

CONDITIONAL USE PERMIT

For

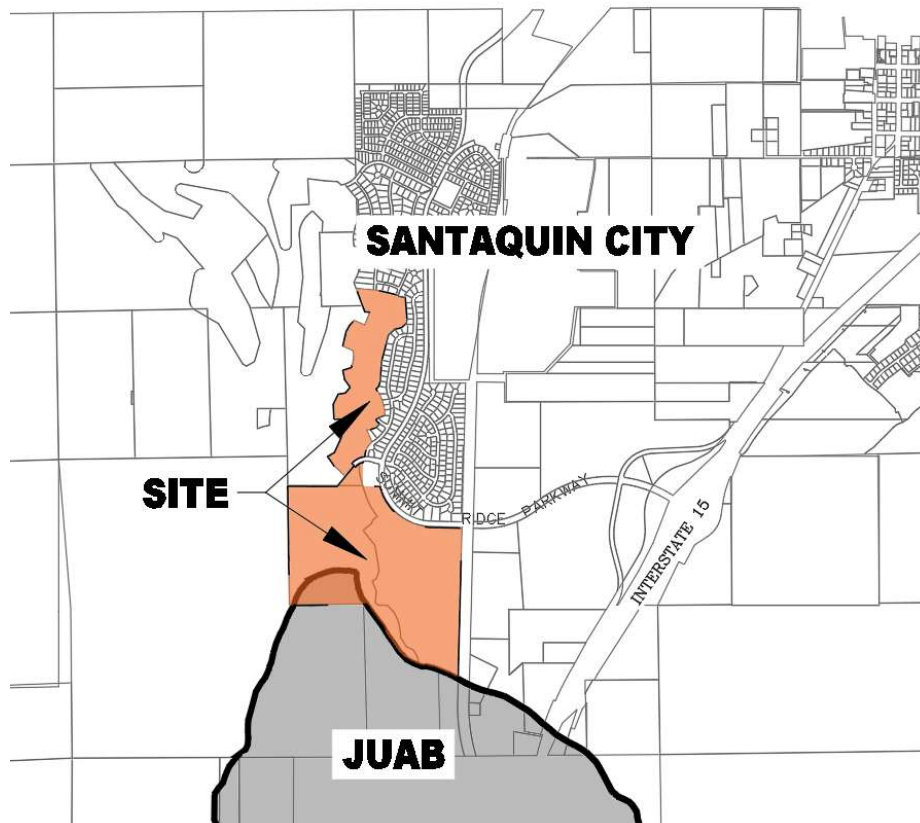
THE HILLS @ SUMMIT RIDGE & VISTAS WEST

MASS GRADING

Located in

SANTAQUIN, UTAH

VICINITY MAP



Prepared by:

Shawn Herring

Region Engineering & Surveying

1776 North State Street #110

Orem, Utah 84057

(801) 376-2245

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Project Summary

Salisbury Development wishes to continue with grading and development efforts of The Hills @ Summit Ridge and the Vistas West single family developments. Grading has been ongoing for the past 18 months and 7 phases have been fully developed and approved. The items within this document outline the remaining areas to be graded and developed.

The remaining area breakdown is as follow:

- The Hills @ Summit Ridge – 113+/- Acres
- Vistas West – 48+/- Acres

The remaining areas of The Hills will all be brought to subgrade, while grading efforts within Vistas West will begin. Additional phases in The Hills (H, I, J and K) will be fully developed by the end of 2021, as well as Phase 1, 2 and 3 of Vistas West.

Project Owner:

Salisbury Development

Address: 494 W 1300 N, Springville, UT 84663

Phone: +1 801 491 9091

Earthwork Contractor:

Brown Brothers Construction Co., Inc.

90 North 200 East

P.O. Box 249

Loa, UT 84747

Phone: (435) 836-2685

Nuisance Mitigation:

Dust

Contractors for Salisbury Development will operate under a state-issued air quality permit and strictly adhere to approved opacity, fugitive dust and emissions standards set forth in the permit. All processing equipment is equipped with a dust suppression system and the site may also have a stand-up water tank on site from which it pulls water to keep dust to a minimum on roads and stockpiles. When winds are excessive, the Contractor may also elect to shut down its operations until the winds calm to a tolerable level. Access crossing from Summit Ridge 160 to Vistas West will also be maintained and cleaned in order to keep dust down.

Noise

The effects of noise are kept to a minimum by placing berms, stockpiles and possible fencing in strategic locations to help deflect and muffle the noise, and operations are not conducted before 7:00am or after 7:00pm. Any haul trucks will exit the site to the Northeast (access point 1), away from nearby homes. This is also the shortest route to I-15.

Lighting

Because operations are only conducted from 7:00am to 7:00pm, only a minimum amount of lighting will be necessary. During the winter months, when days are short, lighting will be used in the mornings and evenings but will be positioned to eliminate negative stray effects. Security cameras on site use infrared light for monitoring and therefore no overnight lighting will be necessary.

Odors

The developer is not aware of any odors that will be released by its operations.

Site Reclamation Plan

During the reclamation phase the site will be contoured to match the elevations and slopes established by the grading plan, topsoil will be redistributed and a city approved seed mixture will be applied.

- Preliminary grading plan completed by LEI for Vistas West are attached.
- Preliminary Grading Exhibit and Cut/Fill exhibit completed by Region is attached.

