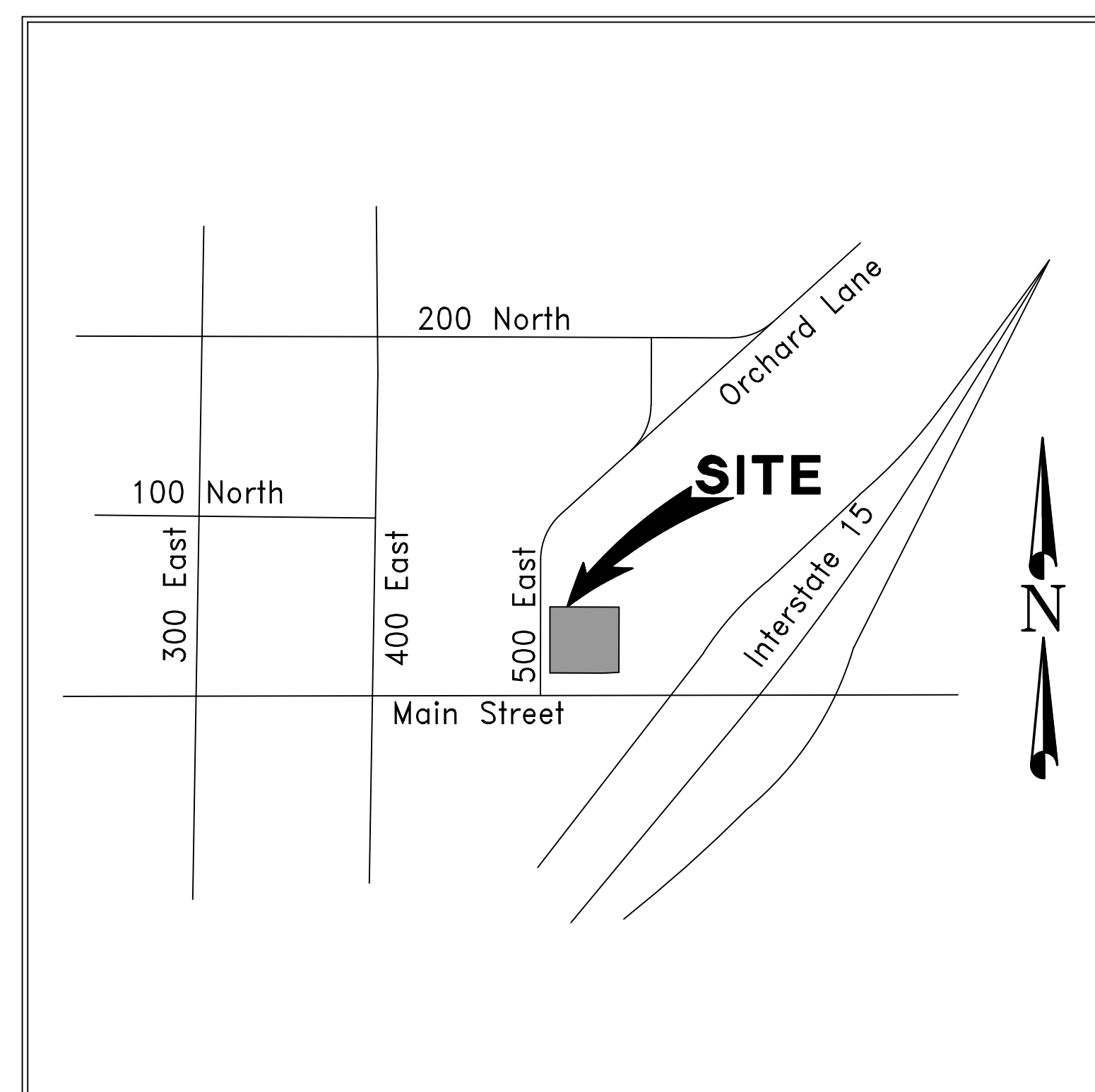


550 E. MAIN STREET
SANTAQUIN, UTAH

SITE 043-0320

SITE IMPROVEMENT PLANS (CIVIL PACKAGE)



Vicinity Map
Not to Scale

ISSUE DATE	DESCRIPTION	REVISION
4/15/2022	CITY SUBMITTAL #1	

INDEX OF SHEETS		
REVISION	SHEET NO.	SHEET
		COVER SHEET
	1 of 2	ALTA/ACSM LAND TITLE SURVEY
	2 of 2	ALTA/ACSM LAND TITLE SURVEY
	GN-1	GENERAL NOTES
	DM-1	SITE DEMOLITION PLAN
	SP-1	SITE IMPROVEMENT PLAN
	SP-1A	SITE DRIVE THRU LAYOUT
	SP-2	SITE UTILITY PLAN
	SP-3	SITE GRADING & DRAINAGE PLAN
	DT-1	DRIVE THRU DETAILS (DIGITAL PLATFORM)
	DT-2	DRIVE THRU DETAILS (DIGITAL PLATFORM)
	DT-3	DRIVE THRU DETAILS (DIGITAL PLATFORM)
	SD-1	SITE DETAILS (McDONALD'S)
	SD-2	SITE DETAILS (McDONALD'S)
	SD-3	TRASH ENCLOSURE/STORAGE BLDG. DETAILS
	SD-4	MISCELLANEOUS SITE DETAILS
	SD-5	MISCELLANEOUS SITE DETAILS
	SD-6	ADA STANDARD DETAILS
	SD-7	STORM DRAINAGE DETAILS
	LS-1	LANDSCAPE PLAN
	LS-2	IRRIGATION PLAN
	EC-1	EROSION CONTROL PLAN
	LTG-1	LIGHTING PLAN
	A2.0	BUILDING ELEVATIONS
	A2.1	BUILDING ELEVATIONS
		BUILDING COLOR ELEVATIONS

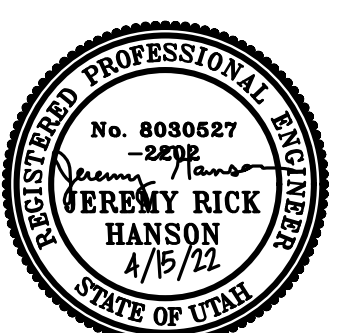
FOR
McDONALD'S CORPORATION

4643 South Ulster Street, Suite 1300
Denver, Colorado 80237
(303) 779-0444

PREPARED BY



Dominion
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000



P:\MCDONALD'S Utah\Santaquin\SURVEY\DWG\Santaquin ALTA_UPDATED.dwg

SURVEYOR'S CERTIFICATE:

To McDonald's USA, LLC, a Delaware limited liability company, McDonald's Real Estate Company, a Delaware corporation and McDonald's Corporation, a Delaware corporation, Cottonwood Title Insurance Agency, Inc. and Chicago Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(a), 7(b), 7(c), 8, 9, 10(a), 10(b), 11, 13, 14, 16, 17, 18, 19, 20, and 21 of Table A thereof. The original fieldwork was completed on October 9, 2020.

RECORD DESCRIPTION

PARCEL 1:

A parcel of land located in PARCEL A, RIDLEY'S SUBDIVISION, a part of the Northeast quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, Utah County, Utah, described as follows:

BEGINNING at the Southwest corner of Parcel A, Ridley's Subdivision, said corner being South 00°30'50" East 2,555.26 feet along the West line of the Northeast quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian and South 89°46'05" East 559.13 feet from the North quarter corner of said Section 1; thence along the East line of 500 East Street North 00°10'03" East 217.95 feet; thence South 89°47'57" East 228.03 feet; thence South 00°14'20" West 215.67 feet to the Southerly line of said Parcel A; thence along said line the following two courses: 1) South 87°33'23" West 51.51 feet and 2) North 89°46'05" West 176.31 feet to the POINT OF BEGINNING.

PARCEL 2:

The non-exclusive easements, appurtenant to Parcel 1 above, for vehicular parking, vehicular and pedestrian ingress and egress, utilities and storm sewer lines, as created by and defined in that certain Ground Lease and Shopping Center Addendum attached thereto dated April 20, 2021, as said Ground Lease and Addendum are evidenced by a Memorandum of Lease recorded _____, 2021 as Entry No. _____ in Book _____ at Page _____, within those portions of the following described property intended for such purposes:

That parcel of land conveyed to CJM Limited Liability Limited Partnership, an Idaho limited partnership in Quit-Claim Deed recorded February 11, 2021 as Entry No. 26503:2021 in the office of the Utah County Recorder, described as follows:

A portion of a parcel of land for public right-of-way that is being vacated. Said parcel is situated in the Northeast quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian. Said portion is described as follows:

Beginning at a point located on the North right-of-way of State Highway 6 (Santaquin Main Street), which point is South 00°30'42" East 2561.97 feet along the quarter section line and North 89°29'18" East 497.19 feet from the North quarter corner of said Section 1; thence North 00°10'03" East 115 feet; thence South 89°41'02" East 31 feet; thence South 00°10'03" East 115 feet to the North right-of-way of said State Highway 6; thence North 89°41'02" West 31 feet along said right-of-way to the point of beginning.

and

Lots 1, 2, 3, 4, 5 and 6, and PARCEL A, RIDLEY'S SUBDIVISION, according to the official plat thereof as recorded in the office of the Utah County Recorder on July 31, 2020 as Entry No. 111268:2020.

EXCEPT THEREFROM the following described land:

A parcel of land located in PARCEL A, RIDLEY'S SUBDIVISION, a part of the Northeast quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, Utah County, Utah, described as follows:

Beginning at the Southwest corner of Parcel A, Ridley's Subdivision, said corner being South 00°30'50" East 2,555.26 feet along the West line of the Northeast quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian and South 89°46'05" East 559.13 feet from the North quarter corner of said Section 1; thence along the East line of 500 East Street North 00°10'03" East 217.95 feet; thence South 89°47'57" East 228.03 feet; thence South 00°14'20" West 215.67 feet to the Southerly line of said Parcel A; thence along said line the following two courses: 1) South 87°33'23" West 51.51 feet and 2) North 89°46'05" West 176.31 feet to the point of beginning.

FIELD DESCRIPTION (Subject Property)

A parcel of land being proposed Lot 7, Ridley's Subdivision, Plat B, said parcel located in Parcel A, Ridley's Subdivision, a part of the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, Utah County, Utah, described as follows:

BEGINNING at the Southwest Corner of Parcel A, Ridley's Subdivision, said corner being South 00°30'50" East 2,555.26 feet along the west line of the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian and South 89°46'05" East 559.13 feet from the North Quarter Corner of said Section 1, and thence along the east line of 500 East Street North 00°10'03" East 217.63 feet; thence South 89°49'57" East 246.18 feet; thence South 00°10'03" West 214.64 feet to the southerly line of said Parcel A; thence along said line the following two courses: 1) South 87°33'23" West 69.94 feet and 2) North 89°46'05" West 176.31 feet to the POINT OF BEGINNING. Said parcel contains 53,496 square feet or 1.228 acres, more or less.

Date: February 4, 2022

Mark N Gregory
P.L.S.No. 334576

NARRATIVE:

The purpose of this survey is retrace Parcel A, Ridley's Subdivision in order to perform an ALTA/NSPS Land Title Survey on a portion of said Parcel A. The North and South Quarter Corners of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian and said Ridley's Subdivision plat are used to control the location of said subdivision as shown hereon.

The vertical benchmark for this survey is the Utah County monument found marking the South Quarter Corner of said Section 20, Township 5 South, Range 1 West, Salt Lake Base and Meridian, elevation 5078.38.

A commitment for title insurance prepared by Cottonwood Title Insurance Agency, Inc. (File No. 129278-WHF, dated March 26, 2021) was provided and relied upon for this survey.

Table A, Item 20 was specified to include statements if the title exceptions "affect" or "do not affect" the subject property as detailed in the McDonald's Survey Order Form and Minimum Requirements. These statements are shown in (parenthesis).

BASIS OF BEARING:

The basis of bearing for this survey is South 00°30'50" East between the North and South Quarter Corners of said Section 20 per the plat of Ridley's Subdivision.

SURVEYOR'S NOTES:

- This survey complies with the requirements set forth in the McDonald's Survey Order Form and Minimum Requirements.
- The subject property is located in a Zone Designation of X by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 0975F, with a date of identification of July 17, 2002, for Community No. 49049C in Utah County, State of Utah, which is the current Flood Insurance Rate Map for the community in which the subject property is situated. No map has been printed for this area.
- A zoning report or letter was not provided. The subject property is located in a C1 General Commercial District. Per Title 10 of the Santaquin City Code. Per Chapter 10.20.120 the front maximum setback is 10 feet. the minimum side and rear yard set back is 0 or 10 if shared or 5 feet. The web site address for Santaquin City is https://www.santaquin.org/.
- There are no parking spaces located on the subject property.
- There is no observed evidence of current earth moving work, building construction or building additions.
- There are no proposed changes in right-of-way lines and no observed evidence of recent street or sidewalk construction.
- No field delineation of wetlands was provided and no markers were observed at the time of this survey.

SCHEDULE B – EXCEPTIONS:

Cottonwood Title Insurance Agency, Inc. File No. File No. 129278-WHF, dated March 26, 2021.

Exceptions No. 1–8: Will be eliminated and the (affect on the subject property can not be determined from the information provided)

Exception No. 9: Taxes (affect the subject property)

Exception No. 10: Intentionally deleted by the Title Company

Exception No. 11: The Land is located within the boundaries of Santaquin City, Central Utah Water Conservancy, Wasatch Mental Health Special Service District, South Utah Valley Animal Special Service District, Utah Valley Dispatch Special Service District, and is subject to any and all charges and assessments levied thereunder.
Survey findings: The subject property is within the blanket areas indicated. (affects the subject property)

Exception No. 12: Certificate of Incorporation establishing the creation of the Santaquin Special Service District recorded May 17, 2007 as Entry No. 72904:2007.
Survey findings: The subject property is located within the boundary of the District cited and is subject to its terms. (affects the subject property)

Exception No. 13: Certificate of Creation of the Utah Valley Dispatch Special Service District recorded October 22, 2008 as Entry No. 114949:2008.
Survey findings: The subject property is located within the boundary of the District cited and is subject to its terms. (affects the subject property)

Exception No. 14: Certificate of Creation of the Santaquin Community Development and Renewal Agency recorded December 8, 2010 as Entry No. 106901:2010.
Survey findings: The subject property is located within the boundary of the Agency cited and is subject to its terms. (affects the subject property)

Exception No. 15: Certificate of Creation of the Santaquin Special Service District for Road Maintenance recorded June 26, 2014 as Entry No. 43844:2014.
Survey findings: The subject property is located within the boundary of the District cited and is subject to its terms. (affects the subject property)

Exception No. 16: Resolution No. 10–04–2019 recorded October 7, 2019 as Entry No. 101935:2019.
Survey findings: The subject property is located within the boundary of the Development Area cited and is subject to its terms. (affects the subject property)

Exception No. 17: Minerals of whatsoever kind, subsurface and surface substances that may be produced from the Land.
Survey findings: The issues cited in this exception are not matters of survey. (the affect on the subject property can not be determined from the information provided)

Exception No. 18: Claim, right, title or interest to water or water rights whether or not shown by the public records.
Survey findings: (the affect on the subject property can not be determined from the information provided)

Exceptions No. 19 – 27: Intentionally deleted by Title Company

Exception No. 28: Rights of tenant(s) in the Land...
Survey findings: (the affect on the subject property can not be determined from the information provided)

Exception No. 29: Any lien, or right to a lien...
Survey findings: (the affect on the subject property can not be determined from the information provided)

Exception No. 30: Easements, notes and restrictions as shown on the plat of Ridley's Subdivision, recorded July 31, 2020 as Entry No. 111268:2020.
Survey findings: The Easements shown on the subdivision plat that are on the subject property are shown. (affect the subject property)

Exception No. 31: Subject to the following matters disclosed on that certain survey prepared by Dominion Engineering Associates, L.C., having been certified under the date of December 17, 2020, as Project No. 3308–03, by Mark N. Gregory, a Professional Land Surveyor holding License No. 334576: a. Evidence of excavation; b. 4" concrete wall; c. 14" concrete pipe; d. 12" concrete pipe; e. 4" concrete head walls & f. concrete ditch.
Survey findings: The conditions described are shown on the subject property. (affect the subject property)

Exception No. 32: Taxes for Parcel No. 32–003–0104.
Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 33: Taxes for Parcel No. 51–649–0001 under previous Parcel No. 32–003–0085.
Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 34: Taxes for Parcel No. 51–649–0002 under previous Parcel No. 32–003–0121
Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 35: Taxes for Parcel No. 51–649–0003 under previous Parcel No. 32–003–008
Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 36: Taxes for Parcel No. 51–649–0004 under previous Parcel No. 32–003–0085.
Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 37: Taxes for Parcel No. 51–649–0005 under previous Parcel No. 32–003–0086.
Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 38: Taxes for Parcel No. 51–649–0006 under previous Parcel No. 32–003–0092.
Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 39: Survey findings: The parcel indicated is a part of the subject property. (affects the subject property)

Exception No. 40: Same as Exception 11 (affects the subject property)

Exception No. 41: Same as Exception 12 (affects the subject property)

Exception No. 42: Same as Exception 13 (affects the subject property)

Exception No. 43: Same as Exception 14 (affects the subject property)

Exception No. 44: Same as Exception 15 (affects the subject property)

Exception No. 45: Same as Exception 16 (affects the subject property)

Exception No. 46: Same as Exception 17 (the affect on the subject property can not be determined from the information provided)

Exception No. 47: Same as Exception 18 (the affect on the subject property can not be determined from the information provided)

Exception No. 48: Right of Way Easement in favor of the Mountain States Telephone and Telegraph Company recorded January 8, 1929, as Entry No. 191, in Book 269, at Page 466.
Survey findings: The area indicated does not include the subject property. (does not affect)

Exception No. 49: Right of Way Easement in favor of the Mountain States Telephone and Telegraph Company, recorded January 8, 1929, as Entry No. 192, in Book 269, at Page 466
Survey findings: The area indicated does not include the subject property. (does not affect)

Exception No. 50: Rights of access to I–15 have been relinquished to the State Road Commission of Utah by Warranty Deed recorded September 21, 1964 as Entry No. 14234 in Book 985 at Page 538 of official records.
Survey findings: The subject property is not adjacent to I–15. (does not affect)

Exception No. 51: Easement in favor of Summit Creek Irrigation Company recorded September 21, 1964, as Entry No. 14235, in Book 985, at Page 54.
Survey findings: The area described is not on the subject property. (does not affect)

Exception No. 52: Rights of access to I–15 have been relinquished to the State Road Commission of Utah by Warranty Deed recorded February 5, 1965 as Entry No. 1818 in Book 999 at Page 618 of official records.
Survey findings: The area described does not include the subject property. (does not affect)

Exception No. 53: Any right, title or interest of the East Santaquin Irrigation Company as disclosed by that certain Warranty Deed recorded October 18, 1966 as Entry No. 11979 in Book 10662 at Page 446.
Survey findings: The location described is not on the subject property. (does not affect)

Exception No. 54: Easements for irrigation and incidental purposes as disclosed by that certain Final Order of Condemnation, dated October 13, 1967 and recorded October 25, 1967 as Entry No. 11640 in Book 1094 at Page 280.
Survey findings: (affect on the subject property can not be determined from the information provided)

Exception No. 55: An easement for irrigation and incidental purposes recorded October 13, 1981 as Entry No. 29732 in Book 1942 at Page 722.
Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 56: An easement for irrigation and incidental purposes recorded September 15, 1981 as Entry No. 27112 in Book 1937 at Page 623.
Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 57: Easement for an irrigation ditch recorded September 15, 1981, as Entry No. 27113, in Book 1937, at Page 624.
Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 58: Right of Way Easement recorded January 19, 1982, as Entry No. 1364, in Book 1960, at Page 140.
Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 59: An easement for ingress, egress, and pipeline purposes recorded November 19, 1986 as Entry No. 39643 in Book 2358 at Page 557.
Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 60: Rights of access to I–15, US–91 and Highway 6 have been relinquished to the Utah Department of Transportation by Quit Claim Deed recorded November 4, 1991 as Entry No. 43533 in Book 2851 at Page 76.
Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 61: Easement in favor of PacifiCorp, dba Utah Power & Light Company recorded January 7, 1998, as Entry No. 1462, in Book 4486, at Page 684.
Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 62: An easement for irrigation and incidental purposes recorded April 7, 2011 as Entry No. 27219:2011.
Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 63: Easement and Road Maintenance Agreement recorded December 30, 2015 as Entry No. 116714:2015.
Survey findings: Describes the road along the west side of the subject property. (does not affect)

Exception No. 64: Same as Exception 16 (affects the subject property)

Exception No. 65: Any rights, interest or easements in favor of the public, or others entitled thereto, to use for street, public utilities, and incidental purposes, that portion of the Land lying within the bounds of former Orchard Lane or 100 North Street.
Survey findings: (affect on the subject property can not be determined from the information provided)

Exception No. 66: Terms, conditions, easements, restrictions... recorded February 27, 2020 as Entry No. 25172:2020.
Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 67: A Ground Lease recorded April 3, 2020 as Entry No. 43653:2020; a Leasehold Construction Deed of Trust recorded April 3, 2020 as Entry Number 43654:2020 & a Request for Copy of Notice of Default and Notice of Sale recorded April 3, 2020 as Entry No. 43658:2020.
Survey findings: All three documents reference "future Lot 1, of the forthcoming Ridley's Subdivision" which is northwest across the road from the subject property. (does not affect)

Exception No. 68: A Right-of-Way and Easement Grant, in favor of Questar Gas Company dba Dominion Energy Utah recorded April 9, 2020, as Entry No. 46152:202.
Survey findings: The location described and shown is not on the subject property. (does not affect)

Exception No. 69: Right-of-Way and Easement Grant, in favor of Questar Gas Company dba Dominion Energy Utah recorded April 9, 2020, as Entry No. 46155:2020.
Survey findings: The location described and shown is not on the subject property. (does not affect)

Exception No. 70: Survey findings: Easements, notes and restrictions as shown on the plat of Ridley's Subdivision, recorded July 31, 2020 as Entry No. 111268:2020.
Survey findings: Same as Exception 30 and are shown. (affect the subject property)


Exception No. 71: The UCC Financing Statement recorded August 10, 2020 as Entry No. 116576:2020.
Survey findings: The document references "future Lot 1, of the forthcoming Ridley's Subdivision" which is northwest across the road from the subject property. (does not affect)

Exception No. 72: The Resolution 08–05–1010 Approving a Re-Conveyance of Property to CJM Property recorded September 23, 2020 as Entry No. 145899:2020.
Survey findings: The document references the area of the public road westerly of the subject property. (does not affect)

Exception No. 73: Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.
Survey findings: The issues cited in this exception are not matters of survey. (the affect on the subject property can not be determined from the information provided)

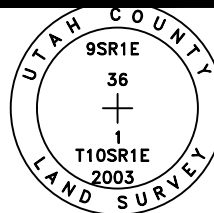
DRAWN	MNG 11/20	CHECKED	DOM 11/20
DESIGNED		PROJECT ENGINEER	
APPROVED		DLP	
	DATE	PROJECT MANAGER	

MCDONALD'S USA, LLC
SANTAQUIN CITY, UTAH COUNTY, UTAH

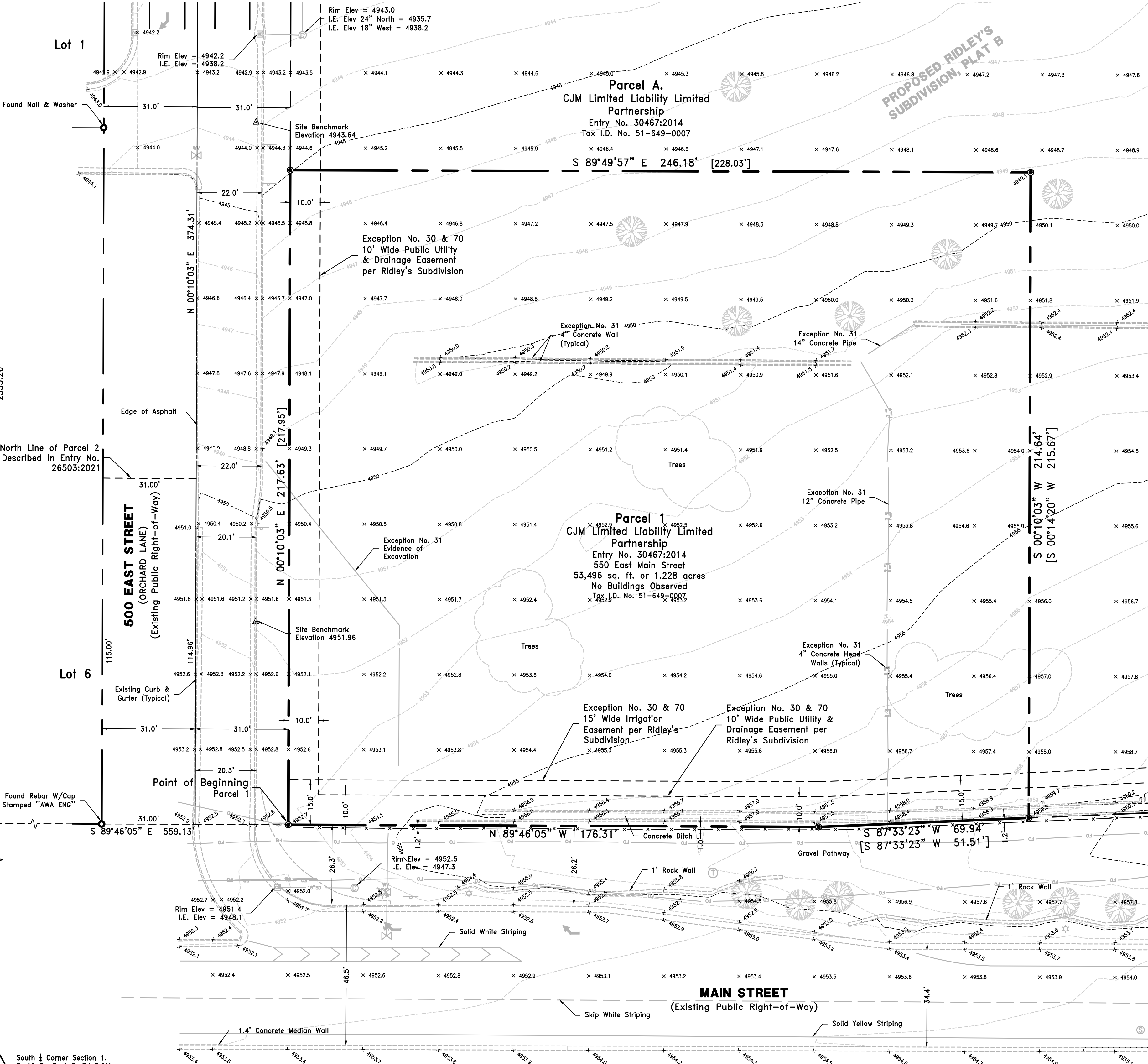
 Dominion Engineering Associates, L.C. 5684 South Green Street Murray, Utah 84123 801–713–3000

IN THE NE 1/4 SECTION 1, T10S, R1E, SLB&M
ALTA/NSPS LAND TITLE SURVEY LC 43-0320

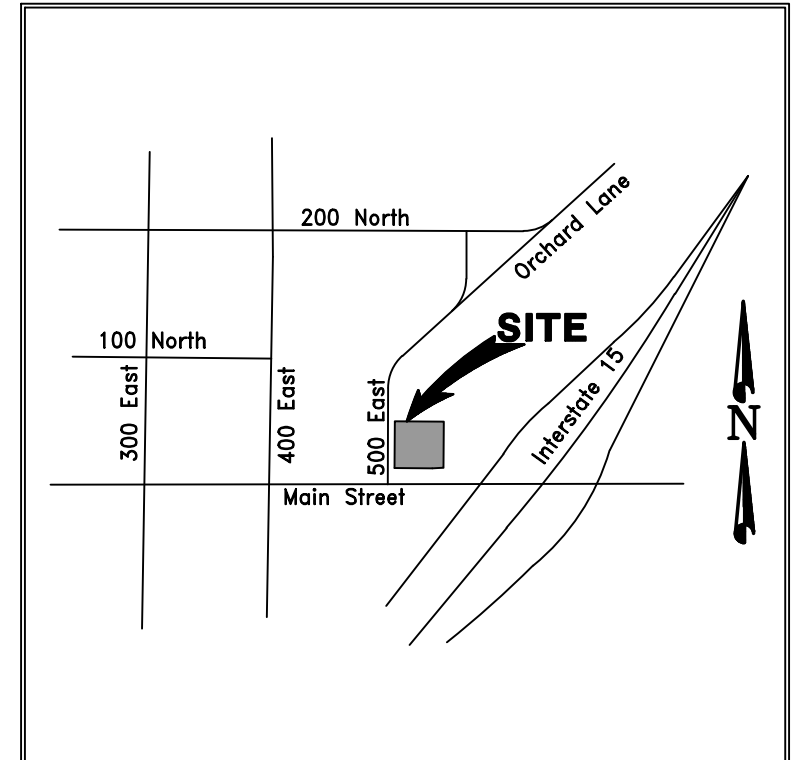
				PROJECT NO. 3308–03
				SHEET NO. 1 of 2
2	Update boundary & benchmark	BJE	2.3.22	
1	New Title Com & Extra Item 20	JDP	7.19.21	
NO.	REVISIONS	BY	DATE	FILE NAME: SCALE: 1"=20'



North 1/4 Corner Section 1,
T. 10 S., R. 1 E. S.L.B.&M. Found
Utah County Brass Monument



- LEGEND**
- Section Corner Monument (As Noted)
 - Property Boundary Line
 - Right-of-Way Line
 - Section Line
 - Centerline
 - Easement Line
 - Set Rebar W/ Cap Stamped "DOMINION ENGINEERING" (Unless Otherwise Noted)
 - Found Property Monument (As Noted)
 - Edge of Existing Improvements (As Noted)
 - Existing Wire Fence
 - Existing Storm Drain Line
 - Existing Water Line
 - Existing Fiber Optic Line
 - Existing Elevation Contour Line
 - Existing Electric Box, Meter, Light Pole
 - Existing Water Valve, Man Hole Fire Hydrant
 - Existing Catch Basin
 - Existing Irrigation Valve
 - Existing Fiber Optic Box
 - Existing Deciduous Tree



UTILITY COMPANIES		
Telephone	CenturyLink	1-800-603-6000
Power	Rocky Mountain Power	1-888-221-7070
Natural gas	Dominion Energy	1-800-323-5517
Sewer	Santaquin City	801-754-3211
Water	Santaquin City	801-754-3211

DRAWN MNG 11/20 DATE	CHECKED DOM 11/20 DATE	MCDONALD'S USA, LLC	 Dominion Engineering Associates, L.C. 5684 South Green Street Murray, Utah 84123 801-713-3000	IN THE NE 1/4 SECTION 1, T10S, R1E, SLB&M	ALTA/NSPS LAND TITLE SURVEY LC 43-0320	PROJECT NO. 3308-03
DESIGNED	PROJECT ENGINEER					SHEET NO. 2 of 2
APPROVED	DLP PROJECT MANAGER					NO. REVISIONS BY DATE
						FILE NAME: SCALE: 1"=20'

GENERAL NOTES

GENERAL NOTES:

1.

ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING: THE CITY OF SANTAQUIN DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE STATED. ALL AMENDMENTS THERETO TO DATE, AND THE UTAH PUBLIC WORKS GENERAL CONDITIONS AND STANDARD SPECIFICATIONS FOR CONSTRUCTION IN ITS LATEST EDITION, THE M.U.T.C.D. MANUAL FOR STRIPING, UDOT FOR SIGNING AND TRAFFIC CONTROL, AND THE MANUAL FOR EROSION CONTROL, WHERE APPLICABLE.
2.

PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL CONTACT THE CITY OF SANTAQUIN FOR A PRE-CONSTRUCTION MEETING.
3.

IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE.
4.

WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
5.

THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. IT SHALL BE EXPECTED THAT PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.

THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES, WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR PECULIAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORSEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.

6.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHTS-OF-WAY, EASEMENTS, AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION.
7.

THE CONTRACTOR SHALL AT THE TIME OF BIDDING, AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS.
8.

CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK.

IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.

9.

THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
10.

THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES, AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.
11.

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.
12.

THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY REMOVAL OF SURVEY STAKING.
13.

THE CONTRACTOR AGREES THAT:

A.

THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.

B.

THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.

C.

THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.

D.

THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL PAYMENT.

E.

THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.

F.

UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTORS EXPENSE.

G.

CONTRACTOR IS RESPONSIBLE FOR MATERIAL TESTING, TESTING RESULTS MUST BE SUBMITTED TO THE CITY OF SANTAQUIN.

14.

THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
15.

DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE, WITH A WATER TRUCK.
16.

FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION.
17.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
18.

IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
19.

WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
20.

THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL; ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

21.

WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.
22.

ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE ON ALL PARTS AND WORKMANSHIP.

CLEARING AND GRADING NOTES:

1.

CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH THE CITY OF SANTAQUIN STANDARD SPECIFICATIONS.
2.

THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON TOPO SURVEY PERFORMED BY DOMINION ENGINEERING.
3.

CONTRACTOR SHALL TAKE NECESSARY MEASURES TO PREVENT EROSION ONTO ADJACENT PROPERTY AND IN DRAINAGE FACILITIES. CONTRACTOR RESPONSIBLE TO CONTROL DUST AND MUD ON SURROUNDING STREETS.

DEWATERING NOTES:

1.

THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND WATER LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.

UNDERGROUND UTILITIES:

1.

THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THESE LOCATIONS TO BE EITHER TRUE OR EXACT. PRIOR TO CONSTRUCTION , IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES, SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OR WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION/ELEVATION MUST BE MADE PRIOR TO CONSTRUCTION.
2.

PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGE UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
3.

THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH OSHA STANDARDS AND REQUIREMENTS.
4.

PRIOR TO OPENING AN EXCAVATION, CONTRACTOR SHALL ENDEAVOR TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS; i.e. SEWER, WATER, FUEL, ELECTRIC LINES, ETC. WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING; AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.
5.

IN CASES OF HIGH GROUNDWATER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO USE RUBBER GASKET JOINTS ON ALL PRE CAST PIPES. THE COST FOR RUBBER GASKET JOINTS SHALL BE INCLUDED IN THE UNIT PRICES OF PIPE.
6.

THE CONTRACTOR SHALL PROVIDE CLAY DAMS IN UTILITY TRENCHES TO PREVENT CHANNELING OF SUBSURFACE WATER, DURING AND AFTER CONSTRUCTION. CONSTRUCT CLAY DAMS AT THE TOP OF GRADE BREAKS AND AT THE FOLLOWING INTERVALS:

TRENCHES WITH SLOPES < 10% = DAMS AT 500' INTERVALS

TRENCHES WITH SLOPES ≥ 10% = DAMS AT 100' INTERVALS
7.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS OF THE CITY OF SANTAQUIN FOR H-20 LOAD REQUIREMENTS.
8.

ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER AND STREET PAVING.

GENERAL EROSION CONTROL NOTES

1.

PRE CONSTRUCTION MEETING IS REQUIRED WITH THE CITY PRIOR TO DISTURBANCE.
2.

