## MEMORANDUM

To: Mayor Olson and City Council

From: Ryan Harris, Staff Planner

Date: May 13, 2022

### RE: Ostler Subdivision Preliminary Review



Zone: R-8 Size: 1.38 Acres Lots: 5

The Ostler Subdivision is located at 421 South 100 West. The proposed subdivision is in the R-8 zone and consists of 5 lots on 1.35 acres. Lots within the R-8 zone are required to have a minimum size of 8,000 square feet and a minimum lot width of 80 feet. The proposed lots range from 0.19 acres (8,407 square feet) to 0.30 acres (13,298 square feet), and the lot frontages range from 68.75 feet to 124.32 feet. All lots except for lot 2 meet the requirements of the R-8 zone.

The frontage for lot 2 is under 80 feet and the applicant proposed to use the infill reduction standards. The infill reduction standards can be found in <u>Santaquin City Code (SCC) 10.32</u>. The Planning Commission made the following motion regarding this request:

Commissioner Hoffman motioned to approve the infill reduction request for Lot 2 of the Ostler Subdivision, reducing the lot frontage from 80 feet to 68.75 feet with the condition that the applicant meet all infill reduction requirements. Motion seconded by Commissioner Howard.

Commissioner Wood, Yes; Commissioner Hoffman, Yes; Commissioner Howard, Yes; Commissioner Weight, Yes; Commissioner McNeff, Yes. The vote passed unanimously in favor.

The Development Review Committee reviewed the preliminary plans for the Ostler Subdivision on April 26, 2022 and forwarded a positive recommendation to the Planning Commission.

This Planning Commission made the following motions:

Commissioner Weight motioned to recommend approval of the Ostler Subdivision with the condition that all planning and engineering redlines be addressed in reference to the abovementioned infill reduction requirements. Motion seconded by Commissioner McNeff.

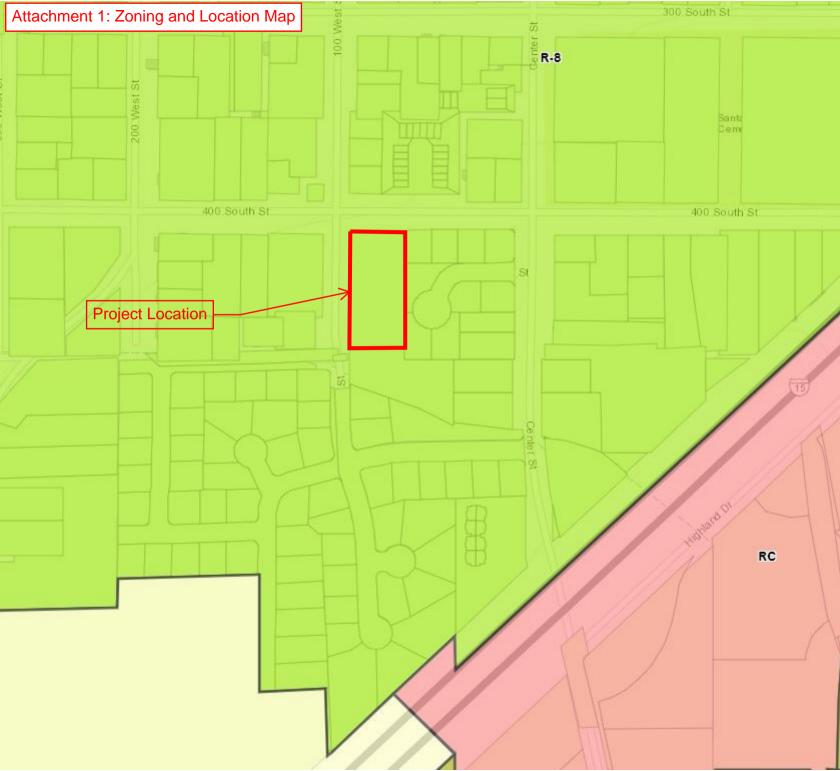
Commissioner Wood, Yes; Commissioner Hoffman, Yes; Commissioner Howard, Yes; Commissioner Weight, Yes; Commissioner McNeff, Yes. The vote passed unanimously in favor.

Recommended Motion: "Motion to approve the Ostler Subdivision with the following condition:

- All planning and engineering redlines be addressed.

### Attachments:

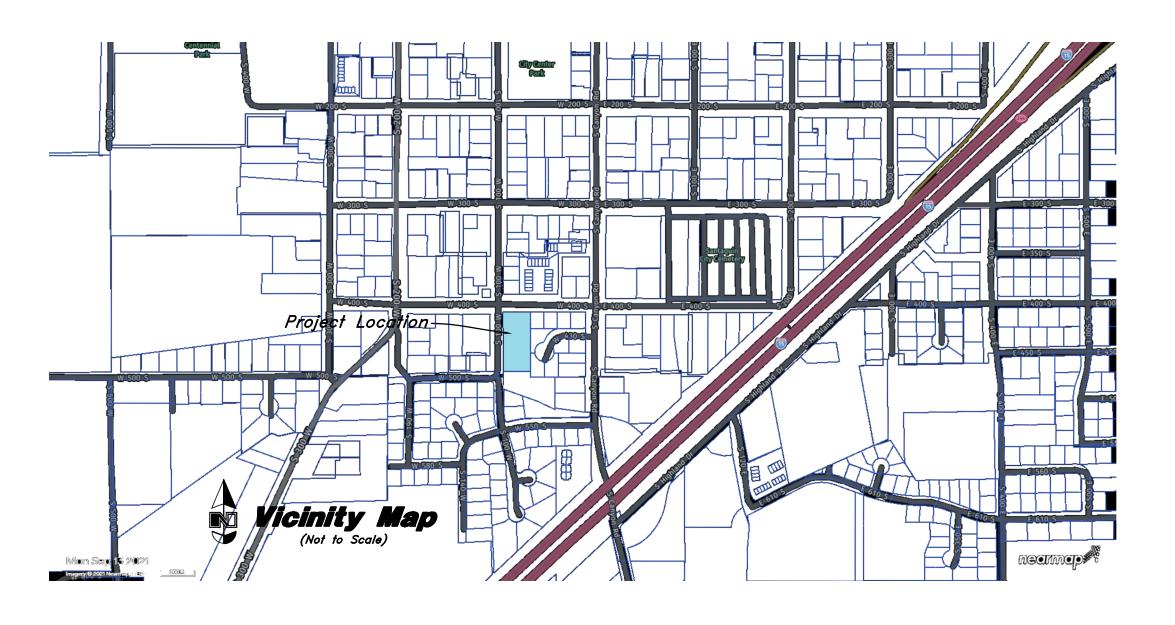
- 1. Zoning and Location Map
- 2. Preliminary Plan



Attachment 2: Preliminary Plans

# Sheet List

Cover Sheet	CV
Demolition Plan	СО
Site Plan	C1
Grading Plan	C2
Utility Plan	<i>C3</i>
Improvement Details	C4
Improvement Details	C5



### NOTES

1. The developer and the general contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum Codes, Ordinances and Standards. This fact does not relieve the developer or general contractor from the full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards.