Backfilling:

Near the conclusion of the grading process, the site will be evaluated to establish a balance between areas that need to be cut and areas to be filled. Areas that need to be filled will be raised with suitable material from the site. All fill materials will be tested so moisture-density relationships can be established. Compaction levels will be established, and tests will be conducted, by an independent geotechnical firm.

Topsoil Redistribution and Seeding:

Topsoil from the site will be collected and stored as a berm on the perimeter of the property and will be draped over slopes and spread over the floor of the disturbed area during the final reclamation phase of the project. If need be, the topsoil will be scarified. A seed mix, approved by Santaquin City, will be distributed along the slopes and floor area. Typically, the seeding will take place in the late fall.

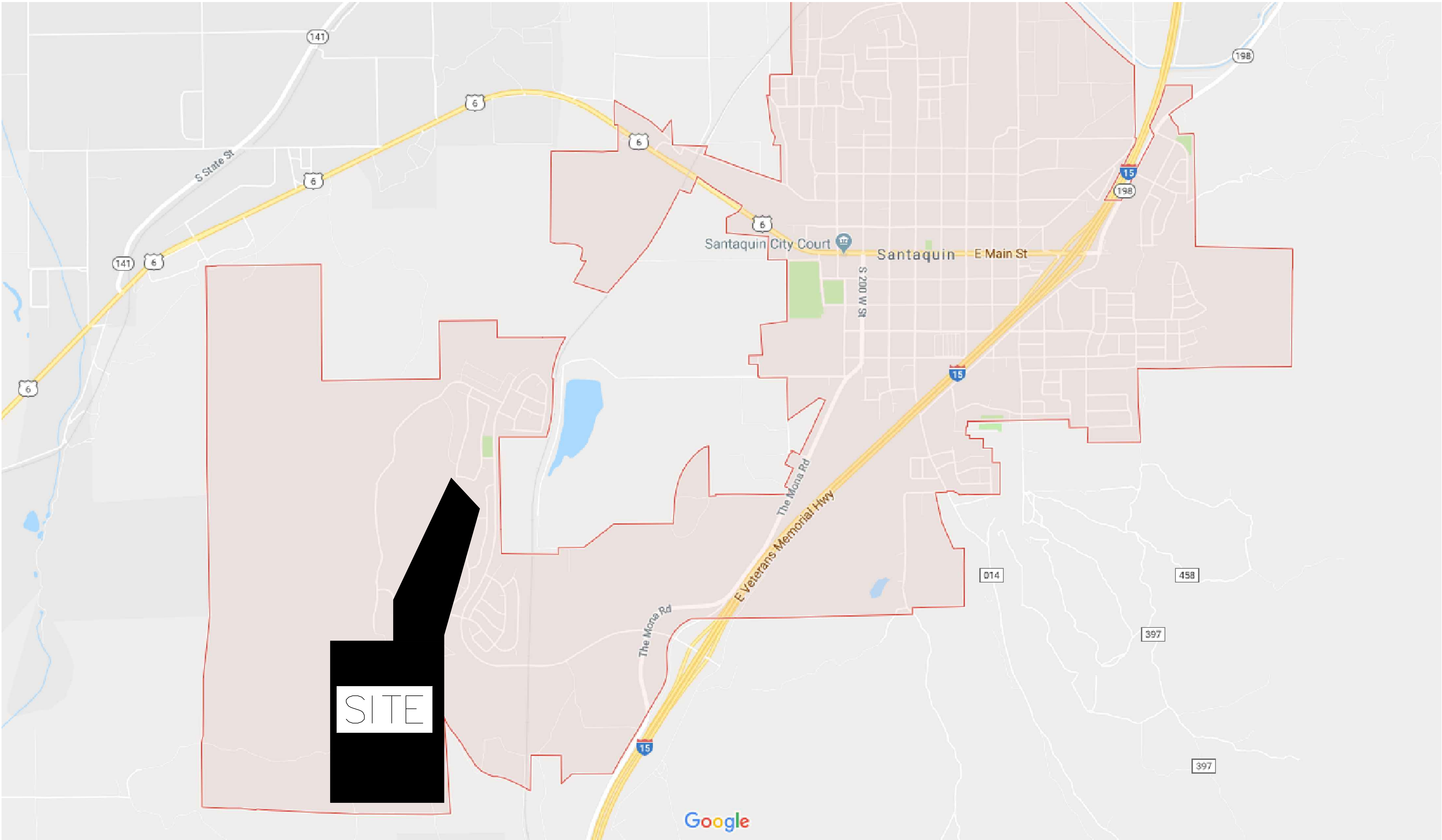
Surface Water and Erosion:

Due to the porous nature of the soil in the area and the slopes established by the grading plan, we don't believe surface water runoff will be an issue. If areas do show signs of erosion, we will mitigate the erosion with established industry practices.

