

# MEMORANDUM



To: Planning Commission

From: Aspen Elmer, City Planner

Date: March 19, 2026

RE: **Scenic Ridge Estates Subdivision Phase D Preliminary Review**

Zone: R-12
Size: 0.94Acres
Lots: 3

The Scenic Ridge Estates Subdivision is located at approximately 430 South and 1200 East. The proposed subdivision consists of 3 single-family lots on 0.94 acres and is in the Residential R-12 zone. The lots range from 12,059 square feet (.28 acres) to 15,244 square feet (0.35 acres). The development must follow the R-12 zoning requirements. Interior lots are required to be at least 12,000 square feet and have 100 feet of frontage. Corner lots are required to be at least 13,225 square feet and have 115 feet of frontage. The proposed subdivision meets all the R-12 zoning requirements.

On February 24, 2026, the Development Review Committee (DRC) reviewed the preliminary plans for the Scenic Ridge Estates Subdivision Phase D and forwarded a favorable recommendation to the Planning Commission, with the condition that redlines be addressed.

This is a preliminary subdivision application review by the Planning Commission to determine whether the proposed subdivision complies with Santaquin City Code. The Planning Commission is the land use authority for preliminary subdivision applications.

**Recommended Subdivision Motion:** “Motion to approve the Scenic Ridge Estates Subdivision Phase D Preliminary Review”

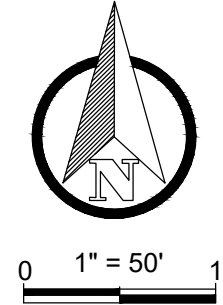
**Attachments:**

- Preliminary plan review

3/9/2026

**SHEET INDEX**

- SHEET 1 COVER SHEET
- SHEET 2 PLAT
- SHEET 3 PHASING PLAN
- SHEET 4 LOT LAYOUT
- SHEET 5 OVERALL WATER
- SHEET 6 OVERALL SEWER
- SHEET 7 OVERALL STORM DRAIN
- SHEET 8 SLOPE MAP
- SHEET 9 CONSTRUCTION TRAFFIC MAP
- SHEET 10 OVERALL GRADING PLAN
- SHEET 11 PLAN AND PROFILE (1200 EAST STREET)
- SHEET 12 PLAN AND PROFILE (430 SOUTH STREET)
- SHEET 13 DETAIL SHEET
- SHEET 14 DETAIL SHEET
- SHEET 15 DETAIL SHEET
- SHEET 16 EROSION CONTROL PLAN

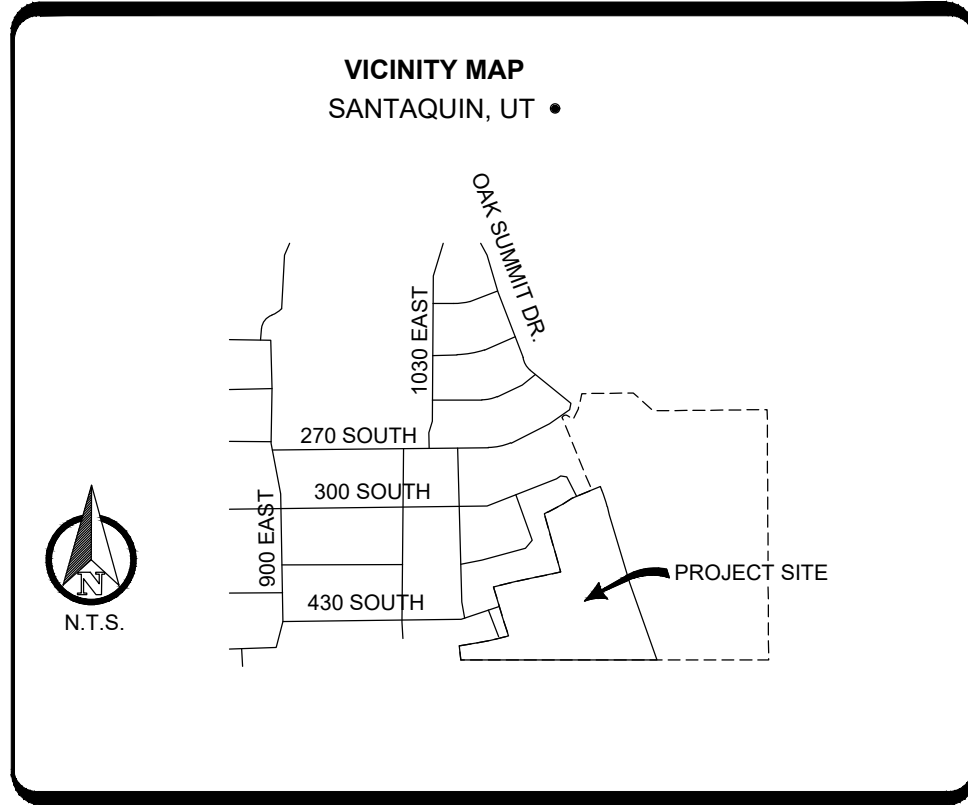


PHASE D DENSITY TABLE		
ZONE	R-12	
LOTS	3 RESIDENTIAL	
TOTAL ACREAGE	0.94 +/-	100%
LOT ACREAGE	0.94 +/-	100%



**PROPERTY OWNER**  
 NJC DEVELOPMENT, LLC  
 690 E. 600 S.  
 SANTAQUIN, UTAH, 84655

**PROPERTY DEVELOPER**  
 BASTIAN HOMES, LLC  
 1184 S. 1150 W.  
 PAYSON, UTAH, 84651

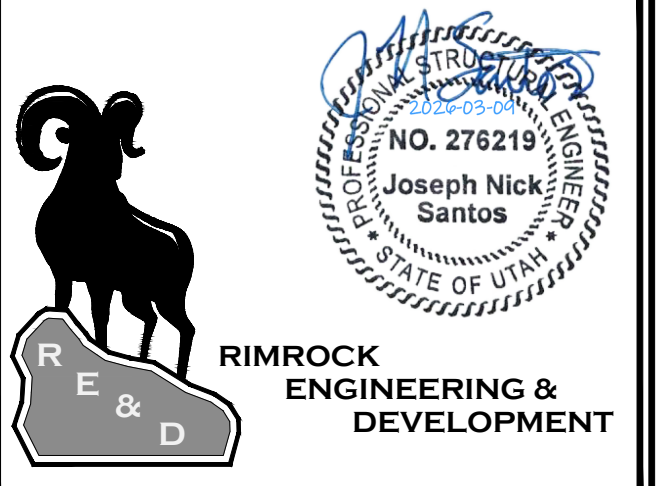


**SHEET NOTES**

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

**SHEET LEGEND**

**PLAN REVISIONS**



CAD TECH: CRS  
 DESIGNER: CRS  
 Q&A: JC

**CALL BLUE STAKES PRIOR TO DIGGING**

**PROJECT NAME**  
 SCENIC RIDGE ESTATES PHASE D

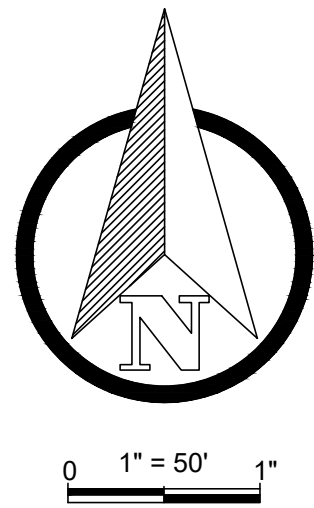
**SHEET NAME**  
 COVER SHEET

**PLAN SUBMITTAL:** FINAL

**PERMIT SET** 3/9/26 **SHEET NUMBER** 1

P:\2026\4300\_ScenicRidge\_Estates\Phase D\2026\_MPD\NJC\_DEVELOPMENT\SCENIC RIDGE PHASE D\UNITS\ScenicRidge\_Phase D.dwg

3/9/2026  
E:\3025 PROJECTS\SCENIC RIDGE PHASE 1\3-By-Other\Scenic Ridge Lot 7 Plat Amendment - Standard\Scenic Ridge Lot 7 Plat Amendment 3-9-26 - signed.dwg