ENGINEER: Great Basin Engineering, Inc. c/o Andy Hubbard PLS 5746 South 1475 East Suite 200 Ogden, Utah 84405 (801) 394–4515

Developer: Race Ostler 2255 W 900 N Lehi, Utah 84043 (801) 735–7196

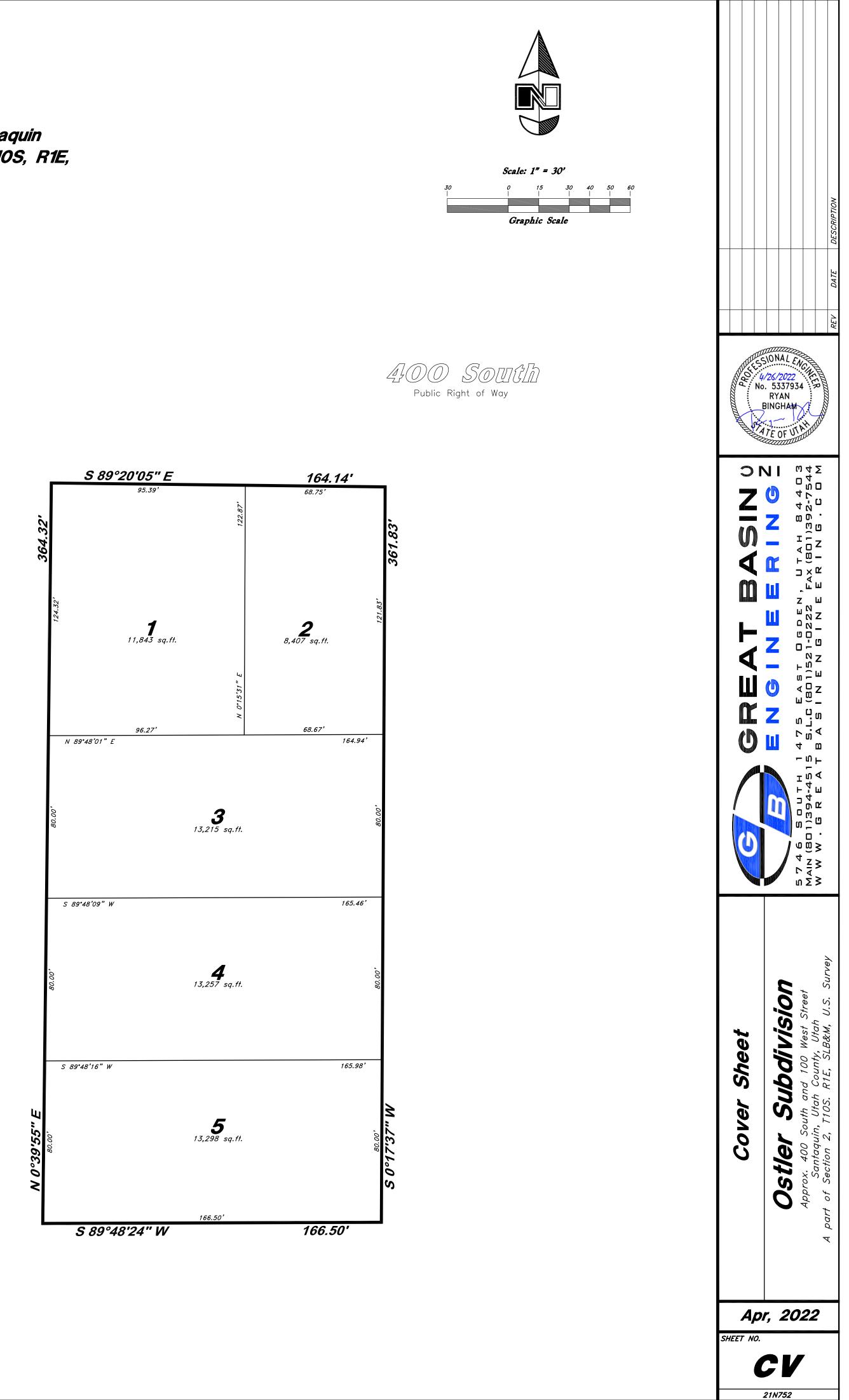
# **Ostler Subdivision**

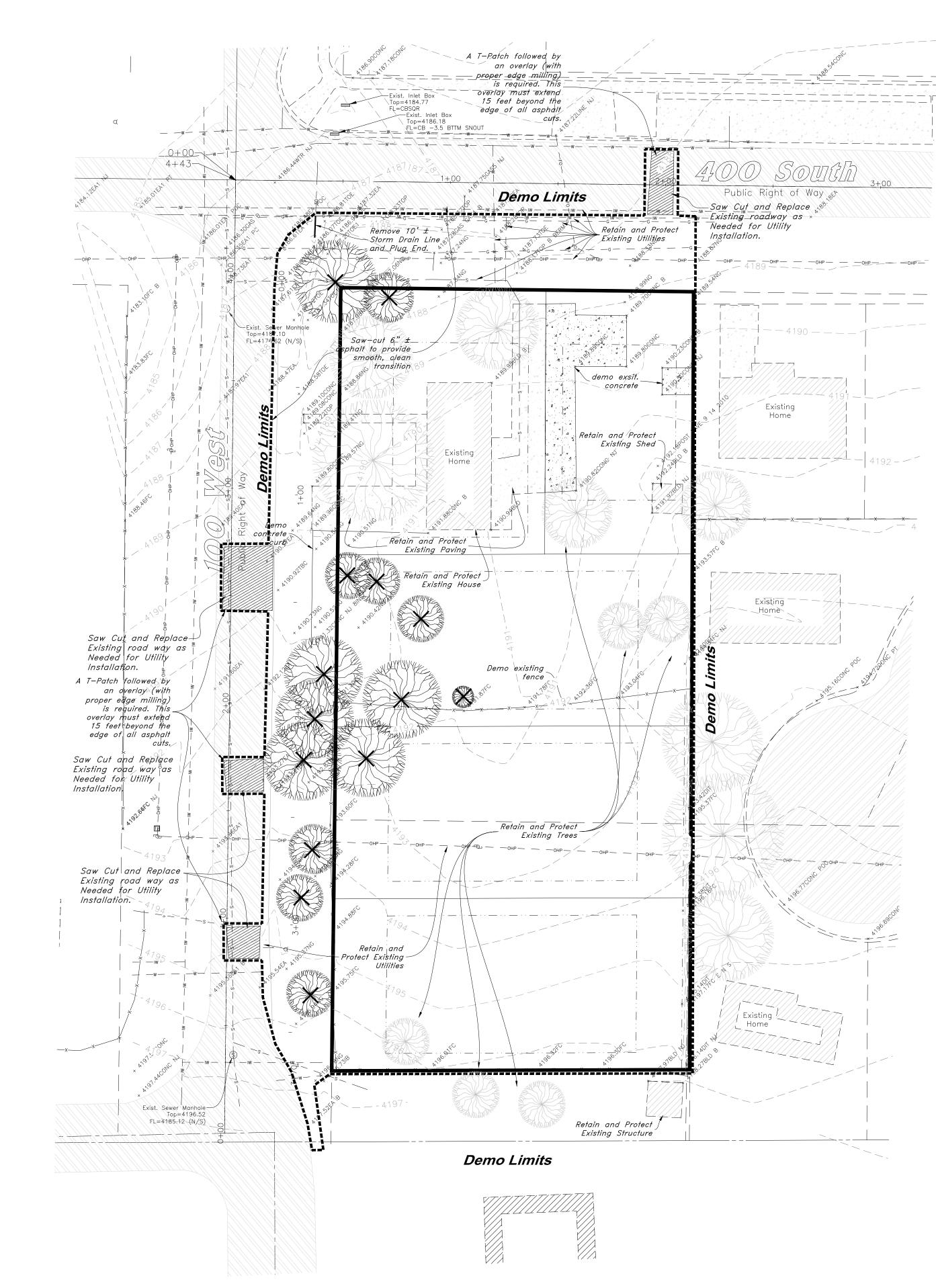
All of of Lot 4 and a part of Lot 3, Block 5 Plat "C" Santaquin Townsite Survey of Building Lots being a part of Section 2, T10S, R1E, SLB&M, U.S. Santaquin, Utah County, Utah February, 2022

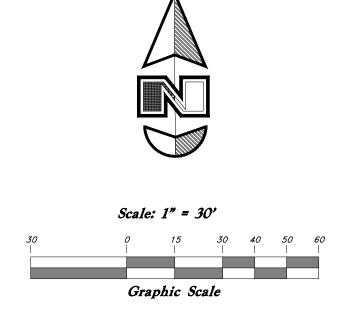
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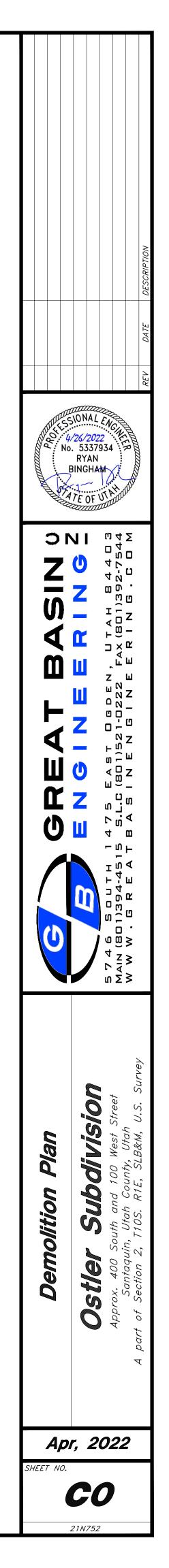


