

North Quarter Corner Section 1,
T10S, R1E, SLB&M, U.S. Survey
(found brass cap monument)

Street

East Street
(S 03°42' E 530.15' Mon. to Mon.
S 03°50' E 530.15' Mon. to Mon.
2555.26'

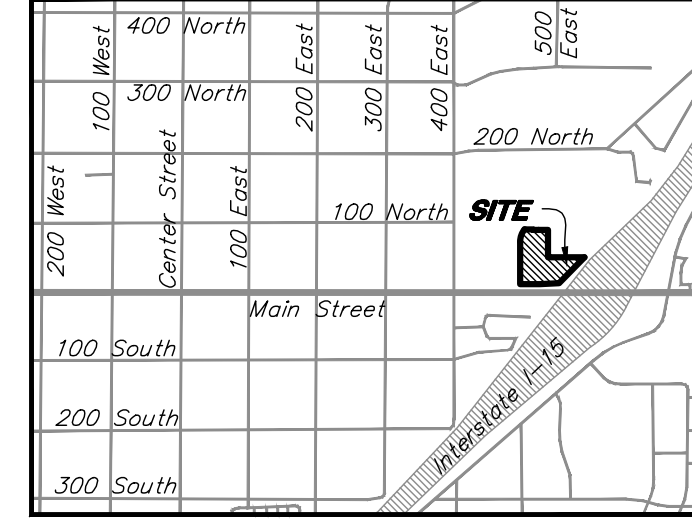
East Street
(Public Street)

400

South Quarter Corner Section 1,
T10S, R1E, SLB&M, U.S. Survey
(found brass cap monument)

Ridley's Subdivision
Entry No. 11268: 2020

Lot 6
CJM Limited Liability Limited Partnership
51-649-0006



$\Delta = 39^{\circ}40'40''$
 $R = 171.00'$
 $L = 118.42'$
 $LC = 118.07'$
 $N 20^{\circ}02'23'' E$

500 East Street
(Public Street)

Main Street
(Public Street)

Lot 8
58,872 sq. ft.
or 1.352 acres
78 North
500 East

Lot 7
53,496 sq. ft.
or 1.228 acres
38 North
500 East

Lot 9
44,380 sq. ft.
or 1.019 acres
48 North
500 East

Ridley's Subdivision
Parcel A
CJM Limited Liability Limited Partnership
51-649-0007
Entry No. 11268: 2020

Interstate
(Public Freeway)

Basis of Bearings
N 89°42'20" E UCS

2654.61'

North Quarter Corner Section 1,
T10S, R1E, SLB&M, U.S. Survey
(found brass cap monument)

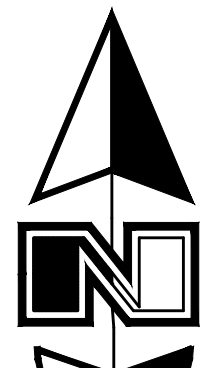
Note

This property is located in an agricultural community in which normal agricultural uses and activities are common and part of the identity of Santaquin City. It can be anticipated that such agricultural uses and activities may now or in the future be conducted near this property. Property Owners need to understand and acknowledge that they may experience annoyance or inconvenience which may result from such normal agricultural uses and activities. Additionally, property Owners must refrain from trespassing on private property which can negatively impact the integrity of agricultural lands and businesses.

Legend

- Control Line
- Property Line
- Easement Line
- Adjoiner Line
- Section Corner
- Set 5/8 rebar with plastic cap or nail with brass tag stamped AWA
- PU&DE
- Public Utility and Drainage Easement in favor of Santaquin City

Scale: 1" = 40'



Narrative

This Subdivision was requested by Ridley's Family Markets in order to create 3 Lots.

A line between monuments found for North Quarter Corner and the Northeast Corner of Section 1 was assigned the UCS bearing of North 89°42'20" East as the Basis of Bearings.

This subdivision retraces and honors the underlying 2020 Ridleys Subdivision

Property corners will be set upon completion of site construction.

Rocky Mountain Power

1. Pursuant to Utah Code Ann. 54-3-27 this plat conveys to the Owner(s) or operators of utility facilities a public utility easement along with all the rights and duties described therein.

2. Pursuant to Utah Code Ann. 17-27A-603(4)(c)(ii) Rocky Mountain Power accepts delivery of the PU&E as described in this plat and approves this plat solely for the purpose of confirming that the plat contains Public Utility Easements and approximates the location of the Public Utility Easements, but does not warrant their precise location. Rocky Mountain Power may require other easements in order to serve this development. This approval does not effect any right that Rocky Mountain Power has under:

a. A recorded easement or Right-of-Way
b. The law applicable to prescriptive rights
c. Title 54, Chapter 8a, damage to underground utility facilities or
d. Any other provision of law

Approved this ____ day of ____ 20____
Rocky Mountain Power Company
By:_____
Title:_____

Dominion Energy

a Questar Corporation

Questar Gas Company, dba Dominion Energy Utah, hereby approves this plat solely for the purposes of confirming that the plat contains public utility easements. Dominion Energy Utah may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations of liabilities including prescriptive rights and other rights, obligations of liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the owner Dedication or in the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information please contact Dominion Energy Utah's Right-of-Way Department at 1-800-366-8532.

Approved this ____ Day of ____ A.D. 20____
By:_____
Title:_____
DOMINION ENERGY, a Questar Corporation

LUMEN

Approved by Lumen this ____ Day of ____ A.D. 20____
Lumen

Acknowledgment

State of _____ } ss
County of _____

On this ____ day of ____ 20____ personally appeared before me, Mark Ridley the signer of the foregoing Instrument, who duly acknowledged to me that he is the Director of CJM Limited Liability Limited Partnership, and is authorized to execute the foregoing Dedication in its behalf and that he executed it in such capacity.

Notary Public Full Name: _____
Commission Number: _____
My Commission Expires: _____
A Notary Public Commissioned in Utah
(If above information is provided, no stamp required per Utah Code, Title 46, Chapter 1, Section 16)

A Notary Public

Owner/Developer
Ridley's Family Markets
621 Washington Street South
Twin Falls, Idaho, 83301
208.324.4633 ext. 10120
www.shopriddleys.com



Surveyor's Certificate

I, Ken B. Hawkes, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Utah and that I hold Certificate No. 8707113 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act; I further certify for, and on behalf of Anderson Wahlen & Associates that by authority of the owners I have completed a survey of the property described on this Subdivision Plat in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to retrace or reestablish this plat; and that the information shown herein is sufficient to accurately establish the lateral boundaries of the herein described tract of real property; hereafter known as

Ridley's Subdivision, Plat B

Description

A part of Parcel A, Ridley's Subdivision recorded as Entry No. 111268:2020 and as Map No. 17189 Official Records of Utah County, being a part of the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey in Utah County, Utah:

Beginning at the point of intersection of the North line of Main Street and the East line of 500 East Street as it exists at 31.00 foot half-width located 2555.26 feet South 0°30'50" East along the Quarter Section Line; and 559.13 feet South 89°46'05" East along said North line from a Brass Cap Monument found marking the North Quarter Corner of said Section 1; and running thence North 0°10'03" East 374.34 feet along said East line to a point of curvature; thence Northeasterly along the arc of a 171.00 foot radius curve to the right a distance of 118.42 feet (Central Angle equals 39°40'40" and Long Chord bears North 20°00'23" East 116.07 feet); thence South 89°29'50" East 76.68 feet along the Southerly line of an Agreement recorded as Entry No. 72273:2010 of Official Records monumented by an existing boundary line fence to the Westerly line of a Warranty Deed recorded as Entry No. 27219:2011 of Official Records as it exists on the ground; thence South 2.69 feet along said Westerly line to the Southwest Corner thereof; thence South 88°49'06" East 45.00 feet along an existing fence monumenting the Southerly line of said Warranty Deed as it exists on the ground to the Southeasterly Corner thereof; thence South 89°49'57" East 67.10 feet; thence South 0°10'03" West 261.96 feet; thence South 89°49'57" East 215.34 feet; thence North 0°10'03" East 15.00 feet; thence South 89°49'57" East 122.19 feet to the Northwesterly line of Interstate Highway I-15; thence South 44°34'11" West 315.10 feet along said Northwesterly line to said North line of Main Street; thence along said North line the following two courses: South 87°33'23" West 169.10 feet; and North 89°46'05" West 176.31 feet to said East line of 500 East Street as it exists at 31.00 foot half-width and the point of beginning.

Contains 156,748 sq. ft.
Or 3.598 acres
3 Lots

Date: _____ Ken B. Hawkes
Utah PLS No. 8707113

Owner's Dedication and Consent to Record

Know all men by these presents that I, the undersigned owner of the hereon described tract of land, hereby set apart and subdivide the same into Lots as shown on this plat and name said plat

Ridley's Subdivision, Plat B

and do hereby dedicate, grant and convey to the City of Santaquin all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares forever, and those certain public utility easements as shown hereon to be used for the installation, maintenance and operation of Public Utility service lines.

In witness whereof I have hereunto set my hand
This ____ Day of ____ A.D. 20 ____

CJM Limited Liability Limited Partnership

by: Mark Ridley
its: Director

Approval By Legislative Body

The City Council of the City of Santaquin, County of Utah, approves this subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.

