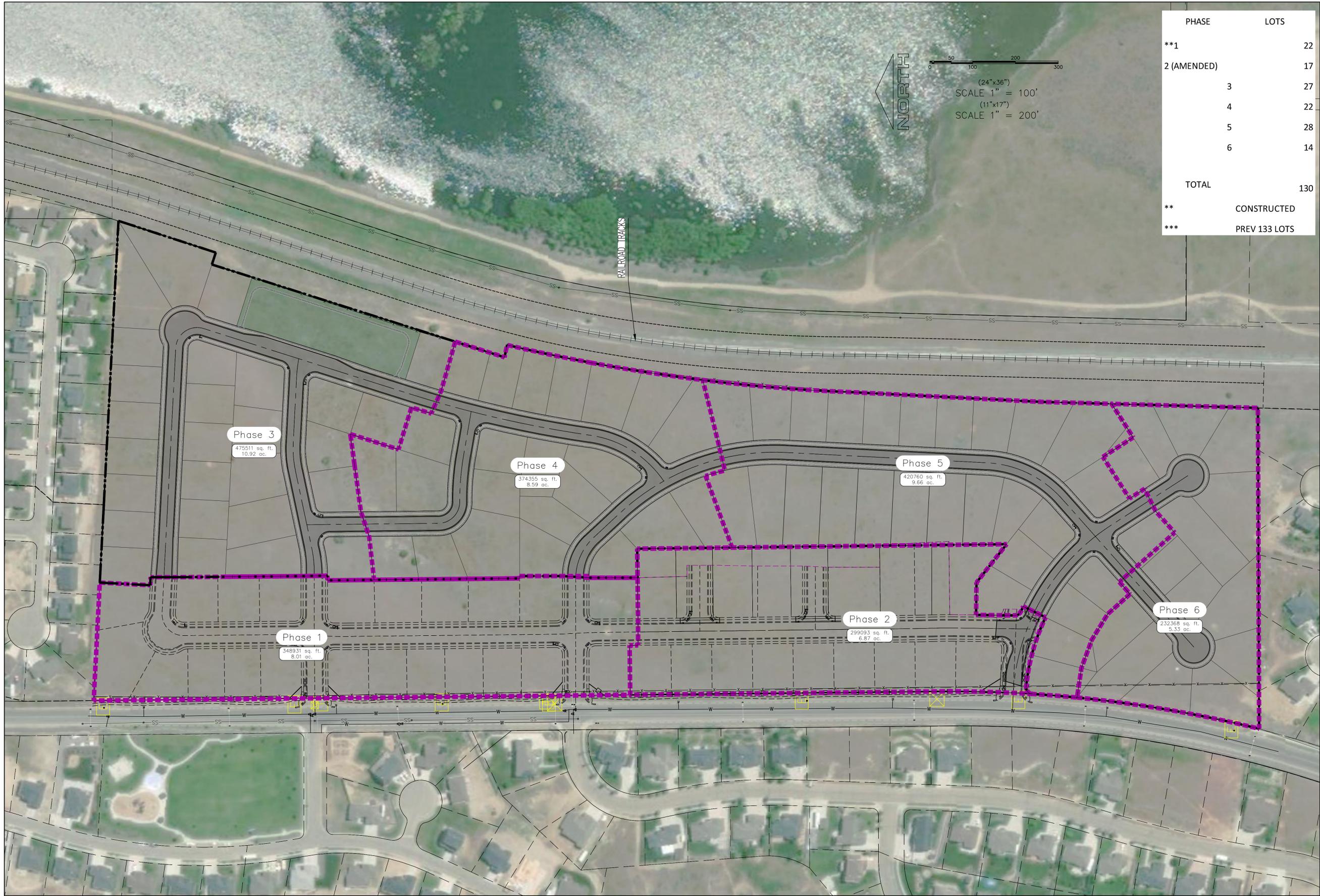
region Engineering & Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com

**TANNER FLATS at SUMMIT RIDGE  
PHASE 2 - AMENDED**  
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025  
PROJECT #

REVISIONS:	
1	
2	
3	

SHEET NAME:  
COVER SHEET & NOTES  
SHEET:  
CS-01



PHASE	LOTS
**1	22
2 (AMENDED)	17
3	27
4	22
5	28
6	14
<b>TOTAL</b>	<b>130</b>
**	CONSTRUCTED
***	PREV 133 LOTS

**region**  
 Engineering & Surveying  
 1776 N. State St. #110  
 Orem, UT 84057  
 P: 801.376.2245  
 regiondesignllc.com

**TANNER FLATS**  
**at SUMMIT RIDGE**  
 LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
 RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

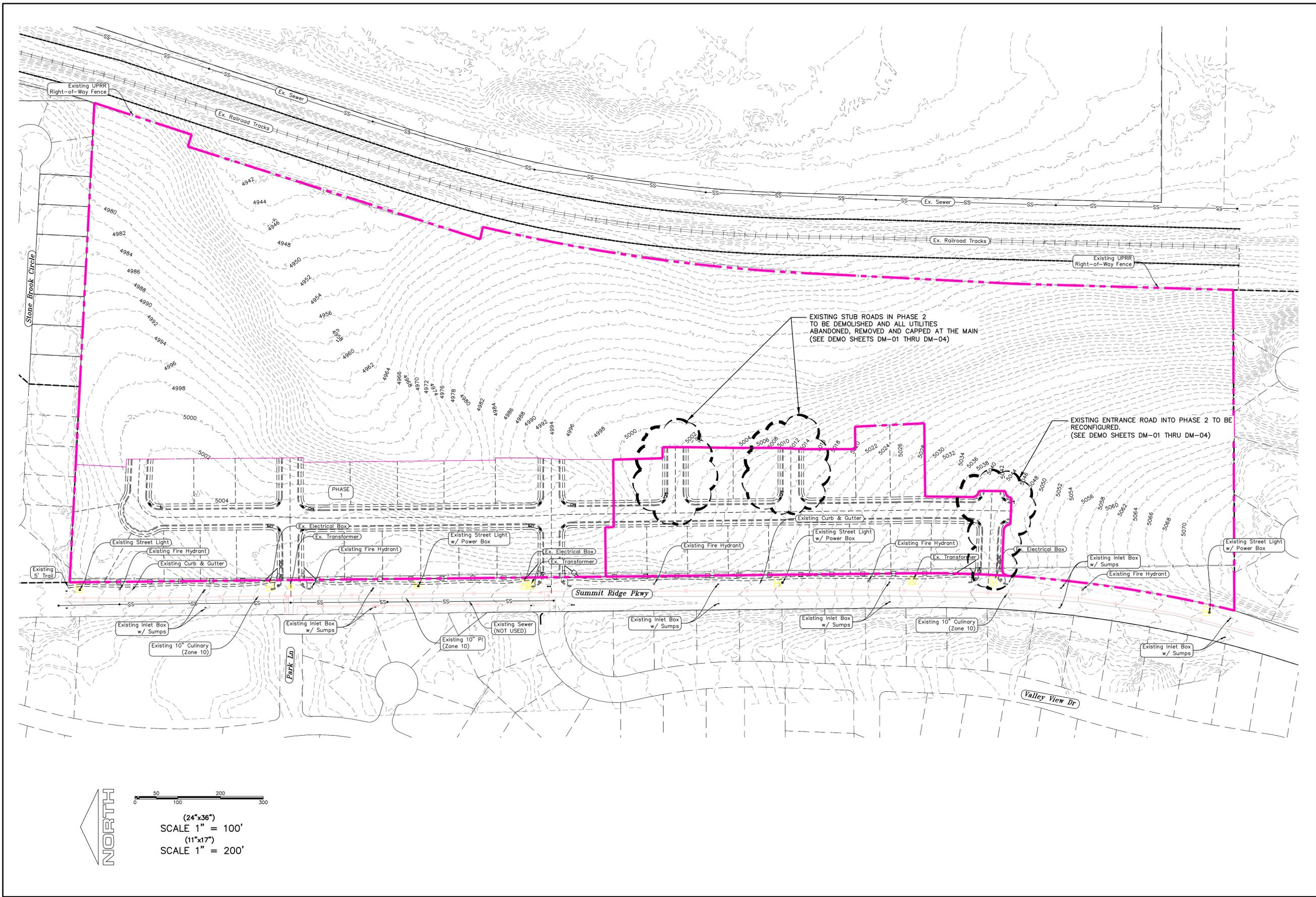
DATE: 5.20.2025

PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
 PHASE PLAN  
 SHEET:  
**PH-01**



**TANNER FLATS at SUMMIT RIDGE**  
**PHASE 2 - AMENDED**  
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN


DATE: 5.20.2025	
PROJECT #	
REVISIONS:	
1	
2	
3	

SHEET NAME:	EXISTING CONDITIONS
SHEET:	EX-01

D:\PROJECTS\REGION ENGINEERING\PROJECTS\2021\021\_TANNER FLATS\SHEET FILES\PHASE 2\EX-01

# TANNER FLATS @ SUMMIT RIDGE

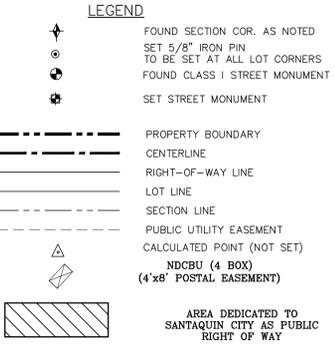
## - PHASE 2a -

### An Amendment of Tanner Flats @ Summit Ridge Phase 2

PHASE 2 BREAKDOWN	
TOTAL LOT ACREAGE	6.87 ACRES
TOTAL LOT ACREAGE	5.35 ACRES
TOTAL ROW ACREAGE	1.52 ACRES
TOTAL OPEN SPACE	- ACRES
ZONE	R-1-10
DENSITY	2.47 / Acre
NUMBER OF LOTS	17 LOTS

**PROJECT DEVELOPER**  
 Skylar Tolbert  
 Ivory Development  
 801-520-9127  
 skylart@ivorydevelopment.com

**PROJECT ENGINEER & SURVEYOR**  
 REGION ENGINEERING & SURVEYING  
 1776 NORTH STATE STREET #110  
 OREM, UTAH 84057  
 PH - 801.376.2245



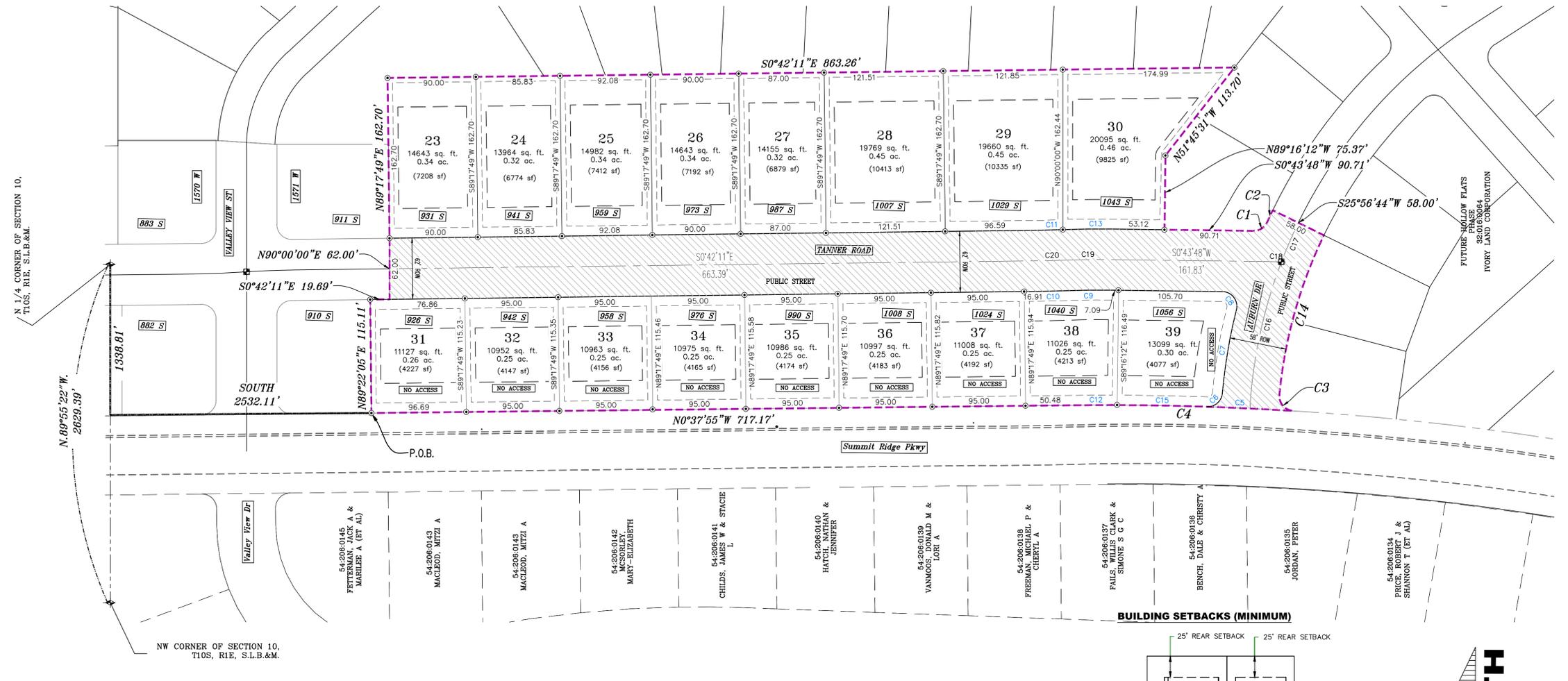
CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	17.34'	15.00'	16.39'	S32°23'22"E	66°14'20"
C2	13.43'	529.00'	13.43'	S64°46'54"E	1°27'15"
C3	24.04'	15.00'	21.55'	S49°29'22"W	91°48'26"
C4	222.30'	3019.90'	222.25'	N1°28'37"E	41°3'03"
C5	87.65'	3019.90'	87.64'	N2°45'16"E	1°39'46"
C6	22.77'	15.00'	20.64'	S41°33'20"E	86°57'25"
C7	85.73'	529.00'	85.64'	S80°23'29"E	91°7'07"
C8	27.10'	15.00'	23.56'	N52°29'27"E	103°31'17"
C9	47.50'	969.00'	47.50'	N0°40'27"W	2°48'31"
C10	24.75'	1031.00'	24.75'	N1°23'27"W	1°22'32"
C11	23.26'	969.00'	23.26'	S1°23'27"E	1°22'32"
C12	42.85'	3019.90'	42.85'	N0°13'31"W	0°48'47"
C13	50.54'	1031.00'	50.53'	S0°40'27"E	2°48'31"
C14	168.95'	471.00'	168.05'	N74°19'50"W	20°33'09"
C15	91.80'	3019.90'	91.80'	N1°03'07"E	1°44'30"

