



**CONSTRUCTION NOTES**

**Construction Notes**

- 1. All work to be done in conformity to SATAQUIN CITY standards and specification and as directed by the SATAQUIN CITY engineer or his representatives.
2. All sewer and water system construction shall be in accordance with SATAQUIN CITY standards and specifications. Contractor to obtain current standards from the SATAQUIN CITY.
3. Contractor shall contact blue stakes prior to beginning construction, to facilitate the location and identification of existing underground utilities.
4. Contractor responsible for protection of all utilities shown or not shown.
5. Contractor shall be responsible to obtain and pay for necessary permits.
6. Contractors shall attend all pre-construction conferences.
7. Contractor shall be responsible for all public safety and OSHA standards.
8. Contractor shall field verify locations and invert elevations of all existing sewer facilities and other utilities prior to building or staking any new sewer lines.
9. Location and installation of gas, power, telephone, and cable lines to be done in accordance with SATAQUIN CITY standards.
10. All culinary water lines shall be per SATAQUIN CITY standards.
11. Minimum depth for culinary waterlines from the final grade to the top of the pipe is 4 feet, unless otherwise noted on the plan and profile sheets.
12. Minimum spacing between waterlines and sewer lines is 10 feet horizontally or 12 inches vertically (in times of crossing the waterline shall be above the sewer line). All other utilities shall be spaced a minimum distance of 12 inches from the waterline.
13. All ductile iron valves, hydrants, and buried fittings shall be wrapped with 8 mil thick polyethylene film tube or sheet. The film shall be held in place by and approved adhesive tape, equal to scotchrap no. 50. All fittings and valves requiring wrapping shall be wrapped prior to placing concrete thrust blocking. All valves are to be flanged to the adjacent fittings.
14. Sanitary sewer laterals shall extend into each lot 15' and be marked with a 2" by 4" board with the top 12" painted green.
15. All sewer laterals will be marked with a "S" stamped into the curb above.
16. Culinary water laterals shall extend into each lot 15' and be marked with a 2" by 4" board with the top 12" painted blue.
17. All culinary water laterals will be marked with a "W" on the curb above.
18. Contractor to verify as build sewer laterals for building FF design. Existing sewer lateral to govern.

NOTE: The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.

**MISC CONSTRUCTION NOTES**

THE CONTRACTOR SHALL CAREFULLY READ ALL OF THE NOTES AND SPECIFICATIONS, THE CONTRACTOR SHALL BE SATISFIED AS TO THEIR TRUE MEANING AND INTENT AND SHALL BE RESPONSIBLE FOR COMPLYING WITH EACH.

**GENERAL NOTES**

- 1) THE CONTRACTOR SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING: SATAQUIN CITY STANDARD SPECIFICATIONS, LATEST EDITION, AND ALL AMENDMENTS THERETO UNLESS OTHERWISE STATED.
2) PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL CONTACT SATAQUIN CITY FOR A PRE-CONSTRUCTION CONFERENCE.
3) IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.
4) WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
5) THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR, IT SHALL BE EXPECTED THAT PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.
6) THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES, WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR PECULIAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
7) CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHTS-OF-WAY OR EASEMENTS FROM SATAQUIN CITY AND UDOT CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMENCING THE WORK, OR AS REQUIRED BY SAID PERMITS.
8) THE CONTRACTOR SHALL, AT THE TIME OF BIDDING, AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDIABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
9) CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK.

- 10) THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
11) THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.
12) THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.
13) THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
14) THE CONTRACTOR AGREES THAT:
A. THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.
B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
C. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
D. THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE RIGHTS-OF-WAY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL PAYMENT.
E. THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.
F. UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.
15) THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
16) DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE, WITH A WATER TRUCK.
17) CONSTRUCTION STAKING FOR LIMITS OF DISTURBANCE INCLUDING CONSTRUCTION AND SILT FENCES, GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER, AND ELECTRICITY MAY BE DONE BY AWARDED SURVEYOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF THE NEED FOR STAKING. ANY STAKING REQUESTED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS THAT IS ABOVE AND BEYOND STANDARD STAKING NEEDS, WILL BE SUBJECT TO AN EXTRA WORK BACK CHARGE TO THE CONTRACTOR.
18) FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATOR AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION.
19) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
20) IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
21) WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
22) THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS RECORDED AS A PRECONDITION TO FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

23) WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.

24) BENCHMARK: ELEVATION: 4758.858 DESCRIPTION: NORTHEAST CORN SEC 36, T9S, R1E, S18&M FOUND 3" BRASS CAP

**CLEARING AND GRADING NOTES**

- 1) CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH SATAQUIN CITY STANDARD SPECIFICATIONS AND THE RECOMMENDED EARTHWORK SPECIFICATIONS FOUND IN THE LATEST REPORT OF GEOTECHNICAL INVESTIGATION.
2) THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON A TOPO SURVEY SUPPLIED BY THE OWNER.
3) THE OWNER SHALL PROVIDE A TEMPORARY EROSION CONTROL PLAN AND OBTAIN ALL PERMITS REQUIRED BY SATAQUIN CITY CITY, AND THE STATE OF UTAH FOR TEMPORARY EROSION CONTROL. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ALL TEMPORARY EROSION CONTROL AND MAINTENANCE, AND SHALL PROVIDE EROSION AND SEDIMENT CONTROL FORMS TO THE CITY. FOR ADDITIONAL EROSION CONTROL INFORMATION, SEE "EROSION CONTROL/REVEGETATION PLAN" SHEETS AND REPORTS.
4) SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK. SOIL INVESTIGATIONS WERE CONDUCTED FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH AS PROJECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK, SOIL BEARING VALUES AND PROFILES, SOIL STABILITY, AND THE PRESENCE, LEVEL, AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION

IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.
SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.
THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.
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21) WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
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4) SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK. SOIL INVESTIGATIONS WERE CONDUCTED FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH AS PROJECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK, SOIL BEARING VALUES AND PROFILES, SOIL STABILITY, AND THE PRESENCE, LEVEL, AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION

**DEWATERING NOTES**

- 1) THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND WATER LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN OPERATIONS.
A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.
2) THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED.
3) SUMPS SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SUMPS.
4) THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "BOILS", DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF THE NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATIONS SOILS, PREVENT DISTURBANCE OF COMPACTED BACKFILL, AND PREVENT FLOTTING OR REMOVAL OF STRUCTURAL MATERIALS AND SEWERS. PERMITS ARE REQUIRED FOR DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, IT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.

**UNDERGROUND UTILITIES**

- 1) THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THESE LOCATIONS TO BE EITHER TRUE OR EXACT. PRIOR TO CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO, SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF THE EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION/ELEVATION MUST BE MADE PRIOR TO CONSTRUCTION.
2) PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATED IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-862-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES WHOSE UTILITIES ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
3) THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 - EXCAVATIONS, AND SECTION 69 - TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES. ANY EXCAVATION GREATER THAN 10 FEET IN DEPTH REQUIRES A TRENCH BOX.
4) PRIOR TO OPENING AN EXCAVATION, CONTRACTOR SHALL ENDEAVOR TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS, I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND IF SO, WHERE, SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXACT LOCATION AND APPROXIMATE DEPTH OF ANY UNDERGROUND INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING; AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.
5) IN CASES OF HIGH GROUNDWATER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO USE RUBBER GASKET JOINTS ON ALL PRE CAST PIPES. THE COST FOR RUBBER GASKET JOINTS SHALL BE INCLUDED IN THE UNIT PRICES OF PIPE.
6) THE CONTRACTOR SHALL PROVIDE CLAY DAMS IN UTILITY TRENCHES TO PREVENT CHANNELING OF SUBSURFACE WATER, DURING AND AFTER CONSTRUCTION. CONSTRUCT CLAY DAMS AT THE TOP OF GRADE BREAKS AND AT THE FOLLOWING INTERVALS:
\* TRENCHES WITH SLOPES < 10% = DAMS AT 500' INTERVALS
\* TRENCHES WITH SLOPES > 10% = DAMS AT 100' INTERVALS

7) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS OF SATAQUIN CITY FOR H-20 LOAD REQUIREMENTS.

8) ALL CONSTRUCTION AND MATERIALS FOR THE SEWER MAIN AND LATERALS MUST COMPLY WITH THE SATAQUIN CITY DISTRICT. THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO THE SEWER MAIN.

9) ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF SATAQUIN CITY PUBLIC WORKS DEPARTMENT PERSONNEL ONLY.

10) WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. CONTRACTOR RESPONSIBLE FOR ALL NECESSARY FITTINGS AND THRUST BLOCKS.

11) THE CONTRACTOR SHALL NOTIFY ENGINEER AT LEAST 48 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH THE REGULATORY AGENCY STANDARD SPECIFICATIONS.

12) ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER AND STREET PAVING.

**SURFACE IMPROVEMENTS:**

- 1) SUB GRADE PREPARATION: EARTHWORK FOR ROADWAY SECTIONS SHOULD BE CONDUCTED PER THE LATEST GEOTECH REPORT. ONCE ROADWAY EXCAVATION STARTS, THE SUB GRADE SHOULD BE SCARIFIED AND RECOMPACTED AT THE PROPER MOISTURE CONTENT TO 98 PERCENT RELATIVE DENSITY (STANDARD PROCTOR ASTM D-1557). THE NATIVE SUB GRADE SHOULD BE FIRM AND NON-YIELDING PRIOR TO SUB BASE PLACEMENT. EVERY EFFORT SHOULD BE MADE TO AVOID EXPOSING NATIVE SUB-GRADES TO EXCESS MOISTURE.
2) ALL MANHOLE RIMS, VALVES AND MONUMENT BOXES, ETC. SHALL BE ADJUSTED TO FINISH GRADE AFTER STREET PAVING, UNLESS OTHERWISE NOTED. ON PAVED AREAS, PROVIDE A 1 FOOT BY 1 FOOT CONCRETE COLLAR SET TO CONCRETE COLLAR 1/8 INCH LOWER THAN FINISH GRADE AT OUTER EDGE. PROVIDE CONCRETE COLLAR FOR ALL VALVES AND MONUMENTS PER SATAQUIN CITY STANDARD SPECIFICATIONS. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR SAID FACILITIES.
3) PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON THE PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THESE SPECIFICATIONS, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK.
4) INSTALLATION OF STREET LIGHTS SHALL BE IN ACCORDANCE WITH SATAQUIN CITY DEVELOPMENT GUIDELINES.
5) PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS BUILT TO THESE PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, CITY OF SATAQUIN, AND POWER CO. TO HAVE THE ELECTRICAL SYSTEM AND ALL STREET LIGHTS ENERGIZED.
6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.
7) STRIPING AND PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH UPW SECTIONS 01570 AND 02580.

Table with 4 columns: NO., DESCRIPTION, DATE, APPD.

Table with 4 columns: ORIG. DATE: 2-8-21, SURVEY BY: GFW, DRAWN BY: GFW, DESIGNED BY: GFW, CHECKED BY: GFW, SCALE: N/A

GATEWAY CONSULTING, Inc. P.O. BOX 951005 SOUTH JORDAN, UT 84095 PH: (801) 694-5848 paul@gatewayconsultingllc.com CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING CONSTRUCTION MANAGEMENT

STRATTON ACRES PHASE 1 PROJECT NOTES AND CONTACT INFORMATION 7-20-2022 (PLOT DATE)

SANTAQUIN CITY



SHEET NO. 1A

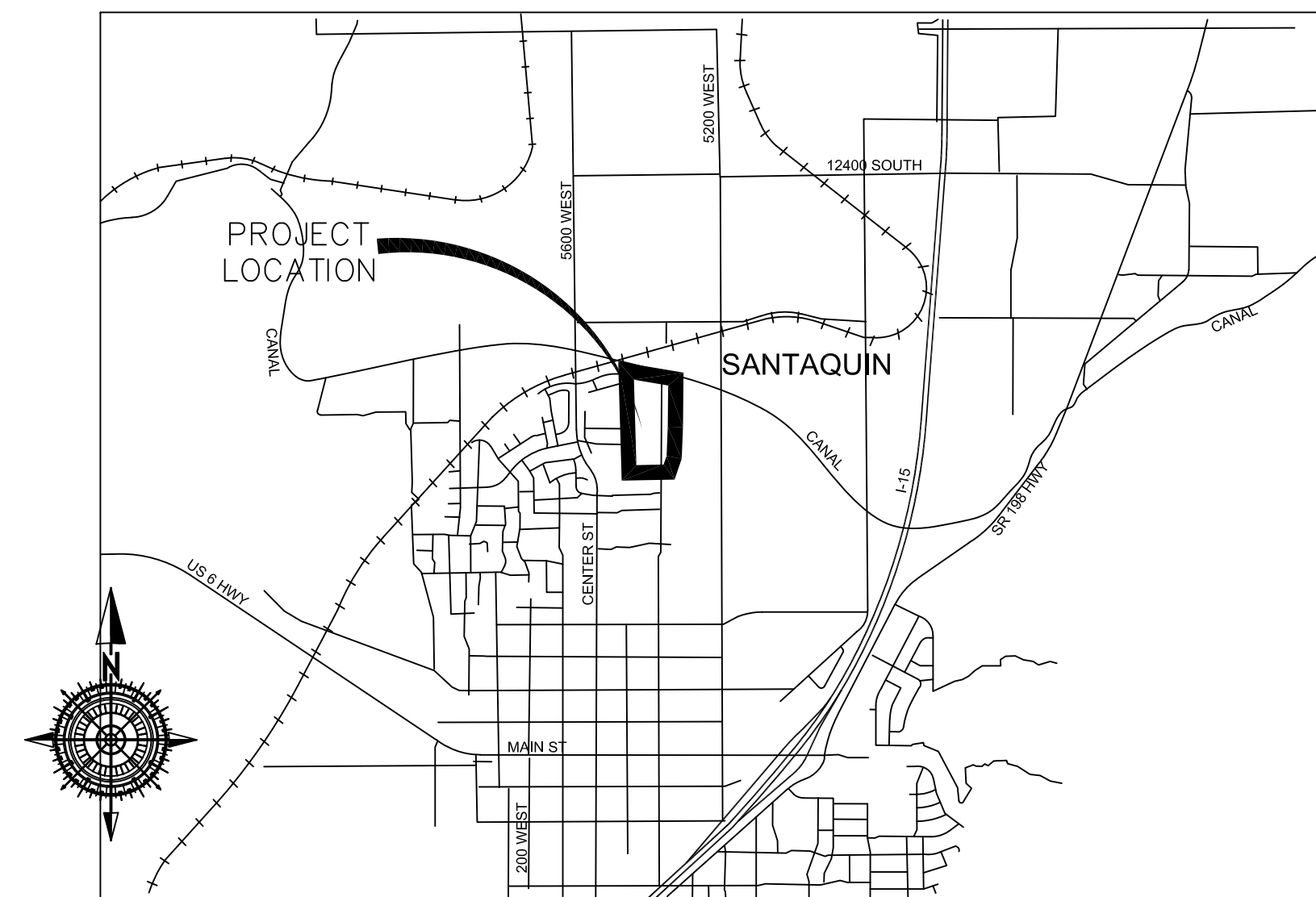
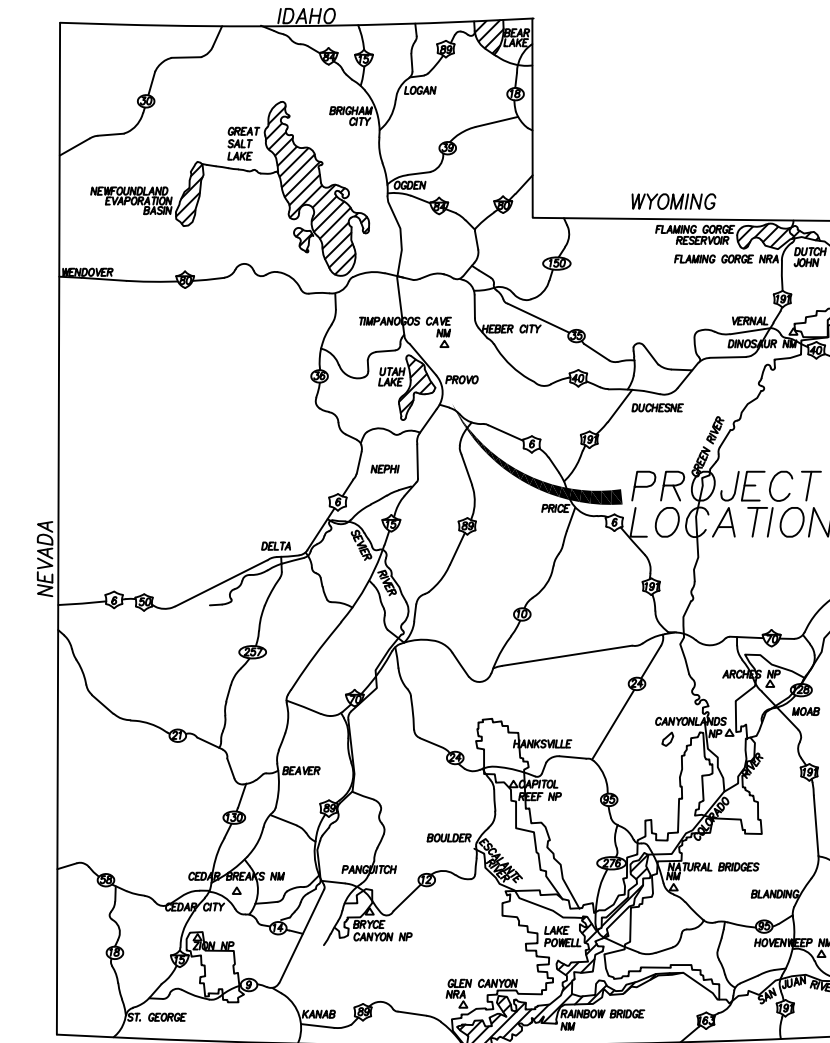




# STRATTON ACRES SUBDIVISION PHASE 1

PROJECT LOCATED IN THE SOUTH HALF OF THE NORTHWEST CORNER  
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN  
SANTAQUIN CITY, UTAH COUNTY, UTAH

## FINAL PLAT



### SURVEYOR'S CERTIFICATE

I, \_\_\_\_\_ DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH PEPG CONSULTING, LLC AND THAT I HOLD LICENSE NO. 9679988 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT. AND THE PLAT IS STRATTON ACRES SUBDIVISION PHASE 1, SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

### BOUNDARY DESCRIPTION

Beginning at the southeast corner of Lot 209 of The Orchards Plat G-1, Entry Number 102759:2019, Map Number 16746; said point being North 89°32'33" East, along the section line, 1146.15 feet and North 317.94 feet from the East Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; said East Quarter Corner of Section 36 being South 89°32'33" West, along the section line, 5292.30 feet from the East Quarter Corner of said Section 36; and running thence along the easterly boundary line of said The Orchards Plat G-1 the following two (2) calls; thence North 01°38'35" E, 595.10 feet; thence North 00°13'13" West, 139.06 feet to a point at the southeast corner of the Apple Hollow at The Orchards Plat A-11, Entry Number 12754:2019, Map Number 16860; thence North 00°13'13" West, along the easterly boundary line of said Apple Hollow at The Orchards Plat A-11, 258.32 feet; thence East, 411.19 feet; thence South 00°27'27" East, 409.77 feet; thence South 89°32'33" West, 16.49 feet; thence South 00°27'27" East, 896.96 feet to a point the quarter section line; thence South 89°32'33" West, along said quarter section line, 429.81 feet, thence North 01°38'35" East, 318.15 feet to the point of beginning.

Contains: 12.40 Acres

DATE: \_\_\_\_\_

### OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_\_

STRATTON ACRES LLC  
KAMERON SPENCER (MANAGER)

### NOTES:

- TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
- NDQBU - NEIGHBORHOOD DELIVERY BOX UNIT.
- ALL FRONT AND SIDE YARD LANDSCAPING MUST BE BONDED OR INSTALLED PRIOR TO RECEIVING CERTIFICATE OF OCCUPANCY.
- ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
- THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

### ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.  
2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(i) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:  
a. A RECORDED EASEMENT OR RIGHT-OF-WAY  
b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS  
c. TITLE 54, CHAPTER 86, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR  
d. ANY OTHER PROVISION OF LAW

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

ROCKY MOUNTAIN POWER

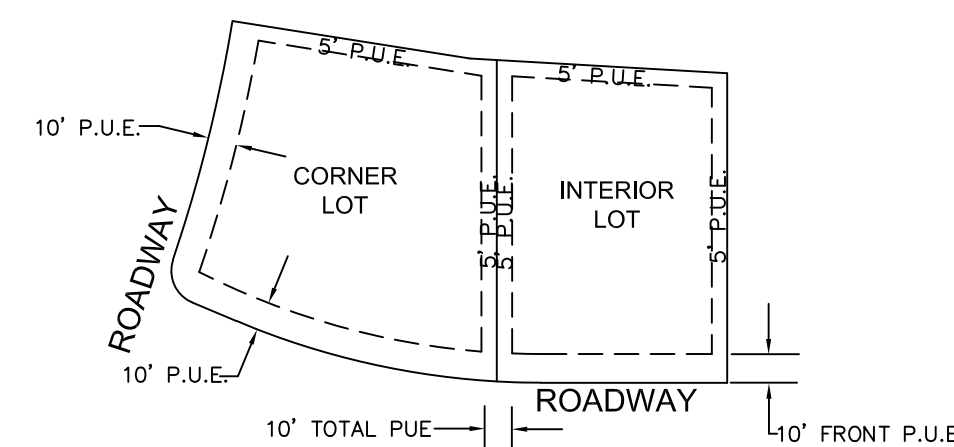
### DOMINION ENERGY QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-368-8532.  
Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

QUESTAR GAS COMPANY

By: \_\_\_\_\_  
Title: \_\_\_\_\_

### TYPICAL LOT P.U.E. DETAILS



INTERIOR AND CORNER LOTS  
UNLESS OTHERWISE NOTED ON PLAT

- NOTES:  
1) 10 FEET PUE FRONT AND STREET SIDES.  
2) 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES.