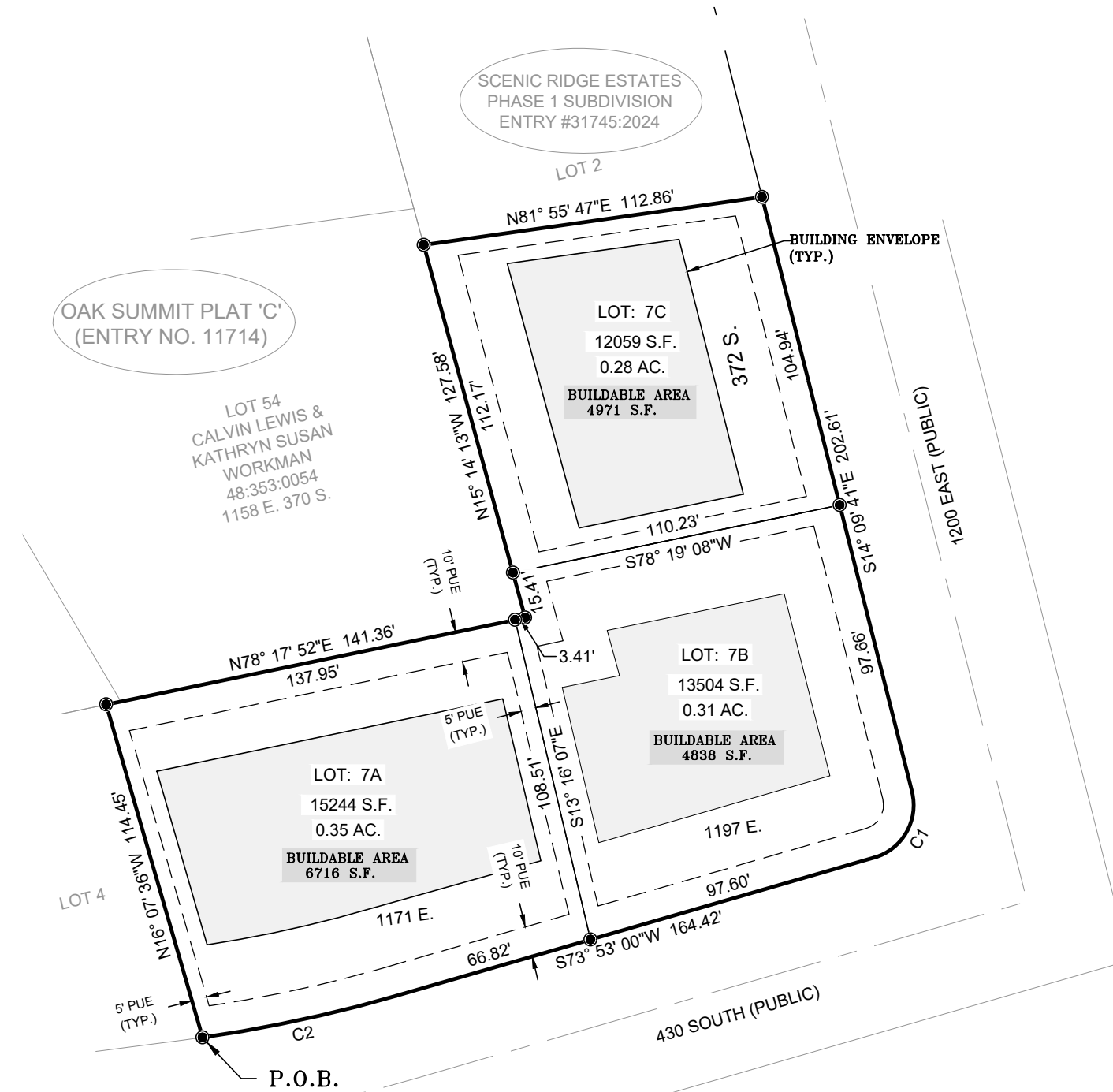
# SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1 LOT 7 AMENDED AMENDING LOT 7 SCENIC RIDGE ESTATES PHASE 1 CREATING LOTS 7A, 7B & 7C

LOCATED IN THE:  
SOUTHWEST QUARTER OF SECTION 6,  
TOWNSHIP 10 SOUTH, RANGE 2 EAST  
SALT LAKE BASE AND MERIDIAN,  
SANTAQUIN CITY, UTAH COUNTY, UTAH

### GENERAL PLAT NOTES

- A 10.00 FOOT WIDE PUBLIC UTILITY EASEMENT (P.U.E) IS CREATED ALONG THE FRONT OF EACH LOT AND 5.00 FOOT ALONG THE REAR AND INTERIOR SIDE YARD, PER THIS PLAT. EACH LOT ALONG A STREET REQUIRES A 10.00 FOOT WIDE FRONT AND SIDE YARD PUBLIC UTILITY EASEMENT.
- THE SCENIC RIDGE PHASE 1 SUBDIVISION ENTRY#31745-2024 BOUNDARY RECORDED IN THE UTAH COUNTY RECORDERS OFFICE. WAS ESTABLISHED FROM A COMPLETED RECORD OF SURVEY BY EPIC ENGINEERING, FILE NUMBER 22-003, AS FILED IN THE UTAH COUNTY SURVEYOR'S OFFICE. THIS PLAT AMENDMENT WAS ESTABLISHED USING THE SCENIC RIDGE PHASE 1 PLAT.
- ZONING: R-12 SETBACKS (BUILDABLE AREA) PER CODE 10.20.090: DETACHED SINGLE-FAMILY DEVELOPMENT STANDARDS: (TABLE)
- FRONT YARD- FRONT SETBACKS TO THE LIVING AREA FROM ALL STREET FRONTING PROPERTY LINES: 30.0 SIDE YARD - 10.0 FEET (25.0 FEET STREET SIDE YARD)  
REAR YARD - 25.0 FEET. (SEE SHEET 2)
- AT THE TIME THAT THIS PLAT WAS PREPARED, THE PROPERTY OWNER WAS NJC DEVELOPMENT, LLC. PER WARRANTY DEED, ENTRY NUMBER 1477-2025, AS RECORDED IN THE UTAH COUNTY RECORDERS OFFICE, UTAH COUNTY PARCEL NUMBERS 32-040-0082, 32-040-0083.
- THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.
- ALL LOTS LOCATED IN THE SANTAQUIN WUI ZONE AND MUST BE BUILT TO THE 2006 UTAH WUI CODE (SCC 9.05.010)

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	27.66	18.00	88°02'41"	N29°51'39"E	25.02
C2	65.53	472.00	7°57'15"	N77°51'37"E	65.47

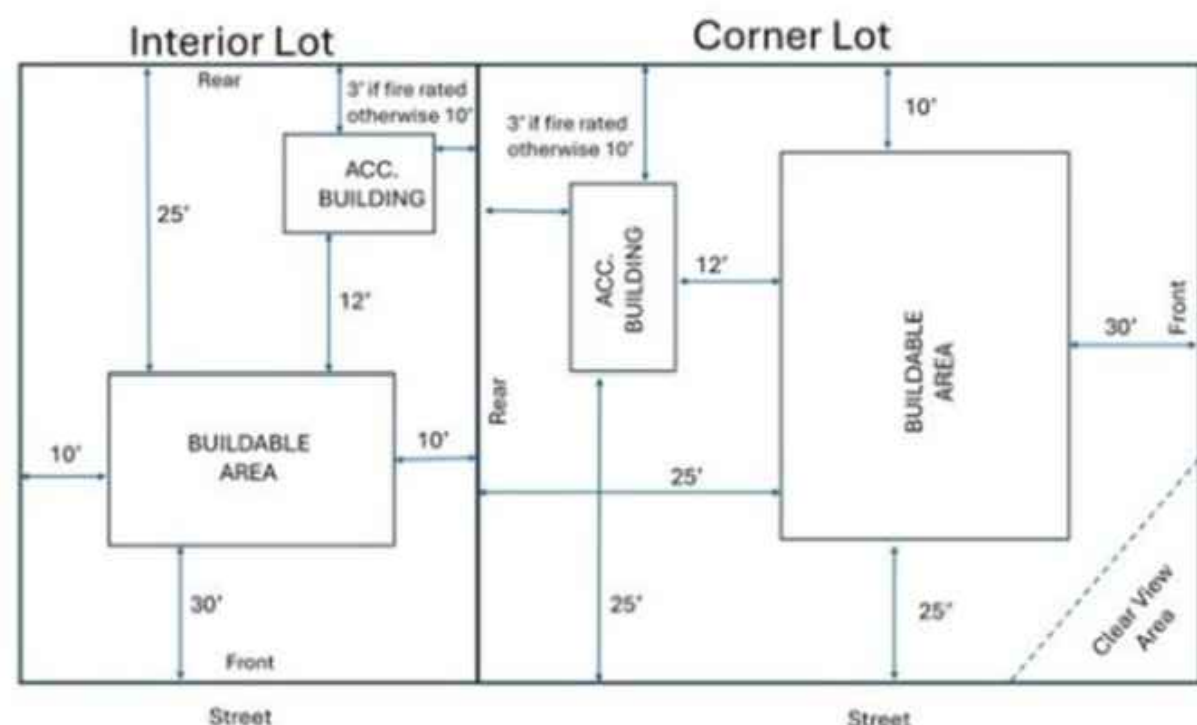


### SUBDIVISION BOUNDARY DESCRIPTION

A PART OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 10 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, SANTAQUIN CITY, UTAH COUNTY, UTAH:  
ALL OF LOT 7, SCENIC RIDGE ESTATES SUBDIVISION AS RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDERS OFFICE ENTRY NUMBER 31745-2024. MORE PATICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 1450.88 FEET SOUTH 89°40'47" EAST AND 333.95 FEET NORTH FROM THE SOUTHWEST CORNER SECTION 6, TOWNSHIP 10 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN. SAID POINT BEING THE SOUTHEAST CORNER LOT 4 SCENIC RIDGE ESTATES SUBDIVISION PHASE 1. CONTINUING THENCE NORTH 16°07'36" WEST 114.45 FEET ALONG THE EAST LINE OF SAID LOT 4 TO THE SOUTH LINE OF OAK SUMMIT PLAT C. SUBDIVISION; THENCE NORTH 78°17'52" EAST 141.36 FEET ALONG SAID PLAT C; THENCE NORTH 15°14'13" WEST 127.58 FEET ALONG SAID PLAT C TO THE SOUTHWEST CORNER LOT 2 SCENIC RIDGE ESTATES SUBDIVISION PHASE 1; THENCE DEPARTING FROM SAID PLAT C SUBDIVISION NORTH 81°55'47" EAST 112.86 FEET ALONG THE SOUTH LINE OF SAID LOT 2 TO THE WEST LINE OF 1200 EAST STREET; THENCE SOUTH 14°09'41" EAST 202.61 FEET ALONG SAID WEST LINE TO THE BEGINNING OF A 18.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE 27.66 FEET ALONG SAID CURVE TO THE RIGHT TO THE NORTH LINE OF 430 SOUTH STREET (DELTA= 88°02'41" CHORD BEARS SOUTH 29°51'39" WEST 25.02 FEET); THENCE SOUTH 73°53'00" WEST 164.42 FEET ALONG SAID NORTH LINE TO THE BEGINNING OF A 472.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE 65.53 FEET ALONG SAID CURVE AND NORTH LINE (DELTA= 7°57'15" CHORD BEARS SOUTH 77°51'37" WEST 65.47 FEET) TO THE POINT OF BEGINNING.

CONTAINING 40,807 S.F. OR 0.94 A.C.



### ACCEPTANCE BY LEGISLATIVE BODY

THE PLANNING COMMISSION OF SANTAQUIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2026.