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C16	152.81'	500.00'	152.22'	N77°45'59"W	17°30'41"
C17	43.25'	500.00'	43.24'	N66°31'58"W	4°57'23"
C18	10.81'	1000.00'	10.81'	S1°02'23"W	0°37'10"
C19	49.02'	1000.00'	49.02'	S0°40'27"E	2°48'31"
C20	24.01'	1000.00'	24.01'	S1°23'27"E	1°22'32"



**Surveyor's Certificate**  
 I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

**Boundary Description**  
 TANNER FLATS @ SUMMIT RIDGE - PHASE 2a  
 BEGINNING AT A POINT ON A LINE THAT IS N.89°55'22"W. A DISTANCE OF 1338.81 FEET ALONG THE SECTION LINE AND SOUTH 2532.11 FEET FROM THE NORTH 1/4 CORNER OF SECTION 10, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN;  
 THENCE, N 89° 22' 05" E FOR A DISTANCE OF 115.11 FEET TO A POINT ON A LINE.  
 THENCE, S 00° 42' 11" E FOR A DISTANCE OF 19.69 FEET TO A POINT ON A LINE.  
 THENCE, N 90° 00' 00" E FOR A DISTANCE OF 62.00 FEET TO A POINT ON A LINE.  
 THENCE, N 89° 17' 49" E FOR A DISTANCE OF 162.70 FEET TO A POINT ON A LINE.  
 THENCE, S 00° 42' 11" E FOR A DISTANCE OF 863.26 FEET TO A POINT ON A LINE.  
 THENCE, N 51° 45' 31" W FOR A DISTANCE OF 113.70 FEET TO A POINT ON A LINE.  
 THENCE, N 89° 16' 12" W FOR A DISTANCE OF 75.37 FEET TO A POINT ON A LINE.  
 THENCE, S 00° 43' 48" W FOR A DISTANCE OF 90.71 FEET TO THE BEGINNING OF A CURVE,  
 SAID CURVE TURNING TO THE LEFT THROUGH 66° 14' 20", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS S 32° 23' 22" E FOR A DISTANCE OF 16.39 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE. SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 01° 27' 15", HAVING A RADIUS OF 529.00 FEET, AND WHOSE LONG CHORD BEARS S 64° 46' 54" E FOR A DISTANCE OF 13.43 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE.  
 THENCE, S 25° 56' 44" W FOR A DISTANCE OF 58.00 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE. SAID CURVE TURNING TO THE LEFT THROUGH 20° 33' 09", HAVING A RADIUS OF 471.00 FEET, AND WHOSE LONG CHORD BEARS N 74° 19' 50" W FOR A DISTANCE OF 168.05 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE. SAID CURVE TURNING TO THE LEFT THROUGH 91° 48' 26", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS S 49° 29' 22" W FOR A DISTANCE OF 21.55 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE. SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 04° 13' 03", HAVING A RADIUS OF 3019.90 FEET, AND WHOSE LONG CHORD BEARS N 01° 28' 37" E FOR A DISTANCE OF 222.25 FEET.  
 THENCE N 00° 37' 55" W A DISTANCE OF 717.17 FEET TO THE POINT OF BEGINNING  
 CONTAINING 6.87 ACRES OF LAND AND 17 LOTS



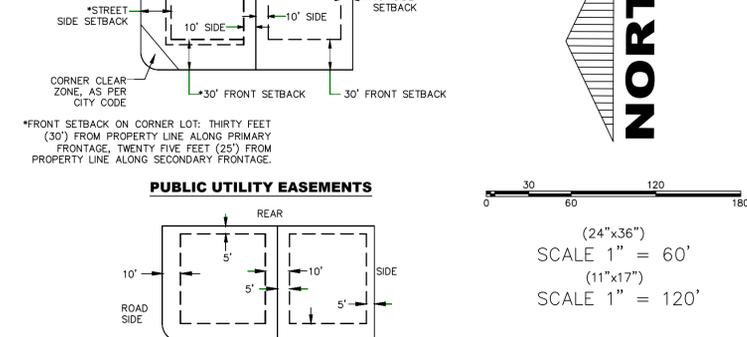
**NOTES:**  
 1. TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.  
 2. PROPOSED RESIDENTIAL ADDRESS  
 3. AREA IN PARENTHESIS DENOTES BUILDABLE AREA  
 4. THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

**BASIS OF BEARING**  
 THE BASIS OF BEARING FOR THE TANNER FLATS @ SUMMIT RIDGE IS ON THE SECTION LINE BETWEEN THE SW CORNER OF SECTION 10 AND THE N 1/4 CORNER OF SECTION 10, T10S, R1E, S1B&M WITH THE BEARING BEING S89°55'22"W ALONG SAID LINE.

**UTILITIES APPROVAL**  
 UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MTN POWER \_\_\_\_\_  
 CENTRACOM \_\_\_\_\_  
 CENTURY LINK \_\_\_\_\_

**QUESTAR GAS COMPANY dba ENBRIDGE APPROVAL**  
 QUESTAR GAS COMPANY dba ENBRIDGE GAS UTAH APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. QUESTAR GAS COMPANY dba ENBRIDGE GAS UTAH MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT QUESTAR GAS COMPANY dba ENBRIDGE GAS UTAHS RIGHT OF WAY DEPARTMENT AT 1-800-366-8532.  
 APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
 QUESTAR GAS COMPANY dba ENBRIDGE GAS UTAH  
 BY: \_\_\_\_\_  
 TITLE: \_\_\_\_\_



**OWNERS DEDICATION**  
 KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.  
 IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

**STATE OF UTAH**  
 COUNTY OF UTAH  
 ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE \_\_\_\_\_ OF \_\_\_\_\_ A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.  
 MY COMMISSION EXPIRES \_\_\_\_\_ A NOTARY PUBLIC COMMISSIONED IN UTAH  
 NOTARY ADDRESS \_\_\_\_\_ PRINTED FULL NAME OF NOTARY \_\_\_\_\_

**ACCEPTANCE BY LEGISLATIVE BODY**  
 THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

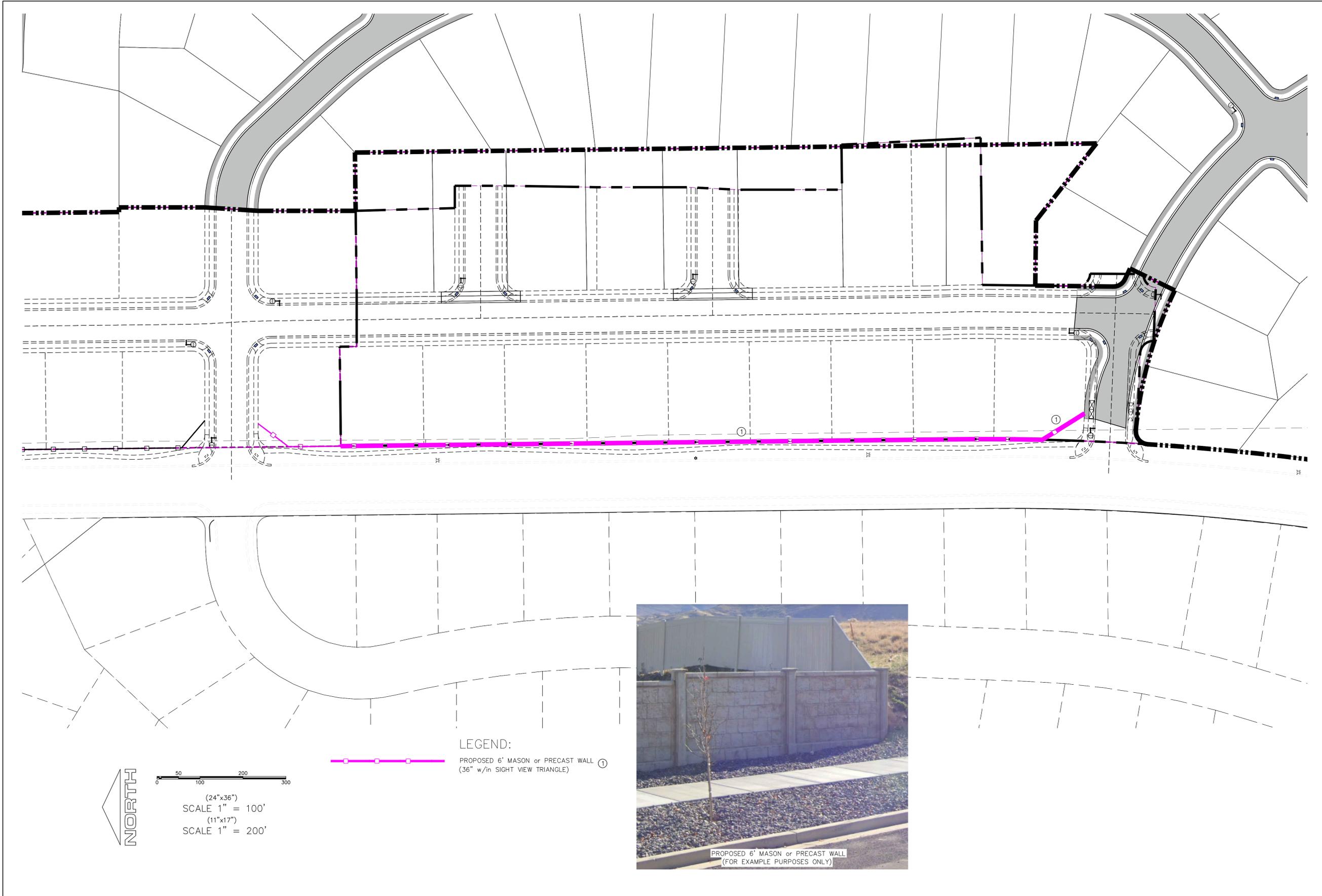
APPROVED MAYOR OF SANTAQUIN \_\_\_\_\_  
 ATTEST \_\_\_\_\_ CLERK-RECORDER (See Seal Below)

**TANNER FLATS @ SUMMIT RIDGE**  
**PHASE 2a**  
**An Amendment of Tanner Flats @ Summit Ridge Phase 2**

UTAH COUNTY, UTAH  
 SCALE: 1" = 60 FEET  
 NOTARY PUBLIC SEAL \_\_\_\_\_ CITY-COUNTY ENGINEER SEAL \_\_\_\_\_ COUNTY-RECORDER SEAL \_\_\_\_\_

**SHEET 1 of 1**

This form approved by Utah County and the municipalities therein.



**NORTH**

0 50 100 200 300

(24"x36")  
SCALE 1" = 100'

(11"x17")  
SCALE 1" = 200'

**LEGEND:**

 PROPOSED 6' MASON or PRECAST WALL (36" w/in SIGHT VIEW TRIANGLE) ①



**region**  
Engineering & Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com



**TANNER FLATS at SUMMIT RIDGE**  
**PHASE 2 - AMENDED**  
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025	
PROJECT #	
REVISIONS:	
①	
②	
③	

SHEET NAME:  
FENCING PLAN  
SHEET:  
**FEN-01**

0 25 50 100 150  
 (24"x36")  
 SCALE 1" = 50'  
 (11"x17")  
 SCALE 1" = 100'