IN THE EVENT A CHANGE OCCURS ON THIS APPROVED SITE PLAN WHICH INVOLVES ENLARGING THE AREA OF DISTURBANCE, THE CONTRACTOR SHALL CONTACT THE CITY OF SANTAQUIN EROSION CONTROL INSPECTOR PRIOR TO THE DISTURBANCE.
3.

THE CONTRACTOR WILL FILL OUT "EROSION AND SEDIMENT CONTROL PLAN" INSPECTION AND MAINTENANCE FORM EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT AND/OR A HEAVY SNOW MELT. PROVIDE COPIES OF MAINTENANCE FORM TO THE CITY OF SANTAQUIN EROSION CONTROL INSPECTOR AND OWNER AT WEEKLY CONSTRUCTION MEETINGS.
4.

THE CONTRACTOR WILL COMPLY WITH THE INSTALLATION AND MAINTENANCE OF THE "BEST MANAGEMENT PRACTICE" (BMP) USED ON THE EROSION AND SEDIMENT CONTROL PLANS UNTIL THE REVEGETATION BOND HAS BEEN 100% RELEASED.
5.

THE CONTRACTOR SHALL OBTAIN THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY AND PROVIDE EVIDENCE TO THE CITY AT THE PRE CONSTRUCTION MEETING.
6.

THE CONTRACTOR WILL MAINTAIN STREETS TO BE FREE FROM SOIL AND DEBRIS 24 HOURS PER DAY, SEVEN DAYS A WEEK.
7.

THE CONTRACTOR WILL MAINTAIN THE EROSION CONTROL DEVICES UNTIL THE GROUND COVER HAS BEEN ESTABLISHED.
8.

DUST CONTROL MEASURES WILL BE ON SITE AND IN WORKING ORDER WHEN SOIL IS DISTURBED. DUST CONTROL WILL BE USED 24 HOURS, SEVEN DAYS PER WEEK AS CONDITIONS DICTATE. THE CONTRACTOR WILL INCREASE EQUIPMENT AS NEEDED TO CONTROL DUST.
9.

THE CONTRACTOR WILL PREVENT SEDIMENTS FROM ENTERING UTILITIES BY INSTALLING FILTER FABRIC AROUND STRUCTURES.
10.

VEGETATION WILL BE DISPOSED OF IN ONE OR MORE OF THE FOLLOWING WAYS:

HAULING TO APPROVED LAND FILL

SHREDDING

CHIPPING

BURNING WITH APPROVED PERMIT

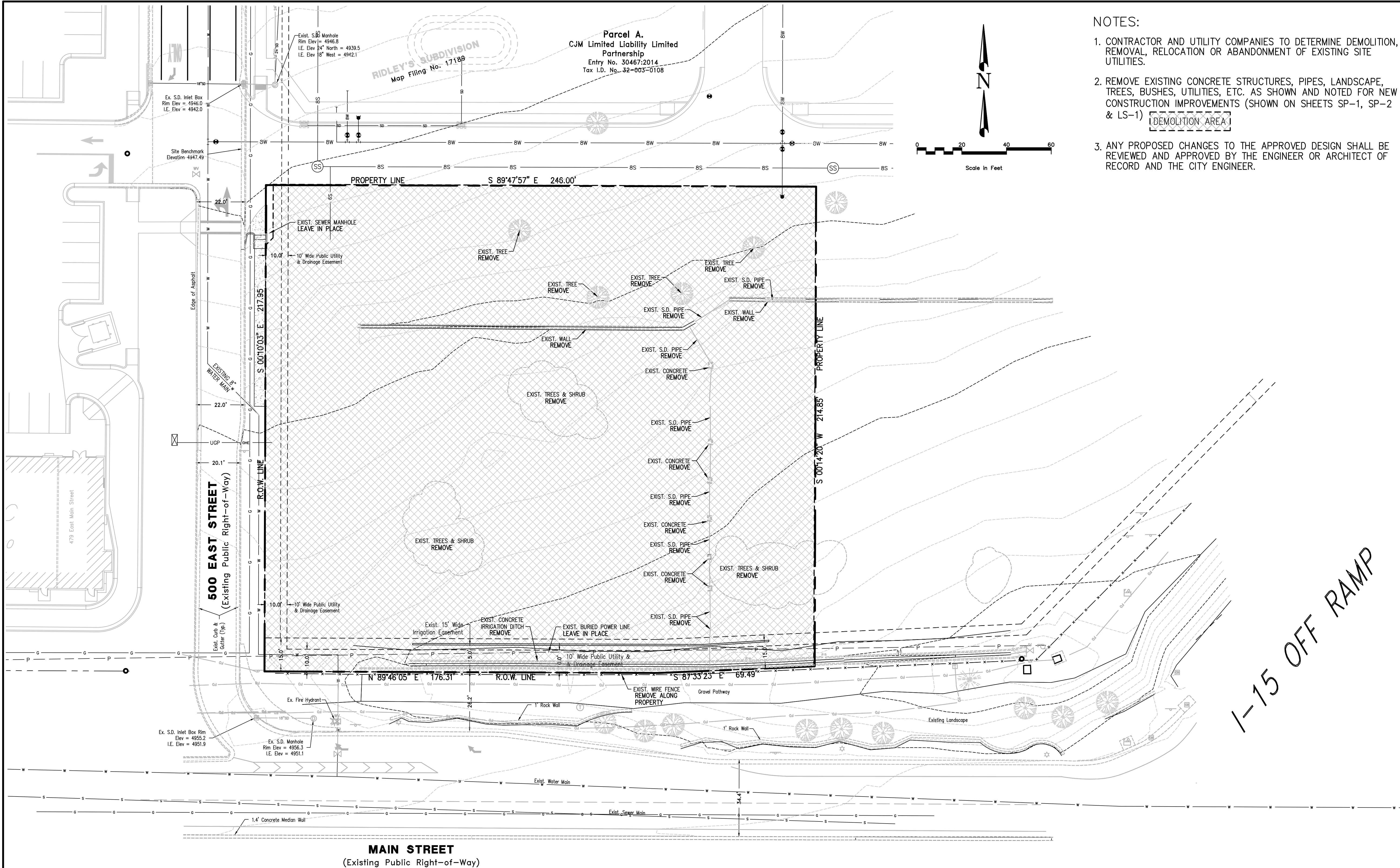
BRUSH MAY BE STOCKPILED AT TOES OF FILLS FOR TEMPORARY EROSION CONTROL.
11.

REMOVE NATIVE TREES WITHIN AREAS OF DISTURBANCE ONLY.
12.

ALL EXCAVATED MATERIAL MUST BE KEPT WITHIN THE "LIMITS OF MASS GRADING DISTURBANCE".
13.

PLACE GEOTEXTILE STYLE SILT FENCES PRIOR TO ANY EXCAVATIONS INDICATED BY THE EROSION CONTROL DRAWINGS. THE EROSION/SEDIMENTATION CONTROL (E.S.C.) MEASURES SHOWN ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED.

SHEET NO.	TITLE McDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH DESCRIPTION GENERAL NOTES	DRAWN BY STD ISSUE DATE - REVIEWED BY - DATE REVIEWED - DATE ISSUED -	PREPARED FOR McDONALD'S CORPORATION KNOX DRIVE - SAN BROOK, ILLINOIS 60081 THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MC DONALD'S CORPORATION. THE CONTRACT DOCUMENTS WERE PREPARED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACT DOCUMENTS ARE NOT TO BE REPRODUCED, COPIED, OR IN ANY MANNER USED FOR ANY OTHER PROJECT OR PURPOSE. ANY VIOLATION OF THIS NOTICE SHALL BE CONSIDERED A BREACH OF THE CONTRACT DOCUMENTS AND WILL BE SUBJECT TO THE FULL AND COMPLETE ENFORCEMENT OF THE CONTRACT DOCUMENTS AND ALL RIGHTS AND REMEDIES THEREUNDER.	PREPARED BY JEREMY RICK HANSON 4/16/12 REGISTERED PROFESSIONAL ENGINEER No. 8030527-2492 STATE OF UTAH	BY
					DESCRIPTION
					DATE
					REV
SITE ID 043-0320		SITE ADDRESS 550 E. MAIN STREET, SANTAQUIN, UTAH		OFFICE ADDRESS DENVER REGION- 4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237	
GN-1					



NOTES:

1. CONTRACTOR AND UTILITY COMPANIES TO DETERMINE DEMOLITION, REMOVAL, RELOCATION OR ABANDONMENT OF EXISTING SITE UTILITIES.
2. REMOVE EXISTING CONCRETE STRUCTURES, PIPES, LANDSCAPE, TREES, BUSHES, UTILITIES, ETC. AS SHOWN AND NOTED FOR NEW CONSTRUCTION IMPROVEMENTS (SHOWN ON SHEETS SP-1, SP-2 & LS-1) [DEMOLITION AREA]
3. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.

SHEET NO.	TITLE	DRAWN BY	STD ISSUE DATE	REVIEWED BY	DATE REVIEWED	DATE ISSUED	SITE ADDRESS	OFFICE ADDRESS	DENVER REGION: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237	BY	REV	DATE	DESCRIPTION
DM-1	McDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH SITE DEMOLITION PLAN												

UTILITY CONTACTS		
WATER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
STORM	SANTAQUIN CITY - JON LUNDELL	801-754-1974
SEWER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
ELECTRIC POWER	ROCKY MOUNTAIN POWER	1-888-221-7070
GAS	DOMINION ENERGY - DAVE CHRISTENSEN	801-853-6586
TELEPHONE	CENTURYLINK	801-974-8130
HEALTH DEPT.	UTAH COUNTY HEALTH DEPARTMENT	801-851-7332

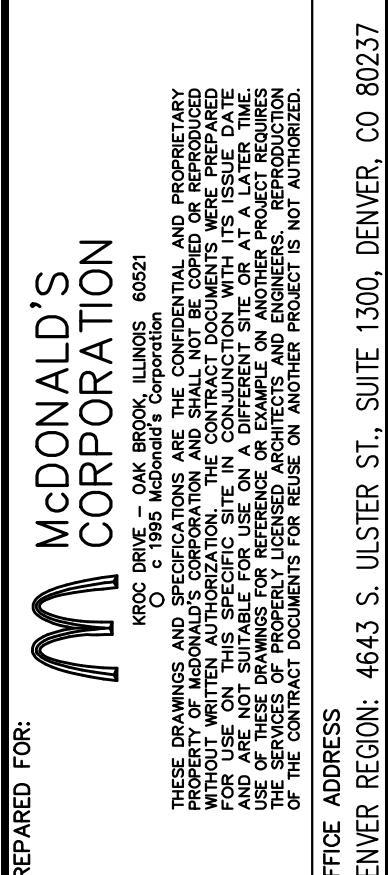
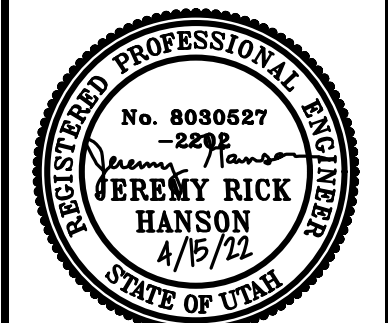
SITE DEMOLITION PLAN

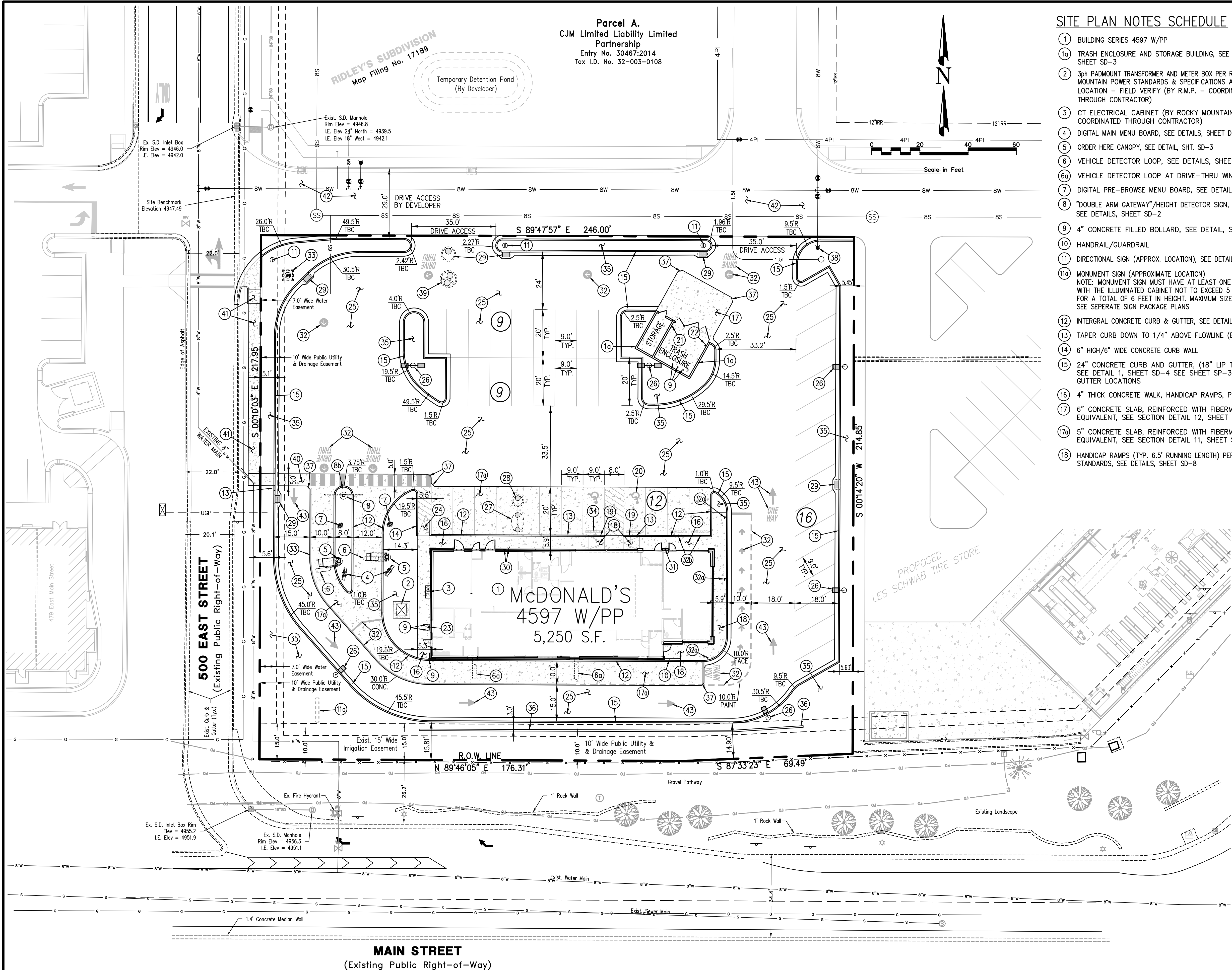
NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS / HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.



UTILITY NOTE
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND.





UTILITY CONTACTS		
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STORM	SANTAQUIN CITY - JON LUNDELL	801-754-1974
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SITE IMPROVEMENT PLAN

NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS / HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

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SITE PLAN NOTES SCHEDULE

- BUILDING SERIES 4597 W/PP
- TRASH ENCLOSURE AND STORAGE BUILDING, SEE DETAILS SHEET SD-3
- 3ph PADMOUNT TRANSFORMER AND METER BOX PER ROCKY MOUNTAIN POWER STANDARDS & SPECIFICATIONS APPROXIMATE LOCATION - FIELD VERIFY (BY R.M.P. - COORDINATED THROUGH CONTRACTOR)
- CT ELECTRICAL CABINET (BY ROCKY MOUNTAIN POWER COORDINATED THROUGH CONTRACTOR)
- DIGITAL MAIN MENU BOARD, SEE DETAILS, SHEET DT-2
- ORDER HERE CANOPY, SEE DETAIL, SHT. SD-3
- VEHICLE DETECTOR LOOP, SEE DETAILS, SHEET DT-1
- VEHICLE DETECTOR LOOP AT DRIVE-THRU WINDOWS
- DIGITAL PRE-BROWSE MENU BOARD, SEE DETAILS, SHEET DT-2
- "DOUBLE ARM GATEWAY"/HEIGHT DETECTOR SIGN, (REVERSE ARM) SEE DETAILS, SHEET SD-2
- 4" CONCRETE FILLED BOLLARD, SEE DETAIL, SHEET SD-1
- HANDRAIL/GUARDRAIL
- DIRECTIONAL SIGN (APPROX. LOCATION), SEE DETAILS, SHT. SD-2
- MONUMENT SIGN (APPROXIMATE LOCATION)
NOTE: MONUMENT SIGN MUST HAVE AT LEAST ONE FOOT PEDESTAL WITH THE ILLUMINATED CABINET NOT TO EXCEED 5 FEET IN HEIGHT. FOR A TOTAL OF 6 FEET IN HEIGHT. MAXIMUM SIZE IS 80 SQ. FT. SEE SEPERATE SIGN PACKAGE PLANS
- INTERGRAL CONCRETE CURB & GUTTER, SEE DETAIL 2, SHT. SD-4
- TAPER CURB DOWN TO 1/4" ABOVE FLOWLINE (BOTH SIDES)
- 6" HIGH/6" WIDE CONCRETE CURB WALL
- 24" CONCRETE CURB AND GUTTER, (18" LIP TO FLOWLINE) SEE DETAIL 1, SHEET SD-4 SEE SHEET SP-3 FOR SPILL GUTTER LOCATIONS
- 4" THICK CONCRETE WALK, HANDICAP RAMPS, PATIO AREA, ETC.
- 6" CONCRETE SLAB, REINFORCED WITH FIBERMESH OR EQUIVALENT, SEE SECTION DETAIL 12, SHEET SD-4
- 5" CONCRETE SLAB, REINFORCED WITH FIBERMESH OR EQUIVALENT, SEE SECTION DETAIL 11, SHEET SD-4
- HANDICAP RAMPS (TYP. 6.5' RUNNING LENGTH) PER ADA STANDARDS, SEE DETAILS, SHEET SD-8
- HANDICAP PARKING SIGNS (2 TOTAL-1 VAN PER ADA STNDS.) SEE SHEET SD-7
- HANDICAP SYMBOL (TYP. OF 2) PAINTED PER ADA STNDS.
- FREEZELESS YARD HYDRANT WITH THREADED WATER CONNECTION
- 1" PVC CONDUIT FOR POWER TO STORAGE BUILDING
- EXTERNAL GAS METER AND PRESSURE REGULATOR
- CONCRETE DELIVERY RAMP AND HANDICAP RAMP
- ASPHALT PAVING (TYP.) SEE SECTION DETAIL, SHEET SD-4
- OUTDOOR LOT LIGHT (APPROX. LOCATION), SEE SHEET LTG-1
- 1,500 GAL. GREASE INTERCEPTOR (SEWER), SEE CONFIGURATION DETAILS, SHT. SD-5
- SAMPLING MANHOLE (SEWER), SEE DETAIL SHEET SD-5
- STORM DRAIN CURB INLET BOX, STORM DRAIN MANHOLE
- WALL TYPE INDICATOR VALVE (WIV) AND FIRE DEPARTMENT CONNECTION (FDC), SEE SHT. SP-2
- "KNOX BOX" PER FIRE DEPARTMENT STANDARDS. & SPECS.
- SEE SHEET SP-1A FOR ALL PAINT MARKINGS (TYP.) AND DRIVE-THRU SIGNAGE LOCATION DETAILS
- ROLL FORWARD SIGNAGE, SEE SHEET SP-1A
- MOBILE ORDER SIGN, SEE SHEET SP-1A
- WATER METER BOX
- CONCRETE WHEEL STOP (TYP. OF 2)
- LANDSCAPE AREA, SEE SHT. LS-1
- 8" WIDE CONCRETE RETAINING WALL, SEE DETAIL, SHT. SD-4
- 2" CONCRETE CHAMFER (TYPICAL)
- PROPOSED FIRE HYDRANT BY DEVELOPER
- 72" DIA. CONCRETE MANHOLE FOR STORMTECH SYSTEM
- 5 FT. WIDE CONCRETE SIDEWALK BY McDONALD'S TO NEW SIDEWALK (BY DEVELOPER) FOR PUBLIC ACCESS
- 5 FT. WIDE CONCRETE SIDEWALK AND H.C. RAMP AS SHOWN ALONG 500 EAST STREET (BY DEVELOPER)
- 29' WIDE ASPHALT ACCESS DRIVE BY DEVELOPER
- PAINT GRAPHICS WHITE DIRECTIONAL PAINT MARKINGS AROUND SITE

PROJECT DATA CHART

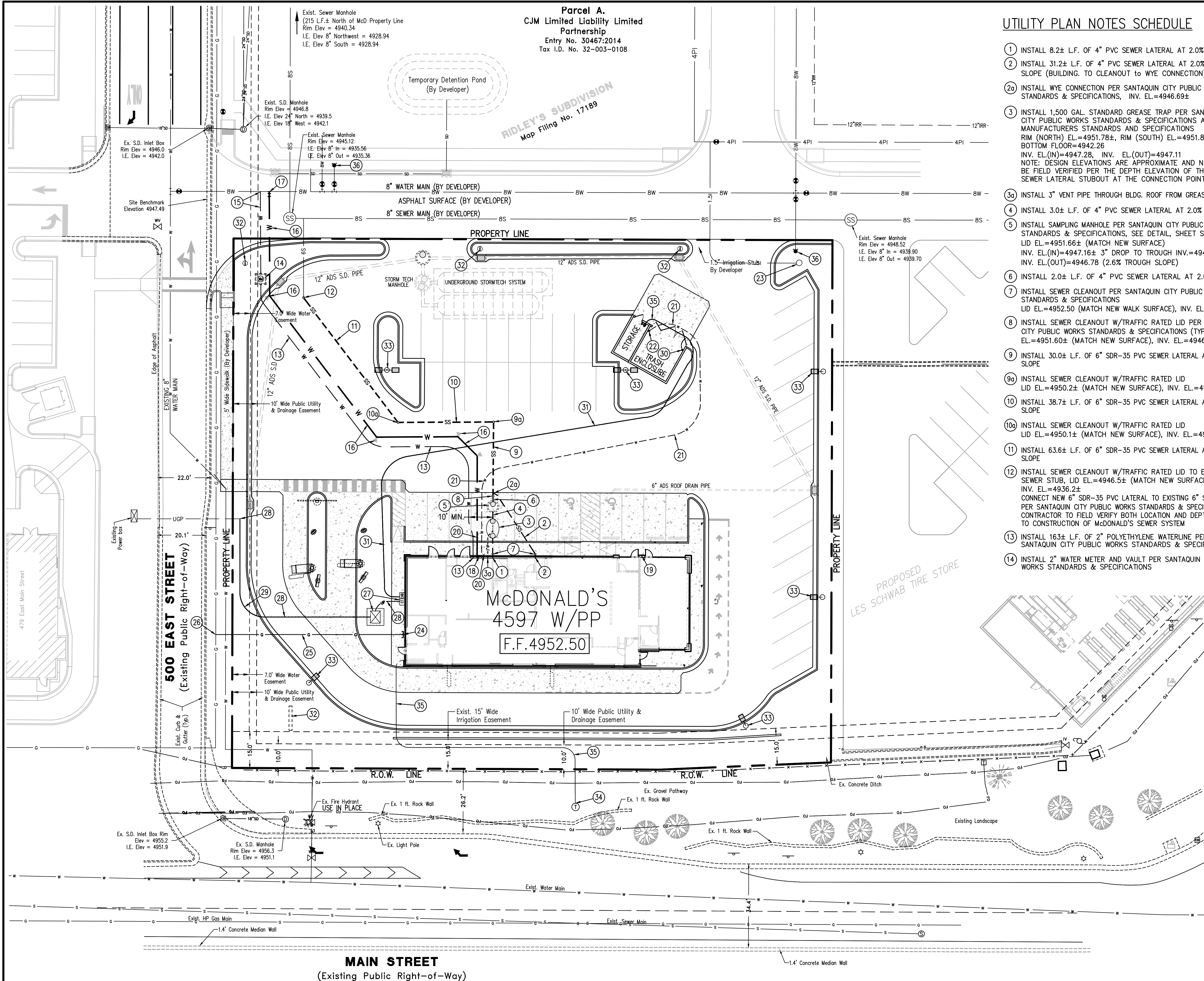
SANTAQUIN CITY ZONING	COMMERCIAL
TOTAL GROSS ACREAGE	1.23 ACRES (53,491 S.F.)
TOTAL GROSS RESTAURANT AND STORAGE BUILDING TOTAL GROSS AREA	5,406 S.F. (10.11%)
TOTAL GROSS HARDSCAPE AREA	37,214 S.F. (69.57%)
TOTAL PROP. LANDSCAPE	10,872 S.F. (20.32%)
PARKING REQUIREMENTS: 1 STALL PER 125 SQ. FT. OF TOTAL BUILDING SQUARE FOOTAGE 5,250 ÷ 125 = 42 STALLS REQUIRED	
PROVIDED PARKING STALLS	46

GENERAL NOTES:

- ALL HANDICAP ACCESS WALKWAYS TO BE CONSTRUCTED PER ADA STANDARDS AND SPECIFICATIONS (I.E.-MAX. 5% TRAVEL SLOPE AND MAX. 2% CROSS SLOPE) SEE SHEET SD-8 FOR ADA DETAILS AND ADDITIONAL CONSTRUCTION INFORMATION.
- ALL APPLICABLE ELEMENTS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES WILL BE ADHERED TO.
- ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.
- FOLLOW ALL RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT BY TERRACON CONSULTANTS, INC., DATED 11/9/2020
- ALL CONCRETE SURFACE TO BE SEAL-COATED PER McDONALD'S REQUIREMENTS.
- ALL PARKING STALLS AND DRIVE LANE DIMENSIONS ARE TO FACE OF CURB WHERE APPLICABLE.
- CONTRACTOR TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. THIS INCLUDES EXTERIOR DOORS, SELF-SERVE BEVERAGE BAR AND DRIVE-THRU WINDOWS. SIGNAGE PACKAGE SUPPLIED BY:
FORREST PERMA-SIGN 1-800-214-8765
9292 1st STREET, BOX 588 NEW ROCHELLE, NY 10802

PREPARED BY:	NO. 8030527 JEREMY RICK HANSON 4/16/22 STATE OF UTAH	DATE:	REV:	DESCRIPTION:	BY:
PREPARED FOR:	McDONALD'S CORPORATION	DATE:	REV:	DESCRIPTION:	BY:
DRAWN BY:	STD ISSUE DATE:	REVIEWED BY:	DATE REVIEWED:	DATE ISSUED:	
TITLE:	McDONALD'S SITE IMPROVEMENT PLANS	SANTAQUIN, UTAH	SITE IMPROVEMENT PLAN	SITE ID:	043-0320 550 E. MAIN STREET, SANTAQUIN, UTAH
SHEET NO.:	SP-1				

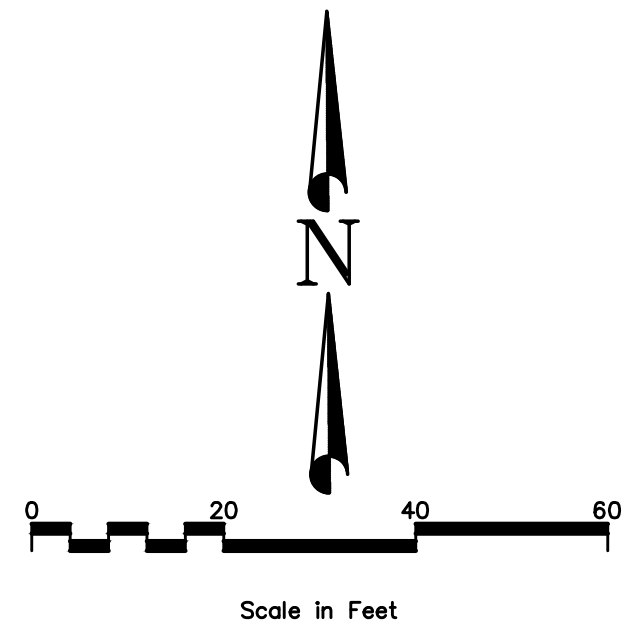
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UTILITY PLAN NOTES SCHEDULE

- 1 INSTALL 8.2± L.F. OF 4" PVC SEWER LATERAL AT 2.0% SLOPE
- 2 INSTALL 31.2± L.F. OF 4" PVC SEWER LATERAL AT 2.0% SLOPE (BUILDING TO CLEANOUT TO WYE CONNECTION)
- 2a INSTALL WYE CONNECTION PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS, INV. EL.=4946.69±
- 3 INSTALL 1,500 GAL. STANDARD GREASE TRAP PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS AND MANUFACTURERS STANDARDS AND SPECIFICATIONS RIM (NORTH) EL.=4951.78±, RIM (SOUTH) EL.=4951.89± BOTTOM FLOOR=4942.26 INV. EL.(N)=4947.28, INV. EL.(OUT)=4947.11 NOTE: DESIGN ELEVATIONS ARE APPROXIMATE AND NEED TO BE FIELD VERIFIED PER THE DEPTH ELEVATION OF THE EXIST. SEWER LATERAL STUBOUT AT THE CONNECTION POINT
- 3a INSTALL 3" VENT PIPE THROUGH BLDG. ROOF FROM GREASE TRAP
- 4 INSTALL 3.0± L.F. OF 4" PVC SEWER LATERAL AT 2.0% SLOPE
- 5 INSTALL SAMPLING MANHOLE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS, SEE DETAIL, SHEET SD-6 LID EL.=4951.66± (MATCH NEW SURFACE) INV. EL.(IN)=4947.16± 3" DROP TO TROUGH INV.=4946.91 INV. EL.(OUT)=4946.78 (2.6% TROUGH SLOPE)
- 6 INSTALL 2.0± L.F. OF 4" PVC SEWER LATERAL AT 2.0% SLOPE
- 7 INSTALL SEWER CLEANOUT PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS LID EL.=4952.50 (MATCH NEW WALK SURFACE), INV. EL.=4947.19±
- 8 INSTALL SEWER CLEANOUT W/TRAFFIC RATED LID PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS (TYPICAL) LID EL.=4951.60± (MATCH NEW SURFACE), INV. EL.=4946.69±
- 9 INSTALL 30.0± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT MIN. 3.3% SLOPE
- 9a INSTALL SEWER CLEANOUT W/TRAFFIC RATED LID LID EL.=4950.2± (MATCH NEW SURFACE), INV. EL.=4944.57±
- 10 INSTALL 38.7± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT 1.6% SLOPE
- 10a INSTALL SEWER CLEANOUT W/TRAFFIC RATED LID LID EL.=4950.1± (MATCH NEW SURFACE), INV. EL.=4944.93±
- 11 INSTALL 63.6± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT 13.73% SLOPE
- 12 INSTALL SEWER CLEANOUT W/TRAFFIC RATED LID TO EXIST. 6" SEWER STUB, LID EL.=4946.5± (MATCH NEW SURFACE) INV. EL.=4936.2± CONNECT NEW 6" SDR-35 PVC LATERAL TO EXISTING 6" SEWER STUB PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS CONTRACTOR TO FIELD VERIFY BOTH LOCATION AND DEPTH PRIOR TO CONSTRUCTION OF McDONALD'S SEWER SYSTEM
- 13 INSTALL 163± L.F. OF 2" POLYETHYLENE WATERLINE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
- 14 INSTALL 2" WATER METER AND VAULT PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS

- 15 INSTALL 34.0± L.F. OF 2" POLYETHYLENE WATERLINE AND MAKE TAP CONNECTION TO EXISTING 8" WATER MAIN PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
- 16 INSTALL 200± L.F. OF 6" PVC C900 WATER LINE W/TRACER WIRE, INSTALL 45° BENDS AND THRUST BLOCKING AS SHOWN (FIRE PROTECTION) AT MIN. 4 FT. COVER TO TOP OF PIPE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
- 17 INSTALL 8"x 6"x 8" TAPPING TEE WITH 6" GATE VALVE AND CONNECT NEW 6" PVC C900 WATER LINE (FIRE) TO EXIST. 8" WATER MAIN PER SANTAQUIN CITY PUBLIC WORKS DEPT. STANDARDS & SPECIFICATIONS ALL JOINTS TO HAVE ADEQUATE THRUST BLOCKING
- 18 INSTALL WALL TYPE INDICATOR VALVE (WV) PER FIRE DEPT. REQUIREMENTS
- 19 INSTALL KNOX BOX PER FIRE DEPARTMENT REQUIREMENTS
- 20 INSTALL FIRE DEPT. CONNECTION (FDC) PER FIRE DEPT. REQUIREMENTS
- 21 INSTALL 153± L.F. OF 3/4" POLYETHYLENE WATER LINE AT MIN. 4" COVER FROM THE MAIN BUILDING TO HOSE BIBB IN TRASH ENCLOSURE
- 22 INSTALL FREEZE-PROOF HOSE BIBB WITH BACKFLOW PREVENTOR
- 23 1-1/2" PVC IRRIGATION PIPE CONNECTION (APPROXIMATE LOCATION)
- 24 INSTALL EXTERNAL GAS METER - APPROXIMATE LOCATION
- 25 INSTALL 77± L.F. OF GAS LINE - APPROXIMATE LOCATION, CONTRACTOR TO COORDINATE SIZE AND LOCATION WITH GAS COMPANY
- 26 GAS LINE CONNECTION POINT TO EXIST. GAS LINE (APPROX. LOCATION) CONTRACTOR TO FIELD VERIFY EXACT LOCATION, TYPE AND SIZE OF EXISTING GAS LINE BEFORE NEW LINE TO BUILDING IS INSTALLED
- 27 NEW 3ph PADMOUNT TRANSFORMER AND CT CABINET (CONTRACTOR TO PROVIDE) PER ROCKY MOUNTAIN POWER STANDARDS & SPECIFICATIONS (CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER)
- 28 INSTALL UNDERGROUND POWER SERVICE CONDUITS FROM CT CABINET TO NEW TRANSFORMER AND FROM TRANSFORMER TO CONNECTION POINT (CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER)
- 29 CONDUIT ELBOWS TO BE FIBERGLASS WITH MINIMUM 4 FT. RADIUS PER ROCKY MOUNTAIN POWER STANDARDS
- 30 INSTALL 1-INCH CONDUIT RISER FOR POWER TO TRASH ENCLOSURE
- 31 INSTALL 243± L.F. OF 1" CONDUIT FOR POWER TO TRASH ENCLOSURE AND STORAGE BUILDING
- 32 INSTALL CONDUIT TO THE BUILDING FOR POWER ON ALL NEW DIRECTIONAL SIGNS AND NEW MONUMENT SIGN - TYPICAL (SEPARATE SIGN PERMIT)
- 33 INSTALL LOT LIGHTING POLES, SEE DETAILS, SHT. LTG-1
- 34 EXISTING TELEPHONE BOX - USE IN PLACE (POSSIBLE CONNECTION POINT FOR COMMUNICATION CONDUIT TO NEW BUILDING)
- 35 INSTALL 131± L.F. OF COMMUNICATION CONDUIT PER CENTURYLINK COMMUNICATIONS STANDARDS & SPECIFICATIONS
- 36 EXISTING FIRE HYDRANT (BY DEVELOPER) - LEAVE IN PLACE



NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS / HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.



UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND.