This ____ day of ____ A.D. 20 ____

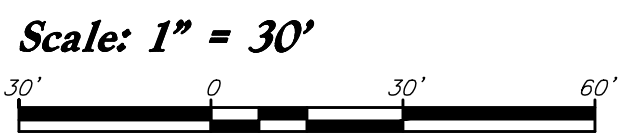
City Mayor _____ Attest _____
City Recorder (See Seal Below) _____

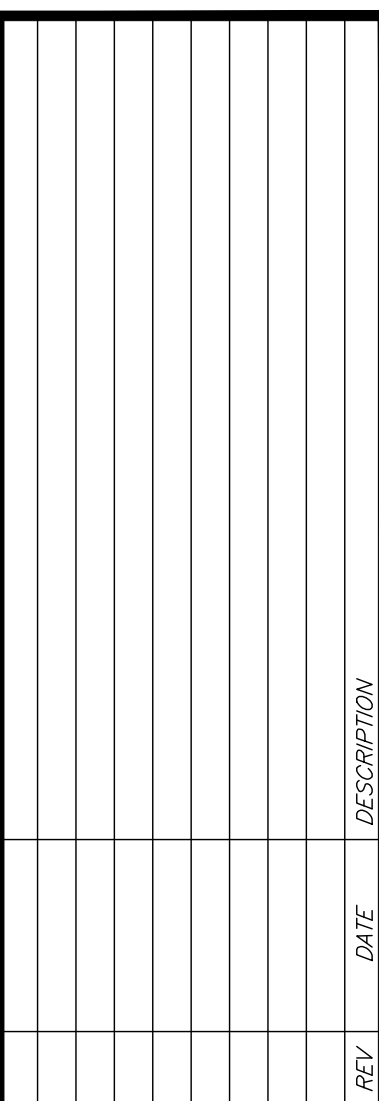
Ridley's Subdivision, Plat B

A part Parcel A, Ridley's Subdivision, located in the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey City of Santaquin, Utah County, Utah

Surveyors Seal
PROFESSIONAL LAND SURVEYOR
8707113
KEN B. HAWKES
STATE OF UTAH

City Engineer Seal
Clerk-Recorder Seal

**CO.1**

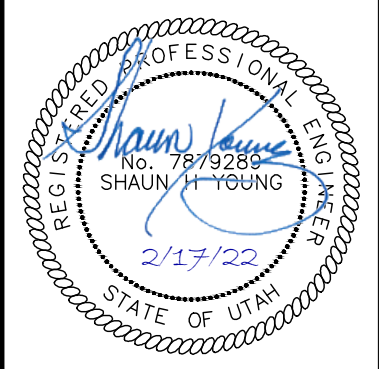


Designed by: SY
Drafted by: KF
Client Name: CJM Limited
21-132 Phasing Plan



Phasing Plan

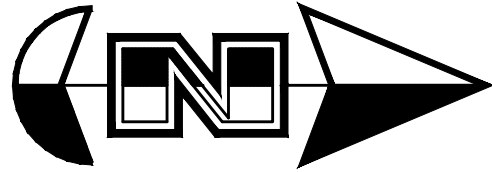
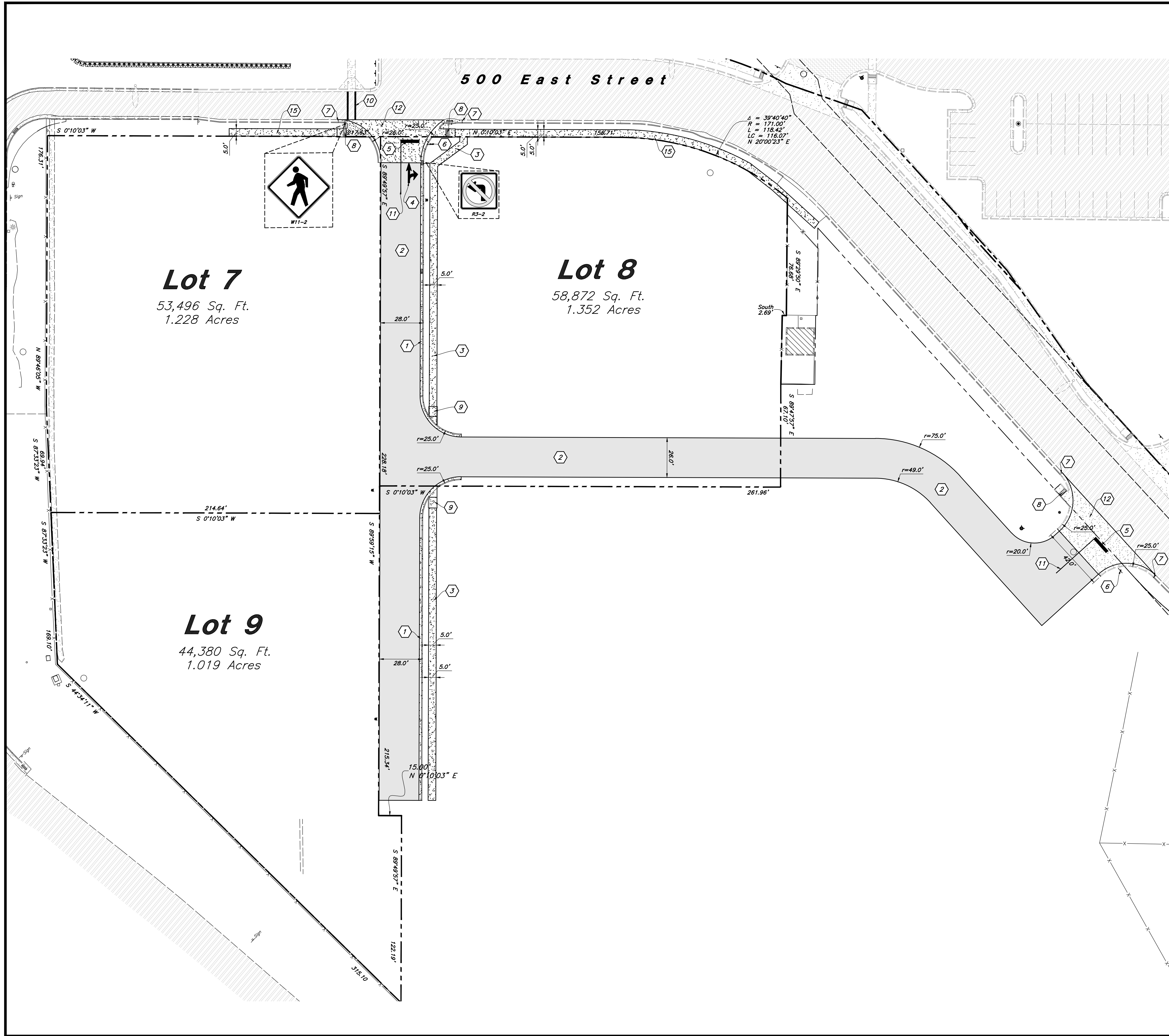
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah



17 Feb, 2022

SHEET NO.

C1.0



Scale: 1" = 30'



Site Data

Zone: C-1 General Commercial
Overall Area = 155,025 s.f. (3.559 ac.)
Lot 7 Area = 53,496 s.f. (1.228 ac.)
Lot 8 Area = 58,872 s.f. (1.352 ac.)
Lot 9 Area = 44,380 s.f. (1.019 ac.)

Site Construction Notes

- 1 Const. 24" Curb & Gutter (1/4" C4.1)
- 2 Const. Asphalt Paving (2/4" C4.1)
- 3 Const. Concrete Sidewalk (3/4" C4.1)
- 4 Const. Directional Arrows per MUTCD
- 5 Const. 24" White Stop Bar
- 6 Const. Stop Sign per MUTCD R1-1
- 7 Connect to Existing Improvements and Match Grade Elevation
- 8 Const. Pedestrian Ramp per Santaquin City Standards
- 9 Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition)
- 10 Const. 12" White Paint Stripe Pedestrian Crossing, Contractor Shall Provided 15 mils Min. Thickness
- 11 Const. 4" Yellow Paint Stripe (Typ.) Contractor Shall Provided 15 mils Min. Thickness
- 12 Const. Concrete Paving (4/4" C4.1)
- 13 Const. Left Turn Prohibition Sign per MUTCD R3-2
- 14 Const. Pedestrian Traffic Sign per MUTCD W11-2
- 15 Const. Concrete Sidewalk per Santaquin City Standards (8/4" C4.2)

General Site Notes:

1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

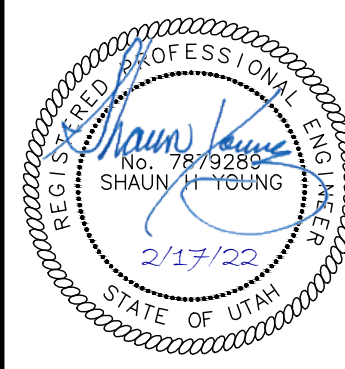
PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Designed by: SY
Drafted by: KF
Client Name:
CJM Limited
21-132 SP

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 321-8529 - AWaengineering.net

Site Plan
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah



17 Feb, 2022

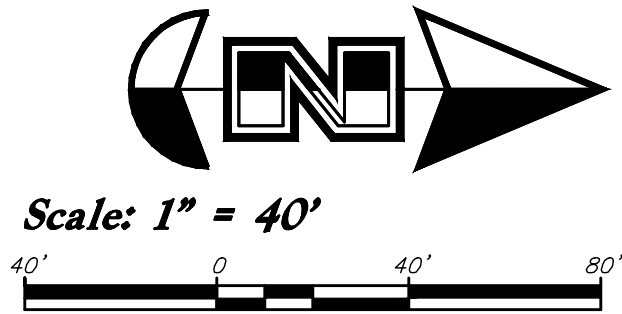
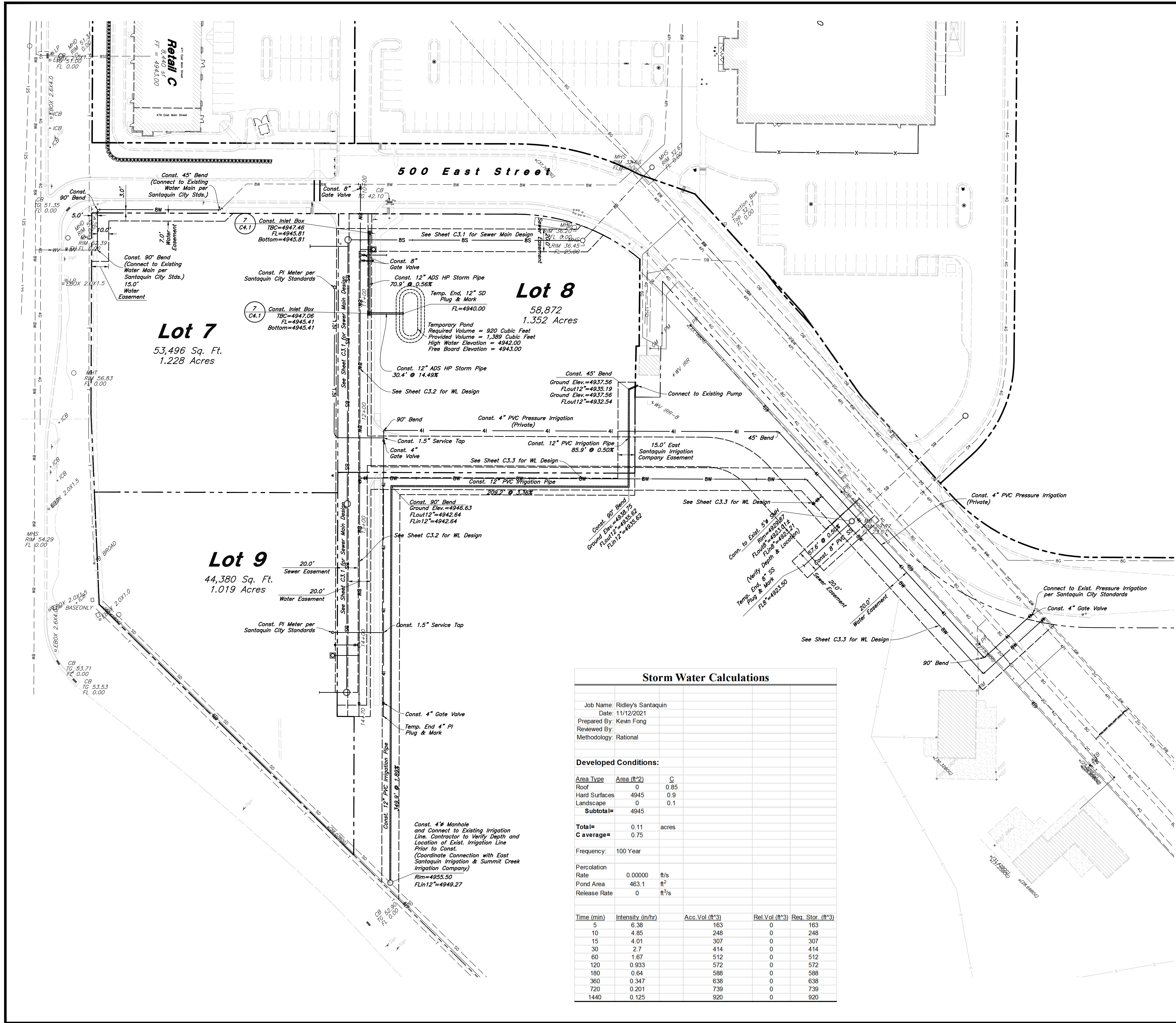
SHEET NO.

