

Ridley's Subdivision Phase 2

500 East Main Street
Santaquin, Utah County, Utah, 84655



Vicinity Map
Not to Scale

Civil Sheet Index

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Phase 2 (2 Lots)

Zone: C-1 General Commercial
Overall Area = 108,497 s.f. (2.49 Acres)
Lot 7 Area = 49,625 s.f. (1.14 Acres)
Lot 8 Area = 58,872 s.f. (1.35 Acres)

Future Phases

Zone: C-1 General Commercial
Overall Area = 598,358 s.f. (13.74 Acres)

Santaquin City Notes

The developer and the general contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all state and Santaquin City codes, ordinances and standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the developer or general contractor from the full compliance with all minimum state and Santaquin City codes, ordinances and standards.

Santaquin City Note to Developers & General Contractors

All recommendations made in the provided geotechnical report/study shall be followed explicitly during construction of building and site improvements.

Abbreviations

BCR	Begin Curb Return	PT	Point of Tangency
BOL	Ballard	PVC	Polyvinyl Chloride
BRW	Finish Grade - Bottom of Retaining Wall	PVI	Point of Vertical Intersection
CATV	Cable Television Box	RCP	Reinforced Concrete Pipe
CB	Catch Basin	RD	Roof Drain
CMP	Corrugated Metal Pipe	SB	Signal Box
COB	Cleanout Box	SD	Storm Drain
COTG	Cleanout to Grade	SDMH	Storm Drain Manhole
EA	Edge of Asphalt	SMH	Sewer Manhole
EB	Electrical Box	SP	Signal Pole
EC	End of Curve	SS	Sanitary Sewer
ECR	End Curb Return	SVZ	Sight Visibility Zone
GB	Grade Break	SW	Secondary Water
GM	Gas Meter	TA	Top of Asphalt
HB	Hose Bib	TB	Telephone Box
HP	High Point	TBC	Top Back of Curb
I	Irrigation Line	TG	Top of Grate
ICB	Irrigation Control Box	TMH	Telephone Manhole
Lip	Lip of Gutter	TP	Top of Concrete
LP	Light Pole	TRW	Finish Grade - Top of Retaining Wall
MH	Manhole	TW	Top of Walk
Mon	Monument	VC	Vertical Curve
PC	Point of Curvature	VPC	Vertical Point of Curve
PCC	Point of Compound Curvature	VPT	Vertical Point of Tangency
PI	Point of Intersection	WL	Waterline
PM	Power Meter	WP	Working Point
PP	Power Pole	WV	Water Valve

Legend

Proposed Curb & Gutter	Existing Improvements	Existing Asphalt
Proposed Open Face C & G	Existing Concrete	Existing Concrete
Proposed Asphalt	Existing Inlet Box	Existing Catch Basin
Proposed Concrete	Existing Manhole	Existing Fire Hydrant
Proposed Truncated Domes	Existing Water Valve	Existing Overhead Power Line
Proposed Inlet Box	Existing Water	Existing Sewer
Proposed Catch Basin	Existing Secondary Water	Existing Storm Drain
Proposed Manhole	Existing Gas	Existing Power
Proposed Transformer	Existing Telephone	Existing Telephone
Proposed Meter Box	Existing Fence	Flowline
Proposed Water Meter	Proposed Storm Drain	Centerline
Proposed Comba Box	Proposed Conduit Line	Existing Contour
Proposed Fire Hydrant	Proposed Power Line	Existing Spot
Proposed Water Valve	Proposed Gas Line	Existing Light Pole
Proposed Water Line	Proposed Fire Line	Existing Street Light
Proposed Sanitary Sewer	Proposed Secondary Water Line	Existing Building
Proposed Storm Drain	Proposed Roof Drain	Existing Telephone Box
Proposed Conduit Line	Proposed Fence	Existing Power Meter
Proposed Power Line	Ridge line	Existing Electrical Box
Proposed Gas Line	Grade Break	Existing Electrical Cabinet
Proposed Fire Line	Proposed Contour	Existing Gas Meter
Proposed Secondary Water Line	Direction of Drainage	Existing Water Meter
Proposed Roof Drain	Proposed Spot	Existing Irrig. Control Box
Proposed Fence	ADA Accessible Route	Existing Ballard
Ridge line	Property Line	Existing Hose Bib
Grade Break	Sawcut Line	Working Point
Proposed Contour	Proposed Light Pole	Existing Deciduous Tree
Proposed Spot	Proposed Street Light	Existing Coniferous Tree
ADA Accessible Route	Proposed Building	
Property Line	Existing Power Pole	
Sawcut Line	Existing Power Pole w/ Guy	
Proposed Light Pole	Existing Utility Marker	
Proposed Street Light	Existing Post	
Proposed Building		
Existing Power Pole		
Existing Power Pole w/ Guy		
Existing Utility Marker		
Existing Post		