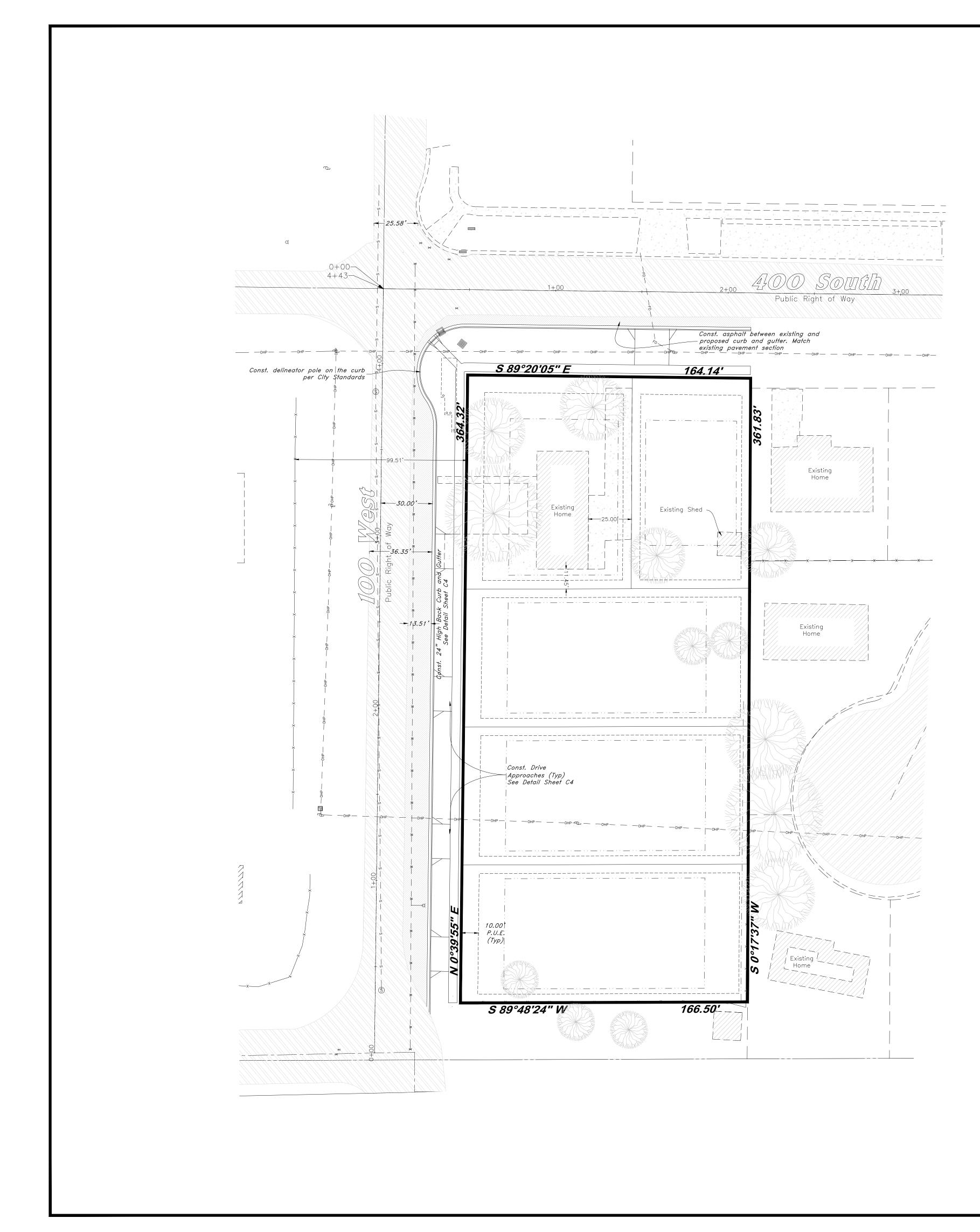
## Legend

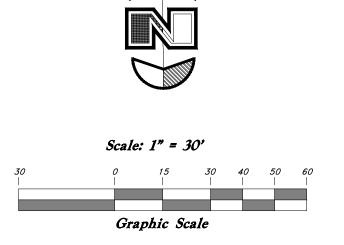
(Note: All Items may not appear on drawing)					
San. Sewer Manhole	S	Top of Walk	ΤW		
Water Manhole	M	Top of Concrete	TCN		
Storm Drain Manhole		Natural Ground Finish Grade	NG FG		
		Match Existing	MĔ		
Cleanout	Ø	Fire Department Connection			
Electrical Manhole	Ð	Finished Contour Exist. Contour	<i>— 90</i> —		
Catch Basins		Finished Grade	––90–– 95.33TA		
Exist. Fire Hydrant	Q	Exist. Grade	95.72TA		
Fire Hydrant	ğ	Ridge Line	— R —		
Fire Department Connection Post Indicator Valve	7 <b>*</b>	Direction of Flow			
Exist. Water Valve					
Water Valve	— <u>``</u>	Existing Asphalt			
Sanitary Sewer	— <i>s</i> —				
Culinary Water	— <i>w</i> —	New Asphalt			
Gas Line Irrigation Line	— G— — /W—				
Storm Drain	-SD	Heavy Duty Asphalt			
Telephone Line	— <i>ī</i> —		$\overline{\overline{)}}$		
Secondary Waterline	<i>—s</i> ₩—	Eviating Concrete			
Power Line Fire Line	— Р— — F—	Existing Concrete	and the second sec		
Land Drain	— F — — LD—				
Power pole	ц Ц	New Concrete			
Power pole w/guy	°C→				
Light Pole	*	Demo'd Road Base			
Fence Flowline of ditch	<u>- x x x</u>				
Overhead Power line	-OHP-				
Corrugated Metal Pipe	CMP	24" High Back Curb & 🗌			
Concrete Pipe	CP	Gutter	W KET WY		
Reinforced Concrete Pipe	RCP		N BA		
Ductile Iron Polyvinyl Chloride	DI PVC				
Top of Asphalt	TA	Demo Tree	A A A A A A A A A A A A A A A A A A A		
Edge of Asphalt	ĒA		•		
Centerline	CL		W 827 W 44		
Flowline Finish Floor	FL FF				
Top of Curb	TC				
Top of Wall	ŤŴĹ	Tree To Remain in Place	is a faith and the		
Public Utility Easement	P.U.E.				

