

MEMORANDUM



To: Planning Commission

From: Ryan Harris, Staff Planner

Date: July 9, 2021

RE: **Ridley's Phase 2 Commercial Subdivision Preliminary/Final Review**

Zone: C-1
Size: 3.559 acres
Lots: 3

The Ridley's Subdivision is located at approximately 500 East and Main Street. The proposed commercial subdivision is in the C-1 zone and consists of 3 lots on 3.559 acres. There are no minimum or maximum frontage or lot size requirements in the C-1 land use regulations.

There will be a second access to this subdivision from the north. A portion of the access road will not be located within this subdivision. The developer has a cross access and utility easement on the property to the north where the access road and utilities are located.

Subdivisions with three lots or less can combine preliminary and final plans into one submittal. This development qualifies for this streamlined process. The final plans were reviewed by the Development Review Committee and a positive recommendation was forwarded to the Planning Commission. The Planning Commission will be the land use authority for the subdivision.

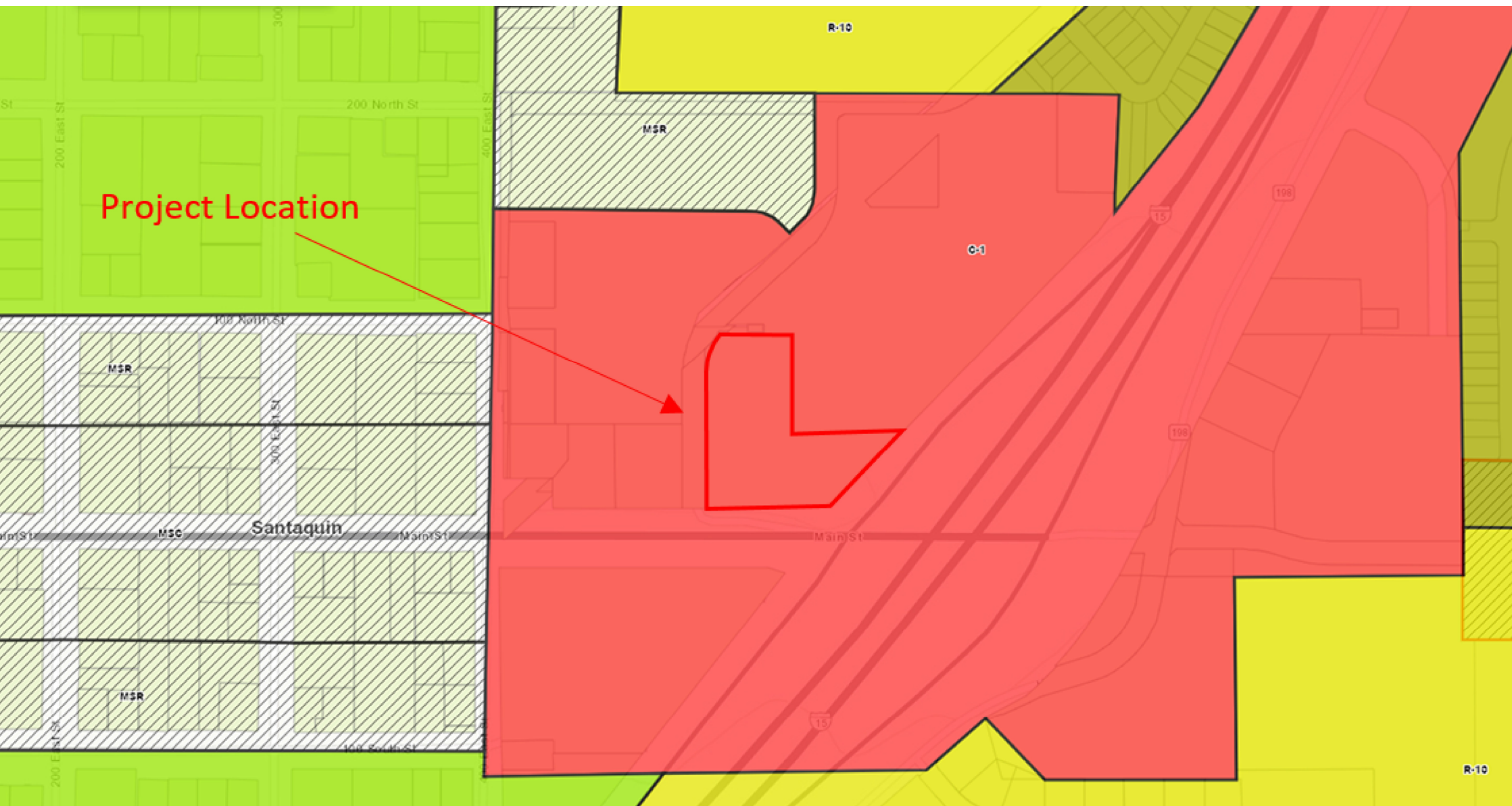
Recommended Motion: "Motion to approve Ridley's Phase 2 Commercial Subdivision with the following condition:

- All engineering redlines be addressed.

Attachments:

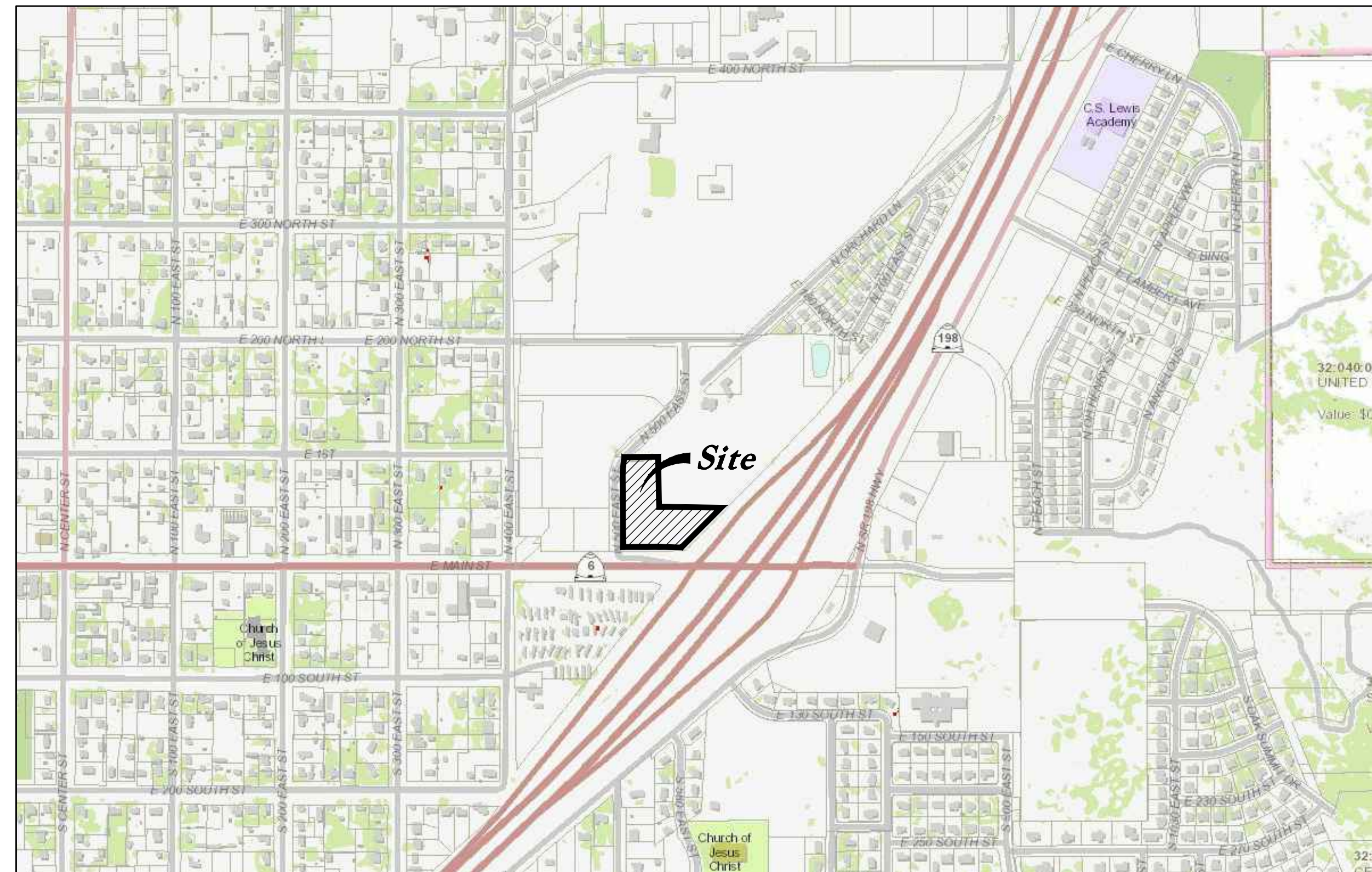
1. Zoning and Location Map
2. Preliminary/Final Plans

Attachment 1: Zoning and Location Map



Ridley's Subdivision Phase 2

***500 East Main Street
Santaquin, UT, 84655***



Vicinity Map
Not to Scale

Civil Sheet Index

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Abbreviations

BCR	Begin Curb Return	PT	Point of Tangency
BOL	Bollard	PVC	Polyvinyl Chloride
BRW	Finish Grade – Bottom of Retaining Wall	PVI	Point of Vertical Intersection
CATV	Cable Television Box	RCP	Reinforced Concrete Pipe
CB	Catch Basin	RD	Roof Drain
CMP	Corrugated Metal Pipe	SB	Signal Box
COB	Cleanout Box	SD	Storm Drain
COTG	Cleanout to Grade	SDMH	Storm Drain Manhole
EA	Edge of Asphalt	SMH	Sewer Manhole
EB	Electrical Box	SP	Signal Pole
EC	End of Curve	SS	Sanitary Sewer
ECR	End Curb Return	SVZ	Sight Visibility Zone
GB	Grade Break	SW	Secondary Water
GM	Gas Meter	TA	Top of Asphalt
HB	Hose Bib	TB	Telephone Box
HP	High Point	TBC	Top Back of Curb
I	Irrigation Line	TG	Top of Grade
ICB	Irrigation Control Box	TMH	Telephone Manhole
Lip	Lip of Gutter	TP	Top of Concrete
LP	Light Pole	TRW	Finish Grade – Top of Retaining Wall
MH	Manhole	TW	Top of Walk
Mon	Monument	VC	Vertical Curve
PC	Point of Curvature	VPC	Vertical Point of Curve
PCC	Point of Compound Curvature	VPT	Vertical Point of Tangency
PI	Point of Intersection	WL	Waterline
PM	Power Meter	WP	Working Point
PP	Power Pole	WV	Water Valve

