

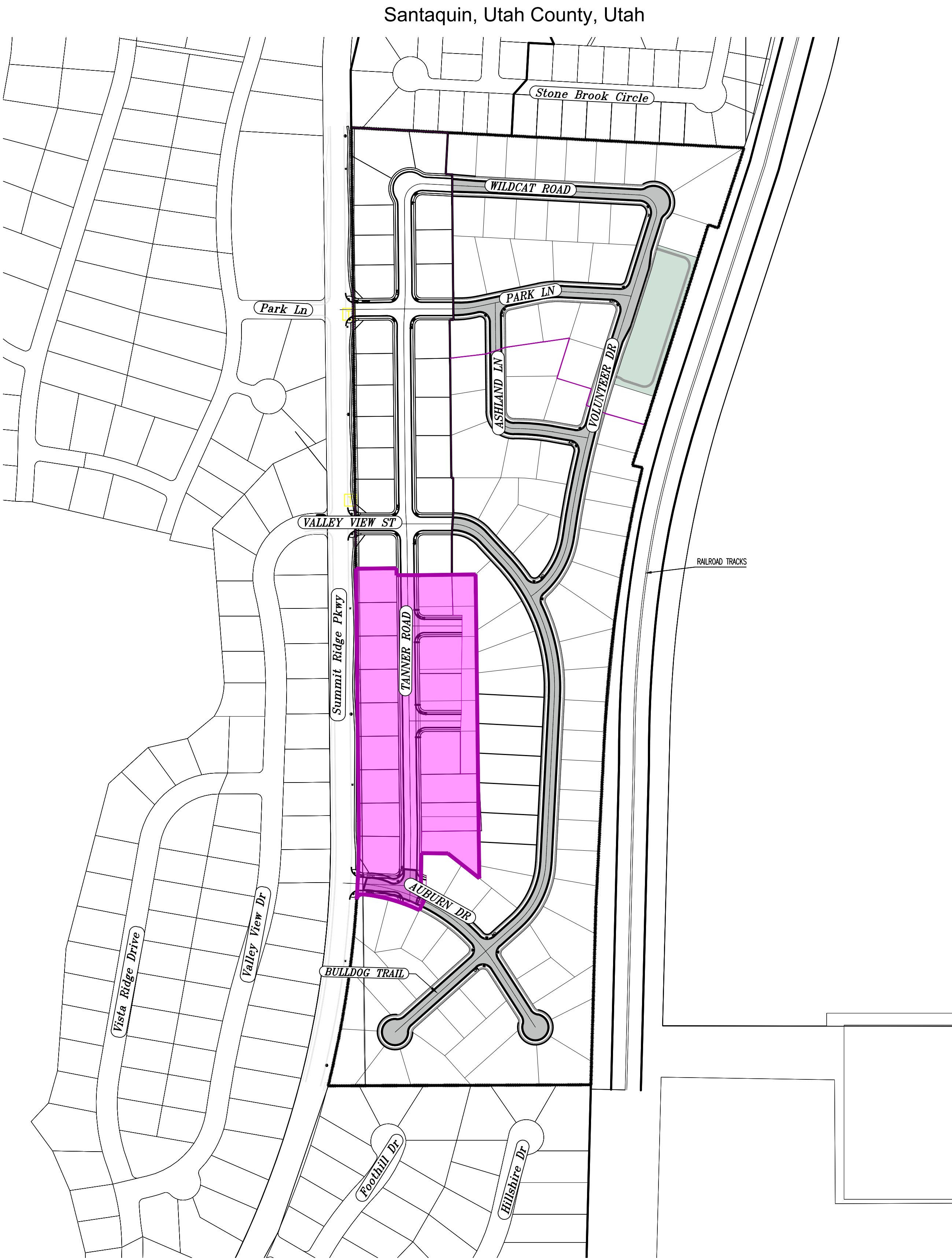
ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

A 4 BOX NCBU TO BE LOCATED ON THE NORTH SIDE OF THE PARK LANE ENTRANCE & A 5 BOX NCBU WILL BE LOCATED ON THE SOUTH THE AUBURN DRIVE ENTRANCE

Tanner Flats @ Summit Ridge

- PHASE 2 AMENDED -

May 25



PHASE 2 BREAKDOWN

TOTAL PLAT ACREAGE	6.87 ACRES
TOTAL LOT ACREAGE	5.35 ACRES
TOTAL ROW ACREAGE	1.52 ACRES
TOTAL OPEN SPACE	- ACRES
ZONE	R-1-1Q
DENSITY	2.47 / duq
NUMBER OF LOTS	17 LOTS

PROJECT DEVELOPER

Skylar Tolbert
Ivory Development
801-520-9127
skylart@ivorydevelopment.com

PROJECT ENGINEER & SURVEYOR

REGION ENGINEERING & SURVEYING
1776 NORTH STATE STREET #110
OREM, UTAH 84057
PH - 801.376.2245

INDEX OF PLAN SHEETS

SHEET	DESCRIPTION
CS-01	COVER SHEET & NOTES
PH-01	PHASE PLANS
EX-01	EXISTING SITE
PLAT	PLAT SHEETS
FEN-01	FENCING PLAN
DM-01-04	DEMO PLANS
UP-01	SITE & UTILITY PLANS
GR-01-3	GRADING PLANS
PP-01	PLAN & PROFILE - AUBURN DR
EC-01	EROSION CONTROL PLAN
EC-02-03	EROSION CONTROL DETAILS
DT-01-02	TYPICAL DETAILS

- NOTES:
- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
 - ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
 - ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND SHEET DT-02 UNLESS OTHERWISE NOTED.
 - 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PL STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
 - ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR
 - ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS
 - ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.
 - ALL BACKFILL WITHIN ROADWAY MUST BE A1a MATERIAL
 - WATER DEDICATION REQUIRED AT FINAL



NOTES TO CONTRACTOR:

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

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Engineering & Surveying

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TANNER FLATS at SUMMIT RIDGE

PHASE 2 - AMENDED

LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025

PROJECT #

REVISIONS:

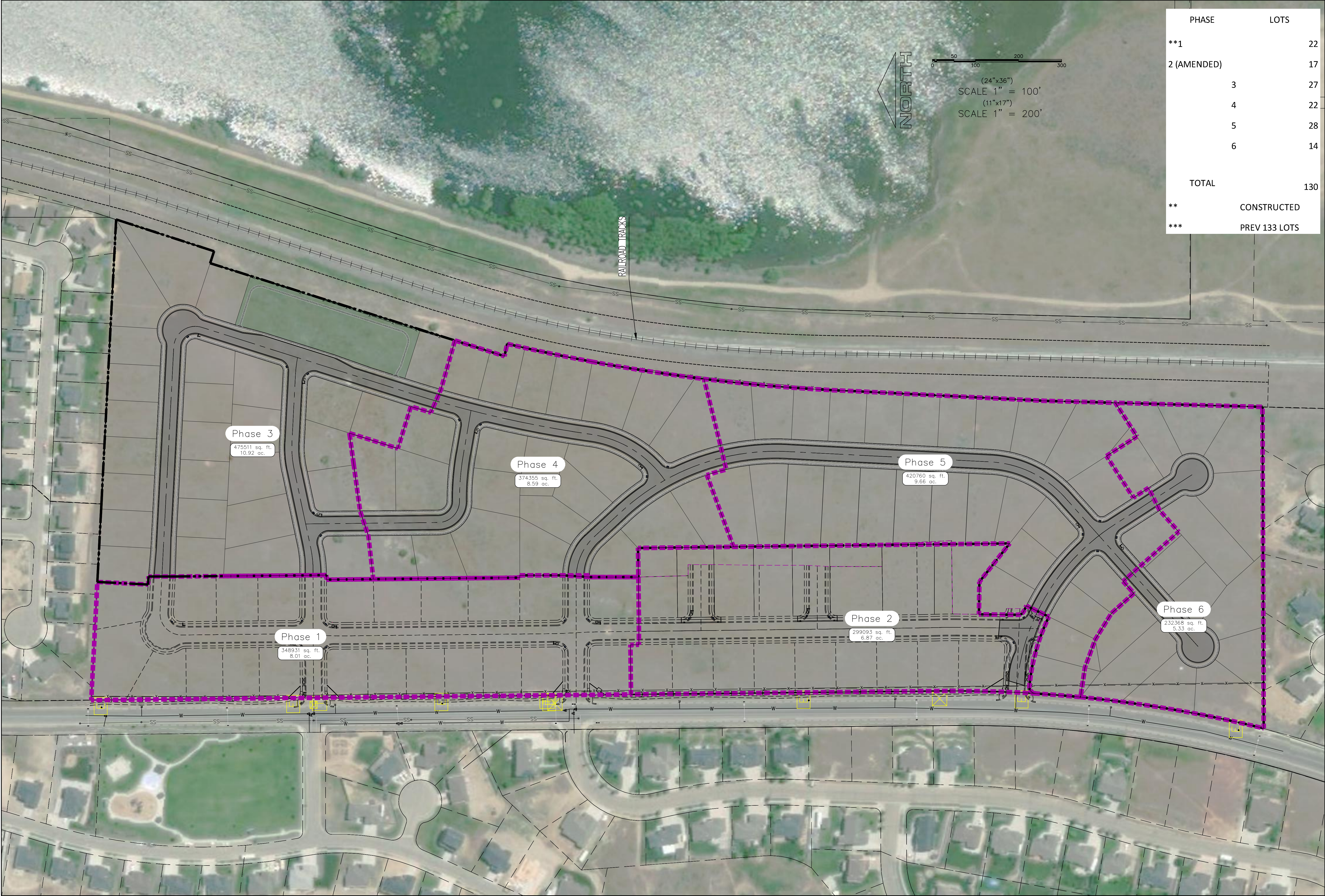
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SHEET NAME:

COVER SHEET & NOTES

SHEET:


CS-01




PHASE	LOTS
**1	22
2 (AMENDED)	17
3	27
4	22
5	28
6	14
TOTAL	130
**	CONSTRUCTED
***	PREV 133 LOTS

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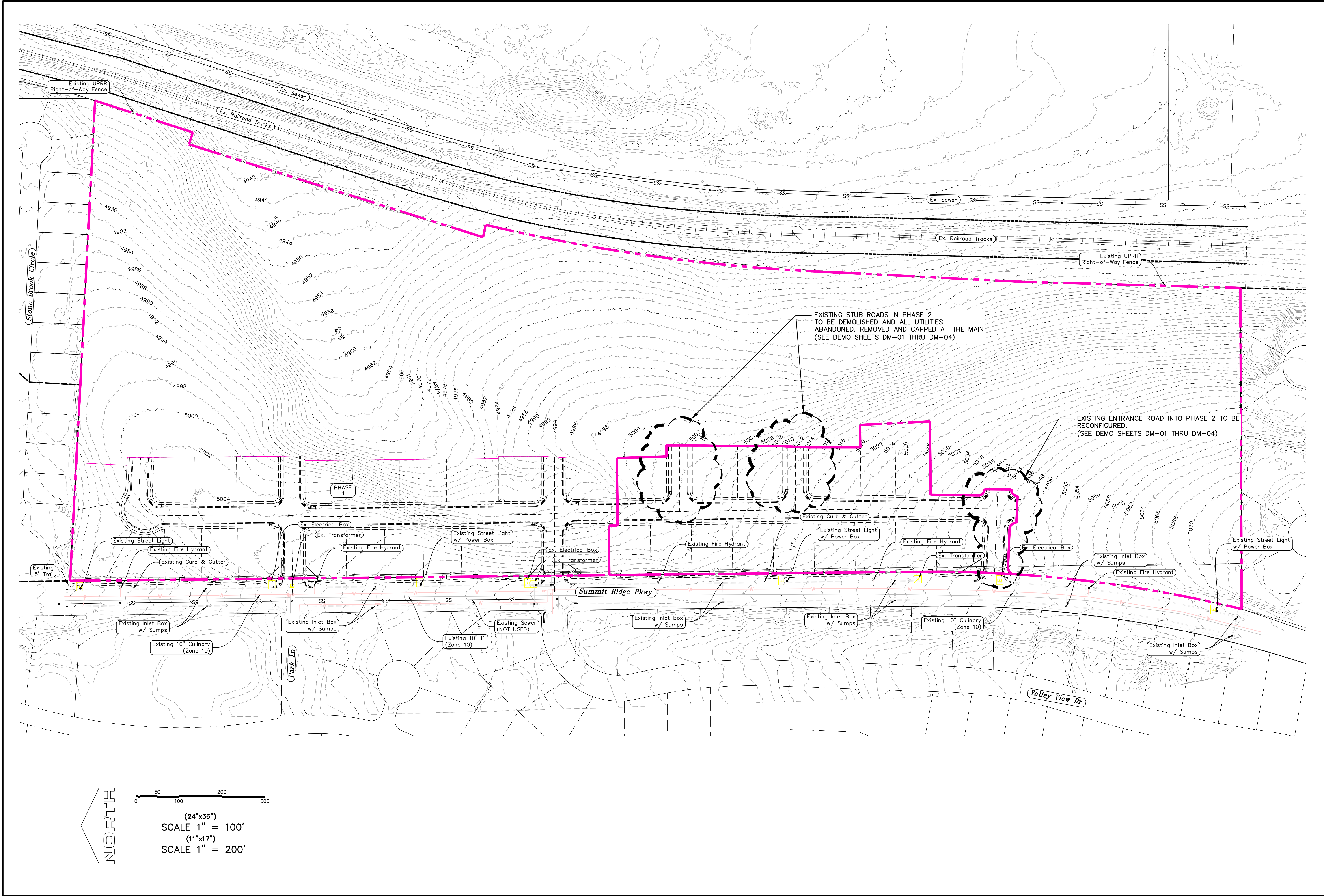