APPROVED MAYOR OF SANTAQUIN \_\_\_\_\_ ENGINEER (SEE SEAL) \_\_\_\_\_  
 ATTEST - CLERK RECORDER (SEE SEAL) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

### CITY ENGINEER

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 (SEAL)

### CLERK - RECORDER

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 (SEAL)

### UTILITY APPROVAL

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES, AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WHICH INTERFERES WITH THE USE OF THE PUE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MOUNTAIN POWER: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CETRACOM: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CENTURY LINK: \_\_\_\_\_ DATE: \_\_\_\_\_

### DOMINION ENERGY

DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES, AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WHICH INTERFERES WITH THE USE OF THE PUE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
 DOMINION ENERGY  
 BY: \_\_\_\_\_  
 TITLE: \_\_\_\_\_

### OWNER'S DEDICATION AND CONSENT TO RECORD

KNOWN ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER OF THE TRACT OF LAND SHOWN AND DESCRIBED ON THIS SUBDIVISION PLAT, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS AND EASEMENTS TO BE HEREAFTER KNOWN AS SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1 LOT 7 AMENDED AMENDING LOT 7 SCENIC RIDGE ESTATES PHASE 1, CREATING LOTS 7A, 7B & 7C. DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE.

AS WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_, A.D.

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
 NJC DEVELOPMENT LLC.  
 NEIL J. CRAIG

### ACKNOWLEDGMENT

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ BY \_\_\_\_\_ WHO REPRESENTED THAT (S)HE IS THE AUTHORIZED SIGNER FOR NJC DEVELOPMENT LLC. AND THE OWNER OF THE ABOVE DESCRIBED PROPERTY AND HAVE THE AUTHORITY TO EXECUTE THIS INSTRUMENT.

SIGNATURE OF NOTARY PUBLIC \_\_\_\_\_

PRINTED NAME OF NOTARY PUBLIC \_\_\_\_\_

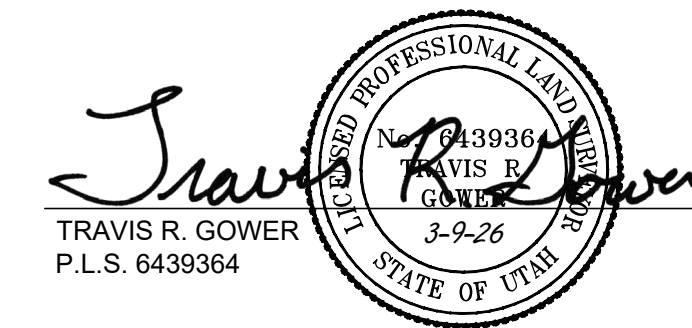
RESIDING IN \_\_\_\_\_, UTAH  
 STATE OF UTAH } S.S.  
 COUNTY OF \_\_\_\_\_ }

MY COMMISSION EXPIRES: \_\_\_\_\_

MY COMMISSION NUMBER: \_\_\_\_\_ (NOTARY STAMP)

### SURVEYOR'S CERTIFICATE

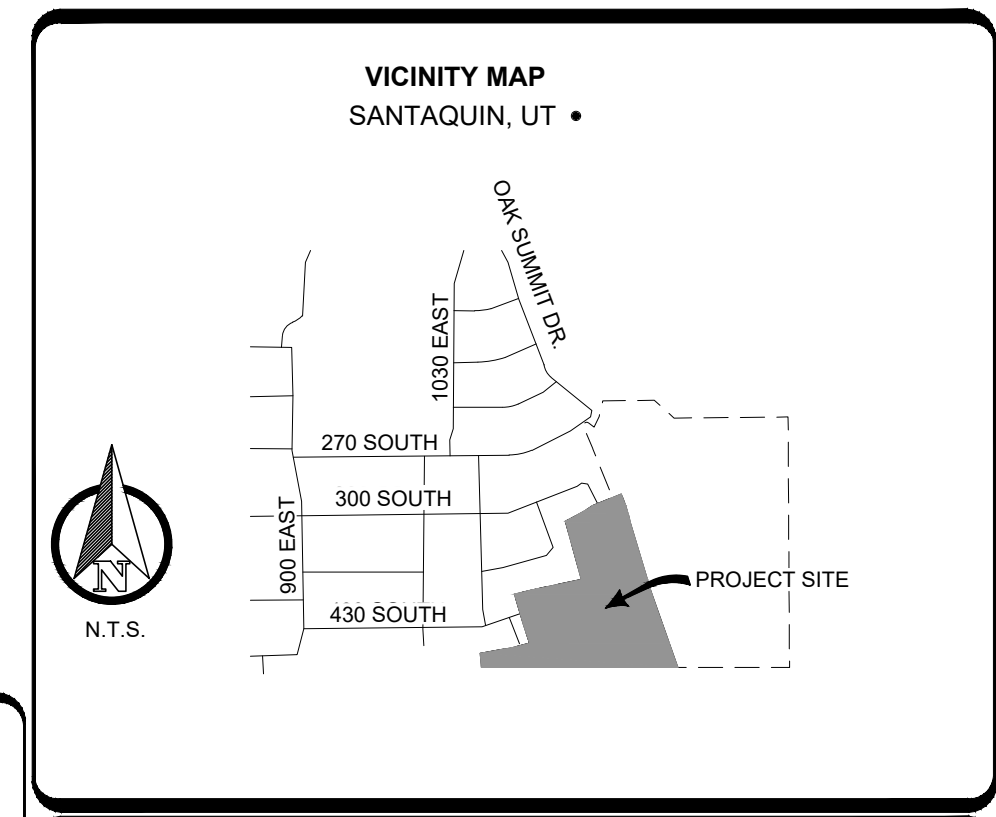
I, TRAVIS R. GOWER, EMPLOYED BY RIMROCK ENGINEERING AND DEVELOPMENT, CONTACT NUMBER, 801-837-0633, HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS LICENSING ACT AND THAT I HOLD CERTIFICATE NUMBER 6439364 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH AND BY THE AUTHORITY OF THE OWNER(S), I HAVE REVIEWED A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT, IN OCTOBER 2021, IN ACCORDANCE WITH A RECORD OF SURVEY PREPARED BY EPIC ENGINEERING, FILE NUMBER 22-003, AS FILED IN THE UTAH COUNTY SURVEYOR'S OFFICE AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND EASEMENTS, HEREAFTER TO BE KNOWN AS: SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1 LOT 7 AMENDED AMENDING LOT 7 SCENIC RIDGE ESTATES PHASE 1



March 9, 2026  
DATE

PROPERTY OWNER/DEVELOPER  
 NJC DEVELOPMENT  
 978 E 430 S, SANTAQUIN  
 UTAH 84655

LEGEND	
SECTION CORNER (FOUND)	◆
SECTION LINE	---
BOUNDARY LINE	---
PARCEL LINE	---
SET MONUMENT (AS NOTED)	●
FOUND MONUMENT	⊙
CHAIN LINK FENCE	—o—o—o—
WIRE FENCE	—x—x—x—
EDGE OF ASPHALT	---



SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1  
 LOT 7 AMENDED, AMENDING LOT 7 SCENIC RIDGE ESTATES PHASE 1  
 SW 1/4 OF SEC 6, T10S, R2E, SLB&M  
 SANTAQUIN CITY, UTAH COUNTY, UTAH

PROJECT #:  
RGC2413-07-01

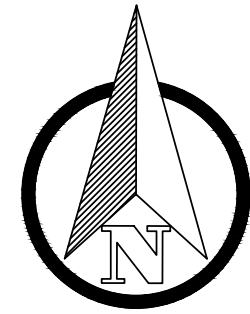
DATE:  
03/09/2026

SHEET NO:  
1 OF 1

DRAWN: AP  
CHECKED: TG

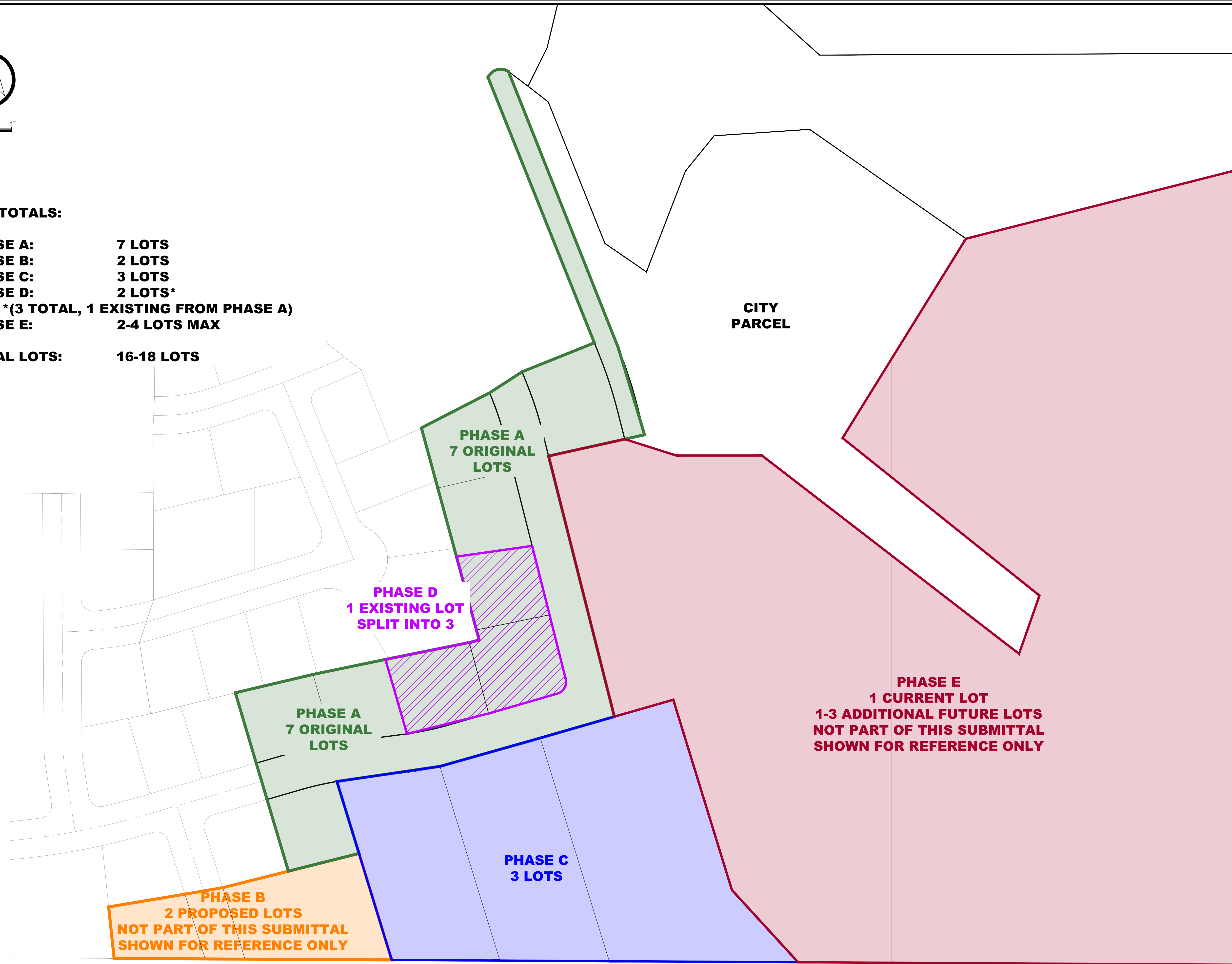
RIMROCK ENGINEERING & DEVELOPMENT  
 5010 W. 10300 N. RD 20  
 HIGHLAND, UT 84003  
 tgower@rimrock.com  
 801-837-0633