C1.1



1. Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
2. Running slope of sidewalks shall be built per grades shown on the plan. where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%
3. Refer to the Site Plan for sidewalk dimensions.

C2.1



General Utility Notes:

1. All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
2. Coordinate all utility connections to building with plumbing plans and building contractor.
3. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
4. All catch basin and inlet box grates are to be bicycle proof.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
9. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
2. Copper Pipe (Up to 3 inches diameter): Type 'K'.

Water Main Lines and Fire Lines

1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): AWWA C900, Class 200

Sanitary Sewer Lines

1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35

Storm Drain Lines

1. 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
2. 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

Storm Drain & Sanitary Sewer Note:

All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure

Onsite Utility Connection Notes:

1. Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
2. Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any waterline installation
3. Construction of any onsite utilities prior to the offsite connection will be done at the contractors risk.

CAUTION :

The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

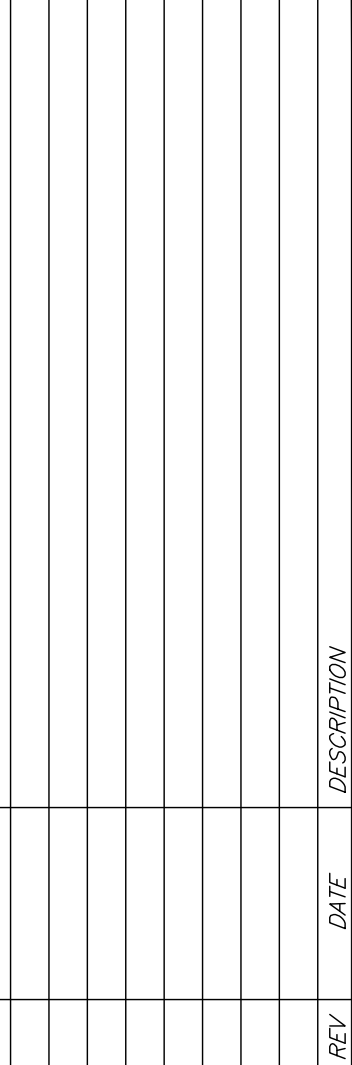
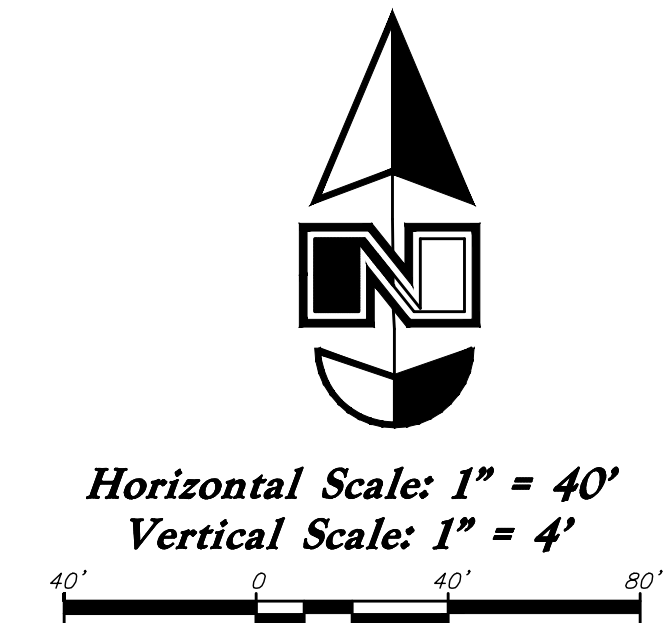


Storm Water Calculations				
Job Name: Ridley's Santaquin				
Date: 11/12/2021				
Prepared By: Kevin Fong				
Reviewed By:				
Methodology: Rational				
Developed Conditions:				
Area Type	Area (ft ²)	C		
Roof	0	0.85		
Hard Surfaces	4945	0.9		
Landscape	0	0.1		
Subtotal=	4945			
Total=	0.11	acres		
C average=	0.75			
Frequency:	100 Year			
Percolation Rate	0.00000	ft/s		
Pond Area	463.1	ft ²		
Release Rate	0	ft ³ /s		
Time (min)	Intensity (in/hr)	Acc. Vol (ft ³)	Rel. Vol (ft ³)	Req. Stor. (ft ³)
5	6.38	163	0	163
10	4.85	248	0	248
15	4.01	307	0	307
30	2.7	414	0	414
60	1.67	512	0	512
120	0.933	572	0	572
180	0.64	588	0	588
360	0.347	638	0	638
720	0.201	739	0	739
1440	0.125	920	0	920

Anderson Wahlen & Associates
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWaEngineering.net

Overall Utility Plan
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah

17 Feb, 2022
SHEET NO.
C3.0



Designed by: SY
Drafted by: KF
Client Name:
CJM Limited
21-132 UT

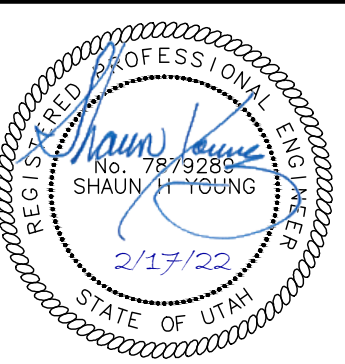


ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 — AWAengineering.net

Sewer Plan & Profile

Ridley's Subdivision Phase 2
500 East and Main Street

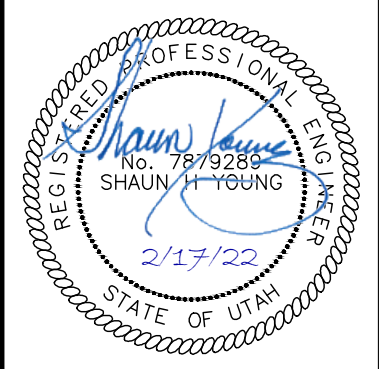
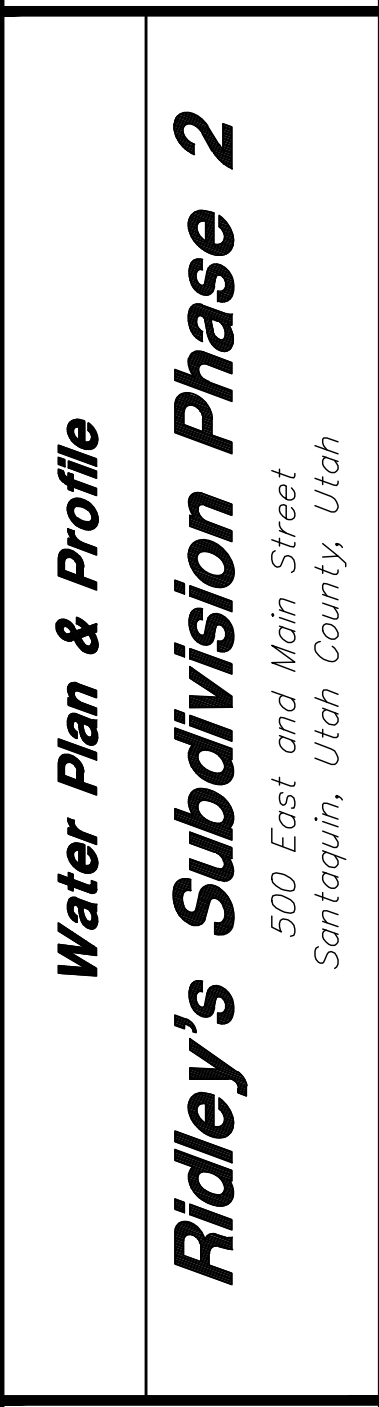
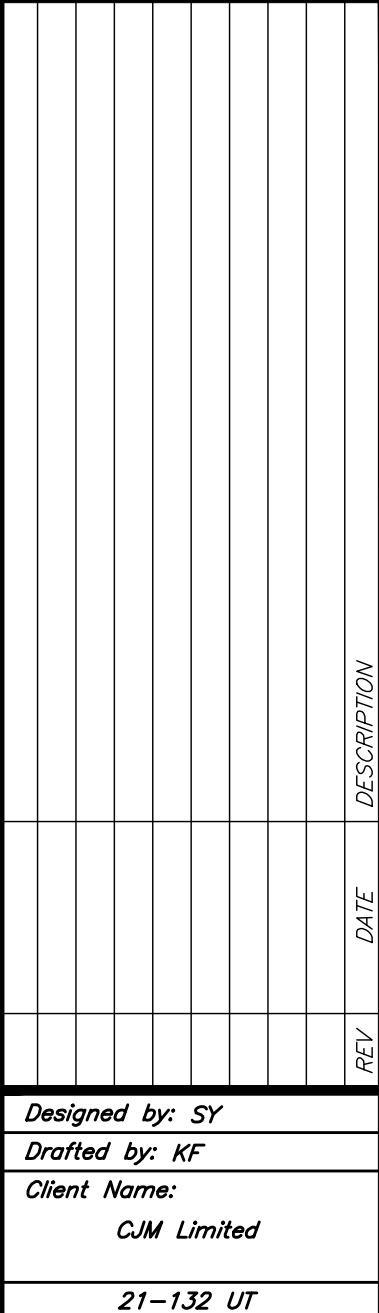
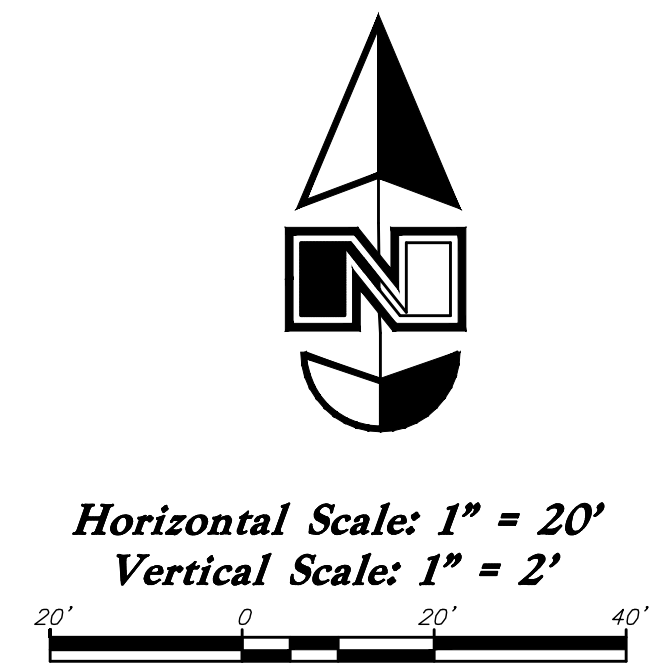
500 East and Main Street
Santaquin, Utah County, Utah



17 Feb, 2022

SHEET NO.