NOT TO SCALE

### SCHOOL BOARD ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF \_\_\_\_\_ S.S.  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ FOR AND IN BEHALF OF \_\_\_\_\_ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC RESIDING IN \_\_\_\_\_ COUNTY

### LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF \_\_\_\_\_ S.S.  
On the \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_\_, personally appeared before me, the undersigned Notary Public, in and for said County of \_\_\_\_\_ in said State of Utah, \_\_\_\_\_ who after being duly sworn acknowledged to me that \_\_\_\_\_ a Limited Liability Company ( ), that He signed the owners dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC RESIDING IN \_\_\_\_\_ COUNTY

### UTAH COUNTY RECORDER

NO. \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ DATE \_\_\_\_\_ STATE OF UTAH, COUNTY OF WASATCH, TIME \_\_\_\_\_, FEE \_\_\_\_\_ RECORDED AND FILED AT THE REQUEST OF \_\_\_\_\_

COUNTY RECORDER

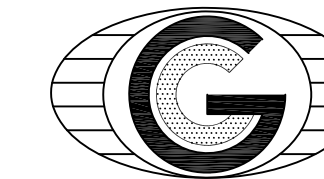
SURVEYOR OF RECORD:

**CMT TECHNICAL SERVICES**

9270 SOUTH 300 WEST • SANDY, UT 84070  
PHONE: (801) 562-2521 • FAX: (801) 562-2551

MATERIALS TESTING • INSPECTION SERVICES • LAB TESTING • GEOTECHNICAL  
ENVIRONMENTAL • CIVIL ENGINEERING • TRANSPORTATION ENGINEERING  
SURVEYING • CONSTRUCTION MANAGEMENT • SPECIALTY LAB

PROJECT ENGINEER:



**GATEWAY CONSULTING, inc**

P.O. BOX 951005 SOUTH JORDAN, UT 84095

PH: (801) 694-5848

paul@gatewayconsultingllc.com

### LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF \_\_\_\_\_ S.S.  
On the \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_\_, personally appeared before me, the undersigned Notary Public, in and for said County of \_\_\_\_\_ in said State of Utah, \_\_\_\_\_ who after being duly sworn acknowledged to me that \_\_\_\_\_ a Limited Liability Company ( ), that He signed the owners dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC RESIDING IN \_\_\_\_\_ COUNTY

COUNTY RECORDER SEAL

CITY CLERK SEAL

SURVEYORS SEAL

CITY ENGINEER SEAL

SHEET NO

1  
2

### CENTRACOM ACCEPTANCE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_\_ CENTRACOM COMPANY

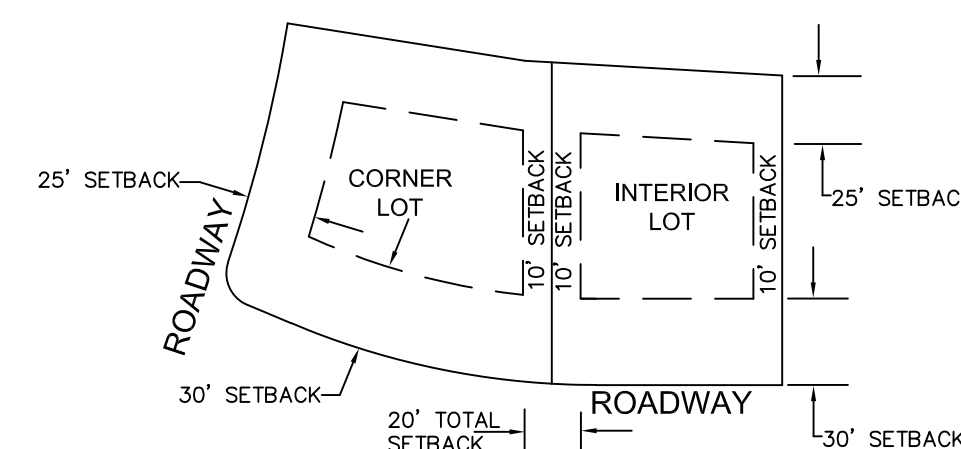
BY: \_\_\_\_\_ TITLE \_\_\_\_\_

### CENTURY LINK ACCEPTANCE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_\_ CENTURY LINK COMPANY

BY: \_\_\_\_\_ TITLE \_\_\_\_\_

### TYPICAL LOT SETBACK DETAILS



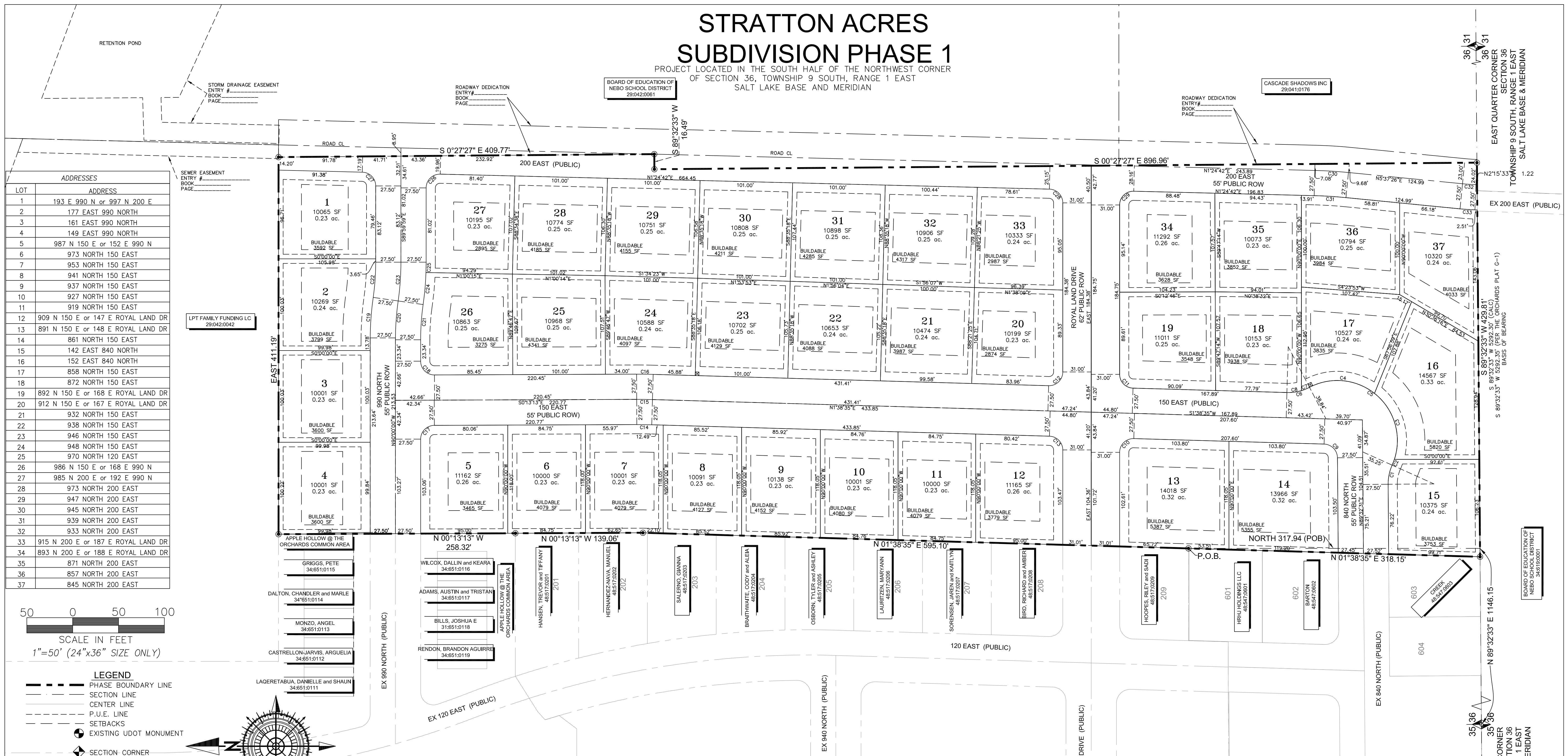
INTERIOR AND CORNER LOTS  
UNLESS OTHERWISE NOTED ON PLAT

- NOTES:  
1) 30FT FRONT SETBACK  
2) 25FT REAR SETBACK  
3) 10FT SIDE LOT SETBACK

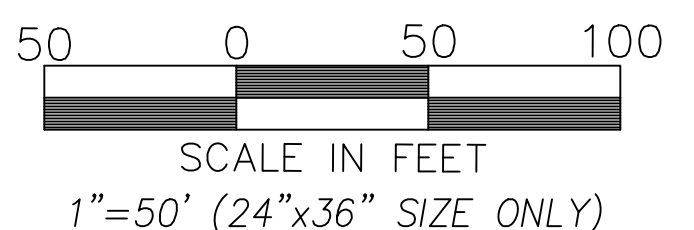
NOT TO SCALE

# STRATTON ACRES SUBDIVISION PHASE 1

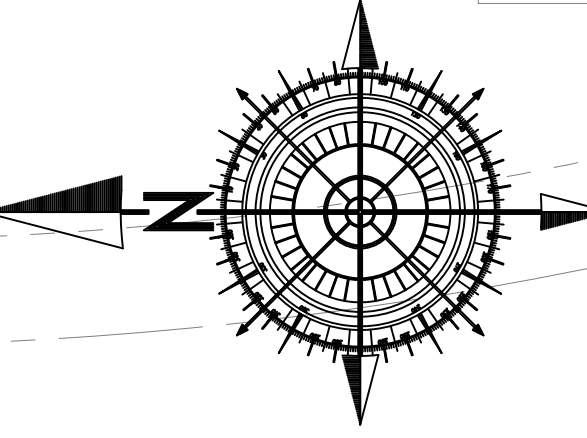
PROJECT LOCATED IN THE SOUTH HALF OF THE NORTHWEST CORNER  
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN



LOT	ADDRESS
1	193 E 990 N or 997 N 200 E
2	177 EAST 990 NORTH
3	161 EAST 990 NORTH
4	149 EAST 990 NORTH
5	987 N 150 E or 152 E 990 N
6	973 NORTH 150 EAST
7	953 NORTH 150 EAST
8	941 NORTH 150 EAST
9	937 NORTH 150 EAST
10	927 NORTH 150 EAST
11	919 NORTH 150 EAST
12	909 N 150 E or 147 E ROYAL LAND DR
13	891 N 150 E or 148 E ROYAL LAND DR
14	861 NORTH 150 EAST
15	142 EAST 840 NORTH
16	152 EAST 840 NORTH
17	858 NORTH 150 EAST
18	872 NORTH 150 EAST
19	892 N 150 E or 168 E ROYAL LAND DR
20	912 N 150 E or 167 E ROYAL LAND DR
21	932 NORTH 150 EAST
22	938 NORTH 150 EAST
23	946 NORTH 150 EAST
24	948 NORTH 150 EAST
25	970 NORTH 120 EAST
26	986 N 150 E or 168 E 990 N
27	985 N 200 E or 192 E 990 N
28	973 NORTH 200 EAST
29	947 NORTH 200 EAST
30	945 NORTH 200 EAST
31	939 NORTH 200 EAST
32	933 NORTH 200 EAST
33	915 N 200 E or 187 E ROYAL LAND DR
34	893 N 200 E or 188 E ROYAL LAND DR
35	871 NORTH 200 EAST
36	857 NORTH 200 EAST
37	845 NORTH 200 EAST



- LEGEND**
- PHASE BOUNDARY LINE
  - SECTION LINE
  - CENTER LINE
  - P.U.E. LINE
  - SETBACKS
  - EXISTING UDOT MONUMENT
  - ◆ SECTION CORNER
  - BOUNDARY CORNER
  - EXISTING REBAR AND CAP
  - ☒ NBDCU MAIL BOX



CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	21.48'	50.00'	21.32'	N78°08'53"W	24°37'12"
C2	6.75'	65.50'	6.74'	N68°47'18"W	5°54'01"
C3	80.07'	65.50'	75.18'	S73°14'28"W	70°02'26"
C4	75.27'	65.50'	71.19'	S5°18'04"W	65°50'23"
C5	162.13'	65.56'	123.86'	N43°15'30"E	141°40'59"
C6	16.05'	50.00'	15.98'	S7°33'08"E	18°23'26"
C7	9.49'	50.00'	9.47'	S22°10'59"E	10°52'16"
C8	16.05'	50.00'	15.98'	S7°33'08"E	18°23'26"
C9	23.13'	15.00'	20.91'	S45°49'26"W	88°21'41"
C10	23.99'	15.00'	21.52'	N44°10'42"W	91°38'35"
C11	23.13'	15.00'	20.91'	S45°49'18"W	88°21'25"
C12	23.99'	15.00'	21.52'	S44°10'42"E	91°38'35"
C13	23.13'	15.00'	20.91'	N45°49'18"E	88°21'25"
C14	16.29'	501.00'	16.29'	N0°42'41"E	1°51'48"
C15	17.19'	528.50'	17.19'	N0°42'41"E	1°51'48"
C16	18.08'	556.00'	18.08'	S0°42'41"W	1°51'48"
C17	23.50'	15.00'	21.17'	N45°06'37"W	89°46'47"

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C18	23.62'	15.00'	21.25'	S44°53'23"W	90°13'13"
C19	44.32'	327.50'	44.28'	S85°45'33"E	7°45'11"
C20	42.46'	300.00'	42.42'	N85°56'43"W	8°06'33"
C21	38.57'	272.50'	38.54'	N85°56'43"W	8°06'33"
C22	38.57'	272.50'	38.53'	S85°56'43"E	8°06'32"
C23	42.46'	300.00'	42.42'	S85°56'43"E	8°06'32"
C24	35.03'	327.50'	35.01'	N84°56'53"W	6°07'41"
C25	11.32'	327.50'	11.32'	N89°00'46"W	1°58'51"
C26	23.93'	15.00'	21.47'	N44°17'38"W	91°24'40"
C27	23.19'	15.00'	20.95'	N45°42'21"E	88°35'18"
C28	23.19'	15.00'	20.95'	N45°42'21"E	88°35'18"
C29	23.93'	15.00'	21.47'	N44°17'39"W	91°24'42"
C30	36.76'	500.00'	36.75'	N3°31'04"E	4°12'44"
C31	34.74'	472.50'	34.73'	N3°31'04"E	4°12'44"
C32	14.68'	250.00'	14.68'	S3°56'30"W	3°21'53"
C33	16.35'	277.50'	16.34'	N3°56'11"E	3°22'30"

SURVEYOR OF RECORD:

**CMT TECHNICAL SERVICES**

9270 SOUTH 300 WEST • SANDY, UT 84070  
PHONE: (801) 562-2521 • FAX: (801) 562-2551

MATERIALS TESTING • INSPECTION SERVICES • LAB TESTING • GEOTECHNICAL  
ENVIRONMENTAL • CIVIL ENGINEERING • TRANSPORTATION ENGINEERING  
SURVEYING • CONSTRUCTION MANAGEMENT • SPECIALTY LAB

PROJECT ENGINEER:

**GATEWAY CONSULTING, inc**

P.O. BOX 951005 SOUTH JORDAN, UT 84095  
PH: (801) 694-5848  
paul@gatewayconsultingllc.com

UTAH COUNTY RECORDER

NO. \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ DATE \_\_\_\_\_  
STATE OF UTAH, COUNTY OF WASATCH, TIME \_\_\_\_\_, FEE \_\_\_\_\_  
RECORDED AND FILED AT THE REQUEST OF \_\_\_\_\_

COUNTY RECORDER SEAL

SHEET NO  
**2**  
**2**

EX FARMLAND

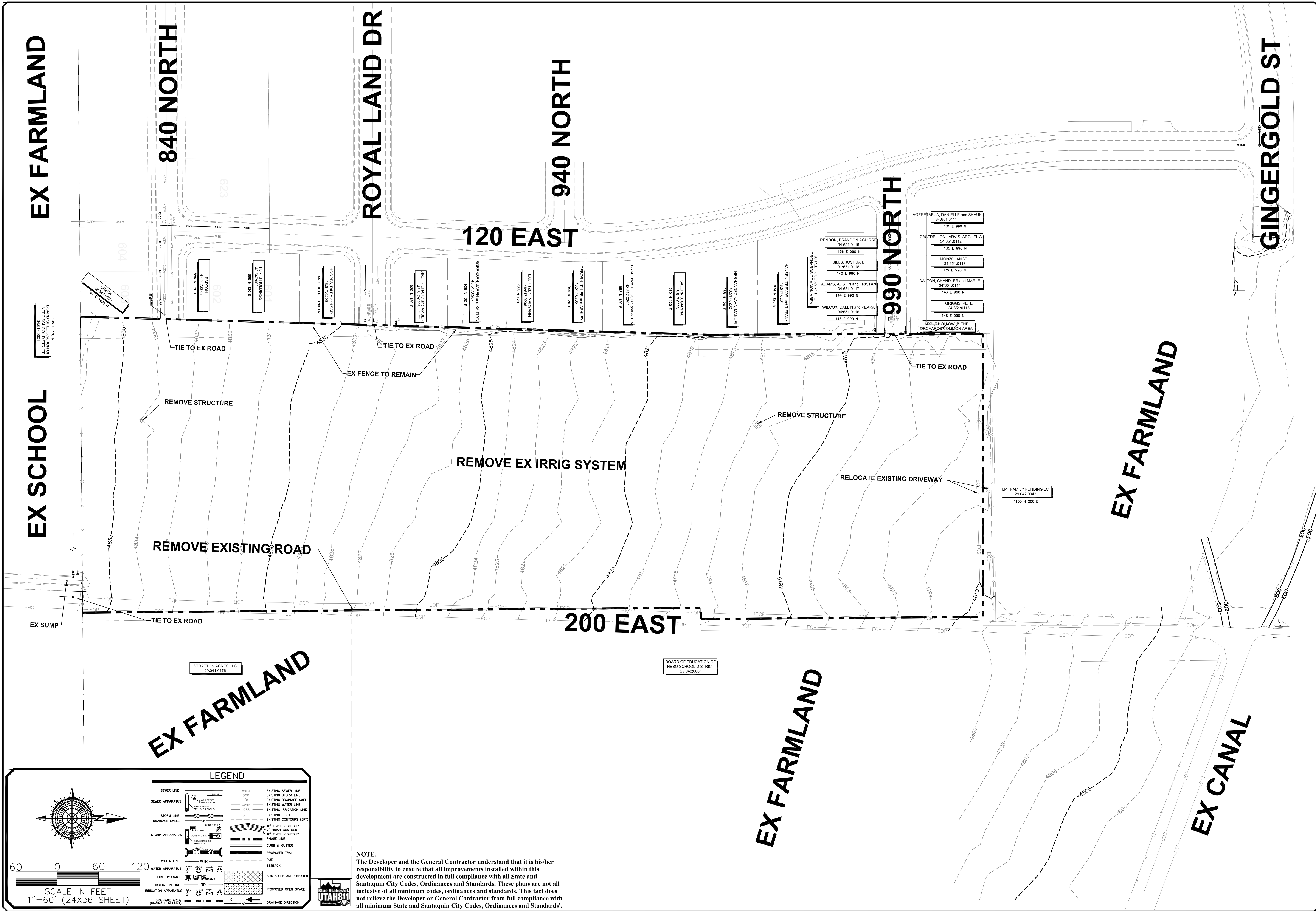
EX SCHOOL

EX FARMLAND

EX FARMLAND

EX FARMLAND

EX CANAL



**LEGEND**

	SEWER LINE		EXISTING SEWER LINE
	SEWER APPARATUS		EXISTING STORM LINE
	STORM LINE		EXISTING DRAINAGE SHELL
	DRAINAGE SHELL		EXISTING WATER LINE
	STORM APPARATUS		EXISTING IRRIGATION LINE
	WATER LINE		EXISTING FENCE
	WATER APPARATUS		EXISTING CONTOURS (2FT)
	FIRE HYDRANT		10' FINISH CONTOUR
	IRRIGATION LINE		2' FINISH CONTOUR
	IRRIGATION APPARATUS		PHASE LINE
	DRAINAGE SHELL		CURB & GUTTER
	PROPOSED TRAIL		PROPOSED OPEN SPACE
	FIRE HYDRANT		DRAINAGE DIRECTION
	FIRE HYDRANT		FIRE HYDRANT
	FIRE HYDRANT		FIRE HYDRANT

**NOTE:**  
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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21  
 SURVEY BY: OPW  
 DRAWN BY: OPW  
 DESIGNED BY: OPW  
 CHECKED BY: OPW  
 SCALE: 1"=60'