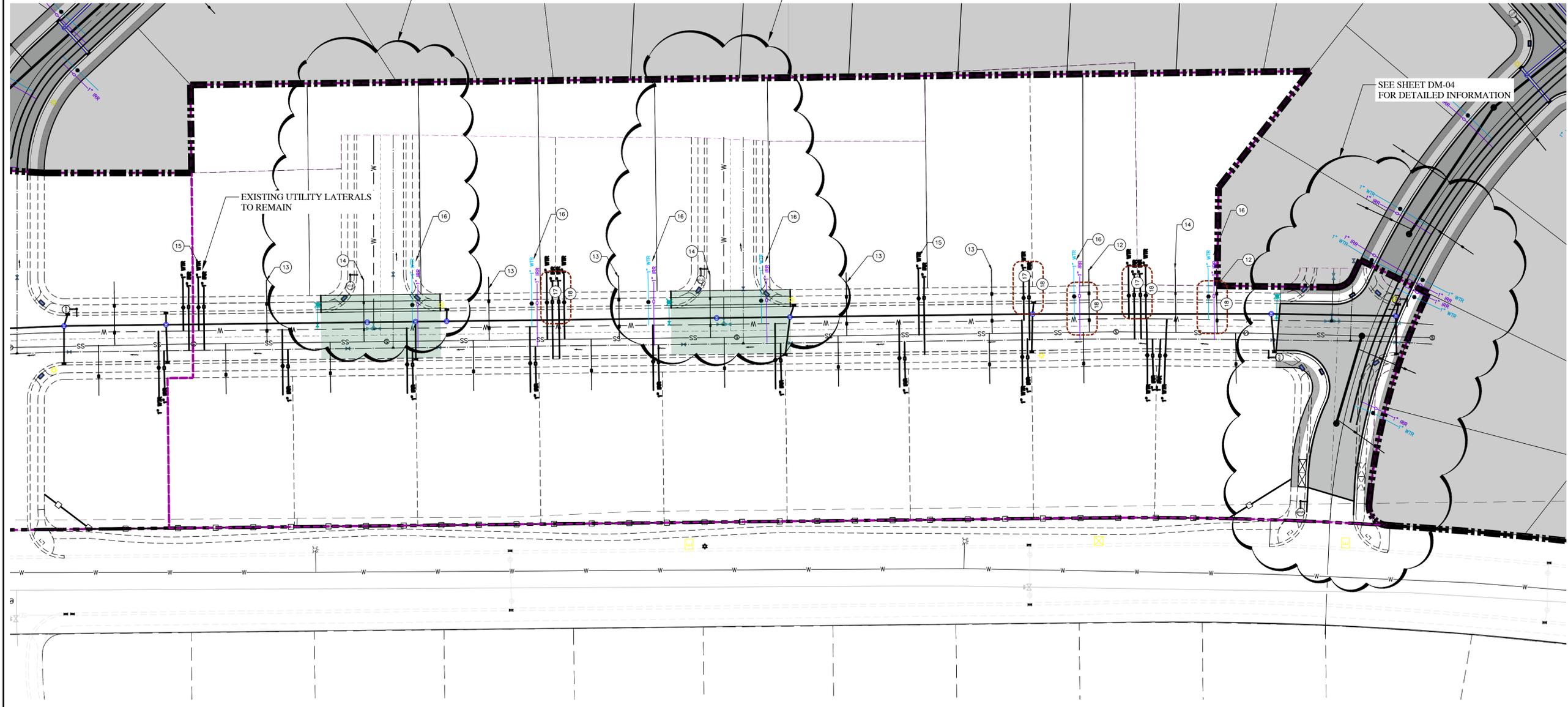
ALL IMPROVEMENTS AND DETAILS PER  
 SANTAQUIN CITY CONSTRUCTION STANDARDS  
 ALL RELOCATED & EXISTING UTILITY LATERALS  
 TO MEET SANTAQUIN CITY SPECIFICATIONS

- 12 EXISTING SEWER LATERAL TO BE REMOVED AND CAPPED AT MAIN
- 13 EXISTING SEWER LATERAL TO REMAIN
- 14 INSTALL NEW 4" SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 15 EXISTING WATER AND PI LATERALS/METERS TO REMAIN
- 16 INSTALL NEW WATER & PI LATERALS/METER AT NEW LOT LINE LOCATION
- 17 EXISTING WATER AND PI LATERALS/METERS TO BE REMOVED AND CAPPED AT THE MAIN
- 18 REPAIR ALL CONCRETE (SIDEWALK, CURB & GUTTER), ASPHALT & LANDSCAPE DUE TO RELOCATED UTILITY WORK. ALL REPAIRS DONE PER SANTAQUIN CITY SPECIFICATIONS

SEE SHEET DM-02  
 FOR DETAILED INFORMATION

SEE SHEET DM-03  
 FOR DETAILED INFORMATION

SEE SHEET DM-04  
 FOR DETAILED INFORMATION



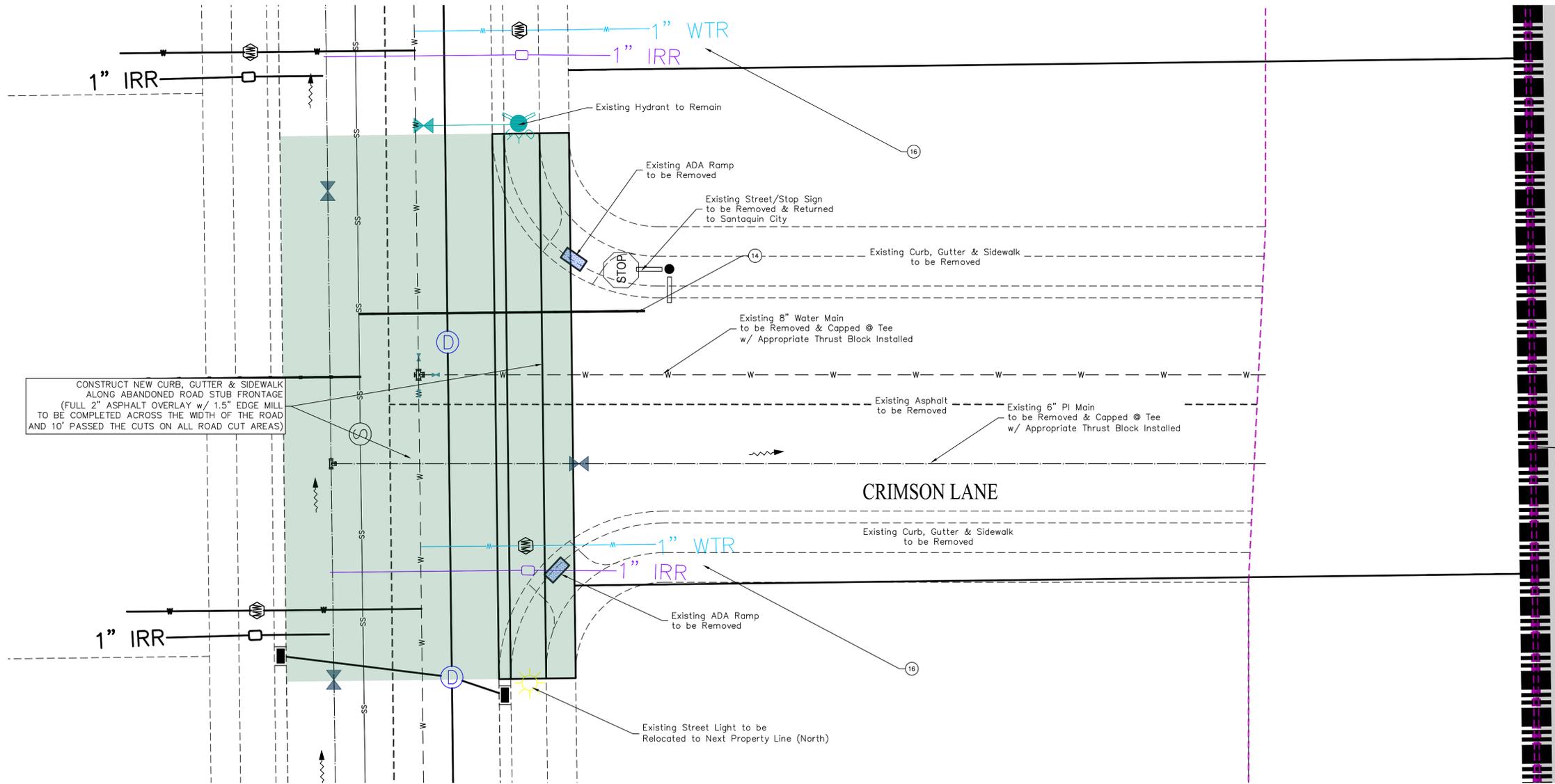
**region**  
 Engineering & Surveying  
 1776 N. State St. #110  
 Orem, UT 84057  
 P: 801.376.2245  
 regiondesignllc.com



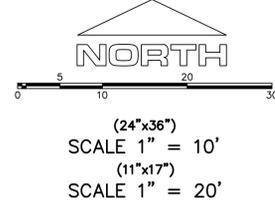
**TANNER FLATS at SUMMIT RIDGE  
 PHASE 2 - AMENDED**  
 LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
 RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025	
PROJECT #	
REVISIONS:	
1	
2	
3	

SHEET NAME:  
 DEMO PLAN  
 SHEET:  
 DM-01



CONSTRUCT NEW CURB, GUTTER & SIDEWALK  
ALONG ABANDONED ROAD STUB FRONTAGE  
(FULL 2\"/>



ALL IMPROVEMENTS AND DETAILS PER  
SANTAQUIN CITY CONSTRUCTION STANDARDS

region  
Engineering  
& Surveying

1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com



**TANNER FLATS at SUMMIT RIDGE  
PHASE 2 - AMENDED**  
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025

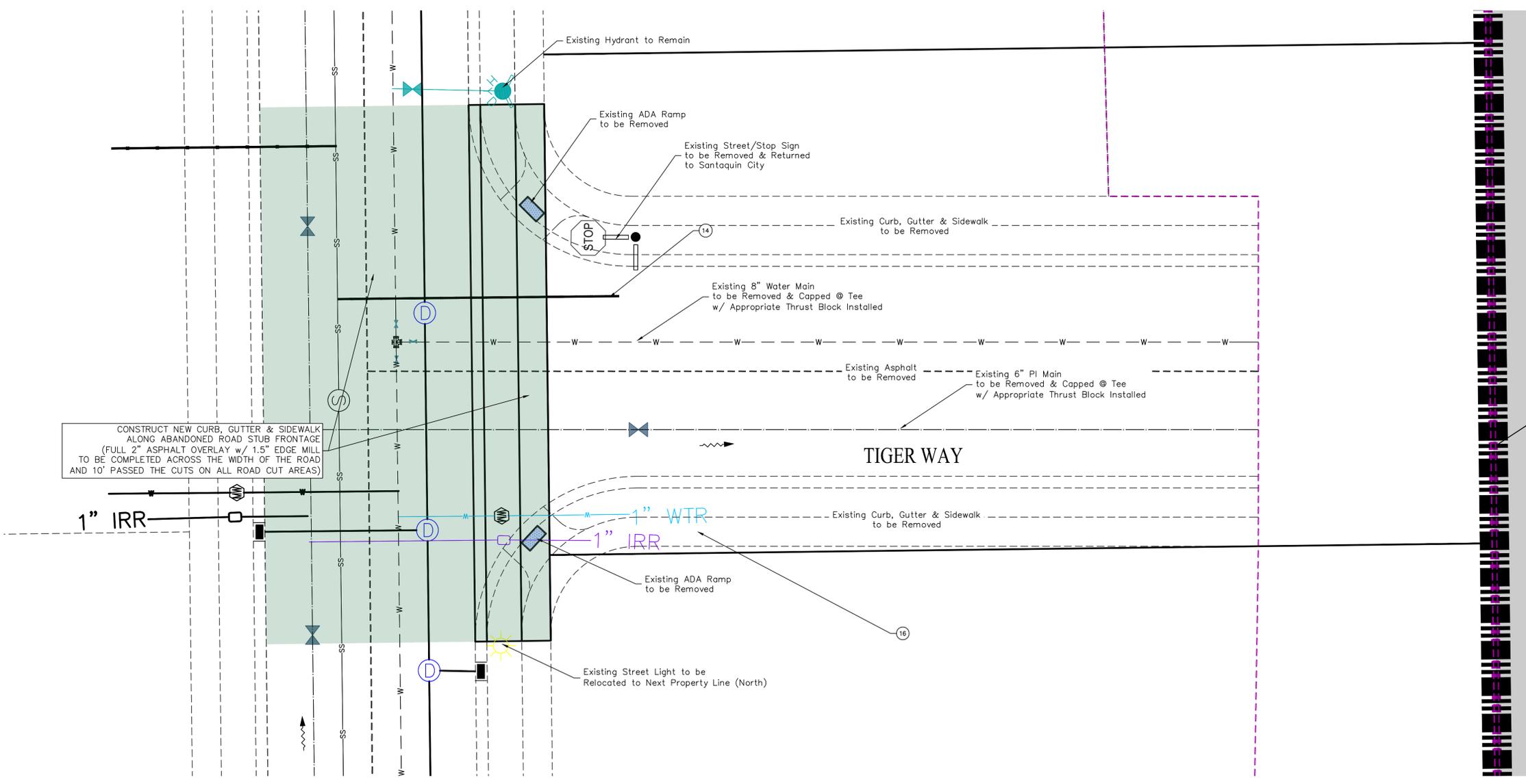
PROJECT #

REVISIONS:

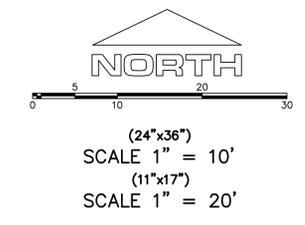
1	
2	
3	

SHEET NAME:  
DEMO PLAN

SHEET:  
DM-03



CONSTRUCT NEW CURB, GUTTER & SIDEWALK  
ALONG ABANDONED ROAD STUB FRONTAGE  
(FULL 2" ASPHALT OVERLAY w/ 1.5" EDGE MILL  
TO BE COMPLETED ACROSS THE WIDTH OF THE ROAD  
AND 10' PASSED THE CUTS ON ALL ROAD CUT AREAS)