3/9/2026



**LOT TOTALS:**

**PHASE A: 7 LOTS**  
**PHASE B: 2 LOTS**  
**PHASE C: 3 LOTS**  
**PHASE D: 2 LOTS\***  
 \*(3 TOTAL, 1 EXISTING FROM PHASE A)  
**PHASE E: 2-4 LOTS MAX**  
**TOTAL LOTS: 16-18 LOTS**

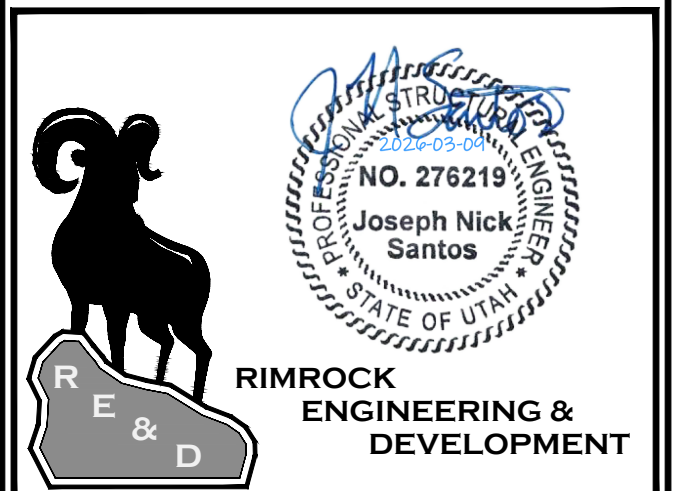


**SHEET NOTES**

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
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**SHEET LEGEND**

**PLAN REVISIONS**



CAD TECH: CRS  
 DESIGNER: CRS  
 Q&A: JC

**CALL BLUE STAKES PRIOR TO DIGGING**

PROJECT NAME  
**SCENIC RIDGE ESTATES PHASE D**

SHEET NAME  
**PHASING PLAN**

PLAN SUBMITTAL: FINAL

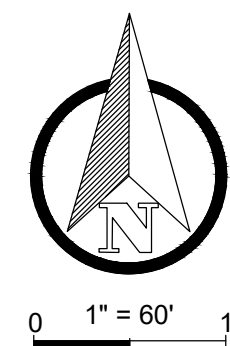
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SHEET NUMBER  
3

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3/9/2026



### OVERALL CULINARY MASTER PLAN PHASE A, C AND D

**ALL UTILITIES SHOWN ARE  
INSTALLED AND EXISTING, NO  
NEW UTILITIES WILL BE  
INSTALLED WITH THIS PHASE**

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#### SHEET LEGEND

- NEW CULINARY WATER — W — W —
- NEW PI WATER — W — W —
- FUTURE CULINARY WATER — W — W —

#### PLAN REVISIONS

NO.	DESCRIPTION

**RIMROCK  
ENGINEERING &  
DEVELOPMENT**

CAD TECH: CRS	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER: CRS	
Q&A: JC	

PROJECT NAME  
**SCENIC RIDGE  
ESTATES D**

SHEET NAME  
**OVERALL CULINARY  
PLAN**

PLAN SUBMITTAL: FINAL

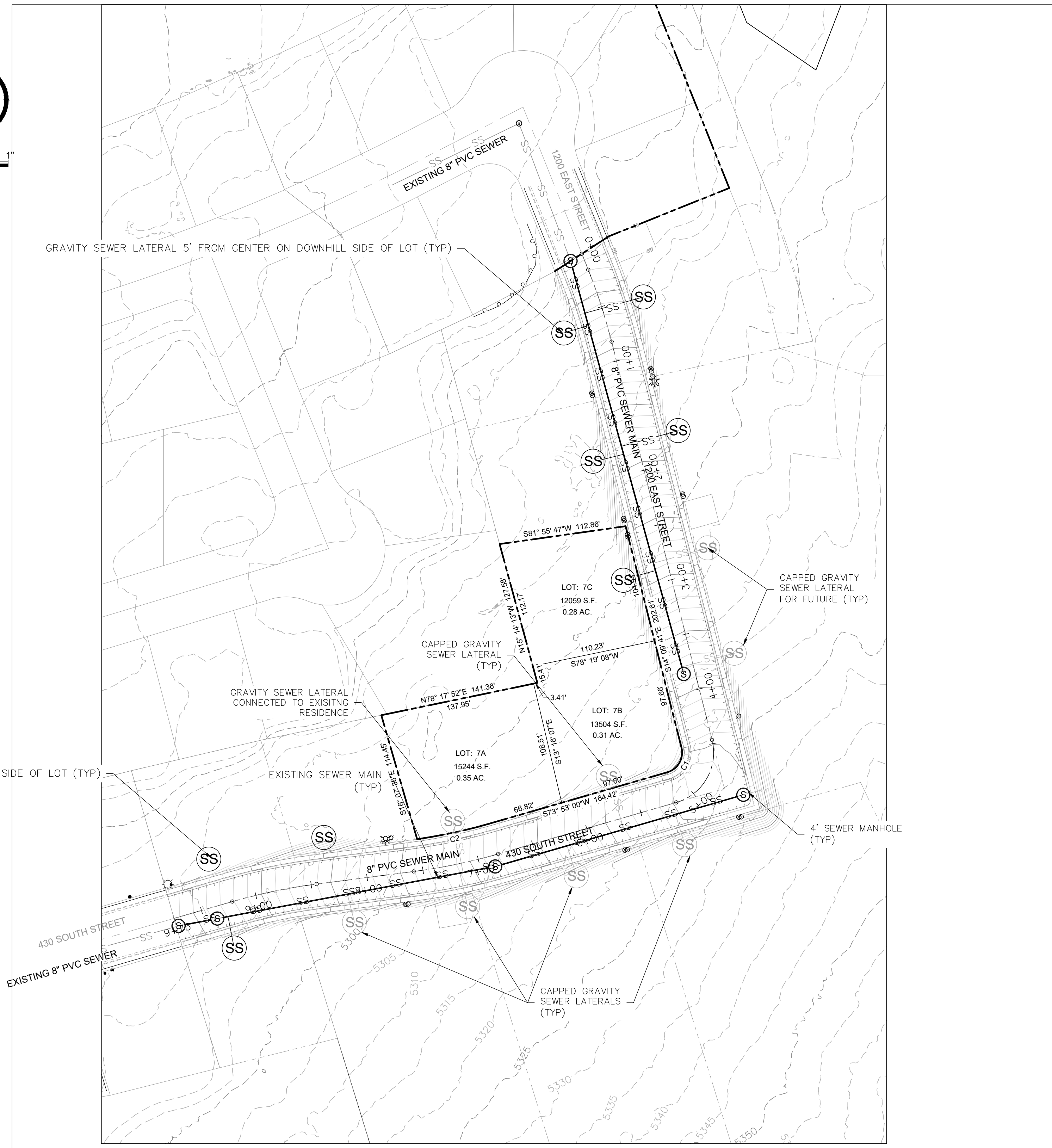
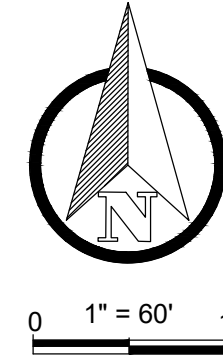
PERMIT SET  
3/9/26

SHEET NUMBER  
**5**

- #### LEGEND:
- EXISTING SINGLE WATER METER
  - ⊗ EXISTING PRESSURE IRRIGATION METER
  - ⊗ EXISTING FIRE HYDRANT
  - EXISTING AIR RELEASE VALVE



D:\TEMP\4480\_0816\SCENIC RIDGE ESTATES D\SCENIC RIDGE PHASE D\SCENIC RIDGE PHASE D.dwg

3/9/2026



**ALL UTILITIES SHOWN ARE  
INSTALLED AND EXISTING, NO  
NEW UTILITIES WILL BE  
INSTALLED WITH THIS PHASE**

**LEGEND:**

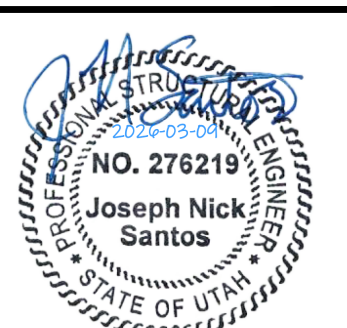
-  EXISTING GRAVITY SEWER SERVICE LATERAL
-  GRAVITY SEWER SERVICE LATERAL CAPPED

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**SHEET LEGEND**

**PLAN REVISIONS**



**RIMROCK  
ENGINEERING &  
DEVELOPMENT**

CAD TECH: CRS	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER: CRS	
Q&A: JC	