Legend

Proposed Curb & Gutter		Existing Improvements	
Proposed Open Face C & G		Existing Asphalt	
Proposed Asphalt		Existing Concrete	
Proposed Concrete		Existing Inlet Box	
Proposed Truncated Domes		Existing Catch Basin	
Proposed Inlet Box		Existing Manhole	
Proposed Catch Basin		Existing Fire Hydrant	
Proposed Manhole		Existing Water Valve	
Proposed Transformer		Existing Overhead Power Line	
Proposed Meter Box		Existing Water	
Proposed Water Meter		Existing Secondary Water	
Proposed Combo Box		Existing Sewer	
Proposed Fire Hydrant		Existing Storm Drain	
Proposed Water Valve		Existing Gas	
Proposed Water Line		Existing Power	
Proposed Sanitary Sewer		Existing Telephone	
Proposed Storm Drain		Existing Fence	
Proposed Conduit Line		Flowline	
Proposed Power Line		Centerline	
Proposed Gas Line		Existing Contour	
Proposed Fire Line		Existing Spot	
Proposed Secondary Water Line		Existing Light Pole	
Proposed Roof Drain		Existing Street Light	
Proposed Fence		Existing Building	
Road Line		Existing Telephone Box	
Grade Break		Existing Power Meter	
Proposed Contour		Existing Electrical Box	
Direction of Drainage		Existing Electrical Cabinet	
Proposed Spot		Existing Gas Meter	
ADA Accessible Route		Existing Water Meter	
Property Line		Existing Irrig. Control Box	
Sawcut Line		Existing Bollard	
Proposed Light Pole		Existing Hose Bib	
Proposed Street Light		Working Point	
Proposed Building		Existing Deciduous Tree	
Existing Power Pole		Existing Coniferous Tree	
Existing Power Pole w/ Guy		Detail Number	
Existing Utility Marker			
Existing Post			

Santaquin City Notes

It is important for the developer and the general contractor to understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all state and Santaquin City codes, ordinances and standards. This fact does not relieve the developer or general contractor from full compliance with all minimum state and Santaquin City standards.

Santaquin City Note to Developers & General Contractors

All recommendations made in the provided geotechnical report/study shall be followed explicitly during construction of building and site improvements.

Property Owner

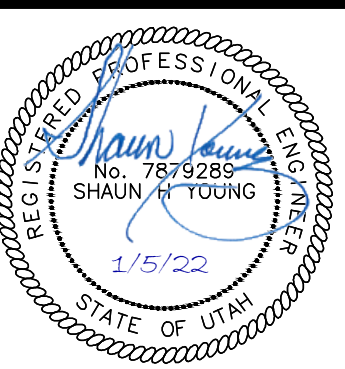
CJM Limited
621 Washington Street South
Twin Falls, Idaho 83301-5519



Cover Sheet

Ridley's Subdivision Phase 2
500 East and Main Street

500 East and Main Street
Santaquin, Utah County, Utah



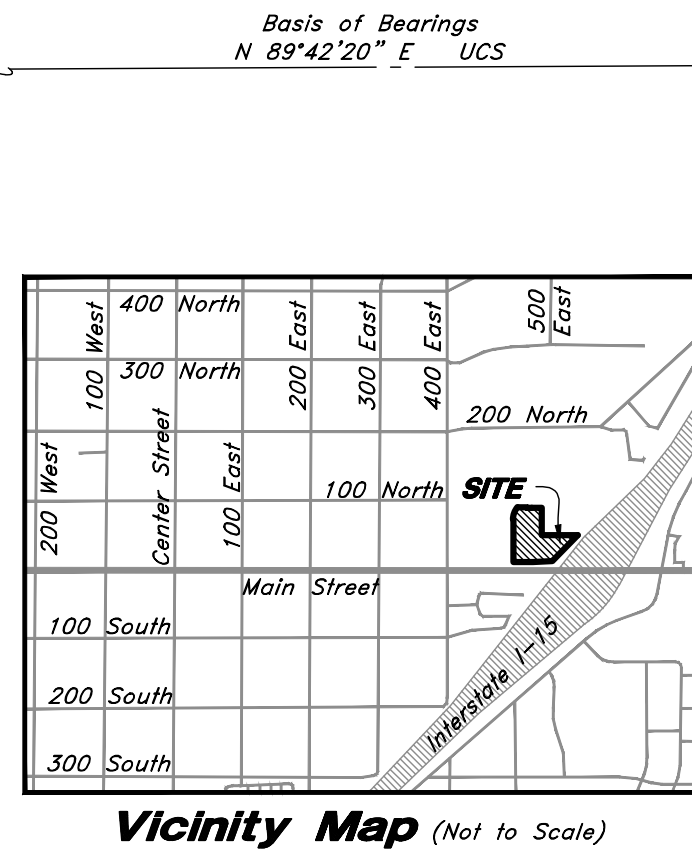
4 Jan, 2022

SHEET NO.

CO.0

Ridley's Subdivision, Plat B

A part of Parcel A, Ridley's Subdivision, of the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey, City of Santaquin, Utah County, Utah
2021



Vicinity Map (Not to Scale)

$$\Delta = 39^{\circ}40'40''$$

$$R = 171.00'$$

$$L = 118.42'$$

$$LC = 116.07'$$

$$N 20^{\circ}00'23'' E$$

Scale: 1" = 40'



Legend

- Control Line
- Property Line
- Easement Line
- Adjoiner Line
- Section Corner
- Set 5/8 rebar with plastic cap or nail with brass tag stamped AWA
- Public Utility and Drainage Easement in favor of Santaquin City
- PU&DE

Note

This property is located in an agricultural community in which normal agricultural uses and activities are common and part of the identity of Santaquin City. It can be anticipated that such agricultural uses and activities may now or in the future be conducted near this property. Property Owners need to understand and acknowledge that they may experience annoyance or inconvenience which may result from such normal agricultural uses and activities. Additionally, property Owners must refrain from trespassing on private property which can negatively impact the integrity of agricultural lands and businesses.

Narrative

This Subdivision was requested by Ridley's Family Markets in order to create 3 Lots.

A line between monuments found for North Quarter Corner and the Northeast Corner of Section 1 was assigned the UCS bearing of North 89°42'20" East as the Basis of Bearings.

This subdivision retraces and honors the underlying 2020 Ridleys Subdivision

Property corners will be set upon completion of site construction.

Rocky Mountain Power

- Pursuant to Utah Code Ann. 54-3-27 this plat conveys to the Owner(s) or operators of utility facilities a public utility easement along with all the rights and duties described herein.
- Pursuant to Utah Code Ann. 17-27A-603(4)(c)(ii) Rocky Mountain Power accepts delivery of the PUE as described in this plat and approves this plat solely for the purpose of confirming that the plat contains Public Utility Easements and approximates the location of the Public Utility Easements, but does not warrant their precise location. Rocky Mountain Power may require other easements in order to serve this development. This approval does not effect any right that Rocky Mountain Power has under:

- A recorded easement or Right-of-Way
- The law applicable to prescriptive rights
- Title 54, Chapter 8a, damage to underground utility facilities or
- Any other provision of law

Approved this _____ day of _____, 20____.

Rocky Mountain Power Company

By-

Title-

Dominion Energy

a Questar Corporation

Questar Gas Company, dba Dominion Energy Utah, hereby approves this plat solely for the purposes of confirming that the plat contains public utility easements. Dominion Energy Utah may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations of liabilities including prescriptive rights and other rights, obligations of liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the owner Dedication or in the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information please contact Dominion Energy Utah's Right-of-Way Department at 1-800-366-8532.

Approved this _____ Day of _____ A.D. 20____

By:

Title:

DOMINION ENERGY, a Questar Corporation

LUMEN

Approved by Lumen this _____ Day of _____ A.D. 20____

Lumen

Acknowledgment

State of _____ County of _____

On this _____ day of _____, 20____, personally appeared before me, Mark Ridley the signer of the foregoing instrument, who duly acknowledged to me that he is the Director of CJM Limited Liability Partnership, and is authorized to execute the foregoing Dedication in its behalf and that he executed it in such capacity.

Notary Public Full Name: _____

Commission Number: _____

My Commission Expires: _____

A Notary Public Commissioned in Utah

(If above information is provided, no stamp required per Utah Code, Title 46, Chapter 1, Section 16)

A Notary Public

Surveyor's Certificate

I, Ken B. Hawkes, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Utah and that I hold Certificate No. 8707113 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act; I further certify for, and on behalf of Anderson Wahlen & Associates that by authority of the owners I have completed a survey of the property described on this Subdivision Plat in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to retrace or reestablish this plat; and that the information shown herein is sufficient to accurately establish the lateral boundaries of the herein described tract of real property; hereafter known as

Ridley's Subdivision, Plat B

Description

A part of Parcel A, Ridley's Subdivision recorded as Entry No. 111268:2020 and as Map No. 17189 Official Records of Utah County, being a part of the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey in Utah County, Utah:

Beginning at the point of intersection of the North line of Main Street and the East line of 500 East Street as it exists at 31.00 foot half-width located 2555.26 feet South 0°30'50" East along the Quarter Section Line; and 559.13 feet South 89°46'05" East along said North line from a Brass Cap Monument found marking the North Quarter Corner of said Section 1; and running thence North 0°10'03" East 374.34 feet along said East line to a point of curvature; thence Northeastly along the arc of a 171.00 foot radius curve to the right a distance of 118.42 feet (Central Angle equals 39°40'40" and Long Chord bears North 20°00'23" East 116.07 feet); thence South 89°29'50" East 76.68 feet along the Southerly line of an Agreement recorded as Entry No. 72273:2010 of Official Records monumented by an existing boundary line fence to the Westerly line of a Warranty Deed recorded as Entry No. 27219:2011 of Official Records as it exists on the ground; thence South 2.69 feet along said Westerly line to the Southwest Corner thereof; thence South 88°49'06" East 45.00 feet along an existing fence monumenting the Southerly line of said Warranty Deed as it exists on the ground to the Southeastly Corner thereof; thence South 89°49'57" East 67.10 feet; thence South 0°10'03" West 261.96 feet; thence South 89°49'57" East 322.84 feet to the Northwestly line of Interstate Highway I-15; thence South 44°34'11" West 294.11 feet along said Northwestly line to said North line of Main Street; thence along said North line the following two courses: South 87°33'23" West 169.10 feet; and North 89°46'05" West 176.31 feet to said East line of 500 East Street as it exists at 31.00 foot half-width and the point of beginning.

Contains 155,025 sq. ft.
Or 3.559 acres
3 Lots

Date: 4 Jan, 2022

Ken B. Hawkes

Ken B. Hawkes
Utah PLS No. 8707113

Owner's Dedication and Consent to Record

Know all men by these presents that I, the undersigned owner of the hereon described tract of land, hereby set apart and subdivide the same into Lots as shown on this plat and name said plat

Ridley's Subdivision, Plat B

and do hereby dedicate, grant and convey to the City of Santaquin all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares forever, and those certain public utility easements as shown hereon to be used for the installation, maintenance and operation of Public Utility service lines.

In witness whereof I have hereunto set my hand
This _____ Day of _____ AD, 20____.