### General Demolition Notes:

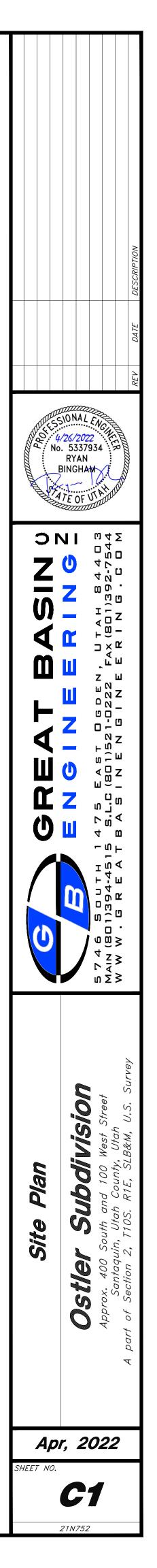
- 1. Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
- 2. Refer to site improvement plans for more details on limits of removal.
- 3. Demolish existing buildings and clear from site. (Including removal of all footings and foundations.)
- 4. All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, waterlines and meters, gas lines, sewer lines, light poles, buried cables, storm drain piping and structures to be cleared from site within demo limits unless otherwise shown.
- 5. All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped
- According to city, county and utility company requirements, unless otherwise shown. 6. Basements and other excavated areas to be backfilled with clean granular material compacted to
- 95% of maximum lab density as determined by ASTM D 1557-78. (Test results to be given to owner) 7. Clear and grub trees, shrubs, and vegetation within construction limits, disposal to be off-site Except where noted otherwise.
- 8. DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits. 9. If ASBESTOS is found in existing structures, the Asbestos must be removed in a legal manner by
- a contractor licensed to handle asbestos materials. (Not a part of contract) 10. Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
- 11. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
- 12. Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
- 13. Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted. 14. Contractor shall verify with city any street removal, curb cuts, and any restoration required for
- utility line removal. 15. Install traffic warning devices as needed in accordance with local standards.
- 16. Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required. 17. A roadway excavation permit will be needed and appropriate bonding in place for any open trenching within the asphalt to install utilities (I.E.: Power, Sewer, Gas, Etc.)