TANNER FLATS
at SUMMIT RIDGE
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

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PHASE PLAN

SHEET:
PH-01



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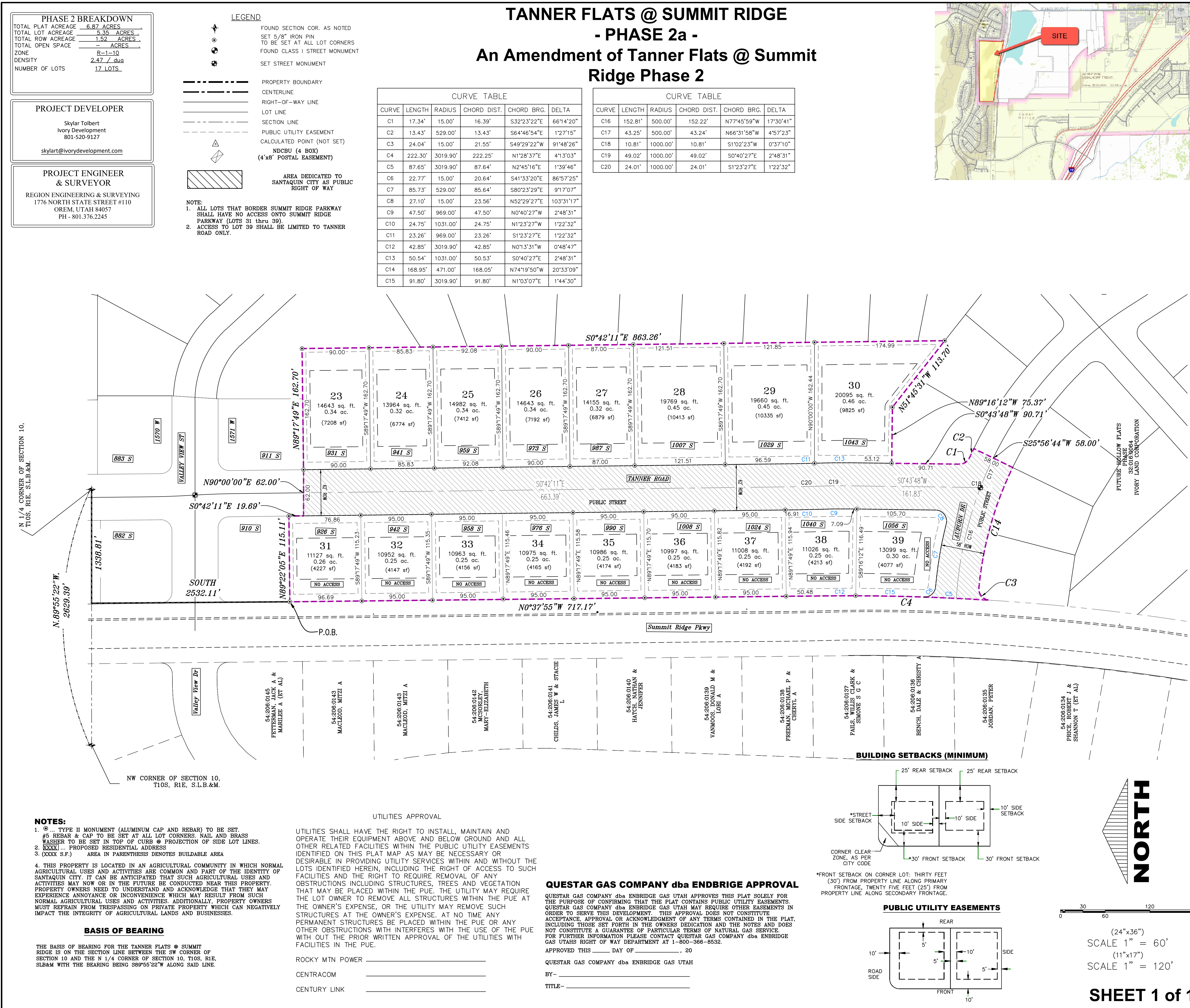
PROJECT #

REVISIONS:

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SHEET NAME:
EXISTING CONDITIONS

SHEET:
EX-01



Surveyor's Certificate

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

Boundary Description

TANNER FLATS @ SUMMIT RIDGE - PHASE 2a

BEGINNING AT A POINT ON A LINE THAT IS N.89°55'22"W. A DISTANCE OF 1338.81 FEET ALONG THE SECTION LINE AND SOUTH 2532.11 FEET FROM THE NORTH 1/4 OF CORNER OF SECTION 10, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN;

THENCE, N 89° 22' 05" E FOR A DISTANCE OF 115.11 FEET TO A POINT ON A LINE.
THENCE, S 00° 42' 11" E FOR A DISTANCE OF 19.69 FEET TO A POINT ON A LINE.
THENCE, N 90° 00' 00" E FOR A DISTANCE OF 62.00 FEET TO A POINT ON A LINE.
THENCE, N 89° 17' 49" E FOR A DISTANCE OF 162.70 FEET TO A POINT ON A LINE.
THENCE, S 00° 42' 11" E FOR A DISTANCE OF 863.26 FEET TO A POINT ON A LINE.
THENCE, N 51° 45' 31" W FOR A DISTANCE OF 113.70 FEET TO A POINT ON A LINE.
THENCE, N 89° 16' 12" W FOR A DISTANCE OF 75.37 FEET TO A POINT ON A LINE.
THENCE, S 00° 43' 48" W FOR A DISTANCE OF 90.71 FEET TO THE BEGINNING OF A CURVE,
SAID CURVE TURNING TO THE LEFT THROUGH 66° 14' 20", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS S 32° 23' 22" E FOR A DISTANCE OF 16.39 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.
SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 01° 27' 15", HAVING A RADIUS OF 529.00 FEET, AND WHOSE LONG CHORD BEARS S 64° 46' 54" E FOR A DISTANCE OF 13.43 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE.
THENCE, S 25° 56' 44" W FOR A DISTANCE OF 58.00 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE,
SAID CURVE TURNING TO THE LEFT THROUGH 20° 33' 09", HAVING A RADIUS OF 471.00 FEET, AND WHOSE LONG CHORD BEARS N 74° 19' 50" W FOR A DISTANCE OF 168.05 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.
SAID CURVE TURNING TO THE LEFT THROUGH 91° 48' 26", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS S 49° 29' 22" W FOR A DISTANCE OF 21.55 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.
SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 04° 13' 03", HAVING A RADIUS OF 3019.90 FEET, AND WHOSE LONG CHORD BEARS N 01° 28' 37" E FOR A DISTANCE OF 222.25 FEET.
THENCE N 00° 37' 55" W A DISTANCE OF 717.17 FEET TO THE POINT OF BEGINNING

CONTAINING 6.87 ACRES OF LAND AND 17 LOTS

May 20, 2025
DATE

ROBBIN J. MULLEN

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____

LIMITED COMPANY ACKNOWLEDGEMENT

STATE OF UTAH _____ S.S.
COUNTY OF UTAH _____

ON THIS _____ DAY OF _____, A.D. 20____ PERSONALLY APPEARED BEFORE ME _____ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE _____ OF _____ A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

MY COMMISSION EXPIRES _____ A NOTARY PUBLIC COMMISSIONED IN UTAH _____

NOTARY ADDRESS _____ PRINTED FULL NAME OF NOTARY _____

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____

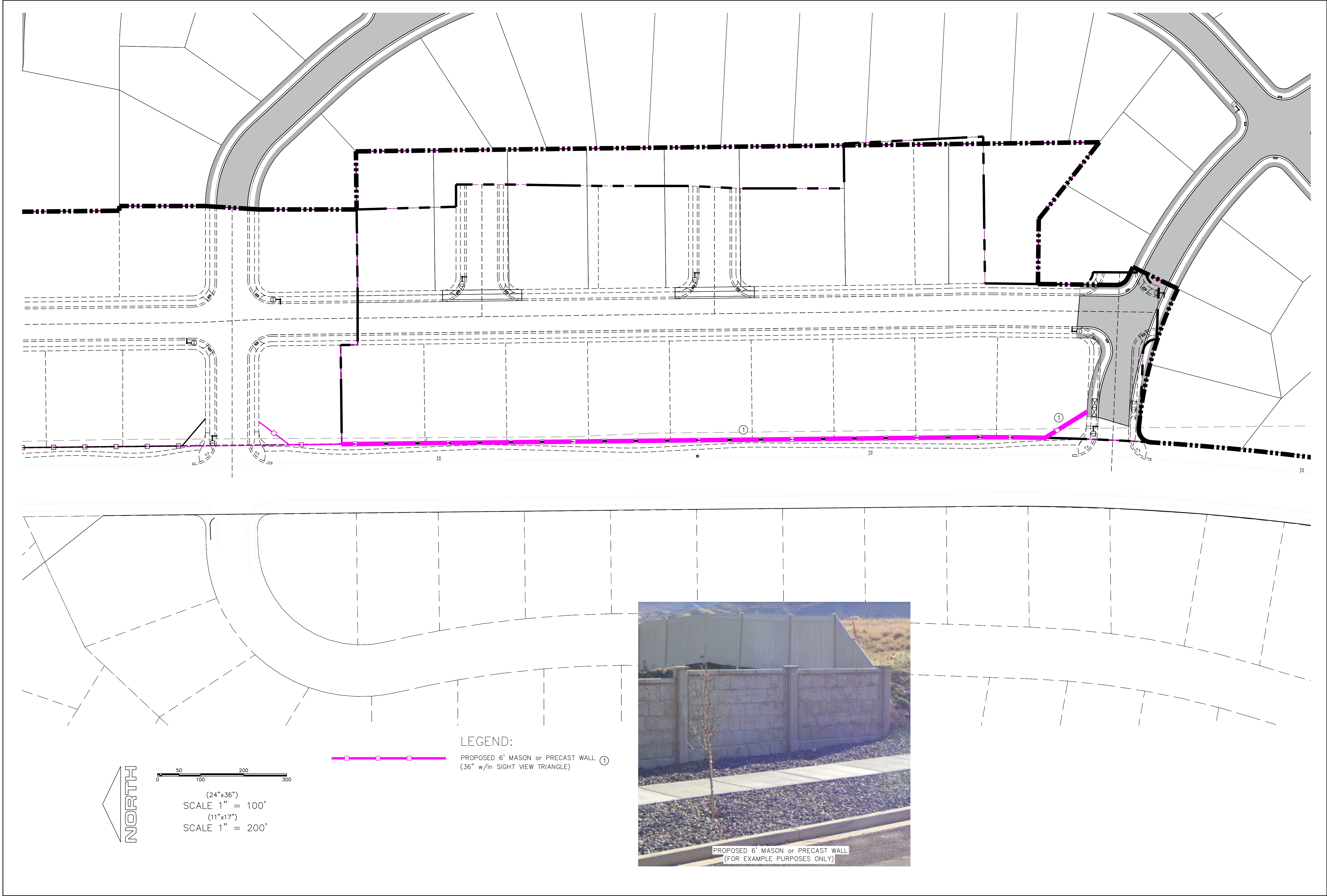
APPROVED MAYOR OF SANTAQUIN _____

NOTARY PUBLIC SEAL _____ UTAH COUNTY, UTAH _____


SCALE: 1" = 60 FEET

NOTARY PUBLIC SEAL _____ COUNTY-ENGINEER SEAL _____ COUNTY-RECORDER SEAL _____

This form approved by Utah County and the municipalities therein.