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8828 - AWAengineering.com

Cover Sheet
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah

REGISTERED PROFESSIONAL ENGINEER
No. 781928P
SHAUN A. YOUNG
10/15/21
STATE OF UTAH

14 Oct, 2021

SHEET NO.

C0.0

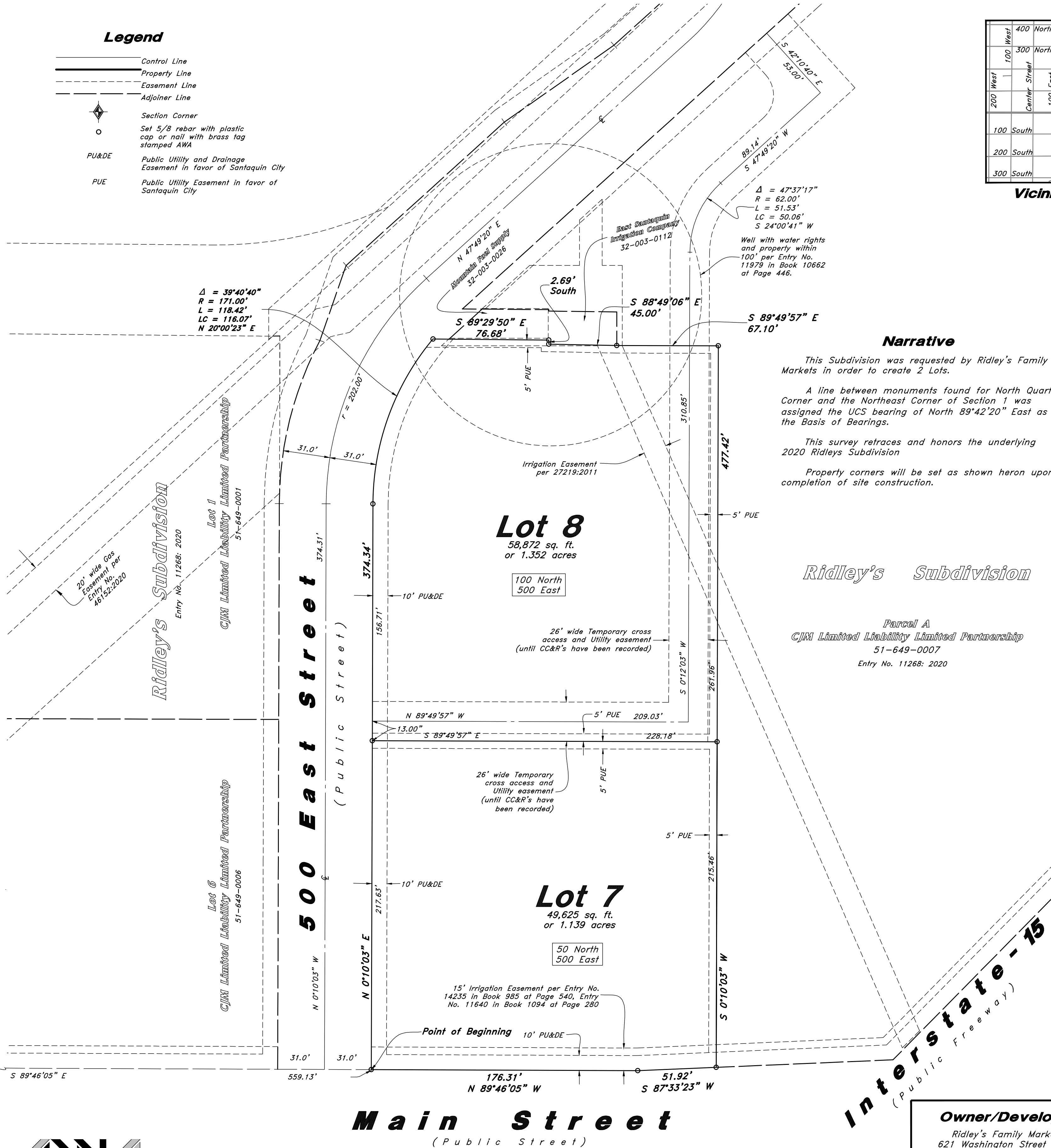
400 East Street
(Public Street)