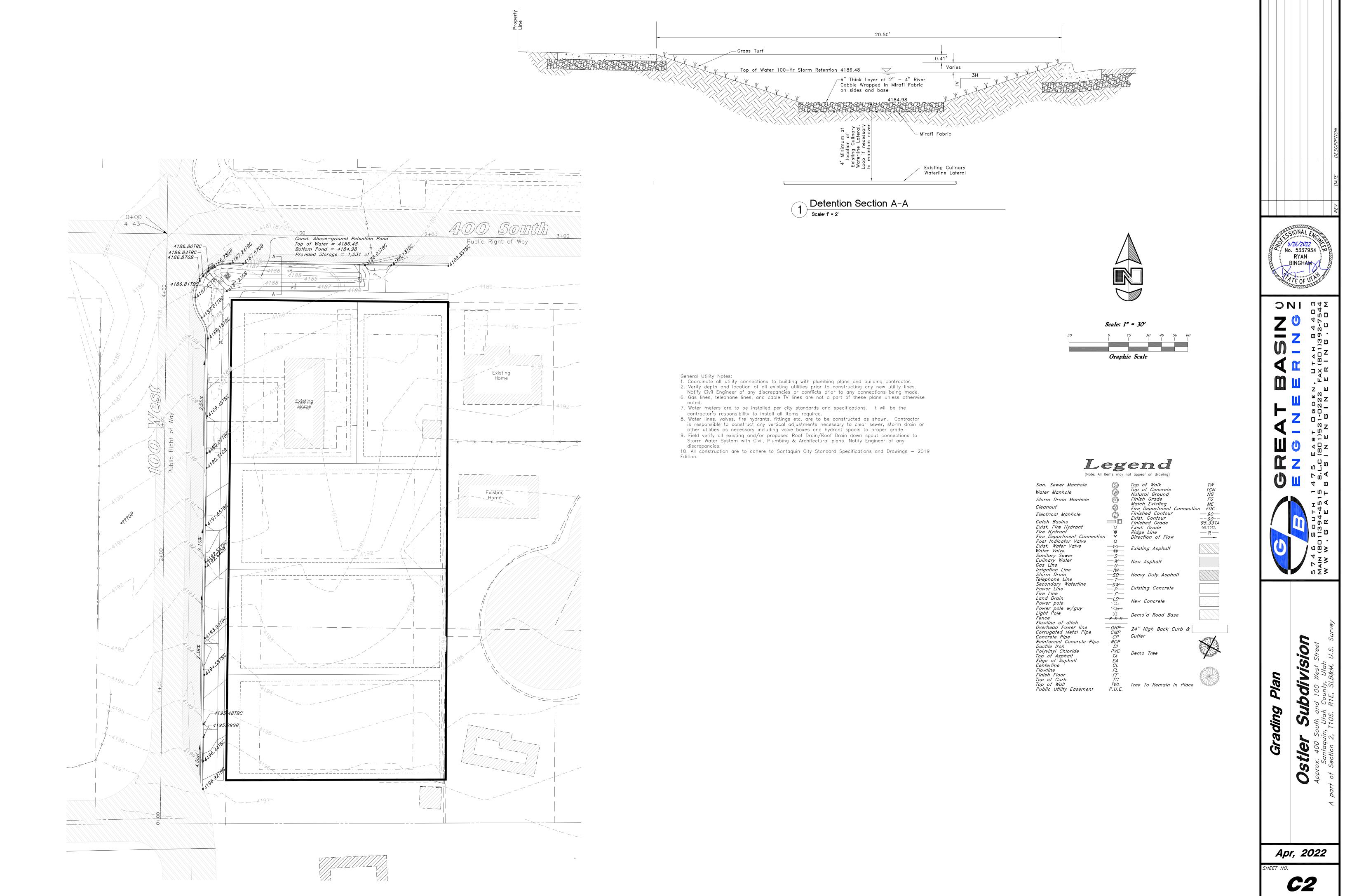




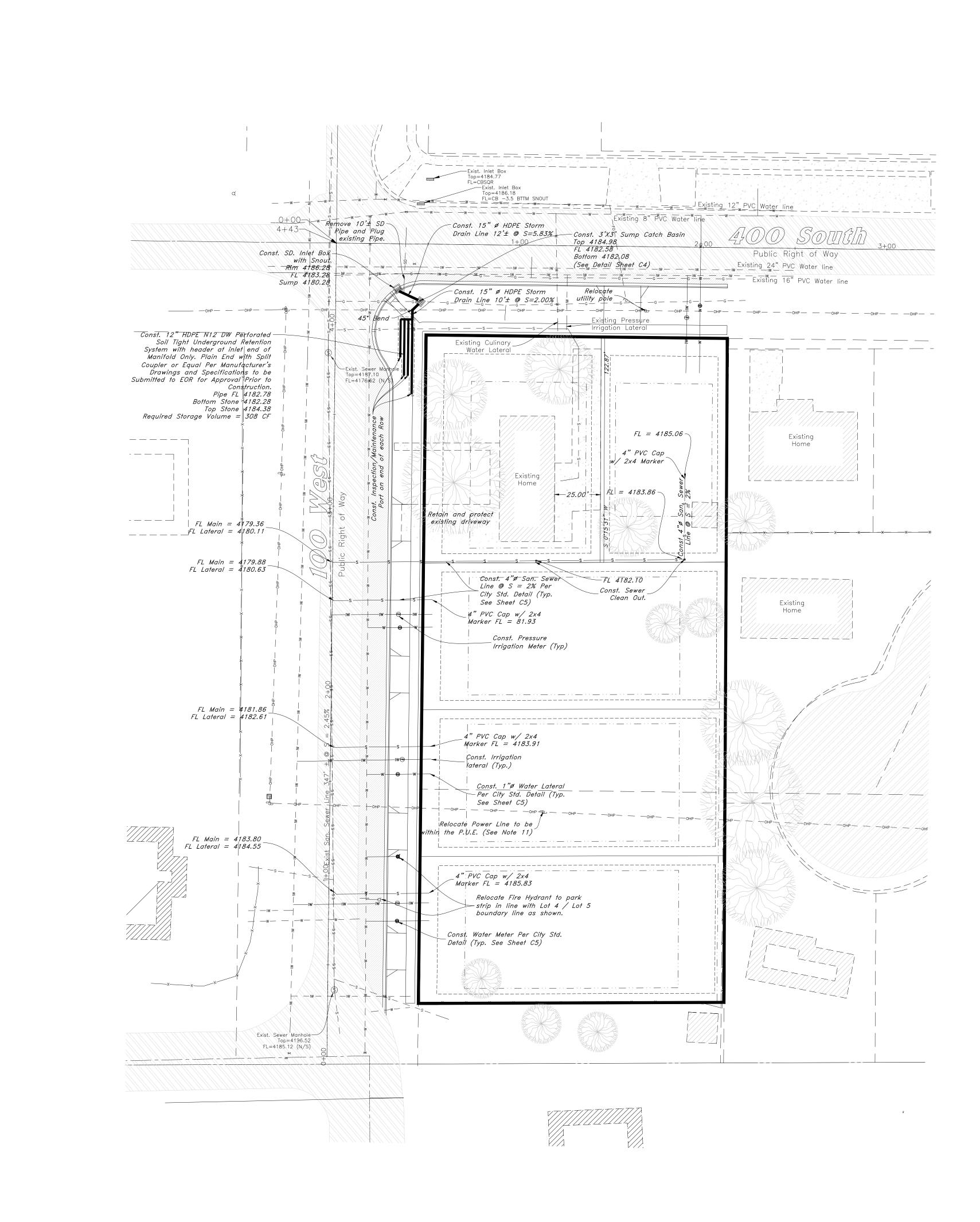


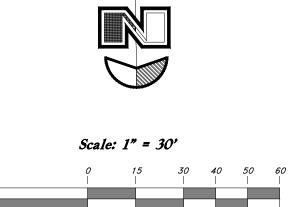
#### (Note: All Items may not appear on drawing) Top of Walk Top of Concrete Natural Ground Finish Grade S San. Sewer Manhole ΤW TCN NG Water Manhole Storm Drain Manhole FG SD Finish GradeFGMatch ExistingMEFire Department ConnectionFDCFinished Contour--90--Exist. Contour--90--Finished Grade95.33TAExist. Grade95.72TARidge Line----Direction of Flow-----Cleanout O Electrical Manhole Catch Basins Exist. Fire Hydrant Fire Hydrant Fire Department Connection Post Indicator Valve Exist. Water Valve – Water Valve – \_\_\_\_**>** 0 Existing Asphalt -0-Sanitary Sewer Culinary Water <u>\_\_\_\_</u>\_\_\_ Cullinary Water Gas Line Irrigation Line Storm Drain Telephone Line Secondary Waterline Power Line Fire Line Land Drain Power pole Power pole New Asphalt — *IW*— —*SD*— — *T*— Heavy Duty Asphalt Power pole w/guy Light Pole Fence °C→ Demo'd Road Base Fence Flowline of ditch Overhead Power line Corrugated Metal Pipe Concrete Pipe Reinforced Concrete Pipe Ductile Iron Polyvinyl Chloride Top of Asphalt Edge of Asphalt Edge of Asphalt Centerline Flowline Finish Floor Top of Curb Top of Wall Public Utility Easement --OHP--CMP CP RCP 24" High Back Curb & Gutter PVC Demo Tree X Tree To Remain in Place TWL P.U.E.





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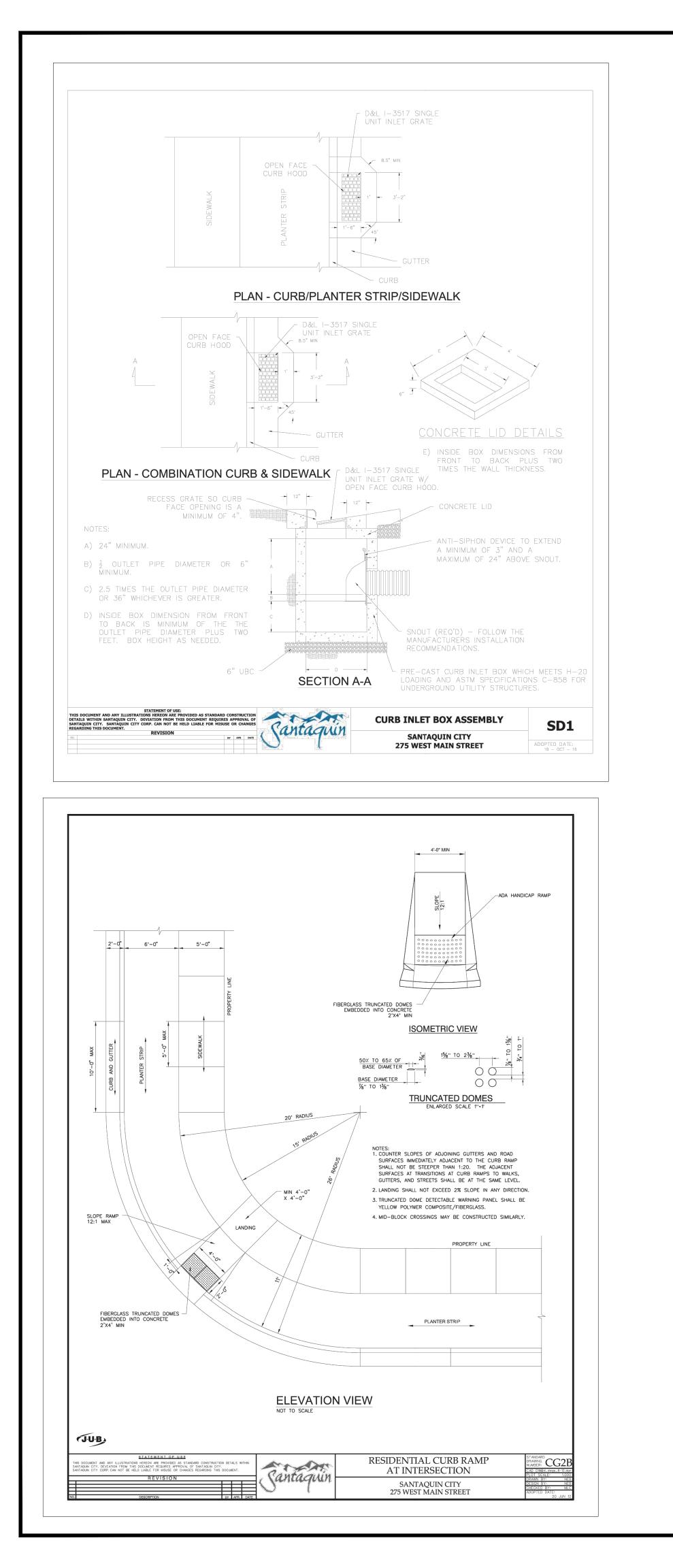
Graphic Scale