<u>Estimated Production Schedule</u>	
Time Period	Activity
Feb-2021	Clear and grub main areas of Vistas West and remaining phases of The Hills
	Install erosion control measures per SWPPP
	Begin grading efforts on Western portion of The Hills
Summer 2021	Begin Detailed grading/utility work for Phases H, I, J and K of The Hills, and Phases 1-3 of Vistas West
Summer 2021 - Spring 2022	Continue processing and stockpiling, while concurrently selling stockpiled materials.
	Continue working on Phase one and additional developed phases as we gain approvals
Spring 2022 - Aug. 2023	Processing complete
	Finish selling stockpiled material
Sept. 2023 - Jan. 2024	Finish grade and distribute topsoil over disturbed area.
	Distribute seed

Appendices:

- Geotechnical Report
- Project Exhibits
 - Location Map
 - Location Map 2
 - Conditional Use Site Plan
 - Conditional Use Site Plan - Overall
 - Grading Plan
 - Drainage Plan
 - Cut/Fill (The Hills & Vistas West)
- The Hills Phase Plan
- Vistas West Phase Plan
- The Hills Preliminary Approved Plan Set
- Vistas west Preliminary Approved Plan set





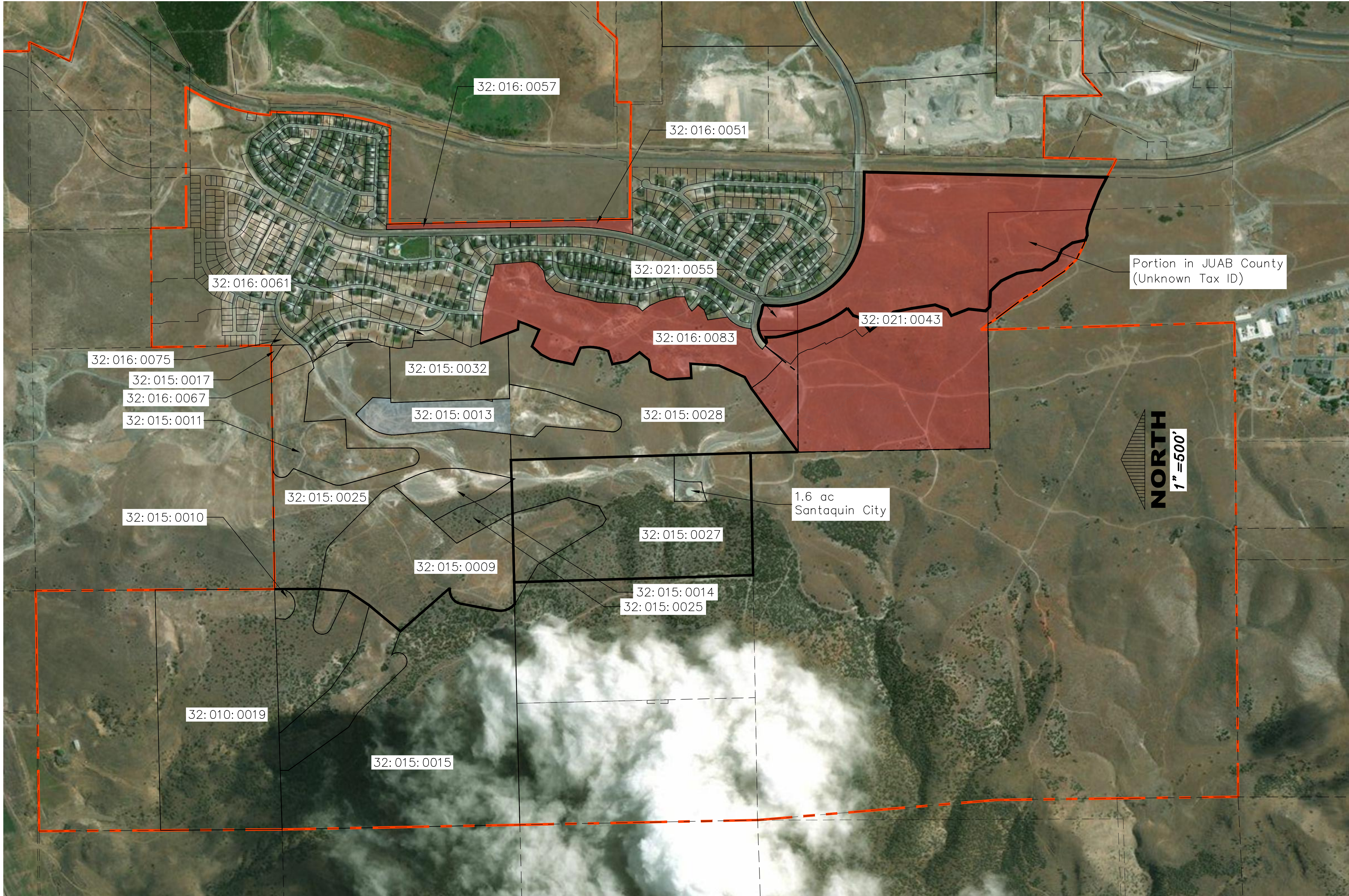
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Orem, UT 84057
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regiondesignllc.com

**SUMMIT RIDGE
CONDITIONAL USE PERMIT
LOCATION MAP**

DATE:2.7.2021	
PROJECT #	
REVISIONS:	
1	
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SHEET NAME:

SHEET:





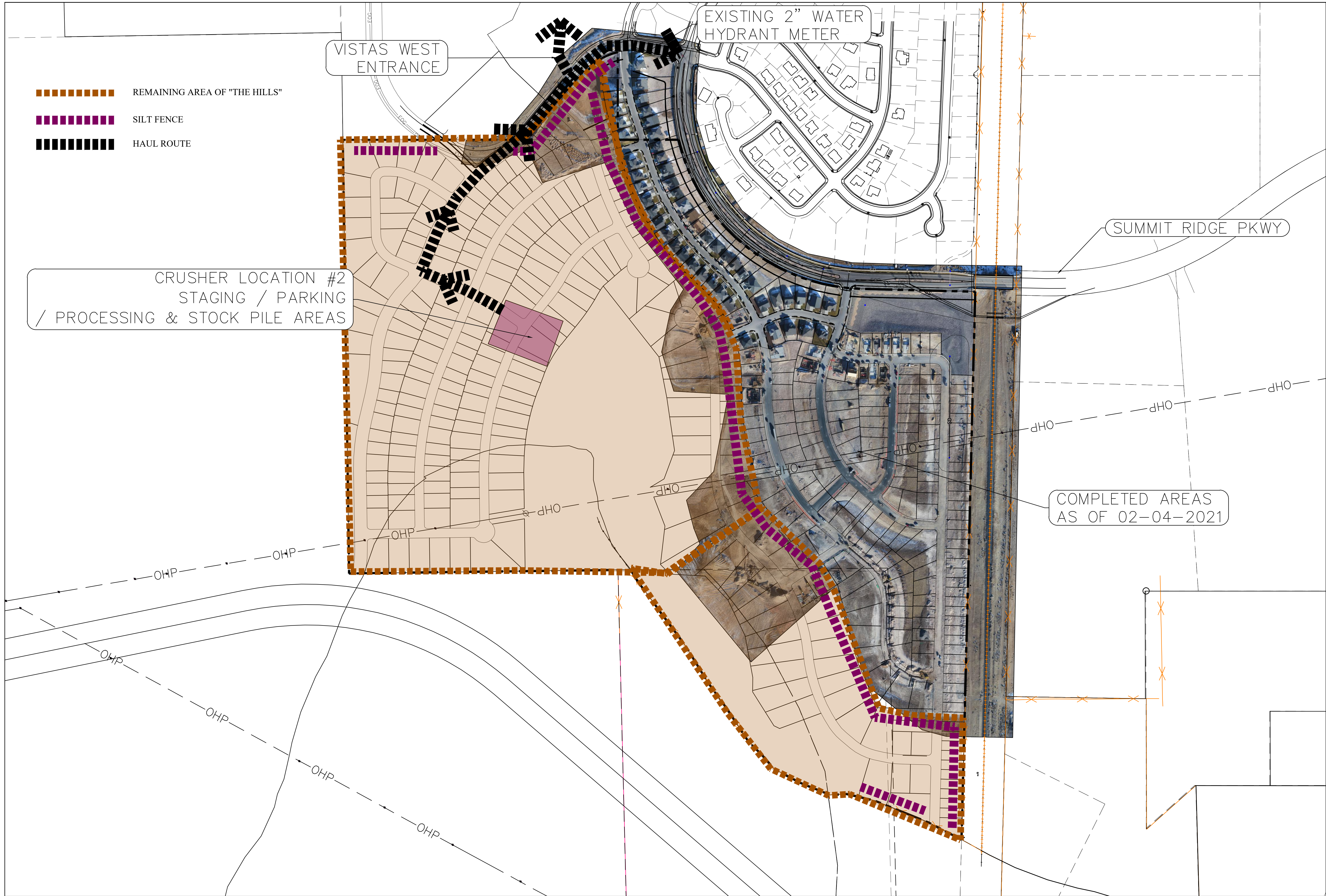
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SUMMIT RIDGE
CONDITIONAL USE PERMIT
LOCATION MAP