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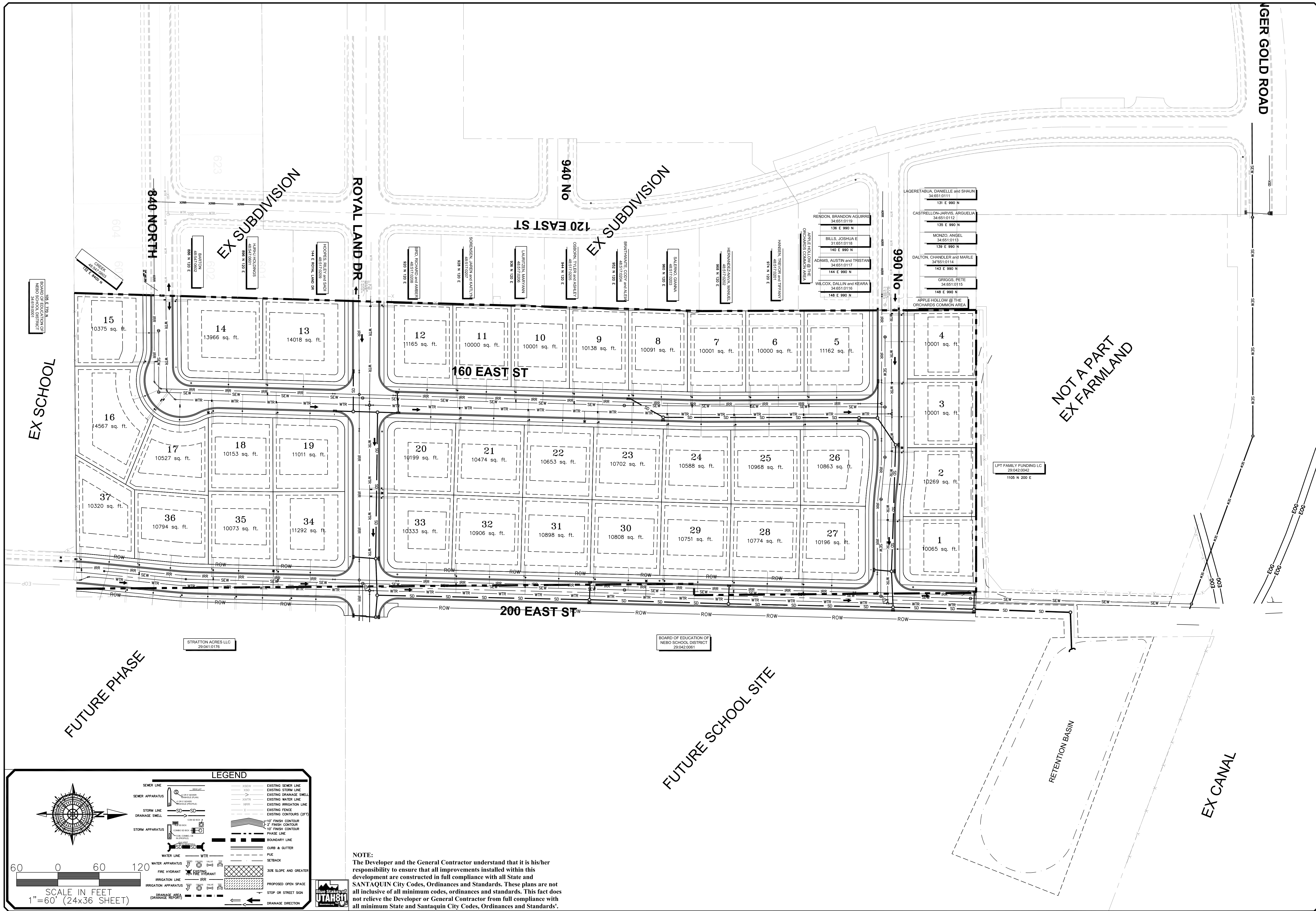
CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
 CONSTRUCTION MANAGEMENT

STRATTON ACRES  
 PHASE 1  
 EXISTING CONDITIONS  
 AND DEMOLITION SHEET  
 7-20-2022

SANTAQUIN CITY



SHEET NO. 2



NO.	DESCRIPTION	DATE	APP'D

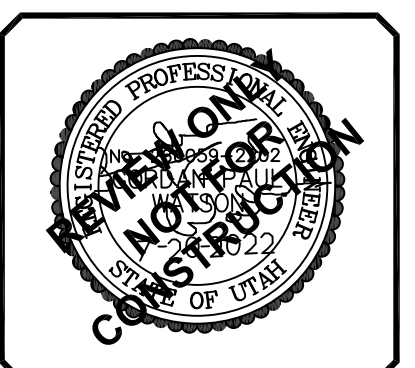
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 CONSTRUCTION MANAGEMENT

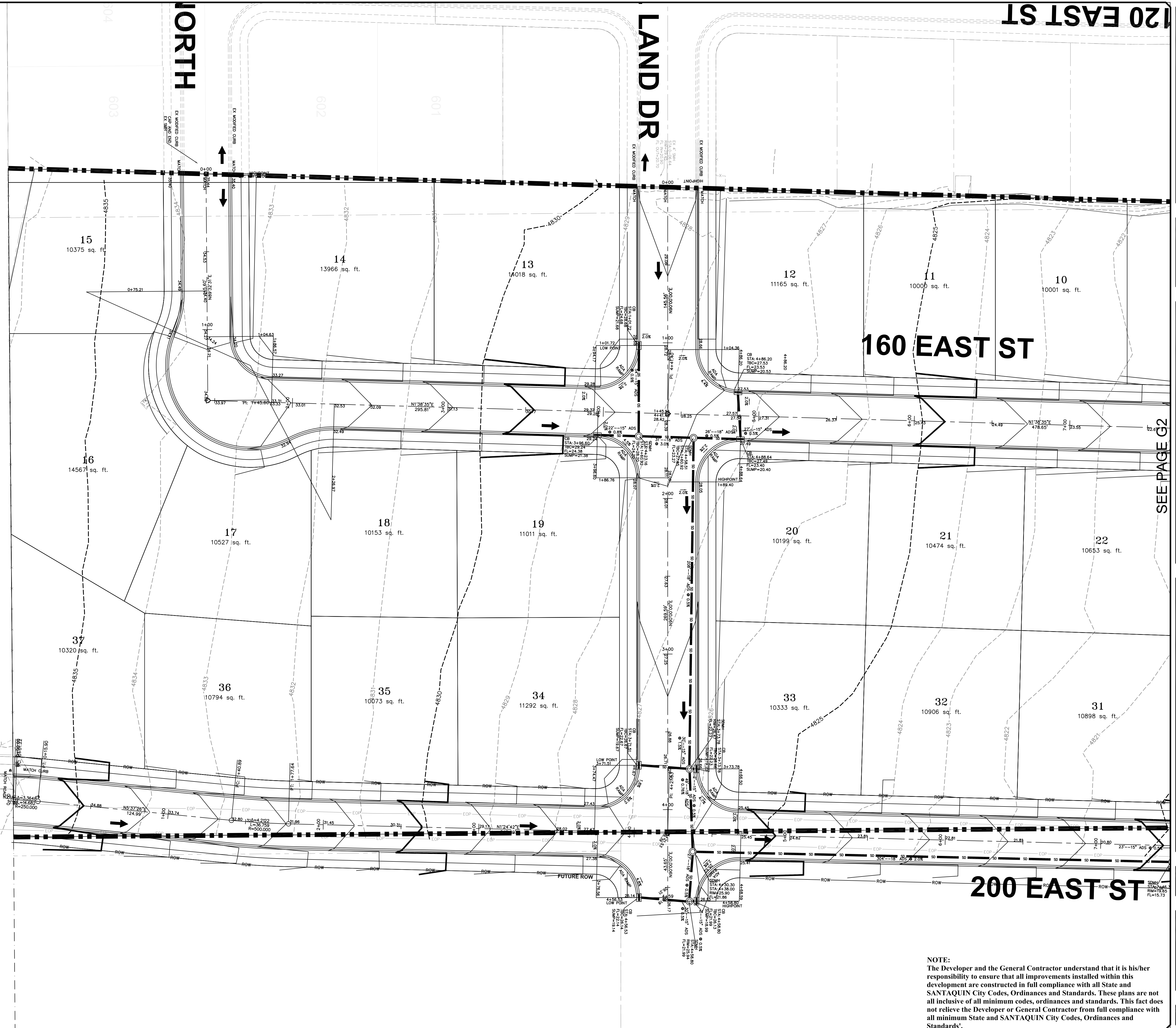
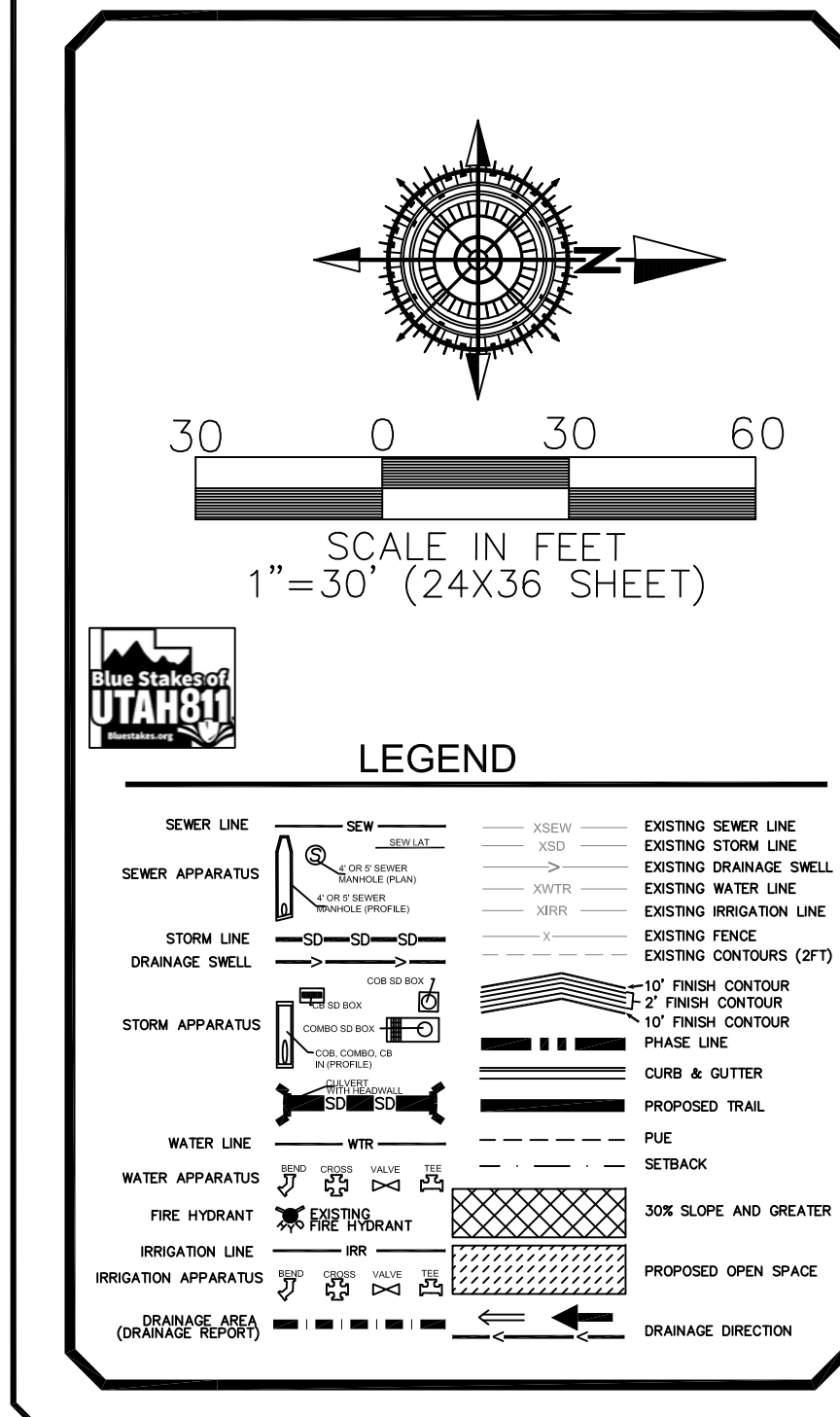
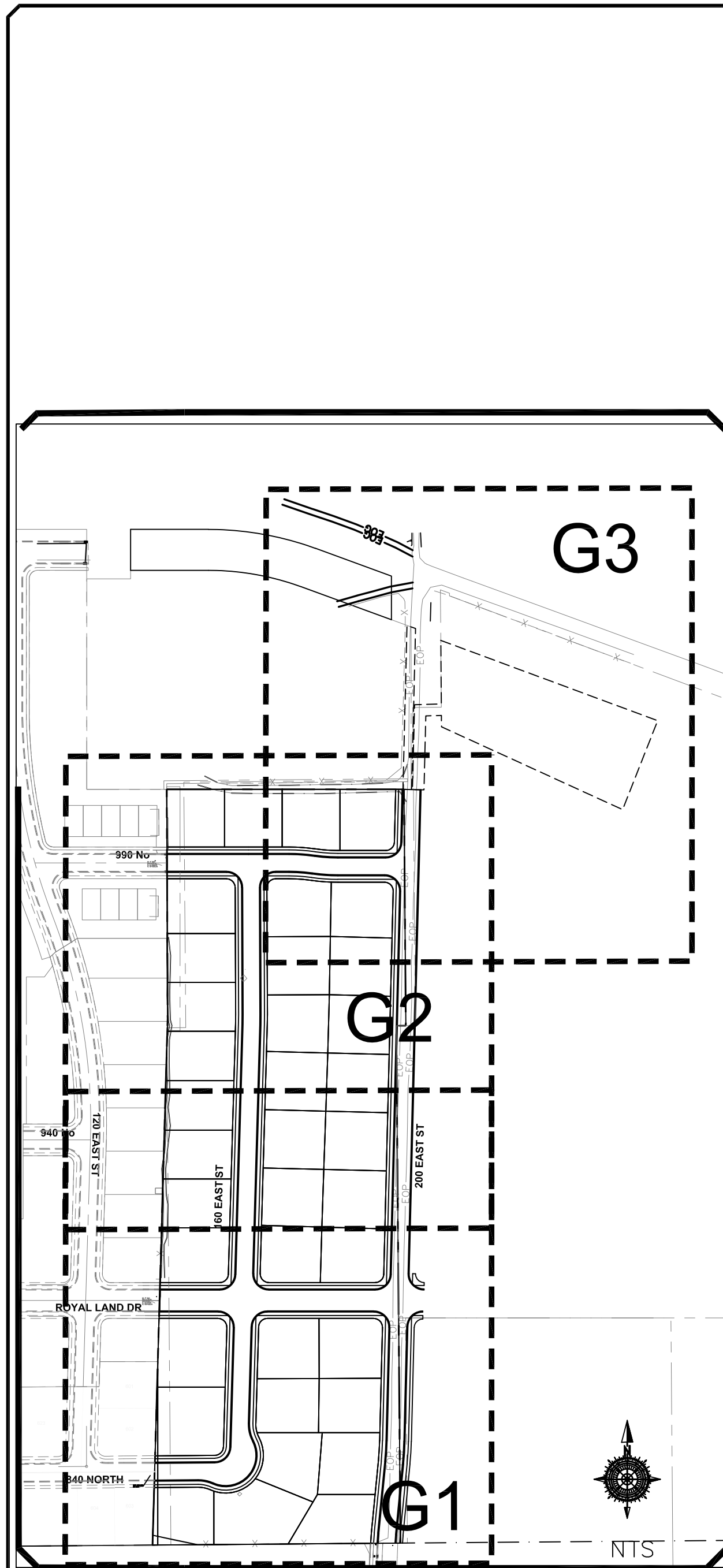
**STRATTON ACRES PHASE 1**  
 SITE PLAN  
 7-20-2022

SANTAQUIN CITY



SHEET NO. 3





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 DRAWN BY: OPW  
 DESIGNED BY: OPW  
 CHECKED BY: OPW  
 SCALE: 1"=30'

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 CONSTRUCTION MANAGEMENT

**STRATTON ACRES**  
**PHASE 1**  
**GRADING**

7-20-2022

SANTAQUIN CITY

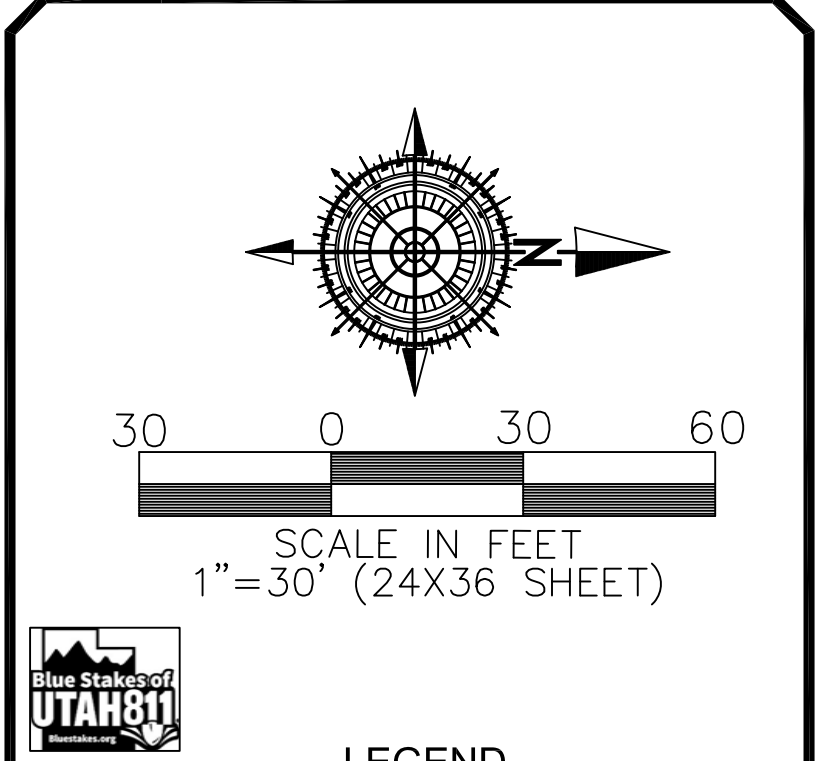
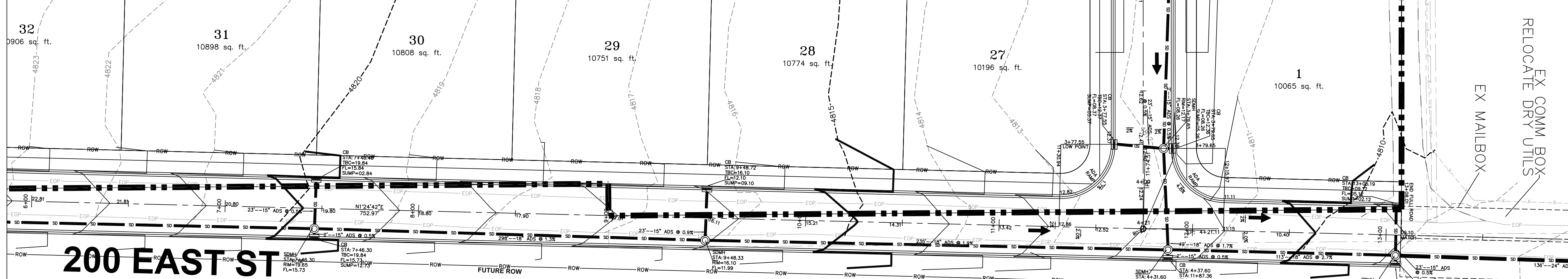
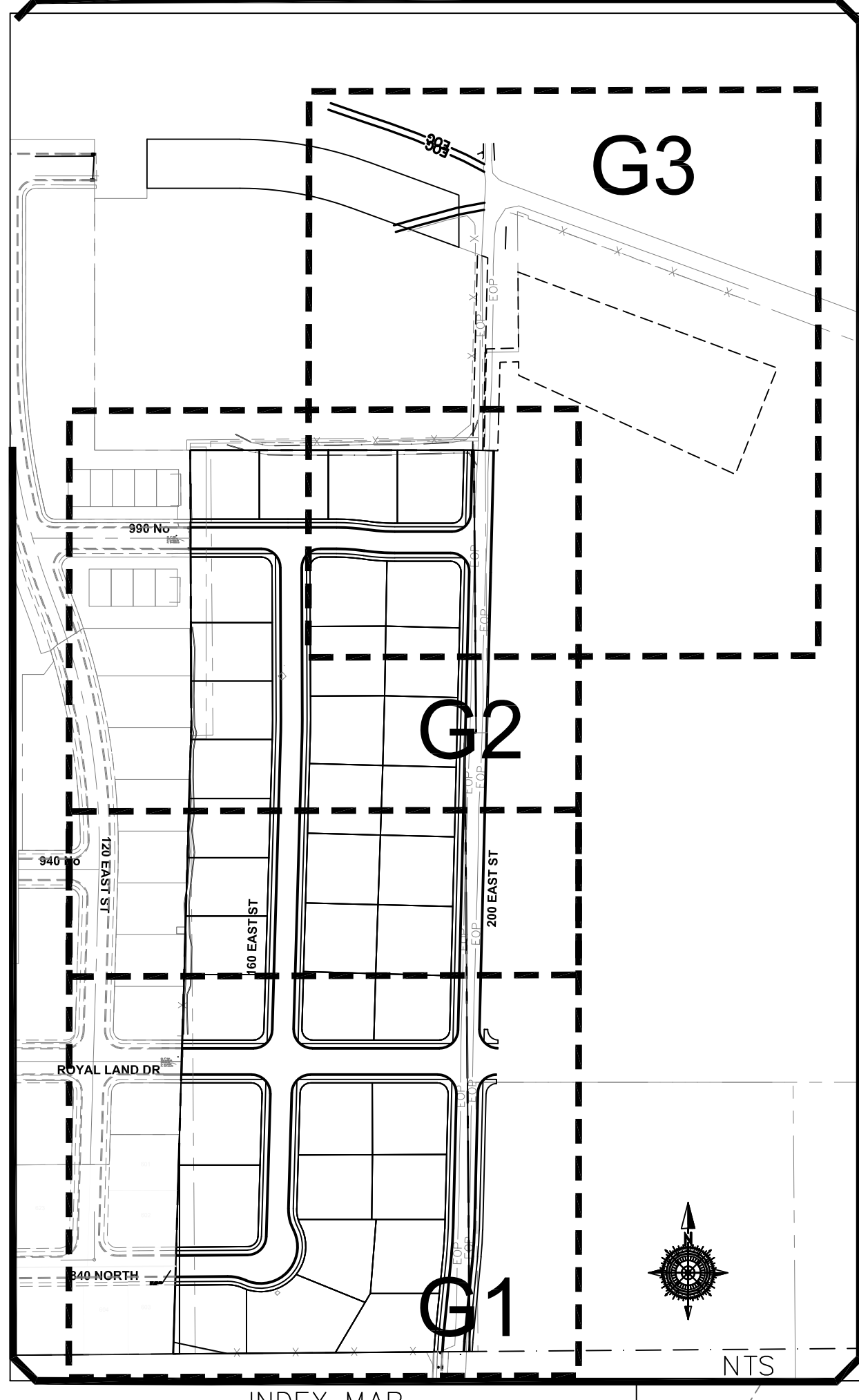