South Quarter Corner, Section 1,
T10S, R1E, SLB&M, U.S. Survey
(found brass cap monument)

Basis of Bearings
N 89°42'20" E UCS

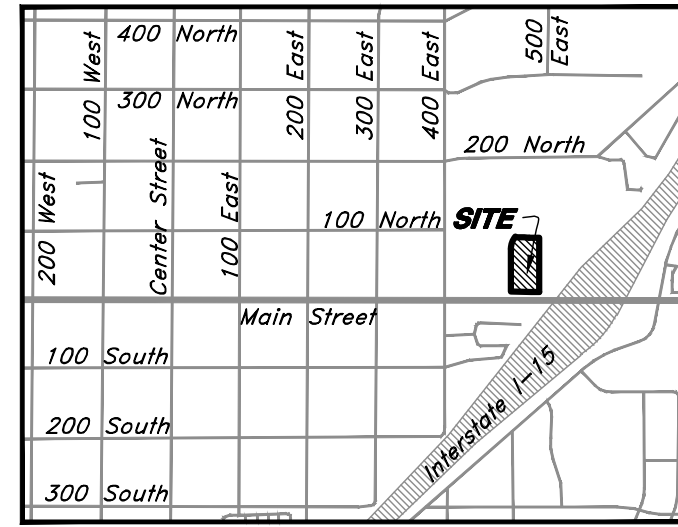
Legend

- Control Line
- Property Line
- Easement Line
- Adjoiner Line
- Section Corner
- Set 5/8 rebar with plastic cap or nail with brass tag stamped AWA
- PU&DE Public Utility and Drainage Easement in favor of Santaquin City
- PUE Public Utility Easement in favor of Santaquin City

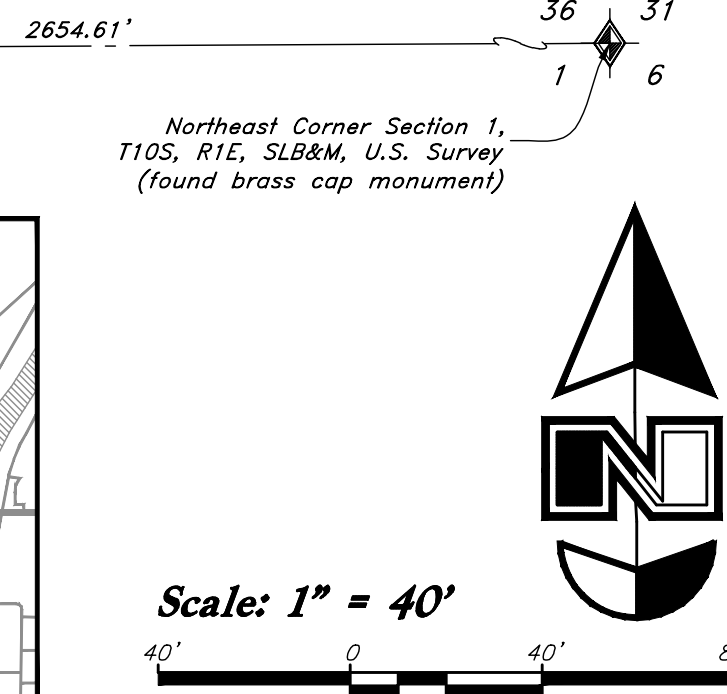


Ridley's Subdivision, Plat B

A part of Parcel A, Ridley's Subdivision, of the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey, City of Santaquin, Utah County, Utah
2021



Vicinity Map (Not to Scale)



Narrative

This Subdivision was requested by Ridley's Family Markets in order to create 2 Lots.