PROJECT NAME  
**SCENIC RIDGE  
ESTATES D**

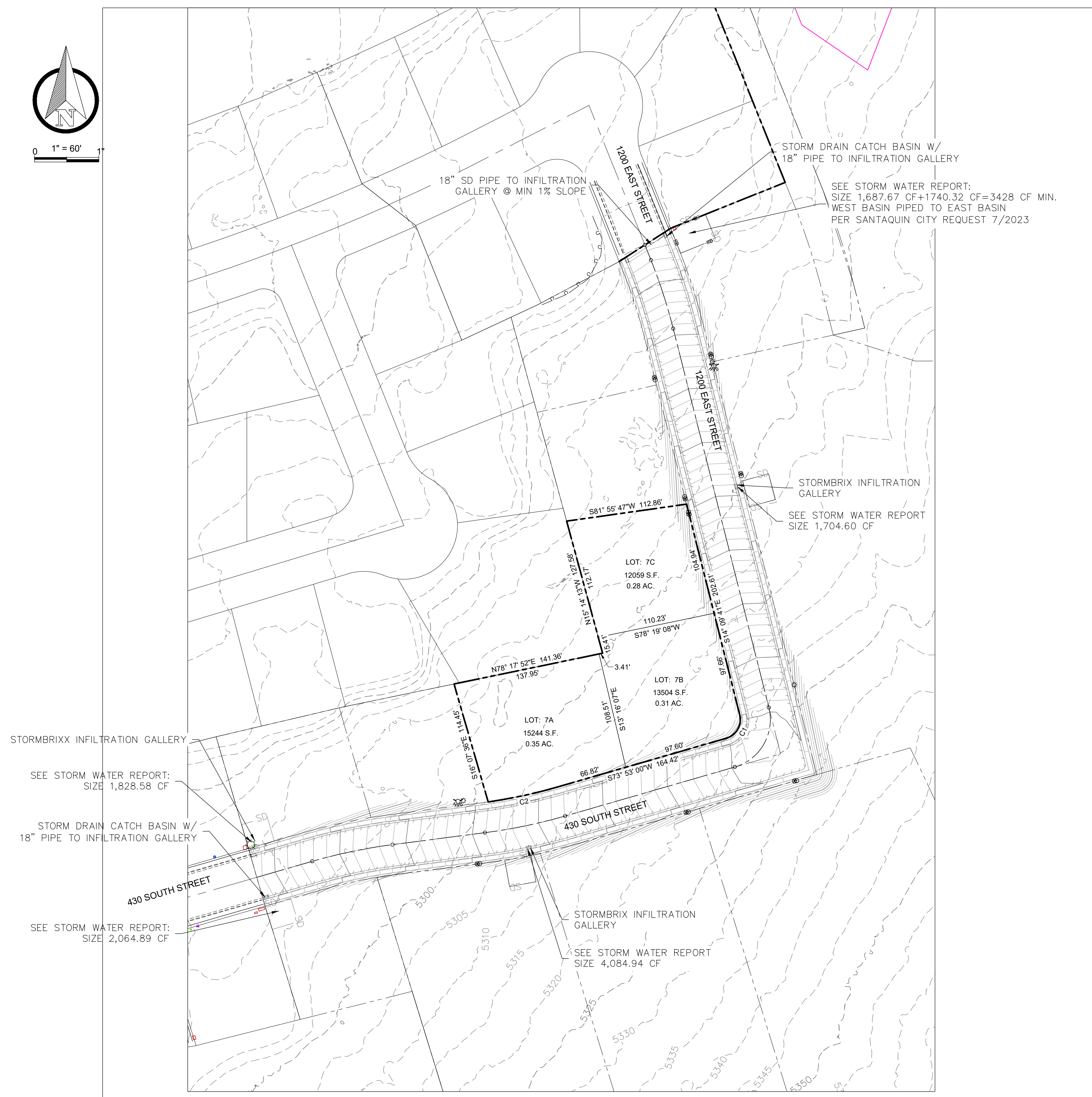
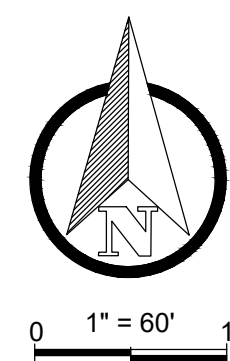
SHEET NAME  
**SEWER PLAN**

PLAN SUBMITTAL: FINAL

PERMIT SET  
3/9/26

SHEET NUMBER  
**6**

3/9/2026

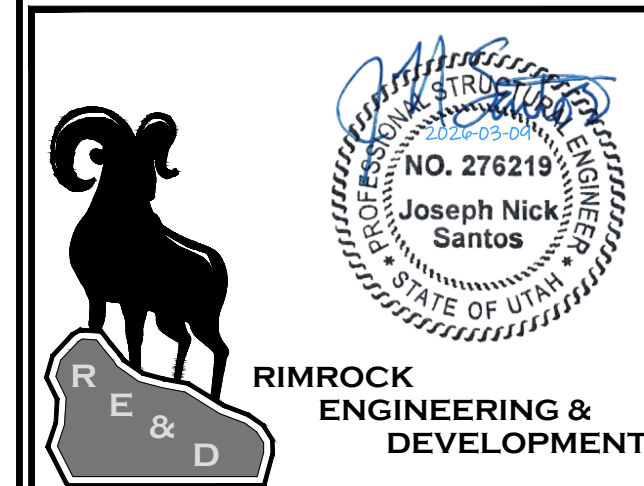


SHEET NOTES

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

SHEET LEGEND

PLAN REVISIONS



CAD TECH: CRS  
 DESIGNER: CRS  
 Q&A: JC

**CALL BLUE STAKES PRIOR TO DIGGING**

PROJECT NAME  
**SCENIC RIDGE ESTATES D**

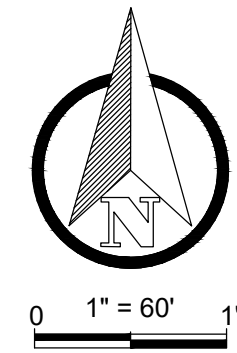
SHEET NAME  
**STORM WATER PLAN**

PLAN SUBMITAL: FINAL

PERMIT SET 3/9/26

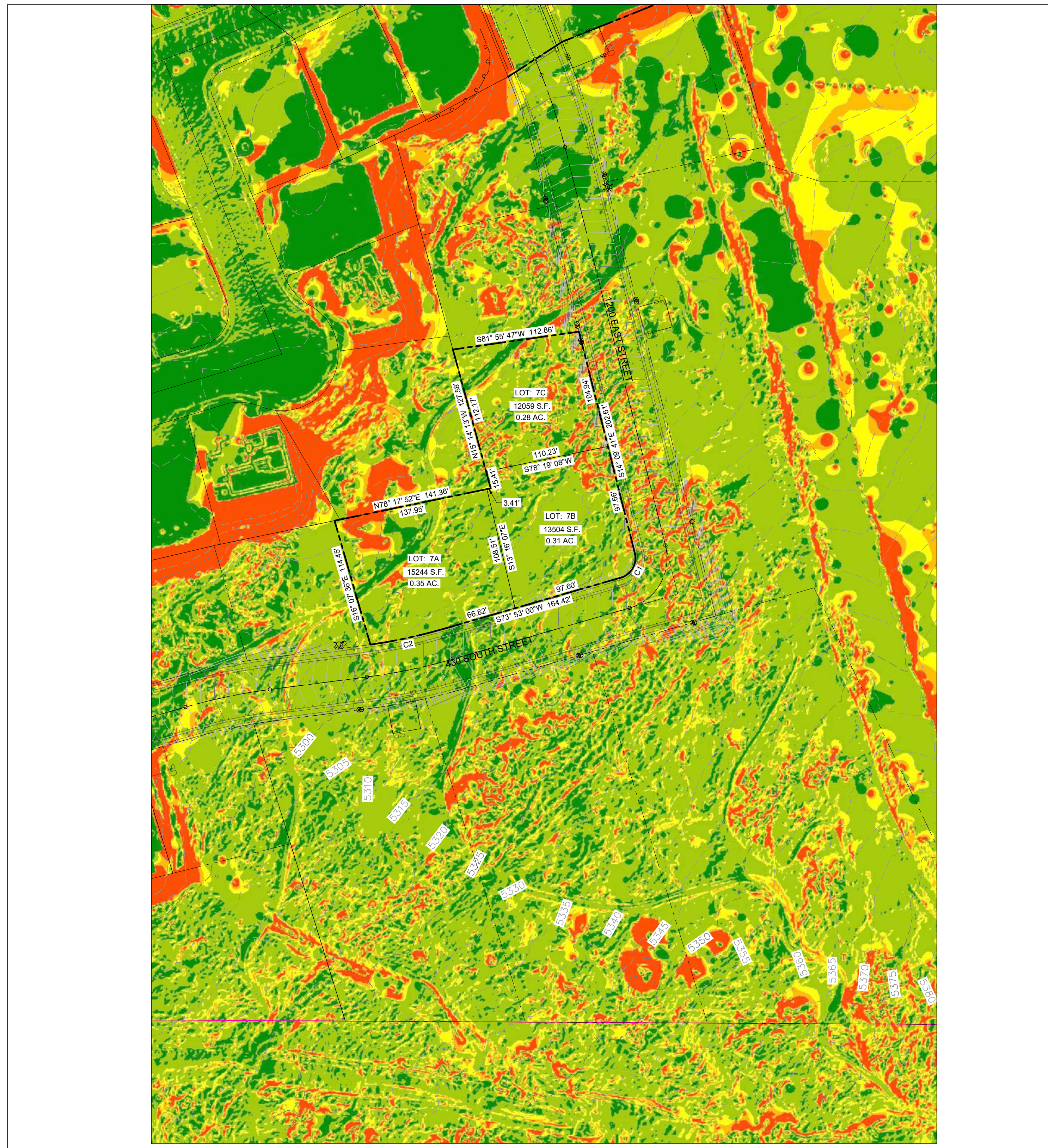
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**7**