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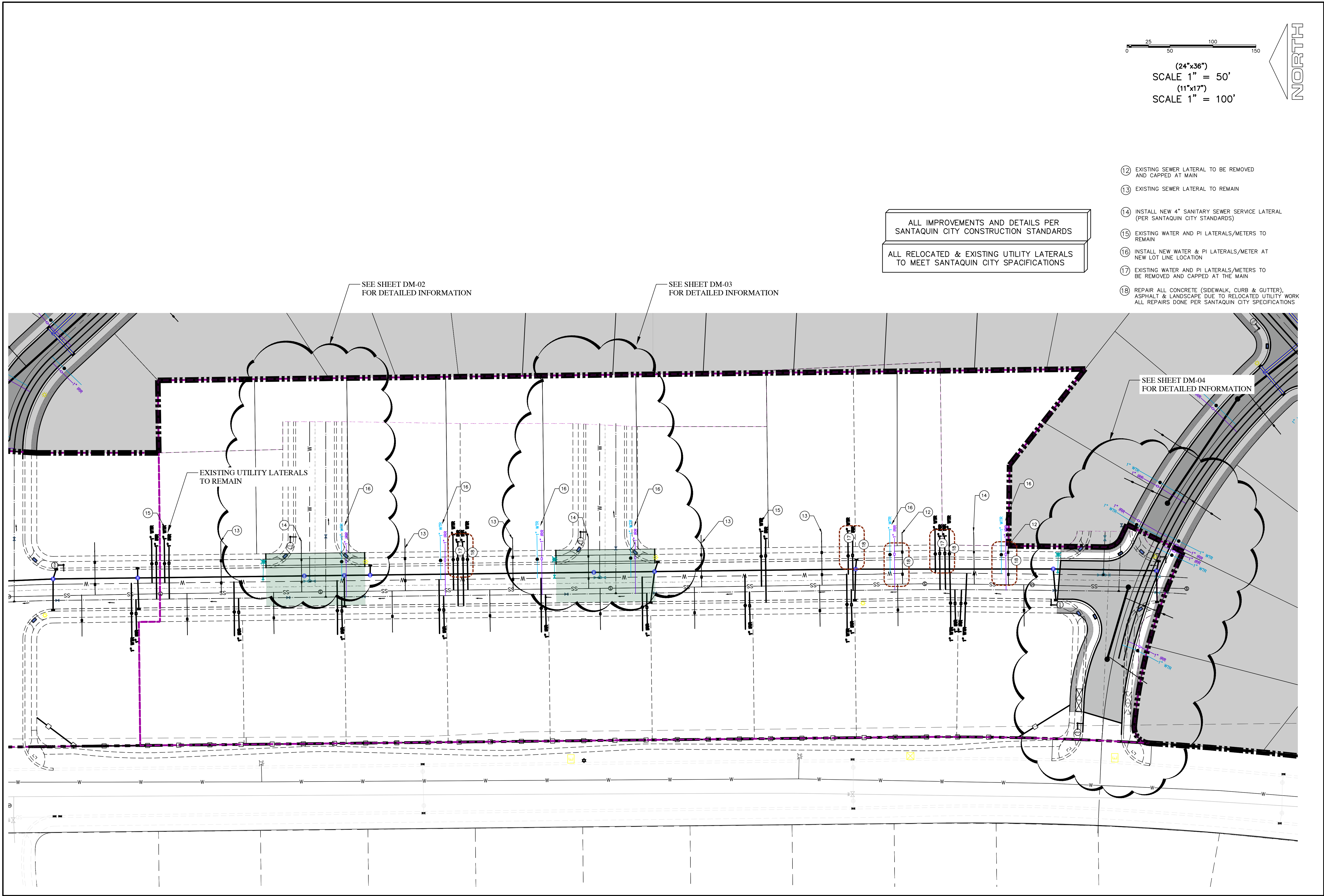


TANNER FLATS at SUMMIT RIDGE
PHASE 2 – AMENDED
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

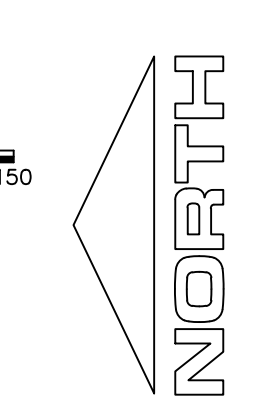
DATE: 5.20.2025	
PROJECT #	
REVISIONS:	
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3	

SHEET NAME:
FENCING PLAN

SHEET:
FEN-01



(24"x36")
SCALE 1" = 50'
(11"x17")
SCALE 1" = 100'



ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS

ALL RELOCATED & EXISTING UTILITY LATERALS
TO MEET SANTAQUIN CITY SPECIFICATIONS

- 12 EXISTING SEWER LATERAL TO BE REMOVED AND CAPPED AT MAIN
- 13 EXISTING SEWER LATERAL TO REMAIN
- 14 INSTALL NEW 4" SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 15 EXISTING WATER AND PI LATERALS/METERS TO REMAIN
- 16 INSTALL NEW WATER & PI LATERALS/METER AT NEW LOT LINE LOCATION
- 17 EXISTING WATER AND PI LATERALS/METERS TO BE REMOVED AND CAPPED AT THE MAIN
- 18 REPAIR ALL CONCRETE (SIDEWALK, CURB & GUTTER), ASPHALT & LANDSCAPE DUE TO RELOCATED UTILITY WORK ALL REPAIRS DONE PER SANTAQUIN CITY SPECIFICATIONS

SEE SHEET DM-02
FOR DETAILED INFORMATION

SEE SHEET DM-03
FOR DETAILED INFORMATION

SEE SHEET DM-04
FOR DETAILED INFORMATION

EXISTING UTILITY LATERALS
TO REMAIN

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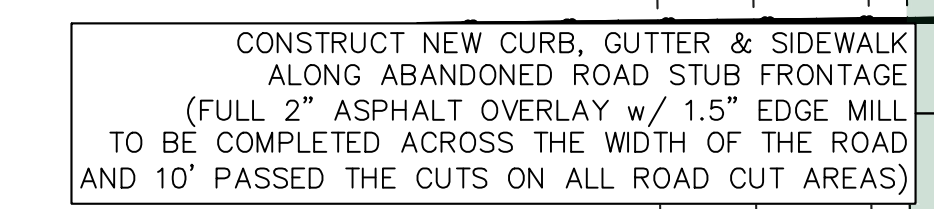


TANNER FLATS at SUMMIT RIDGE
PHASE 2 – AMENDED
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025	
PROJECT #	
REVISIONS:	
1	
2	
3	

SHEET NAME:
DEMO PLAN

SHEET:
DM-01



(24"x36")
SCALE 1" = 10'

(11"x17")
SCALE 1" = 20'

ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



***TANNER FLATS at SUMMIT RIDGE
PHASE 2 - AMENDED***

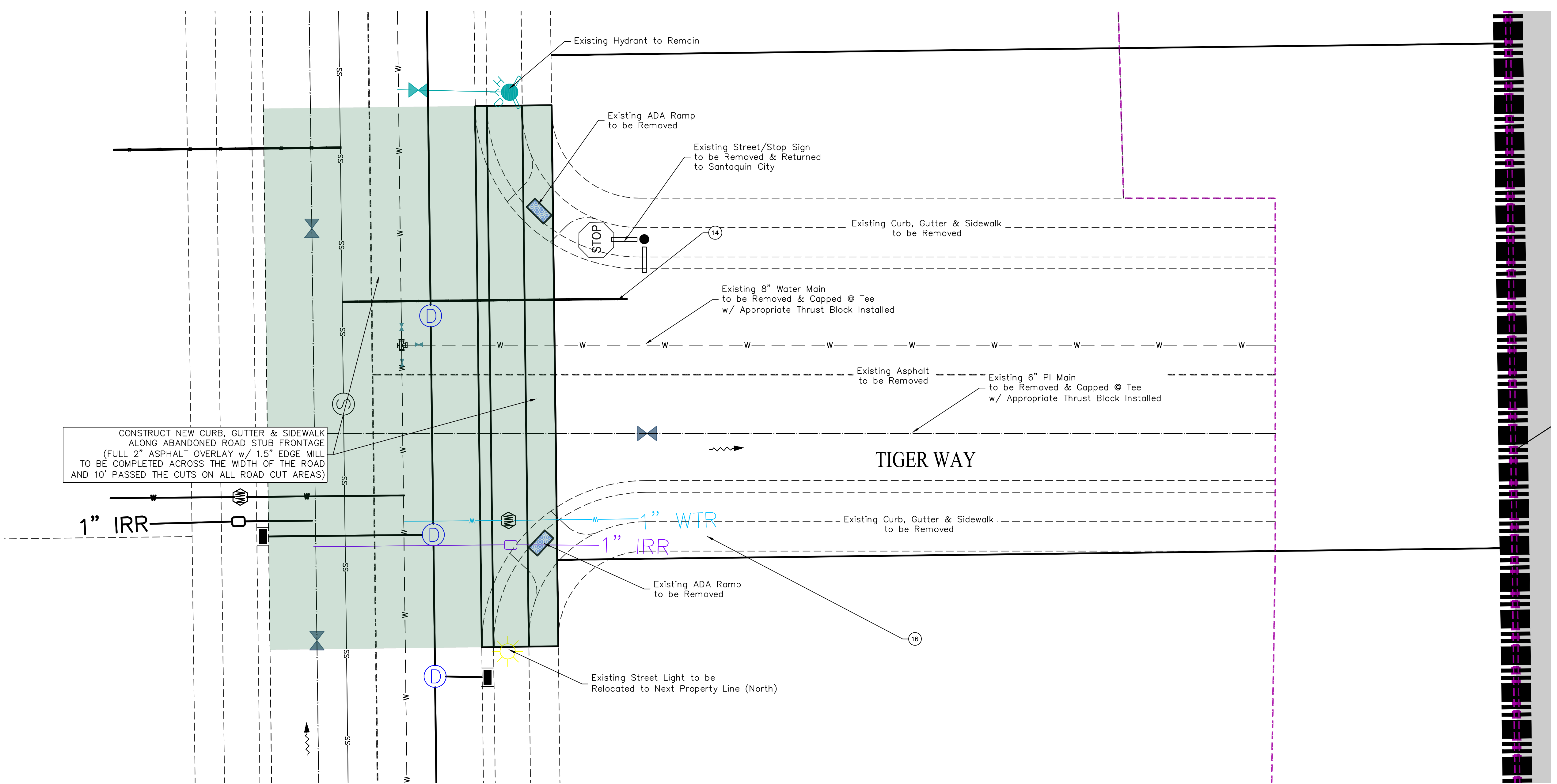
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LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

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LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN


REVISIONS:	
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3	

SHEET NAME:
DEMO PLAN

SHEET:
DM-03



CONSTRUCT NEW CURB, GUTTER & SIDEWALK
ALONG ABANDONED ROAD STUB FRONTAGE
(FULL 2" ASPHALT OVERLAY w/ 1.5" EDGE MILL
TO BE COMPLETED ACROSS THE WIDTH OF THE ROAD
AND 10' PASSED THE CUTS ON ALL ROAD CUT AREAS)



NORTH

0 5 10 20 30

(24"x36")
SCALE 1" = 10'
(11"x17")
SCALE 1" = 20'

ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



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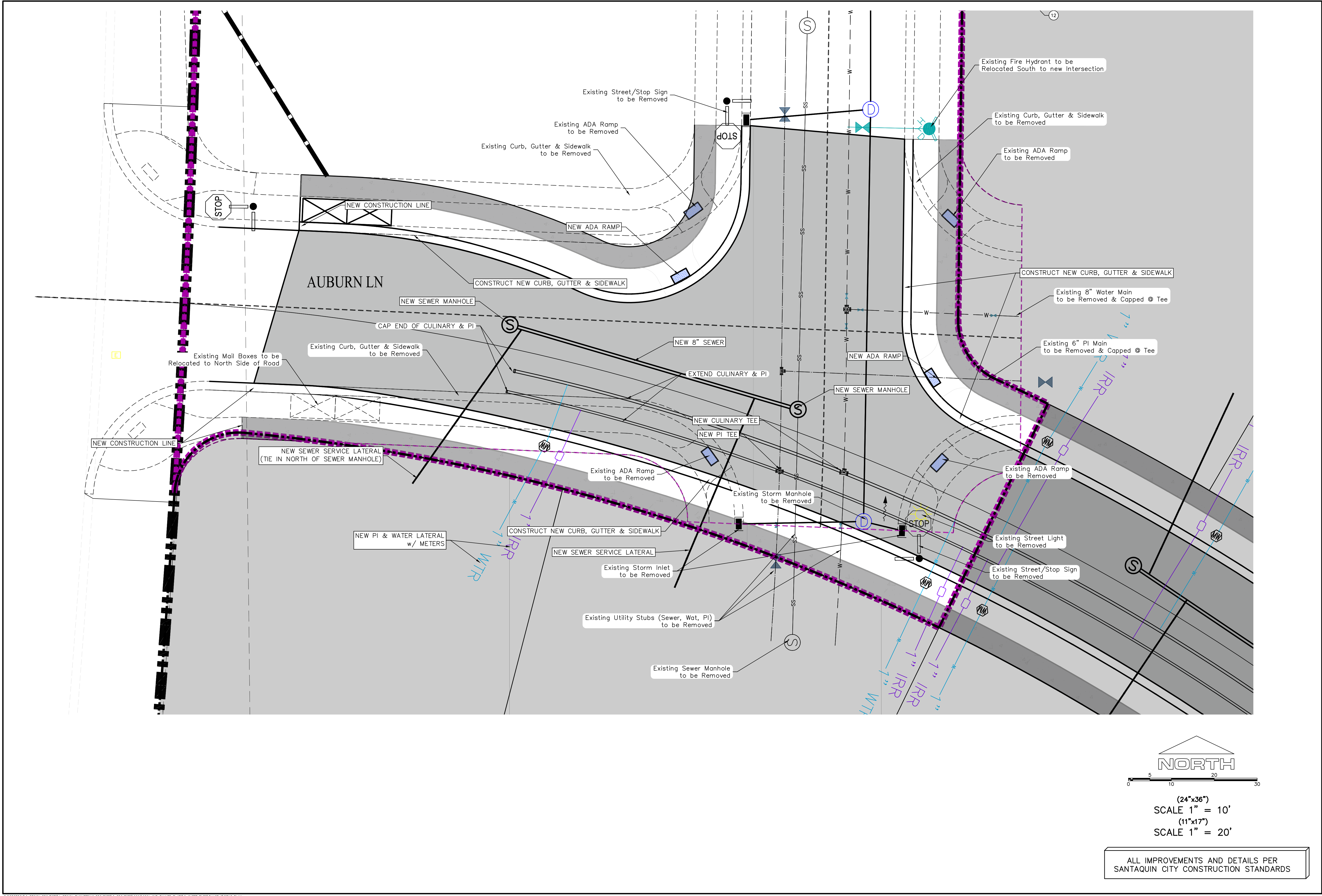
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LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE:5.20.2025	
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1	
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SHEET NAME:
DEMO PLAN
SHEET:
DM-02