UTILITY CONTACTS		
WATER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
STORM	SANTAQUIN CITY - JON LUNDELL	801-754-1974
SEWER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
ELECTRIC POWER	ROCKY MOUNTAIN POWER	1-888-221-7070
GAS	DOMINION ENERGY - DAVE CHRISTENSEN	801-853-6586
TELEPHONE	CENTURYLINK	801-974-8130
HEALTH DEPT.	UTAH COUNTY HEALTH DEPARTMENT	801-851-7332

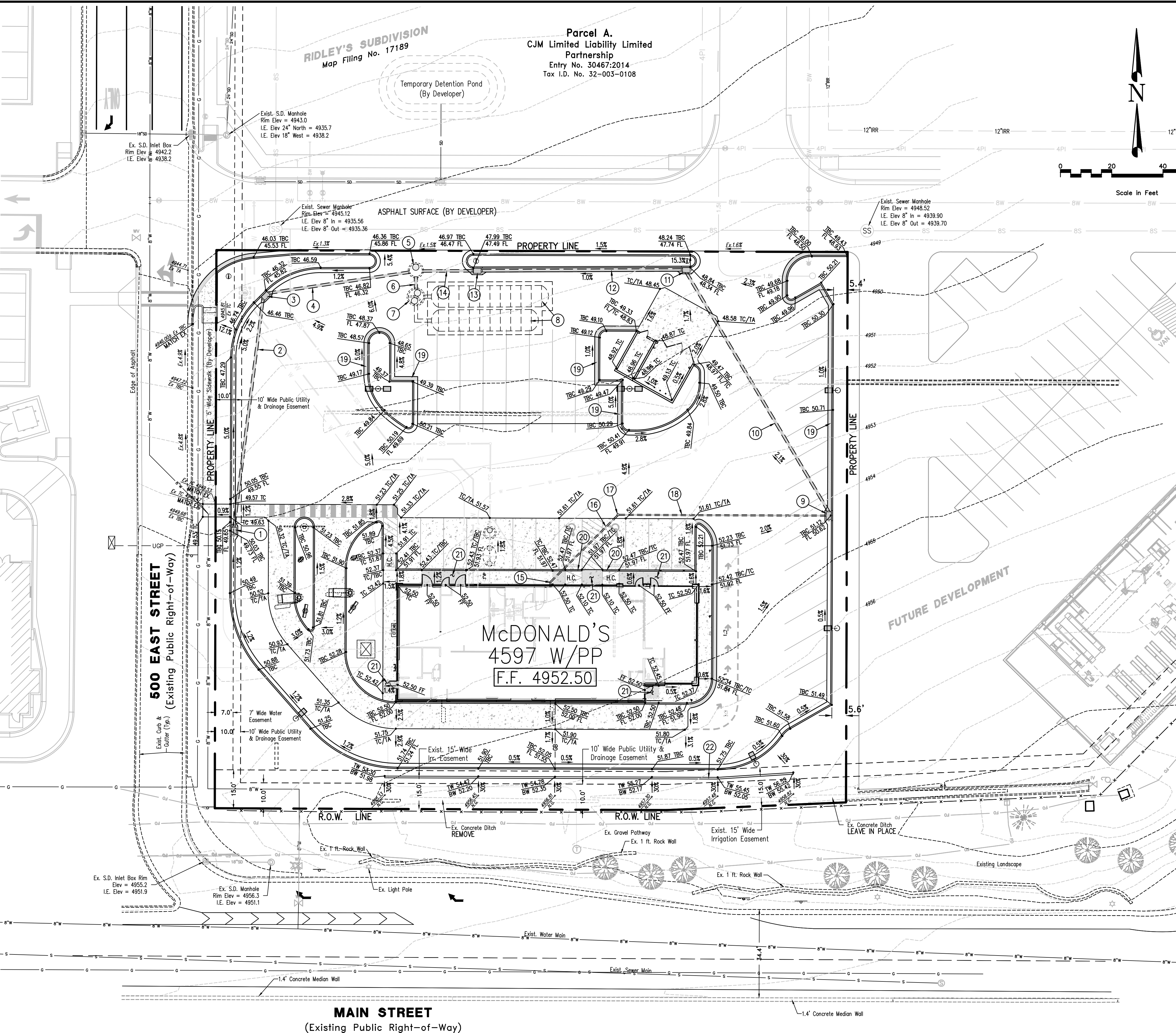
SITE UTILITY PLAN

SHEET NO.	TITLE	DESCRIPTION	SITE ID	SITE ADDRESS	OFFICE ADDRESS	DATE ISSUED	DATE REVIEWED	REVIEWED BY	STD ISSUE DATE	DRAWN BY	PREPARED FOR	MCDONALD'S CORPORATION	KNOX DRIVE - JAM BROOK, ILLINOIS 60051	THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MCDONALD'S CORPORATION. NO PART OF THESE DRAWINGS OR SPECIFICATIONS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN AUTHORIZATION OF MCDONALD'S CORPORATION. ANY VIOLATION OF THIS NOTICE SHALL BE SUBJECT TO LEGAL ACTION.	PREPARED BY	REGISTERED PROFESSIONAL ENGINEER	No. 8030527 JERRY RICK HANSON 4/6/18 STATE OF UTAH	REV	DATE	BY

SP-2

UTILITY CONTACTS		
WATER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
STORM	SANTAQUIN CITY - JON LUNDELL	801-754-1974
SEWER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
ELECTRIC POWER	ROCKY MOUNTAIN POWER	1-888-221-7070
GAS	DOMINION ENERGY - DAVE CHRISTENSEN	801-853-6586
TELEPHONE	CENTURYLINK	801-974-8130
HEALTH DEPT.	UTAH COUNTY HEALTH DEPARTMENT	801-851-7332

SITE GRADING-DRAINAGE PLAN



GRADING PLAN NOTES SCHEDULE

1. INSTALL AMCOR 2'x3' CURB INLET CATCH BASIN WITH FRAME AND HOODED GRATE OR EQUIVALENT PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
GRATE EL.=4949.73 INV.(OUT) EL.=4947.23
2. INSTALL 89.9± L.F. OF 12" ADS PIPE AT 4.3% SLOPE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECS.
3. INSTALL AMCOR 2'x3' CURB INLET CATCH BASIN WITH FRAME AND HOODED GRATE OR EQUIVALENT PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
GRATE EL.=4945.82 INV.(IN) EL.=4943.32 INV.(OUT) EL.=4943.32
4. INSTALL 55.7± L.F. OF 12" ADS PIPE AT 2.0% SLOPE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
5. INSTALL 5' DIA. S.D. MANHOLE WITH SOLID LID PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
LID EL.=4947.56 INV.(IN-W) EL.=4942.21 INV.(IN-E) EL.=4942.21 INV.(OUT) EL.=4937.60
6. INSTALL 4.9± L.F. OF 15" ADS PIPE AT 2.0% SLOPE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECS.
7. INSTALL 72" DIA. PRECAST CONCRETE FLAT FLOOR BASE MANHOLE WITH CONCRETE WEIR PER SANTAQUIN CITY PUBLIC STANDARDS & SPECIFICATIONS, AND MANUFACTURER'S SPECIFICATIONS. LID TO MATCH FINISH GRADE. LID EL.= 4947.2± INV.(IN) EL.= 4937.50 INV.(OUT) EL.= 4937.50 BOTTOM CONC. FLOOR EL.= 4936.50 SEE DETAILS SHEET SD-7
8. INSTALL MC-4500 STORMTECH WATER DETENTION SYSTEM WITH ISOLATOR ROW AT 45.72 FT. LONG, WITH 10 CHAMBERS AND END CAPS AND SECOND ROW AT 41.69 FT. LONG WITH 9 CHAMBERS AND END CAPS AS SHOWN PER MANUFACTURER'S AND SANTAQUIN CITY STANDARDS & SPECIFICATIONS SEE DETAILS SHEET SD-7
9. INSTALL AMCOR 2'x3' CURB INLET CATCH BASIN WITH FRAME AND HOODED GRATE OR EQUIVALENT PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
GRATE EL.=4950.62 INV.(IN) 6-INCH EL.=4948.12 INV.(OUT) EL.=4948.12
10. INSTALL 108.6± L.F. OF 12" ADS PIPE AT 2.1% SLOPE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECS.
11. INSTALL AMCOR 2'x3' CURB INLET CATCH BASIN WITH FRAME AND HOODED GRATE OR EQUIVALENT PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
GRATE EL.=4948.34 INV.(IN) EL.=4945.84 INV.(OUT) EL.=4945.84
12. INSTALL 78.6± L.F. OF 12" ADS PIPE AT 1.7% SLOPE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECS.
13. INSTALL AMCOR 2'x3' CURB INLET CATCH BASIN WITH FRAME AND HOODED GRATE OR EQUIVALENT PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
GRATE EL.=4947.49 INV.(IN) EL.=4944.49 INV.(OUT) EL.=4944.49
14. INSTALL 20.0± L.F. OF 12" ADS PIPE AT 11.4% SLOPE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECS.
15. INSTALL 2.0± L.F. OF 6" ADS ROOF DRAIN PIPE AND ADS 45' BEND AT 2.0% SLOPE, INV. EL.(OUT OF BLDG.)=4950.50
16. INSTALL 36.9± L.F. OF 6 INCH ADS ROOF DRAIN PIPE AT 4.2% SLOPE INV. EL. (OUT OF 45' BEND)=4950.46±
17. INSTALL ADS ROOF DRAIN PIPE CLEANOUT LID EL.=4950.91±, INV. EL.(IN-OUT)=4948.91±
18. INSTALL 81.0± L.F. OF 6 INCH ADS ROOF DRAIN PIPE AT 1.0% SLOPE CONNECT INTO CURB INLET CATCH BASIN AT INV. EL.=4948.12
19. REVERSE PAN GUTTER (HATCHED AREA - TYPICAL)
20. TAPER CURB DOWN TO BOTTOM OF RAMP ELEVATION
21. LANDING AREA (5'x5' MIN.) PER ADA STANDARDS AND SPECIFICATIONS, TYPICAL ALL DOORS, TOP AND BOTTOM H.C. RAMPS, SEE DETAILS, SHEET SD-SD-6
22. 8-INCH WIDE CONCRETE RETAINING WALL, SEE DETAIL, SHT. SD-4

GENERAL NOTES:

1. ALL HANDICAP ACCESS WALKWAYS TO BE CONSTRUCTED PER ADA STANDARDS AND SPECIFICATIONS (I.E.-MAX. 5% TRAVEL SLOPE AND MAX. 2% CROSS SLOPE) SEE SHEET SD-8 FOR ADA DETAILS AND ADDITIONAL CONSTRUCTION INFORMATION.
2. ALL APPLICABLE ELEMENTS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES WILL BE ADHERED TO.
3. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.
4. FOLLOW ALL RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT BY TERRACON CONSULTANTS, INC., DATED 11/9/2020
5. ALL CONCRETE SURFACE TO BE SEAL-COATED PER McDONALD'S REQUIREMENTS.
6. ALL PARKING STALLS AND DRIVE LANE DIMENSIONS ARE TO FACE OF CURB WHERE APPLICABLE.
7. CONTRACTOR TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. THIS INCLUDES EXTERIOR DOORS, SELF-SERVE BEVERAGE BAR AND DRIVE-THRU WINDOWS. SIGNAGE PACKAGE SUPPLIED BY:
FORREST PERMA-SIGN 1-800-214-8765
9282 1st STREET, BOX 588 www.forrestpermasigns.com
NEW ROCHELLE, NY 10802

NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS / HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

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UTILITY NOTE

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SHEET NO.	TITLE	DRAWN BY	STD. ISSUE DATE	REVIEWED BY	DATE REVIEWED	DATE ISSUED	SITE ID	SITE ADDRESS	OFFICE ADDRESS	DENVER REGION	DATE	REV	DESCRIPTION	BY
SP-3	McDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH SITE GRADING-DRAINAGE PLAN	McDONALD'S CORPORATION KYLE DRIE - JAM BROOK, ILLINOIS 60051					043-0320	550 E. MAIN STREET, SANTAQUIN, UTAH	4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237					

CONCRETE CURBING ONLY REQUIRED WHEN PREVENTING DIRECT ACCESS FROM SITE INGRESS.

STRIPING/LANDSCAPING

1E

1B

CONC. CURB (TYP.)

3F

3E

2B

4F

2A

SECONDARY LANE

LANDSCAPING

1A

18"-24"

3H

3C

3D

2 PANEL OUTDOOR DIGITAL MENU BOARD - TYP. OF 2

1B

3E

4D

4B

4A

1B

4C

1F

2C

3A

5A

42.0'-45.0' MAX. WINDOW SPACING (40'-45' FOR EXISTING BUILDINGS)

40'-0" M

1

ODMB

1" = 10'-0"

1F THE RADIUS FOR THE ISLAND TIP SHALL BE 1'-6".

2. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 PAVEMENT MARKINGS:

2A 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE. LANE STARTS AT DRIVE-THRU ENTRANCE WHERE "McDONALD'S GATEWAY" SIGN IS LOCATED.

2B DOUBLE-HEADED ARROW PAVEMENT MARKING. STANDARD STRIPING MARKINGS ARE 7'-0" SHAFT, 7'-0" ARROW STEM AND 3'-0" FOR THE ARROW HEAD. TIP OF ARROW HEAD TO BE LOCATED AT CENTER OF EACH LANE.

2C MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH COD SIMULTANEOUSLY MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 9'-0" AND OFFSETTING THE OUTER LANE STRIPING 6'-0". AT THE INTERSECTION OF THESE OFFSETS, A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE.

2D THE WORDS "THANK YOU" ARE TO BE PLACED 8" FROM THE EDGE OF THE YELLOW STRIPE TO THE BOTTOM OF THE WORD "YOU".

2E THE 8" YELLOW STRIPE IS TO BE PLACED 40'-0" FROM THE CENTER LINE OF THE OPEN PRESENT WINDOW AND IS FOR PARKING CARS THAT ARE WAITING FOR ORDERS.

2F A CIRCLE DIRECTIONAL ARROW CENTERED ABOVE THE WORD "DRIVE THRU" USED TO INDICATE THE DRIVE THRU ENTRY POINT.

- 1A** DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0". LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0".
- 1B** THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0".
- 1C** PRIMARY LANE CURBING SHOULD BE AS STRAIGHT AS POSSIBLE. (LESS CURVING, THE BETTER).
- 1D** THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 35'-45'. THE LENGTH OF THE ISLAND FROM THE COD ALLOWS FOR THREE CARS IN THE SECONDARY LANE, TWO IN THE PRIMARY LANE AND ONE AT THE COMMITMENT POINT.
- 1E** ENTRANCE LANE ENTERING THE SIDE BY SIDE DRIVE-THRU IS TO BE 14'-0" MIN.
- 1F** THE RADIUS FOR THE ISLAND TIP SHALL BE 1'-6".

- [2A]** 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE. LANE STARTS AT DRIVE-THRU ENTRANCE WHERE "McDONALD'S GATEWAY" SIGN IS LOCATED.
- [2B]** DOUBLE-HEADED ARROW PAVEMENT MARKING. STANDARD STRIPING MARKINGS ARE 7'-0" SHAFT, 7'-0" ARROW STEM AND 3'-0" FOR THE ARROW HEAD. TIP OF ARROW HEAD TO BE LOCATED AT CENTER OF EACH LANE.
- [2C]** MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH COD SIMULTANEOUSLY MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 9'-0" AND OFFSETTING THE OUTER LANE STRIPING 8'-0". AT THE INTERSECTION OF THESE OFFSETS, A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE.
- [2D]** THE WORDS "THANK YOU" ARE TO BE PLACED 8" FROM THE EDGE OF THE YELLOW STRIPE TO THE BOTTOM OF THE WORD "YOU".
- [2E]** THE 8" YELLOW STRIPE IS TO BE PLACED 40'-0" FROM THE CENTER LINE OF THE OPEN PENDING WINDOW AND IS FOR PARKING CARS THAT ARE WAITING FOR ORDERS.
- [2F]** A CIRCLE DIRECTIONAL ARROW CENTERED ABOVE THE WORD "DRIVE THRU" USED TO INDICATE THE DRIVE THRU ENTRY POINT.

3A MIN. 60'-0" (+5', 60'-65") LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE COD FACE AND THE CENTER LINE OF THE OPEN DRIVE BOOTH WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20'-0" INCREMENTS ($\pm 5'$ FOR 80', 100', AND 120') TO A MAX OF 120'. 100'-0" IS OPTIMAL.

3B THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION IS TO BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE COD FOUNDATION.

3C THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25' TO 35° ANGLE (35° PREFERRED) FROM A CAR POSITIONED AT THE COD AND WITH 100% VISIBILITY.

3D AUGER "McDONALD'S ORDER HERE CANOPY" COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.

3E A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB.

3F AUGER "McDONALD'S GATEWAY" SIGN FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.

3G THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY COD MUST BE 15'-0". THIS MEASUREMENT IS TAKEN PARALLEL TO THE INSIDE CURB FACE OF THE PRIMARY LANE.

3H THE PRIMARY LANE DETECTOR LOOP SHOULD BE PERPENDICULAR TO THE CENTER OF THE PRIMARY COD.

4. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 EQUIPMENT POSITIONING FOR SECONDARY LANE:

4A TO POSITION THE SECONDARY COD, DRAW AN ARC WITH A 14' RADIUS THAT IS CENTERED FROM THE MIDPOINT OF THE ISLAND TIP. THEN OFFSET THE FACE OF THE CURB BY 24" TO DETERMINE THE LOCATION OF CENTER OF FOUNDATION OF THE SECONDARY COD.

4B WHEN THE SECONDARY COD IS LOCATED AT 14'-0" FROM THE TIP OF THE CURBED ISLAND, THE LOOP DETECTOR IS TO BE 2'-0" FORWARD OF THE COD CENTER LINE WITH THE LOOP FACING FORWARD AND THE DETECTOR LOOP PERPENDICULAR TO THE SECONDARY COD WHEN POSSIBLE.

4C THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHALL BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM CENTER OF THE COD FOUNDATION WITH THE END CAP OF THE SECONDARY MENU BOARD NOT BE LESS THAN 12" FROM FACE OF CURB.

4D AUGER "McDONALD'S ORDER HERE CANOPY" COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.

4E THE SECONDARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25' FROM A VEHICLE POSITIONED AT THE COD AND WITH 100% VISIBILITY.

4F "ANY LANE, ANY TIME" BOLLARD SIGN MUST BE A MIN. OF 1'-6" FROM FACE OF CURB AT THE BEGINNING OF THE LANDSCAPE ISLAND. BOLLARD SIGN IS TO BE ORIENTED AT AN ANGLE OF 90° FROM THE CURB.

5. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 DETECTOR LOOP:

5A DETECTOR LOOPS SHALL BE LOCATED AT THE CENTER OF THE OPENING WINDOW AT THE CASH AND PRESENTER BOOTHS.

1A PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB (18" TO 24" PREFERRED). THE DISTANCE BETWEEN THE PRIMARY COD AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE COD FOUNDATION. THE ANGLE (APPROXIMATELY 50°) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD.

1B PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB (18" PREFERRED). THE DISTANCE BETWEEN THE SECONDARY COD AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG FACE OF THE CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE COD FOUNDATION. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD (PREFERRED 35°).

1. DRIVE-THRU ELEMENTS:
COD, DRIVE-THRU PYLON/CLEARANCE POLE AND BOLLARD SIGN SHALL BE CONSISTENT WITH THE STANDARD BUILDING DESIGN DRIVE-THRU ELEMENTS.
OTHER DESIGNS MAY NOT BE USED.
2. CONTRACTOR SHALL COORDINATE WITH APPLICABLE PLANS, McDONALD'S AREA CONSTRUCTION MANAGER, CONTENT SUPPLIER AND SIGNAGE SUPPLIER TO DETERMINE EXACT LOCATION, ORIENTATION, MOUNTING HEIGHTS, AND NUMBER OF BOARDS AND OTHER DRIVE-THRU ELEMENTS TO BE INSTALLED AT THIS SITE. ALL WORK TO BE COORDINATED WITH OTHER TRADES.
3. CONTACT McDONALD'S AREA CONSTRUCTION MANAGER FOR DRIVE-THRU ELEMENT FOOTING AND WIRING REQUIREMENTS NOT SHOWN. (INFORMATION ALSO AVAILABLE THROUGH VENDOR WEBSITES) SIGNAGE MANUFACTURER TO PROVIDE FOOTING ANCHORS & TEMPLATES TO G.C. PRIOR TO FOUNDATION POURING.
4. SEE DETAIL 2 THIS SHEET FOR DETECTOR LOOP INFORMATION, DETAIL 3 THIS SHEET FOR LOW VOLTAGE CONDUIT DIAGRAM AND DETAIL 4 THIS SHEET FOR DRIVE THRU POWER DIAGRAM; VENDOR'S SPECIFICATIONS SHALL GOVERN UPON ANY DISCREPANCIES.
5. CONTRACTOR TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR, CONTENT SUPPLIER AND THE SIGN SUPPLIER.
6. CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP.
7. CONTRACTOR SHALL VERIFY CONDUIT SIZES REQUIRED BY VEHICLE LOOP DETECTOR SUPPLIER.
8. IF 12" MIN. CLEARANCE CANNOT BE ATTAINED OR IF THERE IS A HIGH CHANCE OF AN IMPACT, A BOLLARD MAY BE INSTALLED TO PROTECT THE APPROPRIATE BOARD(S). 100% VISIBILITY OF THE BOARD(S) IS REQUIRED AFTER BOLLARD PLACEMENT.
9. MENU BOARDS SHALL BE PLACED TO ALLOW FRONT ACCESS CLEARANCE: 100% ACCESS IS REQUIRED

1. VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
2. CENTER VEHICLE DETECTOR LOOP IN DRIVE THRU LANE. INSTALL PER MFR. RECOMMENDATIONS.
3. NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2' OF LOOP.
4. DETECTOR LOOP MANUFACTURERS:
DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWING COMPANIES OR EQUAL.
3M: 1-800-328-0033
HME: 1-800-848-4468
5. DETECTOR LOOP MATERIAL:
PVC TUBING 1/2" I.D. 100 PSI LOOP MADE FROM ONE LENGTH OF THIRTYEIGHT GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
6. DETECTOR LOOP CONSTRUCTION:
FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PIGTAILED AS DETAILED.

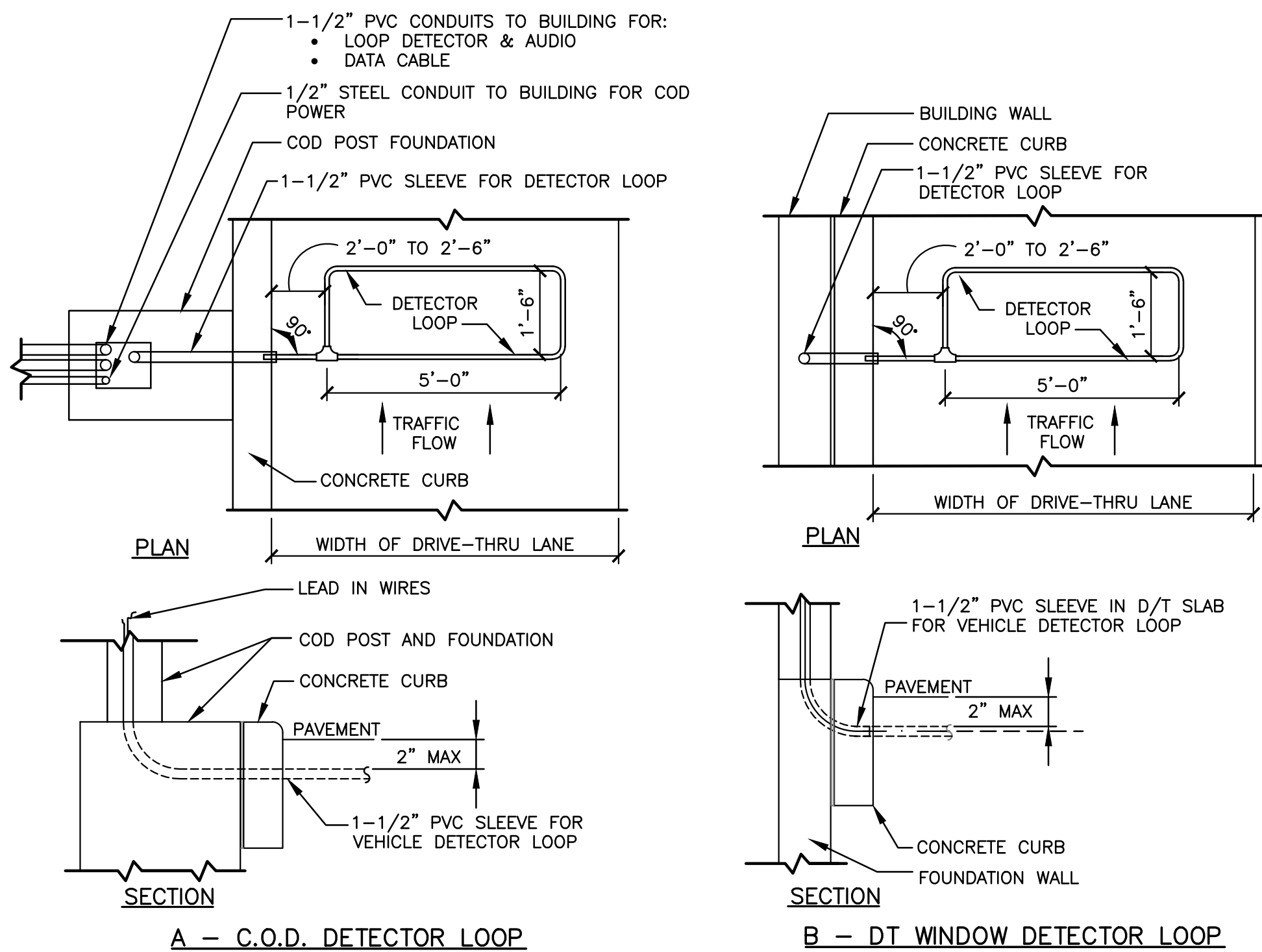


Diagram illustrating the CAT6 Data Cable Plant for the Primary DT Lane, showing the layout of cables and components across the lane.

Components and Connections:

- INSIDE (Top):**
 - PULLBOX AT CASHIERS WINDOW (PB):** The central connection point for the main vertical cables.
 - COD (Cable Outlet Device):** Connected to the PB and the LOOP DETECTOR.
 - LOOP DETECTOR:** Connected to the COD.
 - MENU BOARD #1:** Connected to the COD and the LOOP DETECTOR.
 - PREBROWSE BOARD:** Connected to the MENU BOARD #1.
- OUTSIDE (Bottom):**
 - COD (Cable Outlet Device):** Connected to the PB and the LOOP DETECTOR.
 - LOOP DETECTOR:** Connected to the COD.
 - MENU BOARD #2:** Connected to the COD and the LOOP DETECTOR.
 - PREBROWSE BOARD:** Connected to the MENU BOARD #2.

Cable Specifications and Layout:

- Main Vertical Cables:** 2(1)-1/2"C. ONE FOR COD CABLING, ONE FOR LOOP DETECTOR.
- Horizontal Cables (INSIDE to OUTSIDE):** 2"C. FOR CAT6 DATA CABLES.
- Horizontal Cables (INSIDE to OUTSIDE):** 1"C. FOR CAT6 DATA CABLES.
- Horizontal Cables (INSIDE to OUTSIDE):** 1 1/4"C. FOR CAT6 DATA CABLES.

Other Labels:

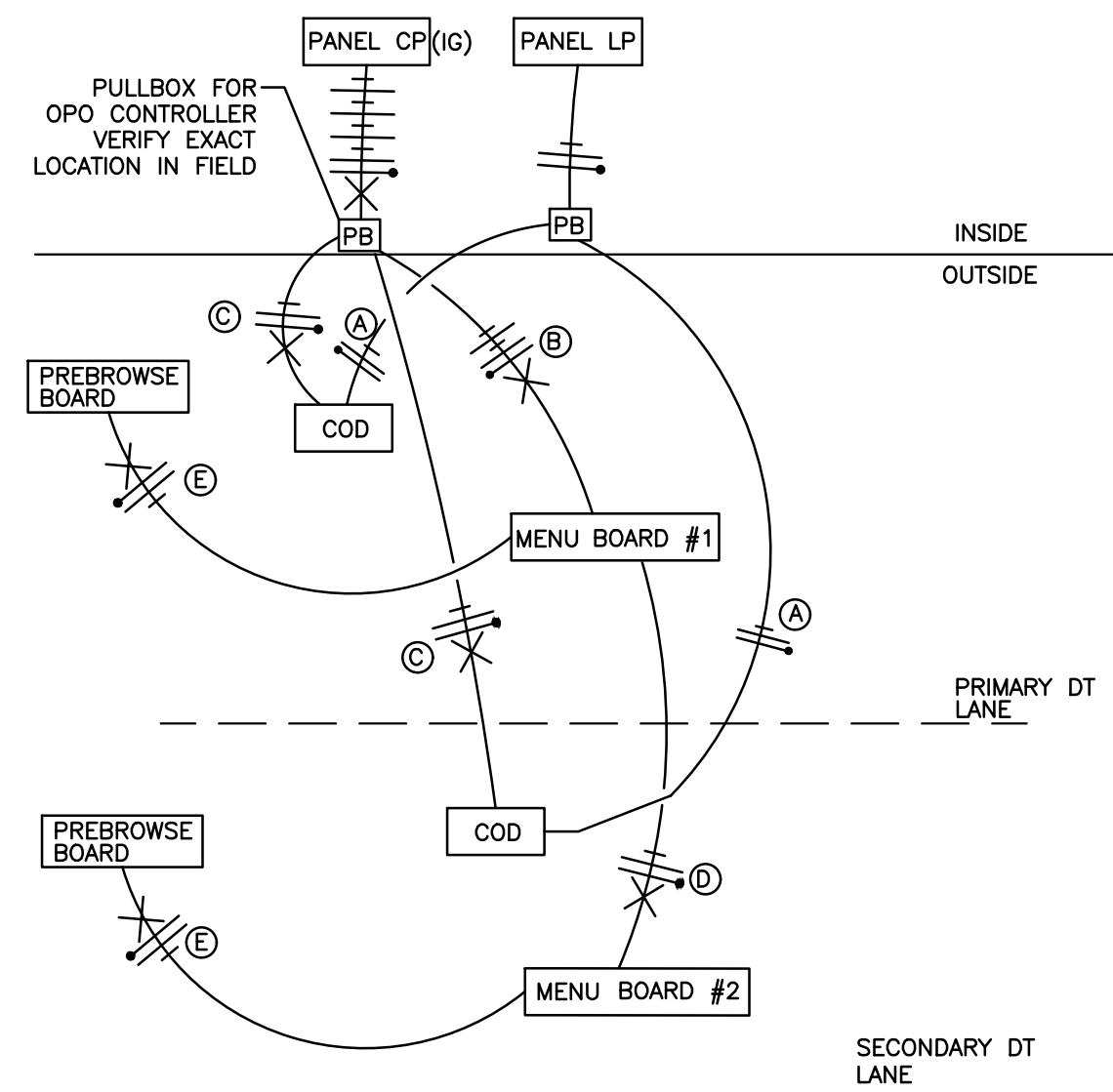
- INSIDE** (Top)
- OUTSIDE** (Bottom)
- PRIMARY DT LANE** (Right)
- SECONDARY DT LANE** (Bottom Right)

- * VERIFY EXACT CIRCUITS & QUANTITIES OF CIRCUITS WITH PANEL SCHEDULES AND MANUFACTURERS INSTALLATION INSTRUCTIONS.