CJM Limited Liability Partnership

by: Mark Ridley
Its: Director

Approval By Legislative Body

The City Council of the City of Santaquin, County of Utah, approves this subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.
This _____, day of _____, A.D. 20____.

City Mayor

Affest

City Recorder (See Seal Below)

Ridley's Subdivision, Plat B

A part Parcel A, Ridley's Subdivision, located in the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey City of Santaquin, Utah County, Utah

Surveyors Seal



City Engineer Seal

Clerk-Recorder Seal

North Quarter Corner Section 1,
T10S, R1E, SL&M, U.S. Survey
(found brass cap monument)

Street

East

400

S 0°30'50" E 559.13' Mon. to Mon.
2555.26'

Ridley's Subdivision

Entry No. 11268: 2020

Lot 6
CJM Limited Liability Partnership
51-649-0006

500 East Street

Main Street
(Public Street)

South Quarter Corner Section 1,
T10S, R1E, SL&M, U.S. Survey
(found brass cap monument)

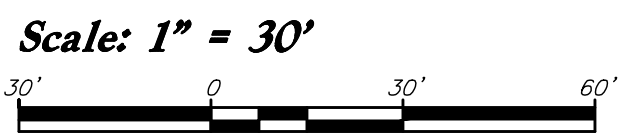
Lot 8
58,872 sq. ft.
or 1.352 acres
78 North
500 East

Lot 7
53,496 sq. ft.
or 1.228 acres
38 North
500 East

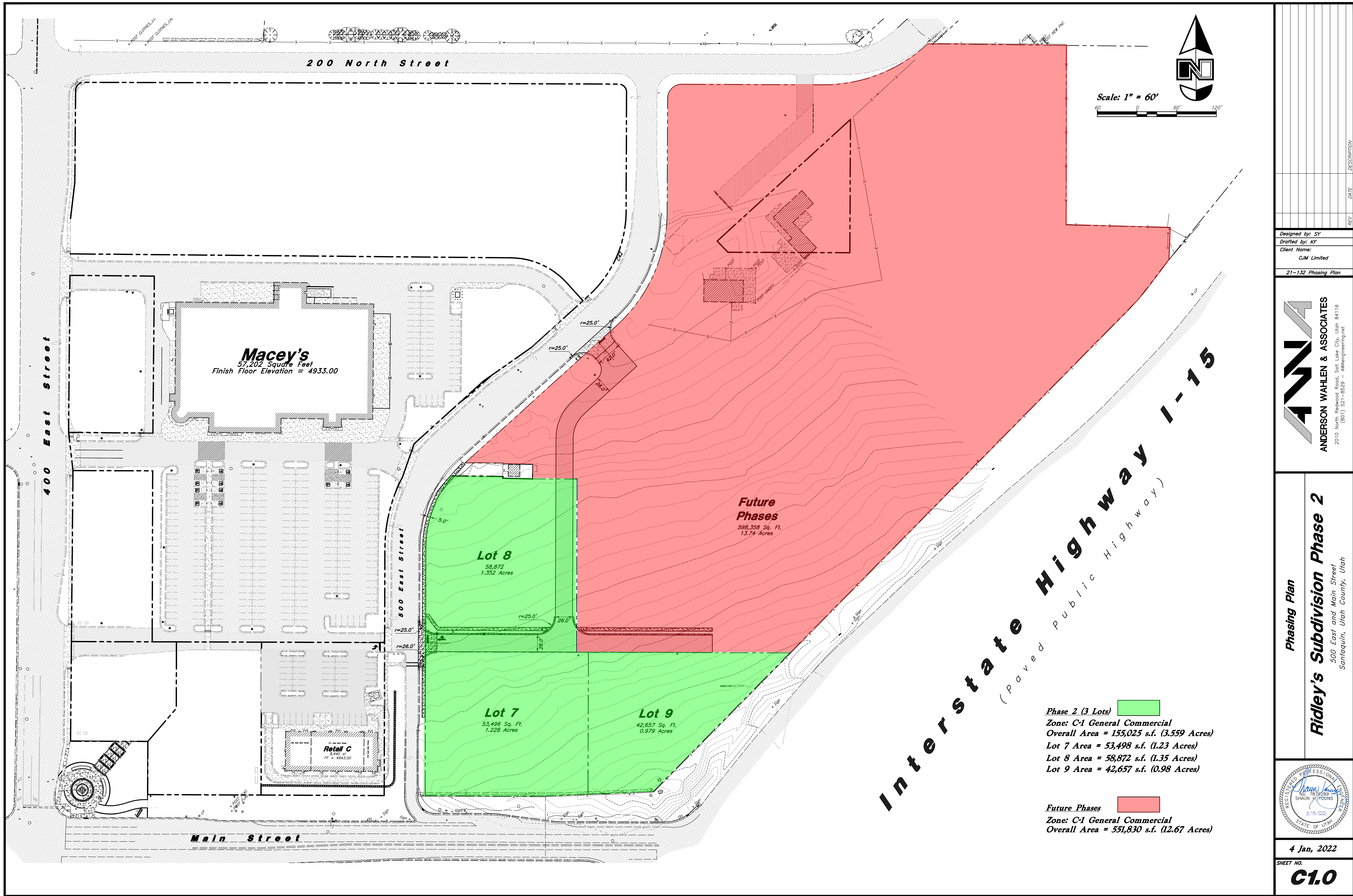
Lot 9
42,657 sq. ft.
or 0.979 acres
48 North
500 East

Owner/Developer
Ridley's Family Markets
621 Washington Street South
Twin Falls, Idaho, 83301
208.324.4633 ext. 10120
www.shopridleys.com

ANNA
ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Blvd., Salt Lake City, Utah 84116
801.521-8529 • anna@andersonwahlen.com



4 Jan, 2022
SHEET NO.
CO.1



REV	DATE	DESCRIPTION
1	1/5/22	Initial Design
2	1/5/22	Revised Design
3	1/5/22	Final Design

Designed by: SY
Drafted by: KF
Client Name:
CJM Limited
21-132 Phasing Plan

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - awhengineering.net

Phasing Plan
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah

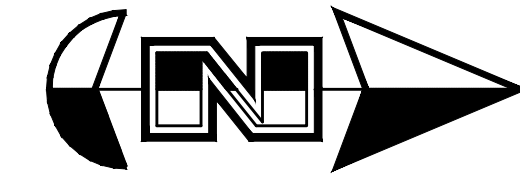
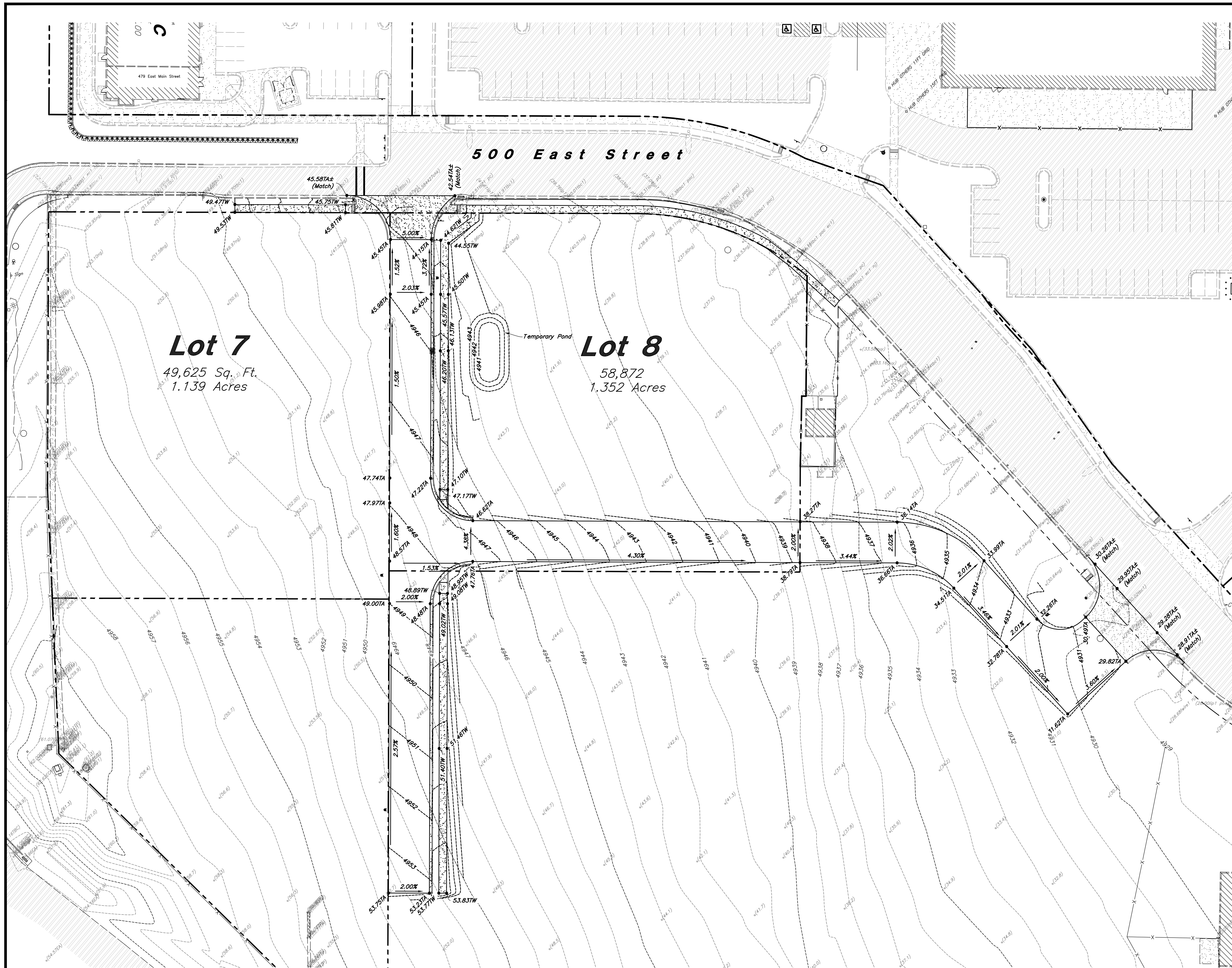
REGISTERED PROFESSIONAL ENGINEER
No. 78773889
SHAUN W. YOUNG
1/5/22
STATE OF UTAH

4 Jan, 2022
SHEET NO.
C1.0

4 Jan, 2022

SHEET NO.

C1.1



Scale: 1" = 30'

0 30' 60'

General Grading Notes:

1. All grading shall be in accordance with the project geotechnical study.
2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
4. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
6. Fills shall be banded into competent material as per specifications and geotechnical report.
7. All trench backfill shall be tested and certified by a Geotechnical Engineer.
8. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
9. The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
10. Dust shall be controlled by watering.
11. The location and protection of all utilities is the responsibility of the permittee.
12. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
13. All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
14. The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
15. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
16. Aggregate base shall be compacted per the geotechnical report prepared for the project.
17. As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
18. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.