SHEET NO. **G1**

120 EAST ST

SEE PAGE G1

ON 066



**LEGEND**

	SEWER LINE		EXISTING SEWER LINE
	SEWER APPARATUS		EXISTING STORM LINE
	STORM LINE		EXISTING DRAINAGE SHELL
	DRAINAGE SHELL		EXISTING WATER LINE
	STORM APPARATUS		EXISTING IRRIGATION LINE
	WATER LINE		EXISTING FENCE
	WATER APPARATUS		EXISTING CONTOURS (PT)
	FIRE HYDRANT		10' FINISH CONTOUR
	IRRIGATION LINE		7' FINISH CONTOUR
	IRRIGATION APPARATUS		10' FINISH CONTOUR
	DRAINAGE AREA (DRAINAGE REPORT)		PHASE LINE
			CURB & GUTTER
			PROPOSED TRAIL
			PUE
			SETBACK
			SOIL SLOPE AND GREATER
			PROPOSED OPEN SPACE
			DRAINAGE DIRECTION

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 CONSTRUCTION MANAGEMENT

STRATTON ACRES  
 PHASE 1  
 GRADING

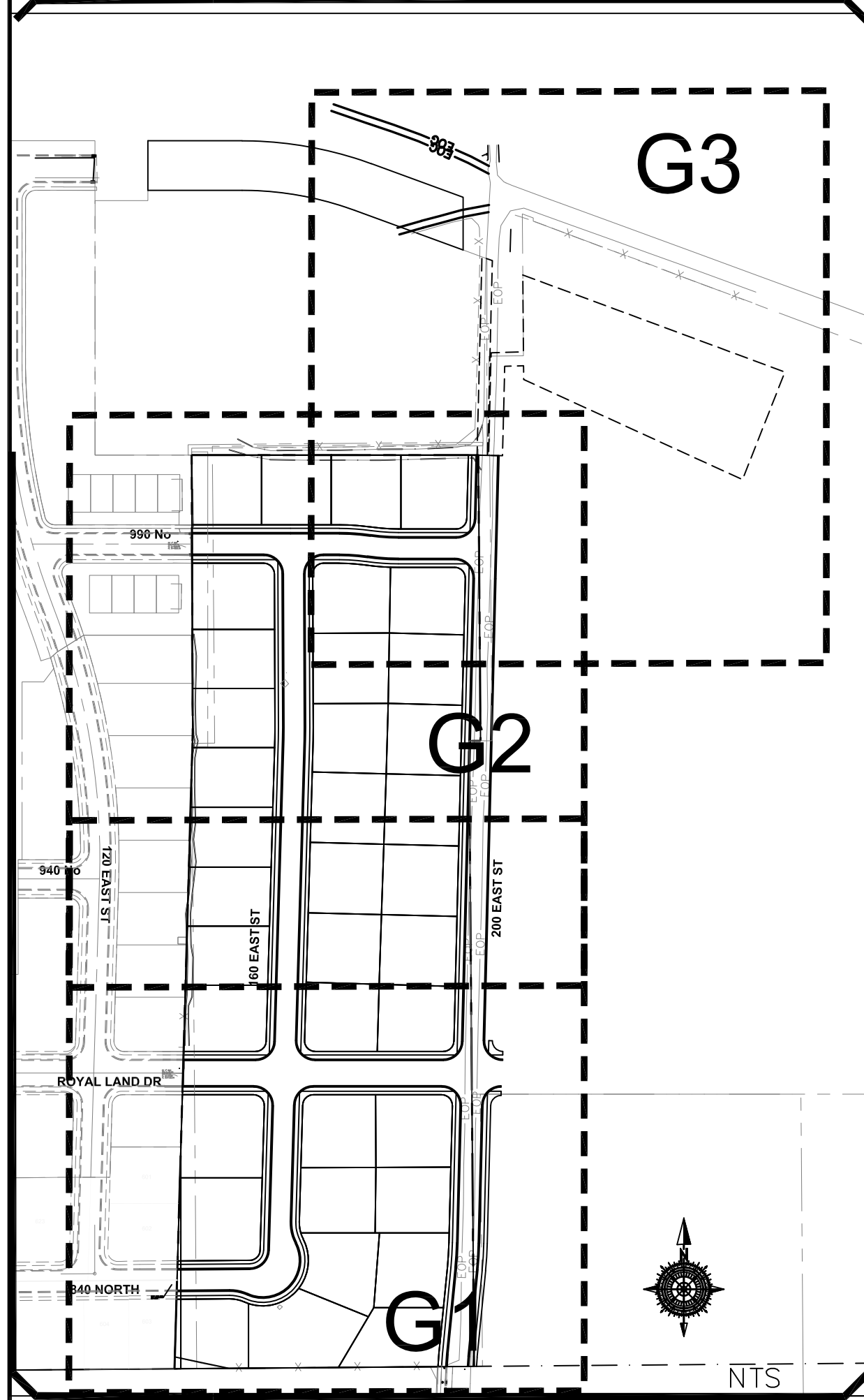
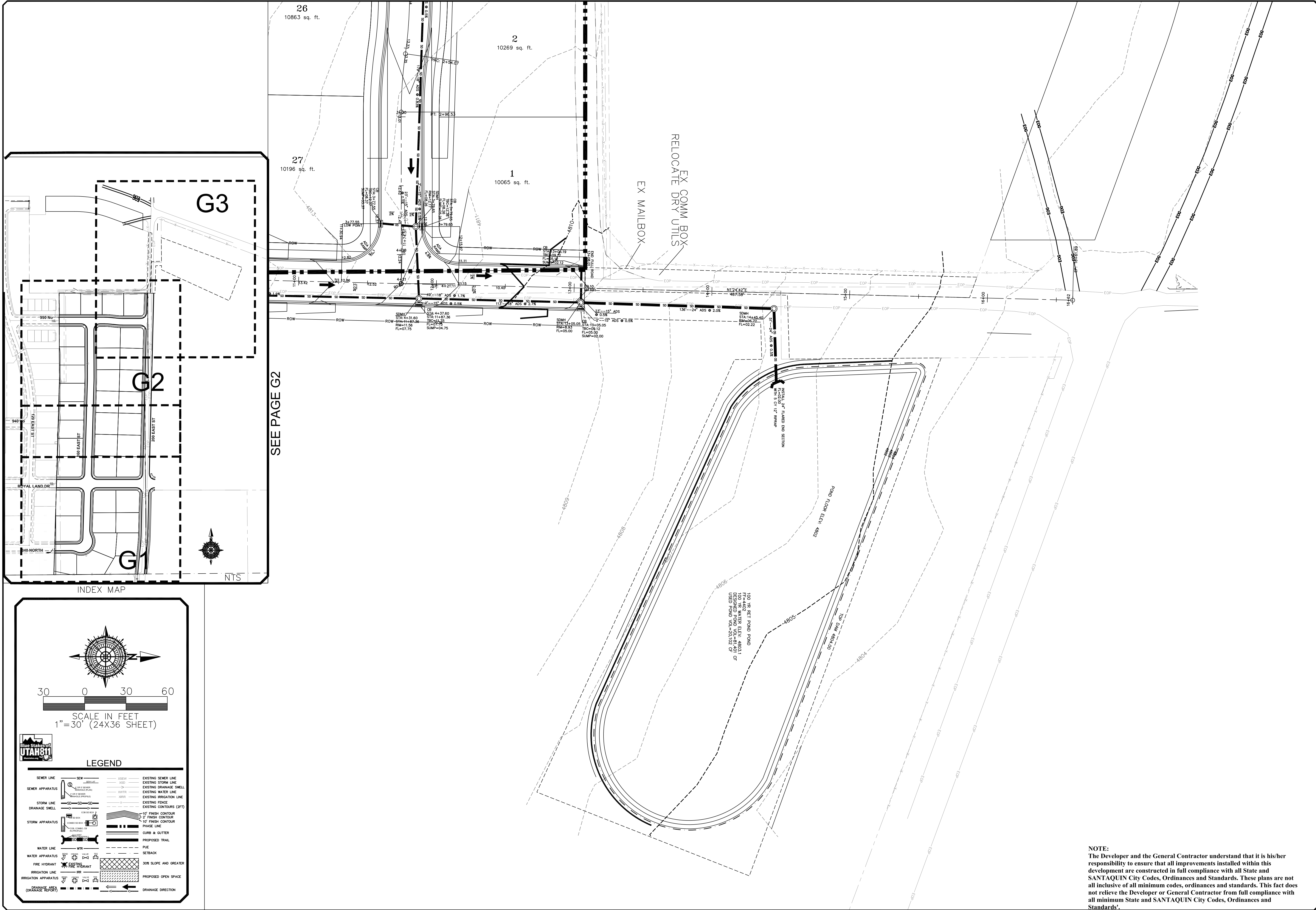
7-20-2022

SANTAQUIN CITY

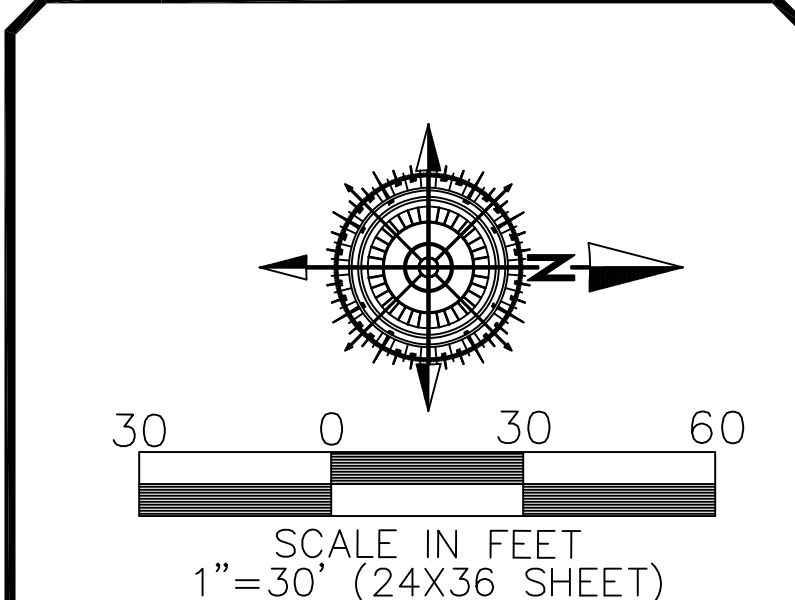


SHEET NO. G2

SEE PAGE G3



SEE PAGE G2



**LEGEND**

SEWER LINE	SEW	EXISTING SEWER LINE	-----
SEWER APPARATUS	SEW	EXISTING STORM LINE	-----
STORM LINE	STW	EXISTING DRAINAGE SHELL	-----
DRAINAGE SHELL	STW	EXISTING WATER LINE	-----
STORM APPARATUS	STW	EXISTING IRRIGATION LINE	-----
WATER LINE	WTR	EXISTING FENCE	-----
WATER APPARATUS	WTR	EXISTING CONTOURS (PT)	-----
FIRE HYDRANT	FHY	10' FINISH CONTOUR	-----
IRRIGATION LINE	IRR	7' FINISH CONTOUR	-----
IRRIGATION APPARATUS	IRR	10' FINISH CONTOUR	-----
DRAINAGE AREA (DRAINAGE REPORT)	DA	PROPOSED TRAIL	-----
		PUE	-----
		SETBACK	-----
		30% SLOPE AND GREATER	-----
		PROPOSED OPEN SPACE	-----
		DRAINAGE DIRECTION	-----

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 CONSTRUCTION MANAGEMENT

**STRATTON ACRES  
 PHASE 1**

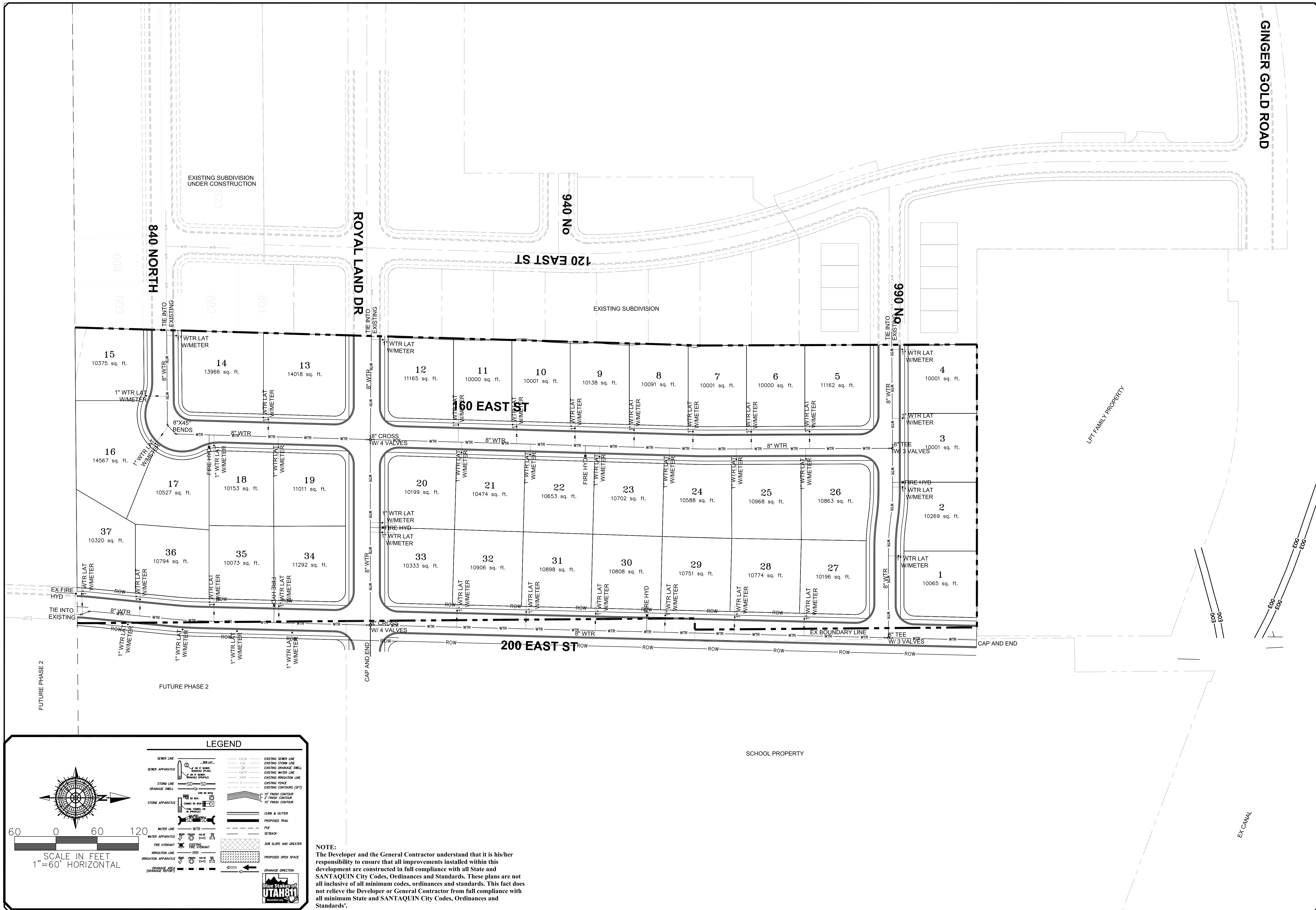
GRADING

7-20-2022

SANTAQUIN CITY



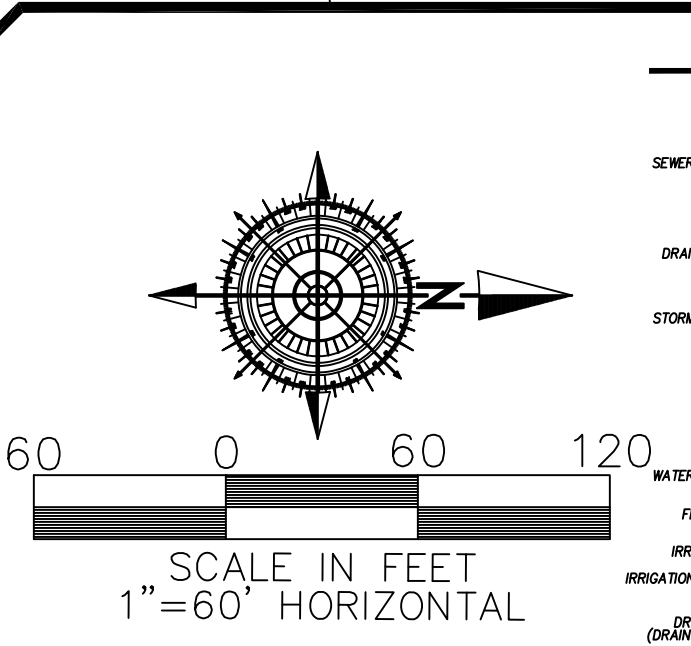
SHEET NO. **G3**



**LEGEND**

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SHELL
STORM APPARATUS	EXISTING WATER LINE
WATER LINE	EXISTING IRRIGATION LINE
WATER APPARATUS	EXISTING FENCE
FIRE HYDRANT	EXISTING CONTOURS (DT)
IRRIGATION APPARATUS	1" FINISH CONTOUR
DRAINAGE DIRECTION	2" FINISH CONTOUR
	10" FINISH CONTOUR
	CLASH & OUTFIT
	PROPOSED TRAIL
	FILE
	SETBACK
	SOIL SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

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SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
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SCALE:	1"=60'

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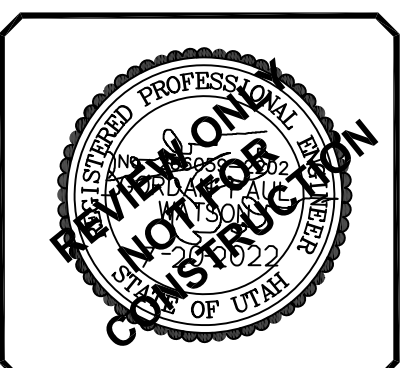
CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
 CONSTRUCTION MANAGEMENT