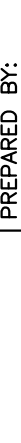

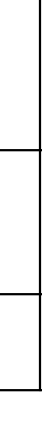
FOR EXISTING LOCATIONS:

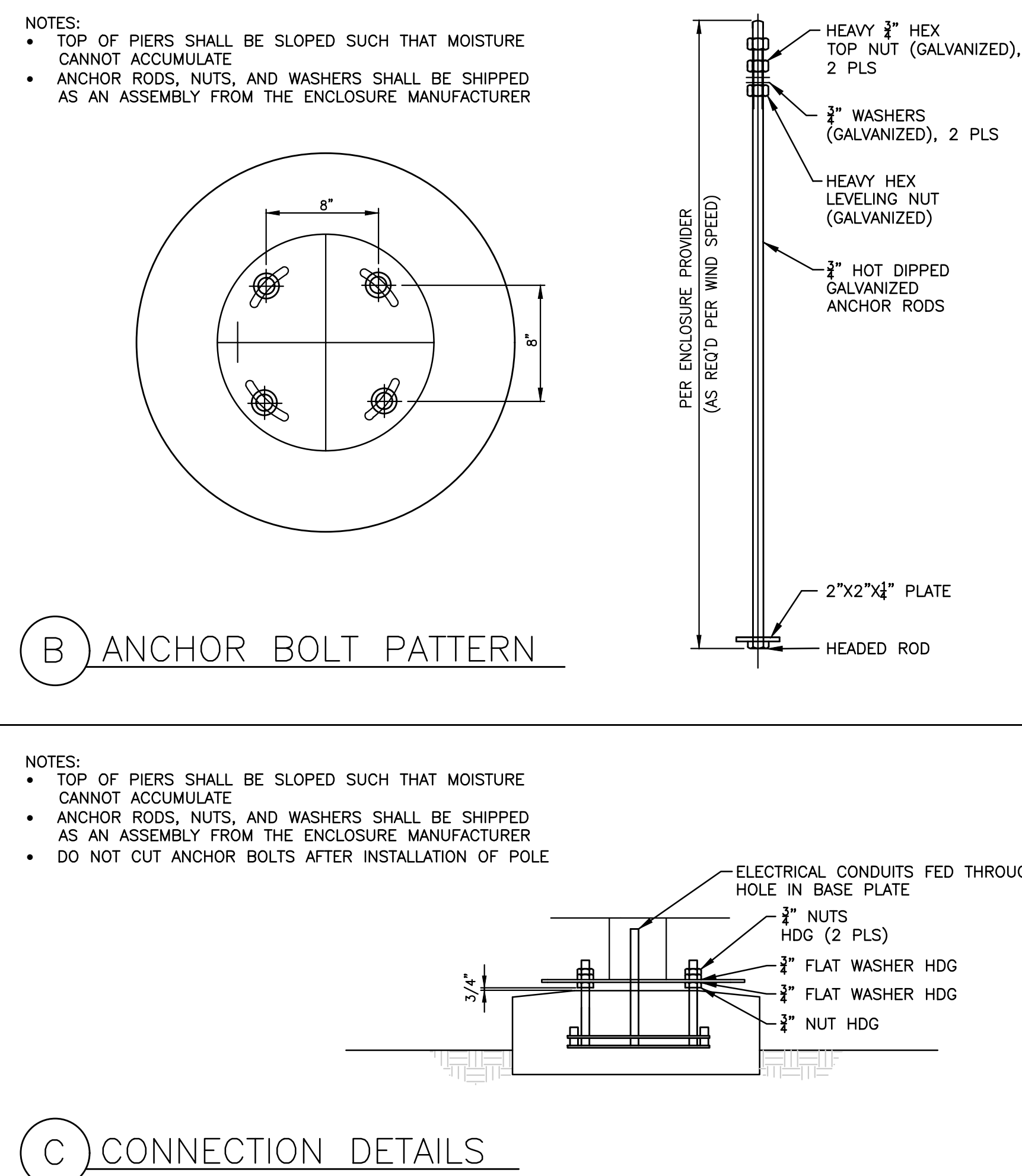
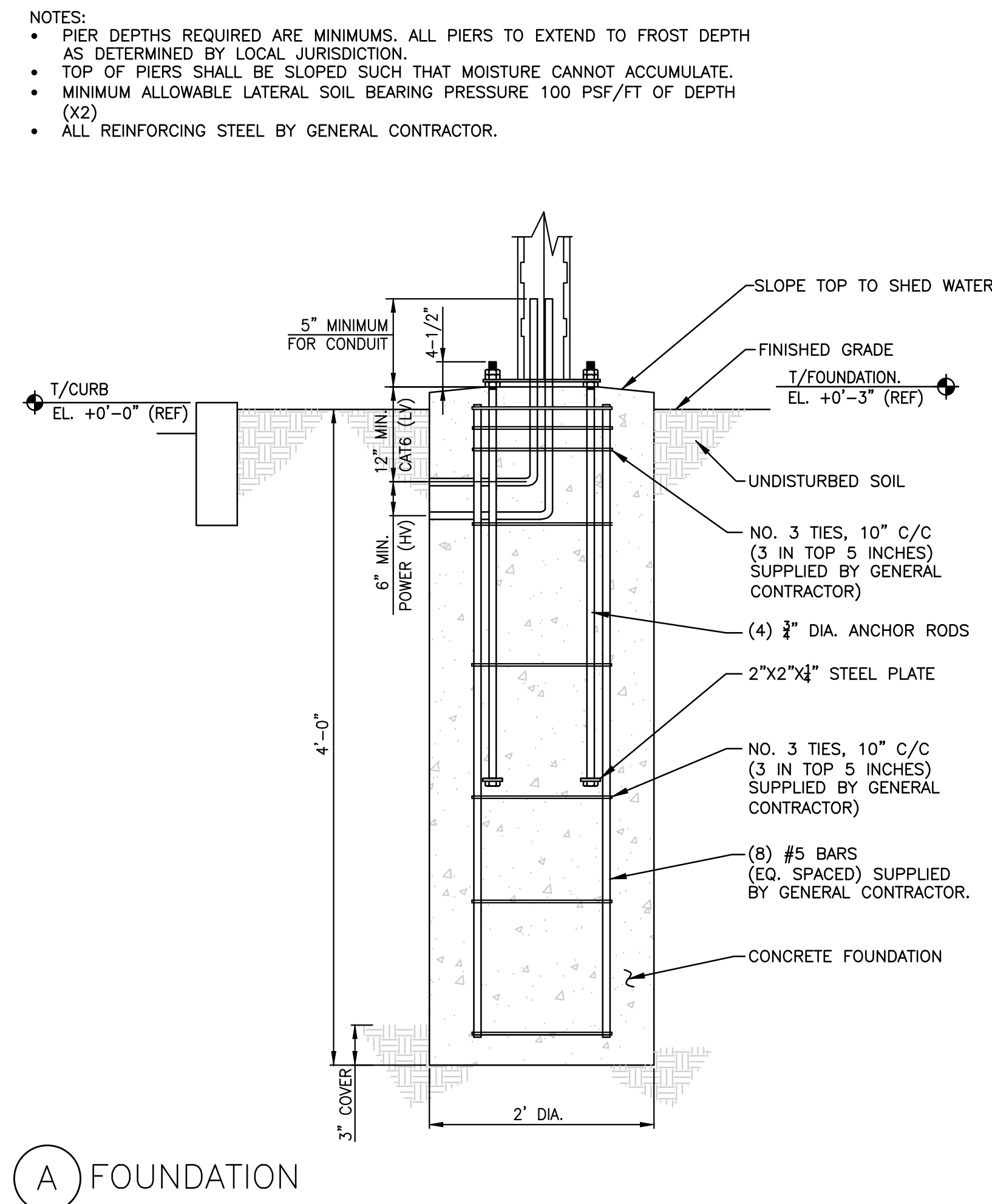
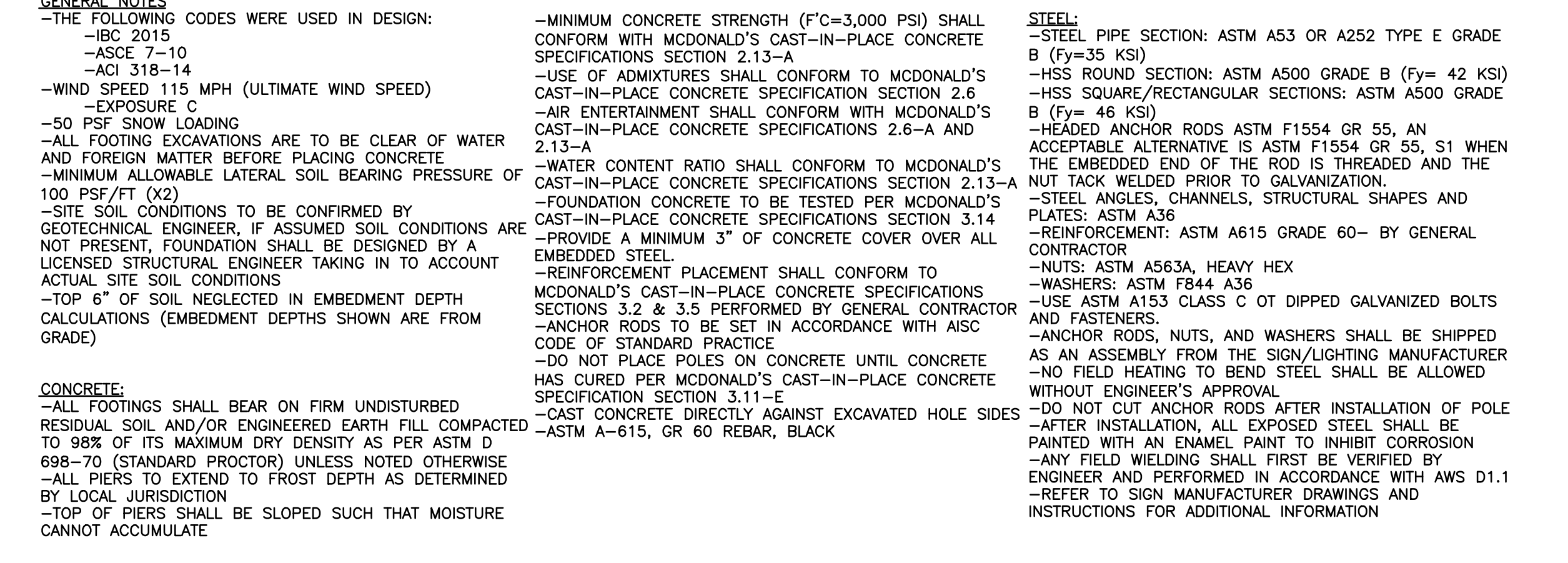
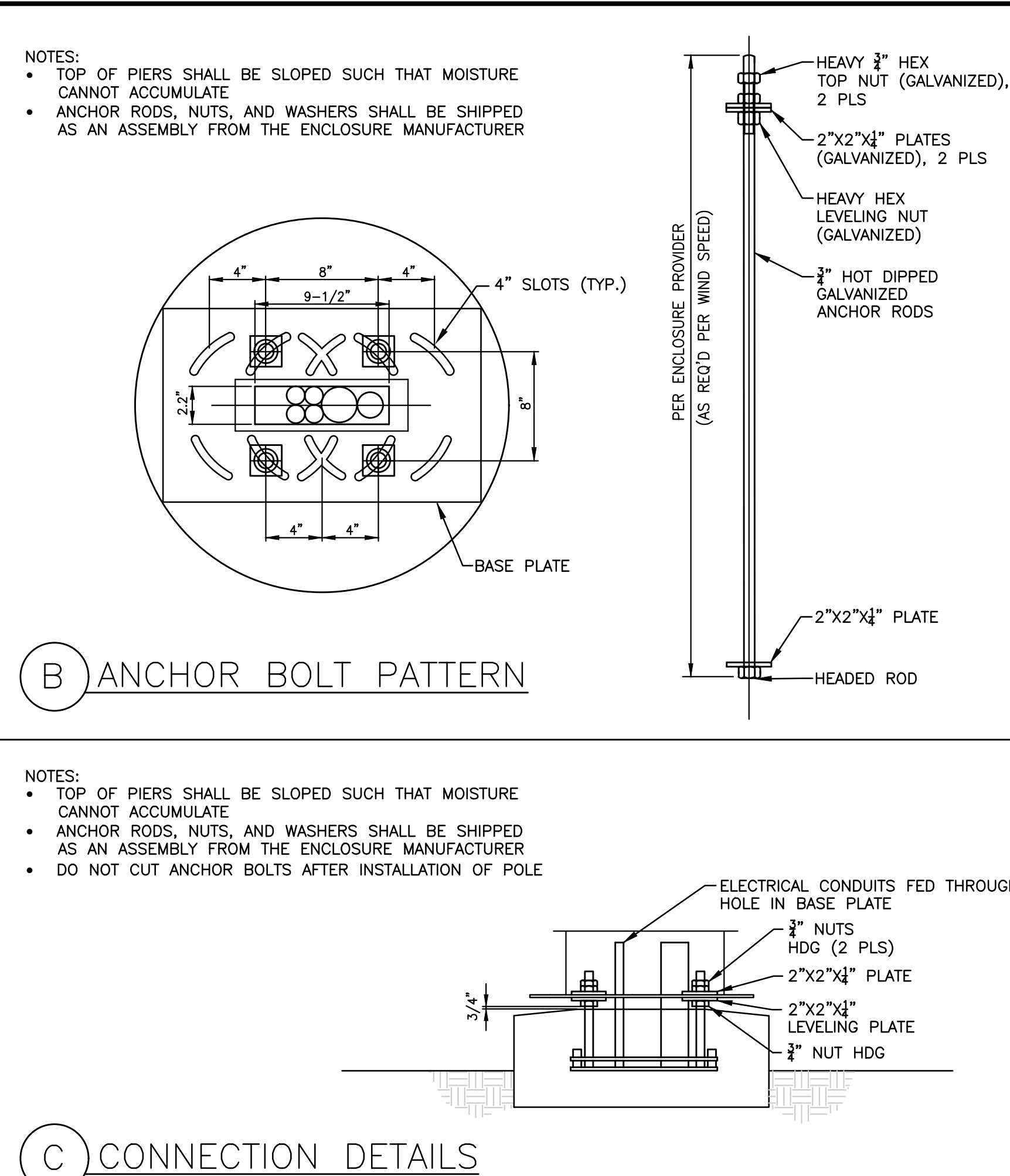
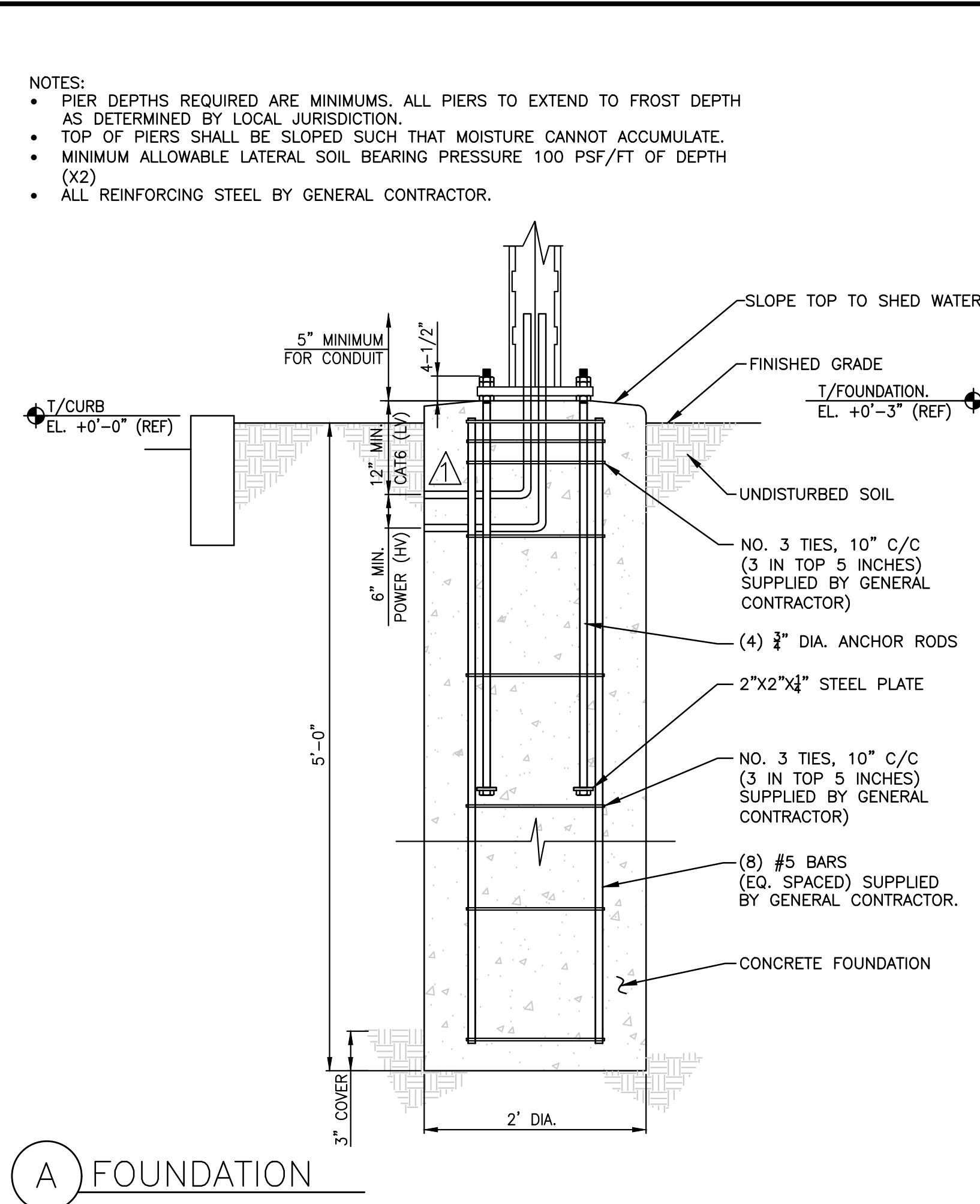
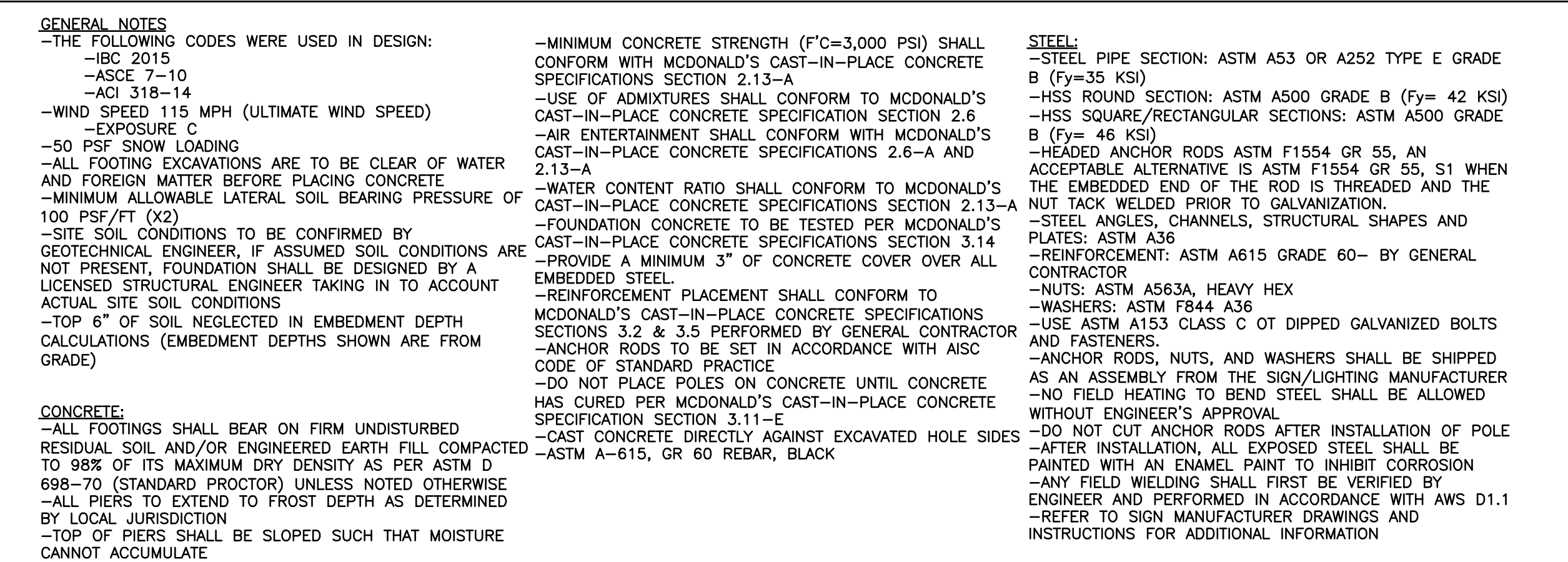
- * VERIFY EXISTING CP PANEL HAS AMPACITY AND SUFFICIENT SPARES/SPACE FOR TWO (2) NEW 20A/1P CIRCUITS. UPGRADE CP PANEL TO 42 CIRCUITS IF NECESSARY.
- * VERIFY EXISTING PULLBOXES ARE SIZED FOR NEW CONDUIT ROUTING. MODIFY PULLBOXES IF NECESSARY

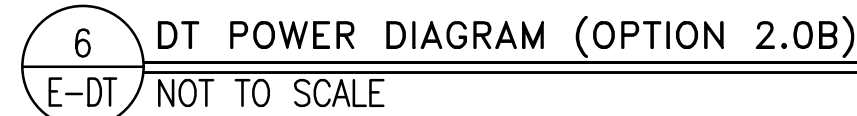
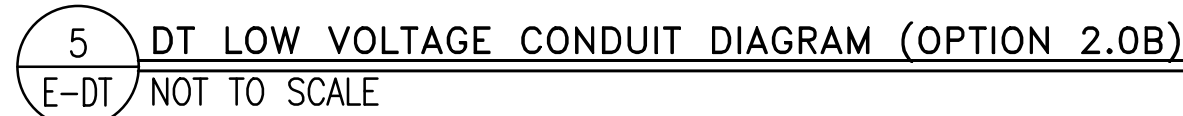
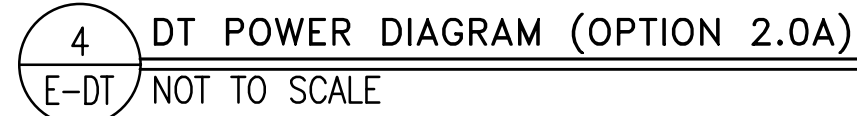
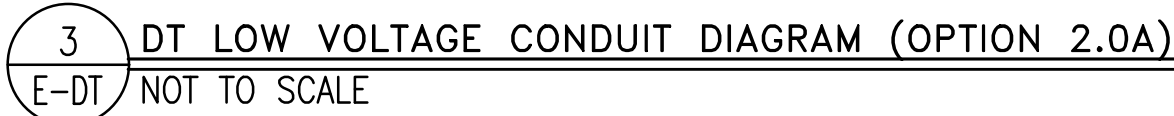
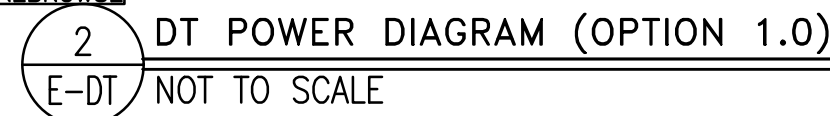
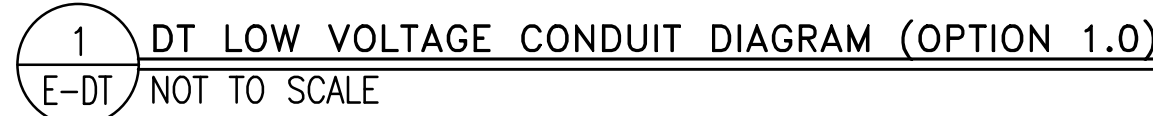
- (A) 2#12 & 1#12 GND. TO LP-1 FOR COD CANOPY LIGHTING.
- (B) 4#12 & 1#12 GND & 1#12 ISOLATED GND., TO 2P FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
- (C) 2#12 & 1#12 GND & 1#12 ISOLATED GND. TO 2P FOR ISOLATED GROUND POWER TO CDS. EACH CDS SHALL BE ON ITS OWN SEPARATE CIRCUIT.
- (D) 2#12 & 1#12 GND & 1#12 ISOLATED GND. TO 2P FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
- (E) 2#12 & 1#12 GND & 1#12 ISOLATED GND. TO 2P FOR ISOLATED GROUND POWER TO FOR PRESSELL BOARDS AND MEDIA PLAYER.






4 DRIVE THRU POWER DIAGRAM
DT-1 NOT TO SCALE

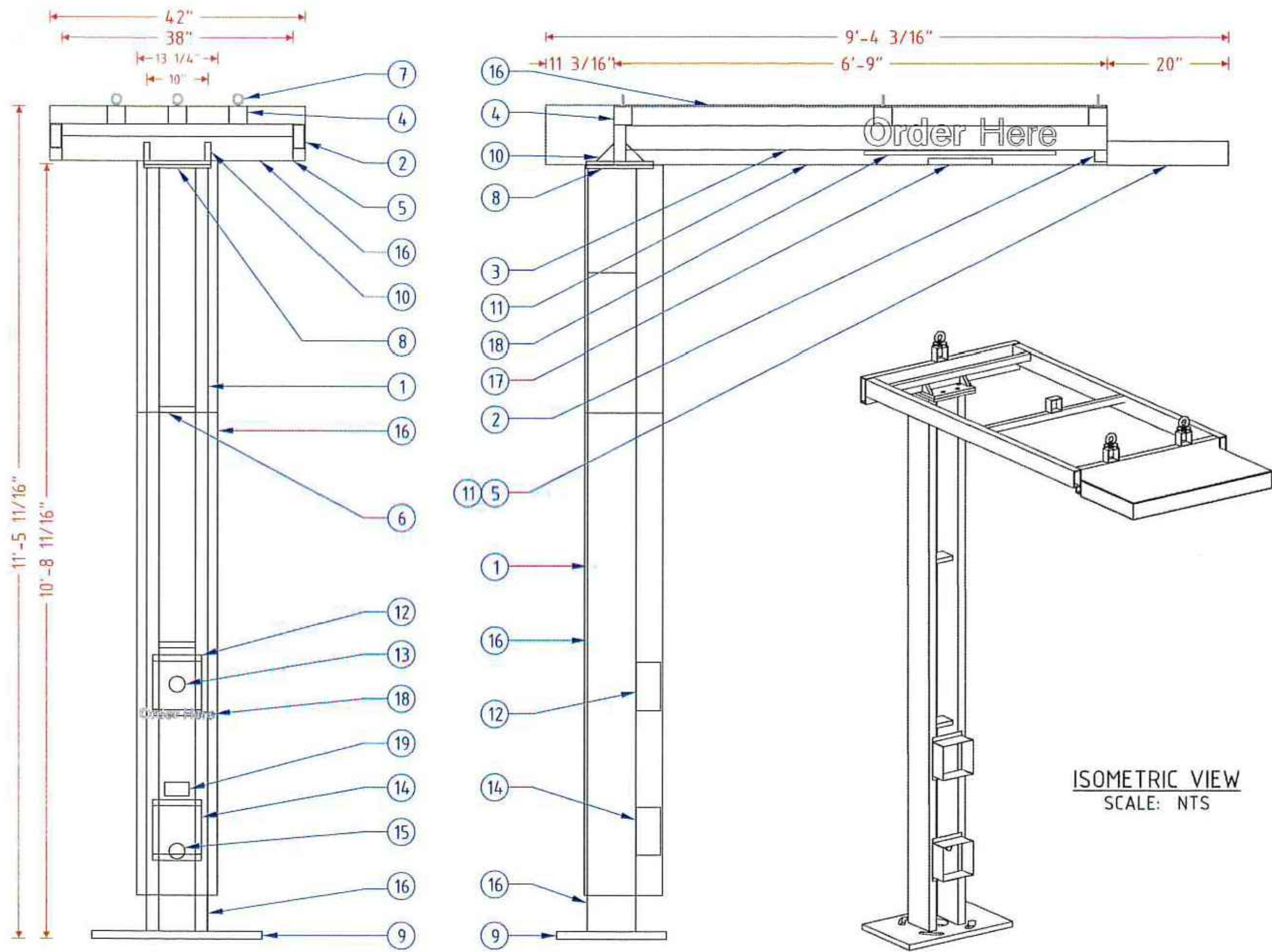
SHEET NO.	DT-1		TITLE	McDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH		DRAWN BY	PREPARED FOR		<div> McDONALD'S CORPORATION 9300 DRIVE - OAK BROOK, ILLINOIS 60051</div>	<div> Domination Engineering Associates, L.C. 5684 South Green Street Murray, Utah 84123 801-713-3000</div>	<div></div>							
	DESCRIPTION			STD ISSUE DATE	REVIEWED BY		DATE REVIEWED	DATE ISSUED			DATE	REV	DATE	DESCRIPTION	BY			
	DRIVE - THRU DETAILS				-													
	DIGITAL PLATFORM STANDARDS				-													
	SITE ID			SITE ADDRESS														
043-0320		1501 E. MAIN STREET, SANTAQUIN, UTAH																
DENVER REGION: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237																		
OFFICE ADDRESS																		
THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF DOMINATION ENGINEERING ASSOCIATES, L.C. (DEA). THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE, REPRODUCTION, OR MODIFICATION OF THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM DEA IS STRICTLY PROHIBITED. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.																		





_____ CONDUIT
 - - - - - CONDUIT TO PULLED IN FUTURE (ONCE FOUNDATIONS ARE INSTALLED)
 [PB] PULLBOX
 XX
 SUBSCRIPT INDICATES RELATIVE LOCATION. REFER TO ODM DRAWING.

SHEET NO.	DT-3		TITLE	MCDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH		DRAWN BY	PREPARED FOR		<div>MCDONALD'S CORPORATION 4000 C. DRIVE, ONE SHOPS, LINCOLN, 68501 <small>THESE DRAWINGS AND ANY INSTRUMENTAL AND PROPRIETARY INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF MCDONALD'S INTERNATIONAL, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCDONALD'S INTERNATIONAL, INC. THIS DOCUMENT IS NOT TO BE USED FOR A DIFFERENT SITE OR AT A LATER DATE. ANY SUCH USE IS PROHIBITED. ANY SUCH VIOLATION OF THIS PROHIBITION SHALL BE CONSIDERED A VIOLATION OF THE PATENT RIGHTS OF MCDONALD'S INTERNATIONAL, INC. AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.</small></div>	PREPARED BY:	<div>Dominion Engineering Associates, L.C. 5884 South Green Street Murray, Utah 84123 801-713-3000</div>	<div></div>	REV	DATE	DESCRIPTION	BY
	SITE ID: 043-0320	SITE ADDRESS: 550 E. MAIN STREET, SANTAQUIN, UTAH DENVER REGION: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237		REV	DATE		DESCRIPTION	BY								



FRAME & LAMP DETAIL

CROSS SECTION A-A

ISOMETRIC VIEW
SCALE: NTS

18" X 28" X 1 1/4" PLATE
1 3/8" SLOTTED HOLES
1" BOLTS

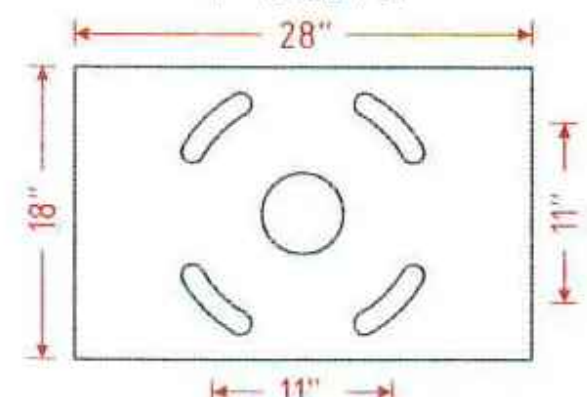


PLATE DETAIL

11" X 11" X 5/8" PLATE
3/4" HOLES
5/8" BOLTS

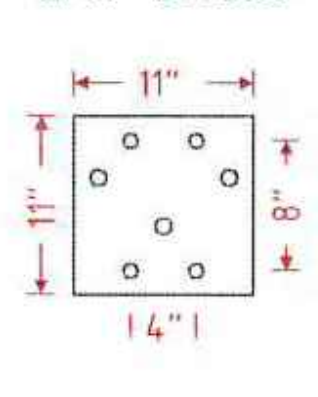


PLATE DETAIL

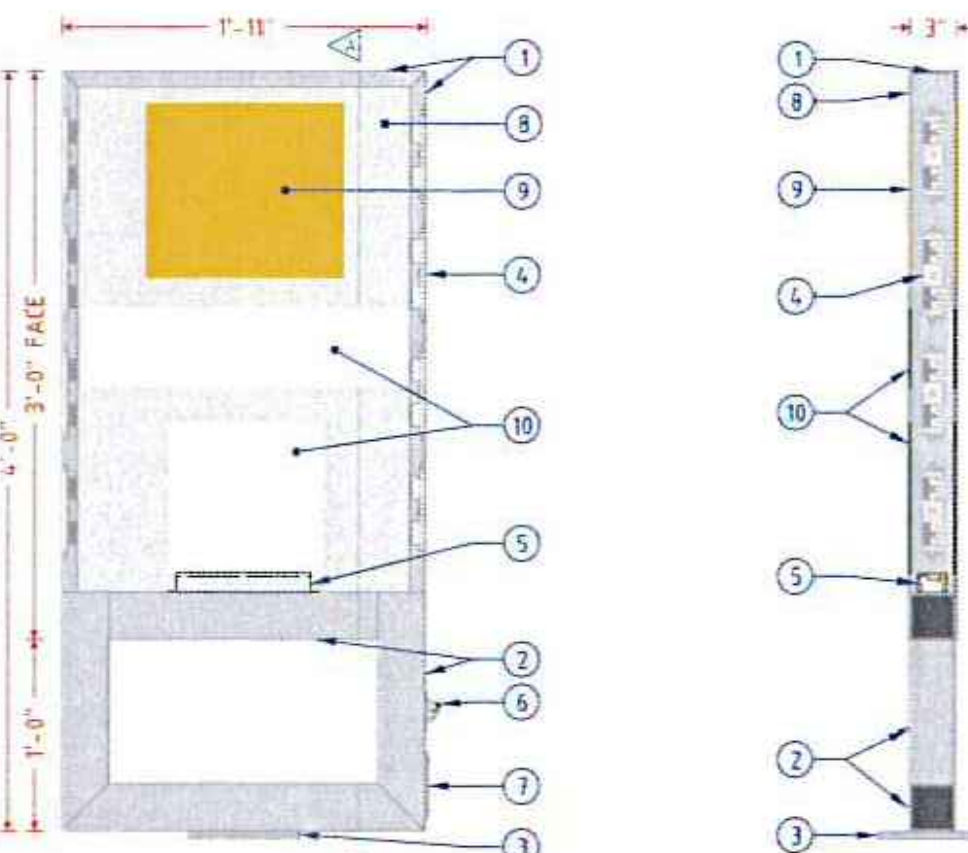
MCDONALD'S SPRINGBOARD OHC SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	2" X 8" X 3/16" RECTANGULAR TUBE
2	2" X 6" X 1/4" RECTANGULAR TUBE
3	2" X 4" X 1/4" RECTANGULAR TUBE
4	3" X 3" X 3/16" SQUARE TUBE
5	1" X 4" X 1/8" RECTANGULAR TUBE
6	C4 ALUMINUM C-CHANNEL
7	1/2" EYEBOLTS (3)
8	11" X 11" X 5/8" TOP PLATES (2) (SEE PLATE DETAILS)
9	18" X 28" X 1 1/4" BASE PLATE (SEE PLATE DETAILS)
10	3" X 3" X 3/4" GUSSETS
11	.063" ALUMINUM SKIN
12	.063" ALUMINUM BENT SP10 SPEAKER BOX HOLDER
13	SPEAKER OPENING
14	.063" ALUMINUM BENT DM 4/DM 5 MICROPHONE BOX HOLDER
15	MICROPHONE OPENING
16	ACM CLADDING
17	SLOAN LED LIGHT WITH POWER SUPPLY
18	REFLECTIVE WHITE 680-10 VINYL
19	ADA STICKER

NOTES:

- DESIGN FACTOR: TO BE DETERMINED
- 2" X 8" X 3/16 RECTANGULAR TUBE FRAME
- ACM AND .063" ALUMINUM SKIN
- EXTERIOR FINISH:
 - BASE PLATE - PAINT BM 1631 MIDNIGHT OIL
 - TUBE AND TOP ACM - PAINT CHARCOAL
 - SPRINGBOARD TIP AND UNDERSIDE - PAINT PMS 123 C GOLD
- ACM/SKIN REMOVABLE FOR SERVICE
- U.L. LISTED
- ELECTRICAL: 0.64 AMPS/120 VOLTS

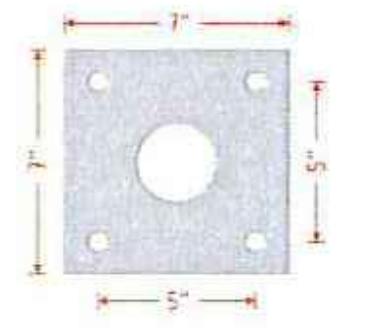
ORDER HERE CANOPY (COD) DETAIL

NOT TO SCALE WIND SPEED: 115 MPH EXPOSURE "C"



FRAME & LAMP DETAIL

CROSS SECTION A-A



1/2" X 7" X 7" ALUMINUM PLATE
5/8" BOLT HOLES
2 1/2" CENTER HOLE

PLATE DETAIL



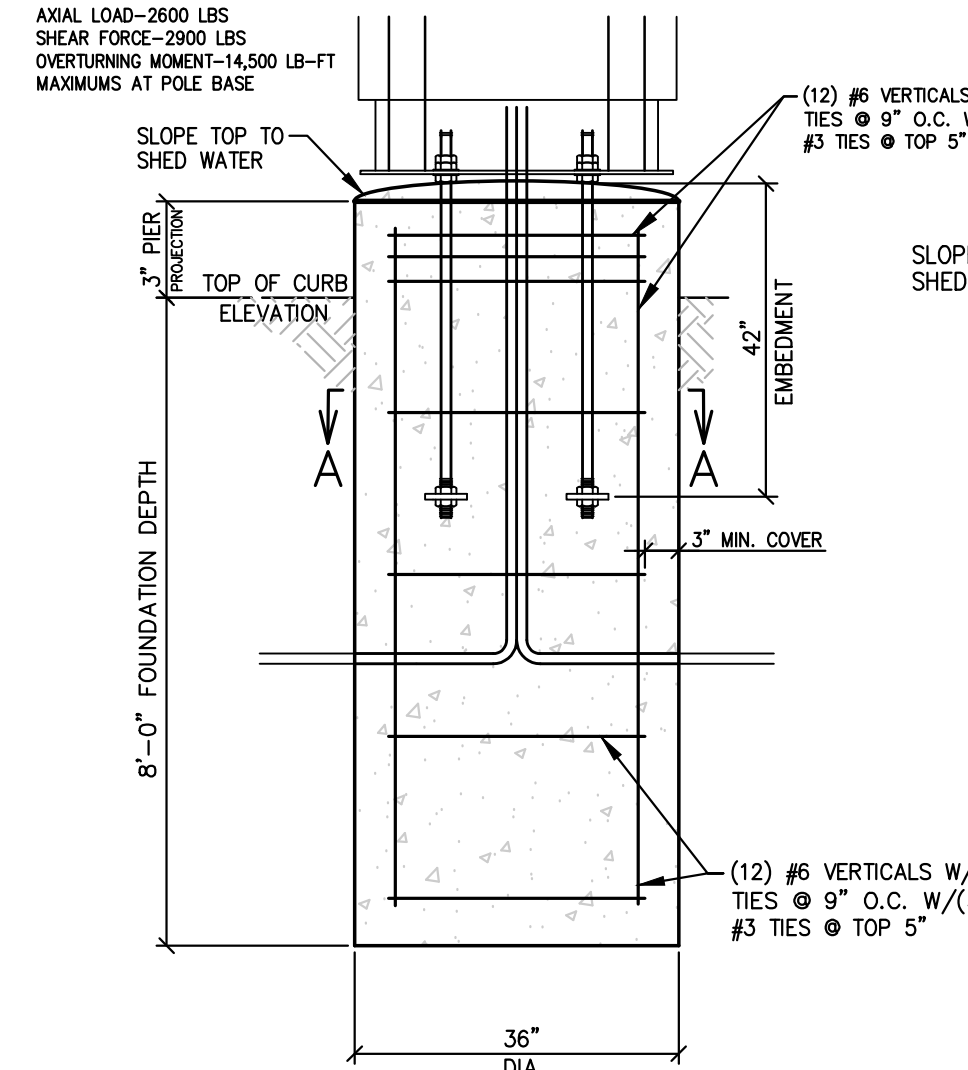
NEW GEN DIRECTIONAL SIGN DETAILS

NOT TO SCALE WIND SPEED: 115 MPH EXPOSURE "C"

NOTES:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- USE F1554 GRADE 36 BOLTS MINIMUM
- USE HOT DIPPED GALVANIZED BOLTS
- ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

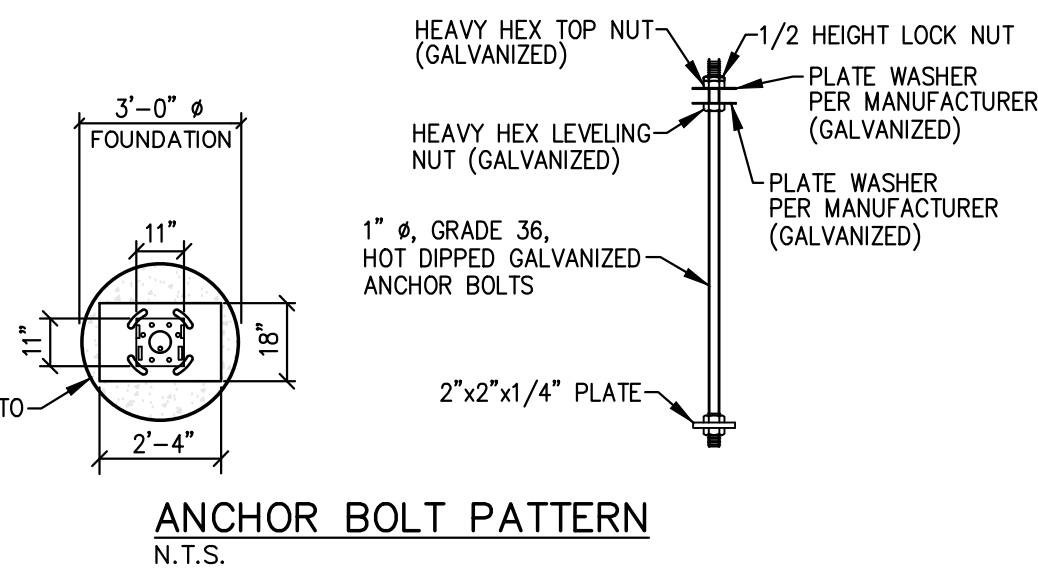
SECTION A-A
NTS



FOUNDATION
ORDER HERE CANOPY
N.T.S.