Curb and Gutter Construction Notes:

1. Open face gutter shall be constructed where drainage is directed away from curb.
2. Open face gutter locations are indicated by shading and notes on the grading plan.
3. It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
4. Refer to the typical details for standard and open face curb and gutter dimensions.
5. Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
6. Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.

Sidewalk Construction Notes:

1. Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
2. Running slope of sidewalks shall be built per grades shown on the plan, where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%
3. Refer to the Site Plan for sidewalk dimensions.

REV	DATE	DESCRIPTION

Designed by: SY
Drafted by: KF
Client Name:
CJM Limited
21-132 GR

ANDERSON WAHLEN & ASSOCIATES

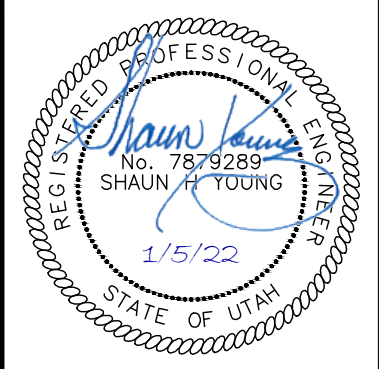
(801) 521-8529 - AWaengineering.net

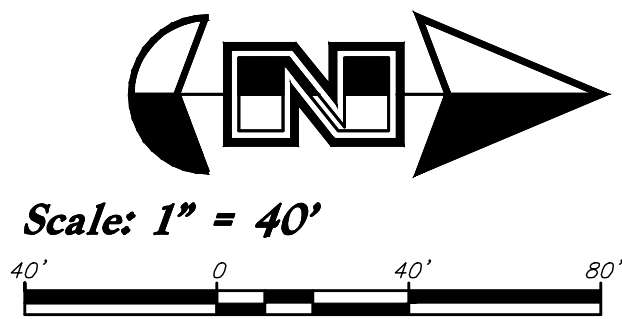
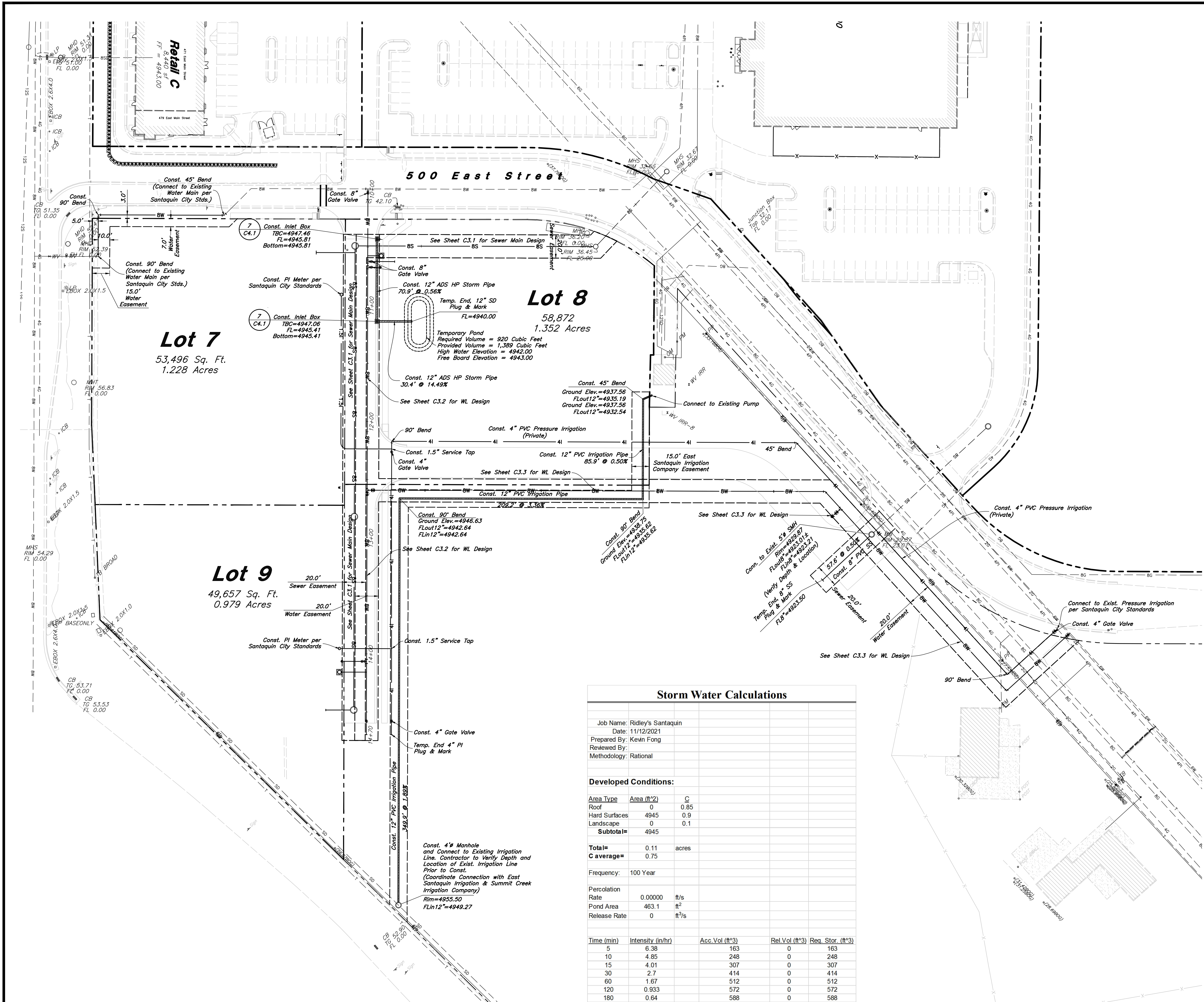
2010 North Redwood Road, Salt Lake City, Utah 84116

Grading Plan

Ridley's Subdivision Phase 2

500 East and Main Street
Santaquin, Utah County, Utah





General Utility Notes:

1. All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
2. Coordinate all utility connections to building with plumbing plans and building contractor.
3. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
4. All catch basin and inlet box grates are to be bicycle proof.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
9. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
2. Copper Pipe (Up to 3 inches diameter): Type 'K'.

Water Main Lines and Fire Lines

1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): AWWA C900, Class 200

Sanitary Sewer Lines

1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35

Storm Drain Lines

1. 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
2. 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

Storm Drain & Sanitary Sewer Note:

All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure

Onsite Utility Connection Notes:

1. Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
2. Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any waterline installation
3. Construction of any onsite utilities prior to the offsite connection will be done at the contractors risk.

CAUTION :

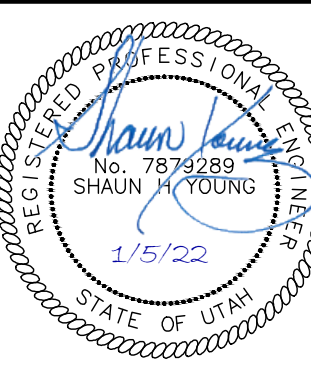
The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.



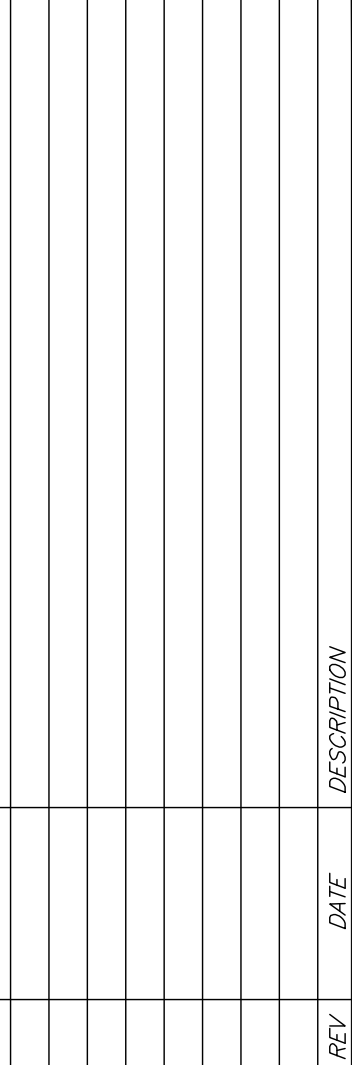
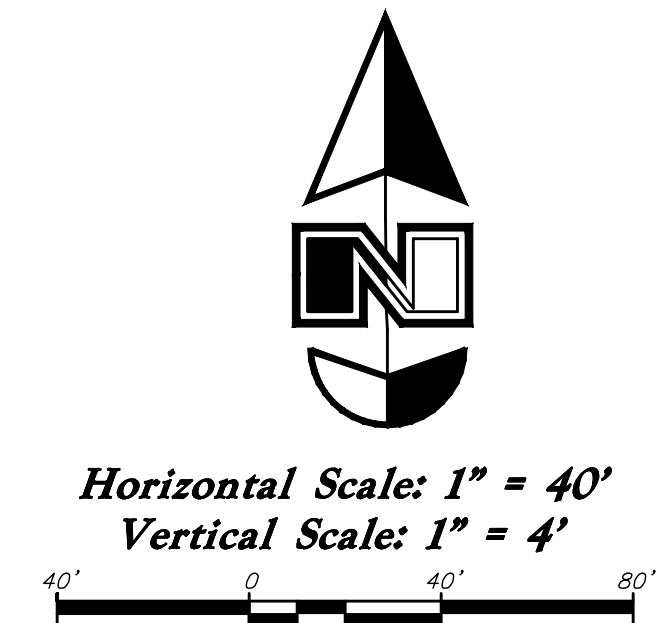
Storm Water Calculations				
Job Name: Ridley's Santaquin				
Date: 11/12/2021				
Prepared By: Kevin Fong				
Reviewed By:				
Methodology: Rational				
Developed Conditions:				
Area Type	Area (ft ²)	C		
Roof	0	0.85		
Hard Surfaces	4945	0.9		
Landscape	0	0.1		
Subtotal=	4945			
Total=	0.11	acres		
C average=	0.75			
Frequency:	100 Year			
Percolation Rate	0.00000	ft/s		
Pond Area	463.1	ft ²		
Release Rate	0	ft ³ /s		
Time (min)	Intensity (in/hr)	Acc. Vol (ft ³)	Rel. Vol (ft ³)	Req. Stor. (ft ³)
5	6.38	163	0	163
10	4.85	248	0	248
15	4.01	307	0	307
30	2.7	414	0	414
60	1.67	512	0	512
120	0.933	572	0	572
180	0.64	588	0	588
360	0.347	638	0	638
720	0.201	739	0	739
1440	0.125	920	0	920

ANDERSON WAHLEN & ASSOCIATES
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(801) 521-8529 - AWahleengineering.net

Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah



4 Jan, 2022
SHEET NO.
C3.0



Designed by: SY
Drafted by: KF
Client Name:
CJM Limited
21-132 UT

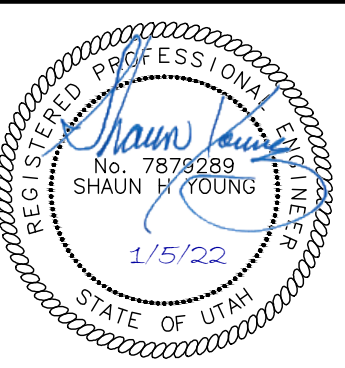


ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 — AWAengineering.net

Sewer Plan & Profile

Ridley's Subdivision Phase 2
500 East and Main Street


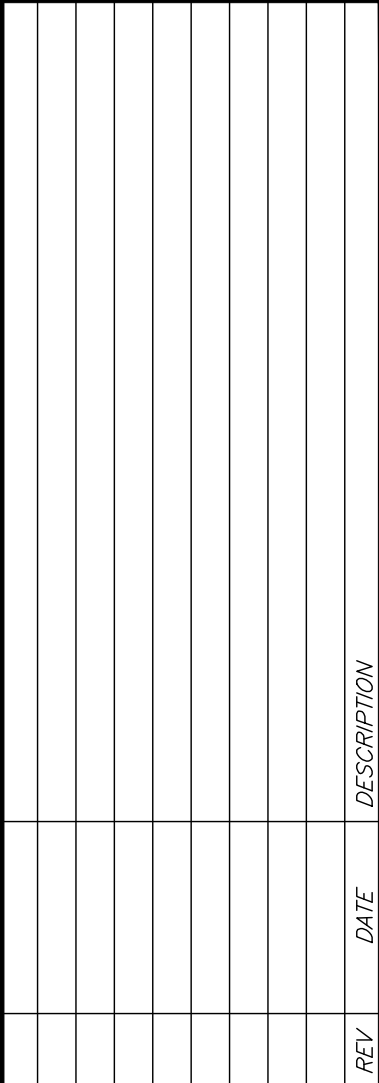
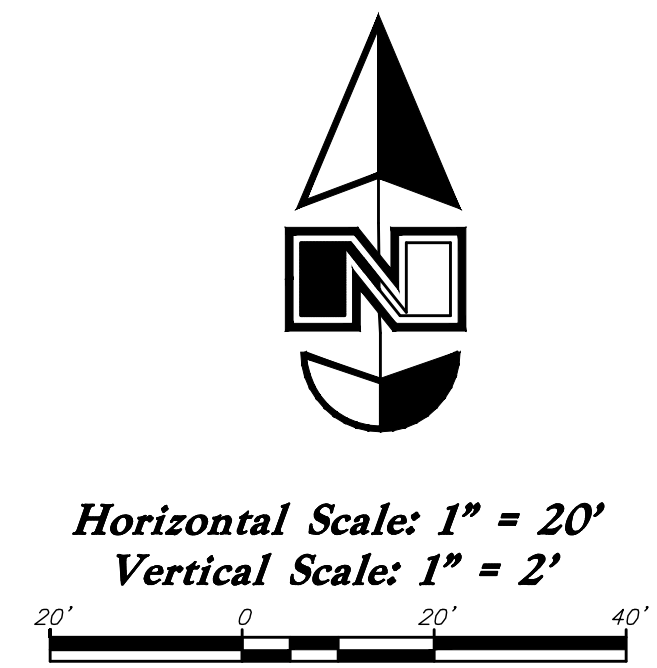
500 East and Main Street
Santaquin, Utah County, Utah



4 Jan, 2022

SHEET NO.

C3.1



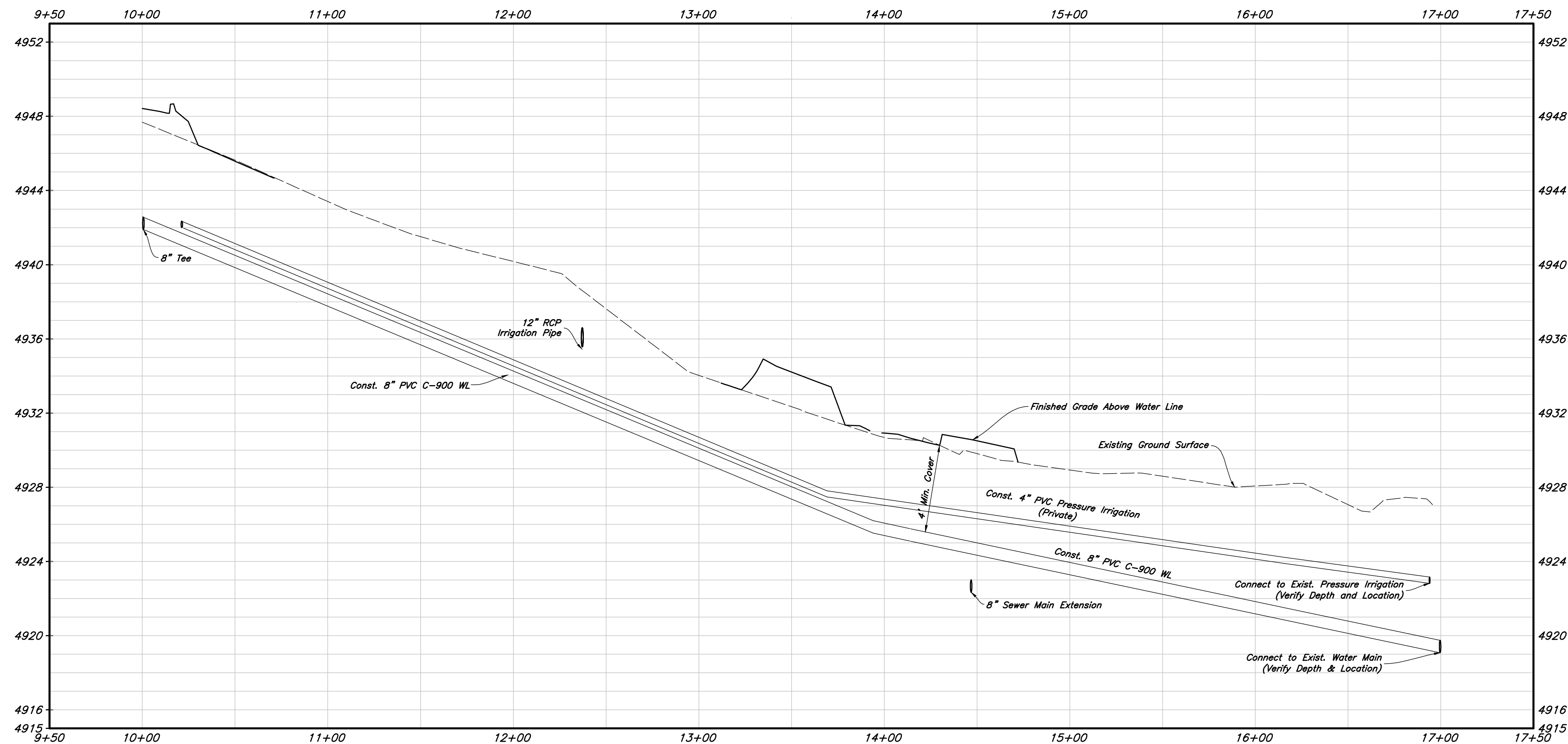
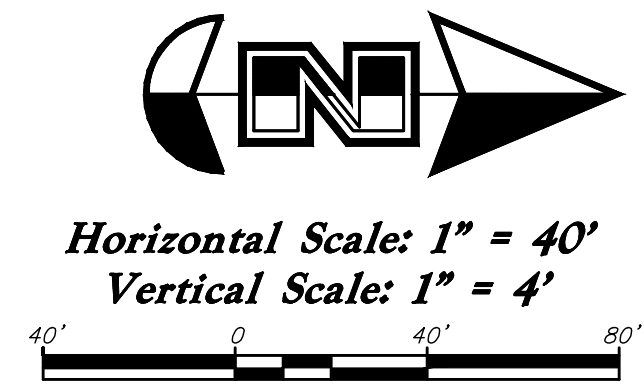
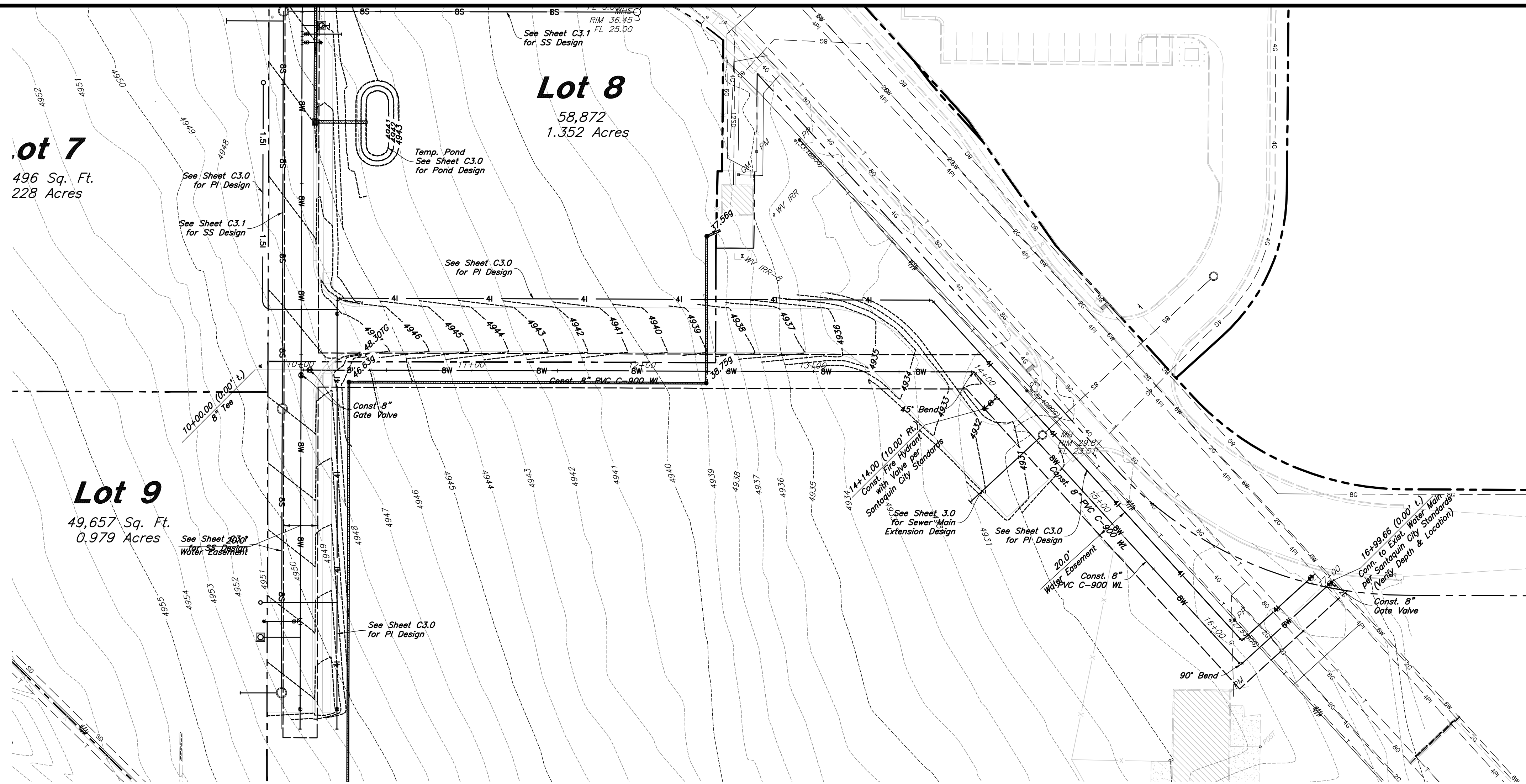
ANDERSON WAHLEN & ASSOCIATES
 2010 North Redwood Road, Salt Lake City, Utah 84116
 (801) 521-8529 — AWAengineering.net

REGISTERED PROFESSIONAL ENGINEER
 No. 7873289
 SHAUN M. YOUNG
 1/5/22
 STATE OF UTAH

4 Jan, 2022

SHEET NO.