ALL IMPROVEMENTS AND DETAILS PER  
SANTAQUIN CITY CONSTRUCTION STANDARDS

**region**  
Engineering  
& Surveying

1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com

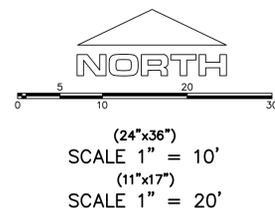
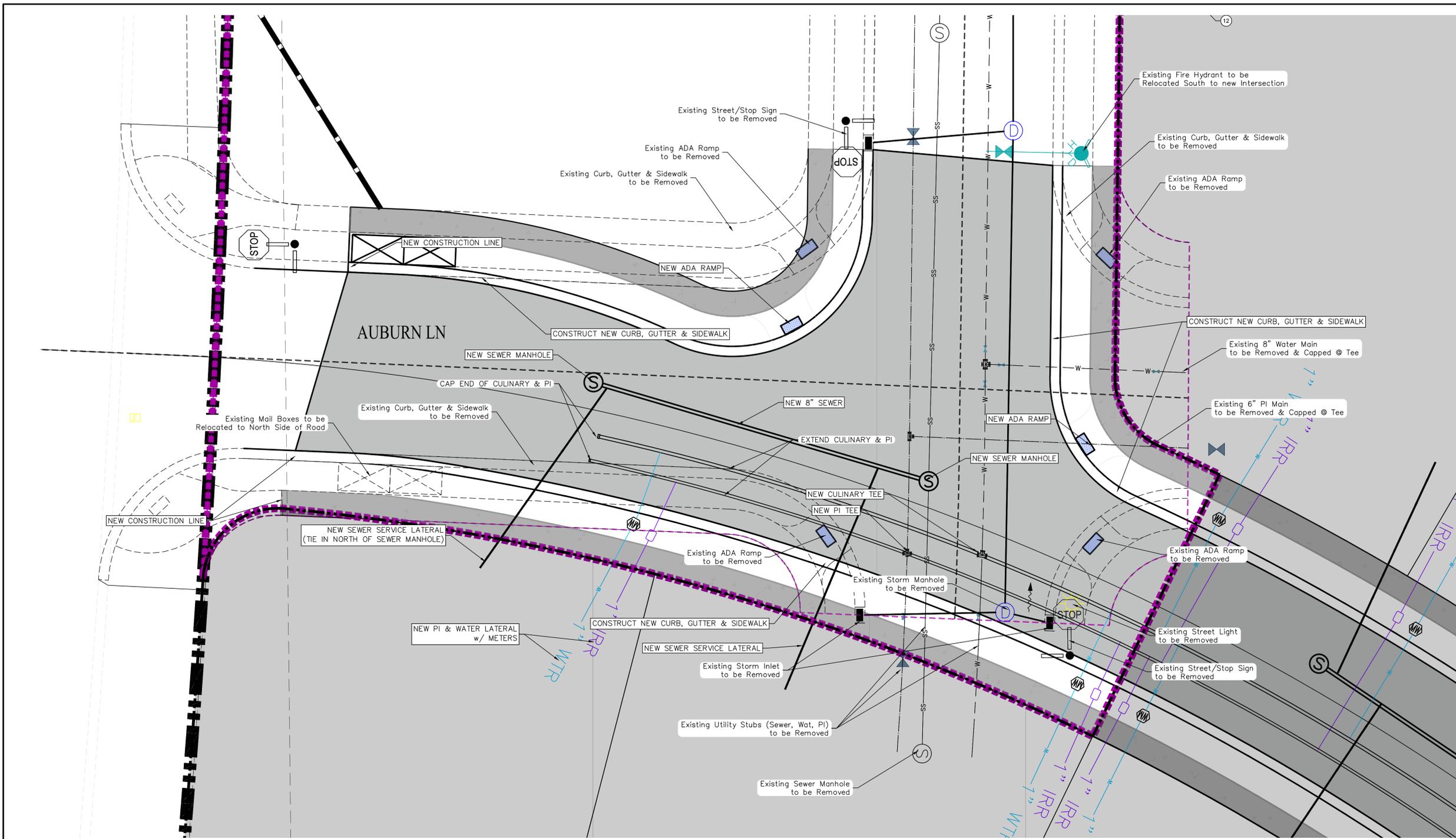


**TANNER FLATS at SUMMIT RIDGE  
PHASE 2 - AMENDED**  
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025	
PROJECT #	
REVISIONS:	
1	
2	
3	

SHEET NAME:  
DEMO PLAN

SHEET:  
**DM-02**



ALL IMPROVEMENTS AND DETAILS PER  
SANTAQUIN CITY CONSTRUCTION STANDARDS

region  
Engineering  
& Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com



**TANNER FLATS at SUMMIT RIDGE  
PHASE 2 - AMENDED**  
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

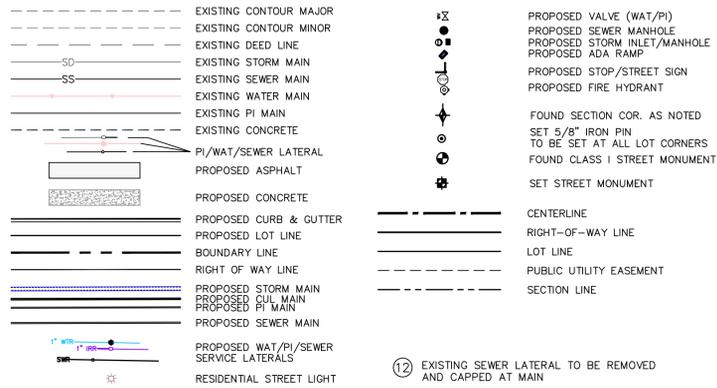
DATE: 5.20.2025  
PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
DEMO PLAN  
SHEET:  
**DM-04**

**LEGEND**



- 12 EXISTING SEWER LATERAL TO BE REMOVED AND CAPPED AT MAIN
- 13 EXISTING SEWER LATERAL TO REMAIN
- 14 INSTALL NEW 4" SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 15 EXISTING WATER AND PI LATERALS/METERS TO REMAIN
- 16 INSTALL NEW WATER & PI LATERALS/METER AT NEW LOT LINE LOCATION
- 17 EXISTING WATER AND PI LATERALS/METERS TO BE REMOVED AND CAPPED AT THE MAIN

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX

**NOTES TO CONTRACTOR:**

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

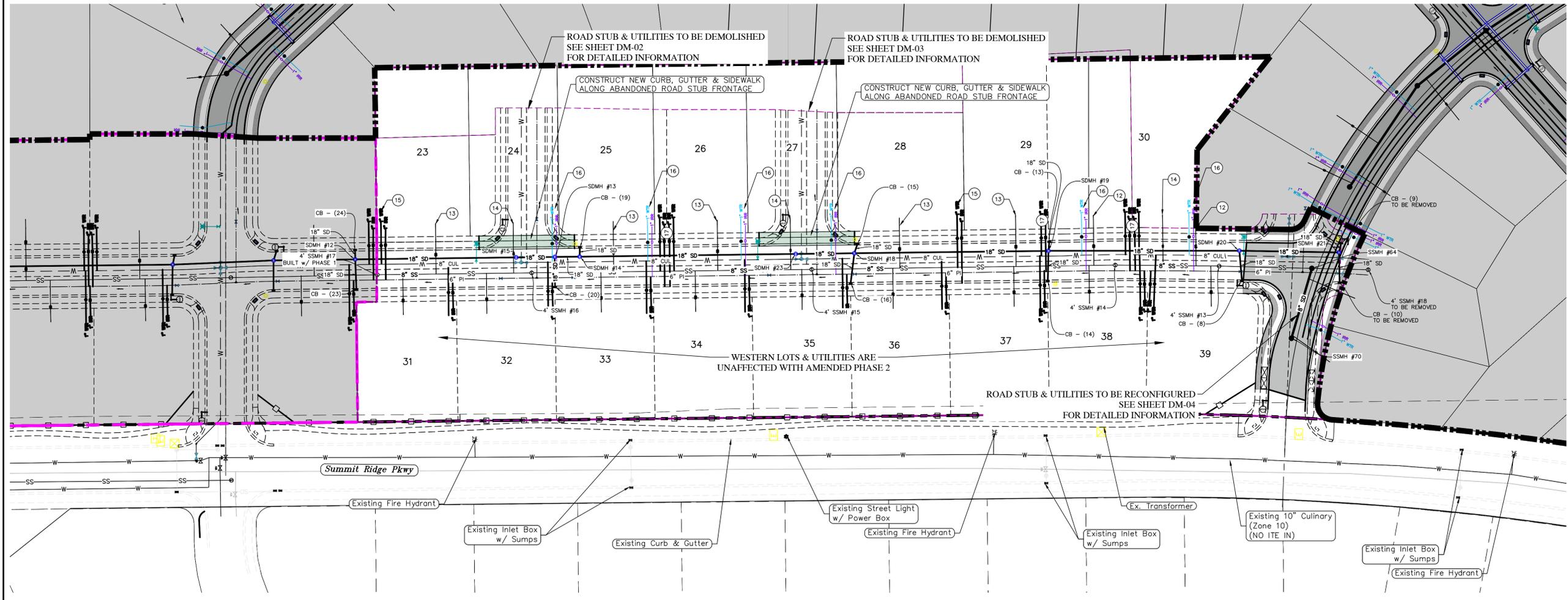
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



(24"x36")  
SCALE 1" = 50'  
(11"x17")  
SCALE 1" = 100'



ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS



Engineering & Surveying  
**region**  
 1776 N. State St. #110  
 Orem, UT 84057  
 P: 801.376.2245  
 regiondesignllc.com

**TANNER FLATS at SUMMIT RIDGE**  
**PHASE 2 - AMENDED**  
 LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
 RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025

PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
 UTILITY PLANS  
 SHEET:  
**UP-01**

**LEGEND**

- - - - -	EXISTING CONTOUR MAJOR	⊕	PROPOSED VALVE (WAT/PI)
- - - - -	EXISTING CONTOUR MINOR	⊕	PROPOSED SEWER MANHOLE
- - - - -	EXISTING DEED LINE	⊕	PROPOSED STORM INLET/MANHOLE
-SD-	EXISTING STORM MAIN	⊕	PROPOSED ADA RAMP
-SS-	EXISTING SEWER MAIN	⊕	PROPOSED STOP/STREET SIGN
- - - - -	EXISTING WATER MAIN	⊕	PROPOSED FIRE HYDRANT
- - - - -	EXISTING PI MAIN	⊕	FOUND SECTION COR. AS NOTED
- - - - -	EXISTING CONCRETE	⊕	SET 5/8" IRON PIN
- - - - -	PI/WAT/SEWER LATERAL	⊕	TO BE SET AT ALL LOT CORNERS
- - - - -	PROPOSED ASPHALT	⊕	FOUND CLASS I STREET MONUMENT
- - - - -	PROPOSED CONCRETE	⊕	SET STREET MONUMENT
- - - - -	PROPOSED CURB & GUTTER	- - - - -	CENTERLINE
- - - - -	PROPOSED LOT LINE	- - - - -	RIGHT-OF-WAY LINE
- - - - -	BOUNDARY LINE	- - - - -	LOT LINE
- - - - -	RIGHT OF WAY LINE	- - - - -	PUBLIC UTILITY EASEMENT
- - - - -	PROPOSED STORM MAIN	- - - - -	SECTION LINE
- - - - -	PROPOSED CU MAIN		
- - - - -	PROPOSED PI MAIN		
- - - - -	PROPOSED SEWER MAIN		
- - - - -	PROPOSED WAT/PI/SEWER SERVICE LATERALS		
⊕	RESIDENTIAL STREET LIGHT		

**NOTES TO CONTRACTOR:**

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

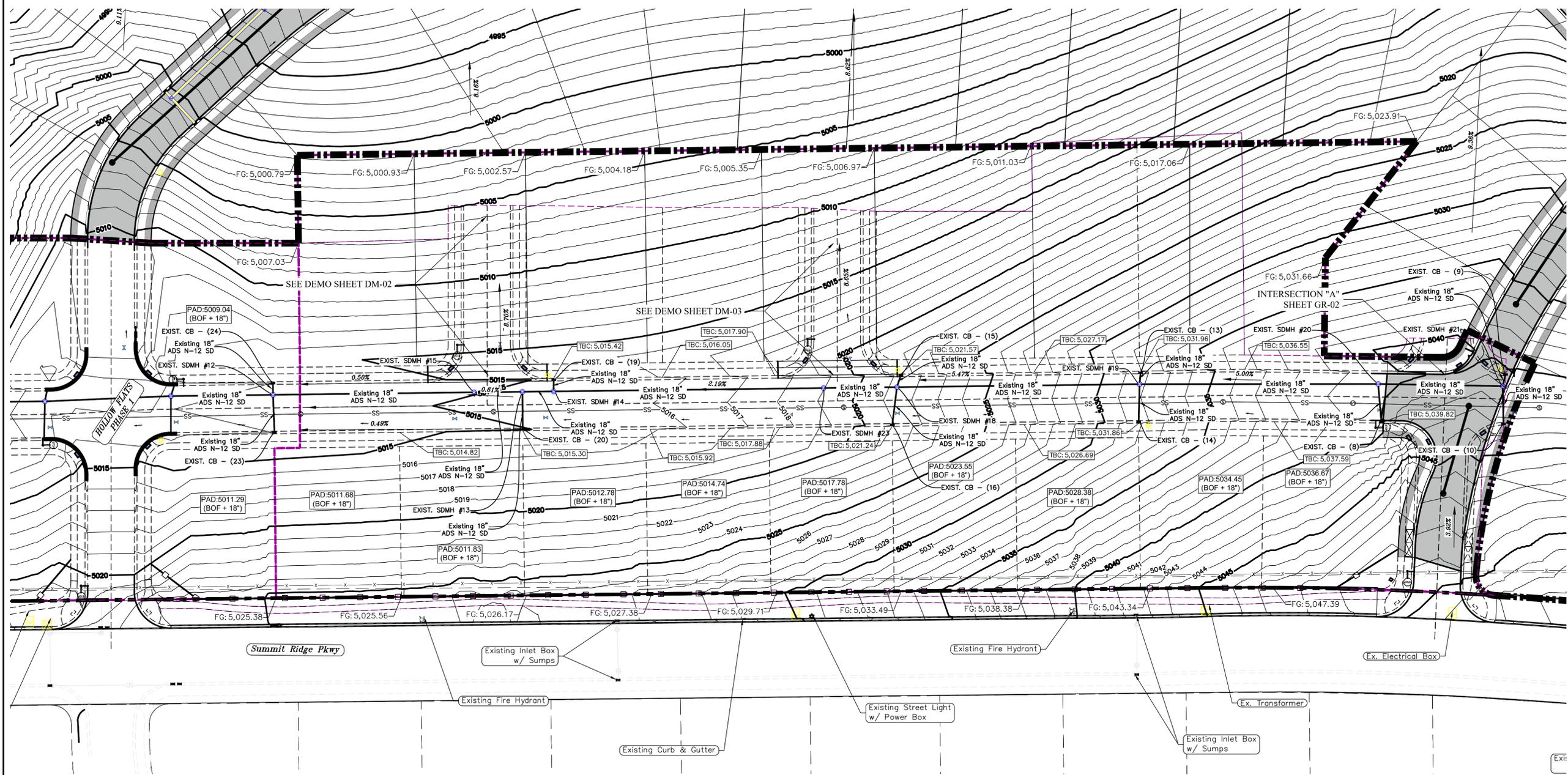
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX

0 25 50 100 150

(24"x36")  
SCALE 1" = 50'  
(11"x17")  
SCALE 1" = 100'

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS



**region**  
Engineering & Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com

**TANNER FLATS at SUMMIT RIDGE  
PHASE 2 - AMENDED**  
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

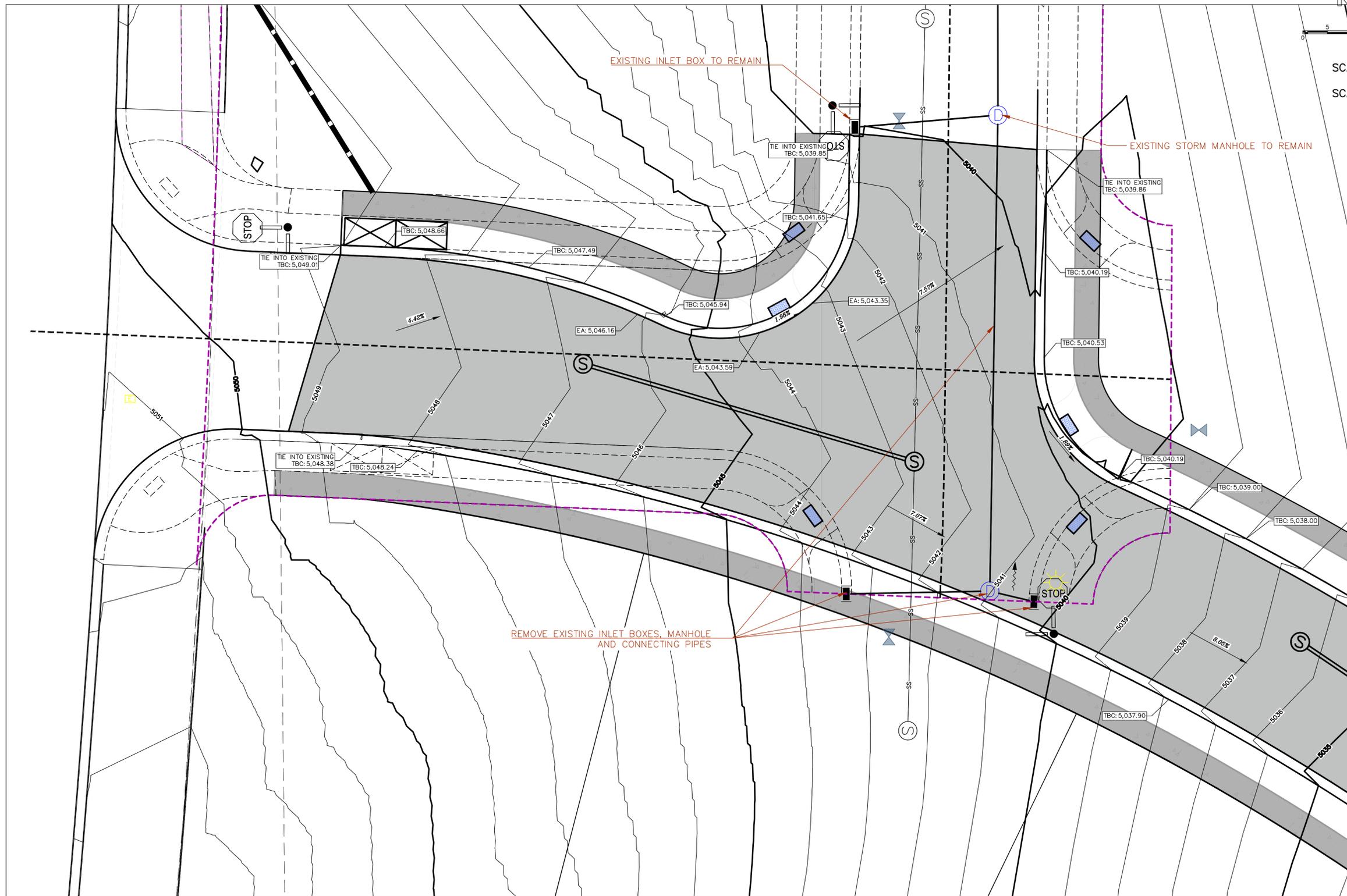
DATE: 5.20.2025

PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
GRADING PLANS  
SHEET:  
GR-01



NORTH

(24"x36")  
SCALE 1" = 10'  
(11"x17")  
SCALE 1" = 20'

INTERSECTION 'A'

ALL IMPROVEMENTS AND DETAILS PER  
SANTAQUIN CITY CONSTRUCTION STANDARDS

region  
Engineering  
& Surveying

1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com




**TANNER FLATS at SUMMIT RIDGE  
PHASE 2 - AMENDED**  
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025

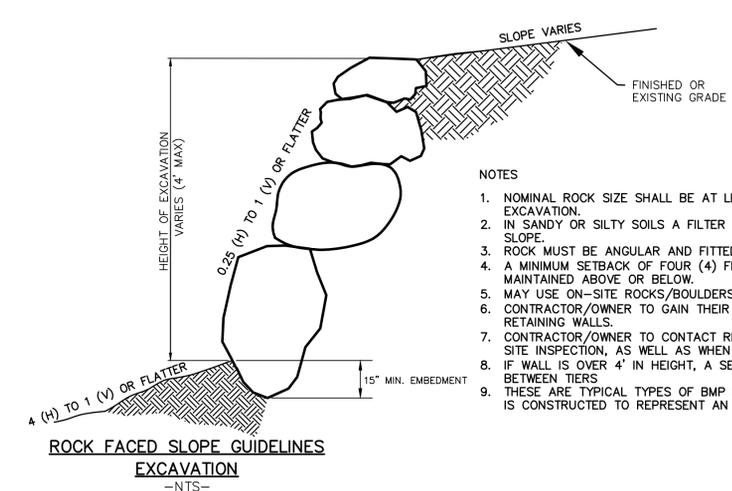
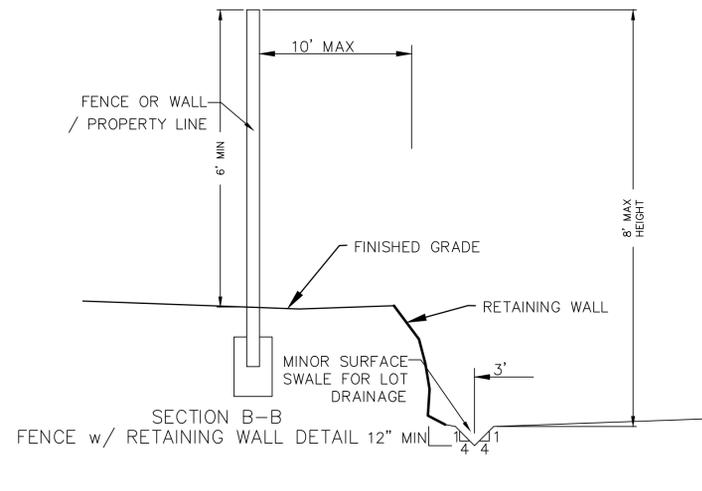
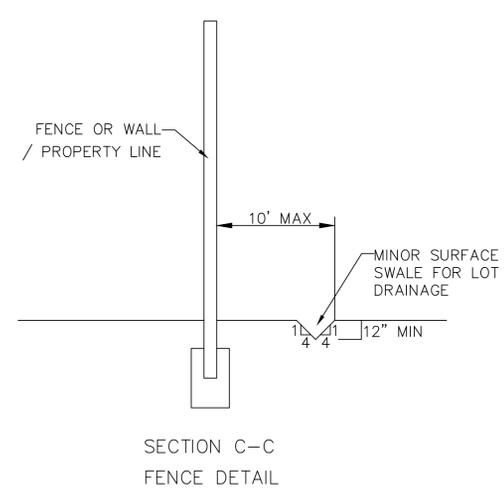
PROJECT #

REVISIONS:

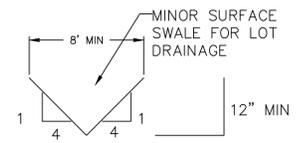
1	
2	
3	

SHEET NAME:  
GRADING PLANS

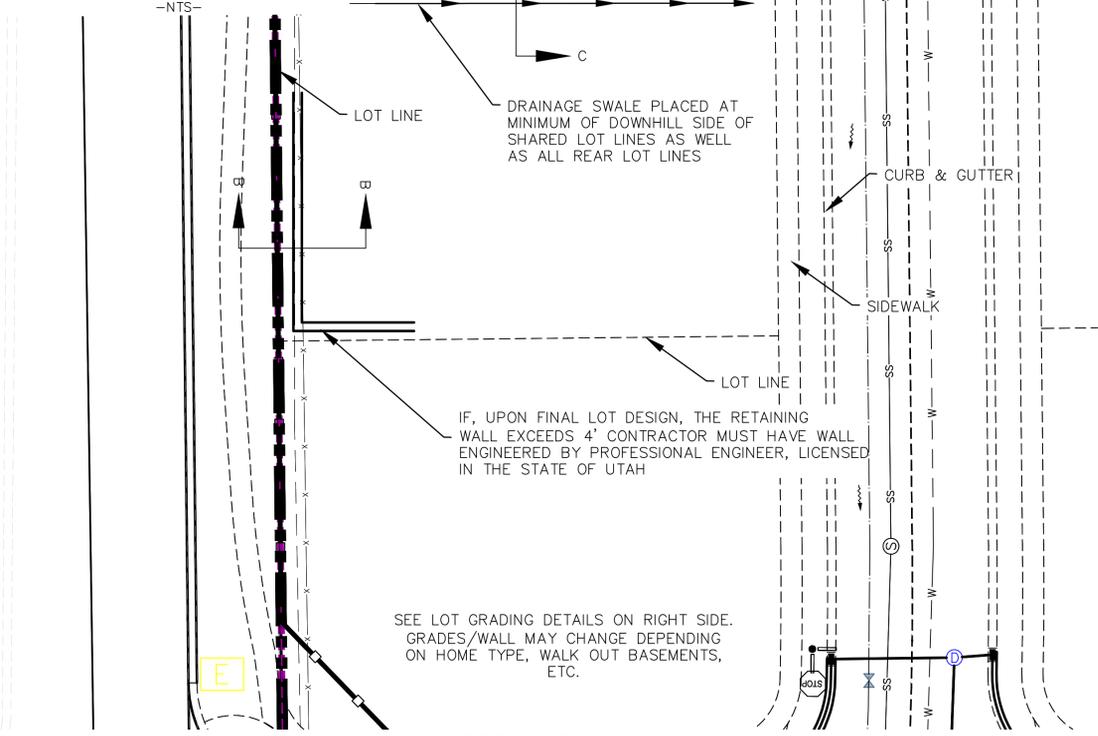
SHEET:  
**GR-02**



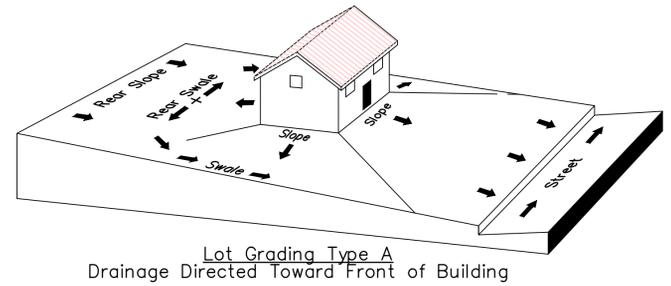
- NOTES
1. NOMINAL ROCK SIZE SHALL BE AT LEAST ONE THIRD (1/3) THE HEIGHT OF THE EXCAVATION.
  2. IN SANDY OR SILTY SOILS A FILTER FABRIC SHALL BE PLACED BEHIND THE ROCK FACED SLOPE.
  3. ROCK MUST BE ANGULAR AND FITTED TOGETHER TO INTERACT WITH THE ADJACENT ROCK.
  4. A MINIMUM SETBACK OF FOUR (4) FEET FROM BUILDINGS OR STRUCTURES SHALL BE MAINTAINED ABOVE OR BELOW.
  5. MAY USE ON-SITE ROCKS/BOULDERS IF CONDITION APPLYS
  6. CONTRACTOR/OWNER TO GAIN THEIR OWN STRUCTURAL ENGINEER AND DESIGN FOR ALL RETAINING WALLS.
  7. CONTRACTOR/OWNER TO CONTACT REGION ENGINEERING AFTER FIRST WALL IS PLACED FOR SITE INSPECTION, AS WELL AS WHEN FINAL PRODUCT IS COMPLETED
  8. IF WALL IS OVER 4' IN HEIGHT, A SECOND TIER MUST BE PLACED WITH A 5' LANDING IN BETWEEN TIERS
  9. THESE ARE TYPICAL TYPES OF BMP STORM DRAINAGE MEASURES. NOTHING ON THIS SHEET IS CONSTRUCTED TO REPRESENT AN APPROVED INDIVIDUAL LOT GRADING PLAN.