**STRATON ACRES  
 PHASE 1**

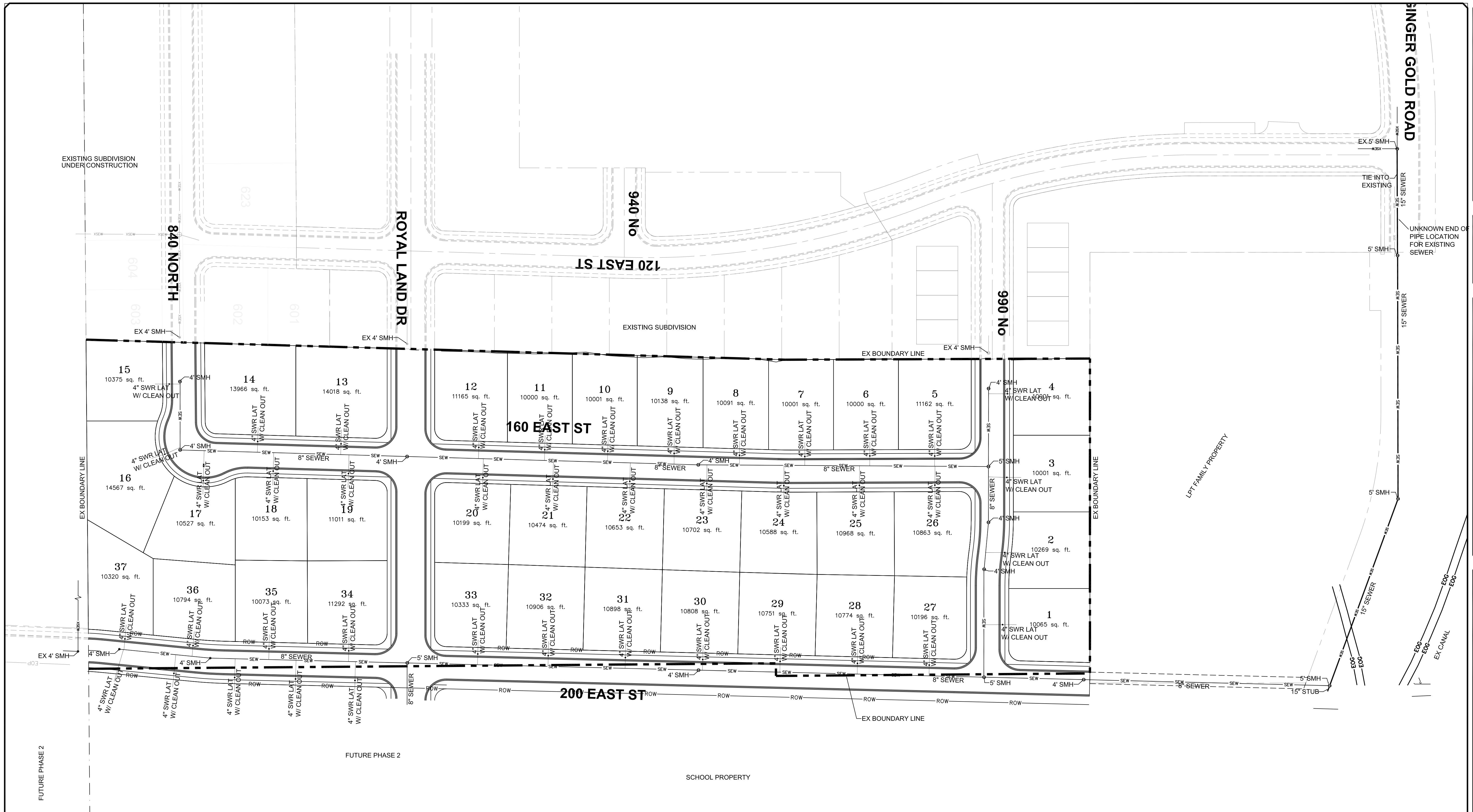
WATER UTILITY SHEET

PRINT DATE: 7-20-2022

SANTAQUIN CITY



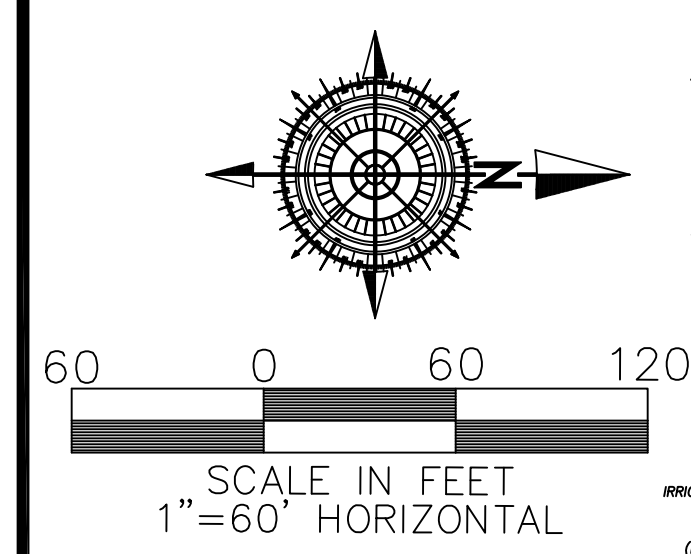
SHEET NO. **U1**



**LEGEND**

	SEWER LINE		EXISTING SEWER LINE
	SEWER APPARATUS		EXISTING STORM LINE
	STORM LINE		EXISTING DRAINAGE SHELL
	DRAINAGE SHELL		EXISTING WATER LINE
	STORM APPARATUS		EXISTING IRRIGATION LINE
	WATER LINE		EXISTING FENCE
	WATER APPARATUS		EXISTING CONTOURS (PT)
	FIRE HYDRANT		15' FINISH CONTOUR
	IRRIGATION LINE		2' FINISH CONTOUR
	IRRIGATION APPARATUS		PROPOSED CURB & GUTTER
	PROPOSED OPEN SPACE		PROPOSED ROAD
	PROPOSED OPEN SPACE		PROPOSED FIRE
	PROPOSED OPEN SPACE		PROPOSED SETBACK
	PROPOSED OPEN SPACE		PROPOSED 30% SLOPE AND GREATER
	PROPOSED OPEN SPACE		PROPOSED 15' FINISH CONTOUR
	PROPOSED OPEN SPACE		PROPOSED 2' FINISH CONTOUR
	PROPOSED OPEN SPACE		PROPOSED OPEN SPACE

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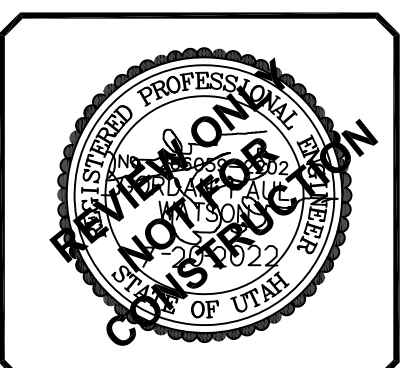
ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
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SCALE:	1"=60'

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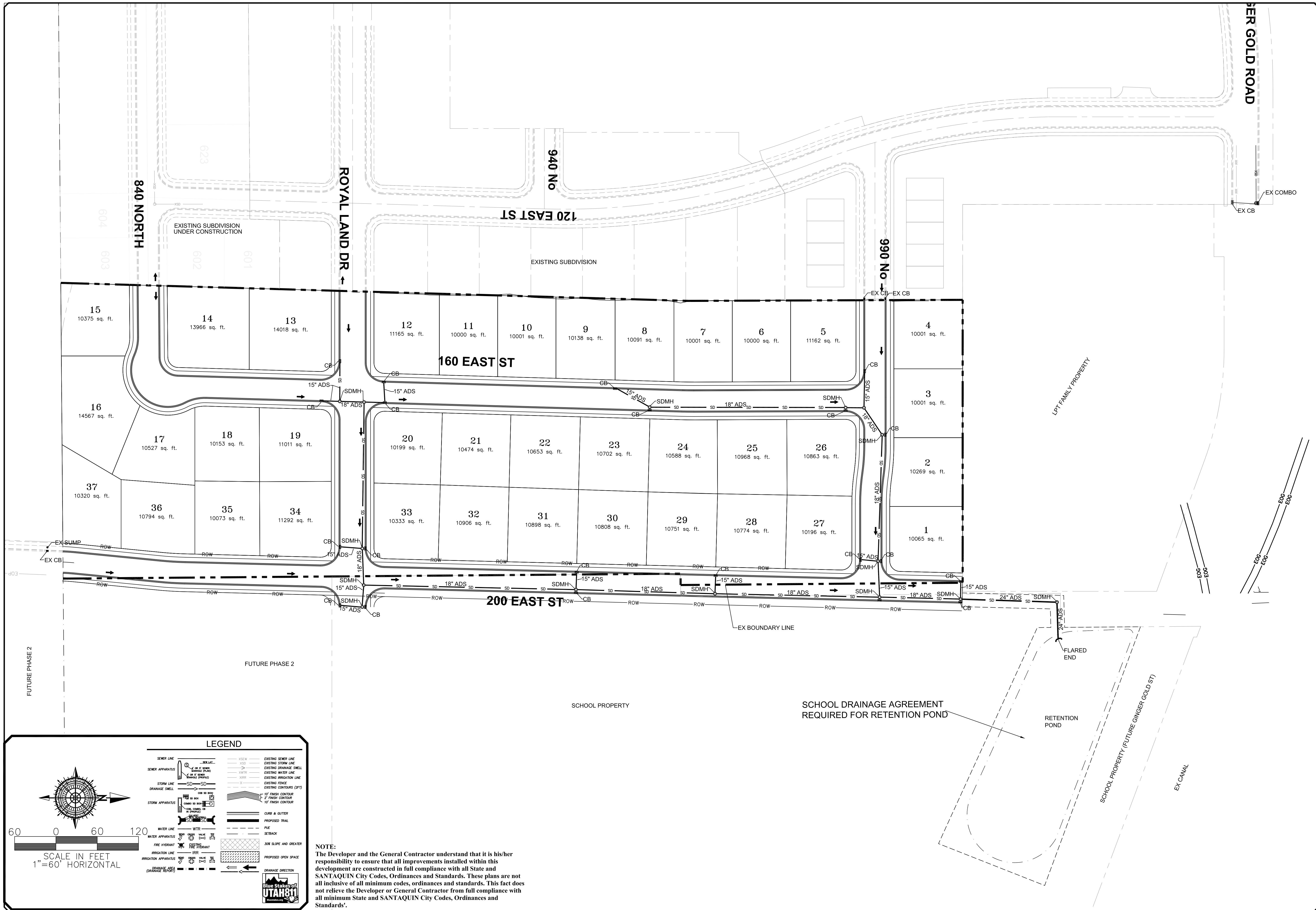
**CIVIL ENGINEERING CONSULTING LAND PLANNING CONSTRUCTION MANAGEMENT**

**STRATTON ACRES PHASE 1**  
SEWER UTILITY SHEET  
PRINT DATE: 7-20-2022

SANTAQUIN CITY



SHEET NO. **U2**



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
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SCALE:	1"=60'

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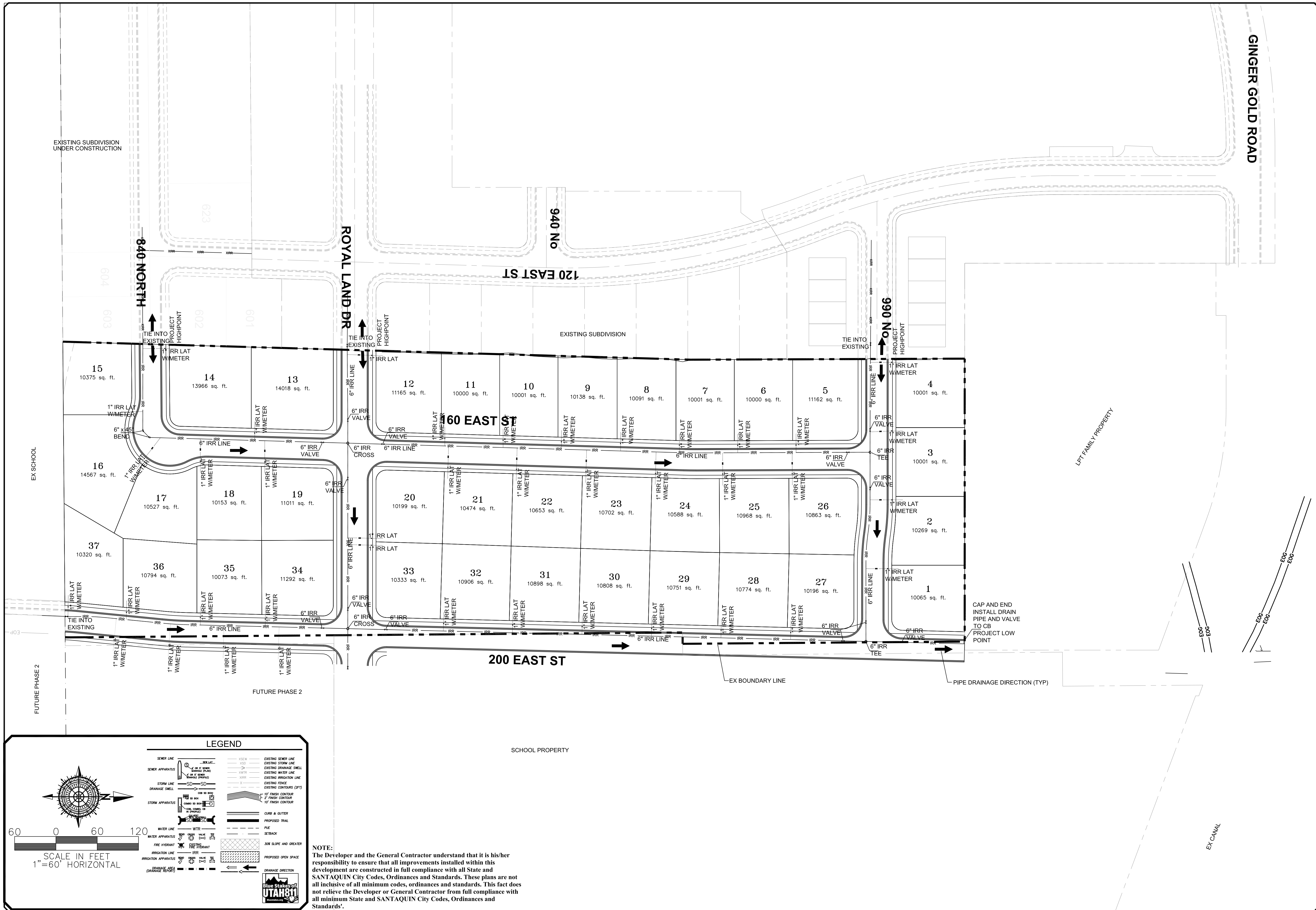
**CIVIL ENGINEERING • LAND PLANNING**  
**CONSTRUCTION MANAGEMENT**

**STRATON ACRES**  
**PHASE 1**  
 STORM UTILITY SHEET  
 PRINT DATE: 7-20-2022

SANTAQUIN CITY



SHEET NO. **U3**



**LEGEND**

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SHELL
DRAINAGE SHELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
IRRIGATION APPARATUS	EXISTING CONTOURS (DT)
IRRIGATION APPARATUS	1" FINISH CONTOUR
IRRIGATION APPARATUS	2" FINISH CONTOUR
IRRIGATION APPARATUS	10" FINISH CONTOUR
IRRIGATION APPARATUS	CLAS & GUTTER
IRRIGATION APPARATUS	PROPOSED TRAIL
IRRIGATION APPARATUS	FILE
IRRIGATION APPARATUS	SETBACK
IRRIGATION APPARATUS	SIDE SLOPE AND GREATER
IRRIGATION APPARATUS	PROPOSED OPEN SPACE
IRRIGATION APPARATUS	DRAINAGE DIRECTION

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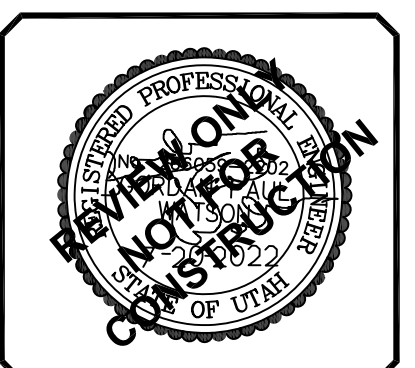
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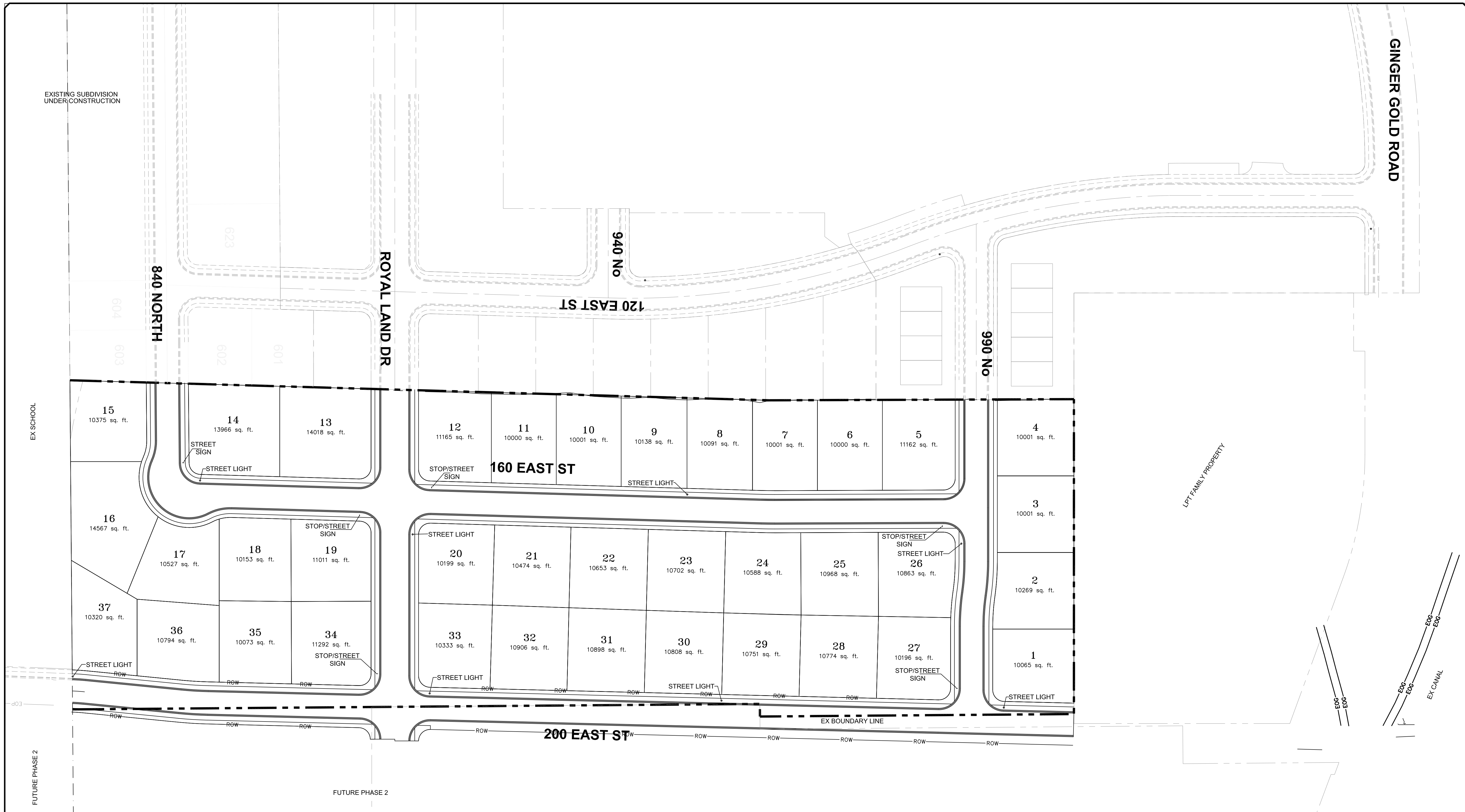
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**CIVIL ENGINEERING CONSULTING LAND PLANNING**  
**CONSTRUCTION MANAGEMENT**

**STRATTON ACRES**  
**PHASE 1**  
 IRRIGATION UTILITY SHEET  
 PRINT DATE: 7-20-2022

SANTAQUIN CITY



SHEET NO. **U4**



**LEGEND**

SEWER LINE  
SEWER APPARATUS  
STORM LINE  
DRAINAGE SHELL  
STORM APPARATUS  
WATER LINE  
FIRE HYDRANT  
IRRIGATION LINE  
IRRIGATION APPARATUS  
DRAINAGE SHELL (DRAINAGE SHELL)

EXISTING SEWER LINE  
EXISTING STORM LINE  
EXISTING DRAINAGE SHELL  
EXISTING WATER LINE  
EXISTING IRRIGATION LINE  
EXISTING FENCE  
EXISTING CONTOURS (DT)

15' FINISH CONTOUR  
2' FINISH CONTOUR  
10' FINISH CONTOUR

CLUB & OUTLET  
PROPOSED TRAIL  
FILE  
SETBACK  
SLOPE AND GREATER  
PROPOSED OPEN SPACE

DRAINAGE DIRECTION

Blue Stakes of UTAH 811

60 0 60 120  
SCALE IN FEET  
1"=60' HORIZONTAL

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 SCALE: 1"=60'

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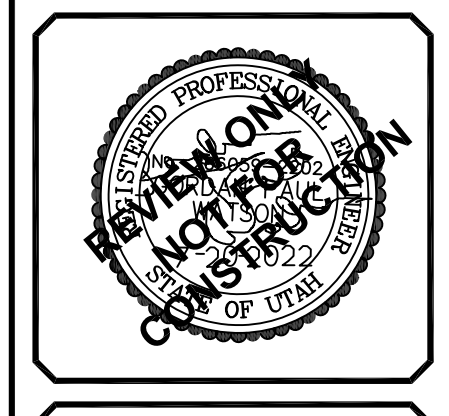
CIVIL ENGINEERING \* LAND PLANNING  
 CONSTRUCTION MANAGEMENT