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**SLOPE TABLE**

	0 - 10
	10 - 20
	20 - 25
	25 - 30
	30+



**SHEET NOTES**

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**SHEET LEGEND**

**PLAN REVISIONS**


CAD TECH: CRS	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER: CRS	
Q&A: JC	

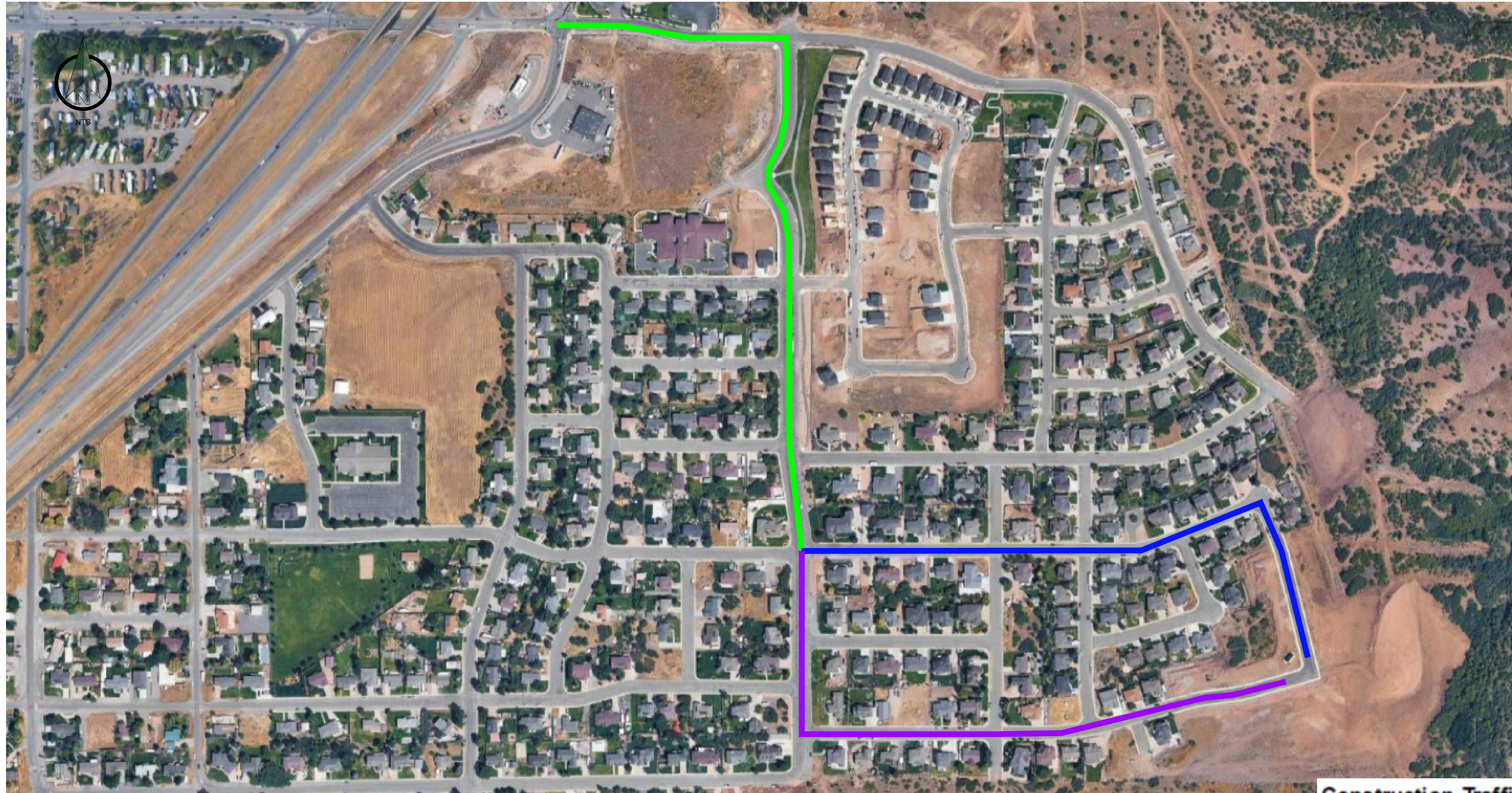
PROJECT NAME  
**SCENIC RIDGE ESTATES D**

SHEET NAME  
**OVERALL SLOPE MAP**

PLAN SUBMITAL: FINAL

PERMIT SET 2/2/26 SHEET NUMBER **8**

2/2/2026



**Construction Traffic**

- Main Flow
- 50% of Traffic
- 50% of Traffic

**SHEET NOTES**

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**SHEET LEGEND**

**PLAN REVISIONS**

**RIMROCK ENGINEERING & DEVELOPMENT**

CAD TECH: CRS	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER: CRS	
Q&A: JC	

PROJECT NAME  
**SCENIC RIDGE ESTATES D**

SHEET NAME  
**CONSTRUCTION TRAFFIC MAP**

PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26	SHEET NUMBER <b>9</b>
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2/2/2026



SHEET NOTES

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SHEET LEGEND

PLAN REVISIONS

**RIMROCK ENGINEERING & DEVELOPMENT**

CAD TECH: CRS	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER: CRS	
Q&A: JC	

PROJECT NAME  
**SCENIC RIDGE ESTATES D**

SHEET NAME  
**OVERALL GRADING PLAN**

PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26 SHEET NUMBER 10

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12/2/2021

### Specifications

**POST DESCRIPTION:**  
The lighting post shall be all aluminum, one-piece construction, with a classic tapered and flared base design. The shaft shall be Ø3" smooth.

**MATERIALS:**  
The base shall be heavy wall, cast aluminum produced from certified ASTM 390.1 ingot per ASTM B179-05a or ASTM 6061. The straight shaft shall be extruded from aluminum, ASTM 6061 alloy. All hardware shall be tamper resistant stainless steel. Anchor bolts to be completely hot-dip galvanized.

**CONSTRUCTION:**  
The post shall be double welded to the base casting and shipped as one piece for maximum structural integrity. The shaft shall be circumferentially welded inside the base casting at the top of the access door, and externally where the shaft meets the base. All exposed welds below 8" shall be ground smooth. All welding shall be per ANSI/ASME D1.2-90. All welders shall be certified per Section 5 of ANSI/ASME D1.2-90.

**DIMENSIONS:**  
The post shall be 14'-0" in height with a 17" diameter base. The shaft diameter shall be 3" at the top of the post, a Ø3" x 3" tall tenon with a transitional donut shall be provided for luminaire mounting.

**INSTALLATION:**  
The post shall install with four, stainless steel L-type anchor bolts to be installed on a 12" diameter bolt circle. A door shall be provided in the base for anchorage and wiring access. A grounding screw shall be provided inside the base opposite the door.

**FINISH:**  
The entire assembly shall have a standard Holographic black finish.

**LUMINAIRE DESCRIPTION:**  
-Granville Panner LED  
-40W 215mA Driver- 4x CCT  
-Aisle-Sensing 120-277V  
-Symmetric Type V, No Trim, Spike Free, Full Cover  
-NEMA Twilock Photocontrol Photocycle  
-DIL Twilock Photocontrol For Solid-State Lighting 120-277V  
-20R Prewired Leads  
For complete specifications see LUM\_GPD.

**Anchor Detail**

**LOCAL AND COLLECTOR STREET LIGHTING DETAILS**  
SANTAQUIN CITY  
275 WEST MAIN STREET

**ST9**  
ADOPTED DATE: 19 - OCT - 15

### TYPICAL SPEED LIMIT SIGN LOCATION WHEN SIDEWALK IS NOT ADJACENT TO C&G PLAN VIEW

NOT TO SCALE

### TYPICAL SPEED LIMIT SIGN LOCATION WHEN SIDEWALK IS ADJACENT TO C&G PLAN VIEW

NOT TO SCALE

### TYPICAL SPEED LIMIT SIGN INSTALLATION

NOT TO SCALE

**TYPICAL SPEED LIMIT SIGN DETAIL**  
SANTAQUIN CITY  
275 WEST MAIN STREET

**ST10**

### MAPLE LN. 200 SOUTH

STREETS WITH NAMES

### LOCAL STOP SIGN DETAIL

NOT TO SCALE

### TYPICAL LOCAL STREET/STOP SIGN LOCATION PLAN VIEW

SCALE: 1"=20'

### LOCAL STREET/STOP SIGN DETAIL

NOT TO SCALE

**LOCAL STREET/STOP SIGN DETAIL**  
SANTAQUIN CITY  
275 WEST MAIN STREET

**ST17**

### MAPLE LN. 200 SOUTH

STREETS WITH NAMES

### MAIN STREET

### TYPICAL STREET/STOP SIGN LOCATION PLAN VIEW

SCALE: 1"=20'

### TYPICAL STREET SIGN INSTALLATION

NOT TO SCALE

**TYPICAL STREET SIGN DETAIL (NO STOP SIGN)**  
SANTAQUIN CITY  
275 WEST MAIN STREET

**ST9**

### PLAN VIEW

TOOLED JOINT EVERY 5'

EXPANSION JOINT EVERY 30'

### SECTION B-B

CONCRETE SIDEWALK OR DRIVEWAY

1/2" TOOLED JOINT

RESIDENTIAL SIDEWALK SECTION A-A

6" UBC

SLOPE 1/4" PER FT. TOWARDS GUTTER

### SECTION C-C

CONCRETE SIDEWALK OR DRIVEWAY

1/2" ASPHALT IMPREGATED EXPANSION BOARD

1/4" R. TR.

COMMERCIAL SIDEWALK SECTION A-A

6" UBC

SLOPE 1/4" PER FT. TOWARDS GUTTER

NOTES:

- PROVIDE A TOOLED JOINT EVERY 5'-0" IN CURB & GUTTER, & EVERY 5'-0" IN SIDEWALK.
- PROVIDE AN EXPANSION JOINT EVERY 30'-0" IN SIDEWALK.
- PLACE UBC UNDER CONCRETE SIDEWALK, AND 12" BEYOND FRONT AND BACK OF WALK.