C3.2

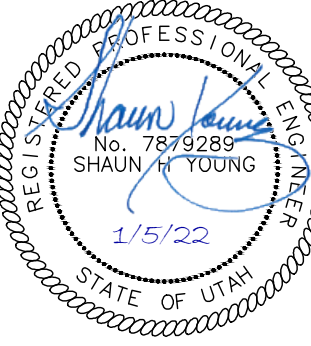


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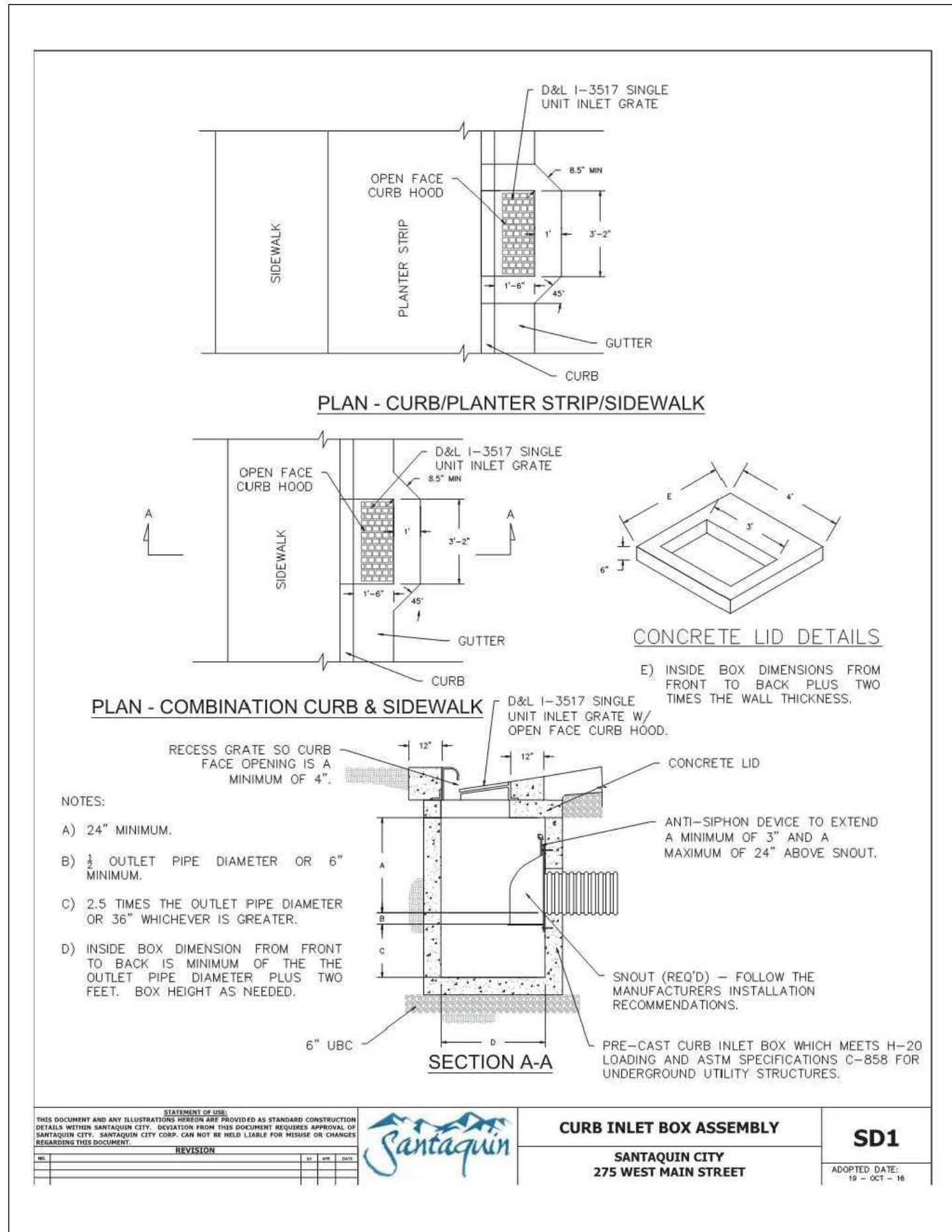
Designed by: SY
Drafted by: KF
Client Name:
CJM Limited
21-132 UT

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Water Plan & Profile
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah



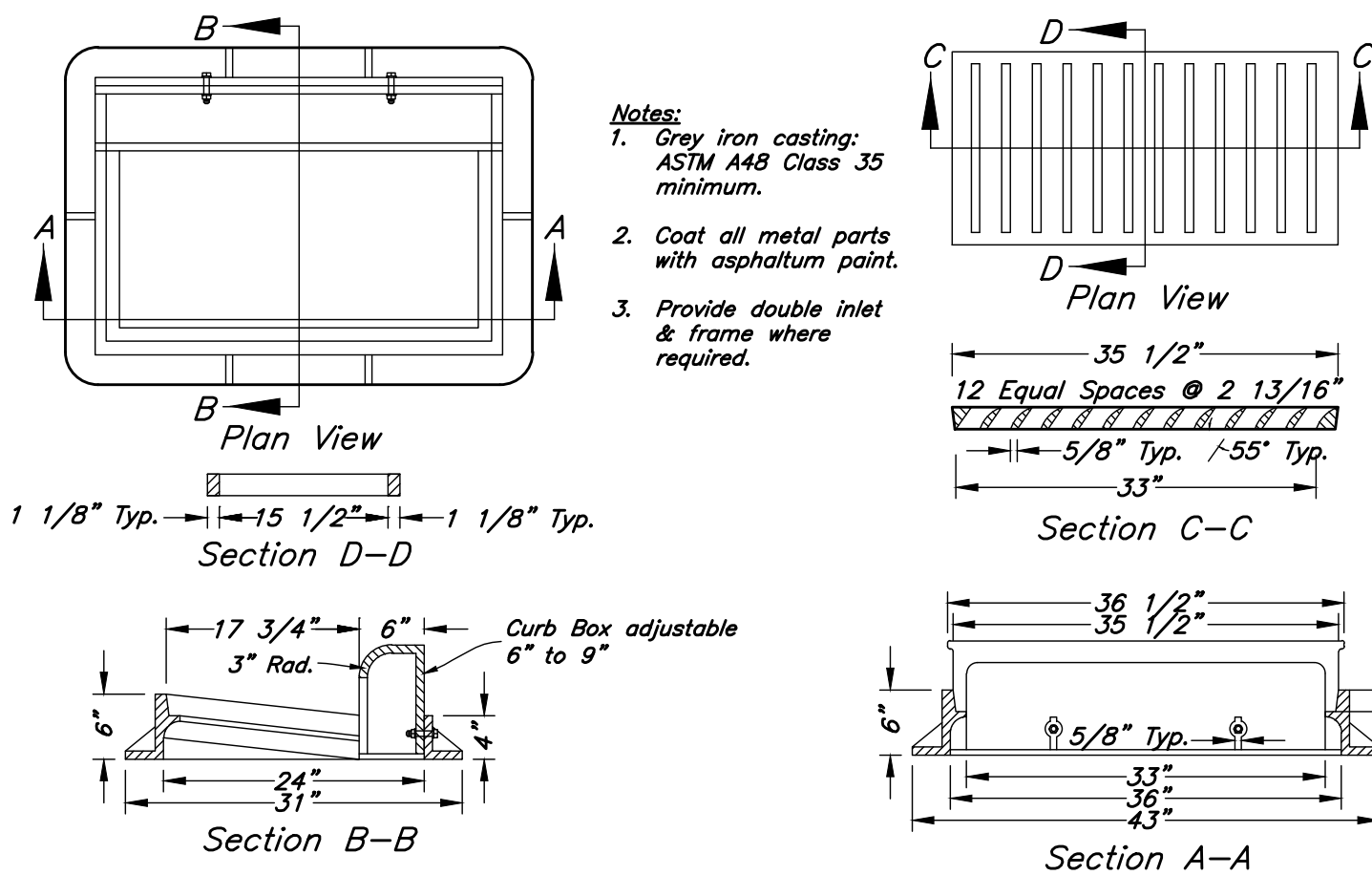
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SHEET NO.
C3.3