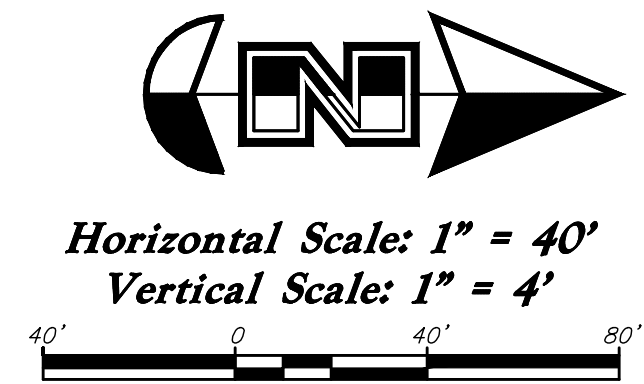
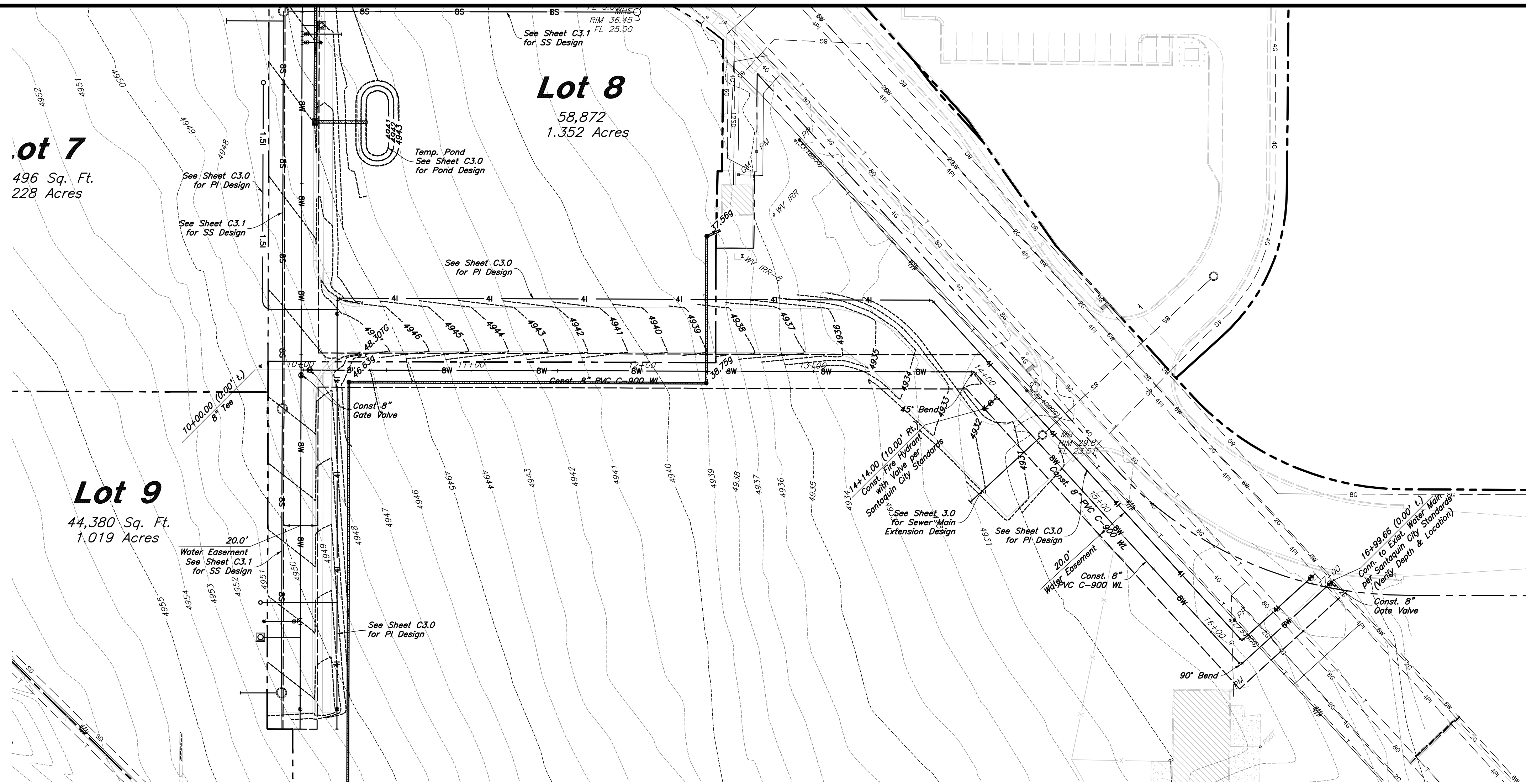
C3.1



17 Feb, 2022

SHEET NO.

C3.2



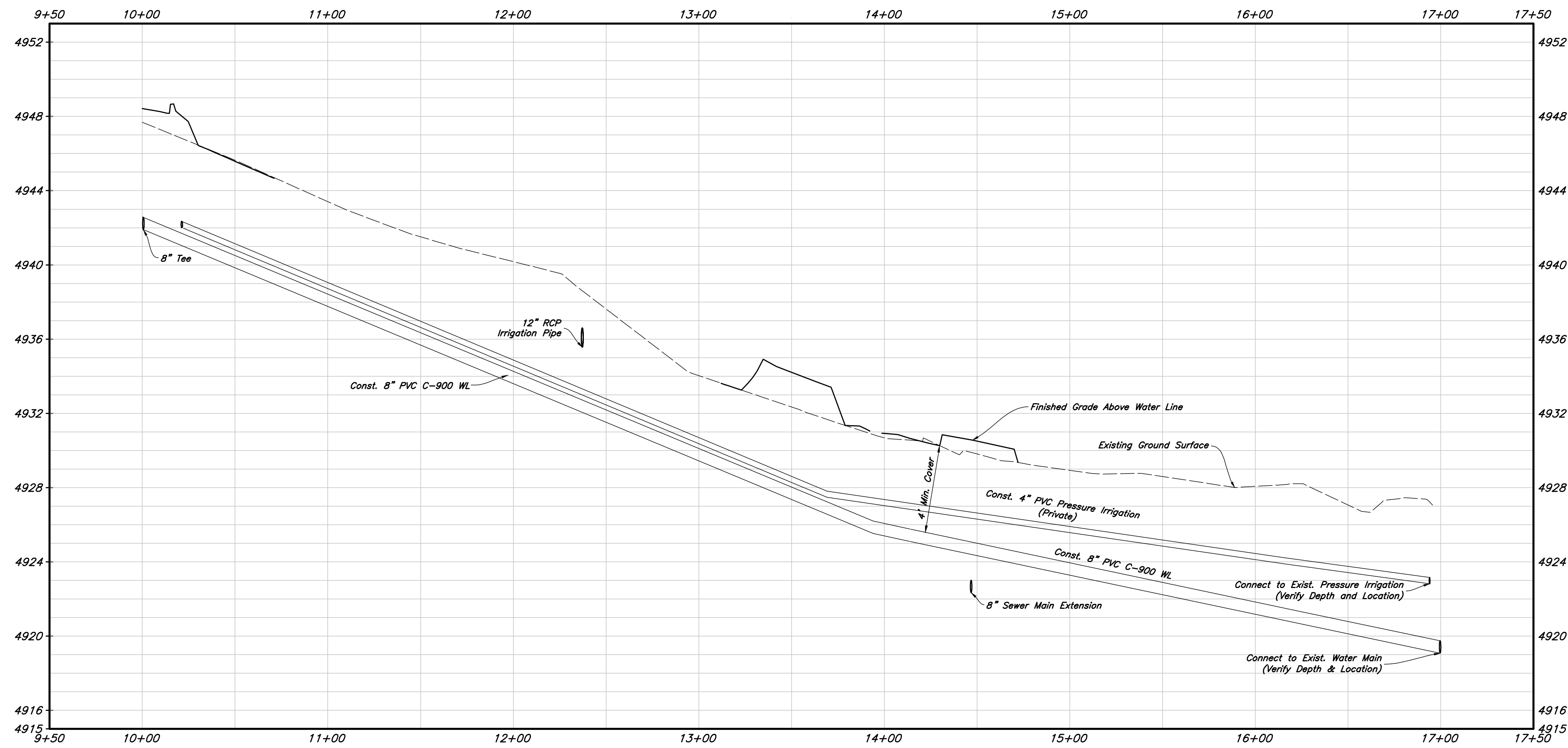
Designed by: SY
Drafted by: KF
Client Name:
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21-132 UT