**STRATON ACRES  
 PHASE 1**

LIGHT AND SIGN PLAN

PRINT DATE: 7-20-2022

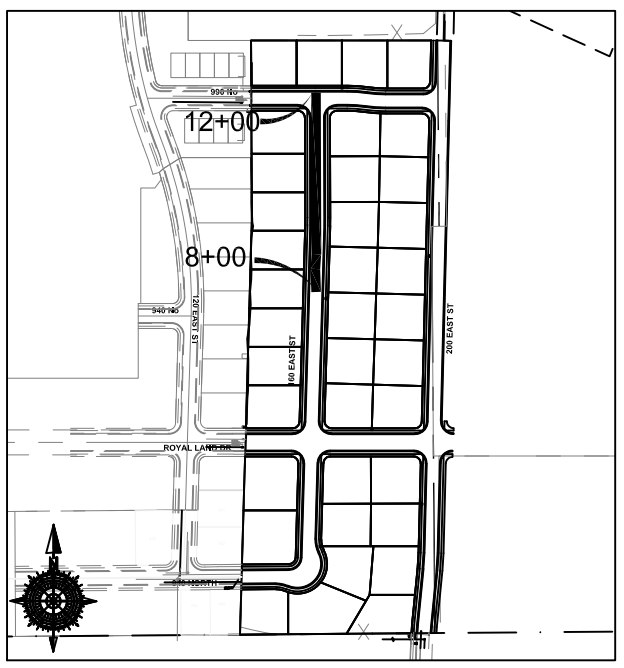
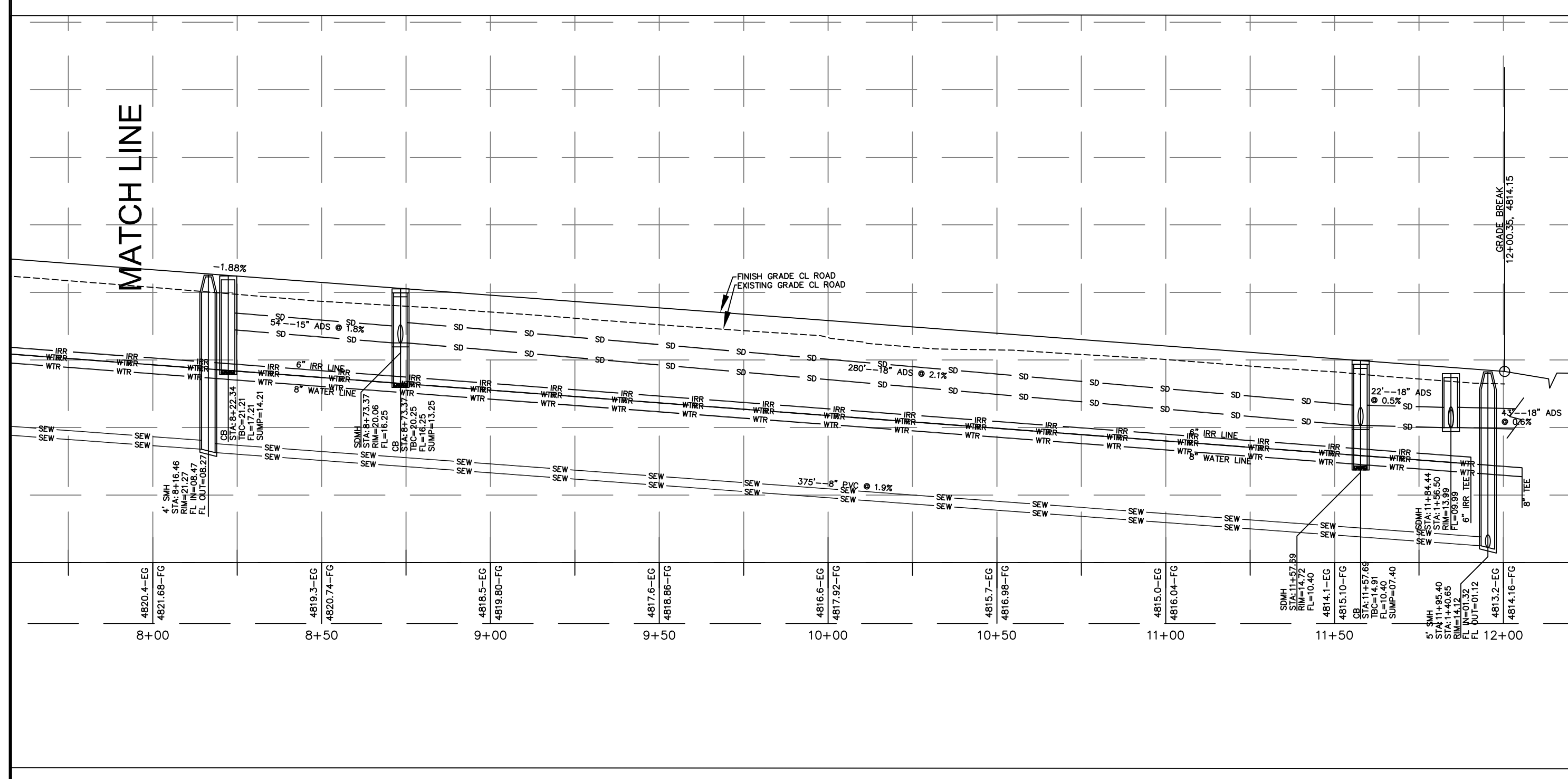
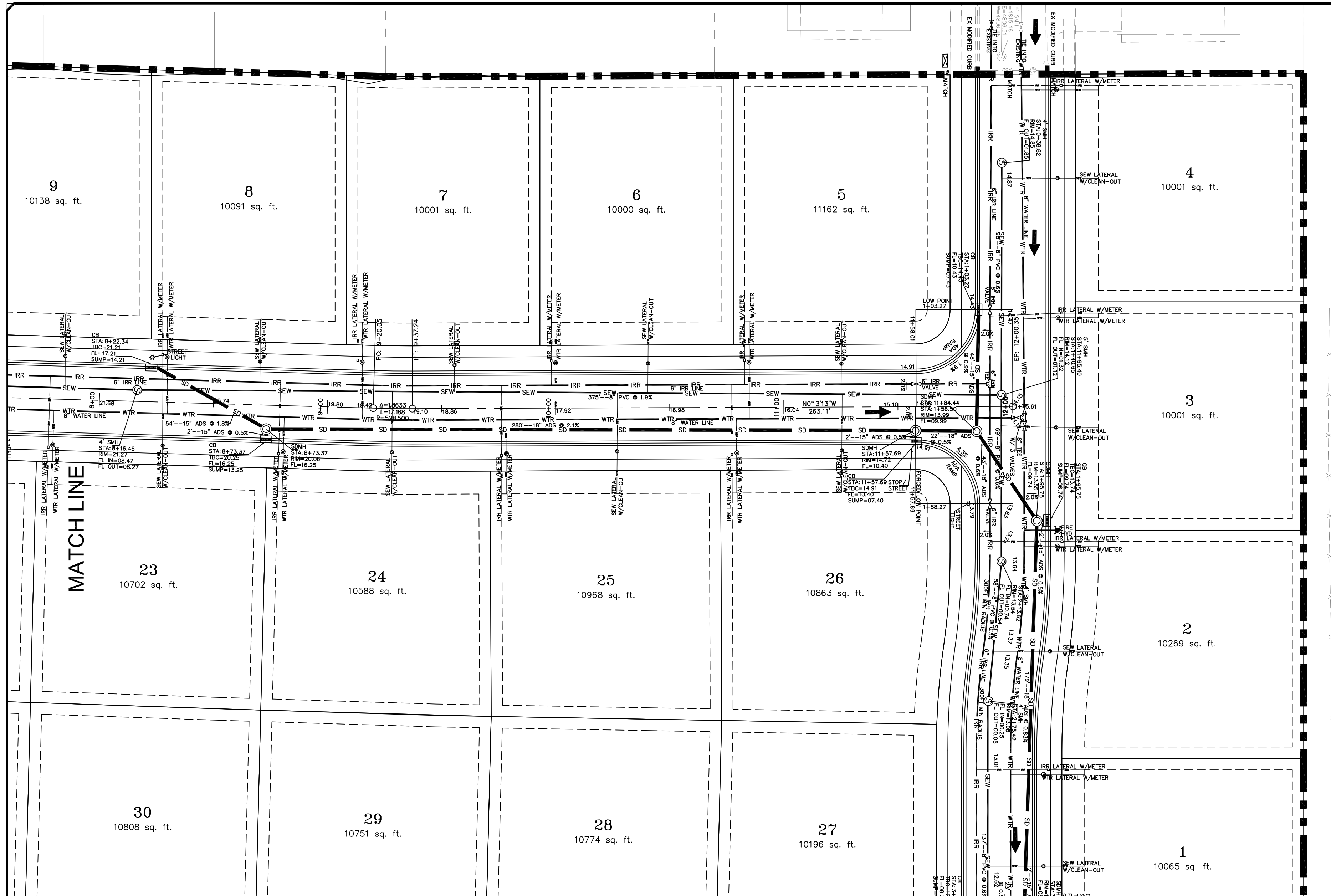
SANTAQUIN CITY



SHEET NO. SS1







**LEGEND**

- EXISTING SEWER LINE
- EXISTING DRAINAGE SHELL
- EXISTING REGULATION LINE
- EXISTING BARED PHONE
- EXISTING CONTIGUOUS (SPT)
- EXISTING CONTIGUOUS (SPT) OF FINISH CONTROL CURB & GUTTER
- PROPOSED MAIN
- PROPOSED MAIN
- PIPE APPARATUS
- STONE APPARATUS
- WATER LINE
- WATER APPARATUS
- REGULATION LINE
- REGULATION APPARATUS
- PROPOSED OPEN SPACE
- SETBACK
- USE SLOPE AND GREATER

SCALE IN FEET  
1" = 30' HORIZONTAL  
1" = 7.5' VERTICAL

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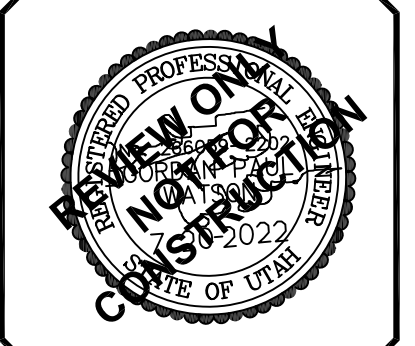
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 SCALE: 1"=30'

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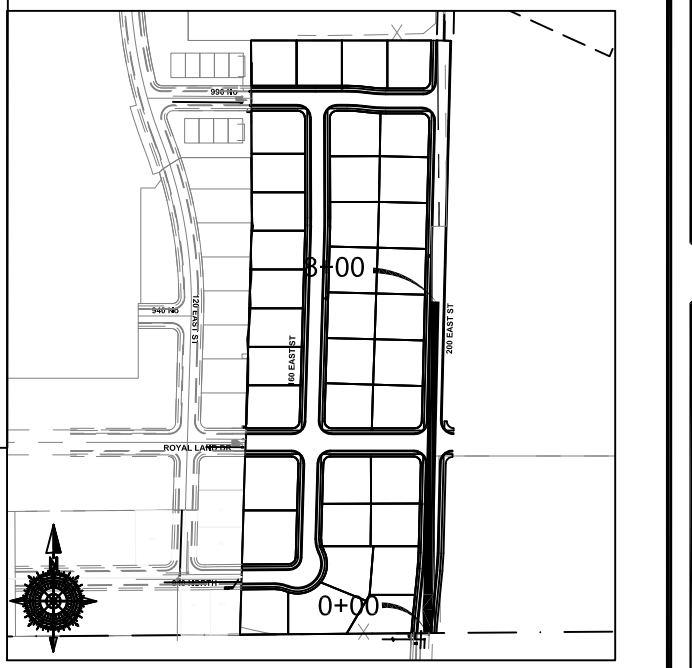
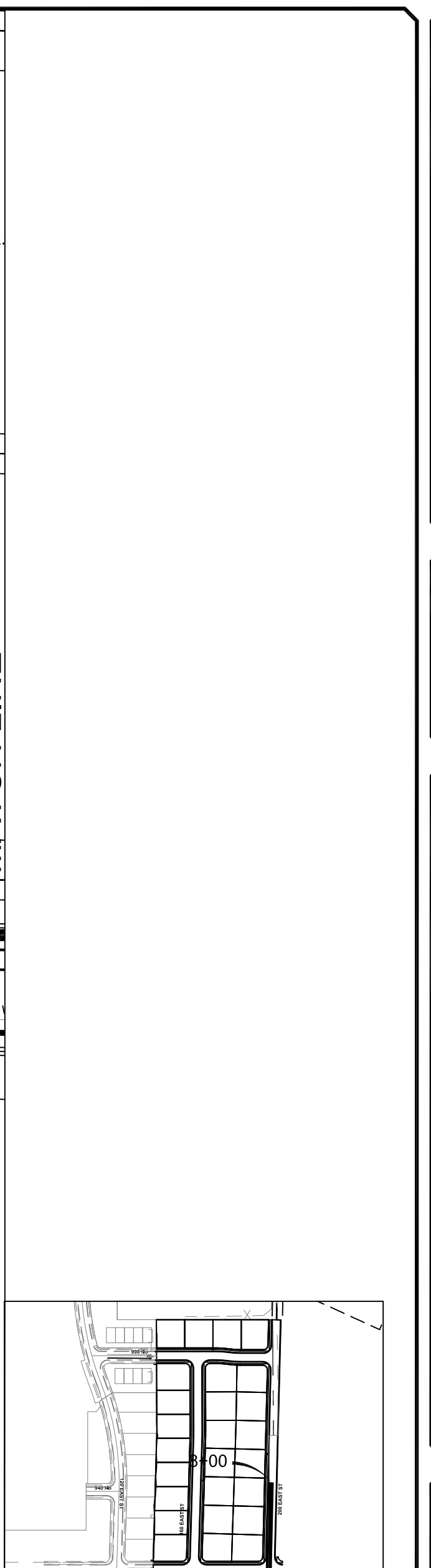
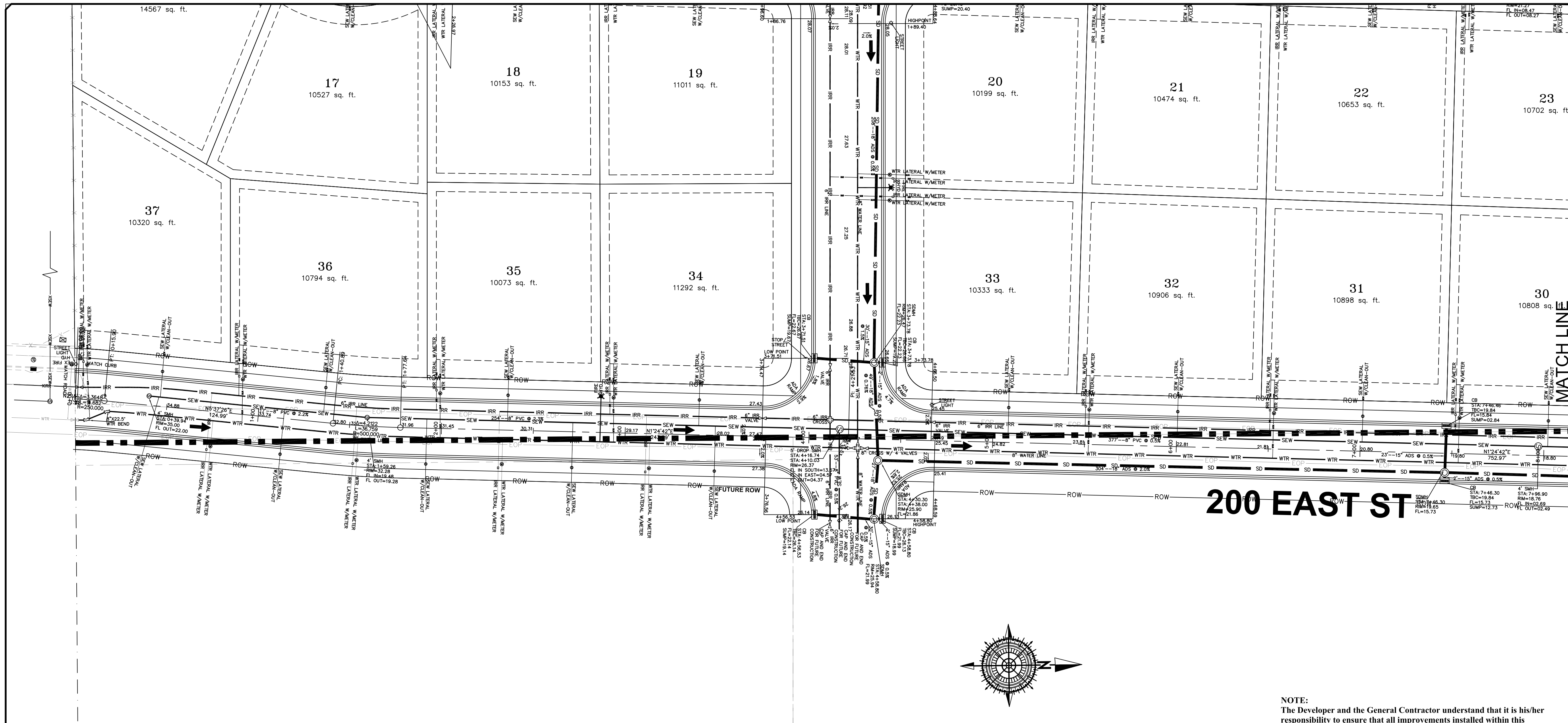
**STRATTON ACRES  
 PHASE 1  
 PLAN AND PROFILE  
 WEST RD 8+00 TO 12+00**

7-20-2022

SANTAQUIN CITY



SHEET NO. PP2



**NOTE:**  
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**LEGEND**

- SEWER LINE
- SEWER APPURTENANCES
- STORM LINE
- STORM APPURTENANCES
- WATER LINE
- FIRE HYDRANT
- IRIGATION LINE
- IRIGATION APPURTENANCES
- EXISTING DRAINAGE SWELL
- EXISTING STORM LINE
- EXISTING IRRIGATION LINE
- EXISTING BARED PHONE
- EXISTING CONTIGUOUS (OFF)
- EXISTING CONTIGUOUS (ON)
- EXISTING UTILITY
- PROPOSED TRAIL
- PROP. SLOPE AND GREATER
- SETBACK
- PROPOSED OPEN SPACE
- DRAINAGE DIRECTION

SCALE IN FEET  
1" = 30' HORIZONTAL  
1" = 7.5' VERTICAL

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21  
 SURVEY BY: OPW  
 DRAWN BY: OPW  
 DESIGNED BY: OPW  
 CHECKED BY: OPW  
 SCALE: 1"=30'

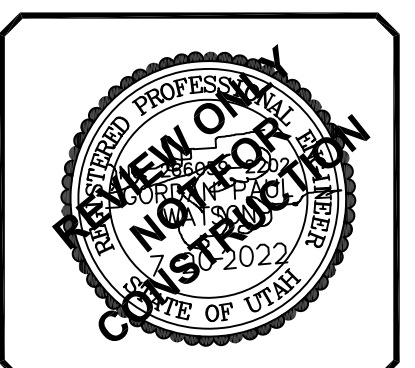
**GATEWAY CONSULTING, Inc**  
 P.O. BOX 951005 SOUTH JORDAN, UT 84095  
 PH: (801) 694-5848  
 paul@gatewayconsultingllc.com

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 CONSTRUCTION MANAGEMENT

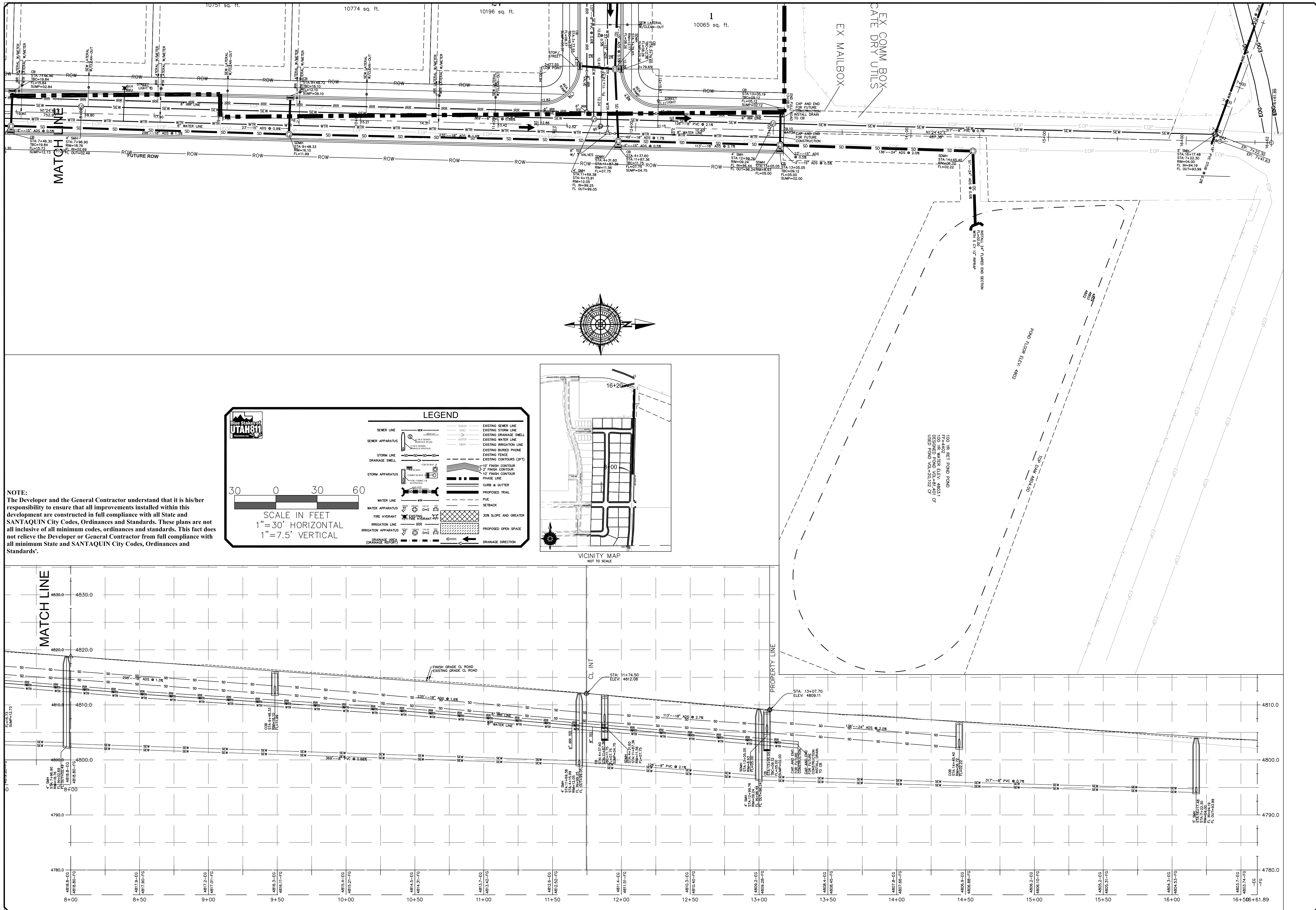
**STRATTON ACRES  
 PHASE 1  
 PLAN AND PROFILE  
 EAST RD 0+00 TO 8+00**

7-20-2022

SANTAQUIN CITY



SHEET NO. **PP3**



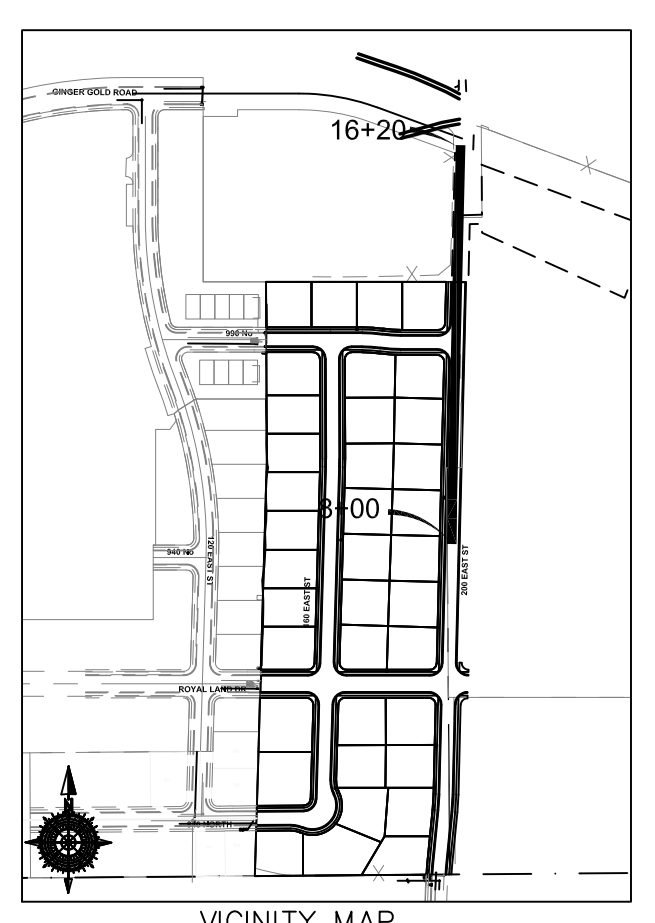
**NOTE:**  
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**LEGEND**