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region

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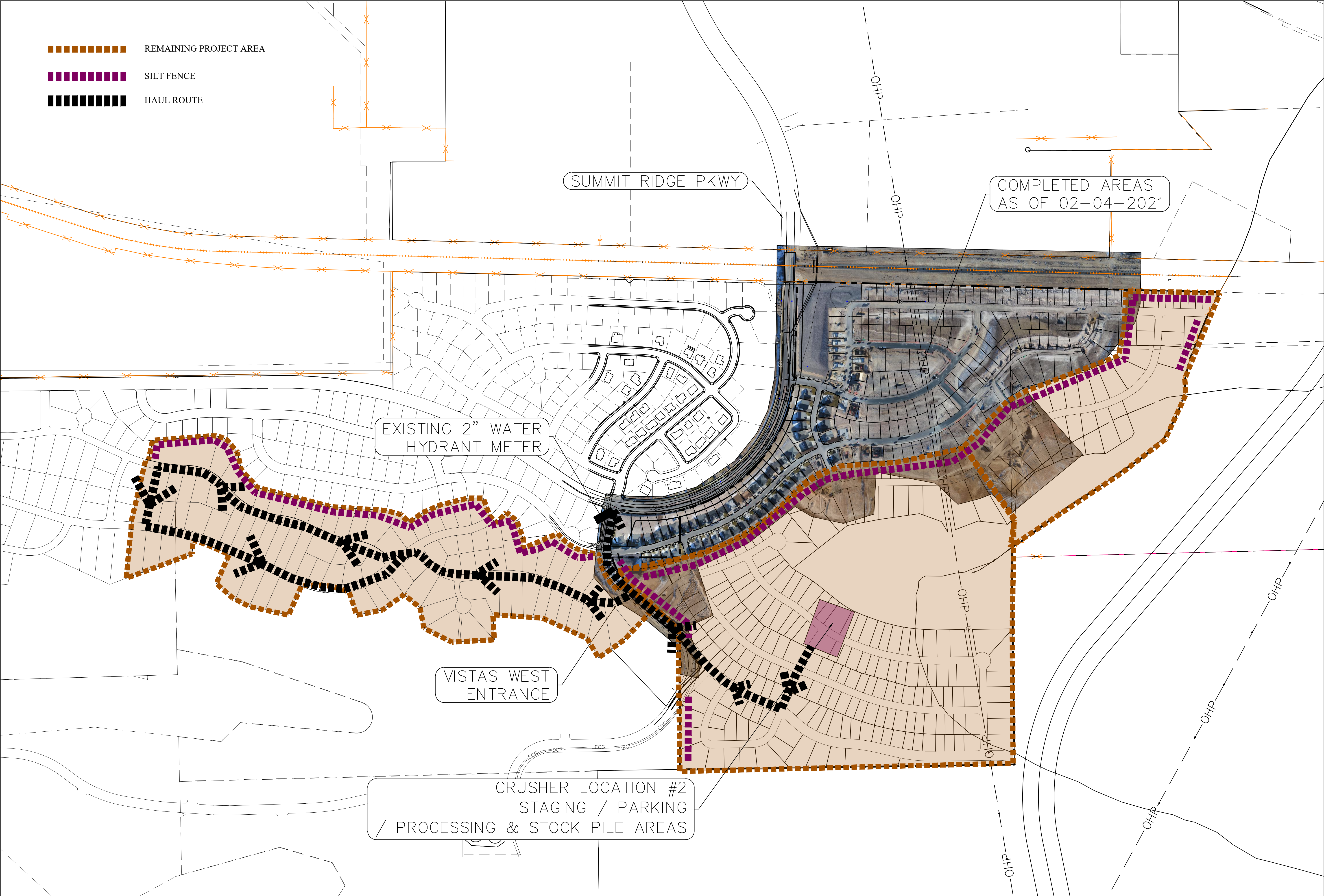
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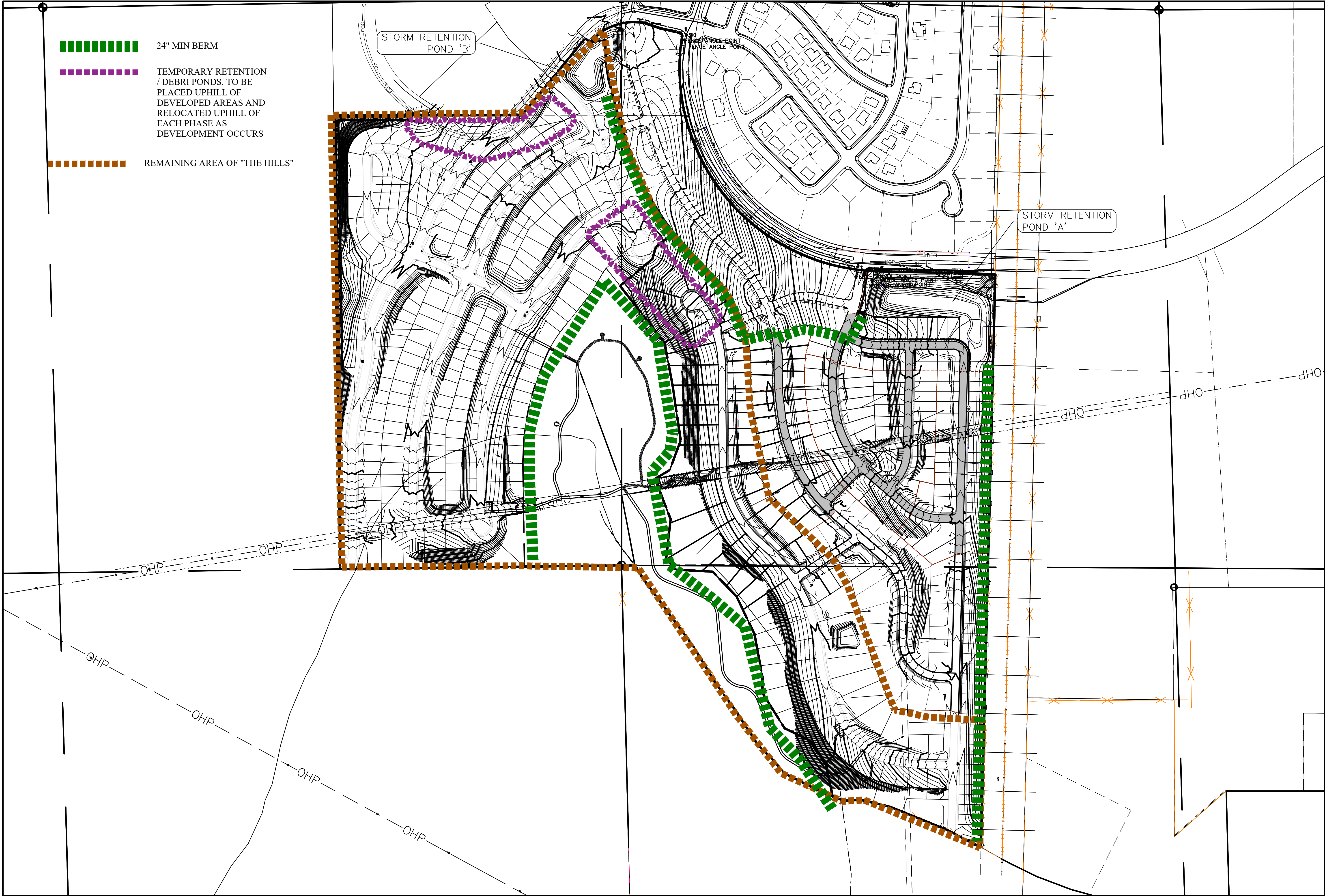