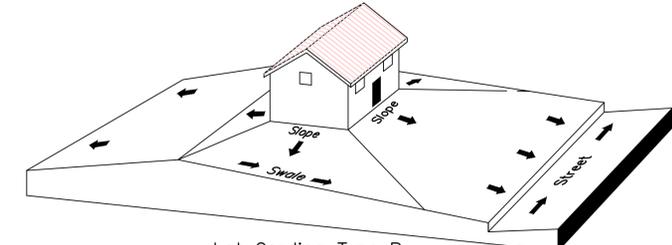
TYPICAL LOT DRAINAGE SWALE



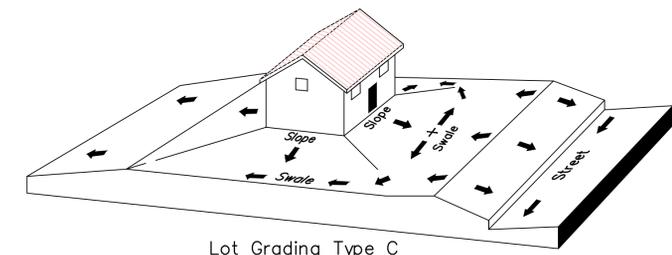
TYPICAL LOT GRADING



Lot Grading Type A  
Drainage Directed Toward Front of Building



Lot Grading Type B  
Drainage Directed Toward Front and Rear of Building



Lot Grading Type C  
Drainage Directed Toward Rear of Building

- Lot Drainage -
- At minimum, 50% of roof drains shall drain towards the street.
  - All side downspouts are to be diverted toward the front or rear of the lot.
  - Yards to be positively graded away from all window wells
  - HOA's &/or homeowners are responsible for maintaining lot line drainage pathways through their properties per drainage plan.
  - All lot lines are to be maintained as drainage pathways for accumulating runoff from adjoining lots.
  - All lots shall meet the International Building Code standards and drain away from the structure.

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
4. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS

region  
Engineering  
& Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com



TANNER FLATS at SUMMIT RIDGE  
PHASE 2 - AMENDED  
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

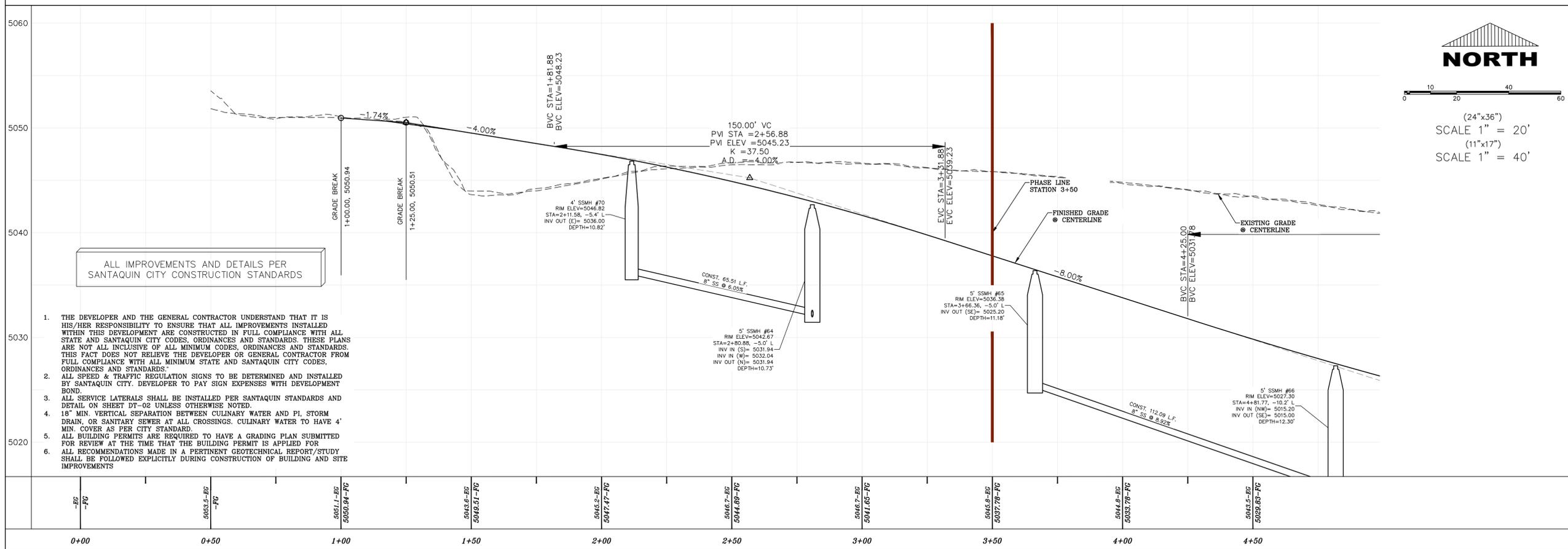
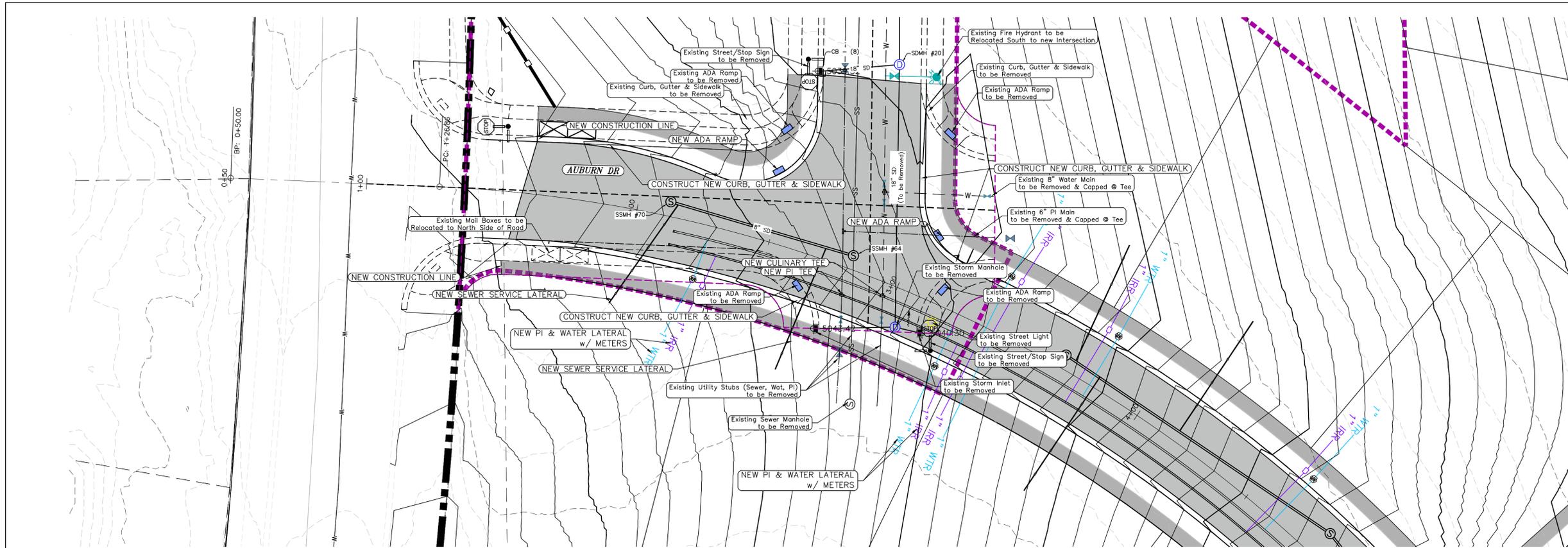
DATE: 5.20.2025

PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
GRADING PLANS  
SHEET:  
GR-03



ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-02 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

region  
Engineering  
& Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com



TANNER FLATS at SUMMIT RIDGE  
PHASE 2 - AMENDED  
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025

PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
PLAN & PROFILE

SHEET:  
PP-01

**NOTES:**

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER IS TO BE IMMEDIATELY NOTIFIED FOR DIRECTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
2. CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
3. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
4. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
5. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
6. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSED INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
7. THE CONTRACTOR IS TO MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS IS TO BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC IS TO BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
8. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE ENGINEERING DEPARTMENT. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

**PROJECT INFORMATION SIGN**

ANY ACTIVITY THAT REQUIRES A GRADING PERMIT SHALL INSTALL AND MAINTAIN A PROJECT INFORMATION SIGN IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

1. THE SIGN SHALL BE INSTALLED PRIOR TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING ANY TYPE OF EARTH-MOVING OPERATIONS.
2. THE SIGN SHALL BE INSTALLED AT A PROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN ENTRANCE OF THE CONSTRUCTION SITE. TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE SIGN BACK FROM THE MAIN INGRESS/ EGRESS LOCATION AND AT ANY APPLICABLE INTERSECTION FOR PROPER SIGHT TRIANGLE CLEARANCES.
3. THE SIGN MAY BE REMOVED ONCE FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERSON IS RESPONSIBLE AND IS APPROVED BY THE CITY.
4. THE SIGN SHALL BE A MINIMUM OF 48" x 48" AND THE FOLLOWING INFORMATION SHALL BE DISPLAYED ON THE SIGN WITH THE DESIGNATED ALPHA AND NUMERIC DIMENSIONS. SIGN BOARDS WRITTEN IN LONGHAND ARE UNACCEPTABLE.
 

DEVELOPERS NAME  
DAVID SHERWIN

PROJECT NAME  
THE 15TH @ SUMMIT RIDGE - PHASE 1

PERMIT NUMBER  
(4" Bold Numbers)

FOR PROJECT SITE CONCERNS CONTACT  
(6" Uppercase Bold Letters)

Office Phone Contact ###-###-####  
(4" Bold Numbers)

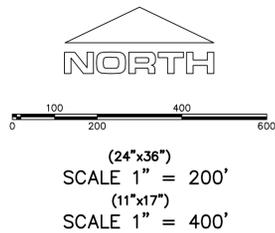
Cell Phone Contact ###-###-####  
(4" Bold Numbers)

IF NO RESPONSE PLEASE CONTACT CITY OFFICE AT  
801-225-5000  
(3" Uppercase Bold Letters and 3" Bold Numbers)
5. THE TEXT HEIGHT SHALL BE A MINIMUM AS SHOWN ON THE TEMPLATE ABOVE, AND MUST CONTRAST WITH LETTERING, TYPICALLY BLACK TEXT WITH WHITE BACKGROUND.
6. THE LOWER EDGE OF THE SIGN BOARD MUST BE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF FIVE (5) FEET ABOVE GRADE. SIGN MAY BE POSTED ON A TRAILER IF IT MEETS THESE REQUIREMENTS.

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL 2, SHEET 5 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P.I. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

**CONSTRUCTION PHASE STORM WATER POLLUTION PROTECTION PLAN BEST MANAGEMENT PRACTICES (BMP)**

BMP#	BMP SYMBOL	TITLE	LOCATION	DURATION
C101	101	PRESERVING NATURAL VEGETATION	PER CONTRACTOR	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C105	105	STABILIZED CONSTRUCTION ENTRANCE	AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS
C106	106	WHEEL WASH	AS SHOWN	AS NECESSARY
C151	151	CONCRETE WASTE MANAGEMENT	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C190	190	PORTABLE TOILETS	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C220	220	STORM DRAIN INLET PROTECTION	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	233	SILT FENCE	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	240	SEDIMENT TRAP	AS SHOWN	BEGINNING OF CONSTRUCTION TO PLACEMENT OF ASPHALT



Engineering & Surveying  
**region**  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com



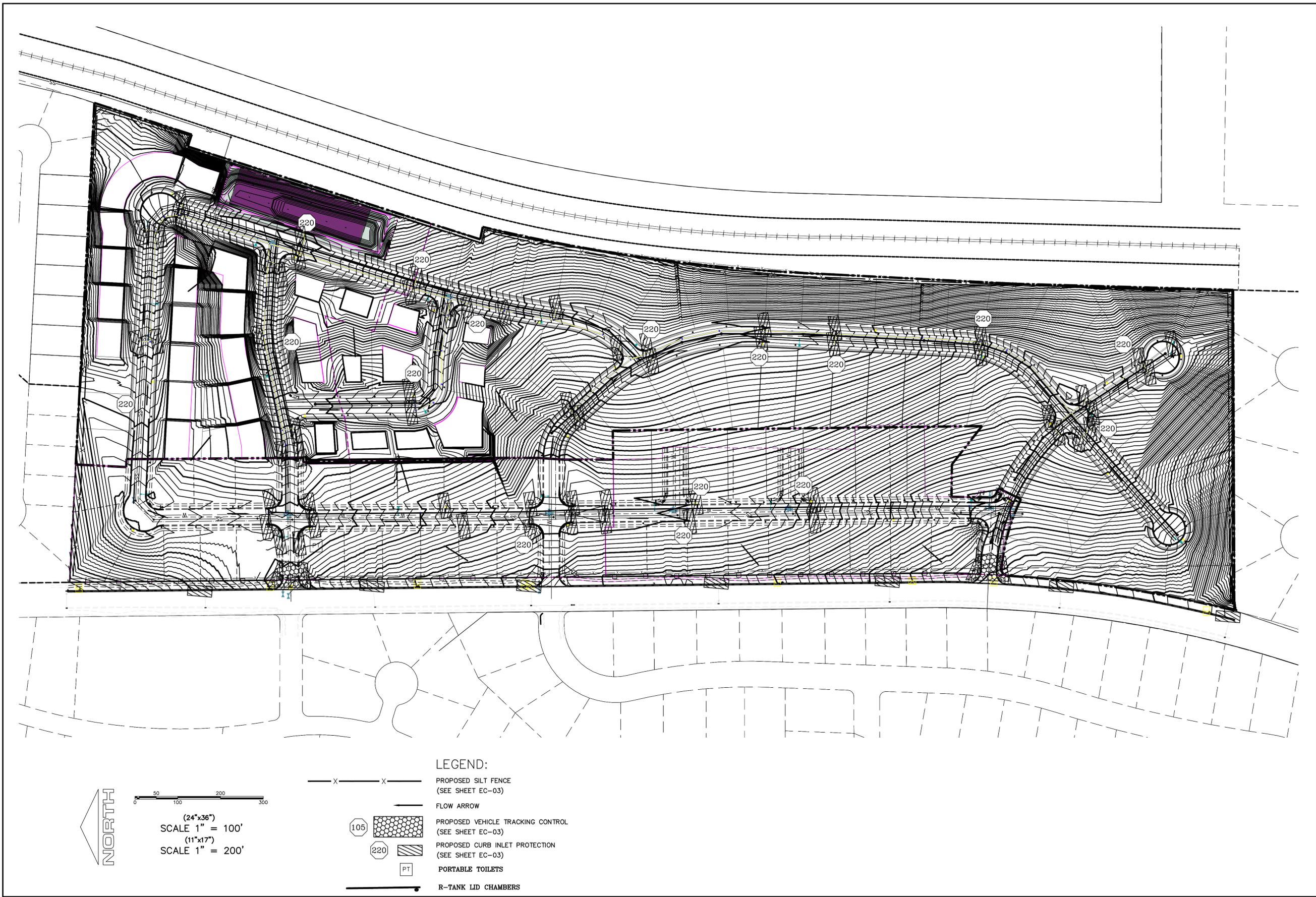
**TANNER FLATS at SUMMIT RIDGE**  
**PHASE 2 - AMENDED**  
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025  
PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
EROSION CONTROL PLAN  
SHEET:  
**EC-01**