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SMOEL
DRAINAGE SMOEL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING BURIED PHONE
WATER APPARATUS	EXISTING FENCE
FIRE HYDRANT	EXISTING CONTOURS (SPT)
IRRIGATION LINE	2' FINISH CONTOUR
IRRIGATION APPARATUS	10' FINISH CONTOUR
DRAINAGE AREA (DRAINAGE TROUGH)	PHASE LINE
	CURB & GUTTER
	PROPOSED TRAIL
	PUE
	SETBACK
	30% SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

Blue Stains of UTAH 811

SCALE IN FEET  
1"=30' HORIZONTAL  
1"=7.5' VERTICAL



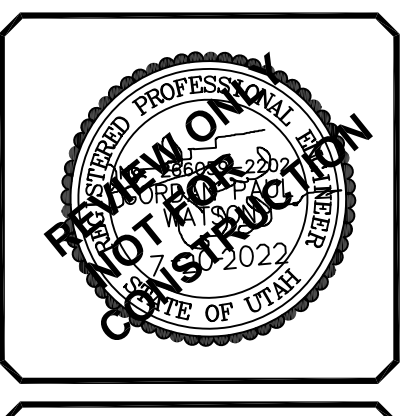
NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21  
 SURVEY BY: OPW  
 DRAWN BY: OPW  
 DESIGNED BY: OPW  
 CHECKED BY: OPW  
 SCALE: 1"=30'

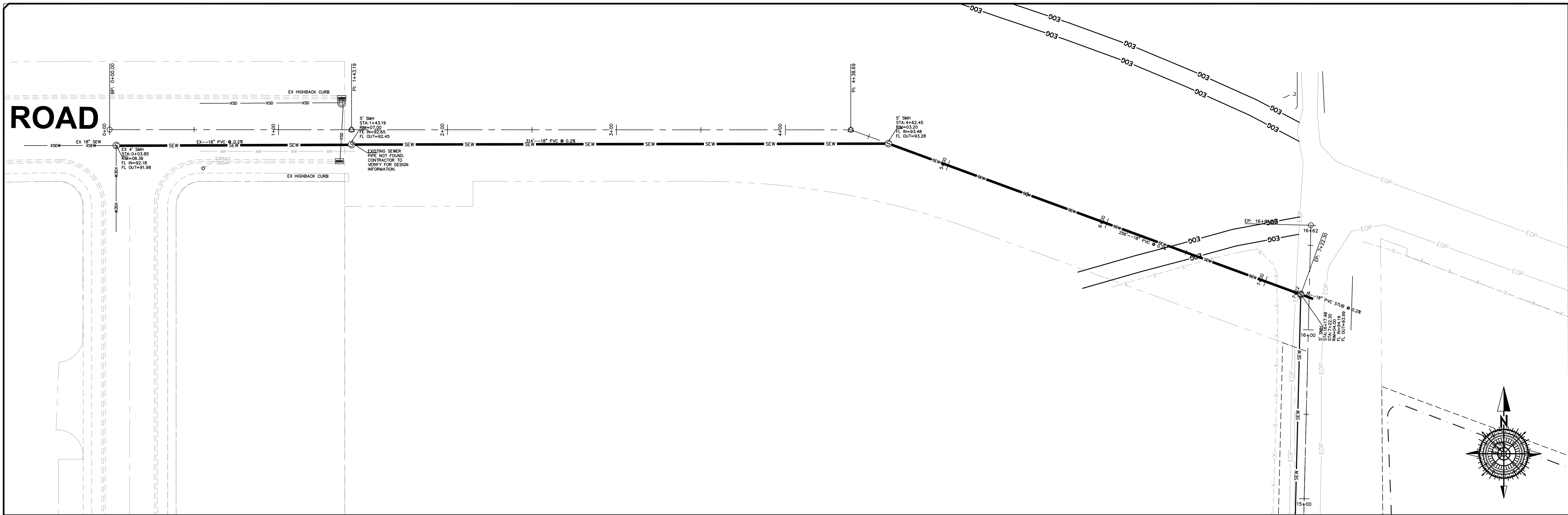
**GATEWAY CONSULTING, Inc**  
 P.O. BOX 951005 SOUTH JORDAN, UT 84095  
 PH: (801) 694-5848  
 paul@gatewayconsultingllc.com  
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 CONSTRUCTION MANAGEMENT

**STRATTON ACRES  
 PHASE 1  
 PLAN AND PROFILE  
 EAST RD 8+00 TO 16+50**  
 7-20-2022

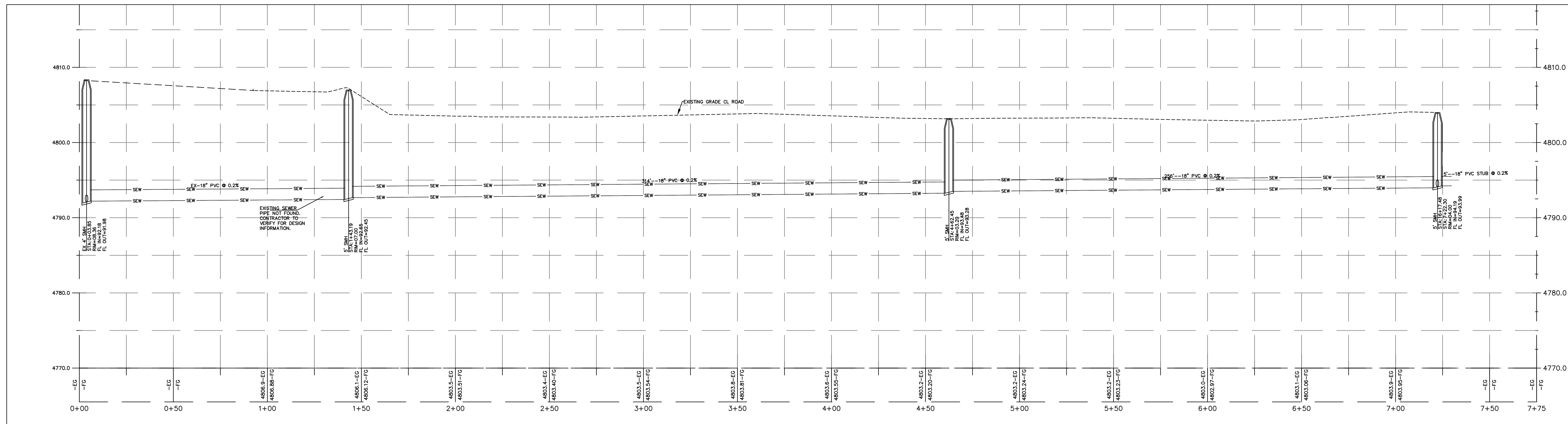
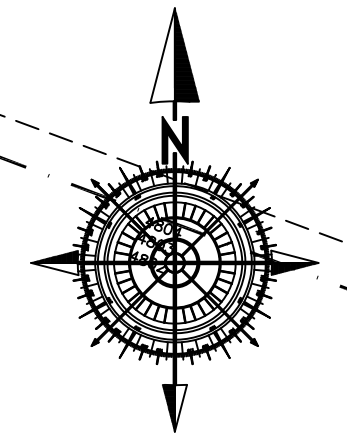
SANTAQUIN CITY



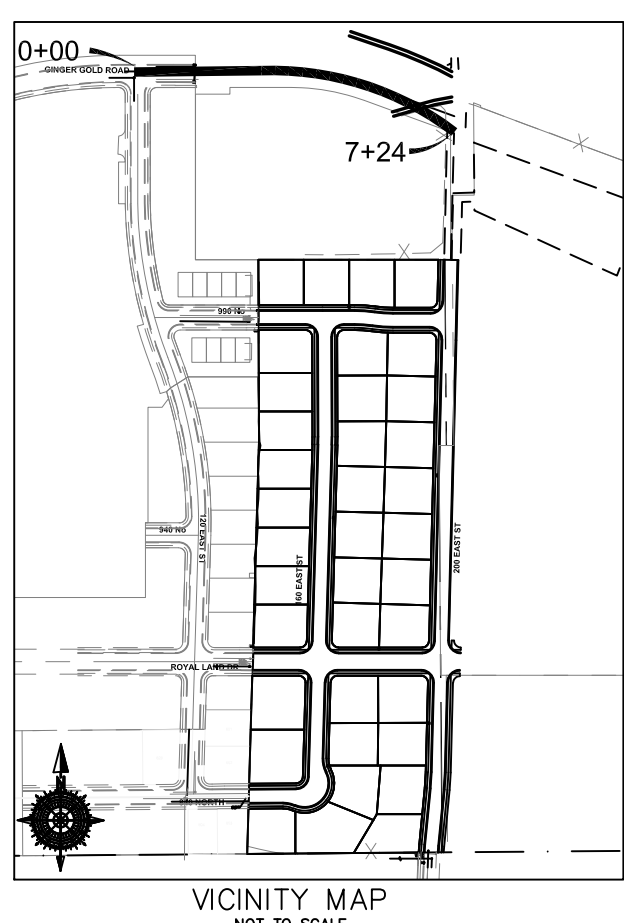
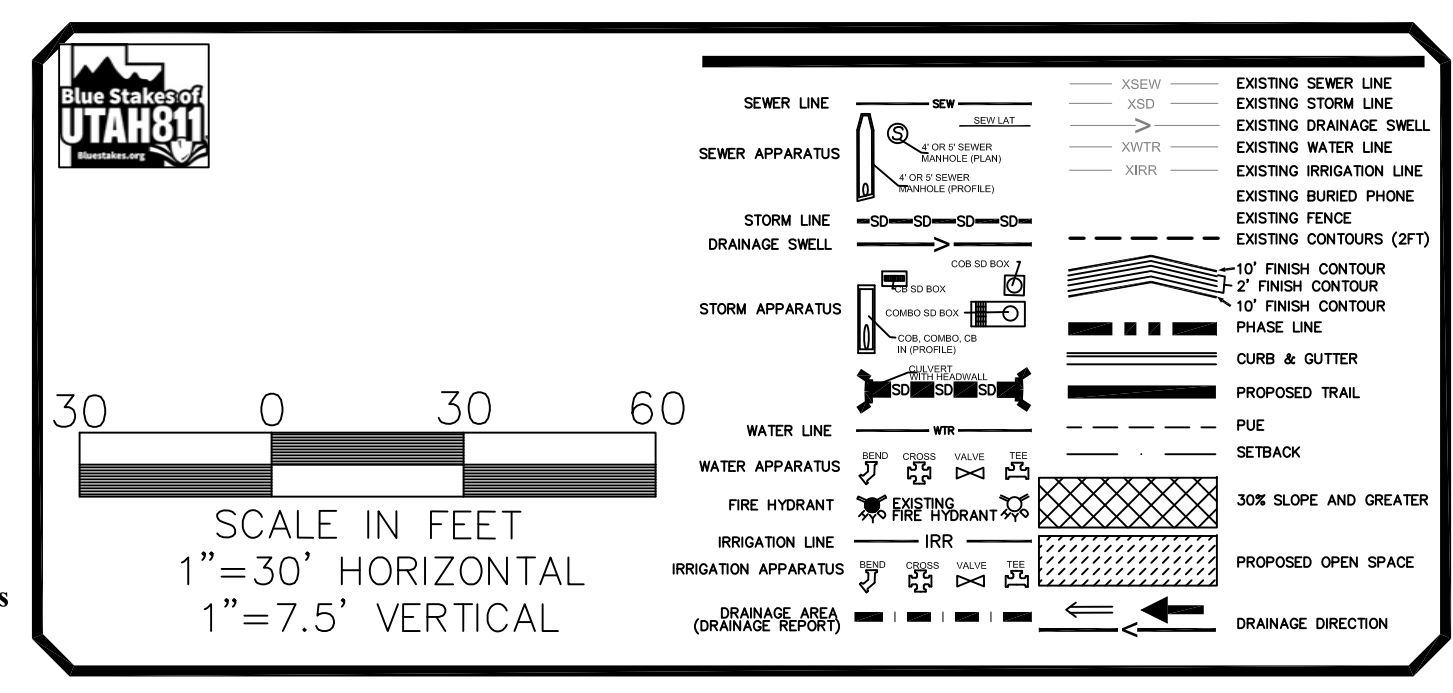
SHEET NO. PP4



**ROAD**



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NO.	DESCRIPTION	DATE	APP'D

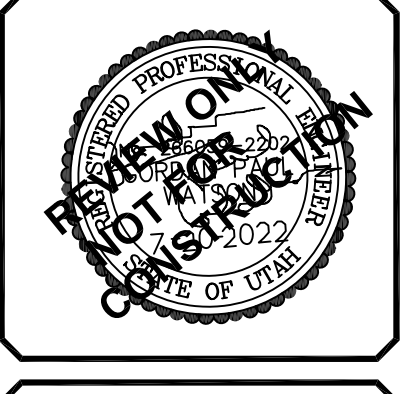
ORIG. DATE: 2-6-21  
 SURVEY BY: OPW  
 DRAWN BY: OPW  
 DESIGNED BY: OPW  
 CHECKED BY: OPW  
 SCALE: 1"=30'

**GATEWAY CONSULTING, Inc**  
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 CONSTRUCTION MANAGEMENT

**STRATTON ACRES  
 PHASE 1**  
 GINGER GOLD (OFF SITE)  
 0+00 TO 7+50  
 7-20-2022

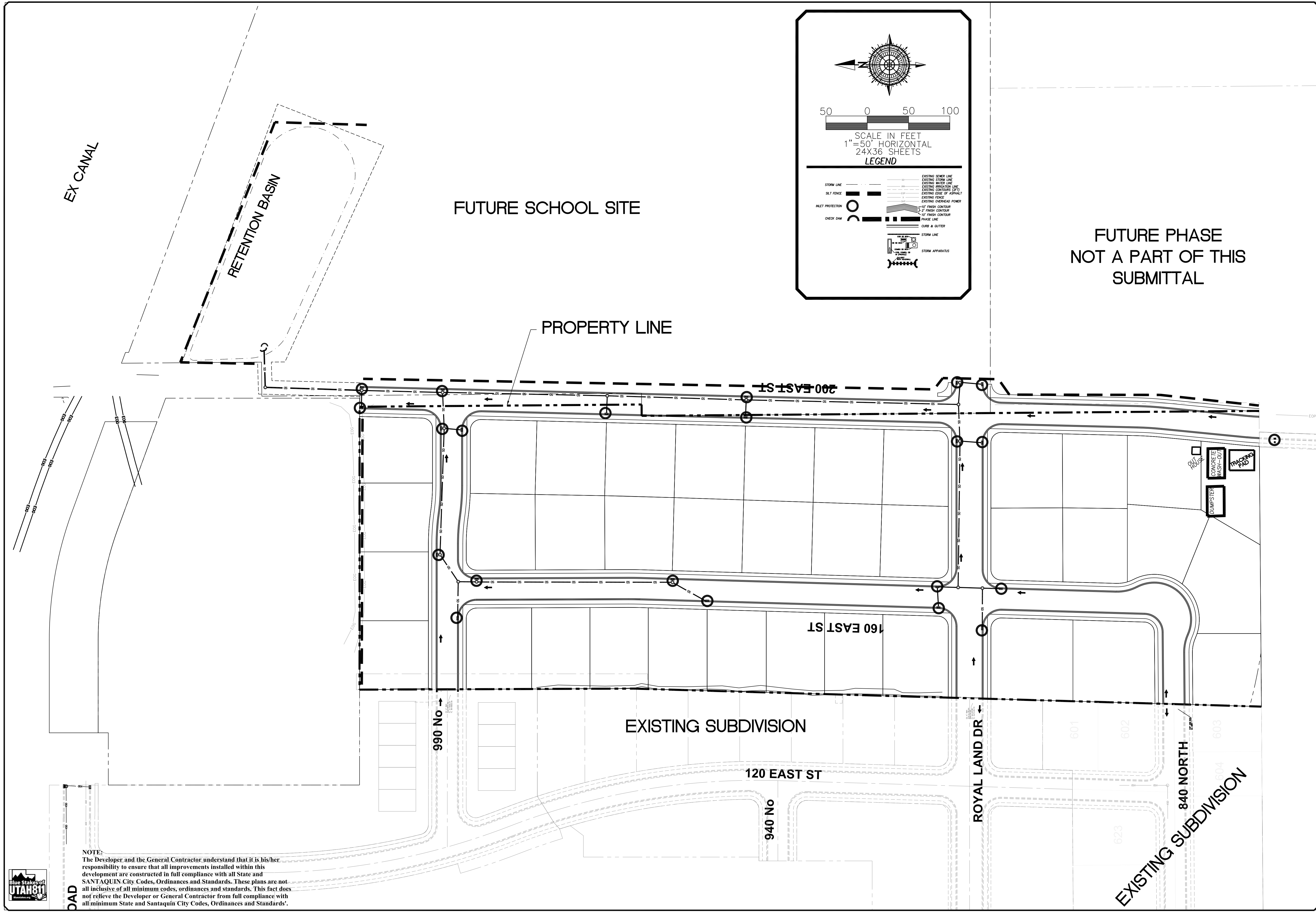
SANTAQUIN CITY

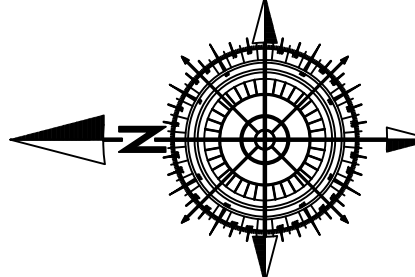


SHEET NO. **PP5**







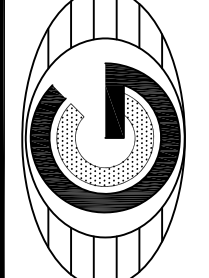
  
 50 0 50 100  
 SCALE IN FEET  
 1" = 50' HORIZONTAL  
 24X36 SHEETS  
**LEGEND**

STORM LINE	---	EXISTING SEWER LINE	---
SOFT FENCE	---	EXISTING STORM LINE	---
INLET PROTECTION	---	EXISTING WATER LINE	---
CHECK DAM	---	EXISTING BRICKLINE	---
		EXISTING CONTOUR (2 FT)	---
		EXISTING CURB OF ASPHALT	---
		EXISTING FENCE	---
		EXISTING OVERHEAD POWER	---
		10" FINISH CONTOUR	---
		2" FINISH CONTOUR	---
		10" FINISH CONTOUR	---
		PHASE LINE	---
		CURB & GUTTER	---
		STORM LINE	---
		STORM APPARATUS	---

**FUTURE PHASE  
 NOT A PART OF THIS  
 SUBMITTAL**

NO.	DESCRIPTION	DATE	APPD.