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DATE:2.7.2021	
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REVISIONS:	
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SHEET NAME:

SHEET:



24" MIN BERM



TEMPORARY RETENTION
/ DEBRI PONDS. TO BE
PLACED UPHILL OF
DEVELOPED AREAS AND
RELOCATED UPHILL OF
EACH PHASE AS
DEVELOPMENT OCCURS



REMAINING AREA OF "THE HILLS"



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DATE:2.7.2021	
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SHEET NAME:
DRAINAGE PLAN

SHEET:



Elevations Table			
Number	Minimum Elevation	Maximum Elevation	Color
1	-59.19	-40.00	
2	-40.00	-20.00	
3	-20.00	-10.00	
4	-10.00	0.00	
5	0.00	5.00	
6	5.00	10.00	
7	10.00	15.00	
8	15.00	24.34	

Volume
Cut volume (unadjusted) 1488114.88 Cu. Yd.
Fill volume (unadjusted) 629682.13 Cu. Yd.
Net volume (unadjusted) 858432.75 Cu. Yd.<Cut>

REMAINING AREA OF "THE HILLS"



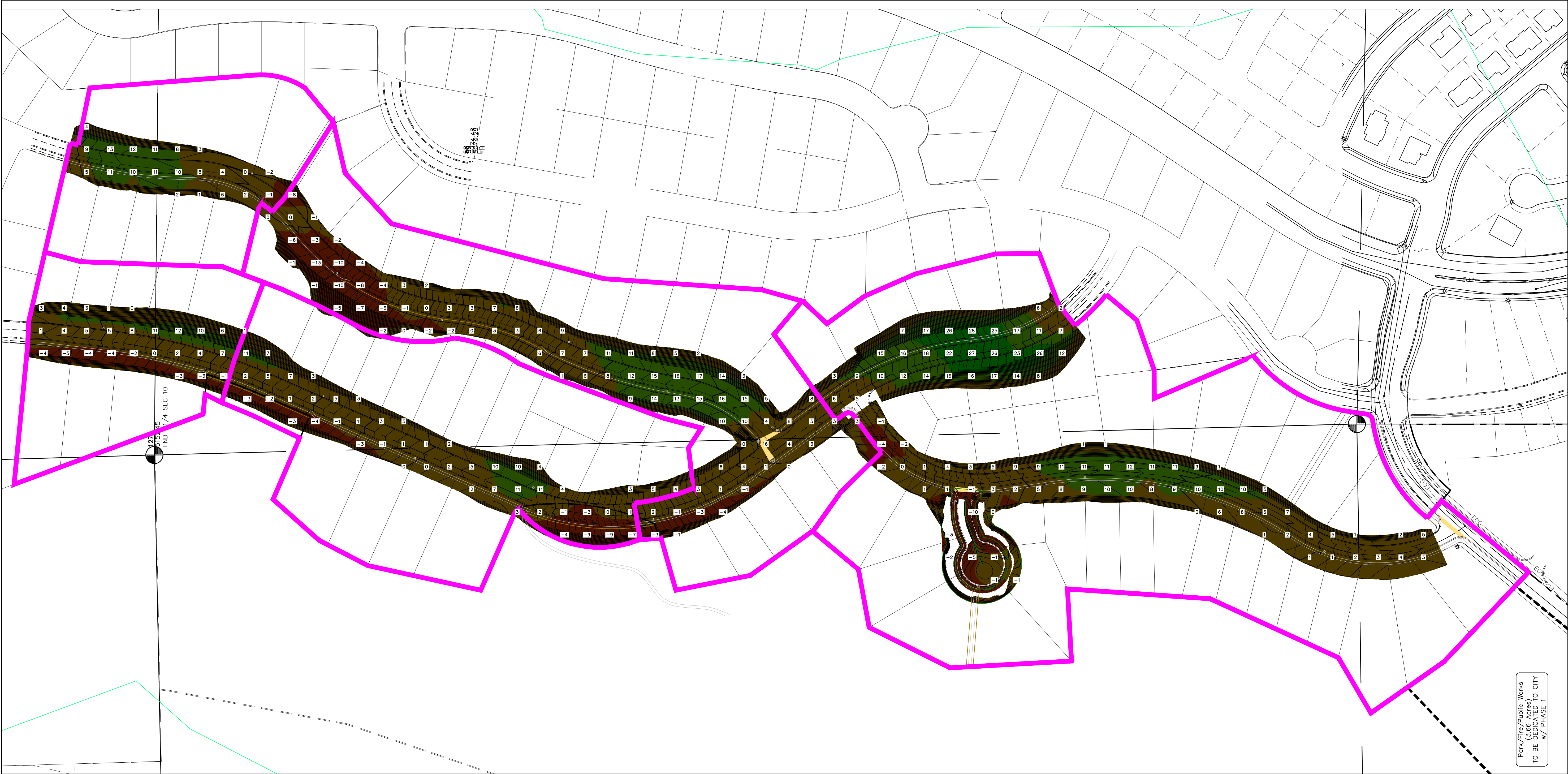
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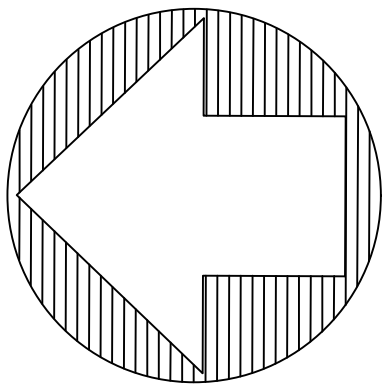
SHEET NAME:
CUT/FILL EXHIBIT