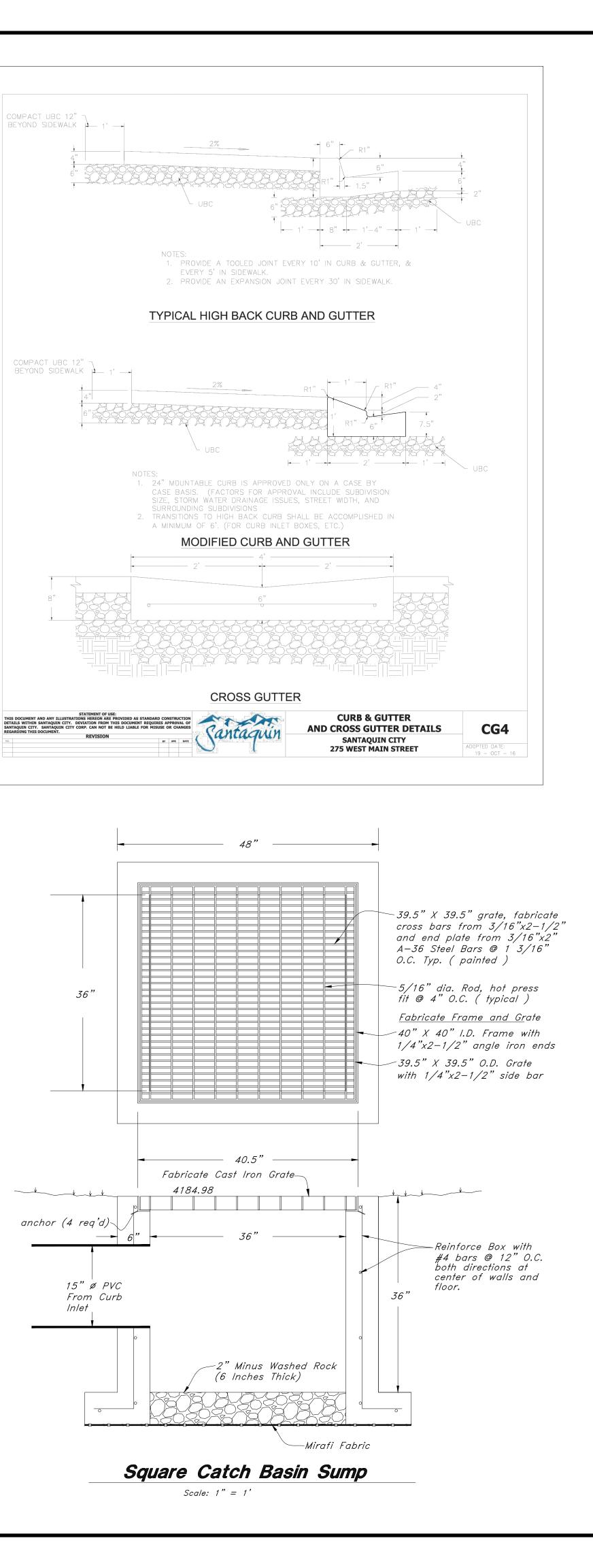
#### Legend (Note: All Items may not appear on drawing) S Top of Walk Top of Concrete San. Sewer Manhole TCN Water Manhole Natural Ground Storm Drain Manhole Finish Grade (SD) Match Existing Cleanout O Fire Department Connection FDC Finished Contour Electrical Manhole -- 90-Ē Exist. Contour −−*90*−− 95.33TA Catch Basins Finished Grade Exist. Fire Hydrant Exist. Grade 95.72TA Fire Hydrant Fire Department Connection Ridge Line — R — Direction of Flow -----Post Indicator Valve 0 Exist. Water Valve Existing Asphalt Water Valve Sanitary Sewer Culinary Water — w— New Asphalt Gas Line — `G— — *IW*— —*SD*— — *T*— Irrigation Line Storm Drain Telephone Line Secondary Waterline Heavy Duty Asphalt Existing Concrete Power Line Fire Line — 'F— -in-Land Drain New Concrete Power pole Power pole w/guy °C→ Light Pole Fence Demo'd Road Base -x x xFlowline of ditch -OHP-CMP CP RCP Overhead Power line 24" High Back Curb & Corrugated Metal Pipe *Concrete Pipe Reinforced Concrete Pipe* Gutter Ductile Iron Polyvinyl Chloride PVC Demo Tree Top of Asphalt Edge of Asphalt Centerline Flowline Finish Floor Top of Curb Top of Wall Tree To Remain in Place Ρ.Ü.Ε. Public Utility Easement

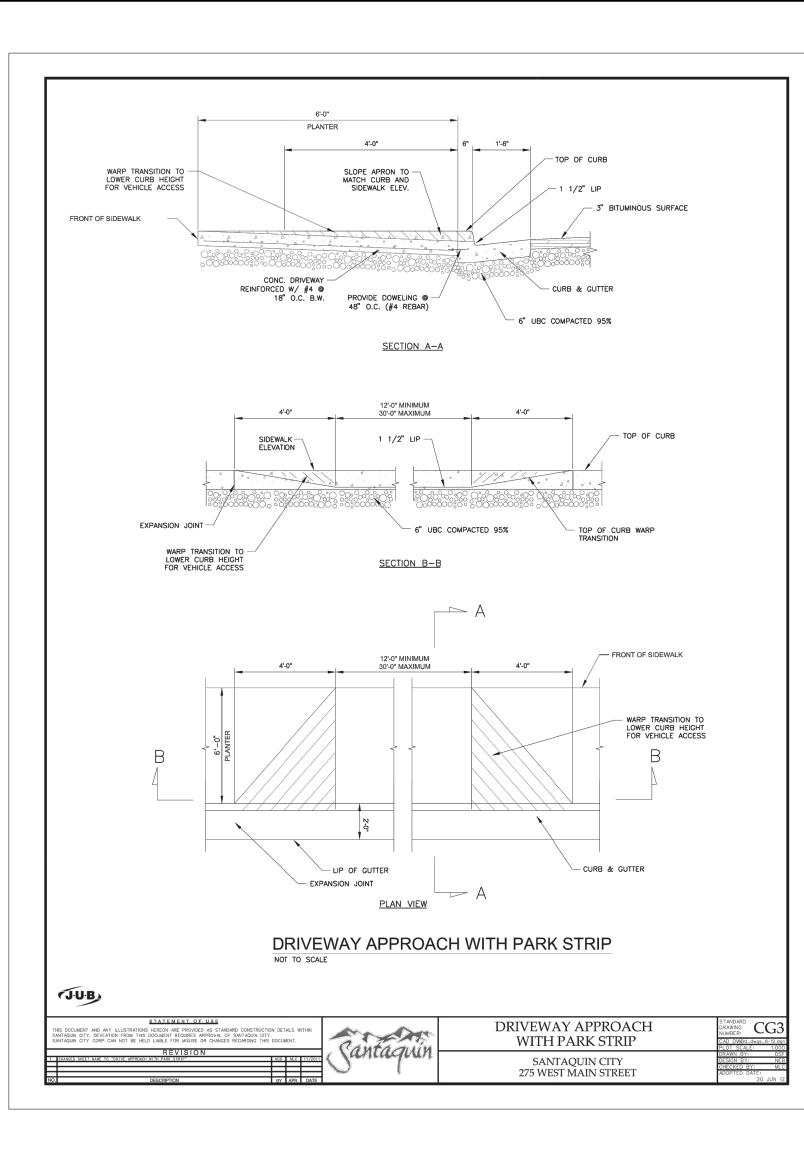
General Utility Notes:
1. Coordinate all utility connections to building with plumbing plans and building contractor.
2. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.

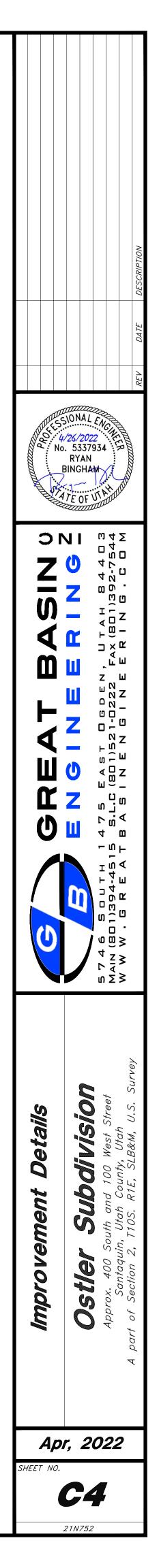
- Gas lines, telephone lines, and cable TV lines are not a part of these plans unless otherwise noted.
   Water meters are to be installed per city standards and specifications. It will be the
- contractor's responsibility to install all items required.8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor
- is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary including valve boxes and hydrant spools to proper grade.
  9. Field verify all existing and/or proposed Roof Drain/Roof Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any
- discrepancies. 10. All construction are to adhere to Santaquin City Standard Specifications and Drawings — 2019 Edition.
- Coordinate with Century Link for required positioning of relocated utility and whether to bury or keep aboveground.