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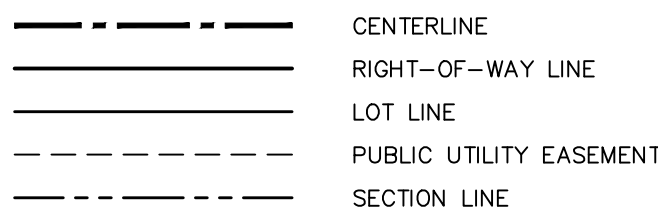
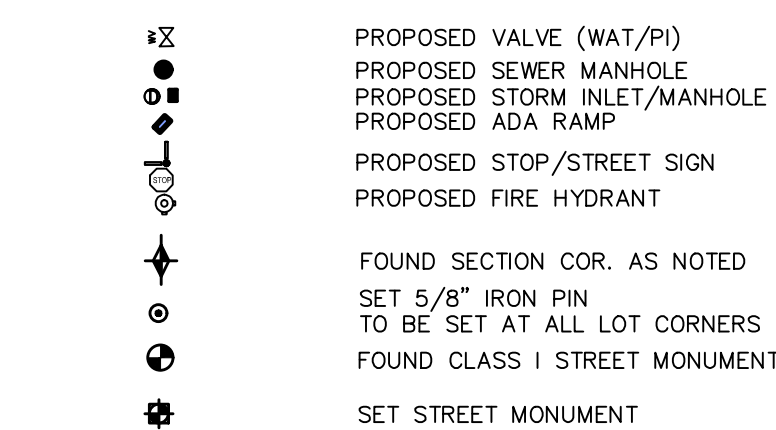
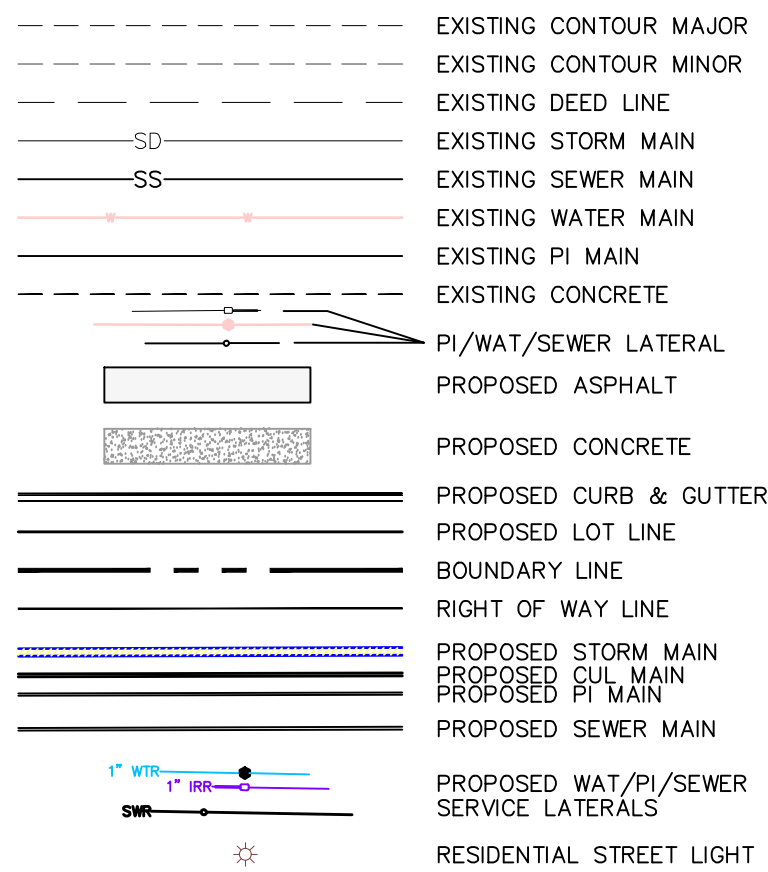
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SHEET NAME:
DEMO PLAN

SHEET:
DM-04

LEGEND



- 12 EXISTING SEWER LATERAL TO BE REMOVED AND CAPPED AT MAIN
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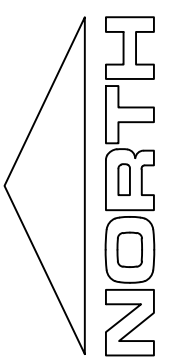
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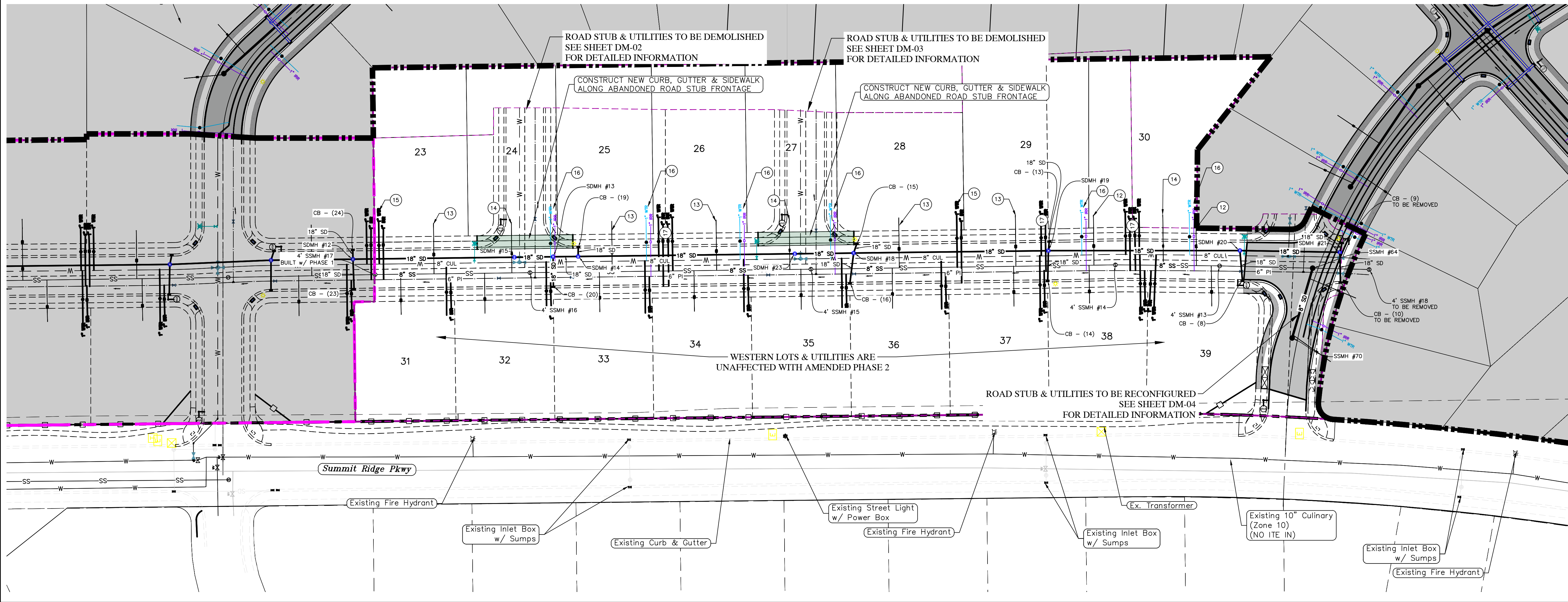
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(24"x36")
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ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS



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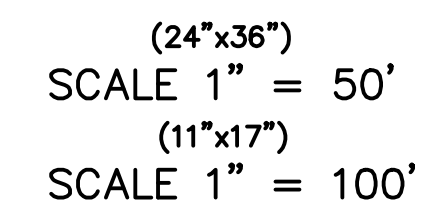
SHEET:

UP-01

	EXISTING CONTOUR MAJOR		PROPOSED VALVE (WAT/PI)
	EXISTING CONTOUR MINOR		PROPOSED SEWER MANHOLE
	EXISTING DEED LINE		PROPOSED STORM INLET/MANHOLE
	EXISTING STORM MAIN		PROPOSED ADA RAMP
	EXISTING SEWER MAIN		PROPOSED STOP/STREET SIGN
	EXISTING WATER MAIN		PROPOSED FIRE HYDRANT
	EXISTING PI MAIN		FOUND SECTION COR. AS NOTED
	EXISTING CONCRETE		SET 5/8" IRON PIN
	PI/WAT/SEWER LATERAL		TO BE SET AT ALL LOT CORNERS FOUND CLASS I STREET MONUMENT
	PROPOSED ASPHALT		SET STREET MONUMENT
	PROPOSED CONCRETE		CENTERLINE
	PROPOSED CURB & GUTTER		RIGHT-OF-WAY LINE
	PROPOSED LOT LINE		LOT LINE
	BOUNDARY LINE		PUBLIC UTILITY EASEMENT
	RIGHT OF WAY LINE		SECTION LINE
	PROPOSED STORM MAIN		
	PROPOSED CUL MAIN		
	PROPOSED PI MAIN		
	PROPOSED SEWER MAIN		
	PROPOSED WAT/PI/SEWER SERVICE LATERALS		
	RESIDENTIAL STREET LIGHT		

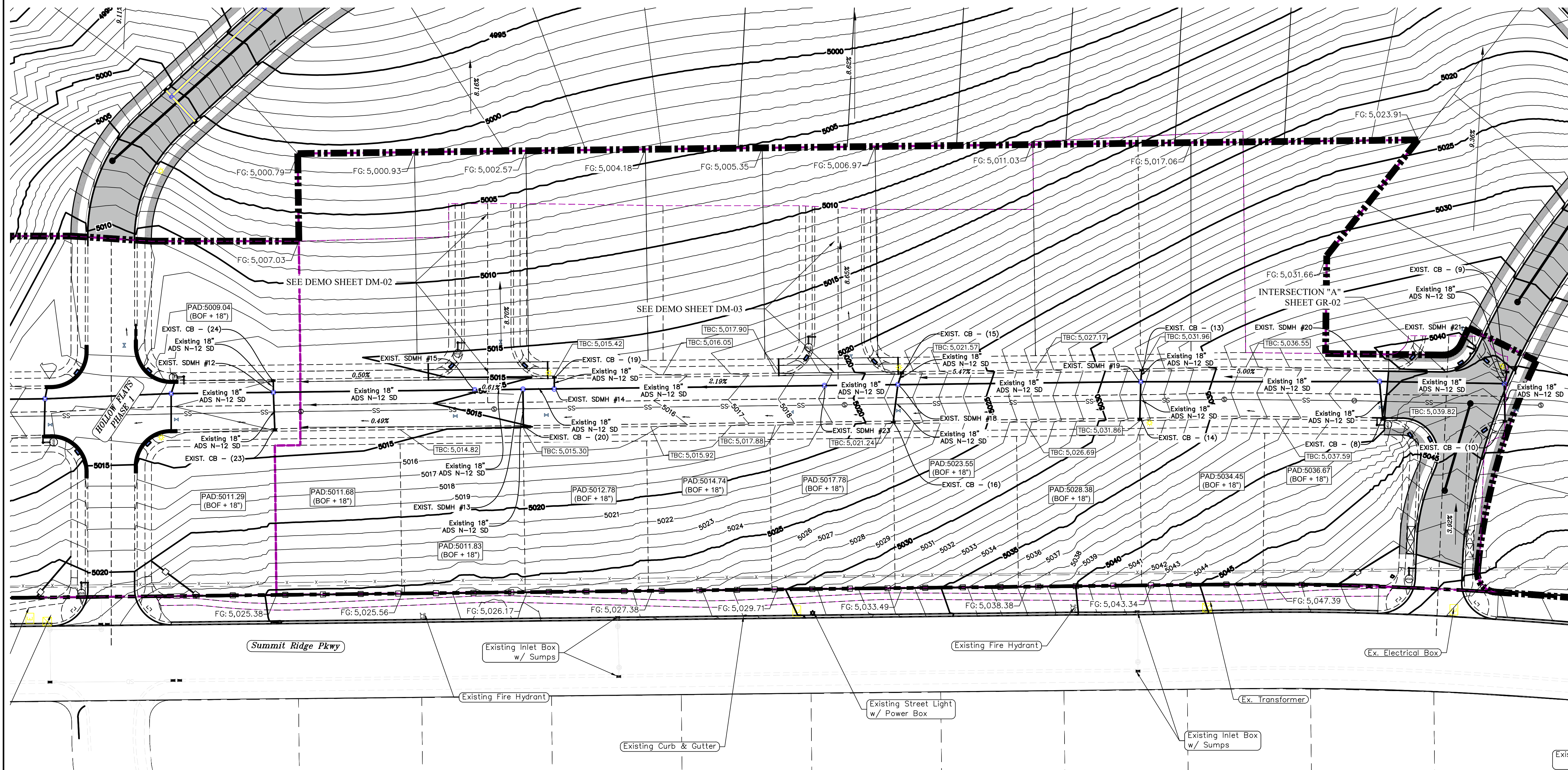
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NORTH

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5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF THE FOUNDATION AND SUBGRADE.
7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX

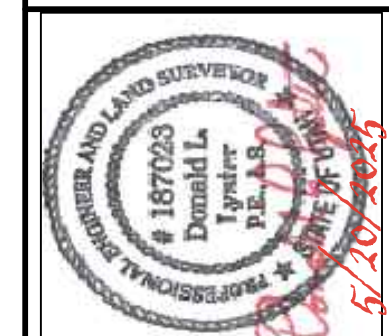


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***TANNER FLATS at SUMMIT RIDGE
PHASE 2 - AMENDED***