SHEET:



Park/Fire/Public Works
Site Area
TO BE DEDICATED TO CITY
w/ PHASE 1

Volume
Cut volume (unadjusted) 21452.04 Cu. Yd.
Fill volume (unadjusted) 122973.32 Cu. Yd.
Net volume (unadjusted) 101521.28 Cu. Yd.<Fill>





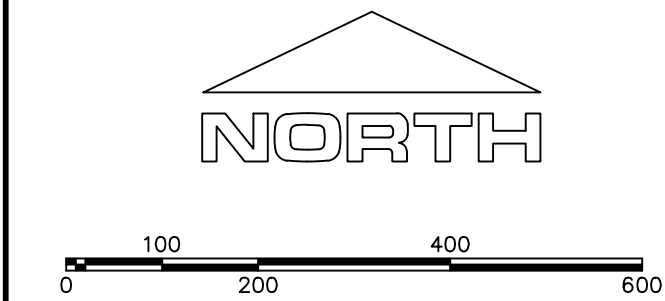
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SHEET NAME:
VISTAS WEST

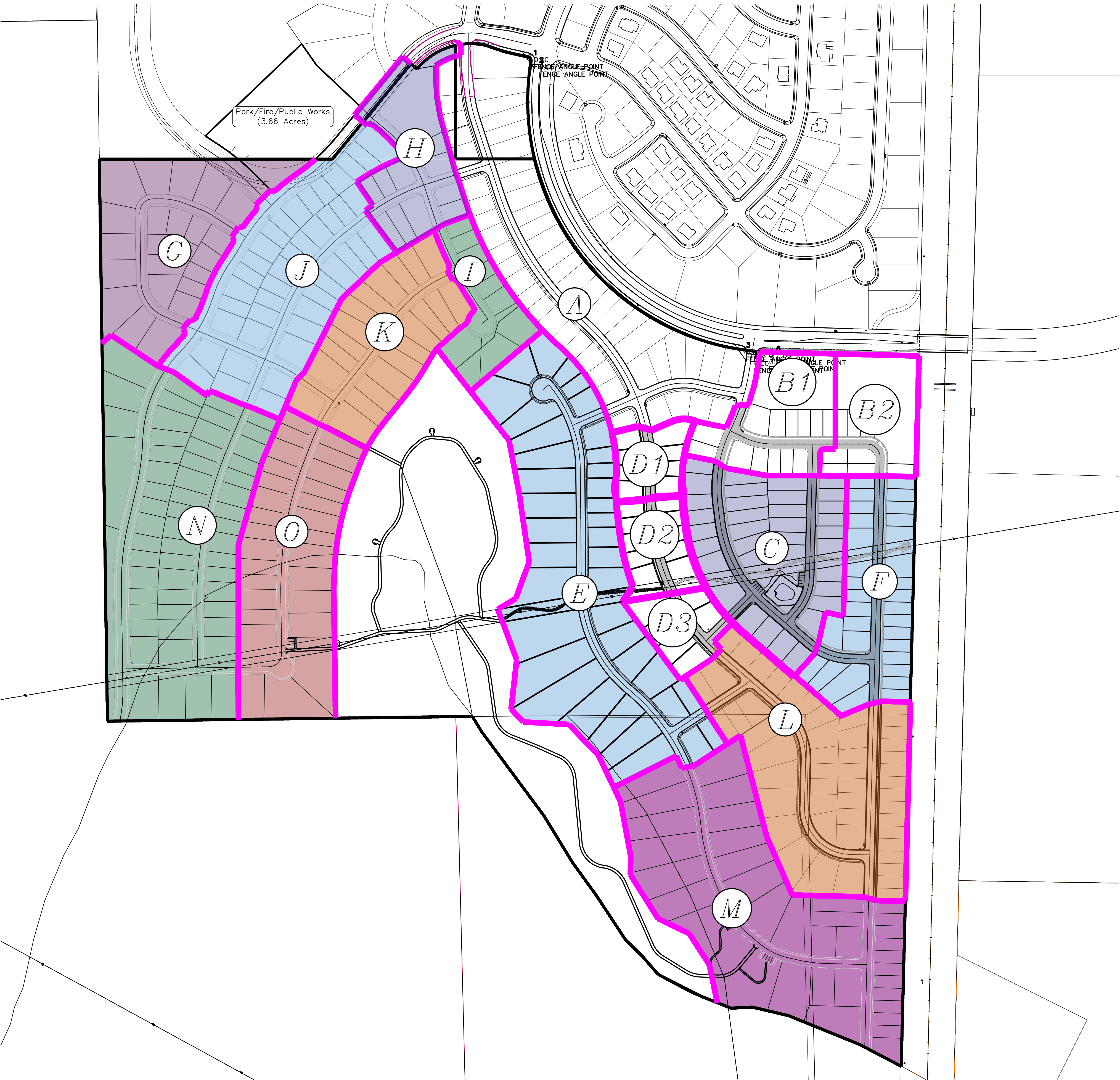
SHEET:
CUT-FILL



(24"x36")
SCALE 1" = 200'
(11"x17")
SCALE 1" = 400'