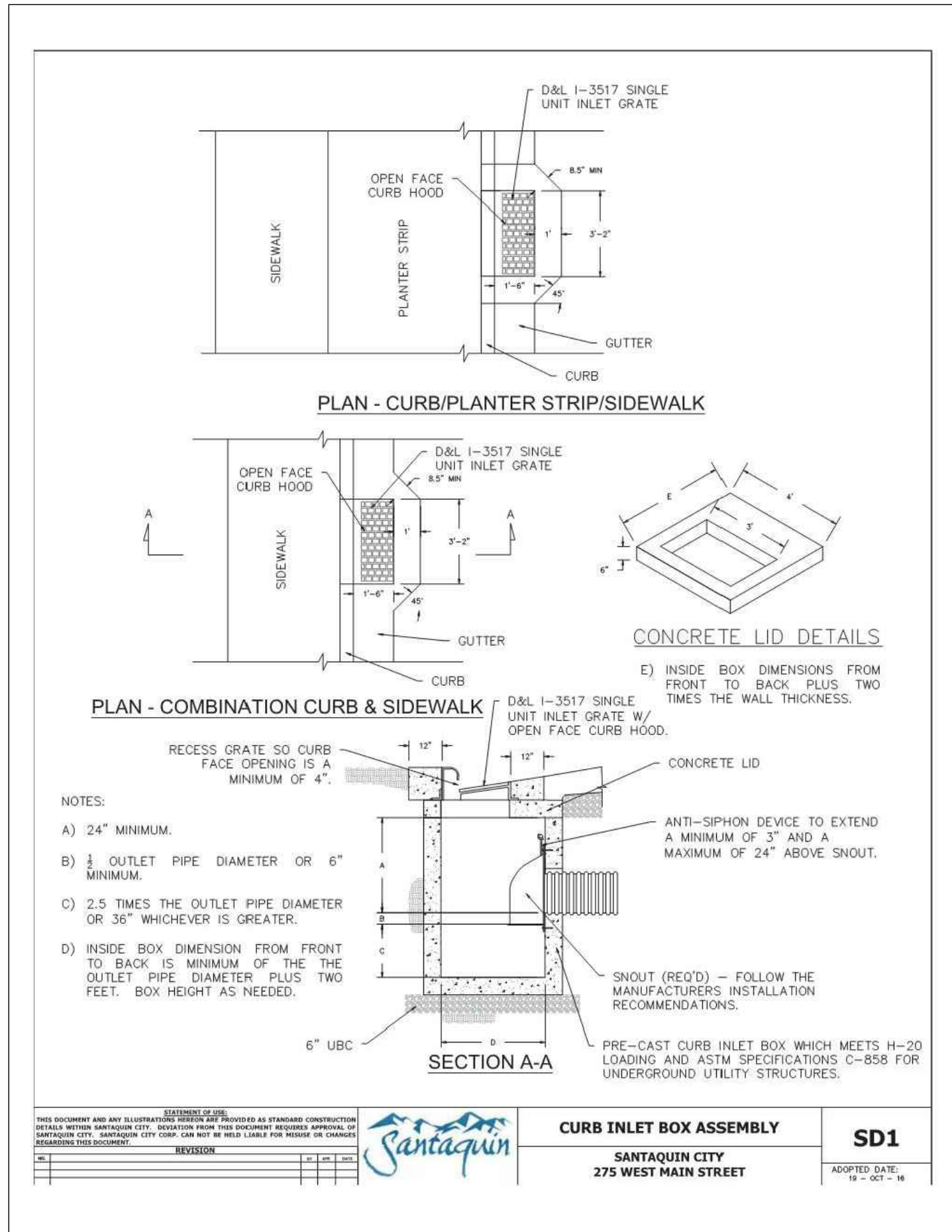
ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - awhengineering.net