ORDER HERE CANOPY FOUNDATION DETAIL

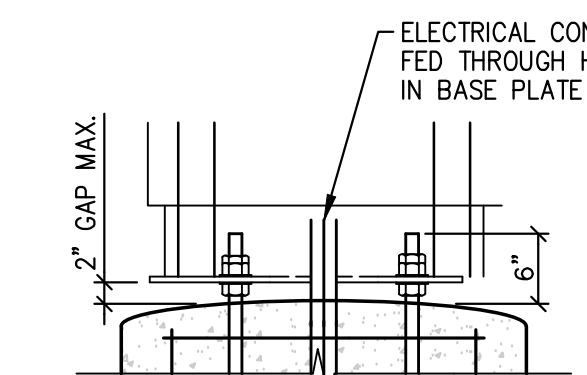
N.T.S. WIND SPEED: 115 MPH EXPOSURE "C"



ANCHOR BOLT PATTERN
N.T.S.

NOTES:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



CONNECTION DETAILS
N.T.S.

GENERAL NOTES:

- THE FOLLOWING CODES WERE USED IN DESIGN:
 - IBC 2015
 - ASCE 7-10
 - ACI 318-14
- WIND SPEED 115 MPH (ULTIMATE WIND SPEED)
- EXPOSURE C
- 50 PSF SNOW LOADING
- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100 PSF/FT (X2)
- SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER, IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING IN TO ACCOUNT ACTUAL SITE SOIL CONDITIONS
- TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)

CONCRETE:

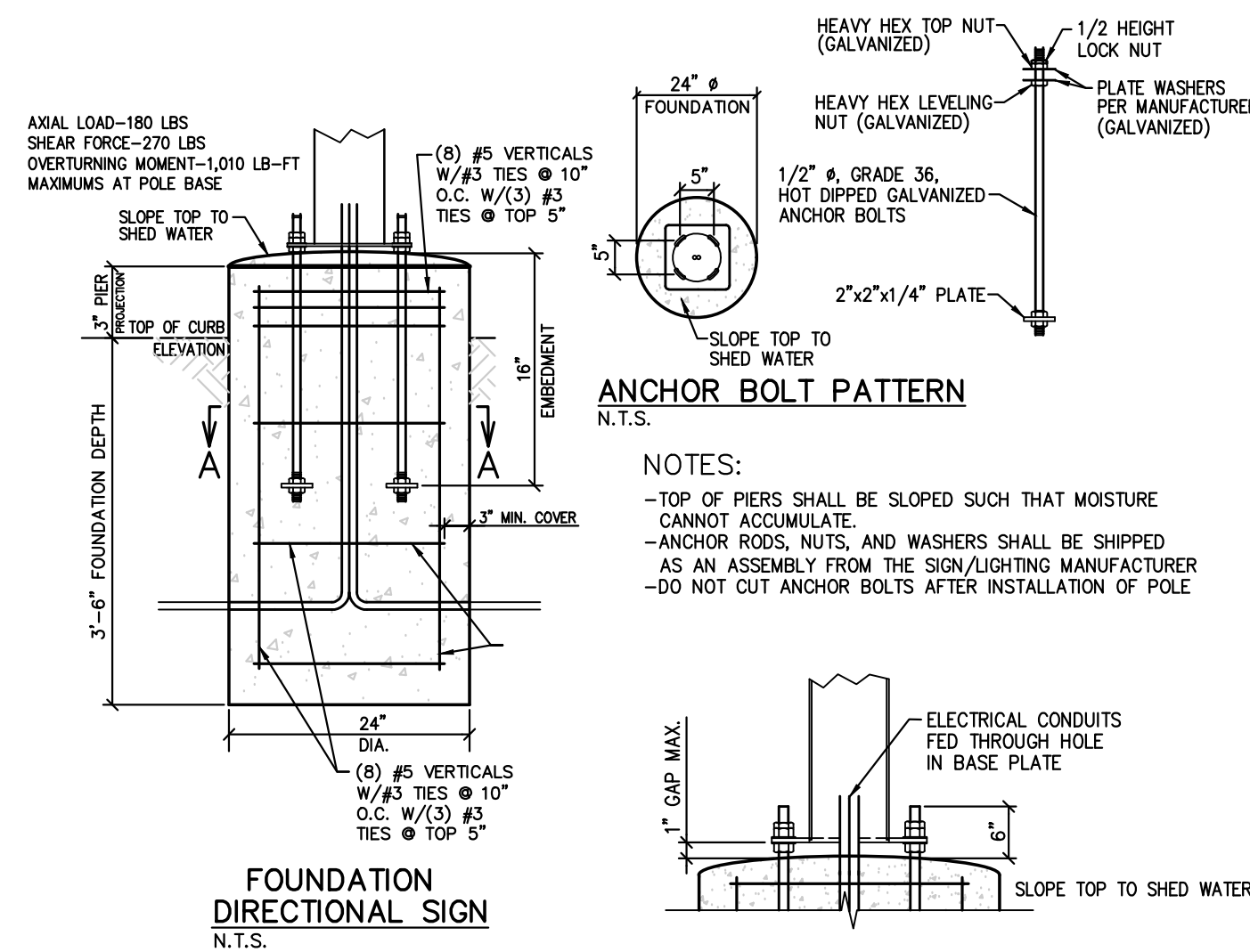
- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE
- ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
- MINIMUM CONCRETE STRENGTH (F'c=3,000 PSI) SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- USE OF ADMIXTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
- AIR ENTERTAINMENT SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS 2.6-A AND 2.13-A
- WATER CONTENT RATIO SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- FOUNDATION CONCRETE TO BE TESTED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
- PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
- REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5 PERFORMED BY GENERAL CONTRACTOR
- ANCHOR RODS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.11-E
- CAST CONCRETE DIRECTLY AGAINST EXCAVATED HOLE SIDES
- ASTM A-615, GR 60 REBAR, BLACK

STEEL:

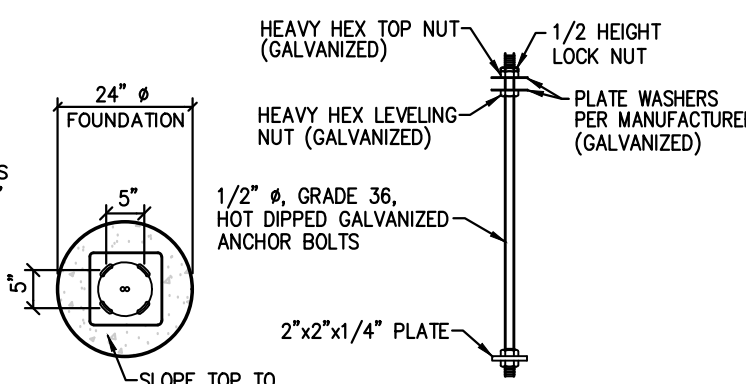
- STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy=35 KSI)
- HSS ROUND SECTION: ASTM A500 GRADE B (Fy= 42 KSI)
- HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy= 46 KSI)
- HEADED ANCHOR RODS ASTM F1554 GR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 GR 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.
- STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
- REINFORCEMENT: ASTM A615 GRADE 60- BY GENERAL CONTRACTOR
- NUTS: ASTM A563A, HEAVY HEX
- WASHERS: ASTM F844 A36
- USE ASTM A153 CLASS C OT DIPPED GALVANIZED BOLTS AND FASTENERS.
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL
- DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE
- AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION
- ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1
- REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION

NOTES:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- USE F1554 GRADE 36 BOLTS MINIMUM
- USE HOT DIPPED GALVANIZED BOLTS
- ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.



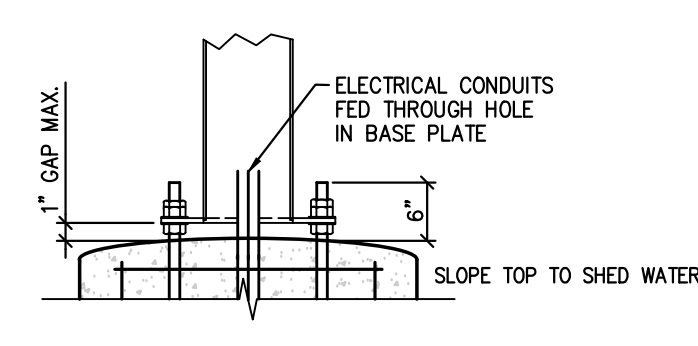
FOUNDATION
DIRECTIONAL SIGN
N.T.S.



ANCHOR BOLT PATTERN
N.T.S.

NOTES:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE

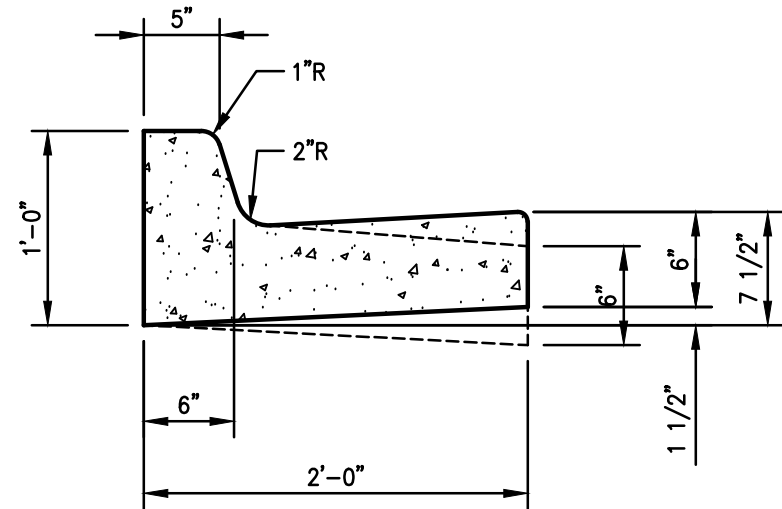


CONNECTION DETAILS
N.T.S.

DIRECTIONAL SIGN FOUNDATION DETAIL

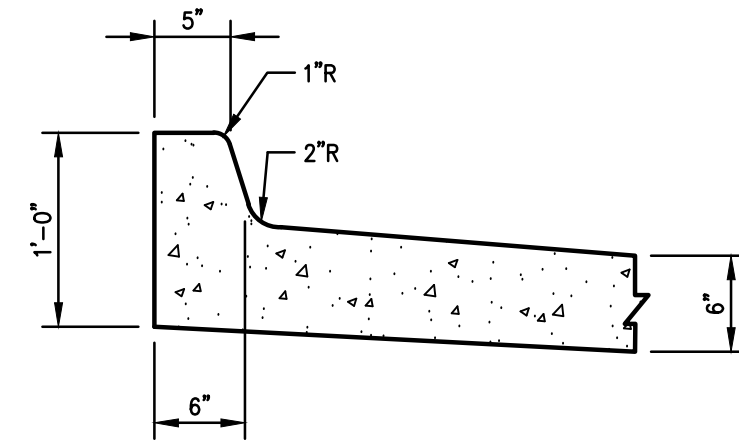
N.T.S. WIND SPEED: 115 MPH EXPOSURE "C"

SHEET NO.	TITLE	DRAWN BY	STD	ISSUE DATE	REVIEWED BY	DATE REVIEWED	DATE ISSUED	OFFICE ADDRESS	PREPARED FOR	MCDONALD'S CORPORATION	KROC DRIVE - SAN BROOK, ILLINOIS 60081	THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MCDONALD'S CORPORATION. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCDONALD'S CORPORATION. ANY VIOLATION OF THIS NOTICE SHALL BE SUBJECT TO LEGAL ACTION.	BY
SD-2	MCDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH McD SITE DETAILS							043-0320 550 E. MAIN STREET, SANTAQUIN, UTAH	4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237				

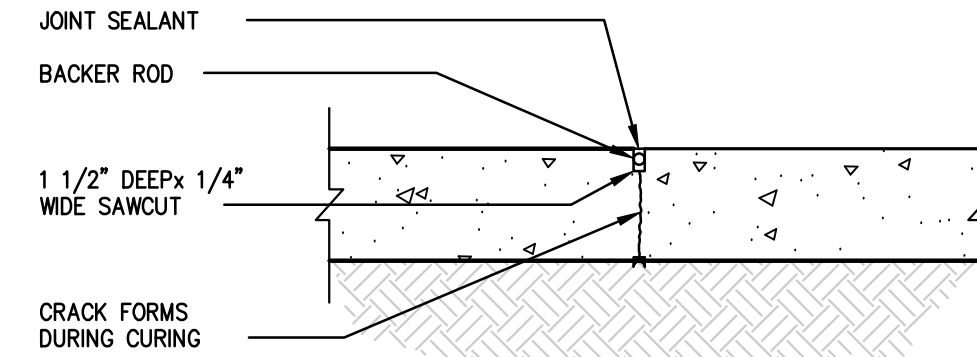


NOTES:
1. PROVIDE CONTRACTION JOINTS @ 15' CC & EXPANSION JOINTS @ 75' CC
2. REFER TO GRADING PLAN FOR SPILL GUTTER

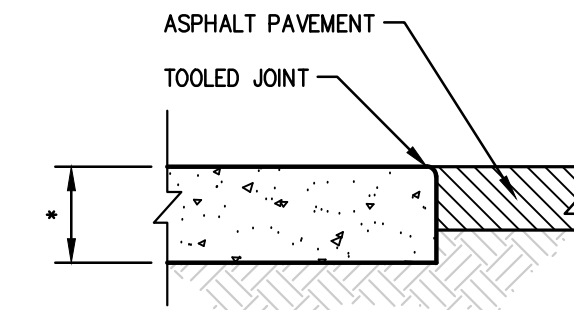
1
SD4 CONCRETE CURB & GUTTER
1" = 1'-0"



2
SD4 INTEGRAL CONCRETE CURB & GUTTER
1" = 1'-0"

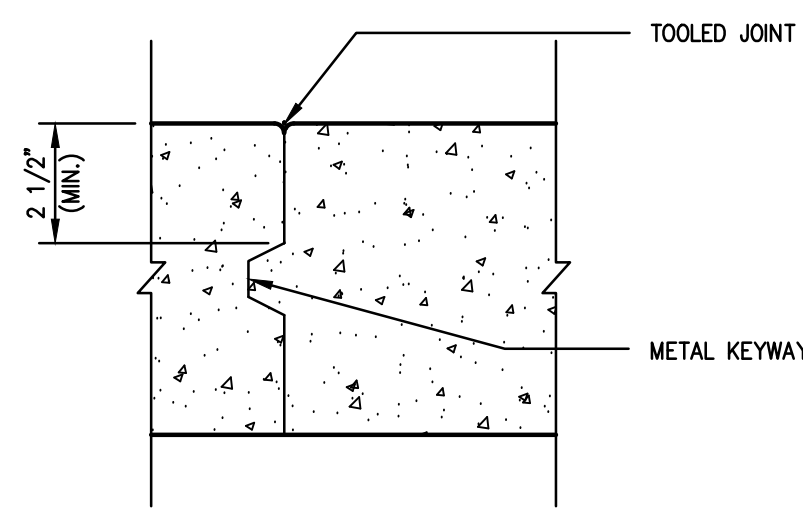


3
SD4 CONTRACTION JOINT
1" = 1'-0"

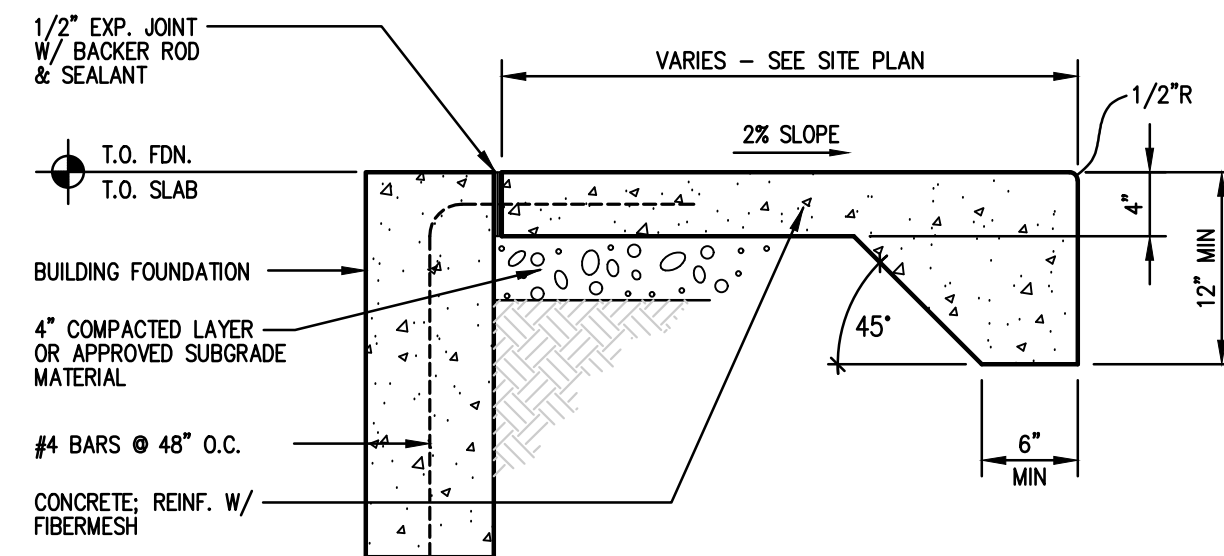


• SEE SITE PLAN

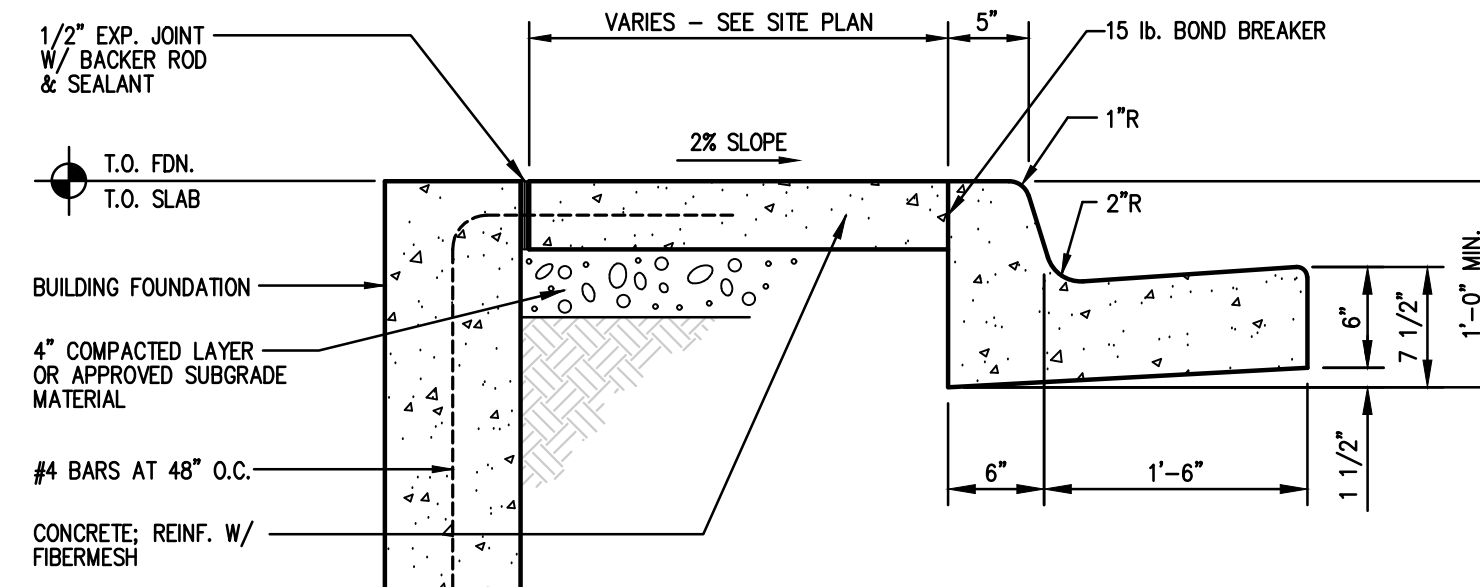
4
SD4 TERMINAL JOINT W/ASPHALT PAVEMENT
1" = 1'-0"



5
SD4 CONSTRUCTION JOINT
3" = 1'-0"

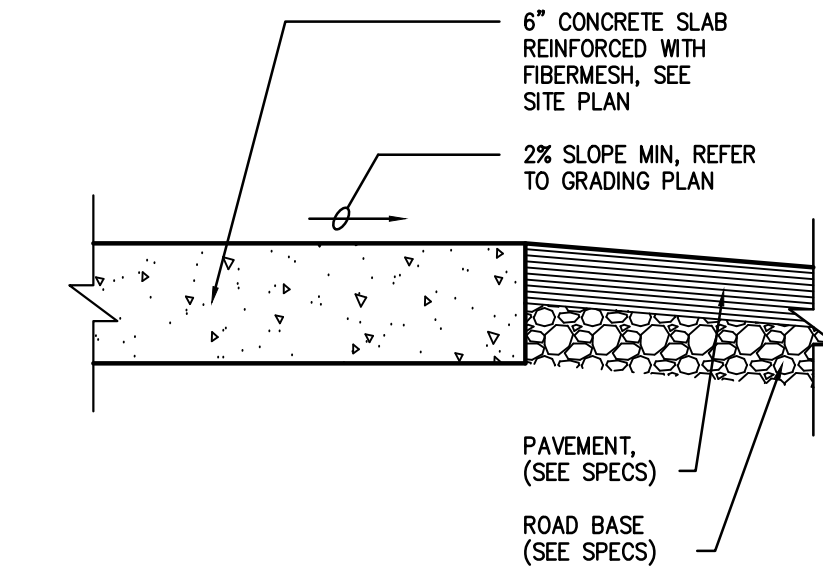


6
SD4 SIDEWALK AT BACK OF BUILDING
1" = 1'-0"



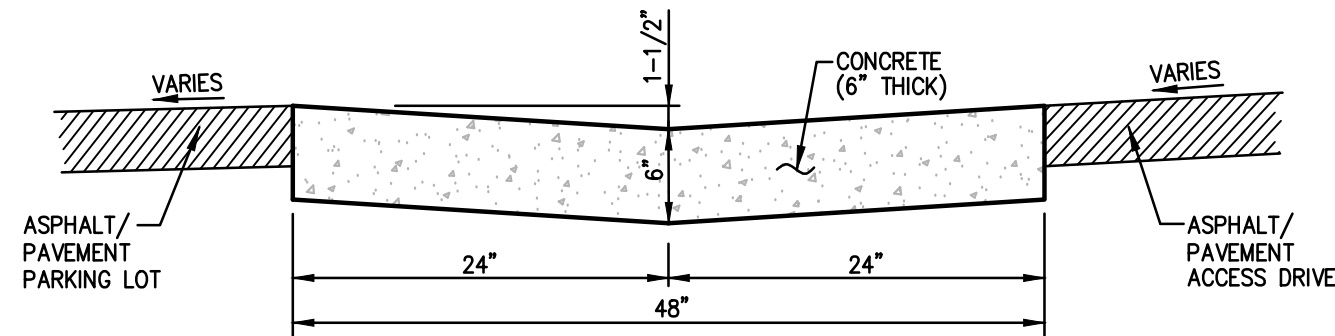
NOTES:
1. PROVIDE CONTRACTION JOINTS AT 15' C.C. AND EXPANSION JOINTS AT 75' C.C.

7
SD4 CONCRETE BUILDING WALK
1" = 1'-0"

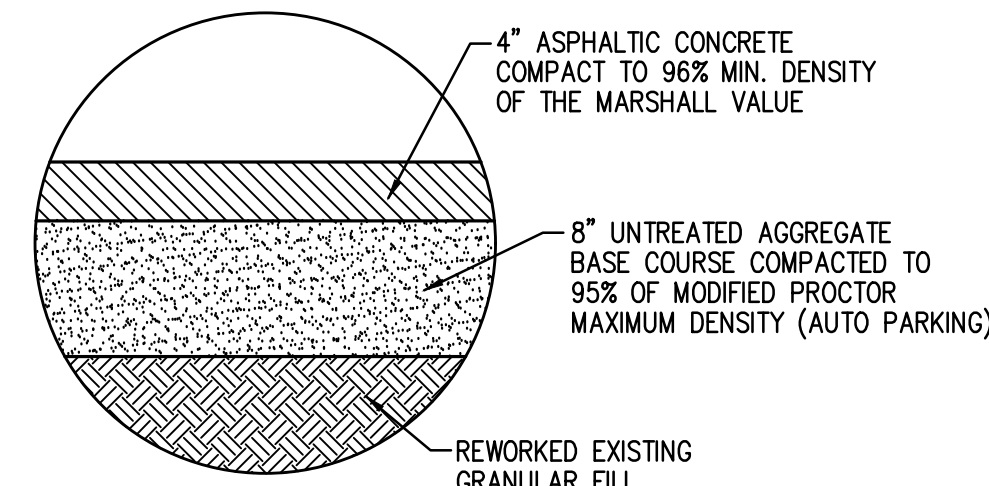


NOTE:
SLOPE PAVEMENT FOR PROPER DRAINAGE, SEE GRADING PLAN

8
SD4 DRIVE THRU LANE DETAIL
1-1/2" = 1'-0"

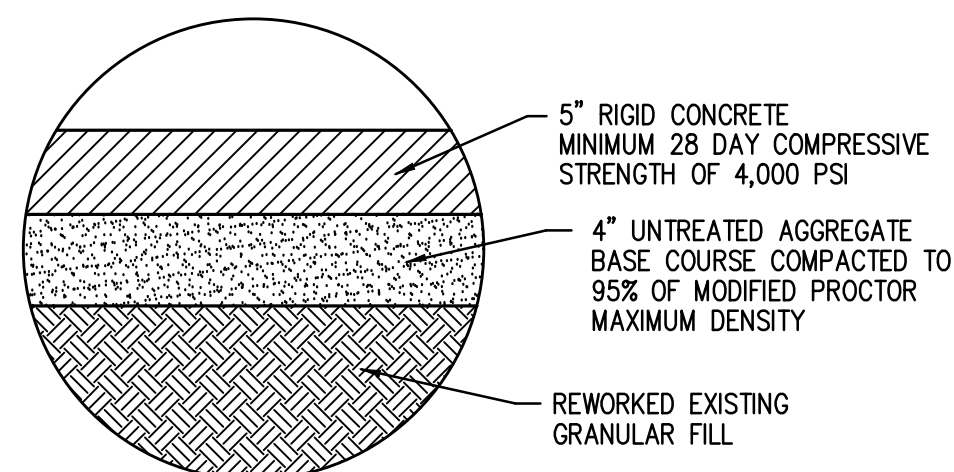


9
SD4 48" CONCRETE WATERWAY
1" = 1'-0"



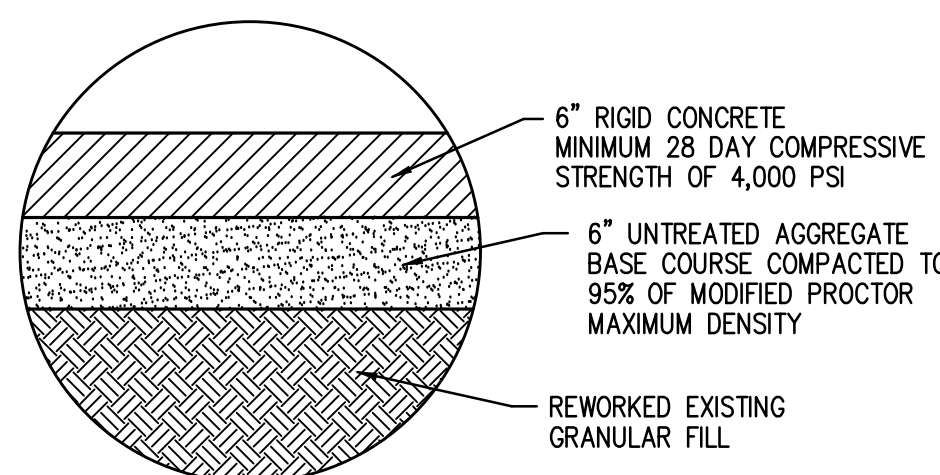
NOTE:
SUBGRADE PREPARATION SHOULD INCLUDE REWORKING AND COMPACTING THE UPPERMOST 12-INCHES OF NATIVE SOILS TO A MINIMUM OF 95 PERCENT OF THE MDD AS DETERMINED BY ASTM D-1557.

10
SD4 ASPHALT FLEXIBLE PAVEMENT SECTION
N.T.S.



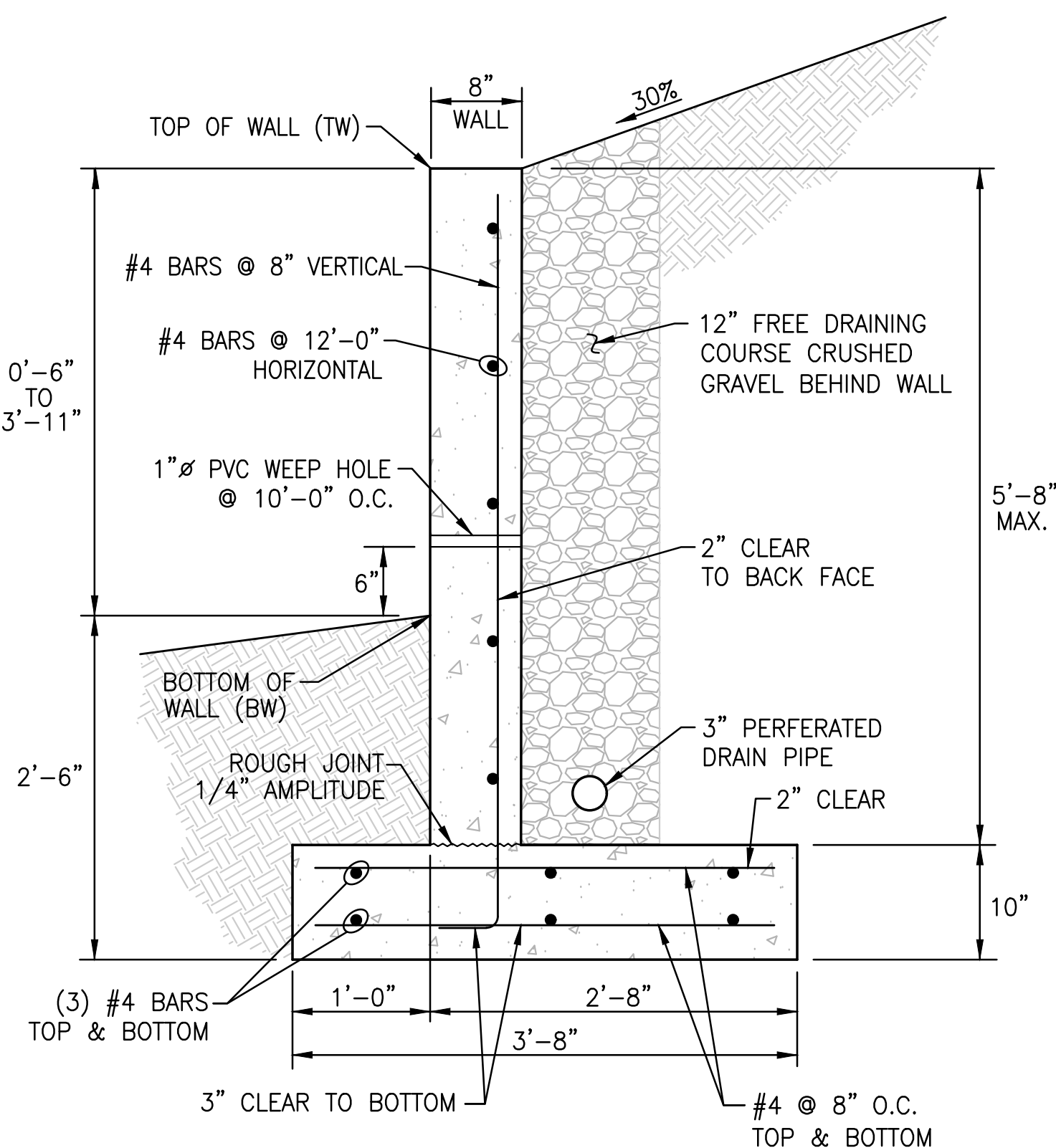
NOTE:
SUBGRADE PREPARATION SHOULD INCLUDE REWORKING AND COMPACTING THE UPPERMOST 12-INCHES OF NATIVE SOILS TO A MINIMUM OF 95 PERCENT OF THE MDD AS DETERMINED BY ASTM D-1557.