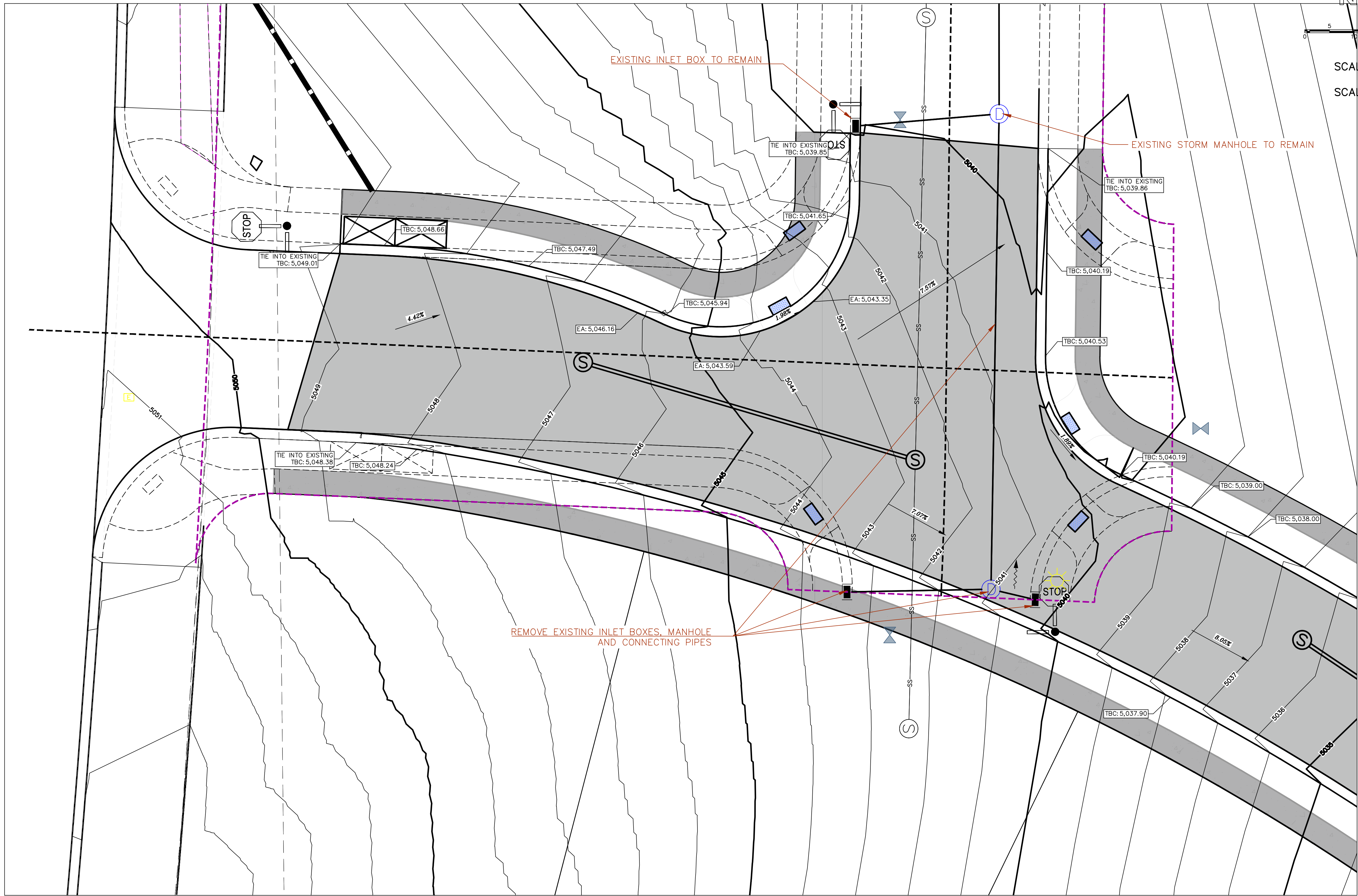
DATE:5.20.2025

PROJECT #

REVISIONS:

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SHEET NAME:
GRADING PLANS
SHEET:
GR-01





INTERSECTION 'A'

ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



(24"x36")
SCALE 1" = 10'
(11"x17")
SCALE 1" = 20'

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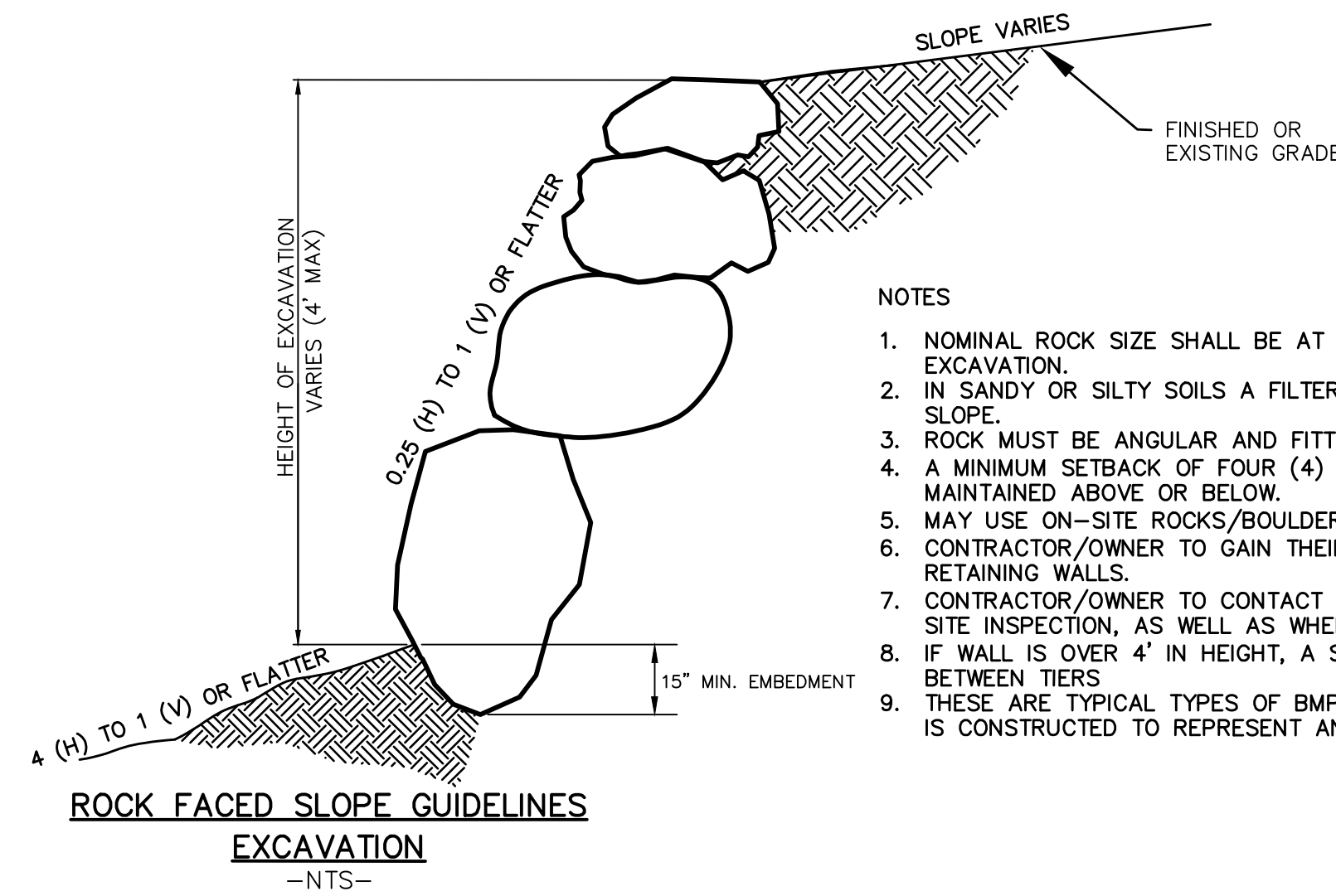
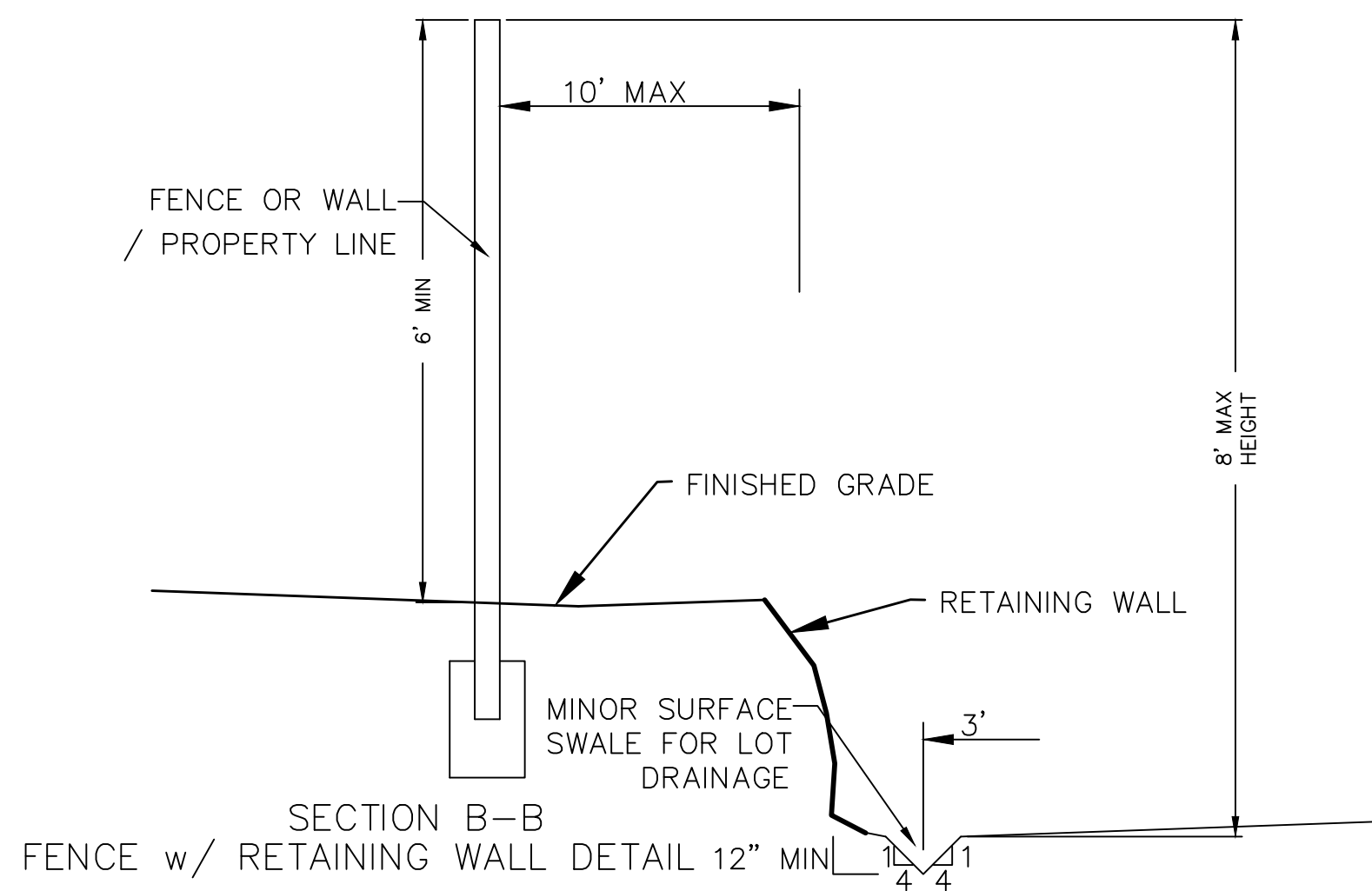
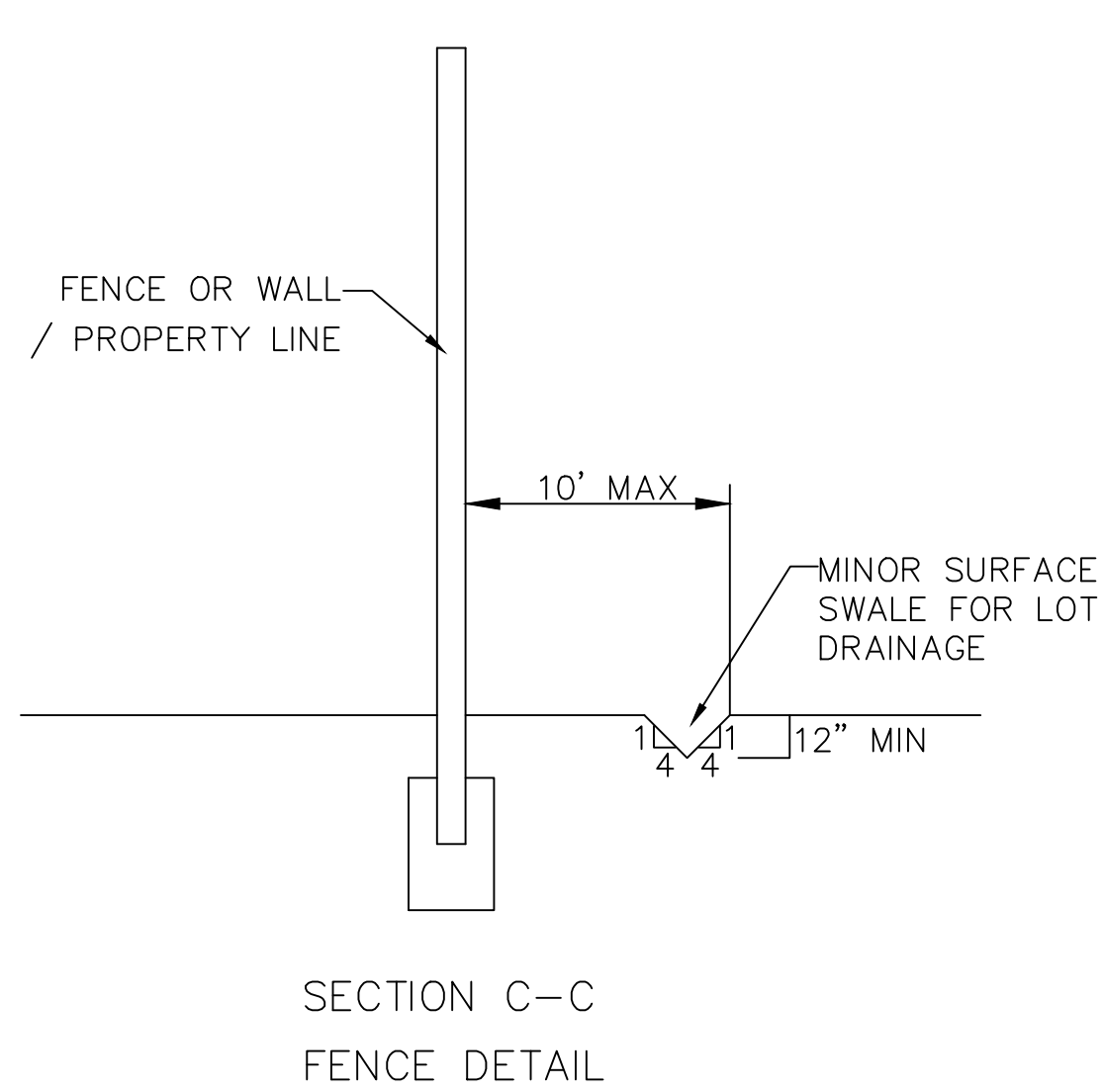