Water Plan & Profile
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah

REGISTERED PROFESSIONAL ENGINEER
No. 79938
SHAUN A. YOUNG
2/17/22
STATE OF UTAH

17 Feb, 2022
SHEET NO.
C3.3

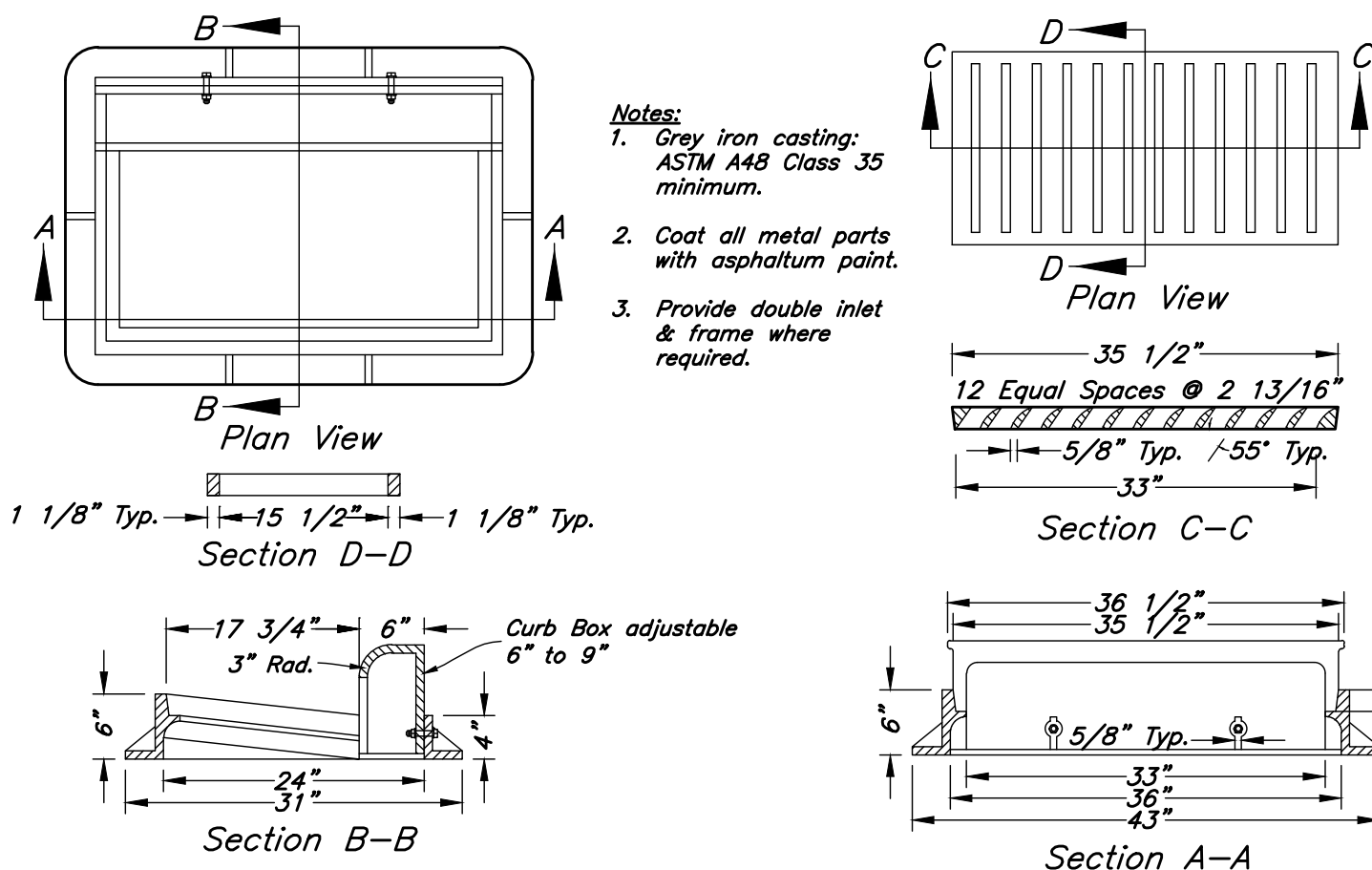




Santaquin City Std. Dwg. SD1 Curb Inlet Box Assembly

7

Not to Scale

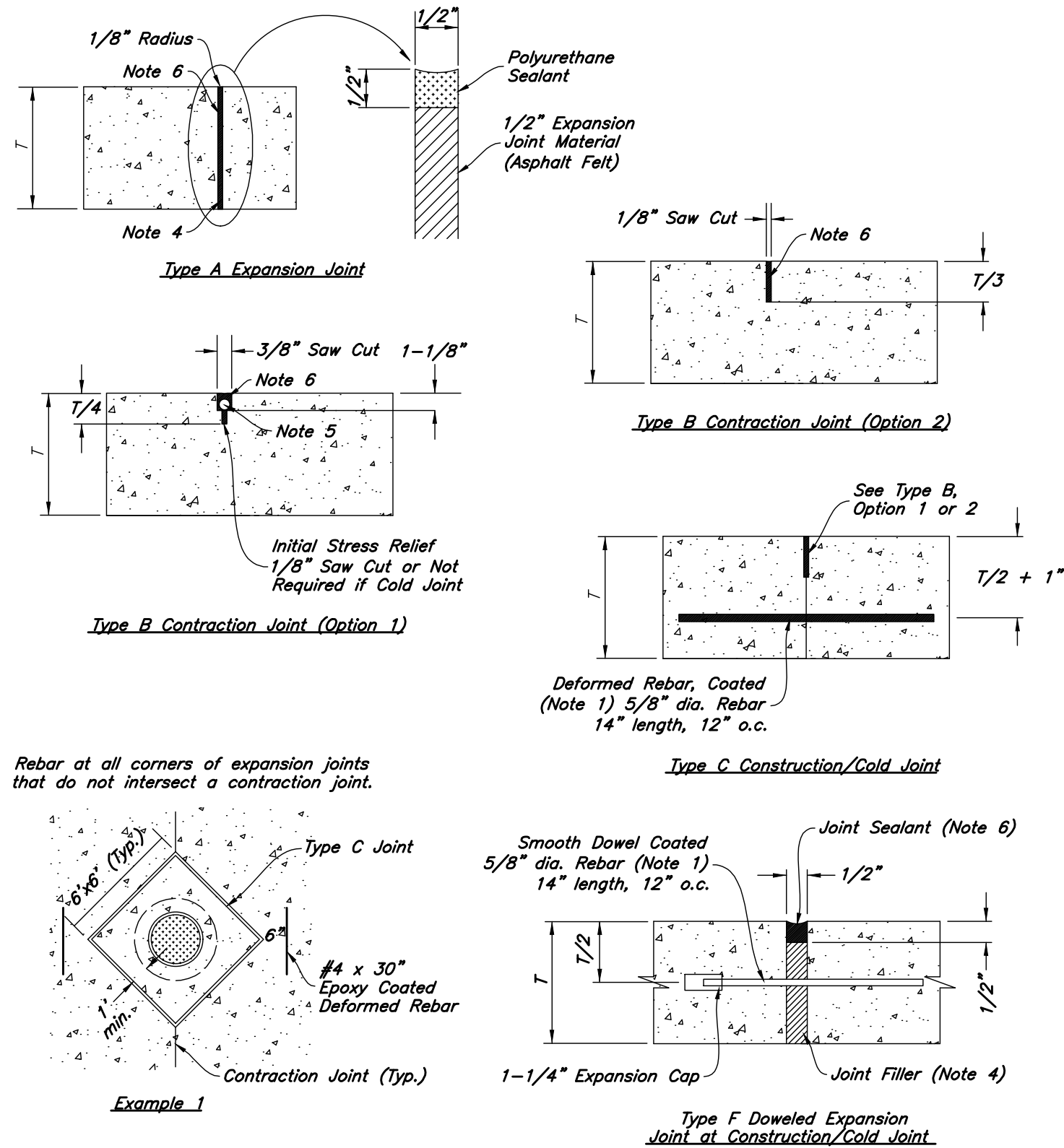


Inlet Grate Frame

6

Not to Scale

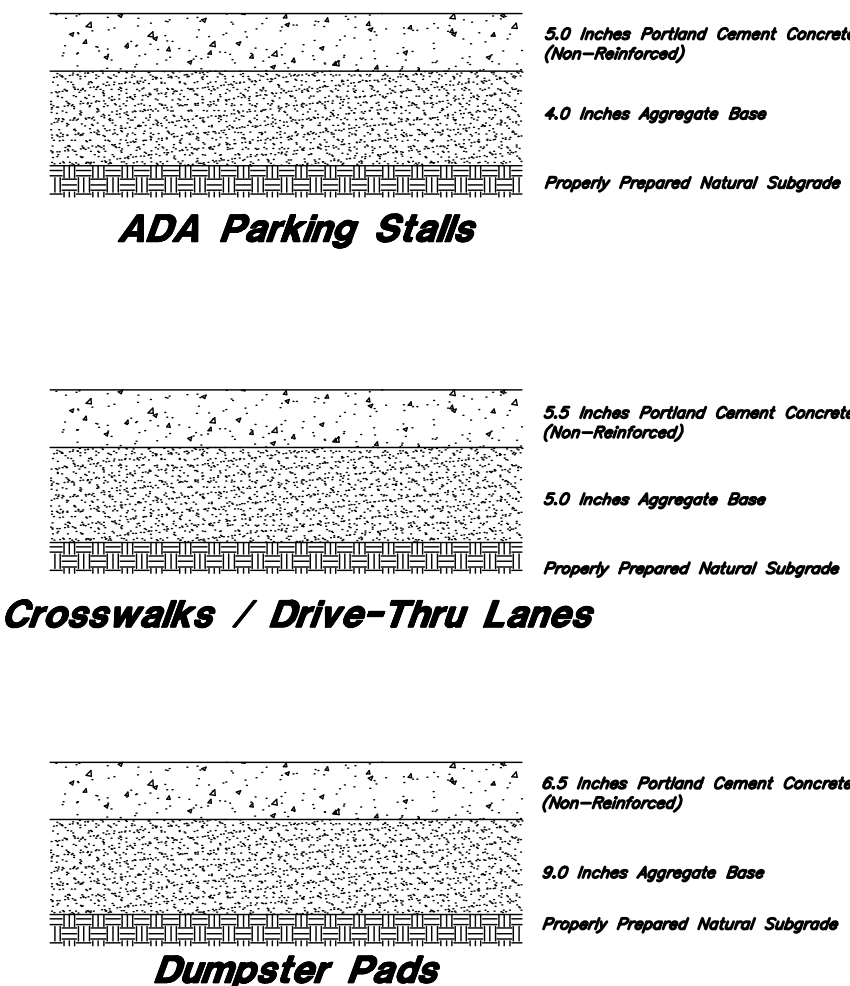
- REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.
 - Space rebar and dowels at 12 to 15 inches on center.
 - Grease dowels to provide movement in expansion joints.
 - Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.
- SAWING:** Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before shrinkage cracking takes place. Do not tear or ravel concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent tearing and raveling the concrete. Cut joints to dimensions recommend by sealant manufacturer and approved by ENGINEER.
- JOINTS:** Lay out joints to aid construction and control random cracking.
 - Joint Spacing shall be 12 feet maximum on center in both directions.
 - Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.
 - Make adjustments in joint locations to meet inlet or manhole locations.
 - Expansion Joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.
- JOINT FILLER:** Bituminous (Asphalt or tar) mastic, ASTM D894. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.
- BACKER ROD:** Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.
- JOINT SEALANT:** Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleaning.



Concrete Joint Detail

5

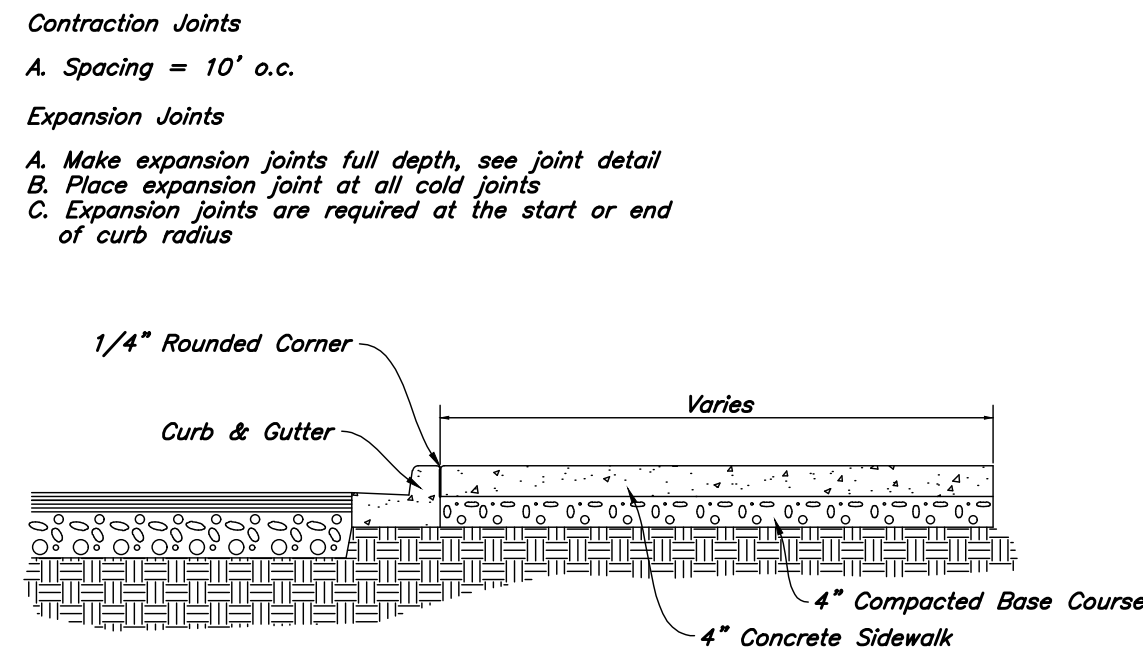
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(Private) Concrete Paving Section

4

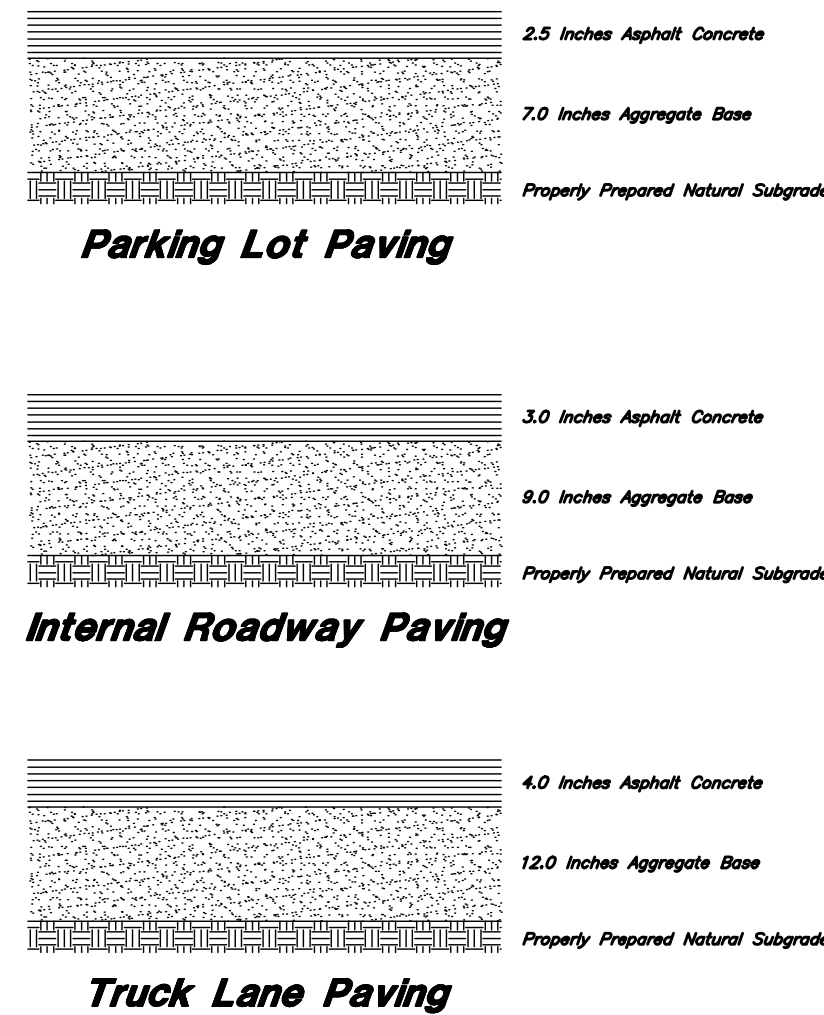
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(Private) Typical Sidewalk Detail