11
SD4 CONCRETE RIGID PAVEMENT SECTION
N.T.S.

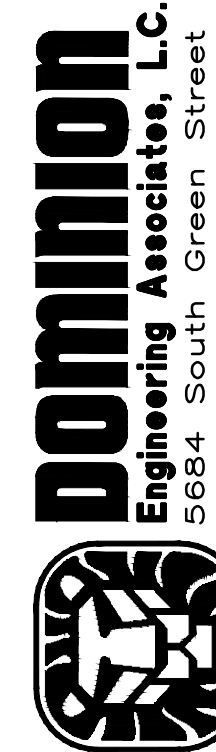
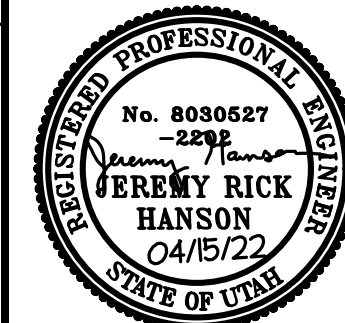


NOTE:
SUBGRADE PREPARATION SHOULD INCLUDE REWORKING AND COMPACTING THE UPPERMOST 12-INCHES OF NATIVE SOILS TO A MINIMUM OF 95 PERCENT OF THE MDD AS DETERMINED BY ASTM D-1557.

12
SD4 CONCRETE RIGID PAVEMENT SECTION
AT DUMPSTER LOCATION
N.T.S.



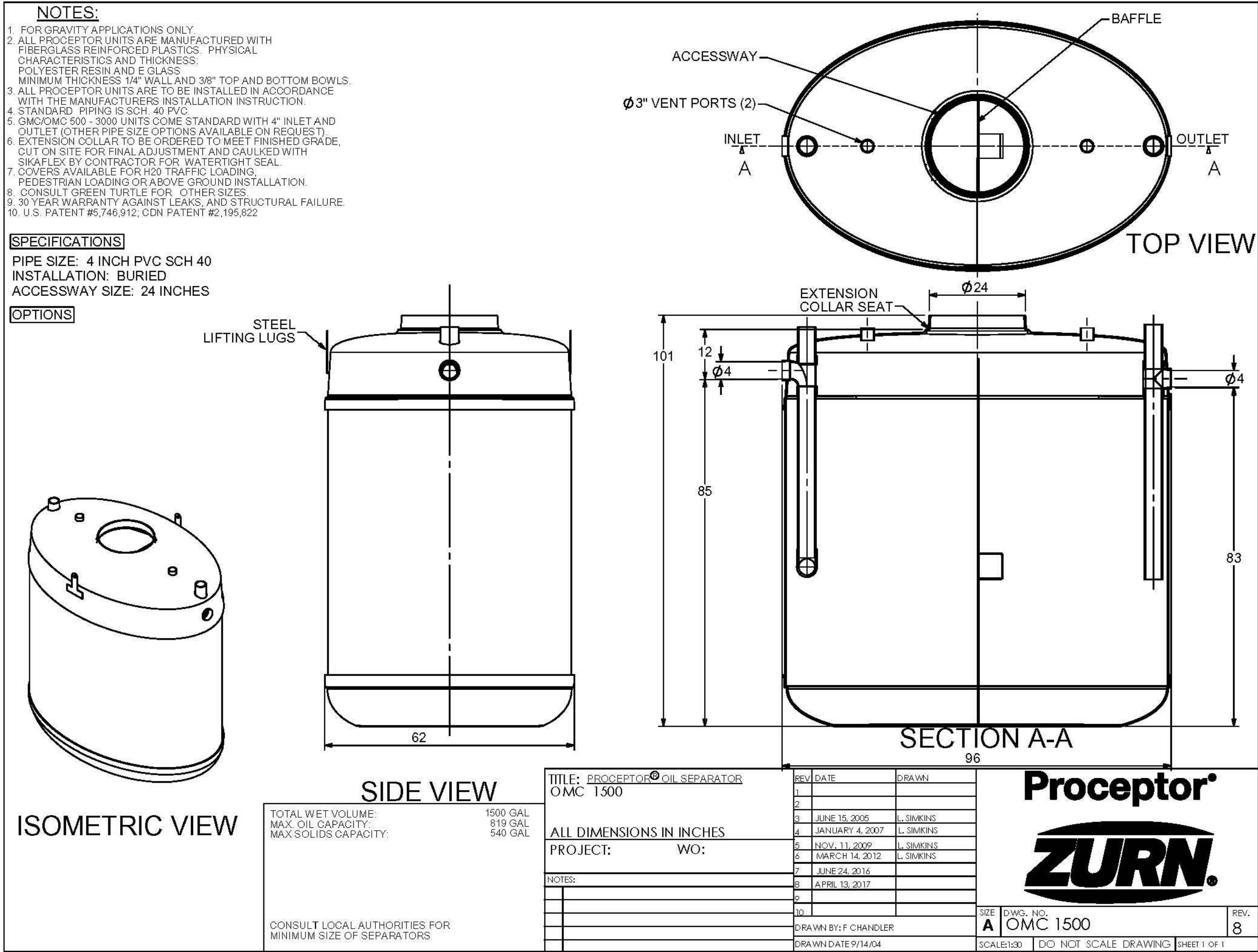
13
SD4 TYPICAL CONC. RETAINING WALL DETAIL
1"=1'-0"



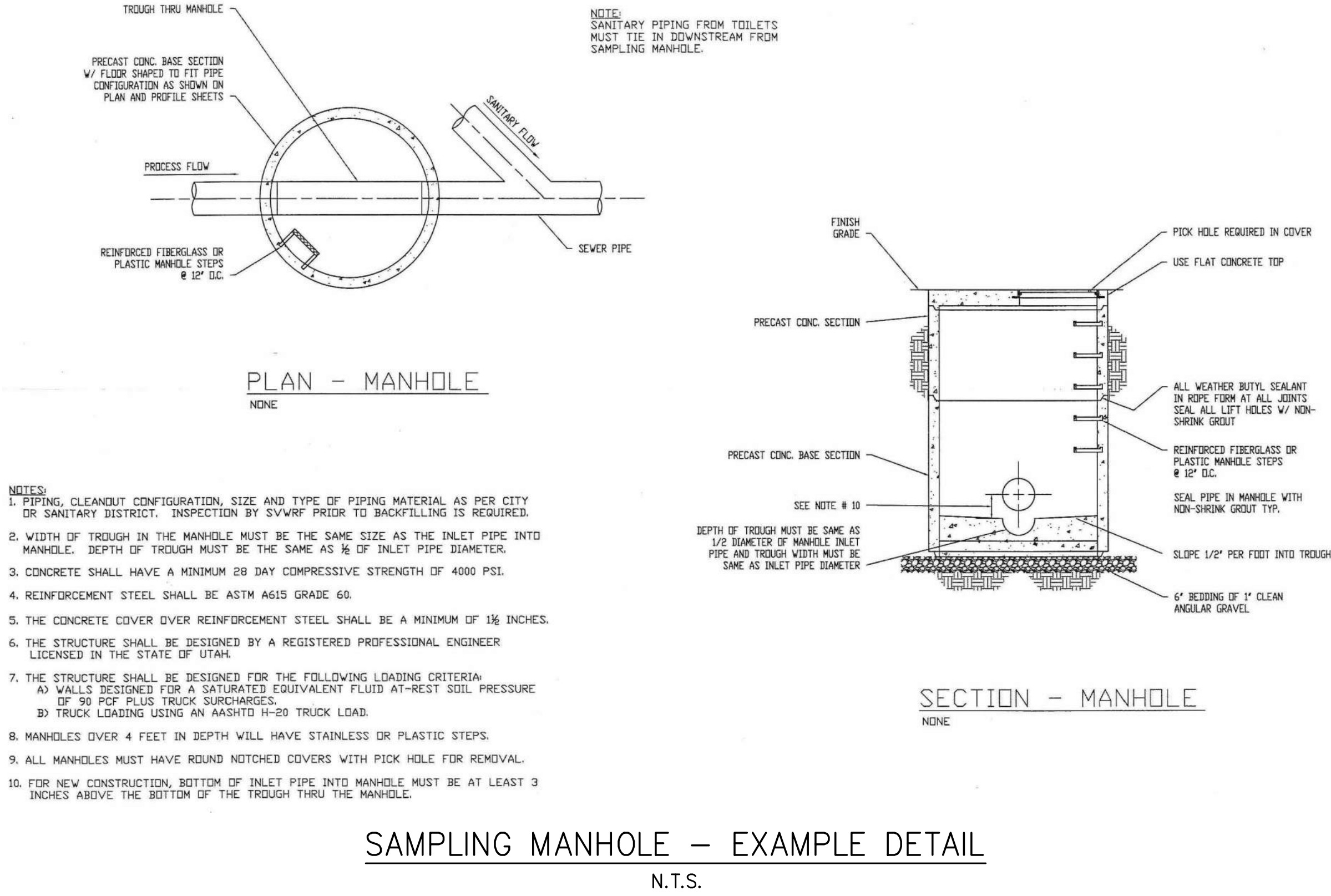
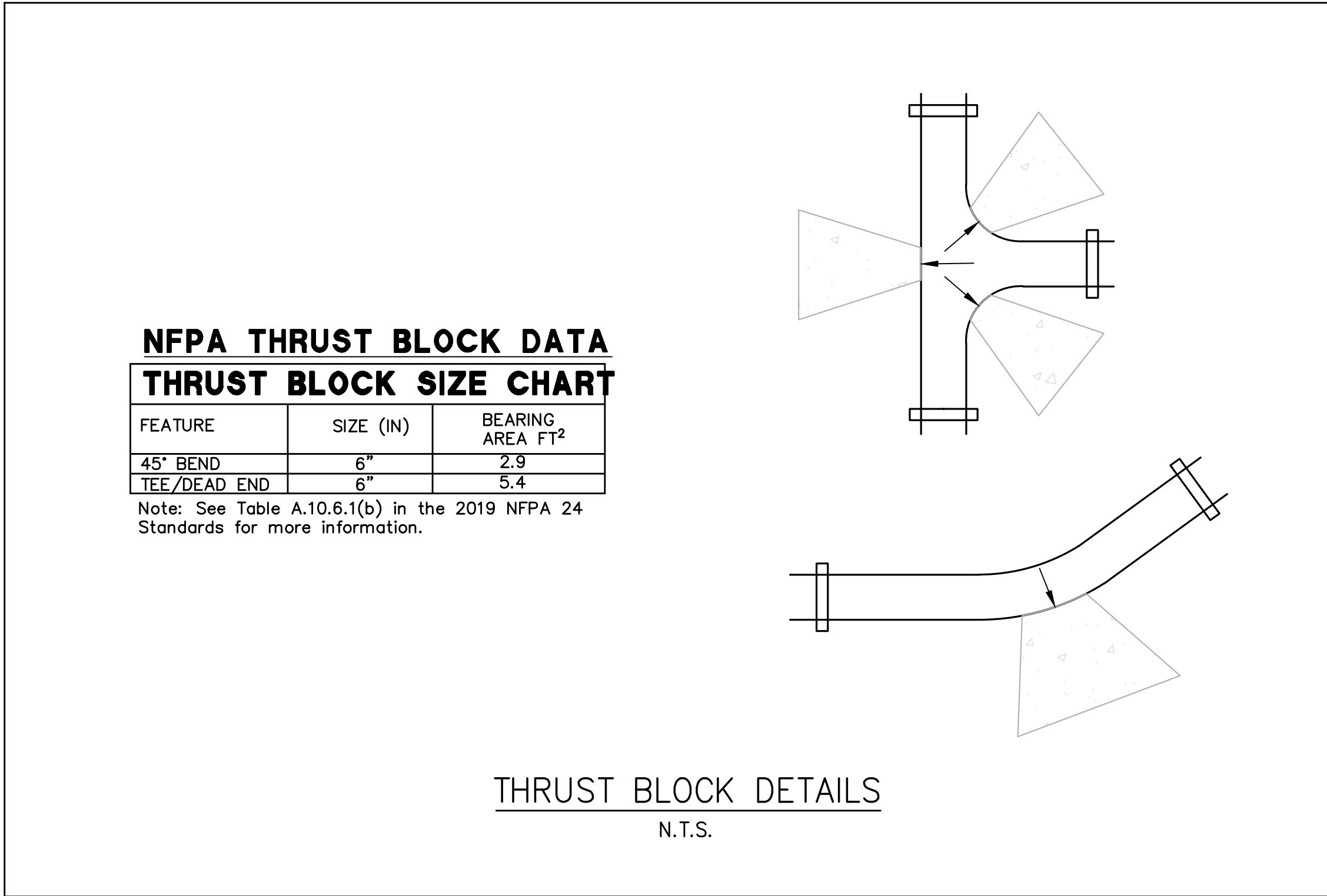
PREPARED BY:

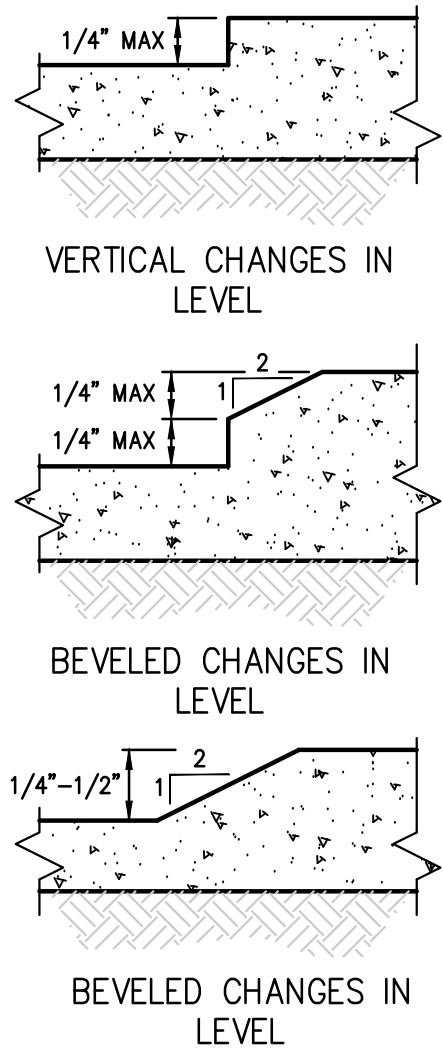
SHEET NO.	TITLE	DRAWN BY		PREPARED FOR:	
	McDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH	—		McDONALD'S CORPORATION	
	DESCRIPTION	—		KNOX DRIVE - OAK BROOK, ILLINOIS 60501	
	MISCELLANEOUS SITE DETAILS	—		THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MCDONALD'S CORPORATION. ANY REPRODUCTION OR DISSEMINATION WITHOUT THE WRITTEN AUTHORIZATION OF MCDONALD'S CORPORATION IS PROHIBITED. ANY REPRODUCTION OR DISSEMINATION OF THESE DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF MCDONALD'S CORPORATION IS PROHIBITED. ANY REPRODUCTION OR DISSEMINATION OF THESE DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF MCDONALD'S CORPORATION IS PROHIBITED.	
	SITE ID	—		OFFICE ADDRESS	
	SITE ADDRESS	DATE ISSUED		DENVER REGION: 4643 S. ULISTER ST., SUITE 1300, DENVER, CO 80237	
	043-0320 550 E. MAIN STREET, SANTAQUIN, UTAH	—			

SD-4



1,500 GAL. GREASE PROCEPTOR-PLAN VIEW
N.T.S.

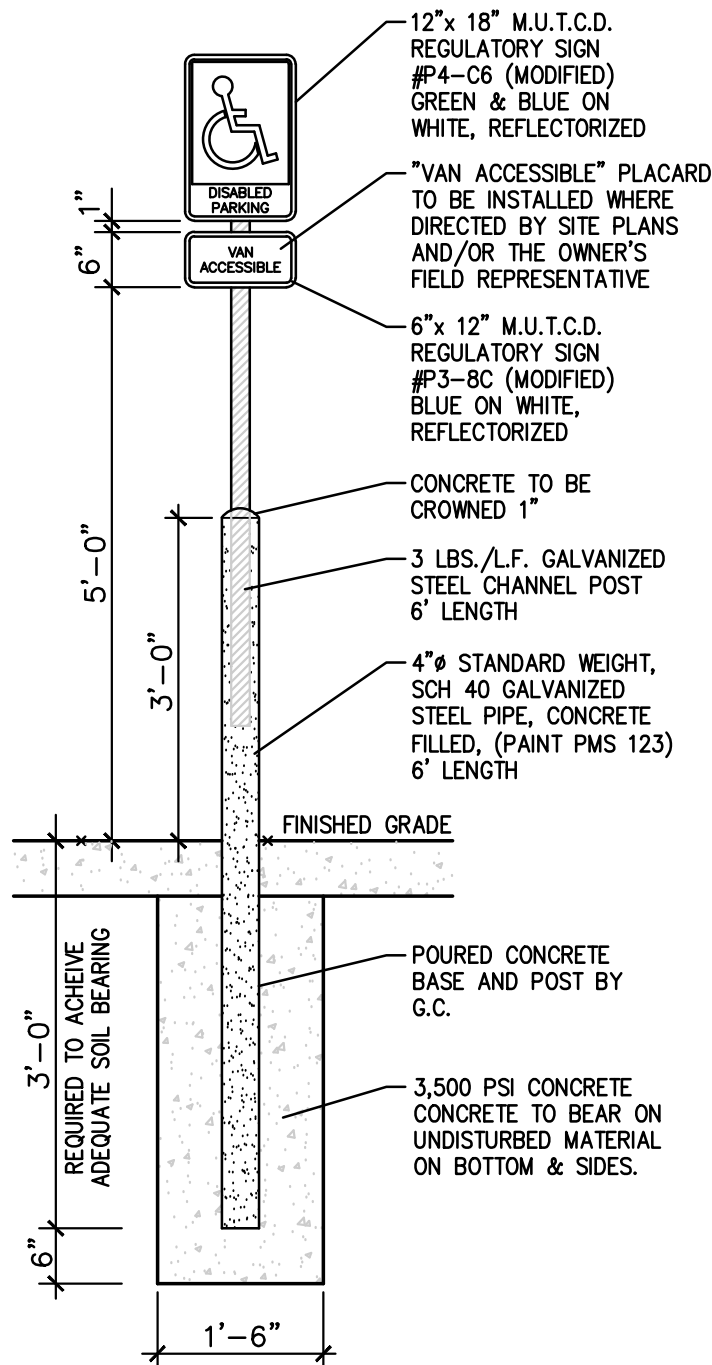




NOTE:
CHANGES IN LEVEL GREATER THAN 1/2" HIGH SHALL BE RAMPED.

ACCESSIBLE CHANGES IN LEVEL

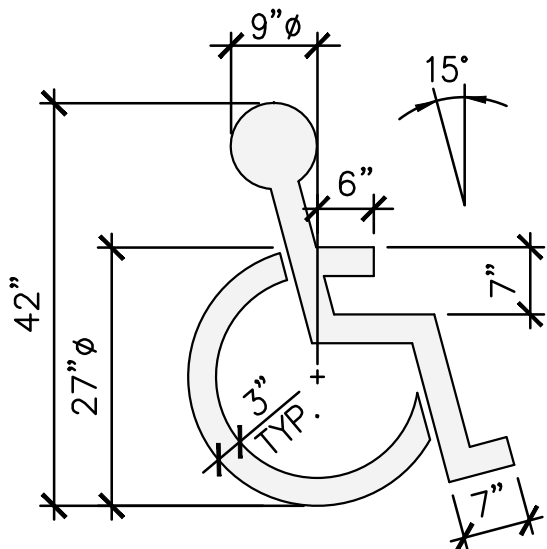
N.T.S.



NOTE:
INSTALL CONCRETE BOLLARD
WHERE VEHICLES ABUT.

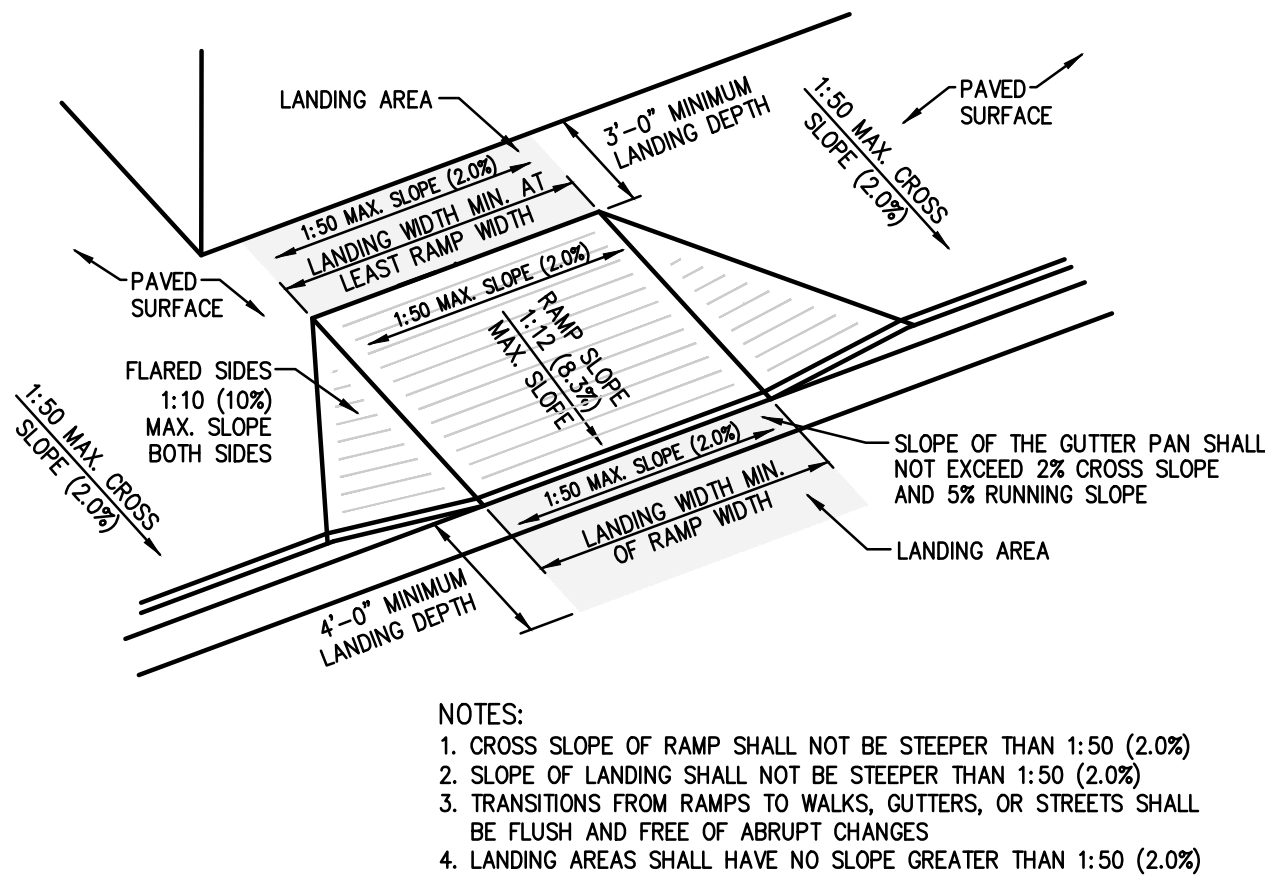
"HANDICAP PARKING-ONLY" SIGN

N.T.S.



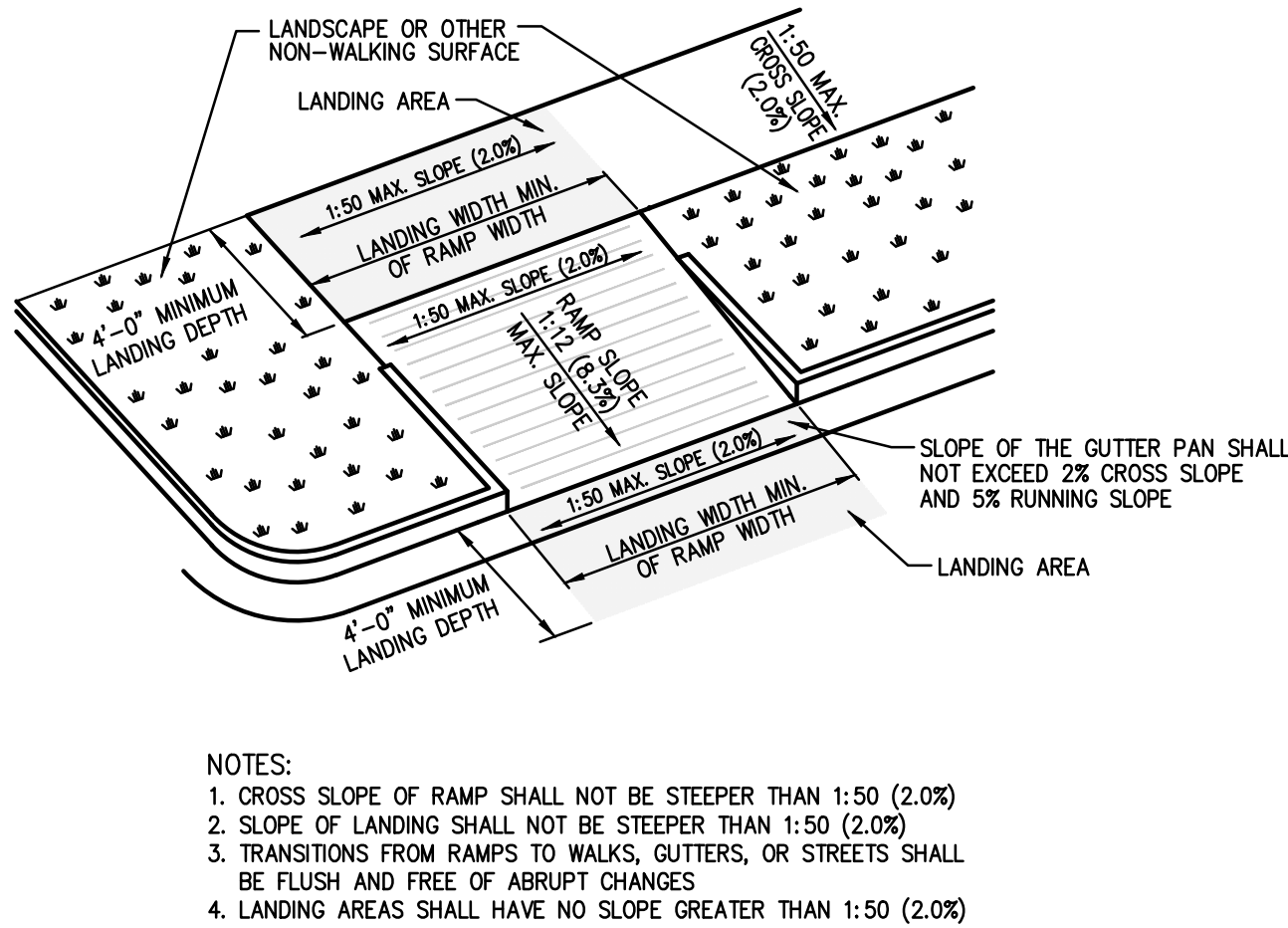
PAINTED HANDICAPPED PARKING SYMBOL (ADA)

N.T.S.



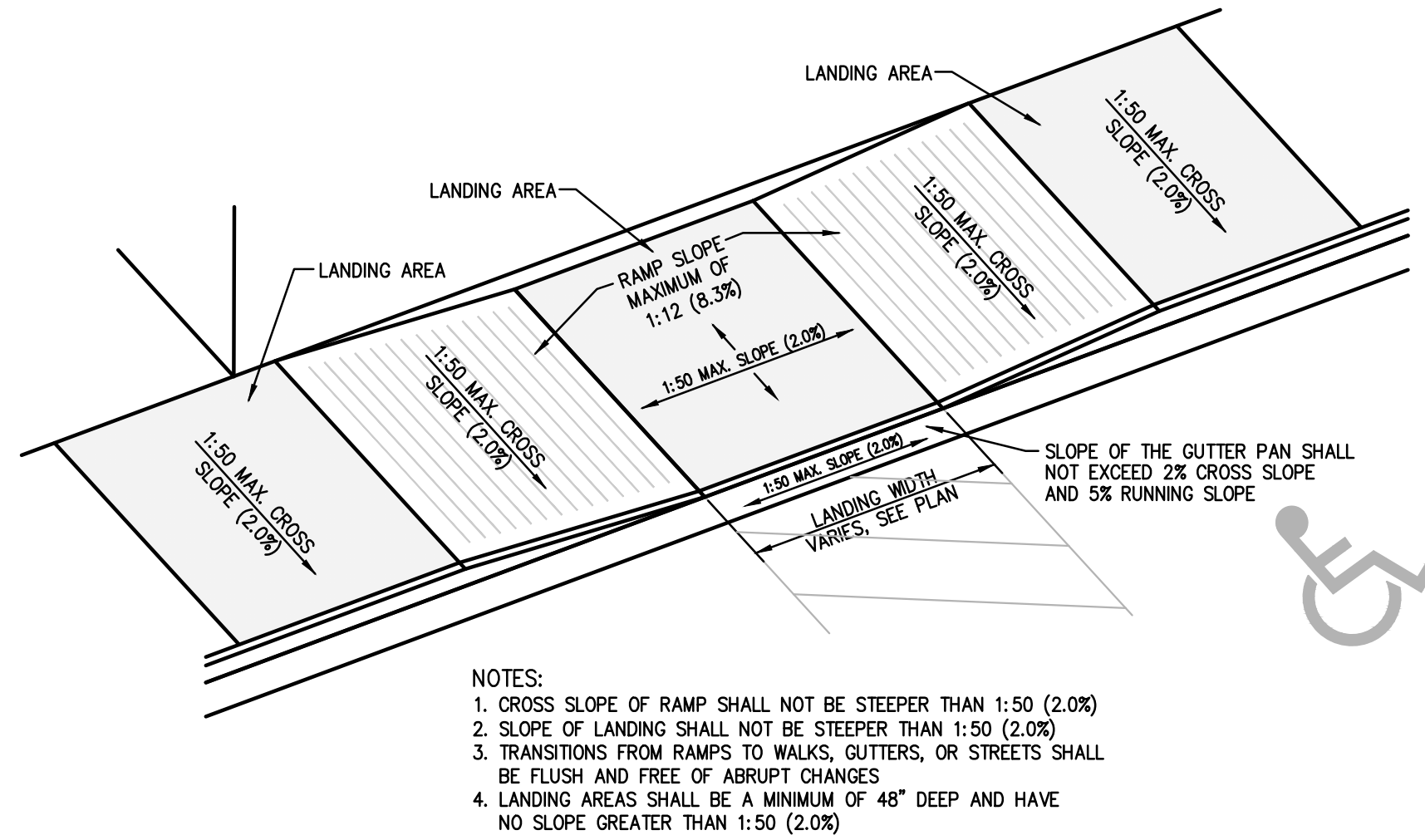
TYPICAL CURB RAMP IN PAVEMENT AREA

N.T.S.



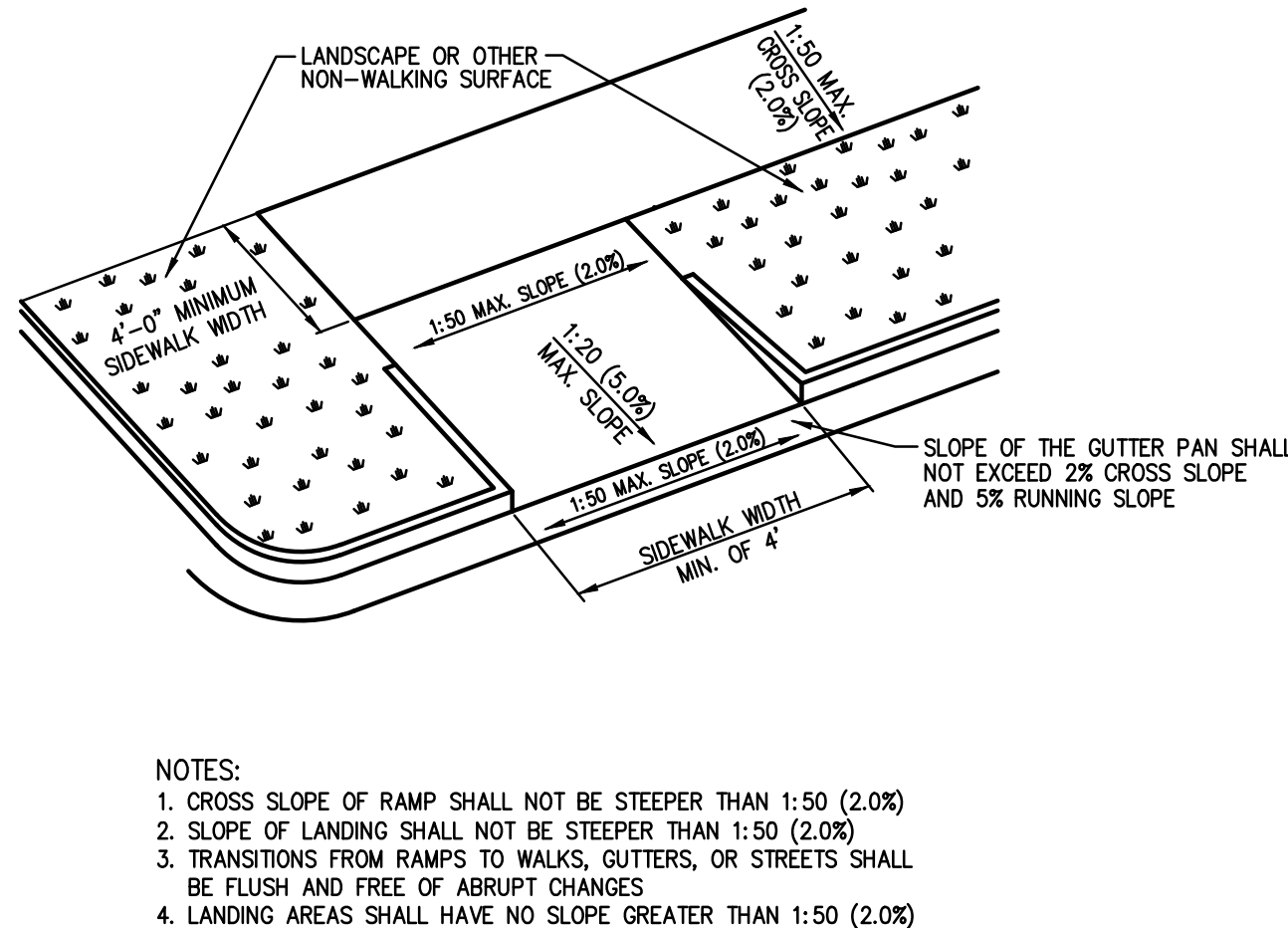
TYPICAL CURB RAMP IN LANDSCAPE AREA

N.T.S.