A line between monuments found for North Quarter Corner and the Northeast Corner of Section 1 was assigned the UCS bearing of North 89°42'20" East as the Basis of Bearings.

This survey retraces and honors the underlying 2020 Ridleys Subdivision

Property corners will be set as shown hereon upon completion of site construction.

Ridley's Subdivision

Parcel A
CJM Limited Liability Limited Partnership
51-649-0007
Entry No. 11268: 2020

Owner/Developer

Ridley's Family Markets
621 Washington Street South
Twin Falls, Idaho, 83301
208.324.4633 ext. 10120
www.shopridleys.com

Surveyor's Certificate

I, Ken B. Hawkes, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Utah and that I hold Certificate No. 8707113 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act; I further certify for, and on behalf of Anderson Wahlen & Associates that by authority of the owners I have completed a survey of the property described on this Subdivision Plat in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to retrace or reestablish this plat; and that the information shown herein is sufficient to accurately establish the lateral boundaries of the herein described tract of real property; hereafter known as

Ridley's Subdivision, Plat B

Description

A part of Parcel A, Ridley's Subdivision recorded as Entry No. 111268:2020 and as Map No. 17189 Official Records of Utah County, being a part of the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey in Utah County, Utah:

Beginning at the point of intersection of the North line of Main Street and the East line of 500 East Street as it exists at 31.00 foot half-width located 2555.26 feet South 0°30'50" East along the Quarter Section Line; and 559.13 feet South 89°46'05" East along said North line from a Brass Cap Monument found marking the North Quarter Corner of said Section 1; and running thence along said East Line the following two courses: North 0°10'03" East 374.34 feet to a point of curvature; and Northeasterly along the arc of a 171.00 foot radius curve to the right a distance of 118.42 feet (Central Angle equals 39°40'40" and Long Chord bears North 20°00'23" East 116.07 feet); thence South 89°29'50" East 76.68 feet along the Southerly line of an Agreement recorded as Entry No. 72273:2010 of Official Records monumented by an existing boundary line fence to the Westerly line of a Warranty Deed recorded as Entry No. 27219:2011 of Official Records as it exists on the ground; thence South 2.69 feet along said Westerly line to the Southwest Corner thereof; thence South 88°49'06" East 45.00 feet along an existing fence monumenting the Southerly line of said Warranty Deed as it exists on the ground to the Southeasterly Corner thereof; thence South 89°49'57" East 67.10 feet; thence South 0°10'03" West 477.42 feet to said North line of Main Street; thence along said North line the following two courses: South 87°33'23" West 51.92 feet; and North 89°46'05" West 176.31 feet to said point of intersection and the point of beginning.

Contains 108,497 sq. ft.
Or 2.491 acres
2 Lots

Date: _____ Ken B. Hawkes
Utah PLS No. 8707113

Owner's Dedication and Consent to Record

Know all men by these presents that I, the undersigned owner of the herein described tract of land, hereby set apart and subdivide the same into Lots as shown on this plat and name said plat

Ridley's Subdivision, Plat B

and do hereby dedicate, grant and convey to the City of Santaquin all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares forever, and those certain public utility easements as shown hereon to be used for the installation, maintenance and operation of Public Utility service lines.

In witness whereof I have hereunto set my hand
This ____ Day of ____ AD, 20 ____.

CJM Limited Liability Limited Partnership

by: Mark Ridley
its: Director

Approval By Legislative Body

The City Council of the City of Santaquin, County of Utah, approves this subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.