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-02 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS

PHASE BREAKDOWN		
	Units	
PHASE A		50
PHASE B1		13
PHASE B2		8
PHASE C		35
PHASE D1		8
PHASE D2		10
PHASE D3		6
PHASE E		38
PHASE F		32
PHASE G		22
PHASE H		10
PHASE I		9
PHASE J		41
PHASE K		21
PHASE L		41
PHASE M		34
PHASE N		55
PHASE O		28
TOTAL		461



Engineering & Surveying

region

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10/8/2020

THE HILLS @ SUMMIT RIDGE

LOCATED IN PORTIONS OF SECTION 12 AND 13,
TOWNSHIP 6 SOUTH
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

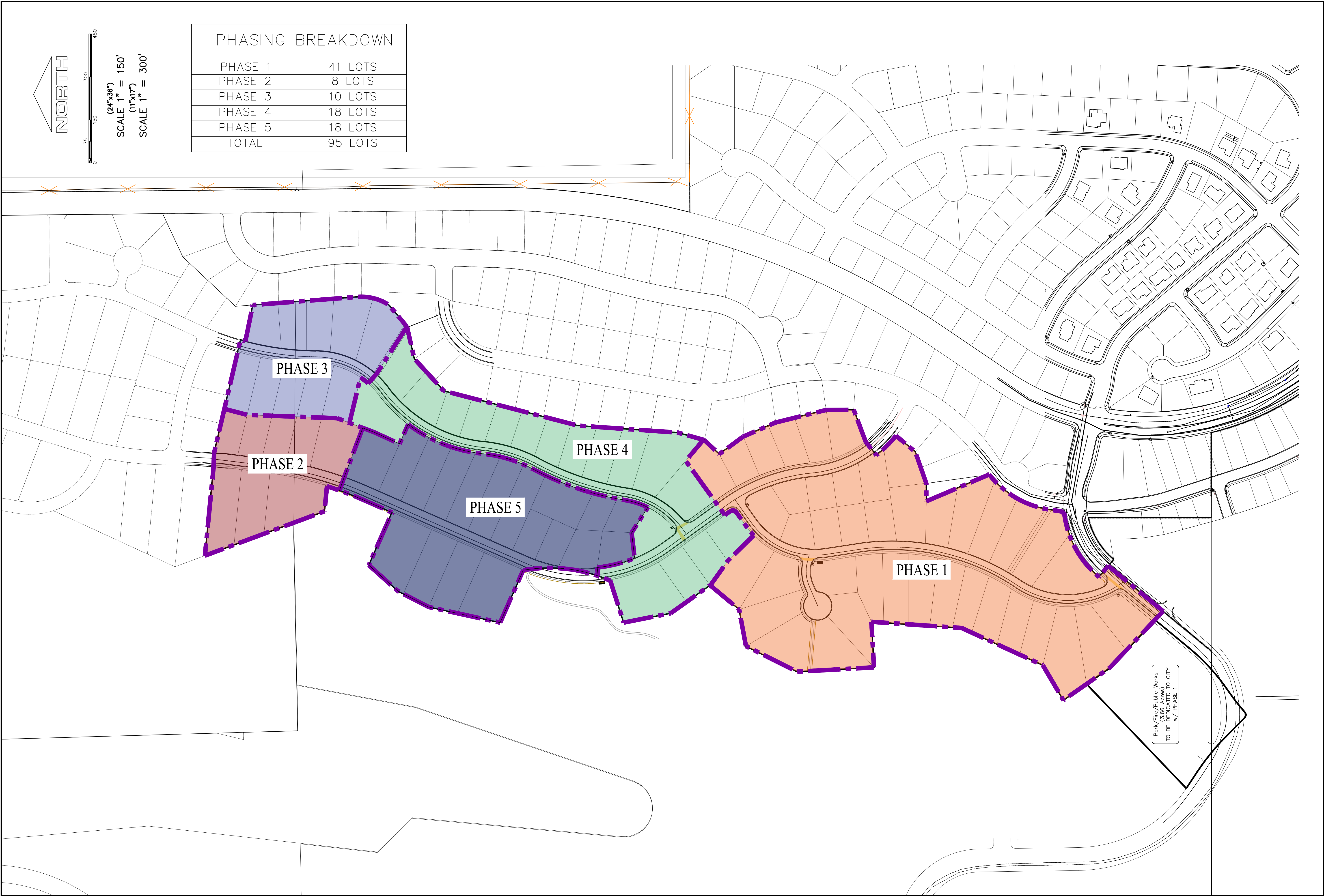
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PROJECT #

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SHEET NAME:
PHASE PLAN

SHEET:
PHASING





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**VISTAS WEST @ SUMMIT RIDGE
PHASE 'A'**

LOCATED IN PORTIONS OF SECTION 12 AND 13,
TOWNSHIP 6 SOUTH
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE:10.8.2020
PROJECT #

REVISIONS:

1	
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3	

SHEET NAME:
PHASE PLAN

SHEET:
PHASE