**LEGEND:**

- X — X — PROPOSED SILT FENCE  
(SEE SHEET EC-03)
- FLOW ARROW
- 105 PROPOSED VEHICLE TRACKING CONTROL  
(SEE SHEET EC-03)
- 220 PROPOSED CURB INLET PROTECTION  
(SEE SHEET EC-03)
- PT PORTABLE TOILETS
- R-TANK LID CHAMBERS

NORTH

0 50 100 200 300

(24"x36")  
SCALE 1" = 100'  
(11"x17")  
SCALE 1" = 200'

**region**  
Engineering & Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com

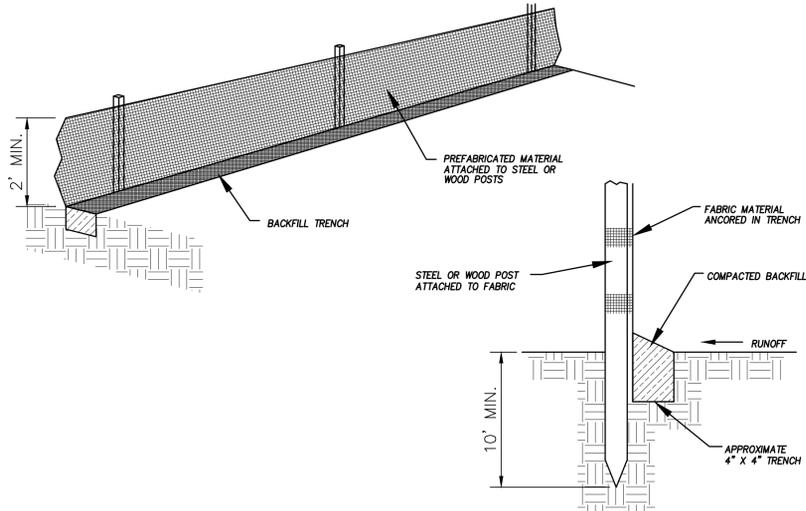


**TANNER FLATS at SUMMIT RIDGE**  
**PHASE 2 - AMENDED**  
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

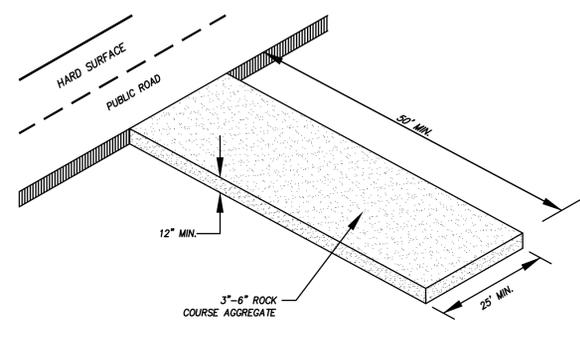
DATE: 5.20.2025	
PROJECT #	
REVISIONS:	
1	
2	
3	

SHEET NAME:  
EROSION CONTROL PLAN

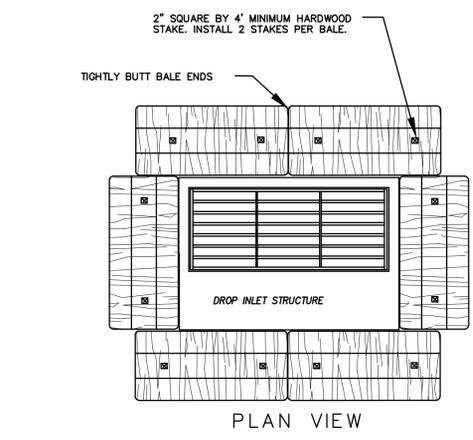
SHEET:  
EC-02



DETAIL-A  
SILT FENCE DETAIL  
-NTS-

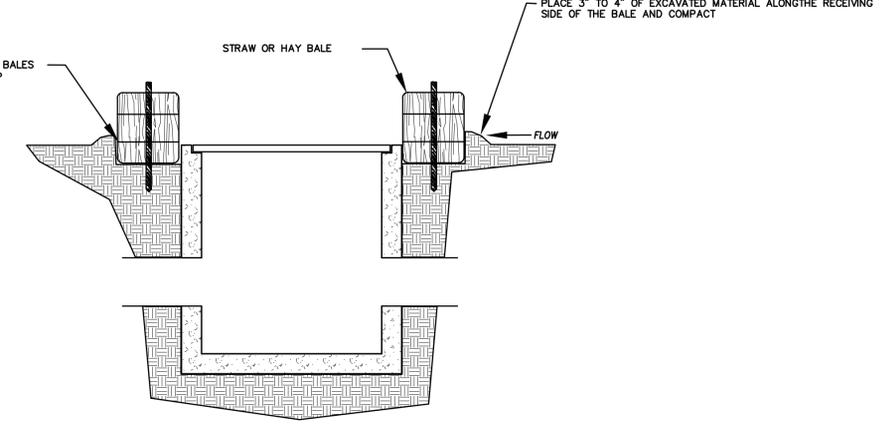


DETAIL-B  
VEHICLE TRACKING DETAIL  
NOT TO SCALE



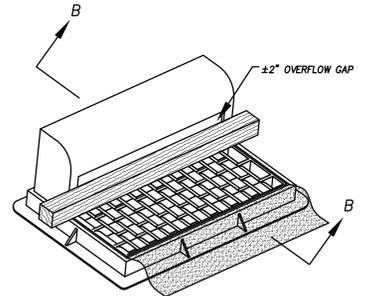
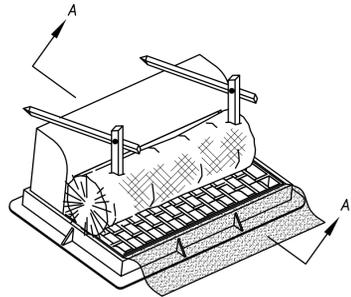
PLAN VIEW

- NOTES:
1. KEY-IN BALES IN AN EXCAVATED TRENCH AROUND THE PERIMETER OF THE DROP INLET STRUCTURE THAT IS 6" DEEP BY A BALES WIDTH WIDE.
  2. OVERLAP ON CORNERS MUST BE AT LEAST HALF A BALE WIDE.
  3. DEPENDING ON THE SIZE OF THE INLET STRUCTURE, MORE BALES THAN SHOWN MAY BE REQUIRED.
  4. IN MEDIAN AREAS, CONSTRUCT SO THAT THE TOPS OF THE BALES ARE NOT HIGHER THAN THE ADJACENT ROADWAY.
  5. MAINTAIN A PROPERLY FUNCTIONING SEDIMENT BARRIER THROUGHOUT CONSTRUCTION OR UNTIL DISTURBED AREAS CONTRIBUTING TO THE INLET HAVE BEEN PAVED OR VEGETATED.
  6. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.



SECTION

DETAIL-C  
STRAW BALE DROP INLET PROTECTION DETAIL  
-NTS-

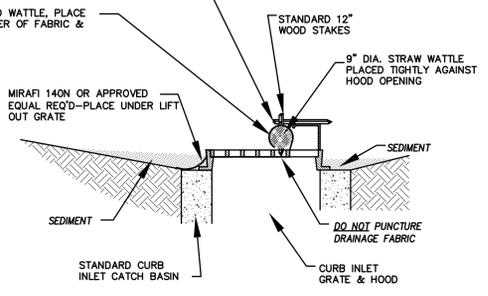


**EROSION CONTROL NOTES**

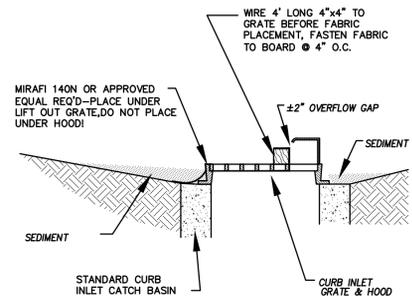
1. CONTROLLING SEDIMENT TRANSPORT AND PREVENTING AND/OR CORRECTING PROBLEMS ASSOCIATED WITH EROSION AND RUNOFF PROCESSES THAT COULD OCCUR BOTH DURING AND AFTER PROJECT CONSTRUCTION WILL BE CLOSELY MONITORED. PERIODIC MAINTENANCE AND INSPECTION OF SEDIMENT CONTROL DEVICES WILL BE SCHEDULED. PARTICULAR ATTENTION SHALL BE GIVEN TO EXISTING DRAINAGE PATTERNS THAT RUN THROUGH DISTURBED AREAS AND OVER EXTREME SLOPES. THESE PATTERNS WILL BE IDENTIFIED TO ISOLATE PROBLEM AREAS WHERE WATER WILL CONCENTRATE. PROVISIONS SHALL BE MADE TO CHANNEL RUNOFF AWAY FROM NEW OR EXISTING IMPROVEMENTS TO PREVENT UNDERMINING AND GENERAL SITE EROSION. THESE PROVISIONS SHALL BE STABILIZED AND SHALL REMAIN IN PLACE UNTIL THE PERMANENT STORM DRAINAGE FACILITIES ARE INSTALLED AND FUNCTIONAL.
2. EROSION CONTROL - A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) WILL BE PREPARED IN ACCORDANCE WITH THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (UPDES) PERMIT FOR CONSTRUCTION. OUTLINING HOW EROSION AND SILTATION WILL BE CONTROLLED. A NOTICE OF INTENT (NOI) WILL BE SUBMITTED TO OBTAIN THE UPDES CONSTRUCTION PERMIT. A COPY OF THE PLAN MUST BE ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE PLAN AND INSTALLING AND MAINTAINING THE EROSION CONTROL FACILITIES WITH EACH PHASE OF WORK. SHOULD SILT LEAVE THE SITE OR EROSION OCCURS, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO TAKE CORRECTIVE ACTION AND REPAIR ANY DAMAGE CAUSED BY THE SILT OR EROSION IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE MODIFICATION AND APPROVAL OF THE PLAN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. BEFORE CONSTRUCTION BEGINS, THE LIMITS OF DISTURBANCE (LOD) BOUNDARY SHALL BE STAKED ON SITE AND APPROVED BY THE OWNER'S REPRESENTATIVE AND THE ENGINEER.
4. EXCAVATION AND EMBANKMENT OPERATIONS SHALL PROCEED IN SUCH A MANNER SO THAT FINISHING OF SLOPES, INCLUDING REVEGETATION SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER ROUGH GRADING. ALL SLOPES 2:1 OR FLATTER SHALL BE SCARIFIED WITH HEAVY EQUIPMENT, LEAVING TRACKS PERPENDICULAR TO THE SLOPES. SLOPES OVER 1:1 SHALL UTILIZE EROSION CONTROL/REVEGETATION MATTING.
5. CUT AND FILL SLOPES SHALL BE CONDUCTED PER THE GEOTECHNICAL REPORT. THE TOPS OF ALL CUT SLOPES IN SOIL SHALL BE ROUNDED FOR A HORIZONTAL DISTANCE OF THREE (3) FEET BEYOND THE CATCH POINT. SLOPE ROUNDDING SHALL OCCUR AS THE SLOPE IS BEING BROUGHT DOWN. THE OVERALL SHAPE, HEIGHT AND GRADE OF ANY CUT AND/OR FILL SLOPE SHALL BE DEVELOPED IN CONCERT WITH EXISTING NATURAL CONTOURS, SCALE AND VEGETATION OF NATURAL TERRAIN.
6. EXISTING VEGETATION SHOULD BE PRESERVED WHEREVER POSSIBLE AND DISTURBED PORTIONS OF THE SITE SHALL BE STABILIZED. STABILIZATION PRACTICES MAY INCLUDE, BUT NOT LIMITED TO, TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATION BUFFER STRIPS, PROTECTION OF TREES, PRESERVATION OF NATURAL VEGETATION AND OTHER APPROPRIATE MEASURES. USE OF IMPEROUS SURFACES FOR STABILIZATION SHALL BE AVOIDED. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED. FOR MORE INFORMATION, SEE SHEET 7.
7. SPECIFICALLY OUTLINED DISTURBED AREAS, BOTH ON AND OFF-SITE SHALL BE REVEGETATED. THESE AREAS SHALL BE INCLUDE, BUT NOT BE LIMITED TO, ALL UNSURFACED AREAS WITHIN THE STAKED LOD, STAGING AND STORAGE AREAS, MATERIAL WASTE AREAS, UNDERGROUND UTILITY CONSTRUCTION AREAS, BENCHED AREAS, INCLUDING RETAINING WALL BENCHES, AND TEMPORARY OR EXISTING ACCESS ROADS USED FOR CONSTRUCTION ACTIVITIES.
8. CONTROLLED OUTLETS SHALL DIRECT COLLECTED RUNOFF THROUGH SILT FENCES, STRAW BALES, OR WATTLE.
9. TYPICAL FUGITIVE DUST SHALL BE CONTROLLED BY WATERING AND/OR CHEMICAL STABILIZATION, PROVIDING VEGETATIVE OR SYNTHETIC COVER AND WIND BREAKS CONSISTENT WITH UTAH STATE DIVISION OF AIR QUALITY STANDARDS.
10. ANY SEDIMENT TRACKED OFF-SITE SHALL BE REMOVED PRIOR TO THE END OF THE WORK SHIFT OR PRIOR TO SUNSET, WHICHEVER COMES FIRST.
11. CONTRACTOR MAY ADJUST THE LOCATIONS OF THE CONSTRUCTION FENCE, CONSTRUCTION TRAILERS, AND CONSTRUCTION MATERIALS RECEIVING AND STORAGE AREAS, AS NEEDED TO ACCOMPLISH THE CONSTRUCTION. ALL CHANGES SHALL BE NOTATED ON THE EROSION CONTROL PLAN.
12. THE CONTRACTOR SHALL CONDUCT PERIODIC INSPECTIONS OF THE EROSION CONTROL MEASURES, AS REQUIRED AND NOTATED IN THE SWPPP. THE CONTRACTOR WILL MAINTAIN A LOG ON-SITE OF ALL INSPECTIONS WITH THE SWPPP.
13. ALL DITCHES AND SWALES GREATER THAN 5% SHALL BE ARMORED WITH AN APPROPRIATE EROSION CONTROL/REVEGETATION STABILIZATION MAT TO PROMOTE REVEGETATION.
14. CONTRACTOR MAY ADJUST THE LOCATION OF CONCRETE WASHOUT AREAS AS NEEDED TO ACCOMPLISH THE CONSTRUCTION.