3

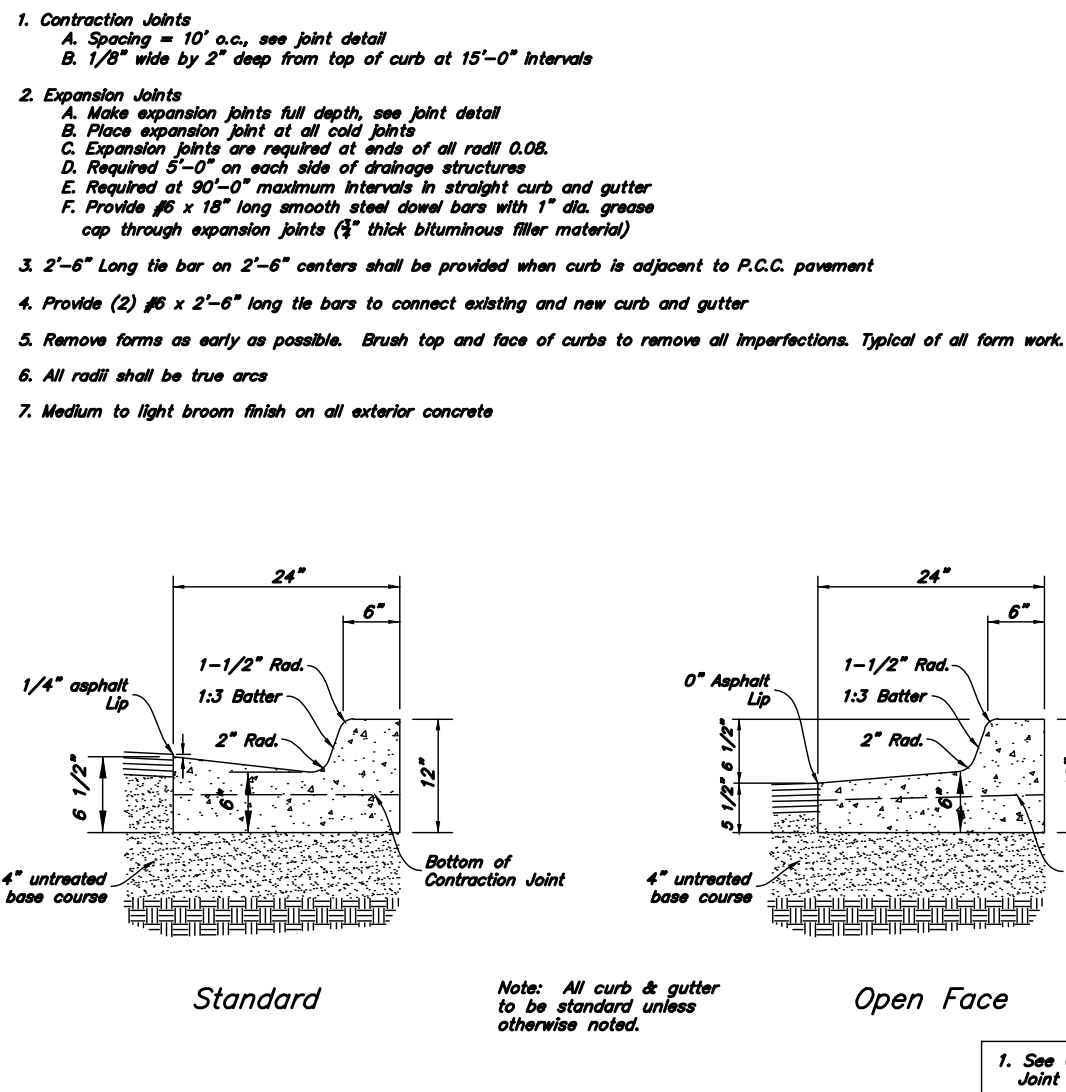
Not to Scale



(Private) Asphalt Sections

2

Not to Scale



(Private) 24" Curb And Gutter

1

Not to Scale

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWahlen@engineering.net

Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah

SHAUN H. YOUNG
REGISTERED PROFESSIONAL ENGINEER
No. 79938
2/17/22
STATE OF UTAH

17 Feb, 2022
SHEET NO.
C4.1

13

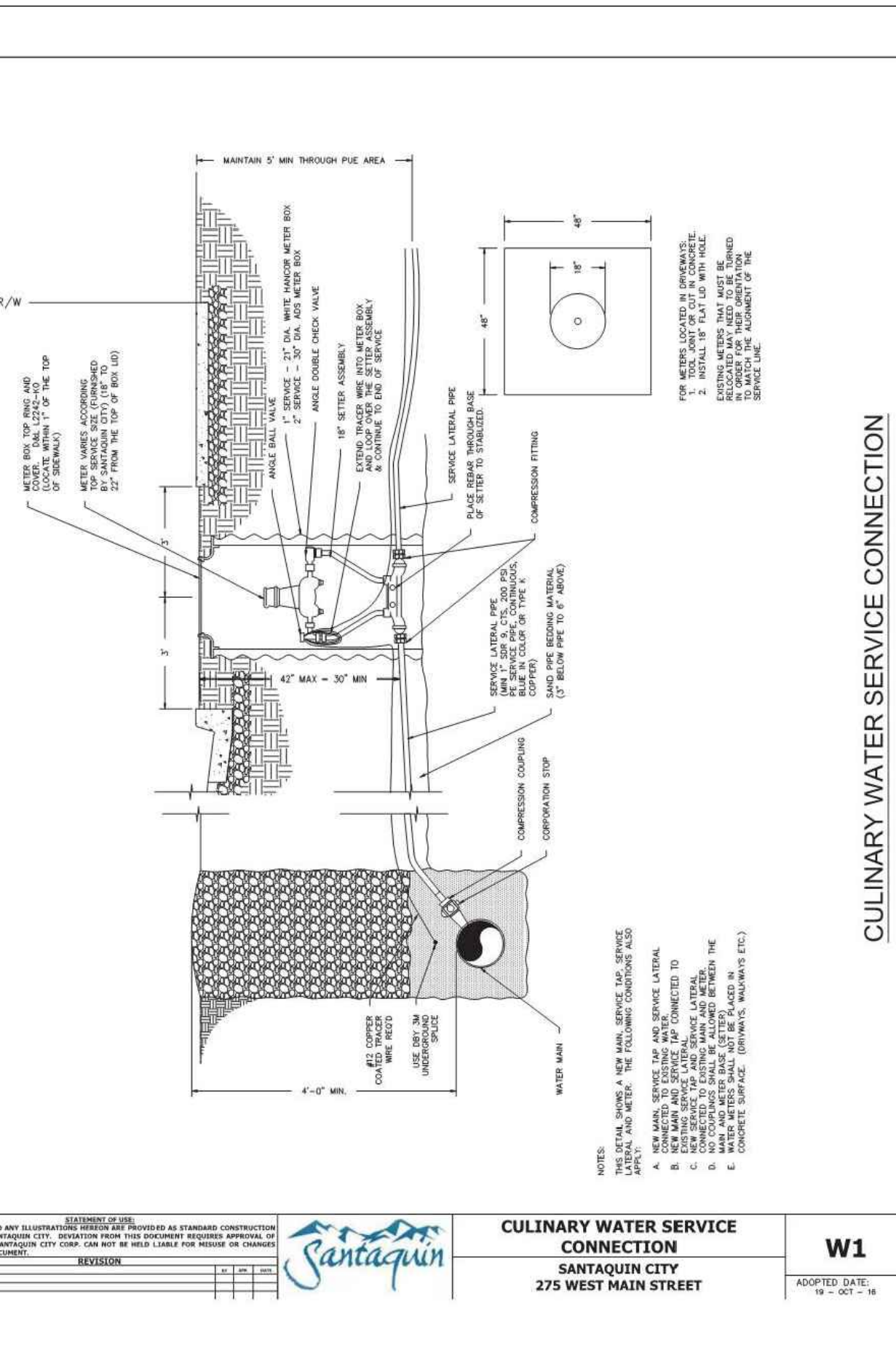
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11

Santaquin City Std. Dwg. UT4
Thrust Block Details
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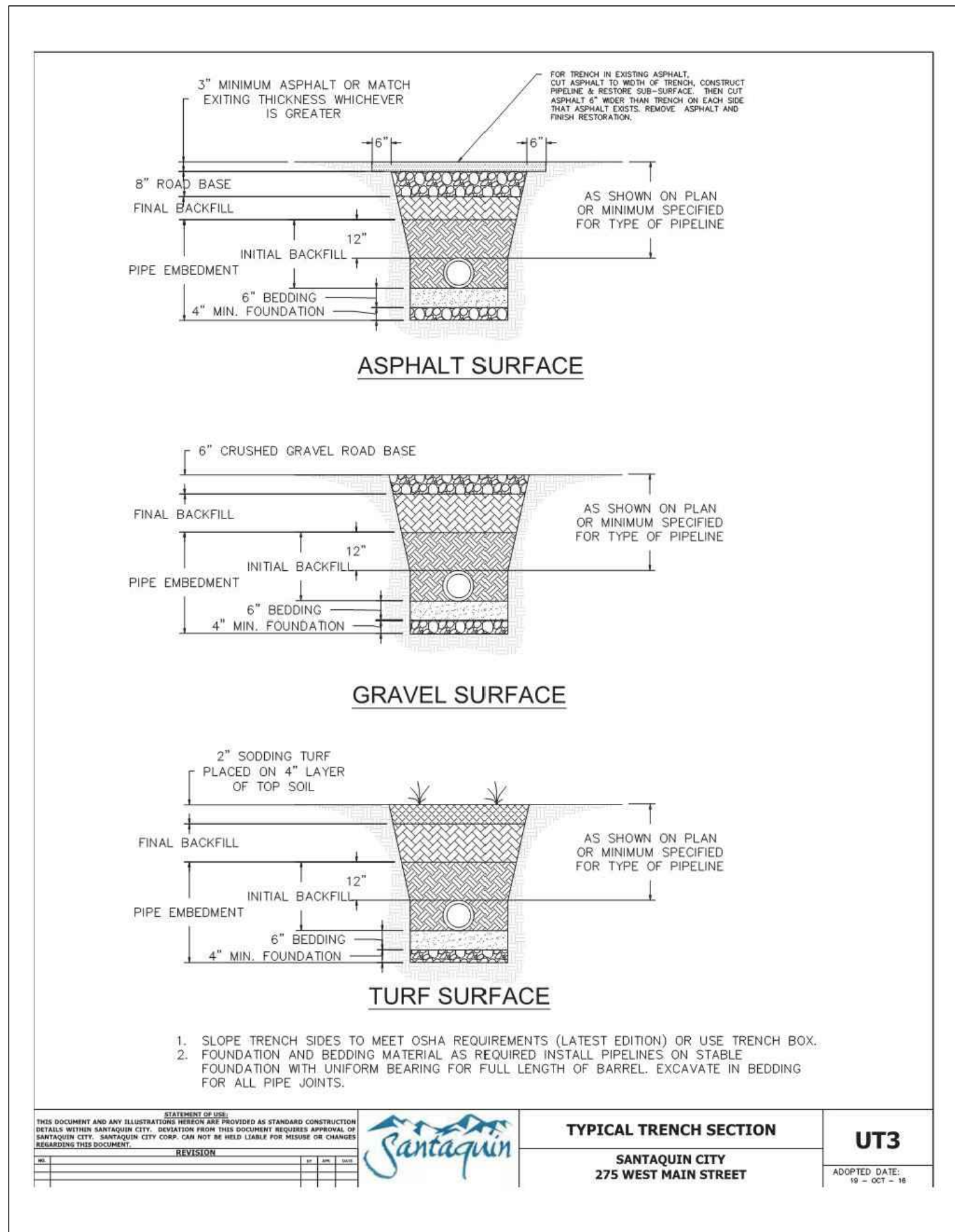
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Santaquin City Std. Dwg. W2
Fire Hydrant & Water Valve
Not to Scale