**TANNER FLATS at SUMMIT RIDGE
PHASE 2 – AMENDED**

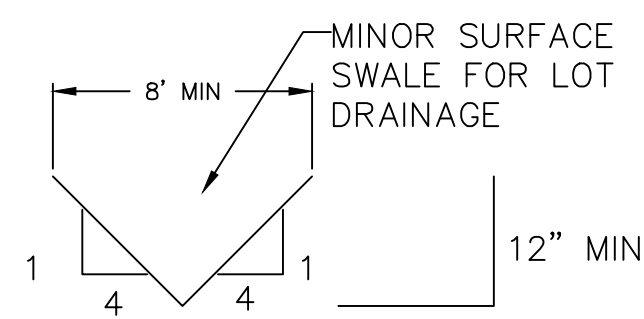
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025	
PROJECT #	
REVISIONS:	
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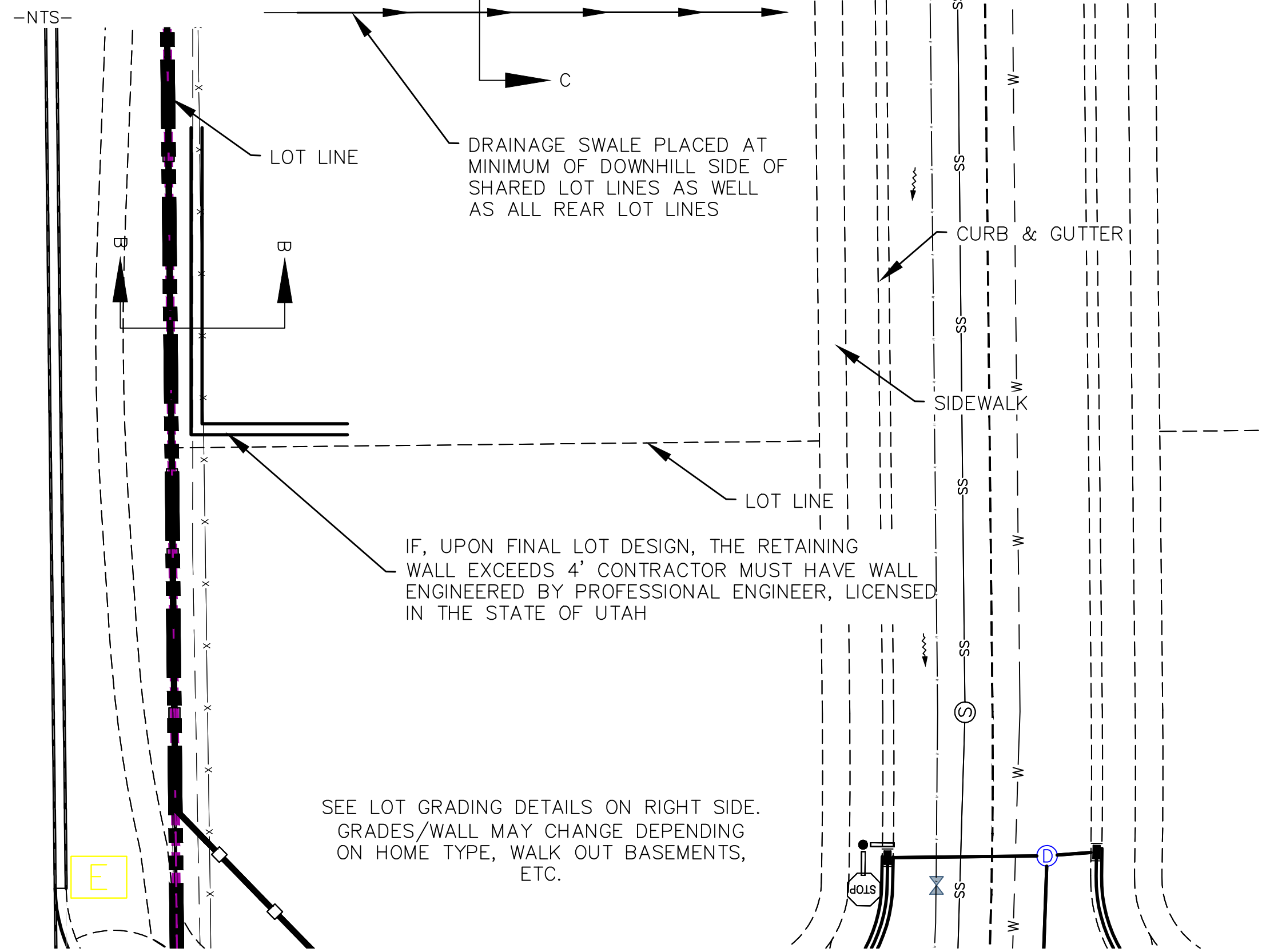
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GRADING PLANS
SHEET:
GR-02



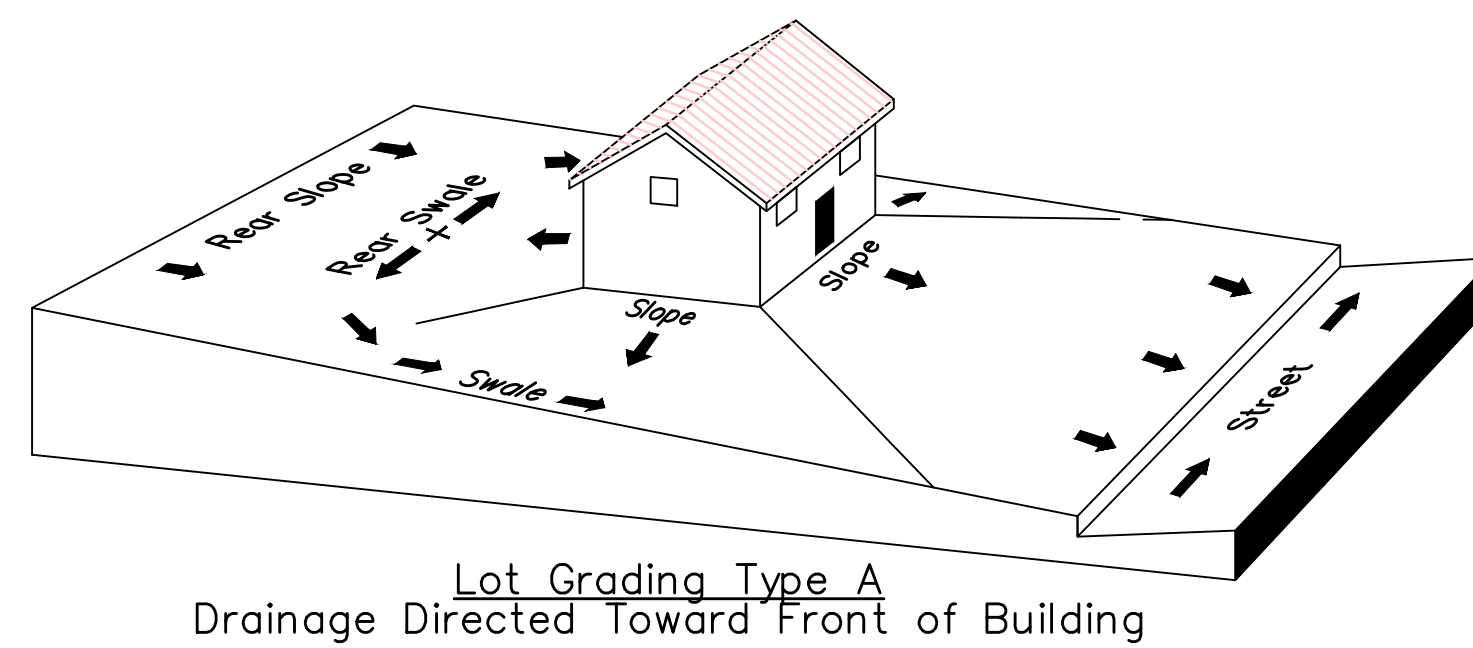
- NOTES
1. NOMINAL ROCK SIZE SHALL BE AT LEAST ONE THIRD (1/3) THE HEIGHT OF THE EXCAVATION.
 2. IN SANDY OR SILTY SOILS A FILTER FABRIC SHALL BE PLACED BEHIND THE ROCK FACED SLOPE.
 3. ROCK MUST BE ANGULAR AND FITTED TOGETHER TO INTERACT WITH THE ADJACENT ROCK.
 4. A MINIMUM SETBACK OF FOUR (4) FEET FROM BUILDINGS OR STRUCTURES SHALL BE MAINTAINED ABOVE OR BELOW.
 5. MAY USE ON-SITE ROCKS/BOULDERS IF CONDITION APPLYS
 6. CONTRACTOR/OWNER TO GAIN THEIR OWN STRUCTURAL ENGINEER AND DESIGN FOR ALL RETAINING WALLS.
 7. CONTRACTOR/OWNER TO CONTACT REGION ENGINEERING AFTER FIRST WALL IS PLACED FOR SITE INSPECTION, AS WELL AS WHEN FINAL PRODUCT IS COMPLETED
 8. IF WALL IS OVER 4' IN HEIGHT, A SECOND TIER MUST BE PLACED WITH A 5' LANDING IN BETWEEN TIERS
 9. THESE ARE TYPICAL TYPES OF BMP STORM DRAINAGE MEASURES. NOTHING ON THIS SHEET IS CONSTRUCTED TO REPRESENT AN APPROVED INDIVIDUAL LOT GRADING PLAN.