Santaquin City Std. Dwg. SD1 Curb Inlet Box Assembly

7

Not to Scale

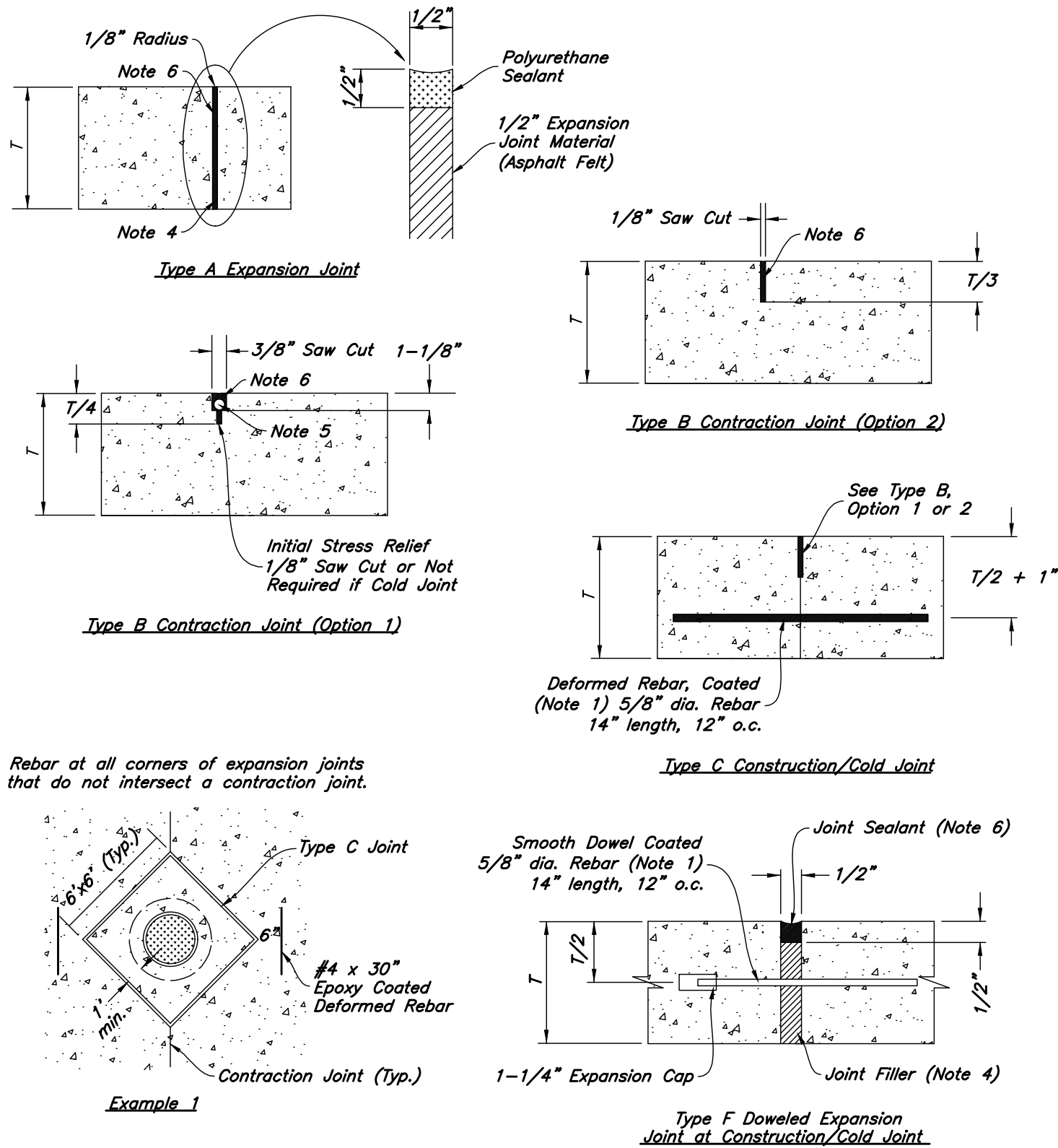


Inlet Grate Frame

6

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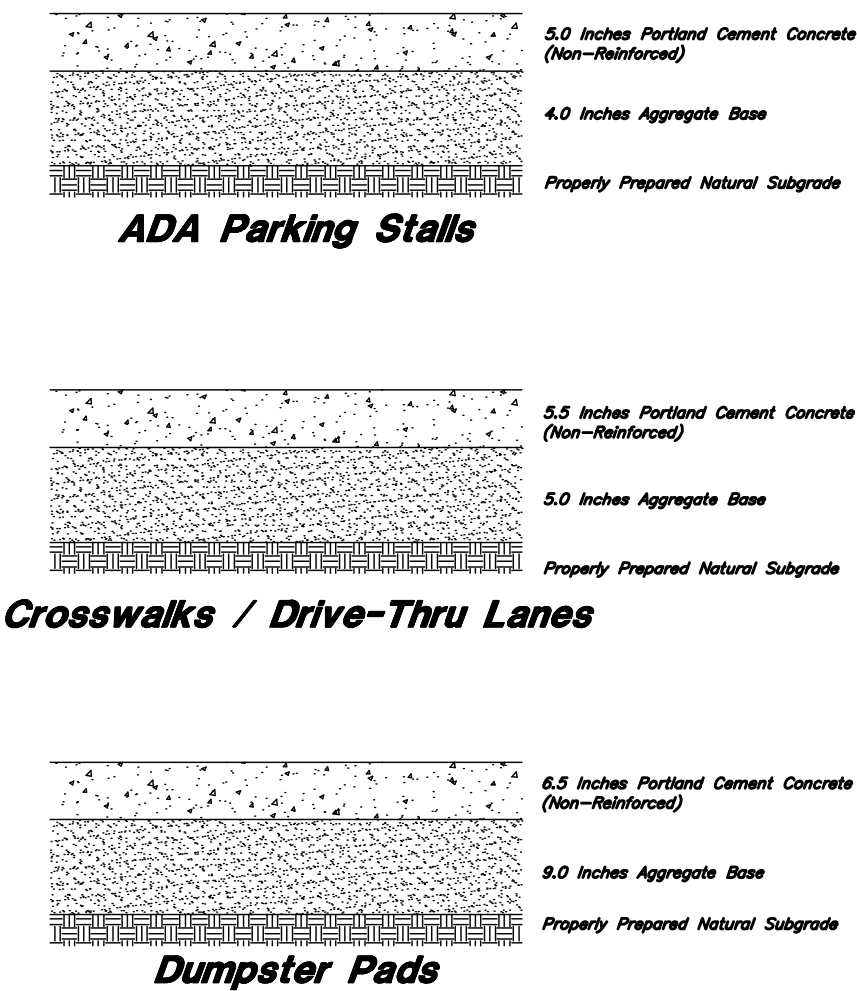
- REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.
 - Space rebar and dowels at 12 to 15 inches on center.
 - Grease dowels to provide movement in expansion joints.
 - Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.
- SAWING:** Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before shrinkage cracking takes place. Do not tear or ravel concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent tearing and raveling the concrete. Cut joints to dimensions recommend by sealant manufacturer and approved by ENGINEER.
- JOINTS:** Lay out joints to aid construction and control random cracking.
 - Joint Spacing shall be 12 feet maximum on center in both directions.
 - Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.
 - Make adjustments in joint locations to meet inlet or manhole locations.
 - Expansion Joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.
- JOINT FILLER:** Bituminous (Asphalt or tar) mastic, ASTM D894. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.
- BACKER ROD:** Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.
- JOINT SEALANT:** Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleaning.



Concrete Joint Detail

5

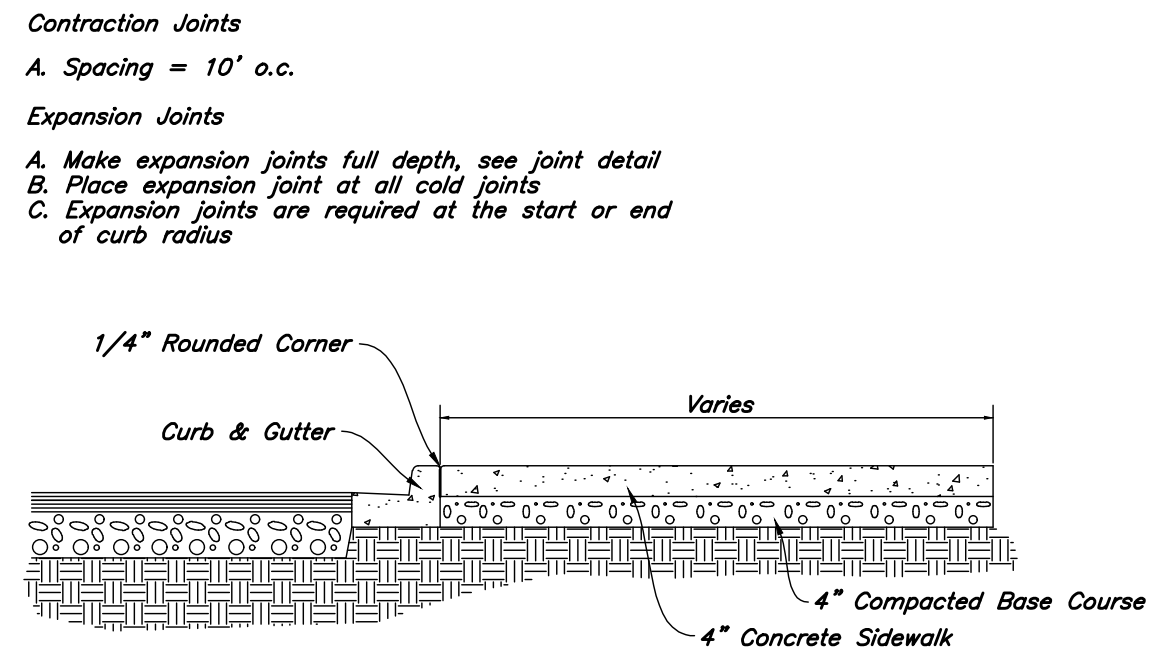
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(Private) Concrete Paving Section

4

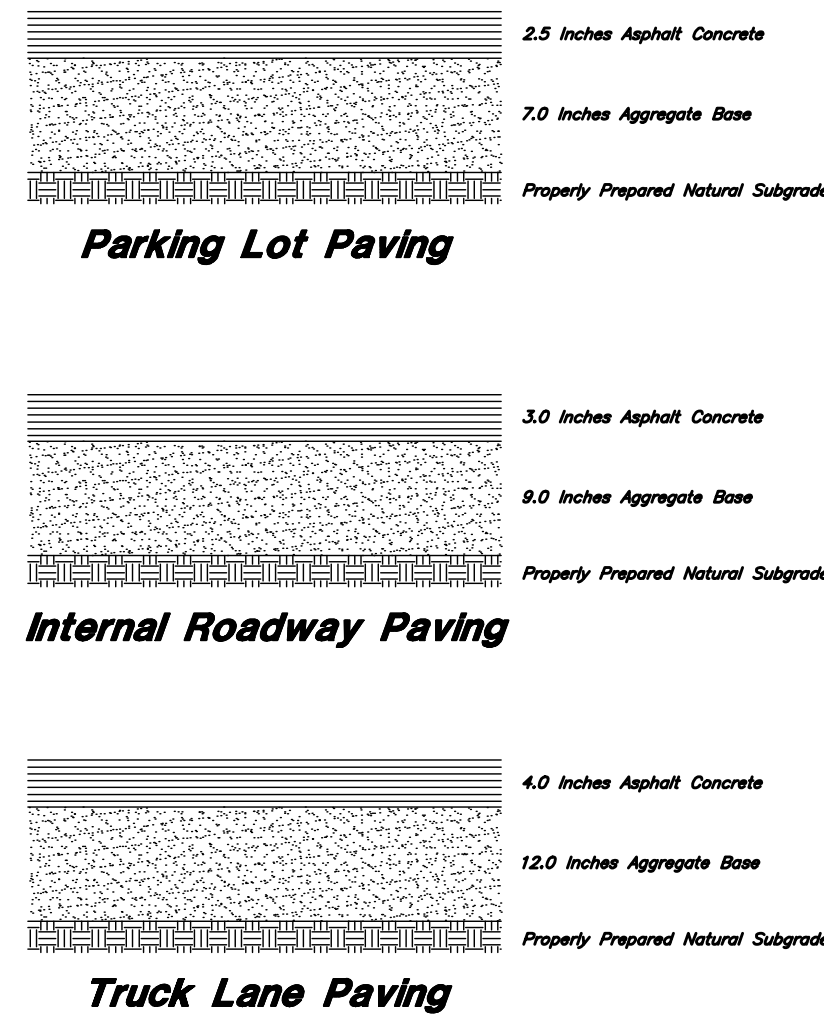
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(Private) Typical Sidewalk Detail