This ____ day of ____ A.D. 20 ____
City Mayor _____ Attest _____
City Recorder (See Seal Below)

Ridley's Subdivision, Plat B

A part of Parcel A, Ridley's Subdivision, located in the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey
City of Santaquin, Utah County, Utah

Rocky Mountain Power

- Pursuant to Utah Code Ann. 54-3-27 this plat conveys to the Owner(s) or operators of utility facilities public utility easement along with all the rights and duties described therein.
- Pursuant to Utah Code Ann. 17-27A-603(4)(c)(ii) Rocky Mountain Power accepts delivery of the PUE as described in this plat and approves this plat solely for the purpose of confirming that the plat contains Public Utility Easements and approximates the location of the Public Utility Easements, but does not warrant their precise location. Rocky Mountain Power may require other easements in order to serve this development. This approval does not effect any right that Rocky Mountain Power has under:

- A recorded easement or Right-of-Way
- The law applicable to prescriptive rights
- Title 54, Chapter 8a, damage to underground utility facilities or
- Any other provision of law

Approved this ____ day
of ____, 20 ____

Rocky Mountain Power Company

By: _____
Title: _____

Dominion Energy

a Questar Corporation

Questar Gas Company, dba Dominion Energy Utah, hereby approves this plat solely for the purposes of confirming that the plat contains public utility easements. Dominion Energy Utah may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations of liabilities including prescriptive rights and other rights, obligations of liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the owner Dedication or in the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information please contact Dominion Energy Utah's Right-of-Way Department at 1-800-366-8532.

Approved this ____ Day of ____

A.D. 20 ____

By: _____
Title: _____
DOMINION ENERGY, a Questar Corporation

Lumen

Approved by Lumen this
____ Day of ____ A.D. 20 ____

Lumen

Acknowledgment

}}ss

On this ____ day of ____, 20 ____, personally appeared before me, Mark Ridley the signer of the foregoing instrument, who duly acknowledged to me that he is the Director of CJM Limited Liability Limited Partnership, and is authorized to execute the foregoing Dedication in its behalf and that he executed it in such capacity.

Notary Public Full Name: _____

Commission Number: _____

My Commission Expires: _____

A Notary Public Commissioned in Utah

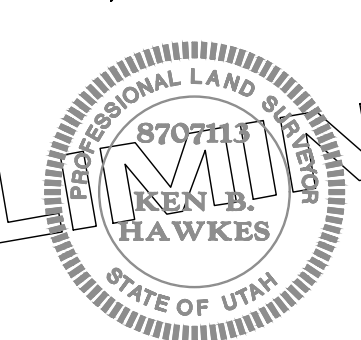
(If above information is provided, no stamp required per Utah Code, Title 46, Chapter 1, Section 16)

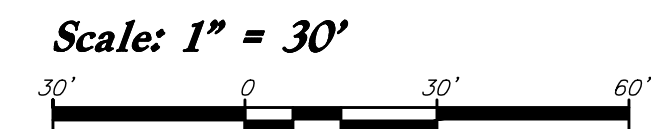
A Notary Public

Surveyors Seal

City Engineer Seal

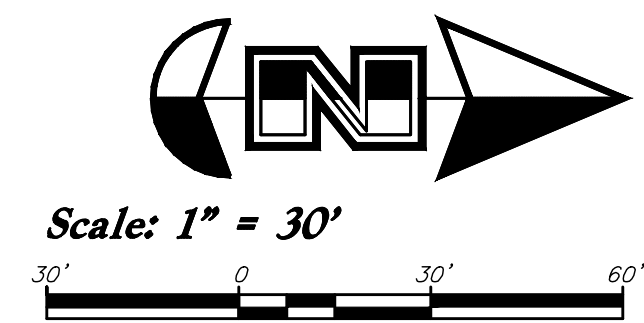
Clerk-Recorder Seal





1. Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
2. Running slope of sidewalks shall be built per grades shown on the plan. where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
3. Refer to the Site Plan for sidewalk dimensions.

SHEET NO.
C2.0



Onsite Utility Connection Notes:

1. *Contractor shall field verify all utility connection elevations prior to any utility construction has begun.*
2. *Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any watertline installation*
3. *Construction of any onsite utilities prior to the offsite connection will be done at the contractors risk.*

Know what's below.

 **Call 811 before you dig.**

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.

www.bluestakes.org
1-800-662-4111