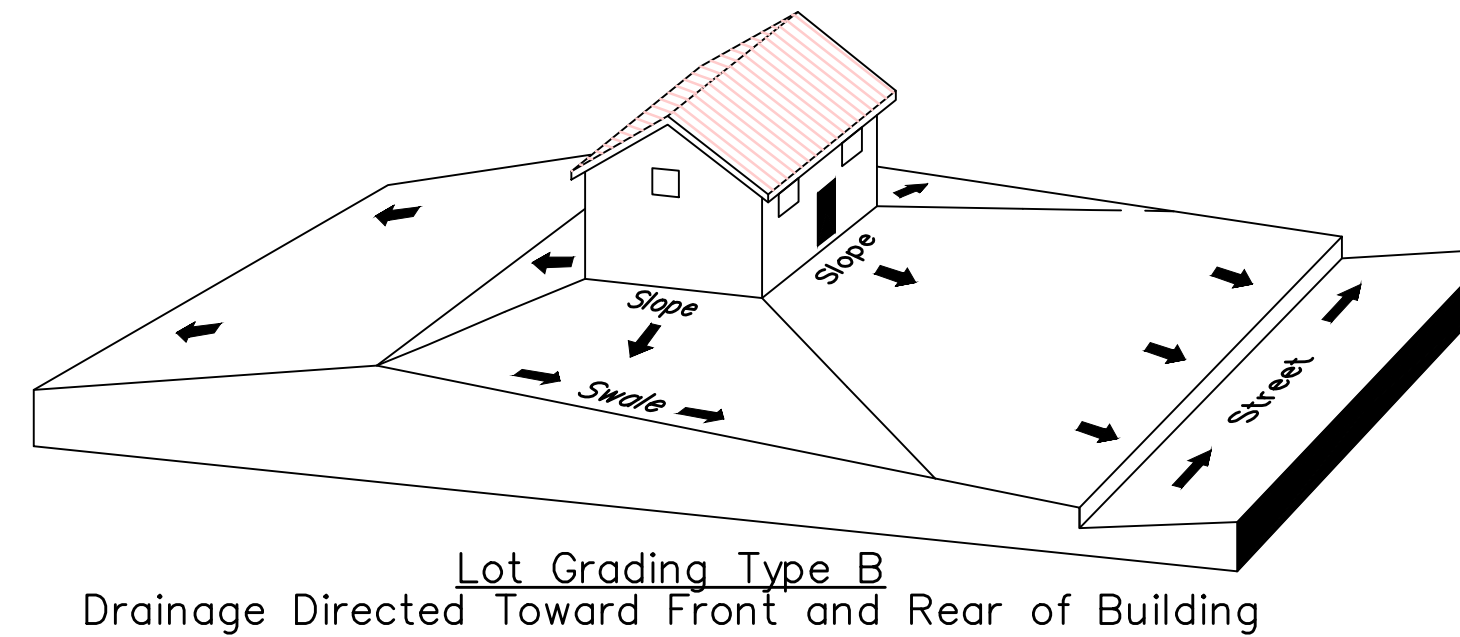
TYPICAL LOT DRAINAGE SWALE



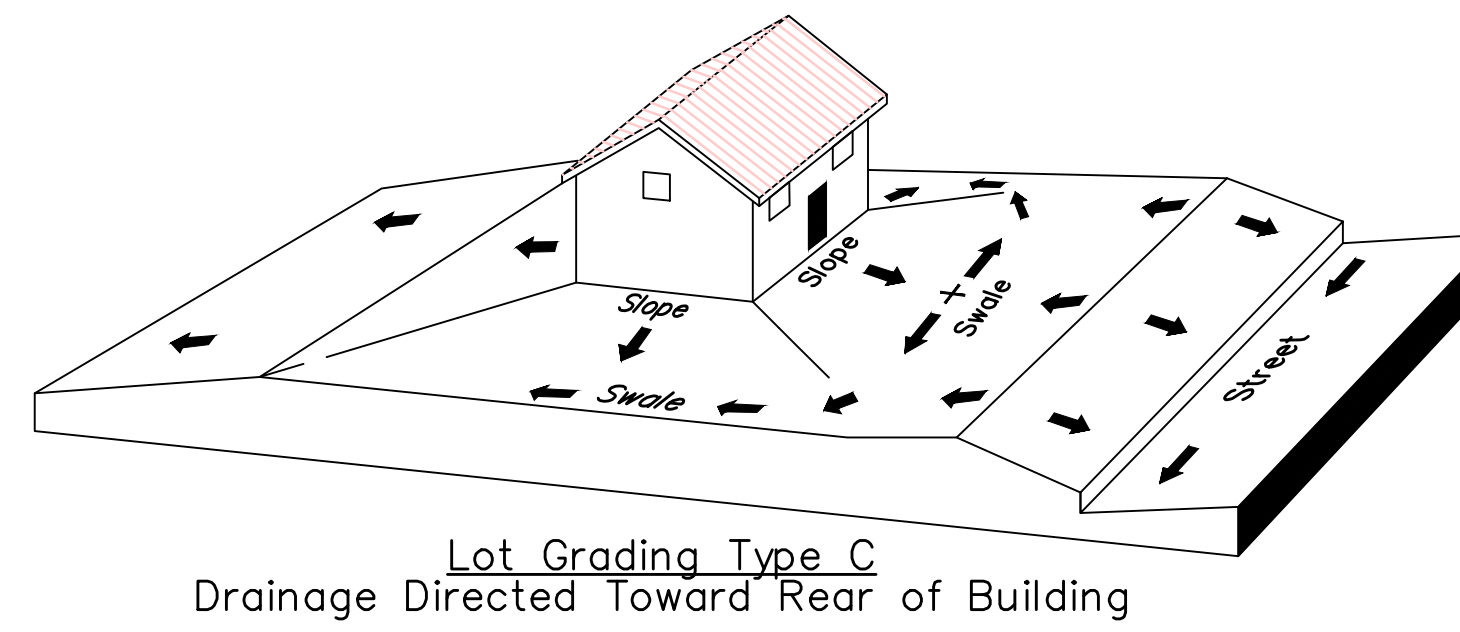
TYPICAL LOT GRADING
-NTS-



Lot Grading Type A
Drainage Directed Toward Front of Building



Lot Grading Type B
Drainage Directed Toward Front and Rear of Building



Lot Grading Type C
Drainage Directed Toward Rear of Building

- Lot Drainage -**
- At minimum, 50% of roof drains shall drain towards the street.
 - All side downspouts are to be diverted toward the front or rear of the lot.
 - Yards to be positively graded away from all window wells
 - HOA's &/or homeowners are responsible for maintaining lot line drainage pathways through their properties per drainage plan.
 - All lot lines are to be maintained as drainage pathways for accumulating runoff from adjoining lots.
 - All lots shall meet the International Building Code standards and drain away from the structure.

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
4. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS

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TANNER FLATS at SUMMIT RIDGE
PHASE 2 - AMENDED
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025

PROJECT #

REVISIONS:

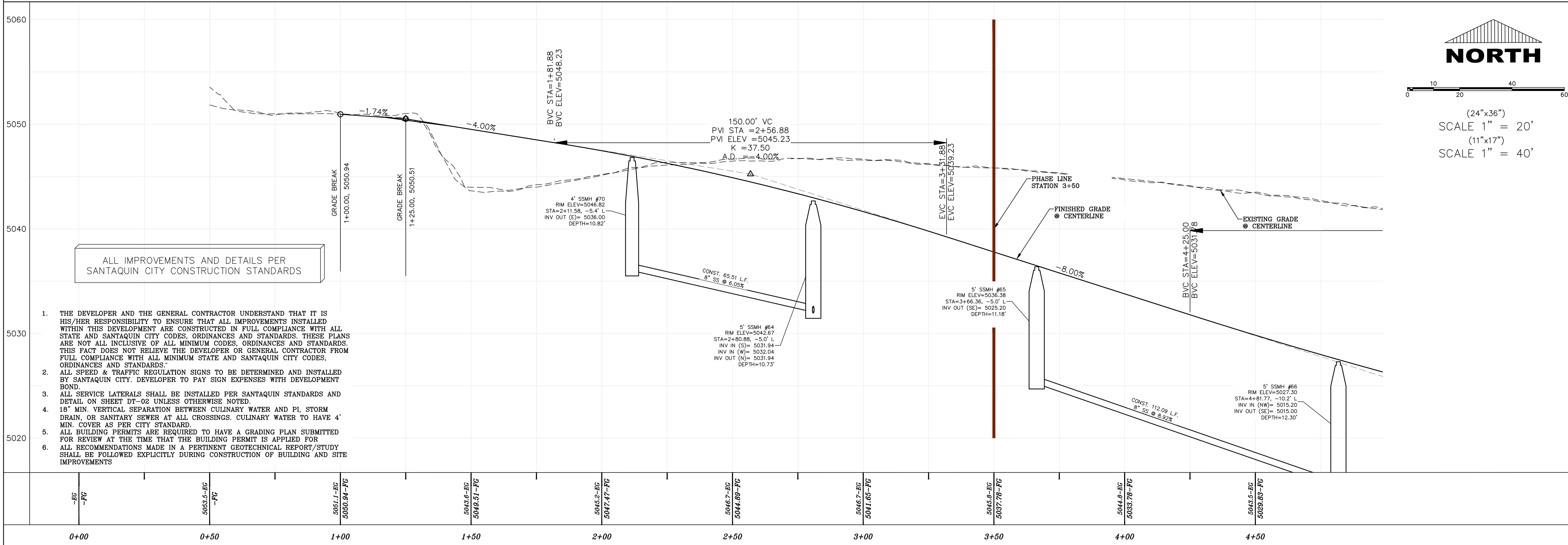
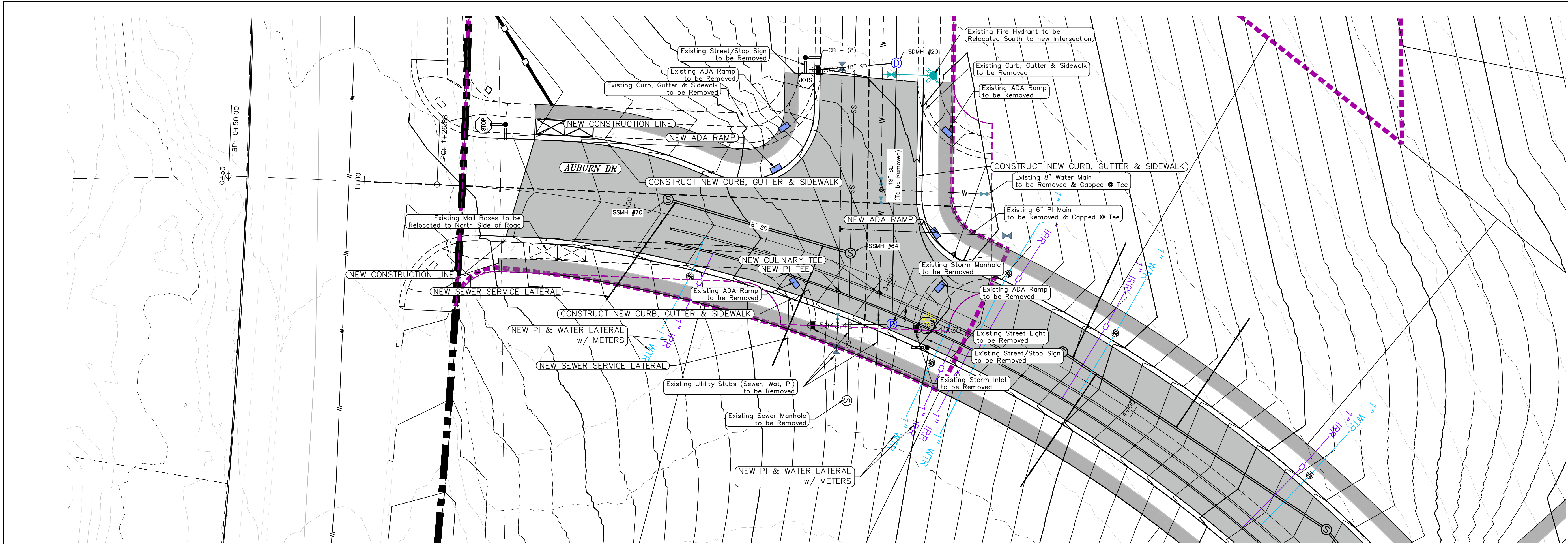
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GRADING PLANS

SHEET:
GR-03



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TANNER FLATS at SUMMIT RIDGE
PHASE 2 - AMENDED
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025
PROJECT #
REVISIONS:
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SHEET NAME:
PLAN & PROFILE
SHEET:
PP-01

NOTES:

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER IS TO BE IMMEDIATELY NOTIFIED FOR DIRECTION.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
3. CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
6. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
7. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSED INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
8. THE CONTRACTOR IS TO MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS IS TO BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC IS TO BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
9. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE ENGINEERING DEPARTMENT. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

PROJECT INFORMATION SIGN

ANY ACTIVITY THAT REQUIRES A GRADING PERMIT SHALL INSTALL AND MAINTAIN A PROJECT INFORMATION SIGN IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

1. THE SIGN SHALL BE INSTALLED PRIOR TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING ANY TYPE OF EARTH-MOVING OPERATIONS.
2. THE SIGN SHALL BE INSTALLED AT A PROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN ENTRANCE OF THE CONSTRUCTION SITE. TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE SIGN BACK FROM THE MAIN INGRESS / EGRESS LOCATION AND AT ANY APPLICABLE INTERSECTION FOR PROPER SIGHT TRIANGLE CLEARANCES.
3. THE SIGN MAY BE REMOVED ONCE FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERSON IS RESPONSIBLE AND IS APPROVED BY THE CITY.
4. THE SIGN SHALL BE A MINIMUM OF 48" x 48" AND THE FOLLOWING INFORMATION SHALL BE DISPLAYED ON THE SIGN WITH THE DESIGNATED ALPHA AND NUMERIC DIMENSIONS. SIGN BOARDS WRITTEN IN LONGHAND ARE UNACCEPTABLE.

DEVELOPERS NAME
DAVID SWANSON

PROJECT NAME
THE VISTA @ SUMMIT RIDGE - PHASE 1
PERMIT NUMBER
(4" Bold Numbers)

FOR PROJECT SITE CONCERNS CONTACT
(6" Uppercase Bold Letters)

Office Phone Contact ###-###-####
(4" Bold Numbers)

Cell Phone Contact ###-###-####
(4" Bold Numbers)

IF NO RESPONSE PLEASE CONTACT CITY OFFICE AT
DEVELOPER/OWNER
(3" Uppercase Bold Letters and 3" Bold Numbers)

5. THE TEXT HEIGHT SHALL BE A MINIMUM AS SHOWN ON THE TEMPLATE ABOVE, AND MUST CONTRAST WITH LETTERING, TYPICALLY BLACK TEXT WITH WHITE BACKGROUND.
6. THE LOWER EDGE OF THE SIGN BOARD MUST BE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF FIVE (5) FEET ABOVE GRADE. SIGN MAY BE POSTED ON A TRAILER IF IT MEETS THESE REQUIREMENTS.