TYPICAL ACCESSIBLE PARKING RAMP

N.T.S.



TYPICAL SIDEWALK CURB-CUT IN LANDSCAPE AREA

N.T.S.

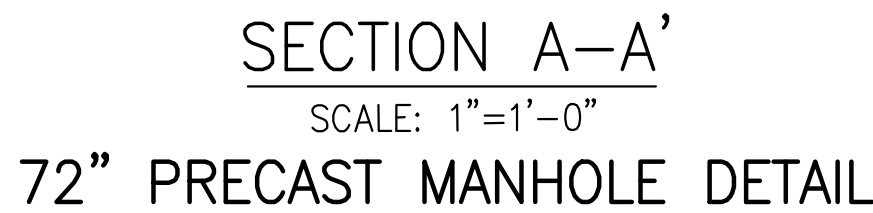
SHEET NO.	TITLE		DRAWN BY		PREPARED FOR		PREPARED BY:				 Dominion Engineering Associates, L.C. 5684 South Green Street Murray, Utah 84123 801-713-3000		REV	DATE	DESCRIPTION	BY
	McDONALD'S SITE IMPROVEMENT PLANS		—		McDONALD'S CORPORATION		KOC DRIVE - OAK BROOK, ILLINOIS 60521						—	—	—	—
	SANTAQUIN, UTAH		—		—		THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF McDONALD'S CORPORATION. THE CONTRACT DOCUMENTS ARE PREPARED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACT DOCUMENTS ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF McDONALD'S CORPORATION. THE CONTRACT DOCUMENTS ARE NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF McDONALD'S CORPORATION.						—	—	—	—
	ADA SITE DETAILS		—		—		—						—	—	—	—
	SITE ID		SITE ADDRESS		DATE ISSUED		OFFICE ADDRESS						—		—	
043--0320		150 E. MAIN STREET, SANTAQUIN, UTAH		043--0320		150 E. MAIN STREET, SANTAQUIN, UTAH		DENVER REGION: 4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237		—		—		—		
SD-6																



DOMINION
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000

PREPARED BY:
McDONALD'S CORPORATION

McDONALD'S CORPORATION
KOC DRIVE - SAN BROOK, ILLINOIS 60001
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STORM WATER DRAINAGE CALCULATIONS



SD-7

IRRIGATION NOTES

1. IRRIGATION SYSTEM BID MUST BE IN A DETAILED UNIT PRICE FORMAT SHOWING COST BREAKDOWN FOR EACH SYSTEM COMPONENT. ANY SYSTEM ELEMENT OR COMPONENT MAY BE ADDED TO OR DELETED BY LANDSCAPE ARCHITECT AND CONTRACTOR COMPENSATION ADJUSTED ACCORDING TO THE UNIT PRICE BID. LANDSCAPE ARCHITECT WITHOUT JUSTIFICATION MAY DISALLOW BIDS AND SELECT CONTRACTORS REGARDLESS OF BID FIGURES. IRRIGATION CONTRACTOR MUST CONTACT LANDSCAPE ARCHITECT BEFORE BEGINNING CONSTRUCTION. A PRE CONSTRUCTION MEETING MAY BE REQUIRED. CONTRACTOR OR SUBCONTRACTORS PARTICIPATION IN CONSTRUCTION MUST BE LICENSED BY THE STATE OF UTAH FOR THE TYPE OF WORK BEING PERFORMED.
2. IRRIGATION SYSTEM COMPONENTS MUST BE PREMIUM QUALITY ONLY AND INSTALLED TO MANUFACTURES REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING STATE AND LOCAL LAWS FOR ALL SPECIFIED MATERIALS AND WORKMANSHIP. SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT. PROVIDE OWNER AND MAINTENANCE PERSONNEL WITH INSTRUCTION MANUAL AND ALL PRODUCTS DATA TO OPERATE, CHECK, WINTERIZE, REPAIR, AND ADJUST SYSTEM. ANY CHANGES MUST BE DOCUMENTED AND SUBMITTED TO LANDSCAPE ARCHITECT IN AN AS BUILT PLAN FORMAT.
3. IRRIGATION SYSTEM GUARANTEE FOR ALL MATERIALS AND WORKMANSHIP SHALL BE ONE YEAR FROM THE TIME OF PROJECT ACCEPTANCE. GUARANTEE WILL INCLUDE, BUT IS NOT LIMITED TO WINTERIZING, SPRING ACTIVATION, REPAIR, TRENCH SETTING, BACKFILLING DEPRESSIONS, AND REPAIRING FREEZE DAMAGE. CONTRACTOR MUST CONTACT LANDSCAPE ARCHITECT TO SCHEDULE PRE AND POST GUARANTEE INSPECTION MEETINGS. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.
4. IRRIGATION SYSTEM STATIC PRESSURE MUST BE CHECKED BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS. CONTACT LANDSCAPE ARCHITECT IF MEASURED STATIC PRESSURE IS UNDER 60 P.S.I. OR OVER 80 P.S.I.
5. IRRIGATION SYSTEM CHECK MUST BE DONE BEFORE THE SYSTEM IS BACKFILLED. IRRIGATION MAINLINE AND EACH CONTROL VALVE SECTION MUST BE FLUSHED AND PRESSURE CHECKED. ASSURE THE COMPLETE SYSTEM HAS NO DOCUMENTED PROBLEMS AND FULL HEAD TO HEAD COVERAGE WITH ADEQUATE PRESSURE FOR SYSTEM OPERATION. ADJUST SYSTEM TO AVOID SPRAY ON BUILDING, HARDSCAPE, AND ADJACENT PROPERTY. ANY PROBLEMS OR PLAN DISCREPANCIES MUST BE REPORTED TO THE LANDSCAPE ARCHITECT.
6. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL QUANTITIES BASED UPON THE PLAN PRIOR TO COMPLETION OF A CONSTRUCTION COST ESTIMATE. FIELD VERIFICATION OF ALL IRRIGATION PIPING AND EQUIPMENT NECESSARY TO COMPLETE CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
7. IRRIGATION LATERALS AND FITTINGS MUST BE SCHEDULE 40 P.V.C. THREE QUARTER (3/4) INCH MINIMUM SIZE. SOLVENT WELD ALL JOINTS AS PER MANUFACTURES SPECIFICATIONS FOR MEASURED STATIC P.S.I. TEFLON TAPE ALL THREADED FITTINGS. THE MINIMUM DEPTH OF LINES SHALL BE TWELVE (12) INCHES. FLOWS IN G.P.M. FOR UN-SIZED LINES OR CHANGES SHALL BE (3/4 INCH-1-8 G.P.M.), (1 INCH-9-12 G.P.M.), (1 1/4 INCH-13-22 G.P.M.). ADAPT SYSTEM TO MANUAL COMPRESSION AIR BLOWOUT. THE OWNER MUST BE INFORMED ON WINTERIZING SCHEDULE FOR BLOWING OUT SYSTEM.
8. IRRIGATION MAIN LINE SHALL BE SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 FITTINGS. SOLVENT WELD ALL JOINTS AS PER MANUFACTURES SPECIFICATIONS FOR MEASURED STATIC PRESSURE. USE TEFLON TAPE ON ALL THREADED JOINTS. LINE DEPTH MUST BE TWENTY FOUR (24) INCHES MINIMUM.
9. THRUST BLOCKS FOR MAINLINES 2" OR GREATER SHALL BE INSTALLED WITH A MINIMUM OF THREE AND A HALF (3 1/2) CUBIC FOOT OF CONCRETE WHEREVER A CHANGE IN DIRECTION OR A "T" OCCURS.
10. CONTROL WIRE MUST BE UF-UL LISTED, COLOR CODED, COPPER CONDUCTOR, DIRECT BURIAL, USE 14 GAUGE MININH WIRING WITH ALL CONNECTIONS MADE WITH WATERTIGHT RAINBIRD SPLICE-1 WATERPROOF CONNECTORS AND CONTAINED IN VALVE BOXES. PROVIDE 24" OF SLACK WIRE AT EACH REMOTE CONTROL VALVE IN VALVE BOXES AND SLACK AT ALL CHANGES IN DIRECTION. TAPE WIRE TO THE UNDERSIDE OF THE MAINLINE EVERY TWENTY (20) FEET. WIRING SHALL HAVE SEPARATE COLORS FOR COMMON, CONTROL, AND SPARE. PROVIDE ONE SPARE WIRE FOR EVERY 5 REMOTE CONTROL VALVES, WITH SPARE AVAILABLE AT ALL VALVE MANIFOLDS OR CLUSTERS. ALL SPARE WIRE SHALL BE "HOME RUN" TO THE CONTROLLER AND COMMON SHALL BE END RUN.
11. RISERS FOR SPRAY HEADS AND ROTORS UP TO 7 GPM SHALL BE RAINBIRD SPX SWING PIPE (OR APPROVED EQUAL) WITH SB SERIES BARB FITTINGS. RISERS FOR HEADS OVER 7 GPM SHALL BE RAINBIRD TSJ SERIES SWING JOINTS (OR APPROVED EQUAL), SIZE TO MATCH INLET SIZE OF HEAD.
12. CONTROL VALVES ARE TO BE INSTALLED IN HEAVY DUTY PLASTIC VANDAL PROOF BOX. SIZE BOXES ACCORDING TO VALVE NUMBERS FOR EASE OF MAINTENANCE AND REPAIR. INSTALL FOUR (4) CUBIC FEET OF PEA GRAVEL FOR SUMP IN BASE OF BOXES.
13. QUICK COUPLERS SHALL BE INSTALLED WITH A LASCO 1" UNITIZED SWING JOINT ASSEMBLY AND 1" BRASS INSERT 90° ELL OUTLET, SUPPORT WITH REBAR IN EACH RETAINER LUG. INSTALL WHERE SHOWN ON THE PLANS.
14. IRRIGATION SYSTEM BACKFILL MUST OCCUR ONLY AFTER SYSTEM CHECK IS COMPLETED AS SPECIFIED. USE ONLY ROCK FREE CLEAN FILL AROUND PIPES, VALVES, DRAINS, OR ANY IRRIGATION SYSTEM COMPONENTS. WATER SETTLE ALL TRENCHES AND EXCAVATIONS.
15. ALL IRRIGATION PIPE RUNNING THROUGH WALLS, UNDER SIDEWALK, ASPHALT, OR OTHER HARD SURFACE SHALL BE SLEEVED PRIOR TO PAVING. IT IS THE IRRIGATION CONTRACTORS RESPONSIBILITY TO COORDINATE SLEEVING WITH CONCRETE AND PAVEMENT CONTRACTORS. SLEEVES WILL BE SCHEDULE 40 P.V.C. THE DEPTH FOR MAIN LINE SLEEVES SHALL BE TWENTY FOUR (24) INCHES MINIMUM. DEPTH FOR LATERAL SLEEVES SHALL BE TWELVE (12) INCHES MINIMUM. SLEEVES SHALL BE A MINIMUM OF TWO SIZES LARGER THAN THE PIPE TO BE SLEEVED. ALL VALVE WIRING SHALL BE CONTAINED IN SEPARATE SLEEVING.
16. PLANS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO SCALE. WHERE POSSIBLE, ALL PIPING IS TO BE INSTALLED WITHIN THE PLANTING AREAS. NO TEES, ELLS, OR CHANGES IN DIRECTION SHALL OCCUR UNDER HARDSCAPE.
17. SPRAY HEADS ADJACENT TO HARDSCAPE PAVING SHALL BE SPACED AWAY 1"-3". SPRAY HEADS ADJACENT TO WALLS, BUILDINGS, FENCES OR STRUCTURES SHALL BE SPACED AWAY A MINIMUM OF 6".
18. THE IRRIGATION SYSTEM SHALL BE INSTALLED FOR PROPER DRAINAGE AND WINTERIZATION. NO LINE SAGS OR SADDLES SHALL OCCUR IN IRRIGATION MAIN OR LATERAL LINES. ALL PIPING SHALL HAVE A MINIMUM .5% POSITIVE SLOPE TO END OF LINES. INSTALL KING DRAINS AT ALL LOW POINTS AND ENDS OF LATERAL LINES. PROVIDE SYSTEM WITH MANUAL COMPRESSION AIR BLOWOUT ABILITY THROUGH QUICK COUPLERS. THE OWNER MUST BE INFORMED ON WINTERIZING SCHEDULE FOR BLOWING OUT SYSTEM.
19. UPON COMPLETION OF IRRIGATION MODIFICATIONS, THE CONTRACTOR SHALL VISUALLY INSPECT THE IRRIGATION SYSTEM AND VERIFY THAT ALL IRRIGATION ZONES OPERATE PROPERLY. ANY UNDER IRRIGATED OR UNIRRIGATED AREAS SHALL BE IDENTIFIED, AND THE CONTRACTOR SHALL MAKE ADJUSTMENTS OR ADDITIONS TO THE SYSTEM TO CORRECT IRRIGATION DEFICIENCIES.
20. DRIP SYSTEM PIPING SHALL CONSIST OF A RIGID SCHEDULE 40 PVC PIPE DISTRIBUTION SYSTEM CONNECTING DRIP IRRIGATED PLANTER AREAS. POLYTUBING OR DRIP LINE SHALL BE RUN OFF THE RIGID PVC IN EACH PLANTING AREA OR ISLAND WITH A PVC TO POLYTUBING ADAPTER. ALL POLYTUBING ENDS SHALL TERMINATE WITH A FLUSH CAP IN A DRIP BOX. NO POLYTUBING SHALL RUN UNDER PAVEMENT.
21. THE LANDSCAPE CONTRACTOR SHALL PROVIDE IRRIGATION AS-BUILT DRAWINGS OF THE IRRIGATION SYSTEM TO THE OWNERS CONSTRUCTION REPRESENTATIVE. ALL IRRIGATION COMPONENTS ADDED, DELETED, OR MODIFIED IN THE FIELD SHALL BE NOTED ON THE PLAN. NOTE TAP SIZE, LINE SIZE, AND STATIC PRESSURE AT POINT OF CONNECTION.

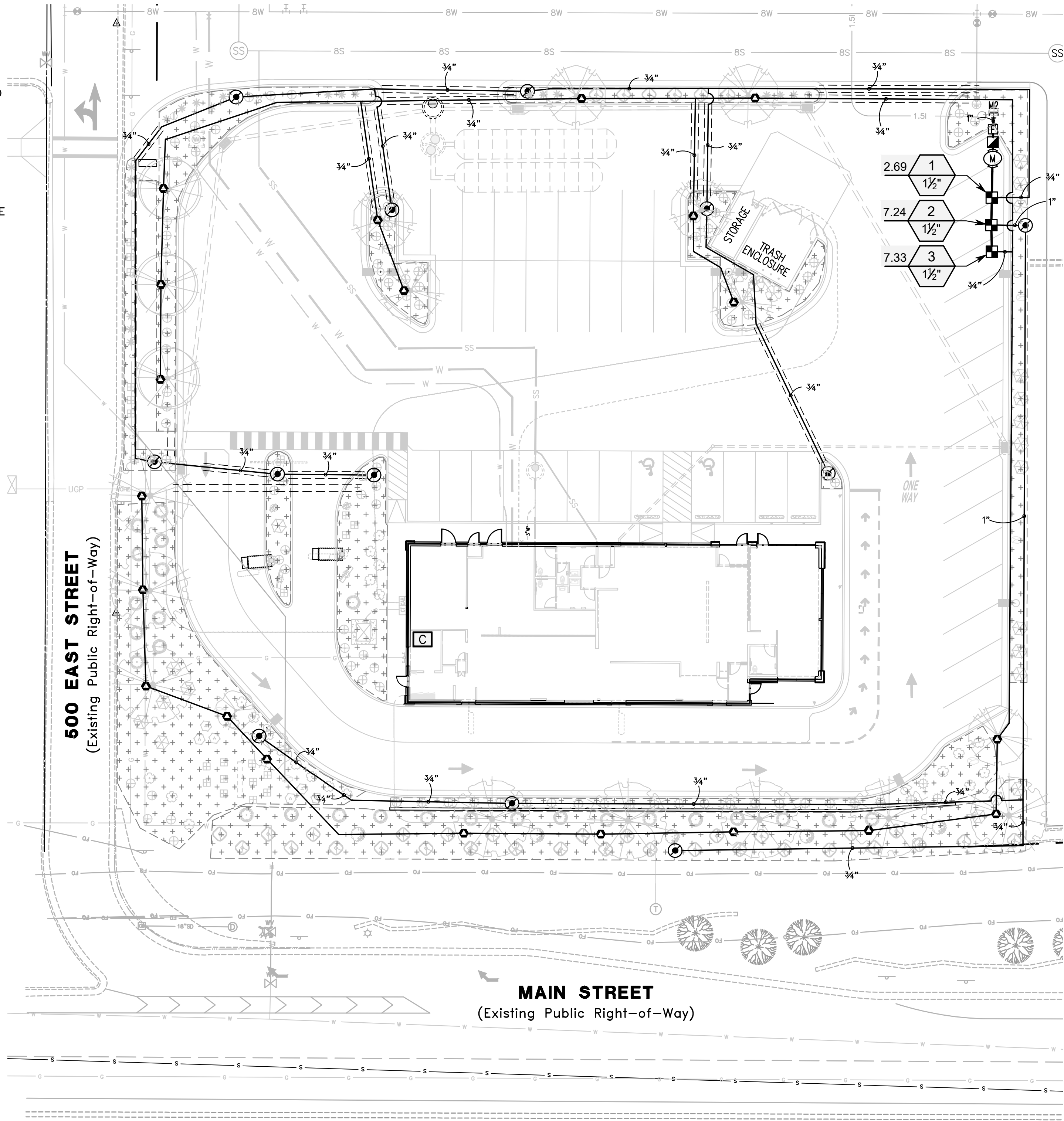
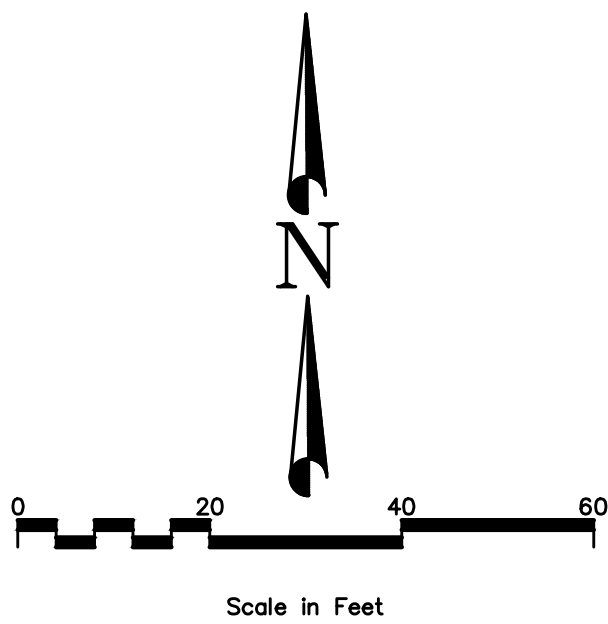
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NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.



UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND.

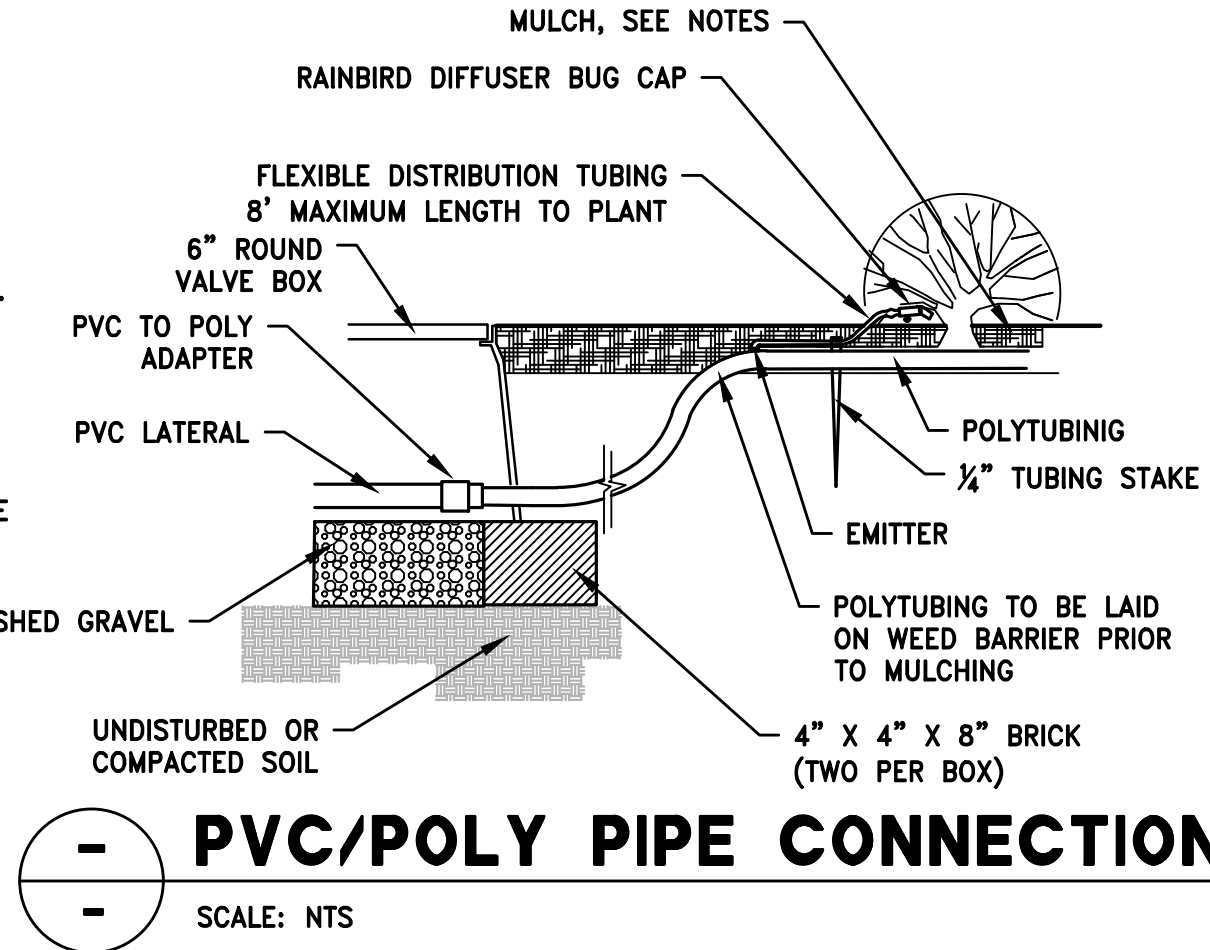
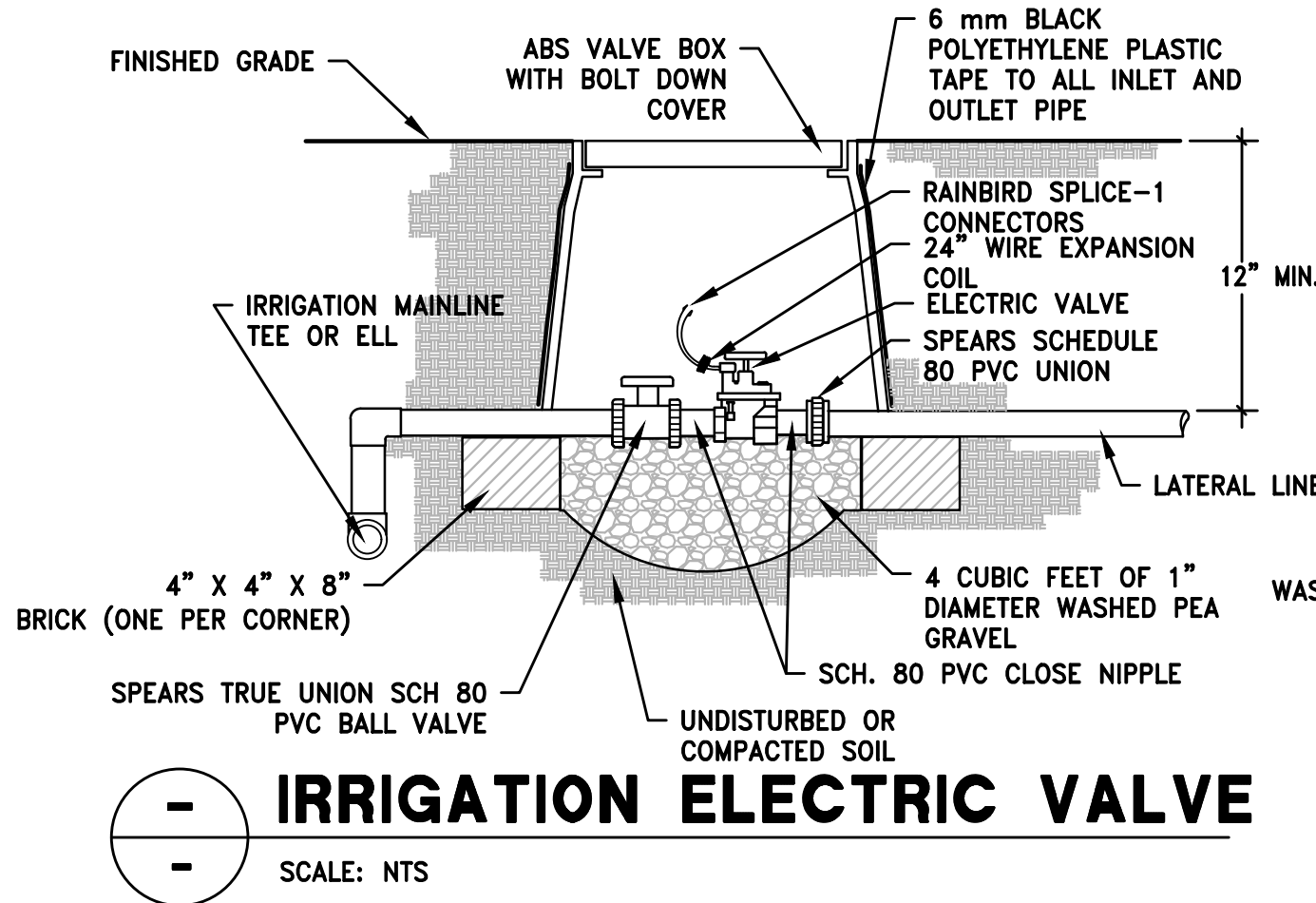
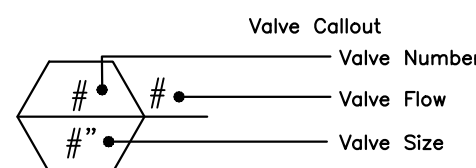


IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	RAIN BIRD XC2-150-LCDZ HIGH FLOW CONTROL ZONE KIT, FOR LARGE COMMERCIAL DRIP ZONES. 1-1/2" PESB-R SCRUBBER GLOBE VALVE WITH SINGLE 1-1/2" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTERS. FLOW RANGE: 1.5-62 GPM.	3
	PIPE TRANSITION POINT IN DRIP BOX PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER IN 6" (150MM) DRIP BOX.	12
	RAINBIRD XDF-09-12 DRIPLINE TREE RINGS 2 DRIPLINE RINGS USING 12" EMITTER SPACING @ .9 GPH, 12" SPACING FROM TRUNK TO FIRST RING AND 24" SPACING FROM TRUNK TO SECOND RING. INSTALL ONE (1) RAINBIRD PC-05 EMITTER WITH STAKE AND BUG CAP PER TREE RING FOR OPERATION INDICATOR.	20
	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5 GPH=BLUE, 1.0 GPH=BLACK, AND 2.0 GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 0.5 GPH emitters (2 assigned to each 1 gal plant)	11,499 S.F. 262
	2.0 GPH emitters (2 assigned to each 3 gal plant)	
	2.0 GPH emitters (2 assigned to each 5 gal plant)	228

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	RAIN BIRD 44-LRC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	1
	RAIN BIRD PESB 1-1/2" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH SCRUBBER TECHNOLOGY FOR RELIABLE PERFORMANCE IN DIRTY WATER, IRRIGATION APPLICATIONS.	1
	RAIN BIRD ESP4ME3 WITH (1) ESP-SM3 7 STATION, HYBRID MODULAR OUTDOOR CONTROLLER. FOR RESIDENTIAL OR LIGHT COMMERCIAL USE. INCLUDE LNK WIFI SMART MODULE.	1
	AMIAD 1" FILTER AMIAD 1" MANUAL PLASTIC FILTER, NPT THREAD, STAINLESS STEEL SCREEN ELEMENT, ENGINEERED-PLASTIC MATERIAL, MAXIMUM WORKING PRESSURE 150PSI.	1
	POINT OF CONNECTION 1 1/2"	1

	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	2,052 L.F.
	IRRIGATION MAINLINE: PVC SCHEDULE 40	39.1 L.F.
	PIPE SLEEVE: PVC CLASS 200 SDR 21	426.3 L.F.



IRRIGATION PLAN

PREPARED BY:

DARRIN L. PERKES
No. 378426
04/15/24
STATE OF UTAH

PREPARED FOR:

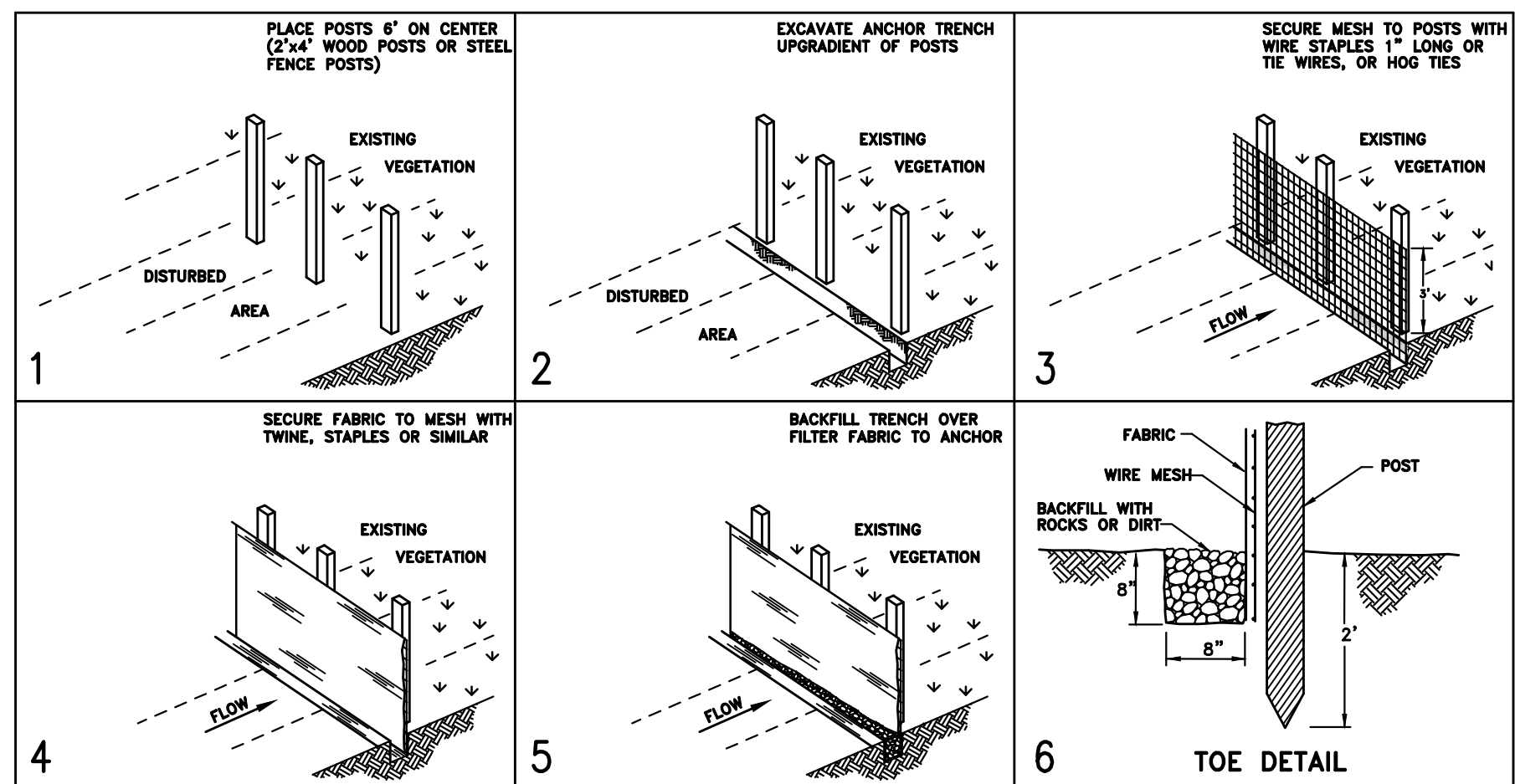
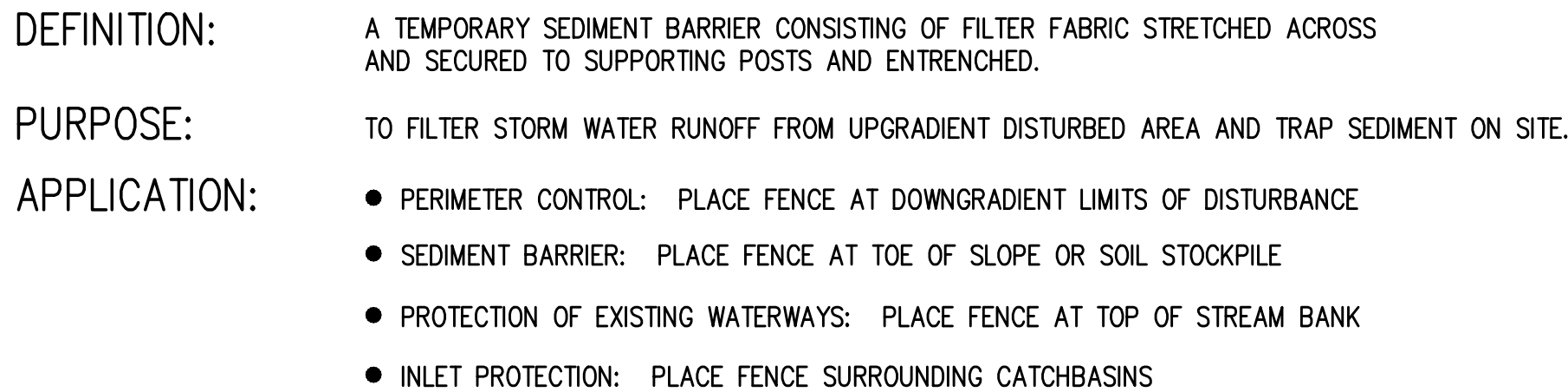
MCDONALD'S CORPORATION
KROC DRIVE - SAN BROOK, ILLINOIS 60081
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DRAWN BY:
—
STD ISSUE DATE:
—
REVIEWED BY:
—
DATE REVIEWED:
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DATE ISSUED:
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TITLE:
MCDONALD'S SITE IMPROVEMENT PLANS
SANTAQUIN, UTAH
DESCRIPTION:
LANDSCAPE PLAN

SHEET NO.:
LS-2

SITE ID:
043-0320
SITE ADDRESS:
550 E. MAIN STREET, SANTAQUIN, UTAH
DENVER REGION: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237



- LIMITATIONS:**
- RECOMMENDED MAXIMUM DRAINAGE AREA OF 0.5 ACRE PER 100 FEET OF FENCE
 - RECOMMENDED MAXIMUM UPGRADIENT SLOPE LENGTH OF 150 FEET
 - RECOMMENDED MAXIMUM UPHILL GRADE OF 2:1 (50%)
 - RECOMMENDED MAXIMUM FLOW RATE OF 0.5 cfs
 - PONDING SHOULD NOT BE ALLOWED BEHIND FENCE

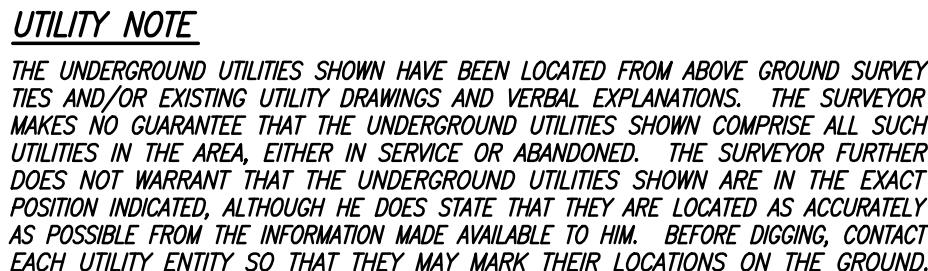
- ## INSTALLATION:
- PLACE POSTS 6 FOOT ON CENTER ALONG CONTOUR (OR USE PREASSEMBLED UNIT) AND DRIVE 2 FEET MINIMUM INTO GROUND. EXCAVATE AN ANCHOR TRENCH IMMEDIATELY UPGRADIENT OF POSTS.
 - SECURE WIRE MESH (14 GAUGE MIN. WITH 6 INCH OPENINGS) TO UPSLOPE SIDE OF POSTS. ATTACH WITH HEAVY DUTY WIRE STAPLES 1 INCH LONG, TIE WIRES OR HOG RINGS.
 - CUT FABRIC TO REQUIRED WIDTH, UNROLL ALONG LENGTH OF BARRIER AND DRAPE OVER BARRIER. SECURE FABRIC TO MESH WITH TWINE, STAPLES, OR SIMILAR, WITH TRAILING EDGE EXTENDING INTO ANCHOR TRENCH.
 - BACKFILL TRENCH OVER FILTER FABRIC TO ANCHOR.