3

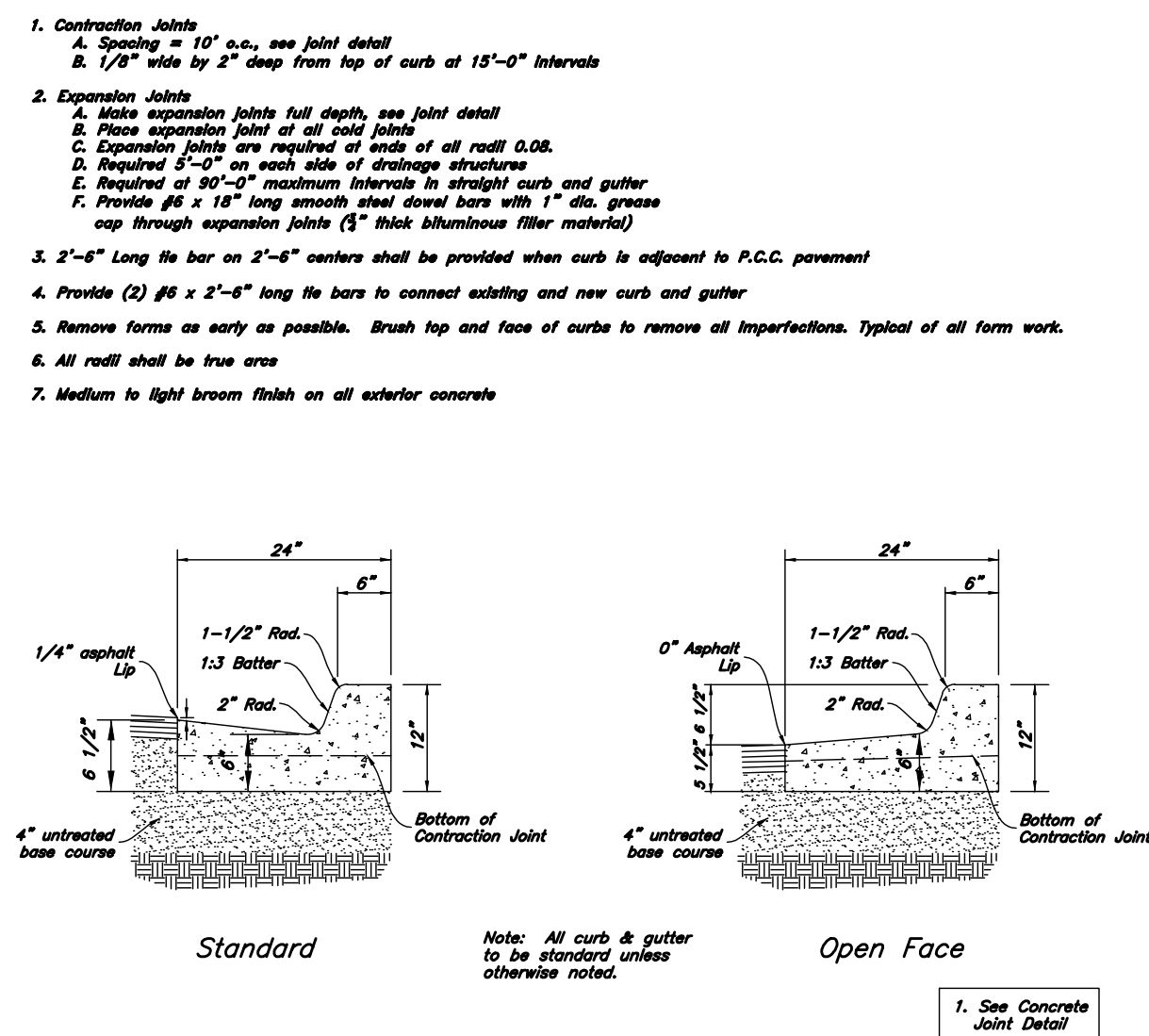
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(Private) Asphalt Sections

2

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(Private) 24" Curb And Gutter

1

Not to Scale

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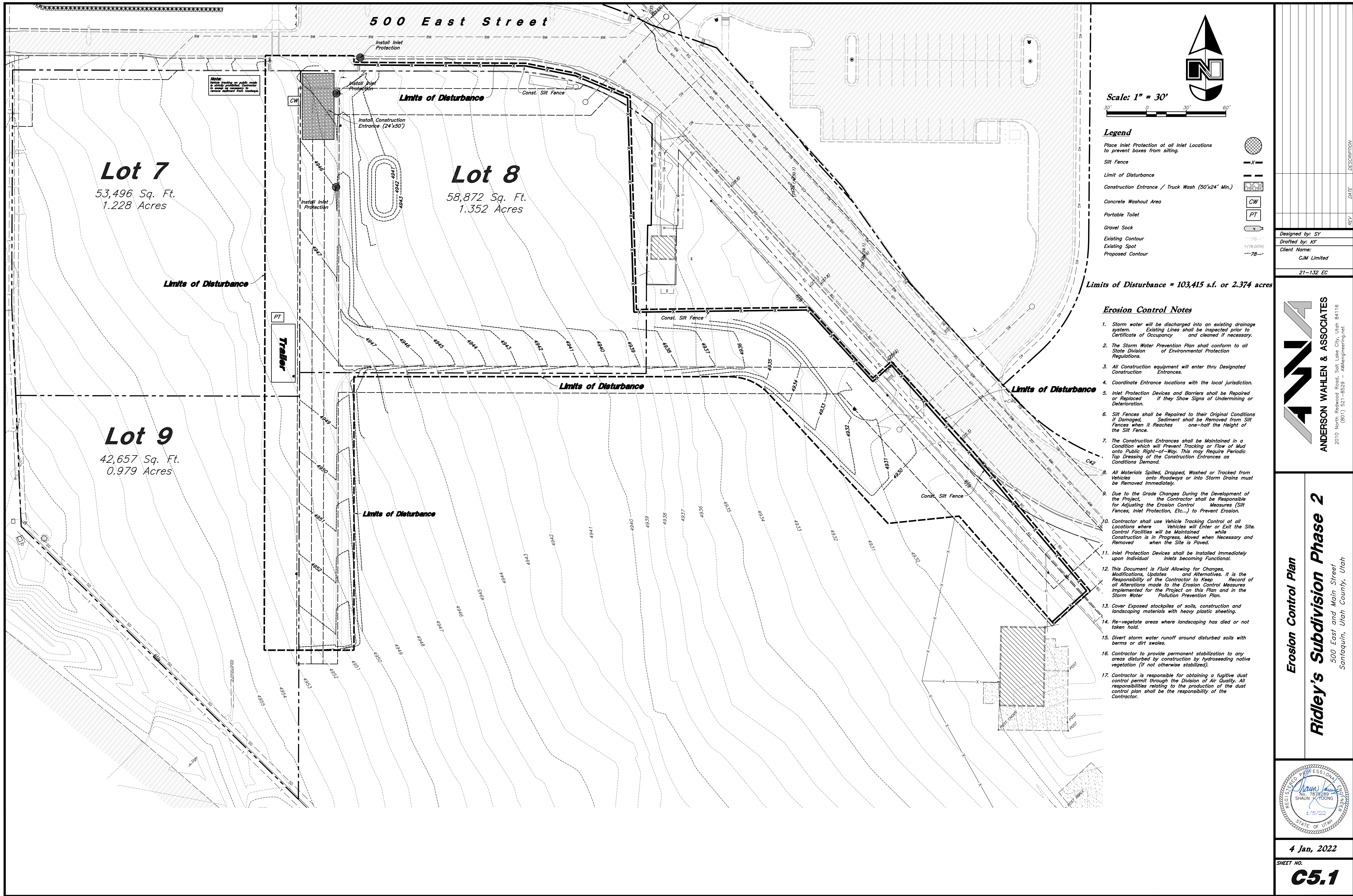
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah

SHAUN H. YOUNG
REGISTERED PROFESSIONAL ENGINEER
No. 78799-8
1/5/22
STATE OF UTAH

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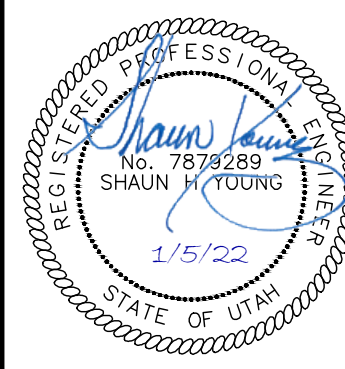
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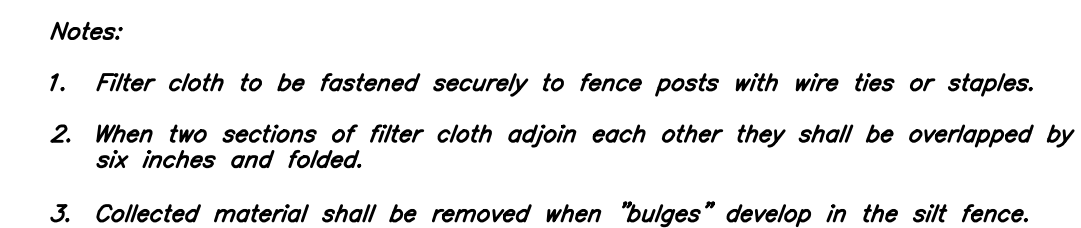
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Erosion Control Plan
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah



4 Jan, 2022
SHEET NO. **C5.1**

Not to Scale



Notes:

1. Filter cloth to be fastened securely to fence posts with wire ties or staples.
2. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
3. Collected material shall be removed when "bulges" develop in the silt fence.

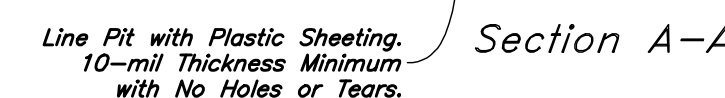
Designed by: SY

Drafted by: KF

Client Name:

21-132 EC

Not to Scale



3:1 Slope to Match
Grade Typ. to Inside
and Outside Slope.

Not to Scale



Not to Scale

Erosion Control Details

Ridley's Subdivision Phase 2

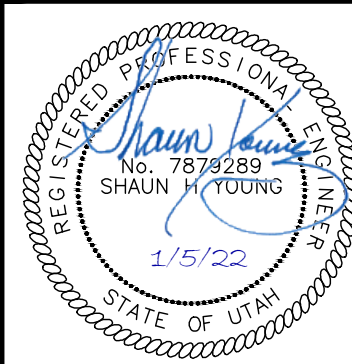
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C5.2