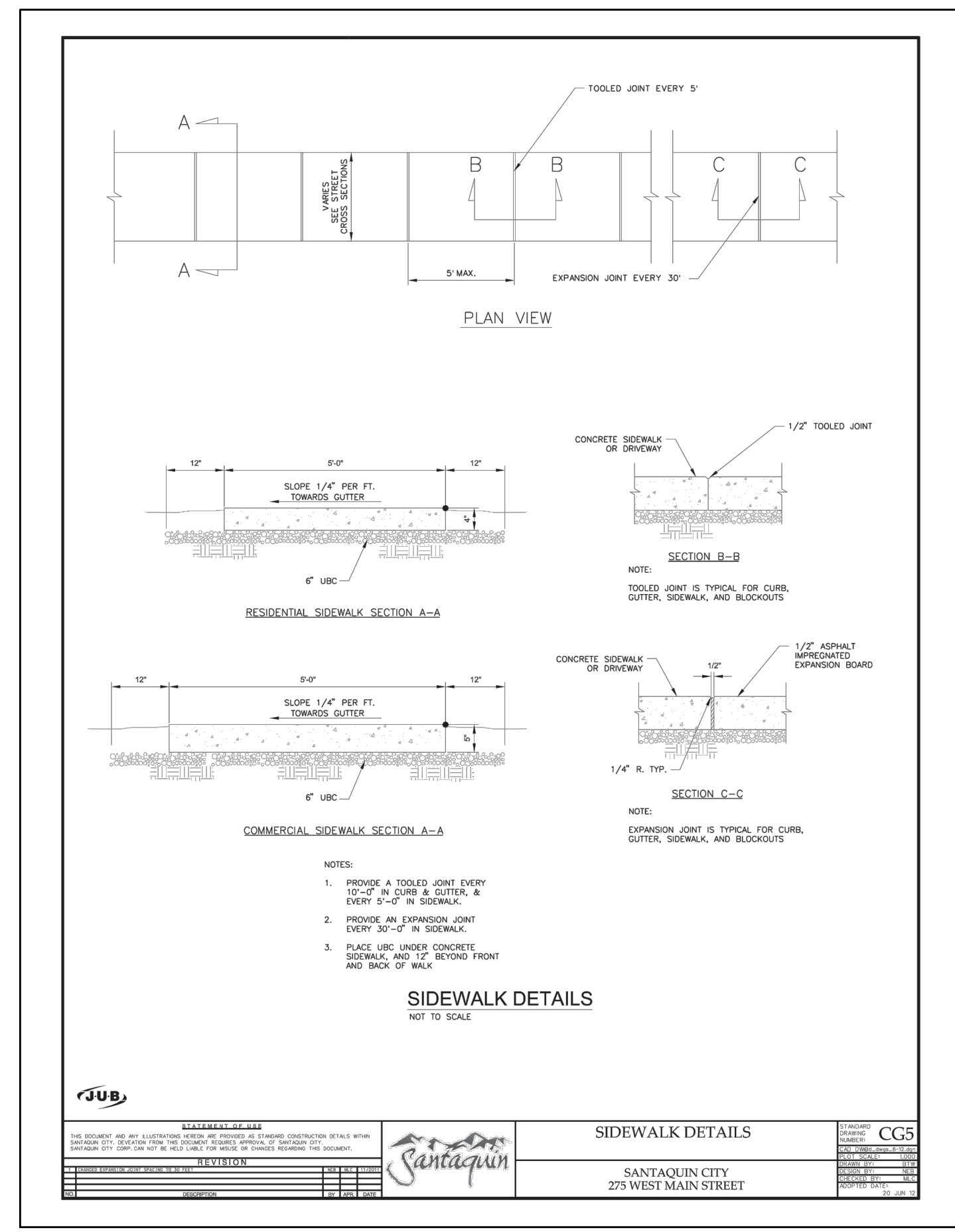
12

Santaquin City Std. Dwg. W1
Culinary Water Service Connection
Not to Scale



10

Santaquin City Std. Dwg. UT3
Typical Trench Section
Not to Scale

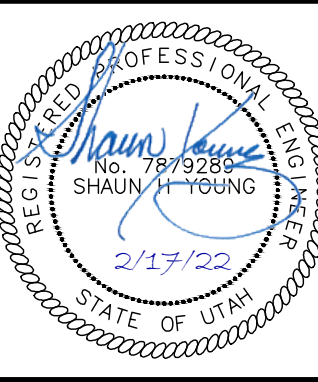


8

Santaquin City Std. Dwg. CG5
Sidewalk Detail
Not to Scale

Details

Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah



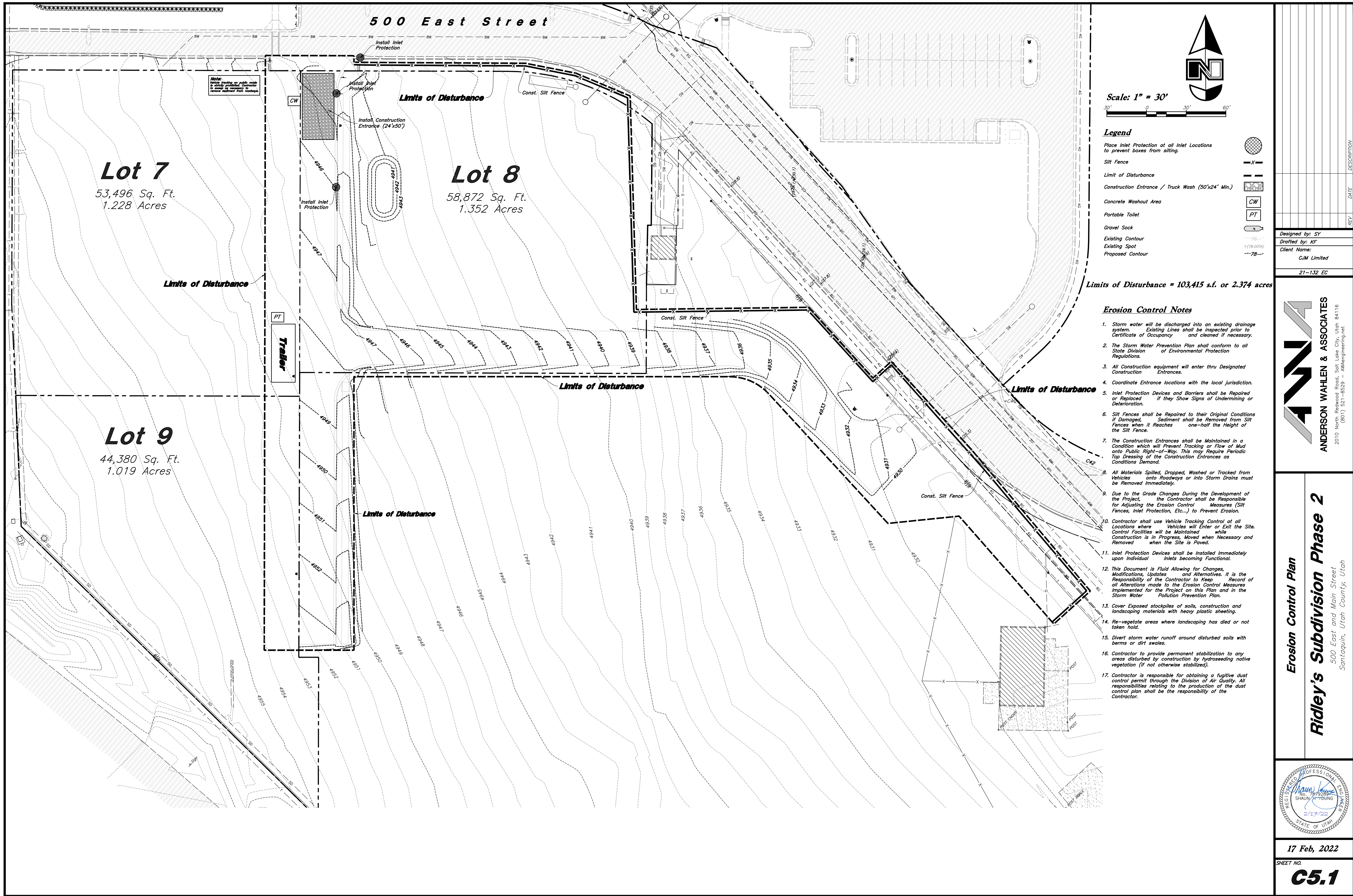
17 Feb, 2022

SHEET NO.

C4.2

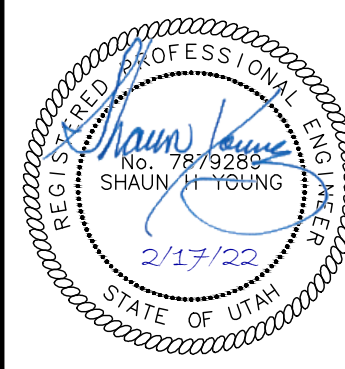
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Designed by: SY
Drafted by: KF
Client Name:
CJM Limited
21-132 DT

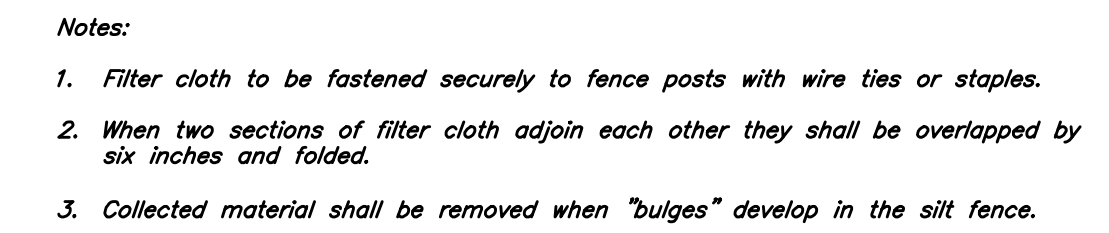


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Erosion Control Plan
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah



6 *Not Used*
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1. Filter cloth to be fastened securely to fence posts with wire ties or staples.
2. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
3. Collected material shall be removed when "bulges" develop in the silt fence.

2. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
3. Collected material shall be removed when "bulges" develop in the silt fence.

3. Collected material shall be removed when "bulges" develop in the silt fence.

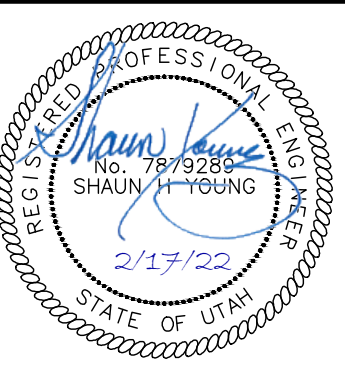
21-132 EC



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Erosion Control Details

Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah



17 Feb, 2022

SHEET NO. _____

C5.2

5 ***Not Used***
Not to Scale