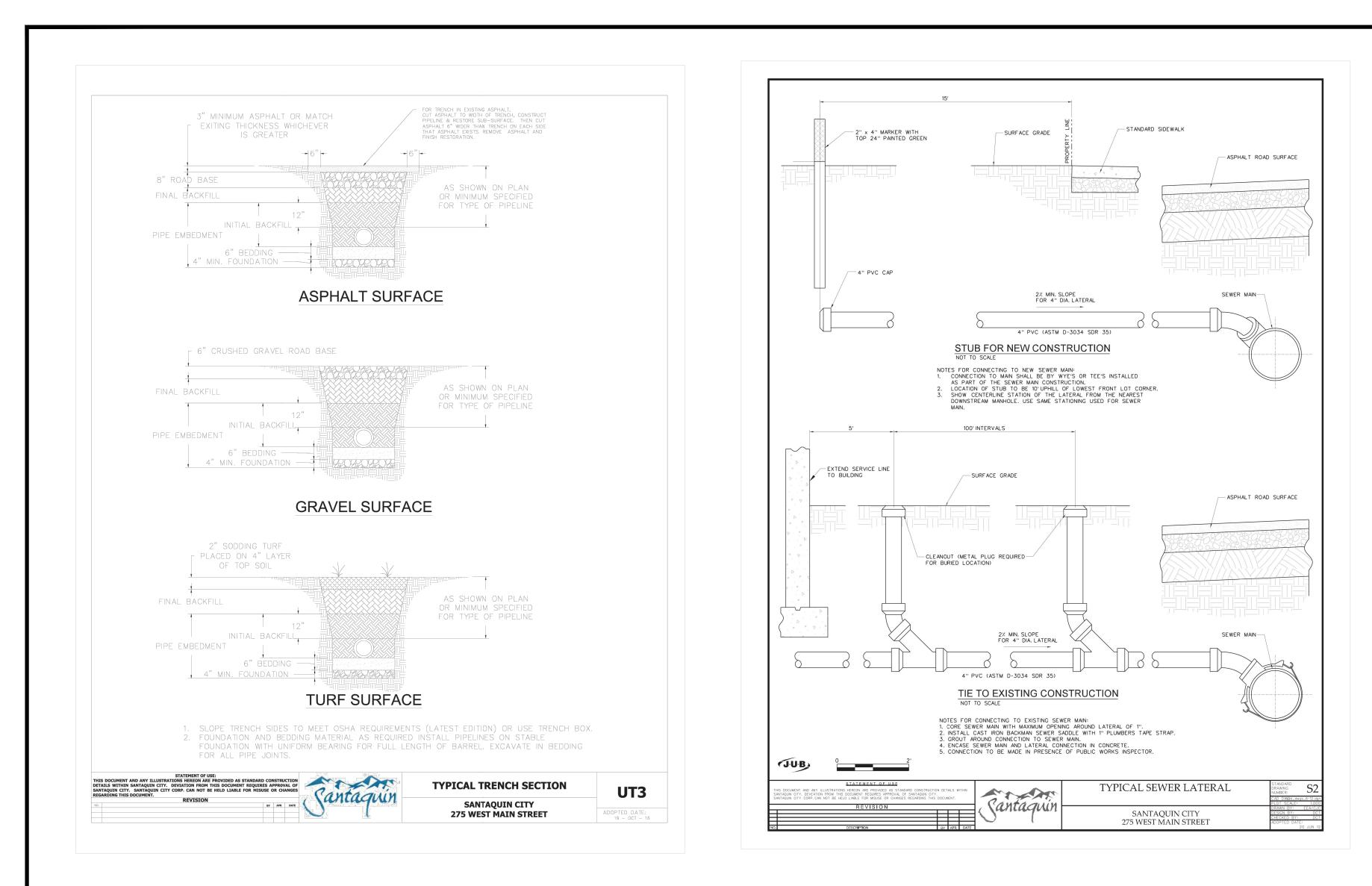


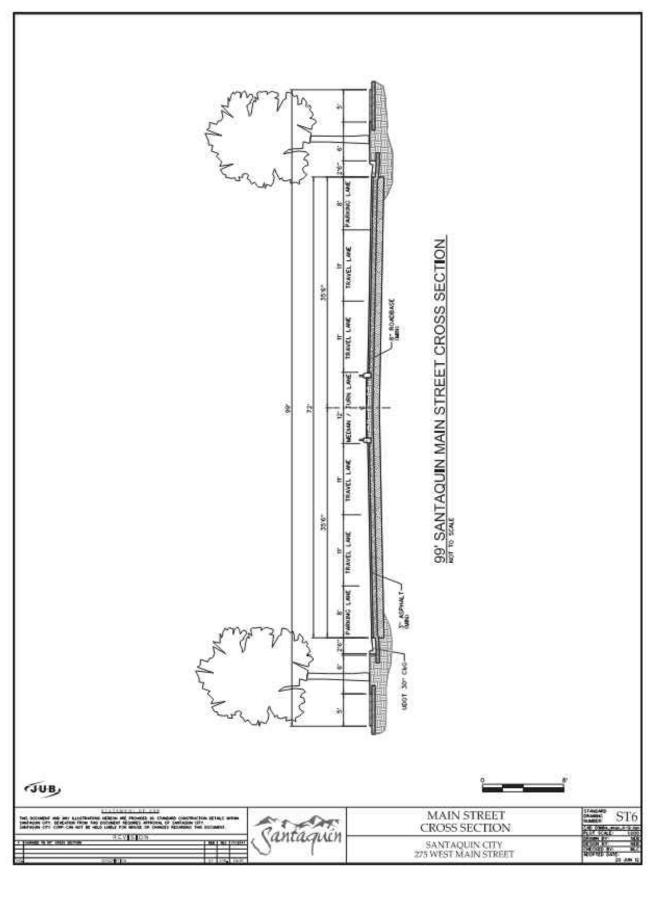


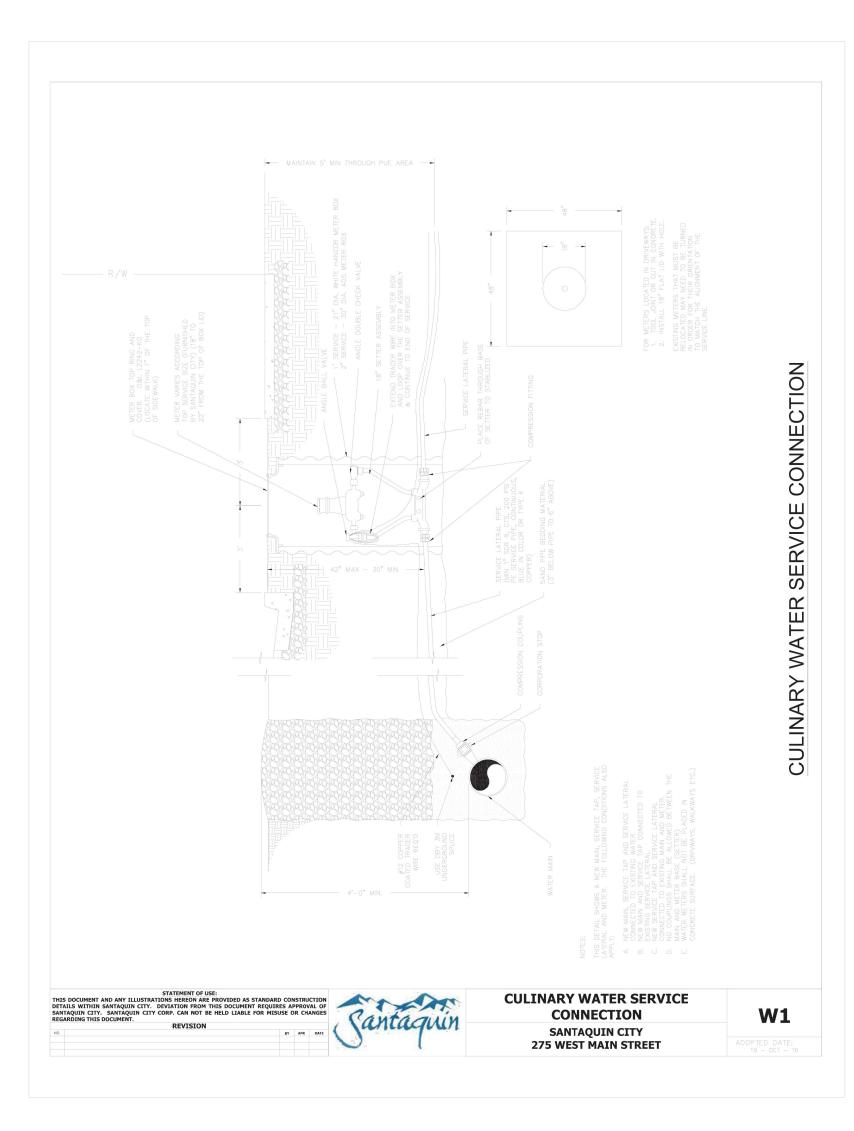




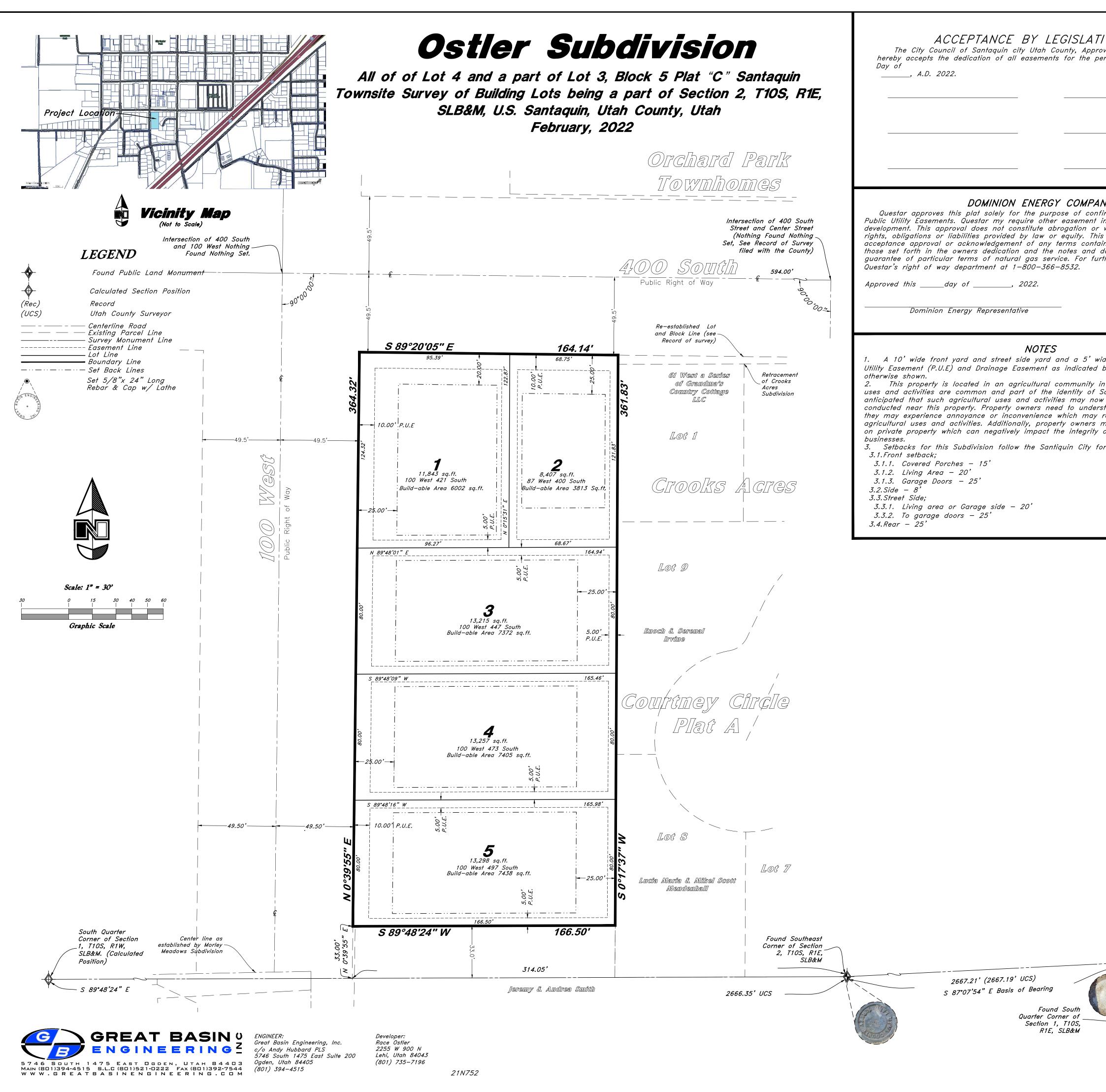








	REV DATE DESCRIPTION				
	SSIONAL ENG				
	5746 SOUTH 1475 EAST OGDEN, UTAH 84403 Main (801)394-4515 S.L.C (801)521-0222 FAX (801)392-7544 W W W. G R E A T B A S I N E N G I N E E R I N G . C O M				
Improvement Detail	<b>Ostler Subdivision</b> Approx. 400 South and 100 West Street Santaquin, Utah County, Utah A part of Section 2, T10S. R1E, SLB&M, U.S. Survey				
Ap	r, 2022				
SHEET NO.	SHEET NO. <b>C5</b> 21N752				



VE BODY ves this Subdivision and rpetual use of the public this	Surveyor's certify that I am a Professional Land Surveyor in the State of Utah, and that I hold Certificate No. 6242920 in accordance with Title 58 Chapter 22, Professional Engineers and Professional Land Surveyors Licensing Act. I also do hereby certify that this plat of Ostler Subdivision in Santaquin City, Utah County, Utah has been correctly drawn to the designated scale and is a true and correct representation of the following description of lands included in said subdivision, based on data compiled from records in the Utah County Recorder's Office, and of a survey made on the ground in accordance with Section 17–23–17. Monuments have been set as depicted on this drawing.         Signed thisday of, 2022.         6242920 License No.			
VY		BOUNDARY L	DESCRIPTION	
rming that the plat contains n order to serve this waver of any other existing approval does not constitute ned in the plat. Including loes not constitute a	A parcel of land being apart of Section 2 Township 10 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey. Said parcel of land being apart of Lot 4 and Lot 3, Block 5 Plat "C" Santaquin Survey of Building Lots; Beginning at a point 2 Rods North of the Southwest corner of Lot 3, said point being			
her information pleas contact	314.05 feet South 89°48'24" West and 33.00 feet North 0°39'55" East from the Southwest Corner of said Section 2, and running thence along the West Lot lines of said Lot 4 and Lot 3 North 0°39'55" East 364.32 feet to the North Lot line of Lot 4; thence along Said North Lot line South 89°20'05" East 164.14 feet to an extension of Crooks Acres Subdivision; thence along Crooks Acres Subdivision and its extension, and Courtney Circle Subdivision South 0°17'37" West 361.83 feet to a point 33.00 feet from the Section line; thence paralleling the Section line South 89°48'24" West 166.50 feet to the point of beginning. Containing 1.378 Acres			