- MAINTENANCE:**
- INSPECT IMMEDIATELY AFTER ANY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
 - LOOK FOR RUNOFF BYPASSING ENDS OF BARRIERS OR UNDERCUTTING FENCE.
 - REPAIR OR REPLACE DAMAGED AREAS OF THE FENCE AND REMOVE ACCUMULATED SEDIMENT.
 - REANCHOR FENCE AS NECESSARY TO PREVENT SHORTCUTTING.
 - REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE.

1. THE CONTRACTOR SHALL MAINTAIN EARTHWORK SURFACES TRUE AND SMOOTH AND PROTECTED FROM EROSION. WHERE EROSION OCCURS THE CONTRACTOR SHALL PROVIDE FILL OR SHALL EXCAVATE AS NECESSARY TO RETURN EARTHWORK SURFACES TO THE GRADE AND FINISH SPECIFIED.
2. DISTURBED LAND SHALL BE KEPT TO A MINIMUM — NO SITE CLEARING OF LOT SHALL BE ALLOWED UNTIL RESPECTIVE LOT CONSTRUCTION BEGINS EXCEPT FOR FILL PLACEMENT.
3. NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT POLLUTION OF STORM WATER PER PROJECT SWPPP.

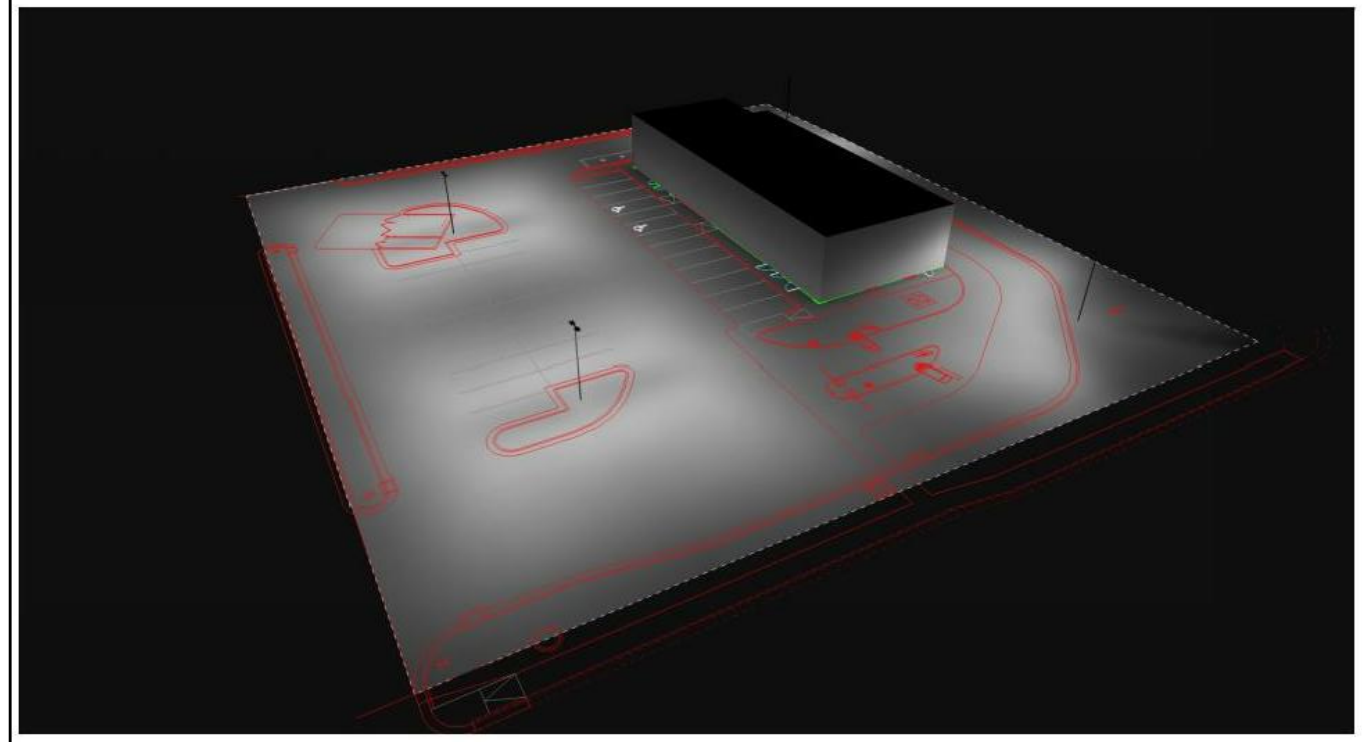
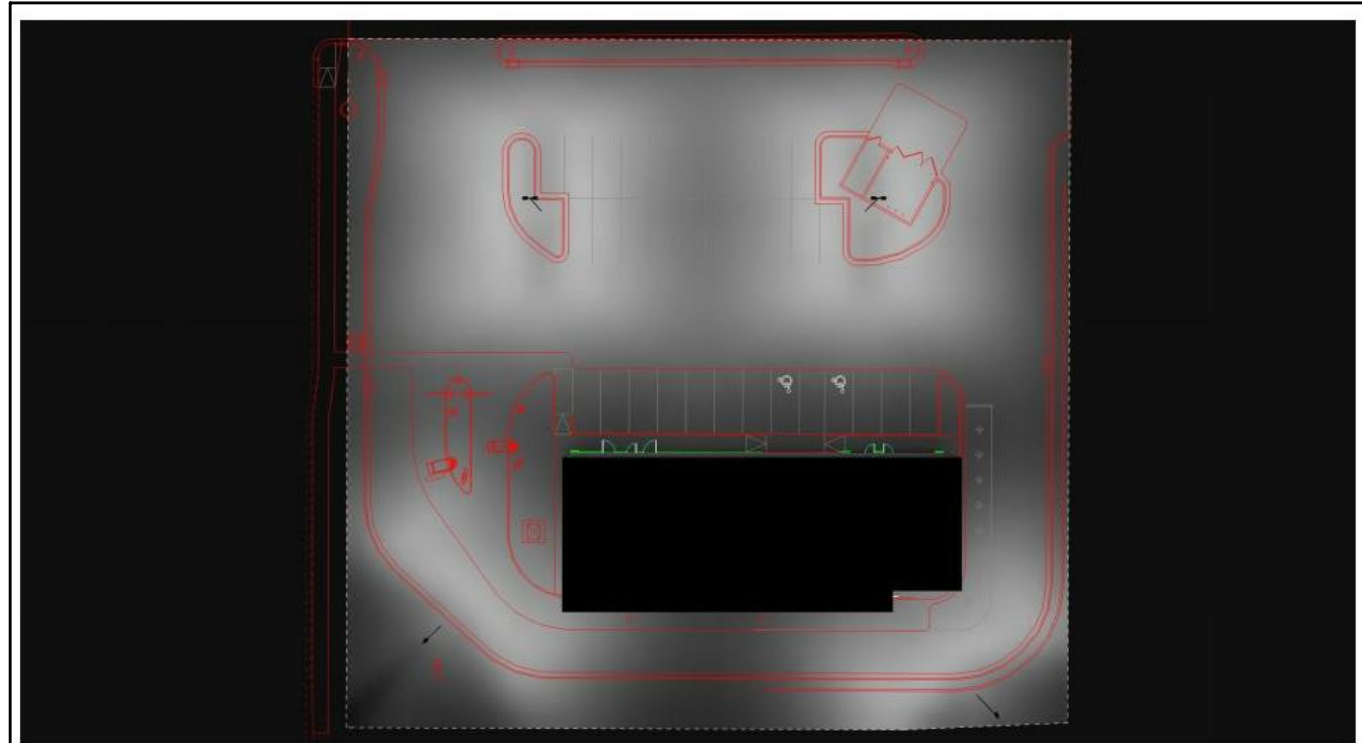
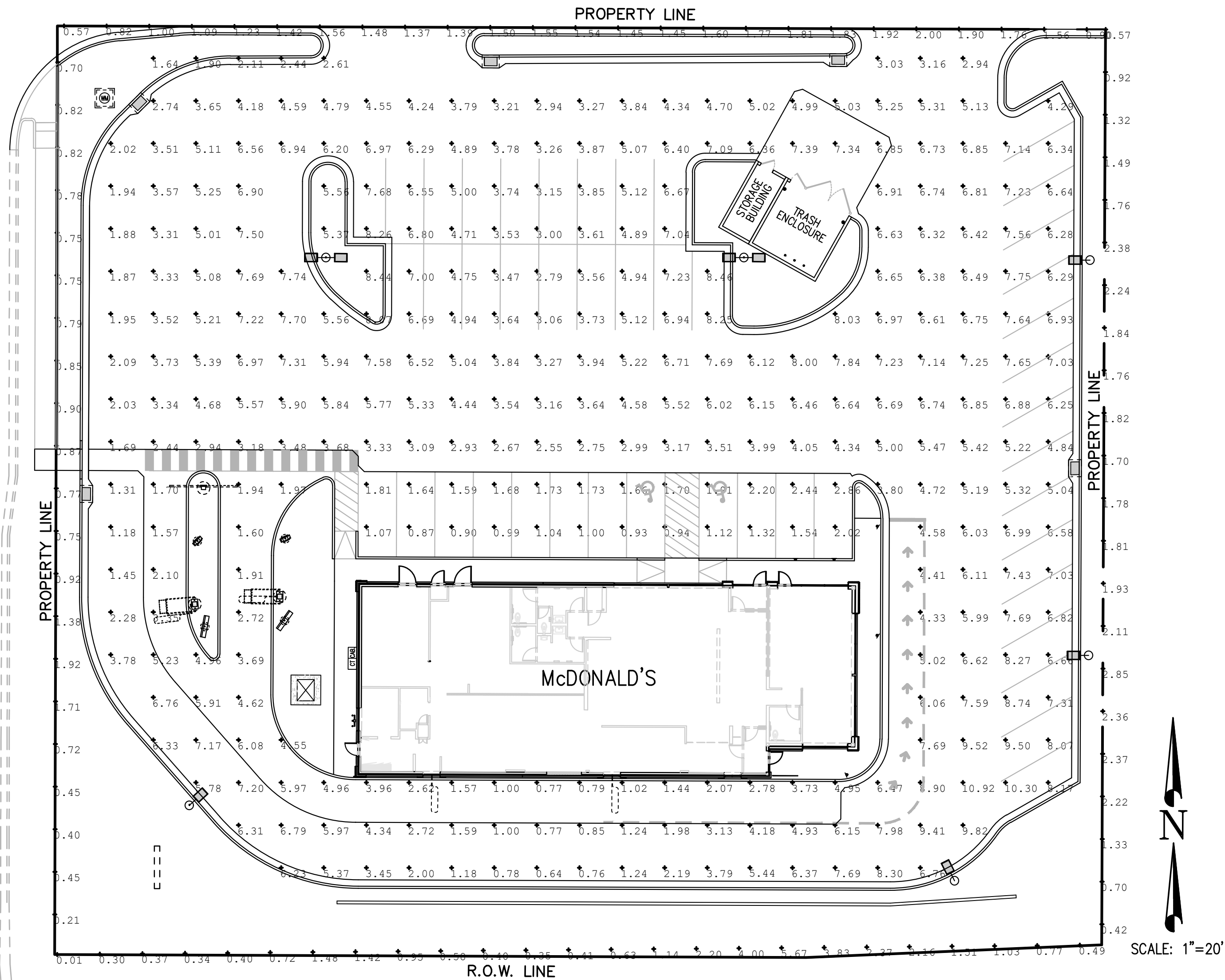
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NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.



SHEET NO.	TITLE		DRAWN BY	PREPARED FOR:	<div>McDONALD'S CORPORATION KROC DRIVE - OAK BROOK, ILLINOIS 60021</div> <div>THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF THE COMPANY AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT WRITTEN PERMISSION OF THE COMPANY. THE CONTRACT DOCUMENTS WERE PREPARED BY THE COMPANY AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT WRITTEN PERMISSION OF THE COMPANY. THE CONTRACT DOCUMENTS WERE PREPARED BY THE COMPANY AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT WRITTEN PERMISSION OF THE COMPANY.</div>	<div></div> <div>No. 8030527 -209- JEREMY RICK HANSON 1/16/12</div>	PREPARED BY:	<div>Dominion Engineering Associates, L.C. 5684 South Green Street Murray, Utah 84123 801-713-3000</div>	<div></div>	BY:
	McDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH EROSION CONTROL PLAN	STD ISSUE DATE — REVIEWED BY — DATE REVIEWED — DATE ISSUED	OFFICE ADDRESS DENVER REGION: 4643 S. ULLISTER ST., SUITE 1300, DENVER, CO 80237	REV DATE DESCRIPTION						
EC-1	SITE ID 043-0320	SITE ADDRESS 150 E. MAIN STREET, SANTAQUIN, UTAH	—	—	—	—	—	—	—	—

500 EAST STREET



Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
PAVED SURFACE READINGS	Illuminance	Fc	4.75	10.92	0.64	7.44
PROPERTY LINE READINGS	Illuminance	Fc	1.35	5.67	0.01	N.A.

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height
	4	A	SINGLE	0.900	RAR2-480L-240-5K7-4W	226.9	.55	20
	2	A2@180	BACK-BACK	0.900	RAR2-480L-240-5K7-4W	226.9	1.1	20

MOUNTING HEIGHT = 20' (17' POLE & 3' BASE)
TILT = 0

LIGHTS ARE FULL CUTOFF (ZERO LIGHT ABOVE 90°)
CALCULATION GRIDS ARE AT GRADE (Z = 0)

THIS LAYOUT MEETS IES RECOMMENDATIONS FOR
PARKING LOT LIGHTING.

THIS DRAWING MEETS OR EXCEEDS McDONALD'S CURRENT
ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE,
UNLESS SUPERCEDED BY OTHER REQUIREMENTS.

HUBBELL
Outdoor Lighting

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

RATIO SERIES

AREA/SITE LIGHTER

DIMENSIONS

RAR1

5.0" (127mm)

14.0" (356mm)

12.0" (305mm)

19.0" (483mm)

3.25" (83mm)

RAR2

7.5" (191mm)

19.5" (495mm)

17.39" (442mm)

27.0" (686mm)

3.25" (83mm)

ADDITIONAL INFORMATION

MOUNTING

Arm Mount - Fixture ships with integral arm for ease of installation. Compatible with Hubbell Outdoor E3 drill pattern.

Knuckle - Knuckle mount 15° aiming angle increments for precise aiming and control. Fits 2-3/8" tenons or pipes.

Universal Mounting - Universal mounting block for ease of installation. Compatible with drill patterns from 2.5" to 4.5".

MAP - Fits 2-3/8" OD arms. Roadway applications.

Wall Mount - Wall mount. Drilled designed for building mount applications.

Page 719 Rev: 08/07/20
HUBBELL SPEC

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700 Main Street • Greenville, SC 29607 | Tel: 864-678-1000 | Website: www.hubbelloutdoor.com

SECURITY LIGHTING™

SES POLES

SQUARE STEEL STRAIGHT POLES (SSP)

Specifications

The Square Steel Straight Pole has been successfully installed in projects of all types for over 30 years and has become the most popular and economical pole option for all site lighting applications including retail, commercial, industrial and residential projects.

The popularity of this series is due to its full offering of sizes, heights and standard colors with complete offering of mounting options, accessories and select styles/colors stocked for immediate shipping.

- Square Steel Straight Shaft
- One piece construction
- 2 3/8" OD tenon, Open Top or Factory drilled Side Mount Options available
- Steel Base Plate
- 3 size options for anchor bolts. All anchor bolts fully galvanized with 2 nuts and washer (bolts ordered as separate line item and paper template included as component of pole)
- Square base cover available (ordered as separate line item)
- Pole finished in weather proof powder coat paint in 4 standard colors
- 3" x 5" Gasketed hand hole standard

Dimensions

Shaft Size

Pole Height

10"

5"

15.5"

Tenon Top Pole

Open Top Pole

Ordering Information

Ordering Example: SES-18-40-01-TA-0-DB

Series	Height	Size	Gauge	Mounting	Drilling	Color
SES	18 Feet	40 4"x4" Shaft	01 11 Gauge, 119" Thick	TA 2 3/8" OD Tenon	0 No Drilling for Tenon and Open Top Pole	DB Dark Bronze
	20 Feet	50 5"x5" Shaft	07 7 Gauge, 179" Thick	OT Open Top Pole	2 Drill Pattern 2	WH White
	22 Feet			A Drill	6 Drill Pattern 6	BL Black
	25 Feet			TB 2 7/8" OD Tenon	26 Drill Pattern 26	PS Platinum Silver
	28 Feet				C Custom Drill Pattern*	
					B4 Drill Pattern Viper Small	
					B3 Drill Pattern Viper Large	

Notes: *Custom drilling requires separate order and may require additional charges. 1. Available in 11 gauge only. 2. Open Top Pole requires side cap. 3. A detailed drawing of custom drill pattern required must be submitted at time of ordering.

Web: www.securitylighting.com
2100 Golf Road, Suite 460, Rolling Meadows, IL 60008-4704
Phone: 1-800-LIGHT-IT, 1-800-544-4848, Fax: 847-279-0922
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SECURITY LIGHTING™

SES POLES

SQUARE STEEL STRAIGHT POLES (SSP)

Accessories

Pole Cap

4" POLE CAP 20102389702

5" POLE CAP 20102389802

6" POLE CAP 20102389902

Tenon

TA 2 3/8" OD

Note: 14 Tenons are factory installed. For installation into open top poles, use TTA Tenon too stamp.

Hand Hole Cover

Note: Hand hole cover included with all new poles. Replacement parts: 22108400112 + (2)23115839901 + (1)26508469902 (3"x5")

Base Cover

Order as a separate line item

Catalog Number	Description
SBC-4-XXX	10 1/2" Sq x 5" Deep (use on 4" sq poles)
SBC-4L-XXX	12 1/4" Sq x 5" Deep (use on 4" sq poles)
SBC-5-XXX	12 1/4" Sq x 5" Deep (use on 5" sq poles)
SBC-6-XXX	12 1/4" Sq x 5" Deep (use on 6" sq poles)

1. Replace XX with two letter color designation.

3/4" x 30" x 3" Anchor Bolt TAB-30M38 qty: 4

1" x 36" x 4" Anchor Bolt TAB-36M38 qty: 4

1" x 42" Anchor Bolt TAB-30M38 qty: 4

Note: Fabricated from high tensile steel, each anchor bolt has two nuts and two washers; Galvanized anchor bolts are hot dipped; (Galvanized includes threaded portion plus six inches minimum); Anchor Bolt template included with pole purchase.

Anchor Bolt Hex Nut

Flat Washer

Base Plate

Flat Washer Hex Nut

Grout with drain Optional

Level Foundation

Engineering of footing by others

- NOTES:
- THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTION IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
 - DISTANCE BETWEEN READINGS 10.0'
 - FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.

SECURITY LIGHTING™

2100 Golf Road, Suite 460, Rolling Meadows, IL 60008
1-800-544-4848

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES

SCALE: 1" = 20' 0"

DRAWN BY: BV

POINT-BY-POINT FOOTCANDLE PLOT FOR

McDONALD'S
550 E. MAIN STREET
SANTAQUIN, UTAH

NATIONAL STORE NUMBER

DATE: 11/4/2021

DRAWING NUMBER: SL2106011, AGI

PREPARED BY: **McDONALD'S CORPORATION**
KOC DRIVE - SAN BROOK, ILLINOIS 60081

DESIGNED BY: **SECURITY LIGHTING**

DATE ISSUED: _____

DATE REVIEWED: _____

DATE REVISION: _____

DATE: 11/4/2021

DRAWING NUMBER: SL2106011, AGI

TITLE: **McDONALD'S SITE IMPROVEMENT PLANS**
SANTAQUIN, UTAH

DESCRIPTION: **SITE LIGHTING PLAN LAYOUT**

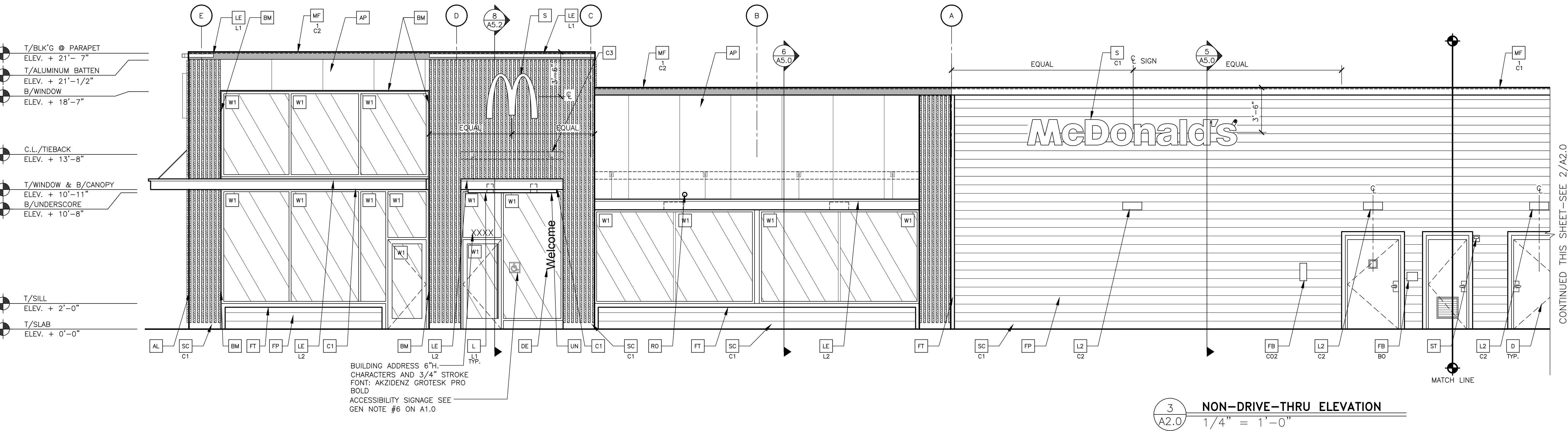
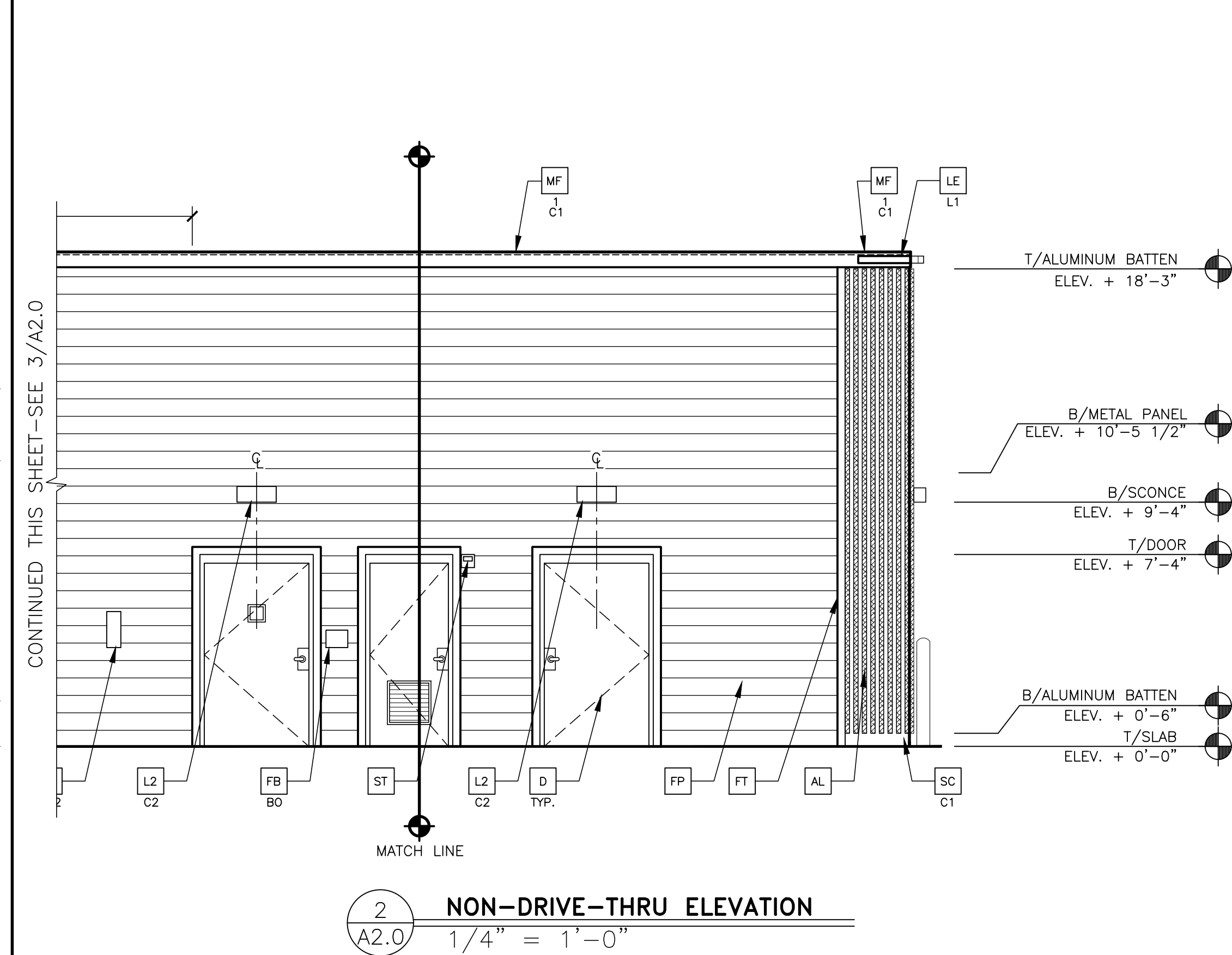
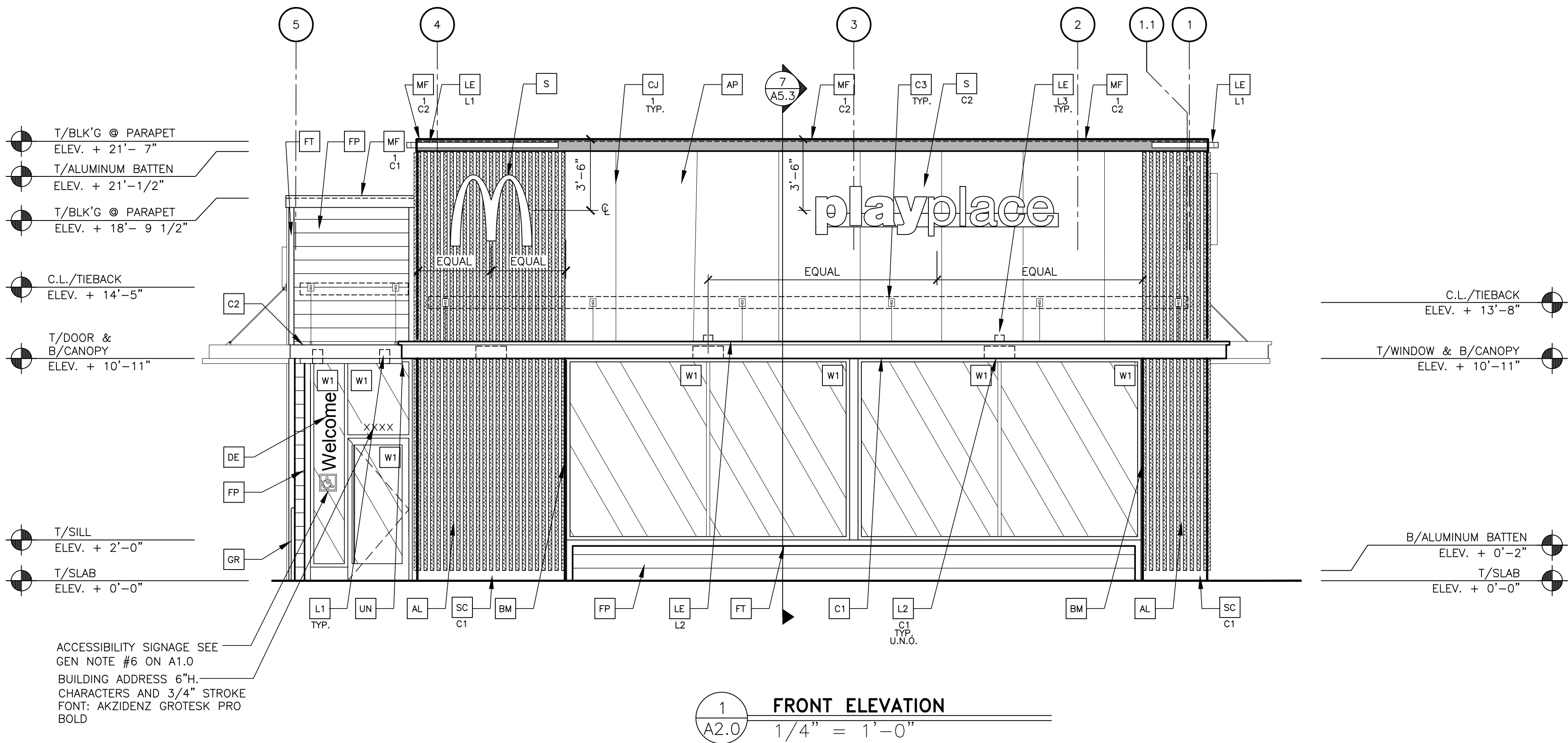
SHEET NO: **LTG-1**

BY: _____

REV: _____

DATE: _____

DESCRIPTION: _____



KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB,
GROUP 1, HDO BOTH FACES, APA TRADEMARKED.
COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH
SIDES AND ALL EDGES PRIOR TO INSTALLATION.
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BM BRAKE METAL PANEL
COLOR: PAINT "HARVEST MOON" #32-5 BY VALSPAR
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS.
WHEN TIEBACKS ARE INSTALLED ON METAL PANELING.
SEE DETAIL 3/A5.0
- CJ CONTROL JOINT
1 -TYPE: 1 = ALPOLIC
- D HOLLOW METAL DOOR
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- FB C02 - C02 = BULK C02 FILL BOX (EQPM SCHEDULE ITEM 49.03)
B0 = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- FP FIBER CEMENT LAP SIDING: SMOOTH HARDI-BOARD PLANK BY
JAMES HARDIE, 8-1/4" WIDTH, 7" EXPOSURE, HZ5
COLOR: AGED PEWTER
- FT FIBER CEMENT TRIM: HARDITRIM BOARDS 4/4 SMOOTH, 1 5/8"
AND 3 1/2" WIDTH, 3/4" THICK, HZ5
COLOR: AGED PEWTER (CHECK 1 5/8" PRE-Paint AVAILABILITY)
- GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD
- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
C1-COLOR:
C1= WHITE
C2= PLATINUM SILVER
- LE ACCENT LIGHTING - SEE ELECTRICAL
L1-LED LIGHT:
L1 = SUM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA
1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
COLOR:
C1= WEATHERED ZINC
C2= RAL 7022
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR
MODEL: #WPT STD
CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1-COLOR:
C1= WEATHERED ZINC RACEWAY
C2= RAL 7022 RACEWAY
- SC STUCCO
C1-PAINT TO MATCH HARDIE PLANK SIDING OR GAUNTLET GRAY SW7019 BY
SHERWIN WILLIAMS
- ST C02 STROBE/ALARM. SEE MECHANICAL DRAWINGS
FOR SPECIFICATION.
- UN METAL UNDERSCORE
COLOR: GOLD
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL
OPEN, ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

PREPARED BY: CORE STATES GROUP		DATE		REV		DESCRIPTION		BY	
133 Walter Street Phone (321) 718-9412		01/19/21							
© 2020 McDonald's USA, LLC		McDonald's USA, LLC		DRAWN BY: B.ABDALLA		STD ISSUE DATE: 2021_06		TITLE: 2019 STANDARD BUILDING 4597-PP-WOOD/WOOD	
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C.S.G. PROJECT # MCD.32564		SITE ADDRESS: 36 N. ORCAHRO LANE		SANTAQUIN, UT		ELEVATIONS		A2.0	



Materials Legend

	Hardie Plank(Main Building) <i>"Aged Pewter"</i>
	Aluminum Battens <i>"Wood grain"</i>
	Alpolc <i>"RAL 7022"</i>
	Paint (Accent) <i>"Gauntlet Gray"</i>
	Aluminum Canopy (Prefinished Metal) <i>"White"</i>
	Aluminum Trellis (Prefinished Metal) <i>"RAL 7022"</i>
	Aluminum Trellis (Underscore) <i>"Gold"</i>
	Metal Coping <i>"Weathered Zinc"</i>
	Metal Coping <i>"RAL 7022"</i>
	Storefront System <i>"Dark Bronze"</i>