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2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL 2, SHEET 5 UNLESS OTHERWISE NOTED.
4. 16" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
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CONSTRUCTION PHASE STORM WATER POLLUTION PROTECTION PLAN BEST MANAGEMENT PRACTICES (BMP)

BMP#	BMP SYMBOL	TITLE	LOCATION	DURATION
C101	101	PRESERVING NATURAL VEGETATION	PER CONTRACTOR	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C105	105	STABILIZED CONSTRUCTION ENTRANCE	AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS
C106	106	WHEEL WASH	AS SHOWN	AS NECESSARY
C151	151	CONCRETE WASTE MANAGEMENT	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C190	190	PORTABLE TOILETS	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C220	220	STORM DRAIN INLET PROTECTION	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	233	SILT FENCE	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	240	SEDIMENT TRAP	AS SHOWN	BEGINNING OF CONSTRUCTION TO PLACEMENT OF ASPHALT

NORTH

0 100 200 400 600

(24"x36")
SCALE 1" = 200'
(11"x17")
SCALE 1" = 400'

SEE SHEET EC-02

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TANNER FLATS at SUMMIT RIDGE
PHASE 2 - AMENDED
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.20.2025

PROJECT #

REVISIONS:

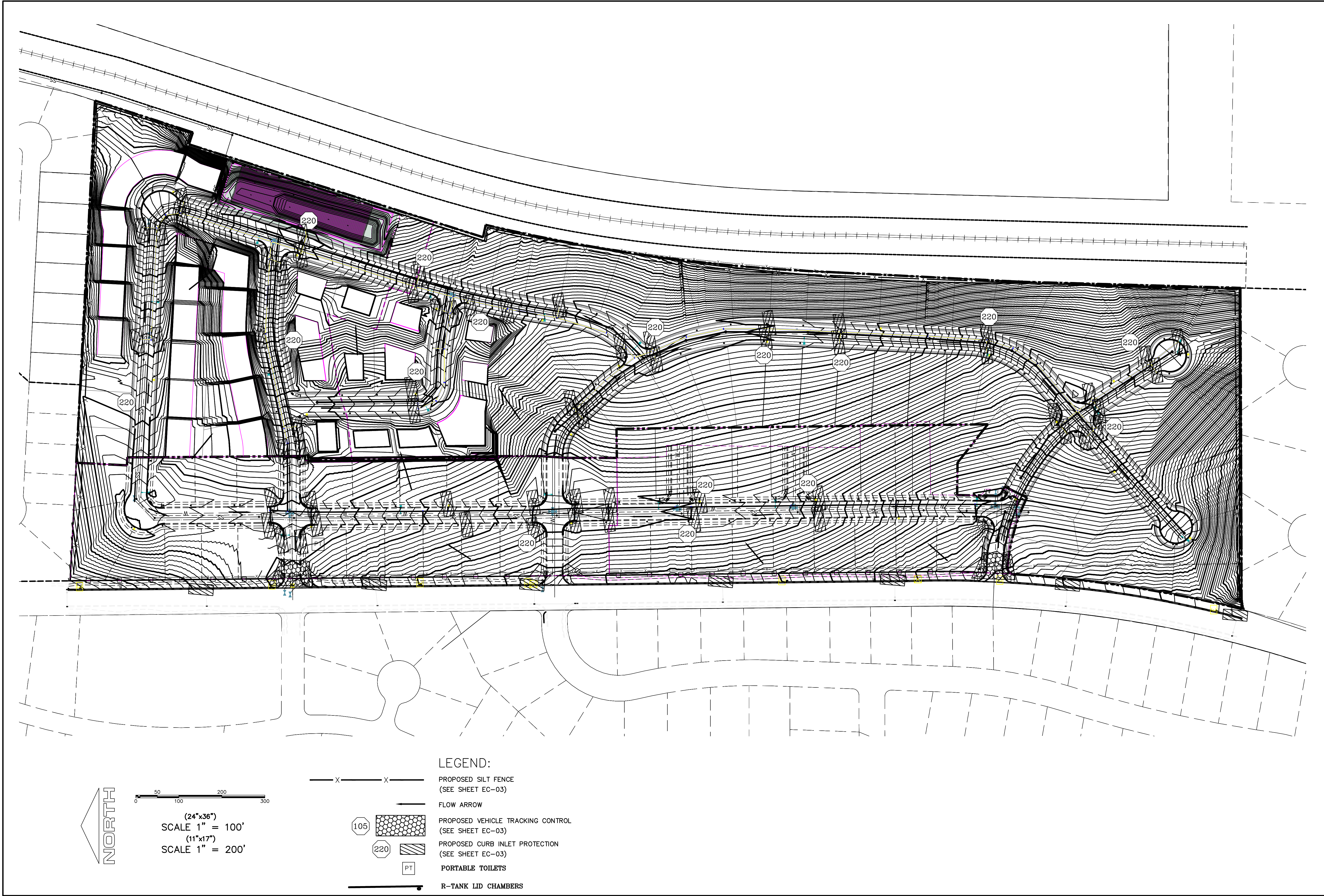
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EROSION CONTROL PLAN

SHEET:


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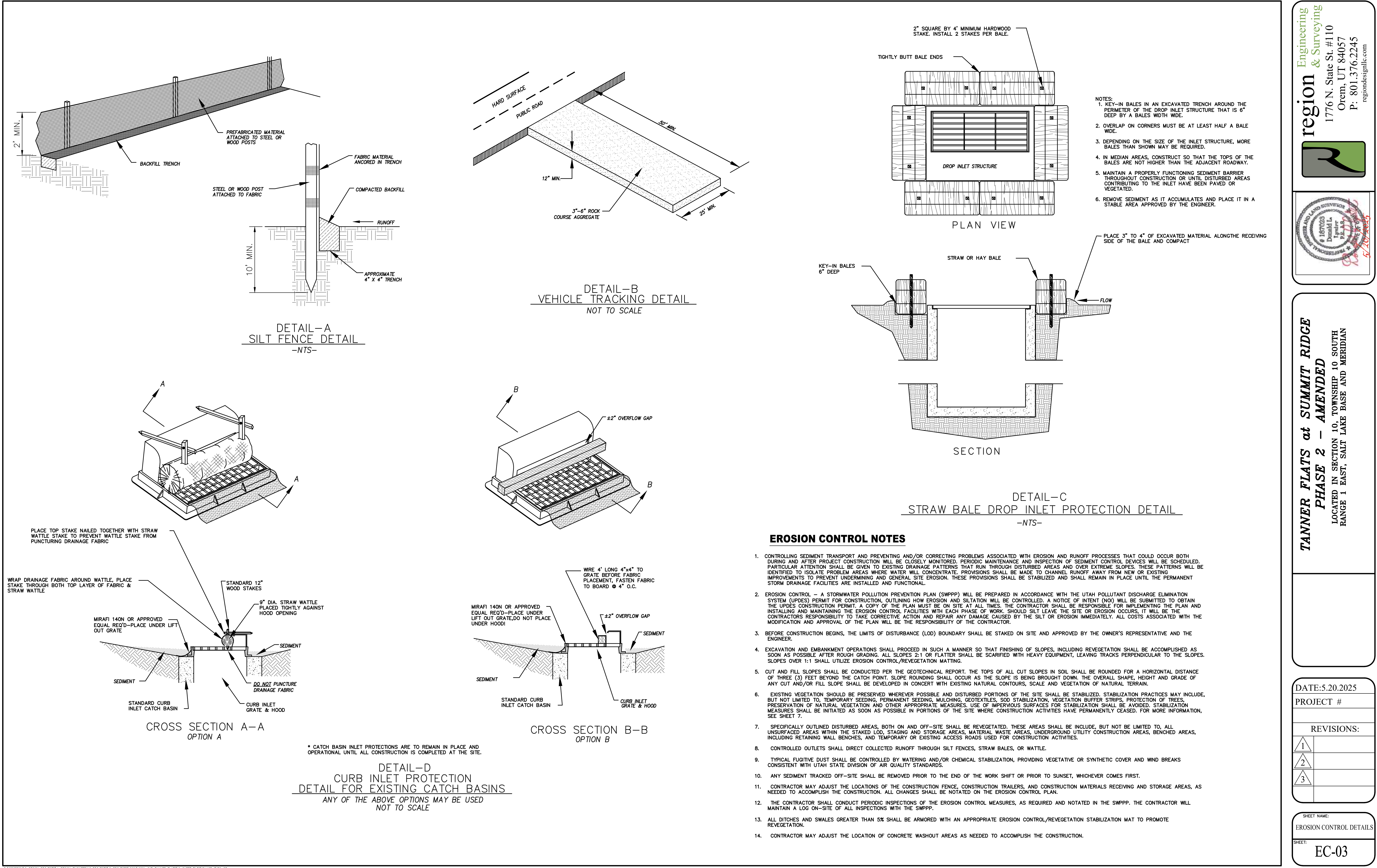
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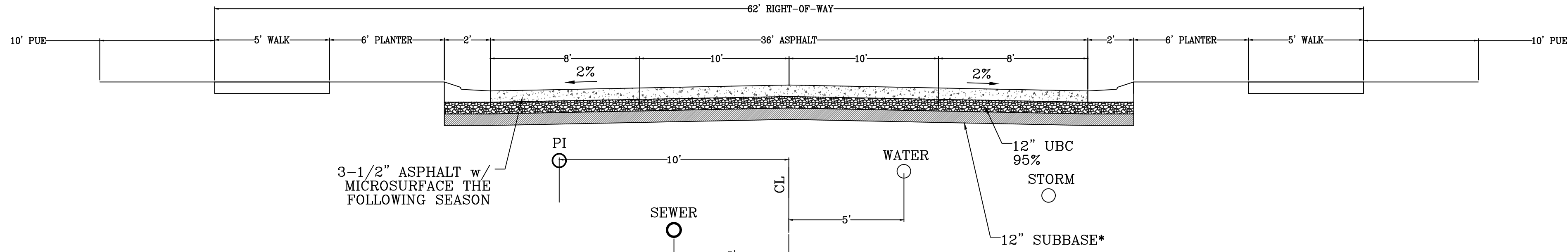


TANNER FLATS at SUMMIT RIDGE
PHASE 2 – AMENDED
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

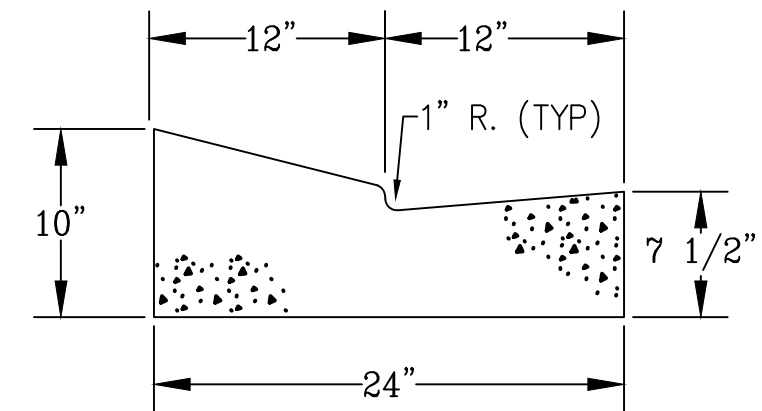
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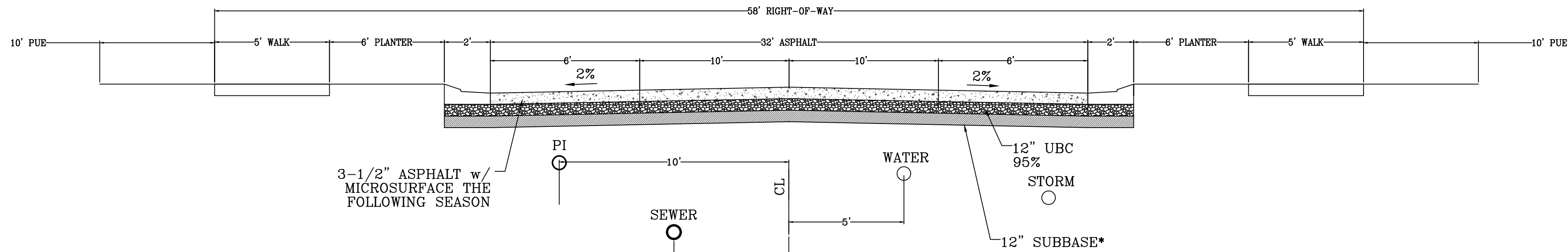


**62' MAJOR LOCAL
Typical Road Section**
LOOKING NORTH AND WEST

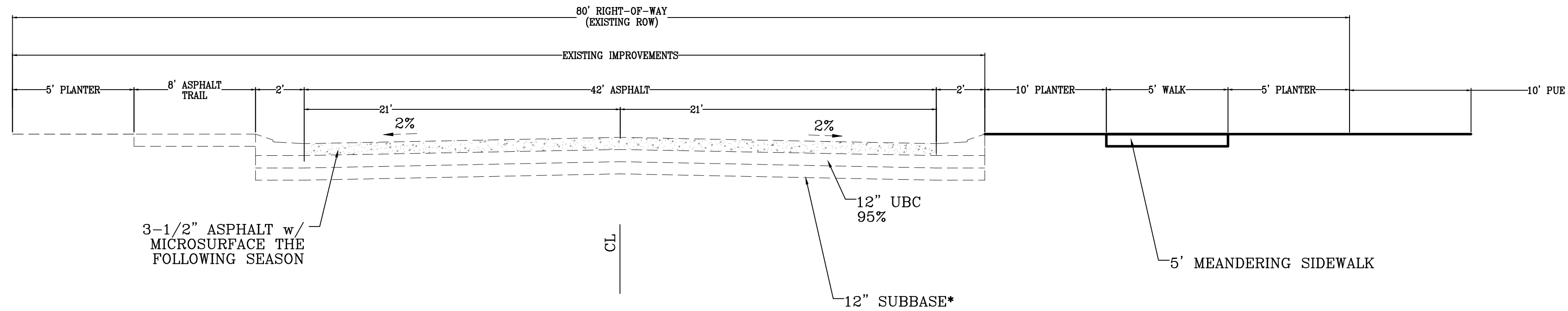


MODIFIED HIGH BACK CURB

*NOTE: ON SITE INSPECTION TO BE
CONDUCTED BY GEOTECHNICAL
ENGINEER TO DETERMINE ADEQUACY OF
EXISTING MATERIAL



**58' MAJOR LOCAL
Typical Road Section**
LOOKING NORTH AND WEST



SUMMIT RIDGE BLVD
LOOKING NORTH

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**TANNER FLATS at SUMMIT RIDGE
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SHEET NAME:
TYPICAL DETAILS
SHEET:
DT-01