### SIDEWALK DETAILS

NOT TO SCALE

**SIDEWALK DETAILS**  
SANTAQUIN CITY  
275 WEST MAIN STREET

**CG5**

### PLAN - CURB/PLANTER STRIP/SIDEWALK

OPEN FACE CURB HOOD

PLANTER STRIP

D&L I-3517 SINGLE UNIT INLET GRATE

8.5" MIN

1"

3'-2"

1'-4"

45°

GUTTER

CURB

### CONCRETE LID DETAILS

E) INSIDE BOX DIMENSIONS FROM FRONT TO BACK PLUS TWO TIMES THE WALL THICKNESS.

### PLAN - COMBINATION CURB & SIDEWALK

OPEN FACE CURB HOOD

D&L I-3517 SINGLE UNIT INLET GRATE W/ OPEN FACE CURB HOOD.

RECESS GRATE SO CURB FACE OPENING IS A MINIMUM OF 4".

CONCRETE LID

ANTI-SIPHON DEVICE TO EXTEND A MINIMUM OF 3" AND A MAXIMUM OF 24" ABOVE SNUOT.

SNUOT (REQ'D) - FOLLOW THE MANUFACTURERS INSTALLATION RECOMMENDATIONS.

PRE-CAST CURB INLET BOX WHICH MEETS N-20 LOADING AND ASTM SPECIFICATIONS C-898 FOR UNDERGROUND UTILITY STRUCTURES.

6" UBC

SECTION A-A

NOTES:

- 24" MINIMUM.
- 3/4" OUTLET PIPE DIAMETER OR 6" MINIMUM.
- 2.5 TIMES THE OUTLET PIPE DIAMETER OR 36" WHICHEVER IS GREATER.
- INSIDE BOX DIMENSION FROM FRONT TO BACK IS MINIMUM OF THE THE OUTLET PIPE DIAMETER PLUS TWO FEET. BOX HEIGHT AS NEEDED.

### CURB INLET BOX ASSEMBLY

SANTAQUIN CITY  
275 WEST MAIN STREET

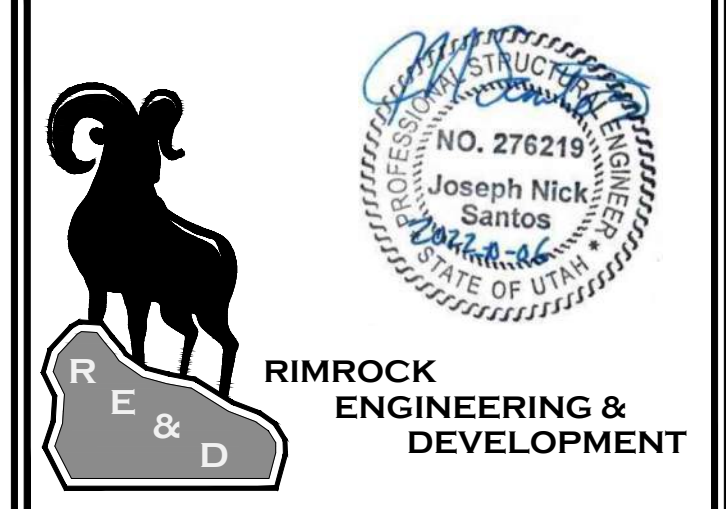
**SD1**

SHEET NOTES

1.

SHEET LEGEND

PLAN REVISIONS



CAD TECH: JRC  
DESIGNER: JRC  
Q&A: DSE

CALL BLUE STAKES PRIOR TO DIGGING

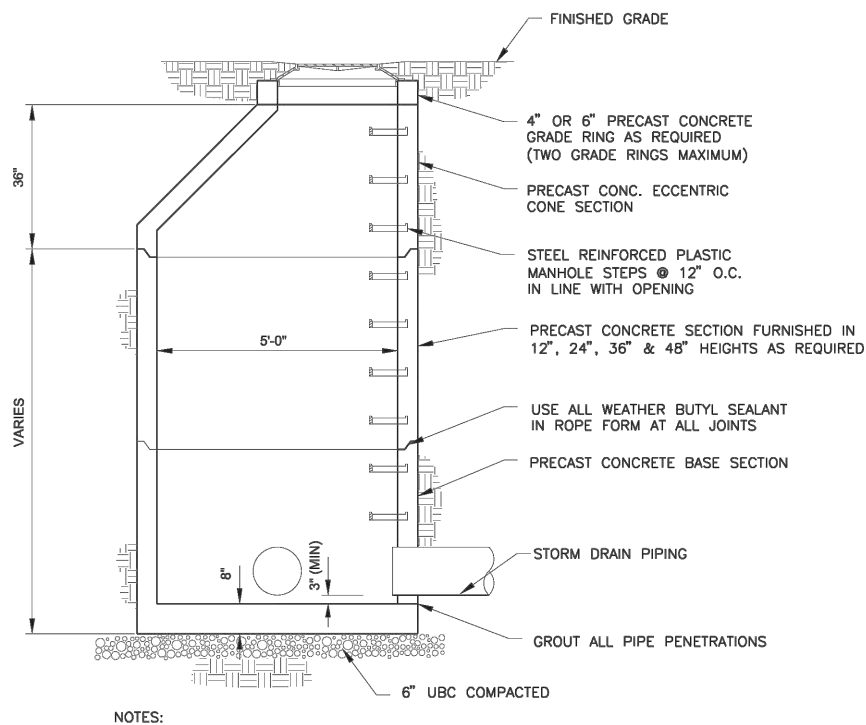
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**SCENIC RIDGE ESTATES**

SHEET NAME  
**DETAILS**

PLAN SUBMITTAL: FINAL

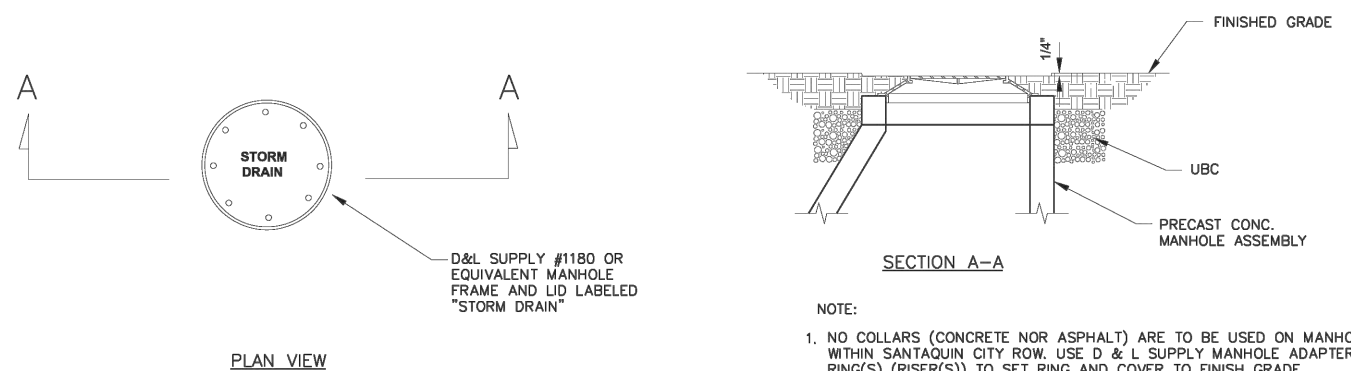
REVIEW SET 10/5/2022  
SHEET NUMBER 14

10/5/2022



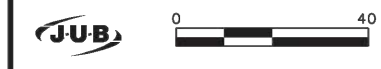
**TYPICAL STORM DRAIN MANHOLE**  
NOT TO SCALE

- NOTES:
1. FLAT LIDS MAY BE USED IN LIEU OF ECCENTRIC COVERS WHERE NECESSARY, AND UPON APPROVAL OF THE CITY ENGINEER. FLAT LIDS SHALL BE OF ECCENTRIC DESIGN AND MEET FSD LIVE LOADING.
  2. MANHOLE RIMS PLACED IN FIELDS SHALL HAVE SOLID LIDS.



**MANHOLE RING & COVER**  
NOT TO SCALE

- NOTE:
1. NO COLLARS (CONCRETE NOR ASPHALT) ARE TO BE USED ON MANHOLES WITH SANTAQUIN CITY FROM USE OF D & L SUPPLY MANHOLE ADAPTER RINGS (ORSEKES) TO SET RING AND COVER TO FINISH GRADE.
  2. EXCAVATIONS FOR MANHOLE ADAPTER RINGS (ORSEKES) SHALL HAVE VERTICAL SIDE WALLS.
  3. FINISH RING AND COVER 1/4" BELOW THE FINISH GRADE OF THE ROADWAY.