	<b></b>	SURVEYOR'S		
de side and rear yard Public by dashed lines, except as a which normal agricultural cantaquin City. It can be for in the future be tand and acknowledge that result from such normal nust refrain from trespassing	This Subdivision was requested by Race Ostler for the purpose of Subdividing the the land shown in to 5 lots as shown. Basis of bearing for this survey is South 87°07'54" East measured between the Northwest Corner of Section 12, Township 10 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey and the North Quarter Corner of said Section. Property Corners were set as shown here on Subdivision. For more information regarding the boundary see the record of survey filed with the County.			
of agricultural lands and r the R–8 Zone as follows:	OWNERS DEDICATION         We, the undersigned owners of the hereon described tract of land, hereby set apart and subdivide the same into lots and streets as shown on this plat, and name said tract shall be Ostler Subdivision, and hereby dedicate, grant, and convey to Santaquin City, Utah County, Utah, all those parts or portions of said tract of land designated as P.U.E. for public utility and drainage purposes over and accoss said tract of land designated as shown hereon, the same to be used for the installation, maintenance and operation of public utility service lines and drainage, as may be authorized by Santaquin City.         Signed this			
			Print Name	
	CENTURYLINK APPROVAL         Approved this day of,         2022.         Centurylink Representative         ROCKY MOUNTAIN POWER         Approved this day of,         2022.		CENTRACOM APPROVAL Approved this day of, 2022.	
			Centracom Representative	
			SUMMIT CREEK IRRIGATION COMPANY Approved this day of, 2022.	
	Rocky Mountain Powe	er Representative	Summit Creek Irrigation Representative	
	<b>Ostler Subdivision</b> Santaquin, Utah County, Utah			
	CITY ENGINEER SEAL	CITY RECORDE SEAL	TR UTAH COUNTY RECORDER	