PLACE TOP STAKE NAILED TOGETHER WITH STRAW WATTLE STAKE TO PREVENT WATTLE STAKE FROM PUNCTURING DRAINAGE FABRIC

WRAP DRAINAGE FABRIC AROUND WATTLE, PLACE STAKE THROUGH BOTH TOP LAYER OF FABRIC & STRAW WATTLE



CROSS SECTION A-A  
OPTION A



CROSS SECTION B-B  
OPTION B

\* CATCH BASIN INLET PROTECTIONS ARE TO REMAIN IN PLACE AND OPERATIONAL UNTIL ALL CONSTRUCTION IS COMPLETED AT THE SITE.

DETAIL-D  
CURB INLET PROTECTION  
DETAIL FOR EXISTING CATCH BASINS  
ANY OF THE ABOVE OPTIONS MAY BE USED  
NOT TO SCALE

region  
Engineering & Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com



TANNER FLATS at SUMMIT RIDGE  
PHASE 2 - AMENDED  
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025

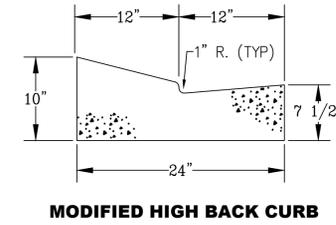
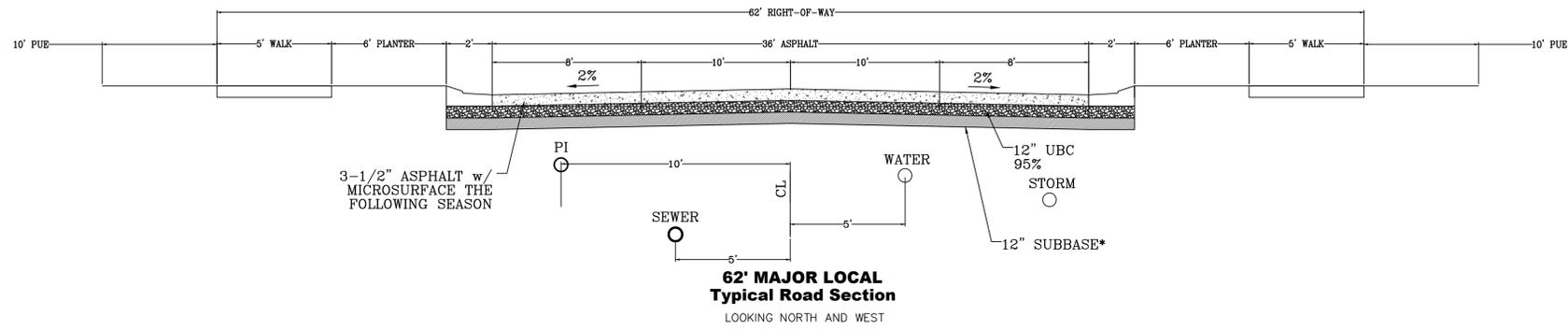
PROJECT #

REVISIONS:

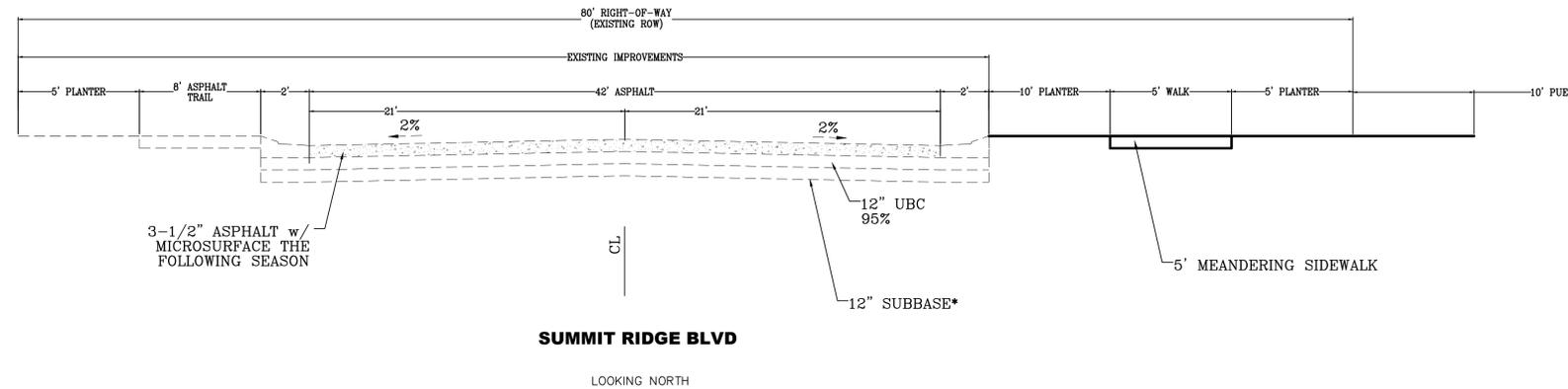
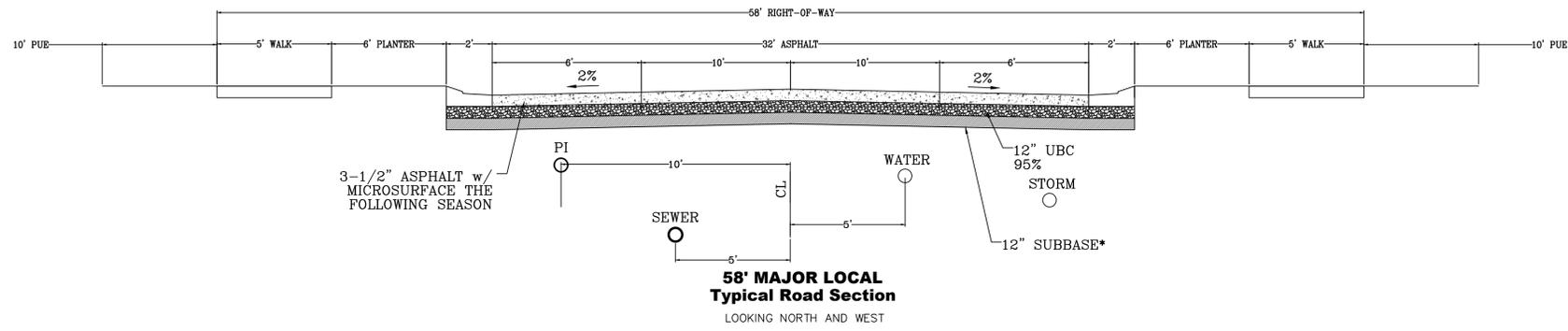
1	
2	
3	

SHEET NAME:  
EROSION CONTROL DETAILS

SHEET:  
EC-03



\*NOTE: ON SITE INSPECTION TO BE CONDUCTED BY GEOTECHNICAL ENGINEER TO DETERMINE ADEQUACY OF EXISTING MATERIAL



region  
Engineering & Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com



**TANNER FLATS at SUMMIT RIDGE  
PHASE 2 - AMENDED**  
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025

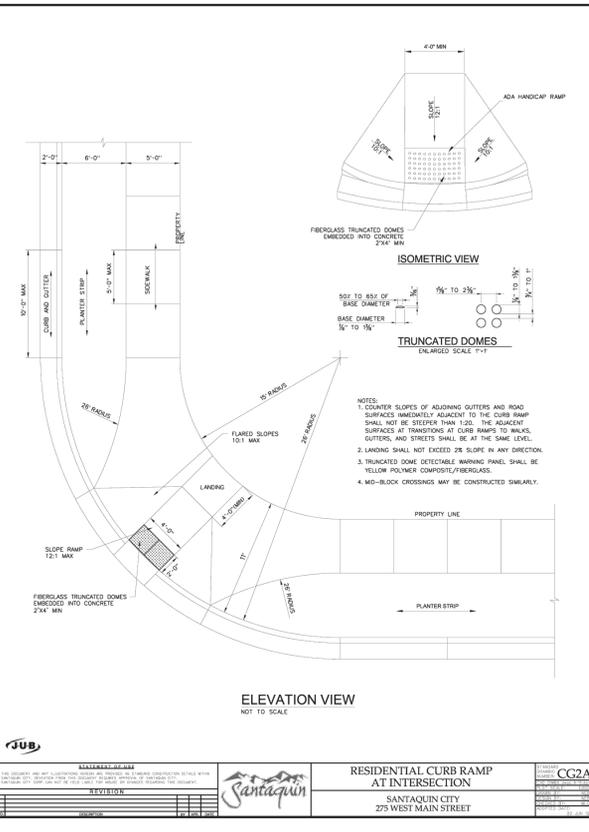
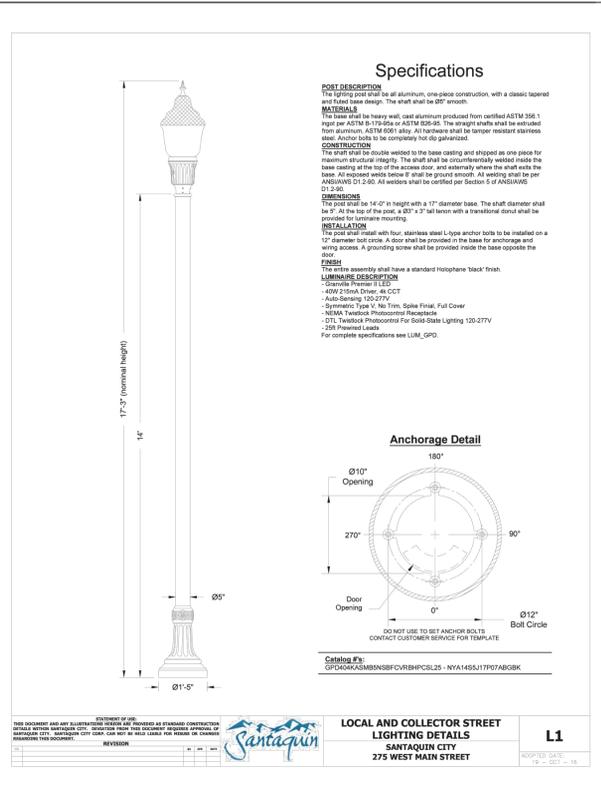
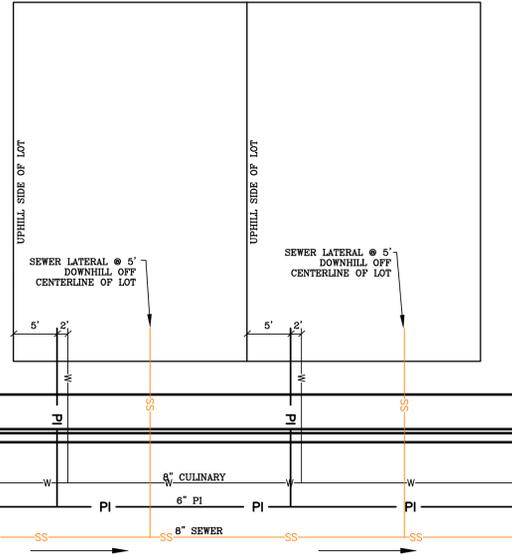
PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
TYPICAL DETAILS

SHEET:  
DT-01



ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

region  
Engineering & Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com



**TANNER FLATS at SUMMIT RIDGE**  
**PHASE 2 - AMENDED**  
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025

PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
TYPICAL DETAILS  
SHEET:  
DT-02