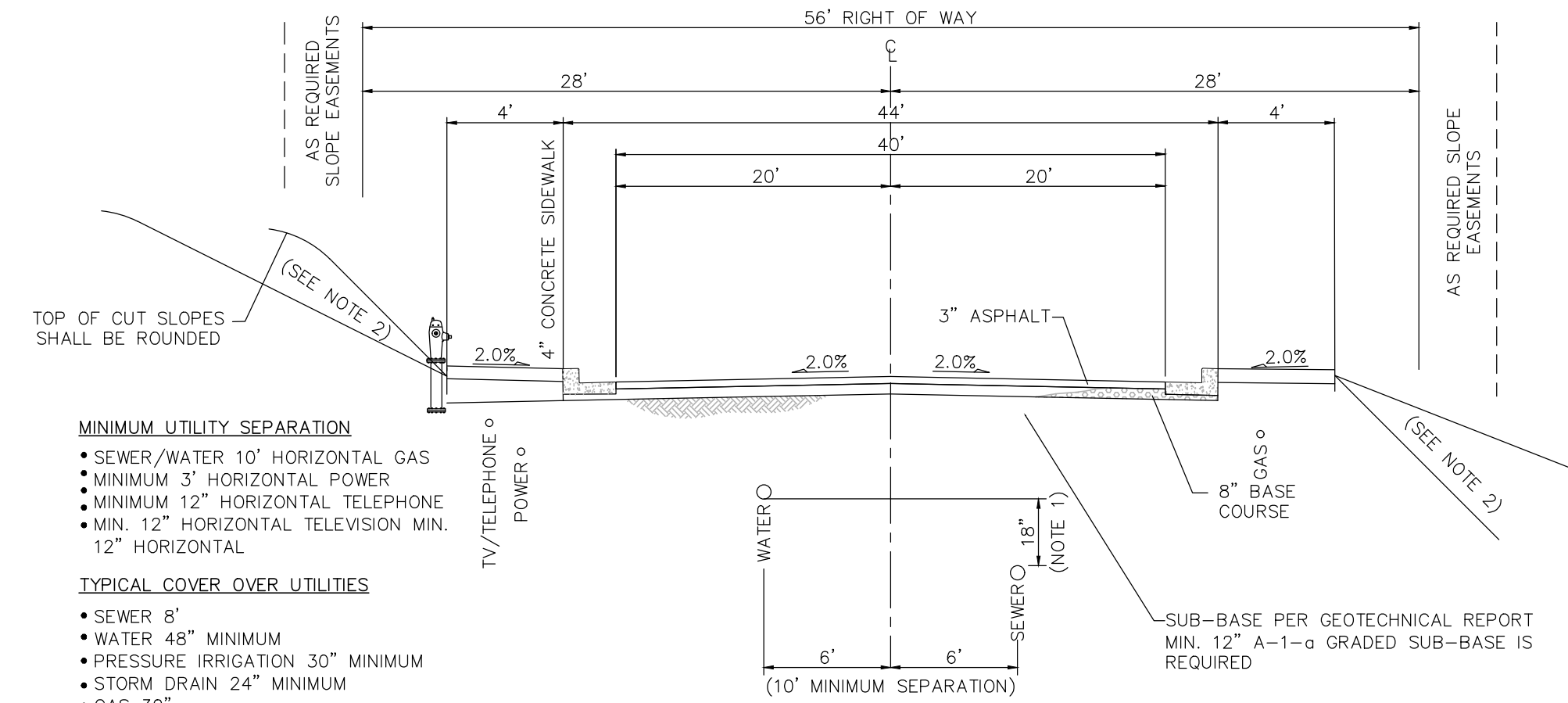


DATE	DESCRIPTION
10/5/2022	ISSUED FOR PERMIT



**TYPICAL STORM DRAIN MANHOLE & MANHOLE RING & COVER**  
SANTAQUIN CITY  
275 WEST MAIN STREET

PROJECT NO.	SD2
DATE	10/5/2022
SCALE	AS SHOWN



- MINIMUM UTILITY SEPARATION**
- SEWER/WATER 10" HORIZONTAL GAS
  - MINIMUM 3" HORIZONTAL POWER
  - MINIMUM 12" HORIZONTAL TELEPHONE
  - MIN. 12" HORIZONTAL TELEVISION MIN. 12" HORIZONTAL
- TYPICAL COVER OVER UTILITIES**
- SEWER 8"
  - WATER 48" MINIMUM
  - PRESSURE IRRIGATION 30" MINIMUM
  - STORM DRAIN 24" MINIMUM
  - GAS 30"
  - POWER 40"
  - TELEPHONE 24"
  - TELEVISION 24"

- GENERAL NOTES**
- 1) 18" MINIMUM VERTICAL CLEARANCE, 10' SEPERATION REQUIRED EXCEPT AT CROSSING LOCATIONS.
  - 2) CUT/FILL SLOPES ARE 3(H):1(V) BELOW A HEIGHT OF 5 FEET AND 2(H):1(V) ABOVE A HEIGHT OF 5 FEET AND SHALL BE PROTECTED WITH AMERICAN GREEN C-350 MATTING, OR APPROVED EQUAL.

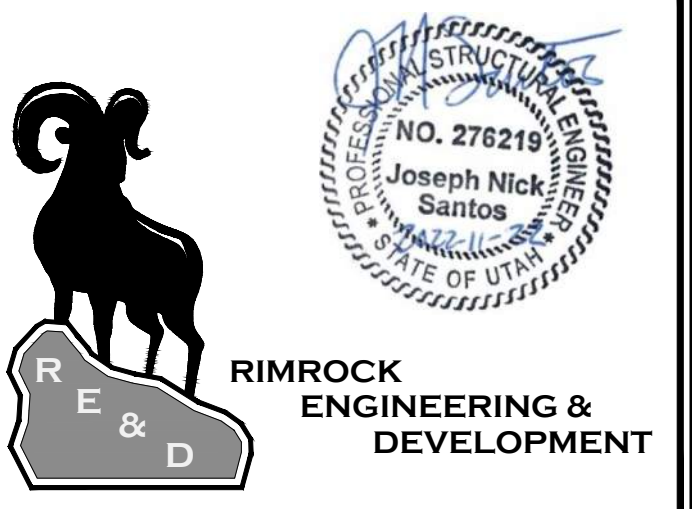
**ROADWAY CROSS SECTION DETAIL TO MATCH EXISTING AT TIE-IN LOCATIONS**

**SHEET NOTES**

- 1.

**SHEET LEGEND**

PLAN REVISIONS
A.



CAD TECH: JRC	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER: JRC	
Q&A: DSE	

PROJECT NAME  
**SCENIC RIDGE ESTATES**

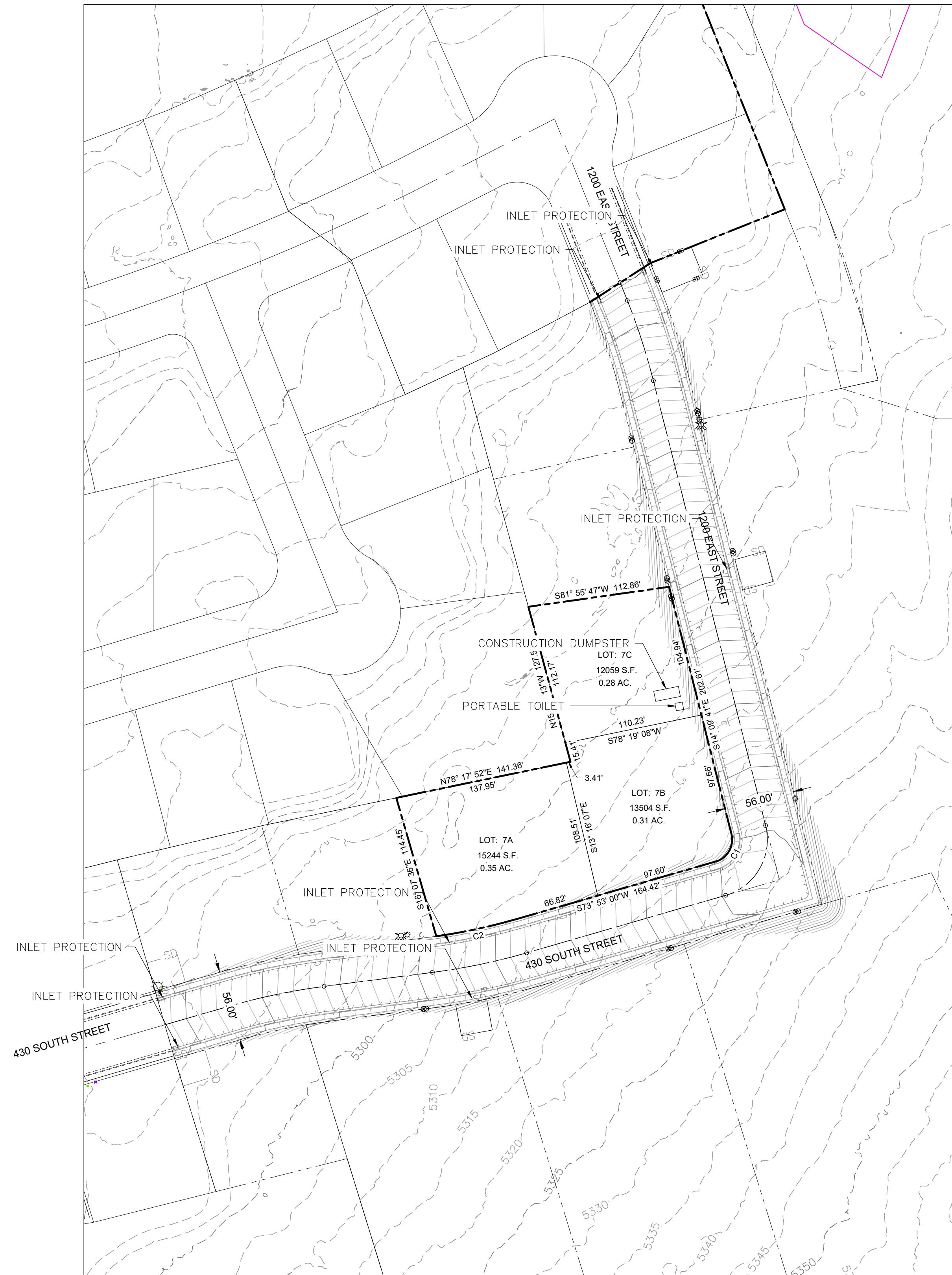
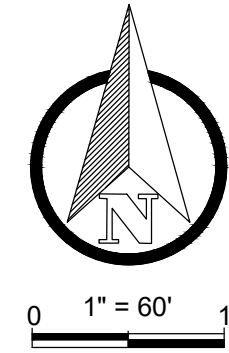
SHEET NAME  
**DETAILS**

PLAN SUBMITTAL: FINAL

REVIEW SET  
10/5/2022

SHEET NUMBER  
15

2/2/2026



SHEET NOTES

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SHEET LEGEND

PLAN REVISIONS

**RIMROCK ENGINEERING & DEVELOPMENT**

CAD TECH: CRS  
 DESIGNER: CRS  
 Q&A: JC

**CALL BLUE STAKES PRIOR TO DIGGING**

PROJECT NAME  
**SCENIC RIDGE ESTATES D**

SHEET NAME  
**EROSION CONTROL PLAN**

PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26 SHEET NUMBER 16

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