ORIG. DATE: 2-8-21	SURVEY BY: GPW	DESIGNED BY: GPW	CHECKED BY: GPW	SCALE: 1"=100'
DRAWN BY: GPW	DESIGNED BY: GPW	CHECKED BY: GPW	SCALE: 1"=100'	


  
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**STRATTON ACRES  
 PHASE 1**  
 STORM WATER POLLUTION  
 PREVENTION PLAN  
 PRINT DATE: 7-20-2022

SANTAQUIN  
 CITY



SHEET NO. SWPPP

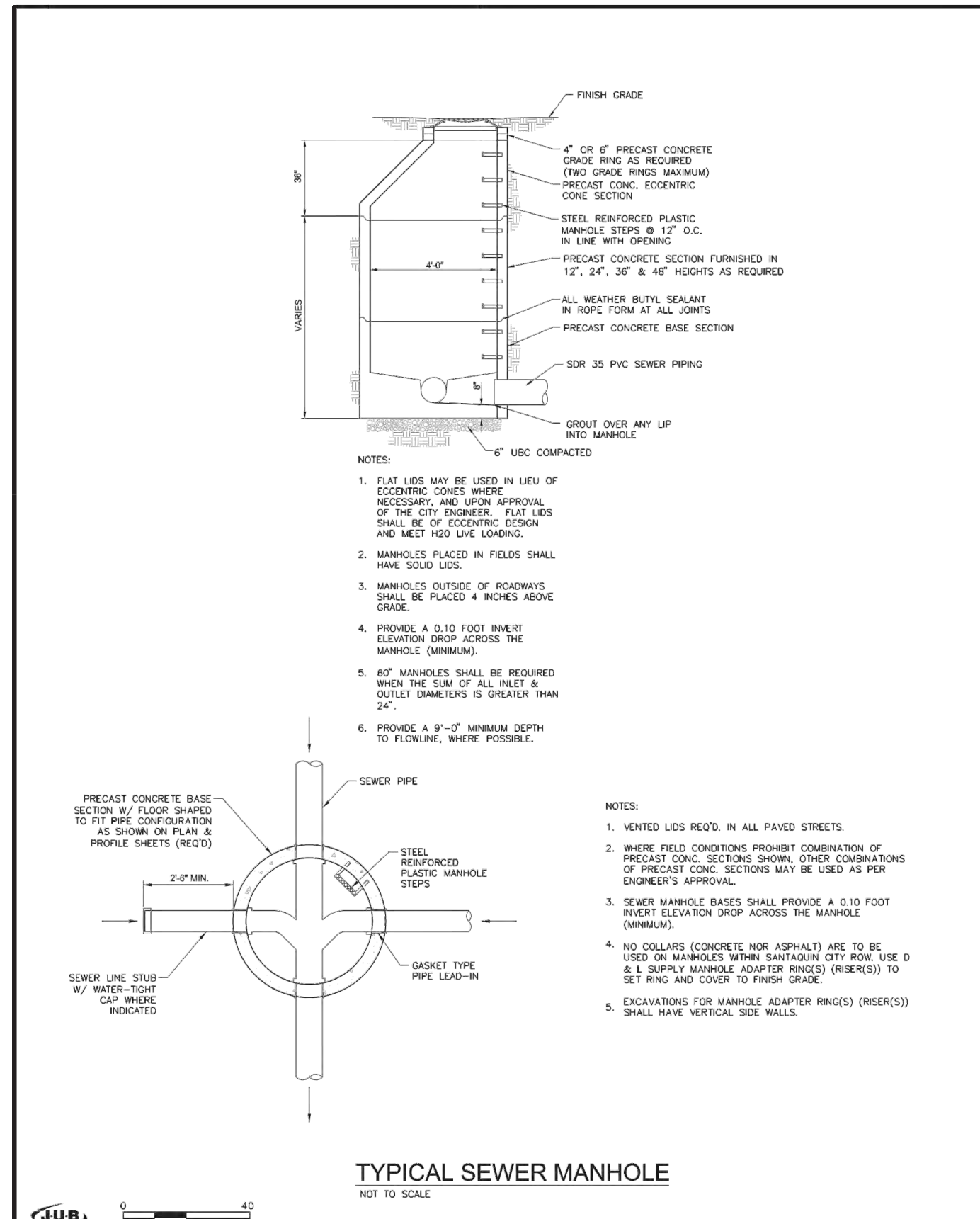

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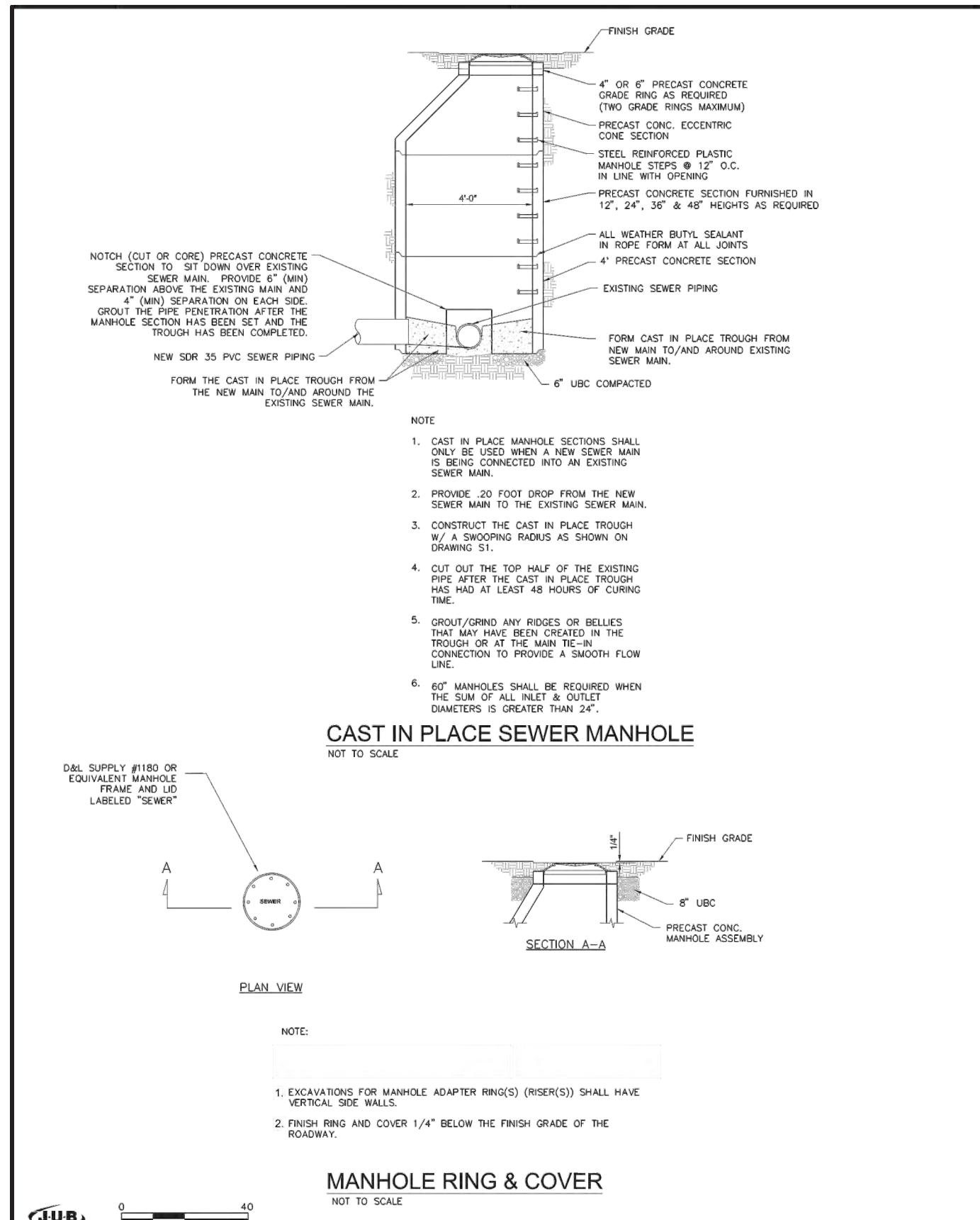






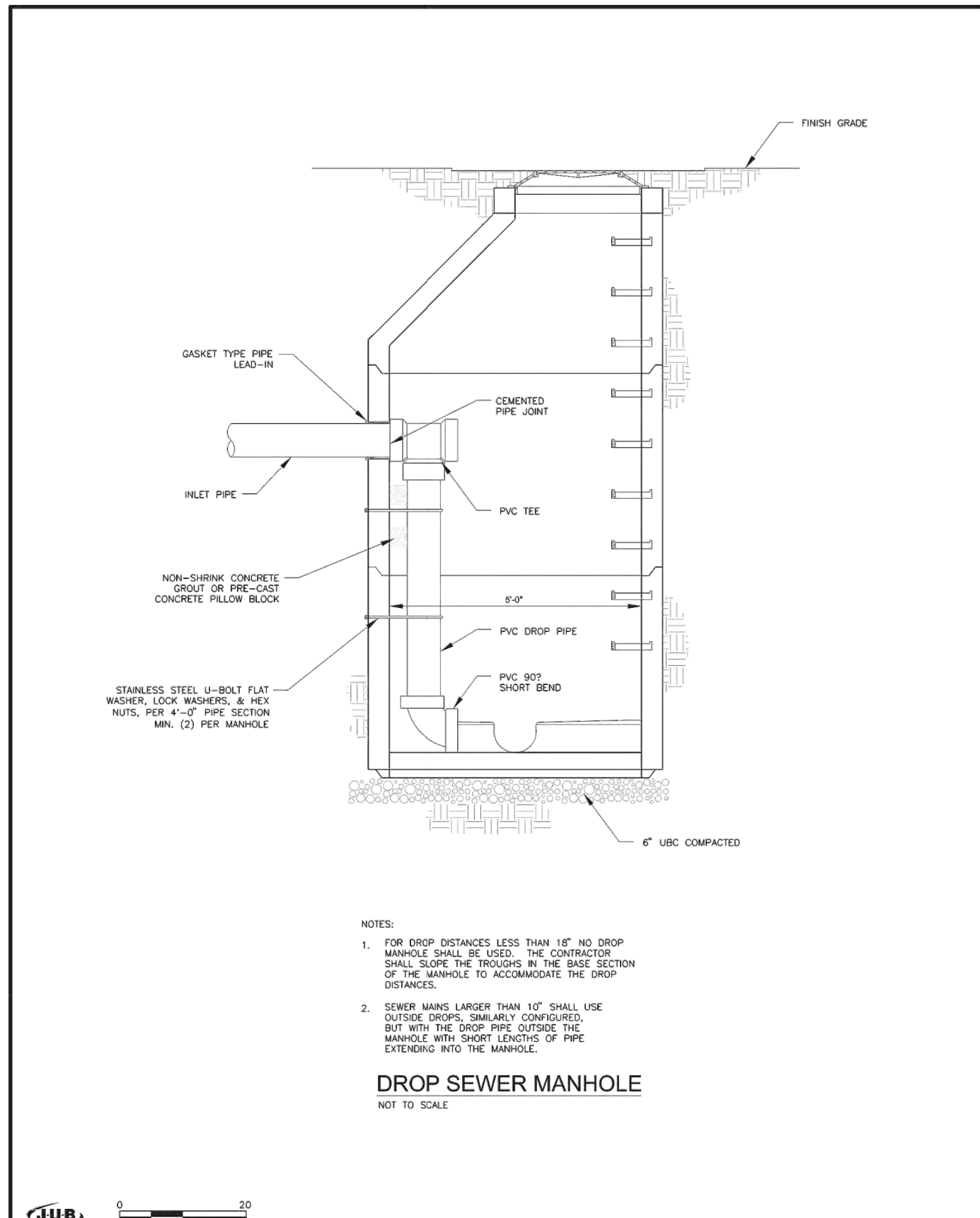
TYPICAL SEWER MANHOLE  
NOT TO SCALE

DATE: 10/15/2022	PROJECT: STRATTON ACRES PHASE 1	SHEET: S1
DESIGNED BY: [Signature]	CITY: SANTAQUIN CITY	ADDRESS: 275 WEST MAIN STREET
CHECKED BY: [Signature]	SCALE: NOT TO SCALE	



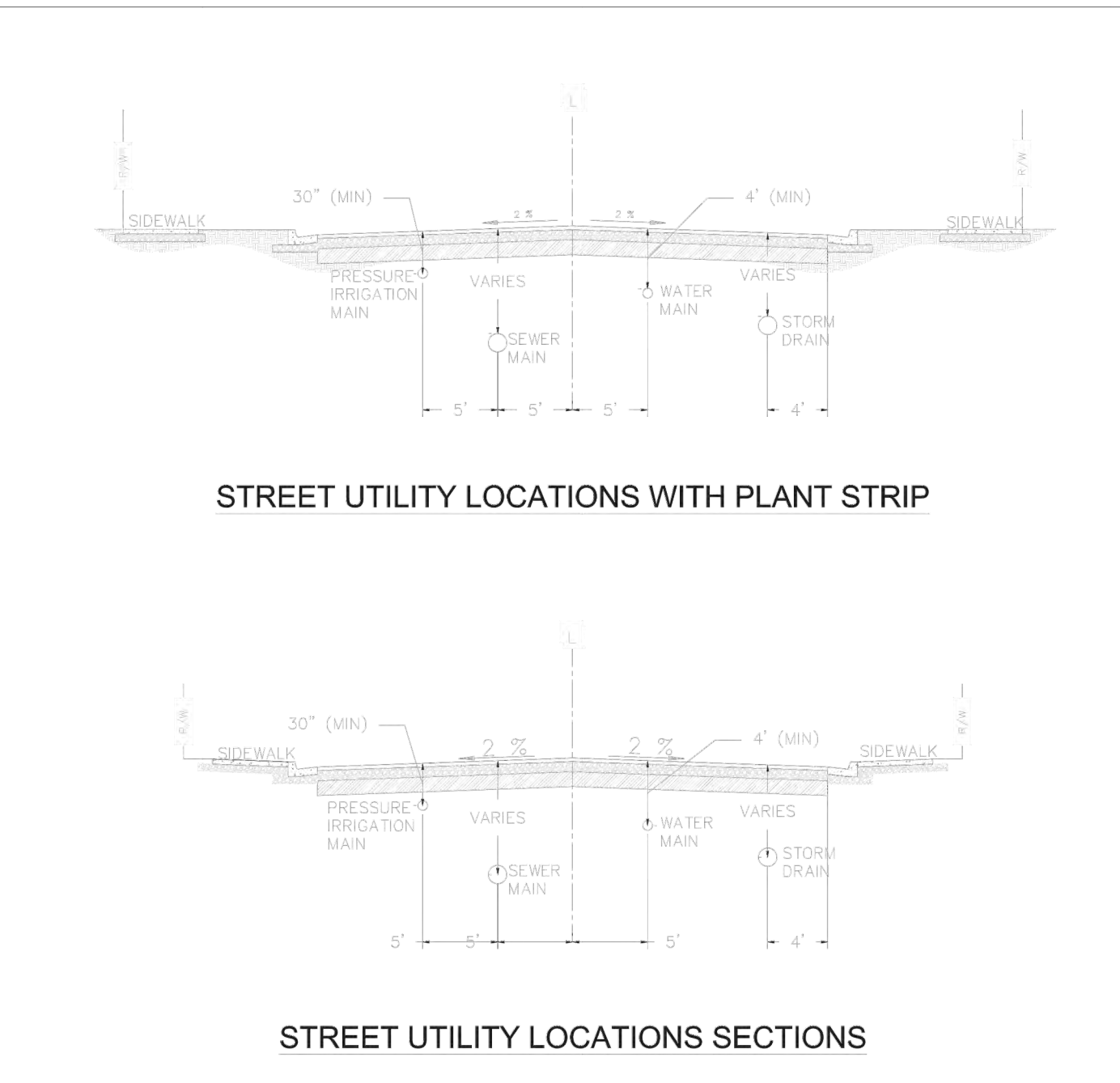
MANHOLE RING & COVER  
NOT TO SCALE

DATE: 10/15/2022	PROJECT: STRATTON ACRES PHASE 1	SHEET: S3
DESIGNED BY: [Signature]	CITY: SANTAQUIN CITY	ADDRESS: 275 WEST MAIN STREET
CHECKED BY: [Signature]	SCALE: NOT TO SCALE	



DROP SEWER MANHOLE  
NOT TO SCALE

DATE: 10/15/2022	PROJECT: STRATTON ACRES PHASE 1	SHEET: S4
DESIGNED BY: [Signature]	CITY: SANTAQUIN CITY	ADDRESS: 275 WEST MAIN STREET
CHECKED BY: [Signature]	SCALE: NOT TO SCALE	

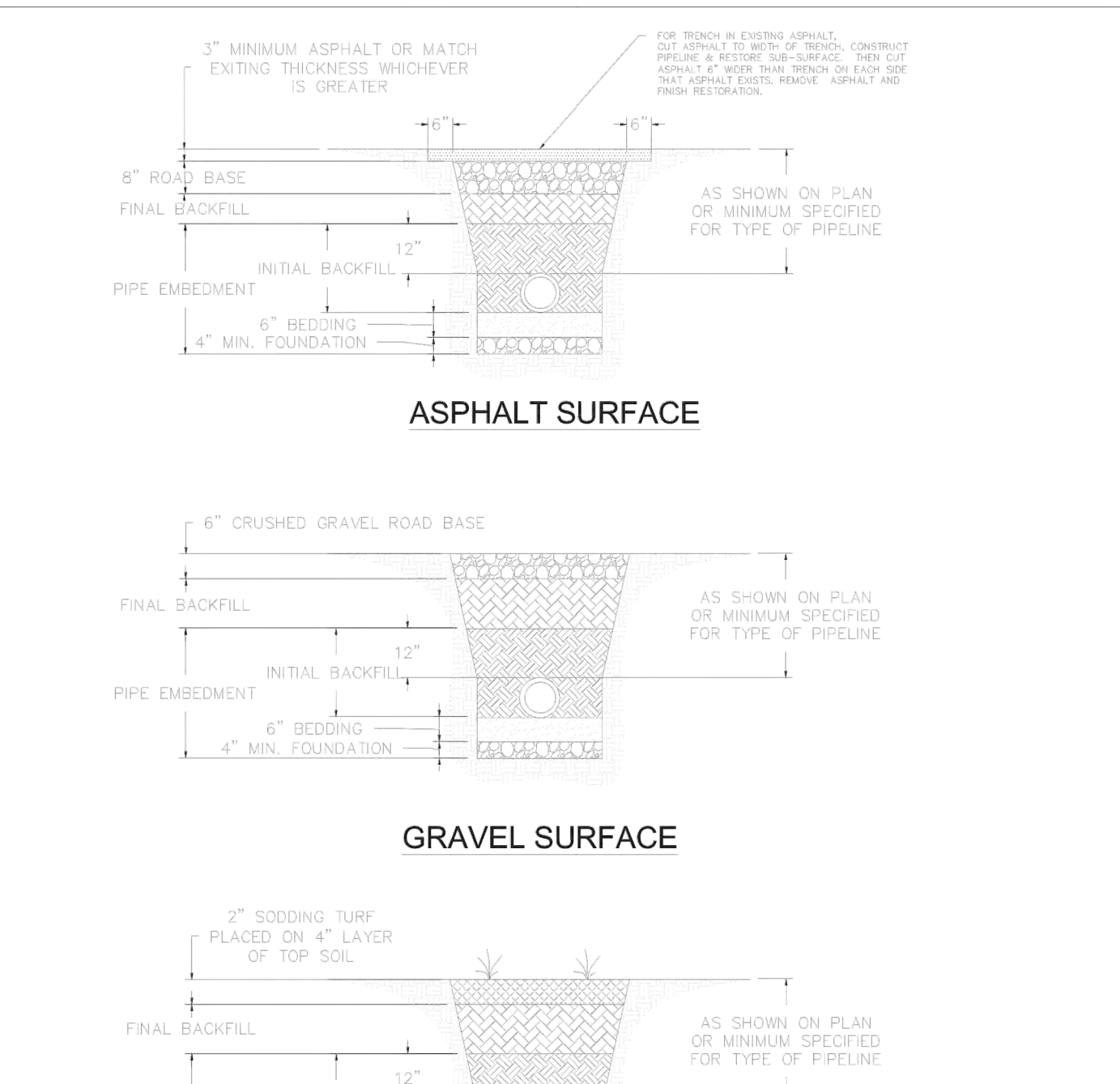


STREET UTILITY LOCATIONS WITH PLANT STRIP

STREET UTILITY LOCATIONS SECTIONS

- IRRIGATION MAINS SHALL BE LOCATED 10 FEET SOUTH & WEST OF CENTER OF THE STREET.
- WATER MAINS SHALL BE LOCATED 5 FEET NORTH & EAST OF CENTER OF THE STREET.
- SEWER MAINS SHALL BE LOCATED 5 FEET SOUTH & WEST OF THE CENTER OF THE STREET.
- STORM DRAIN SHALL BE LOCATED 4 FEET FROM THE UP OF CUTTER ON NORTH & EAST SIDE OF THE STREET.
- STORM DRAIN SHALL BE LOCATED LOWER THAN THE WATER MAIN.

DATE: 10/15/2022	PROJECT: STRATTON ACRES PHASE 1	SHEET: UT2
DESIGNED BY: [Signature]	CITY: SANTAQUIN CITY	ADDRESS: 275 WEST MAIN STREET
CHECKED BY: [Signature]	SCALE: NOT TO SCALE	



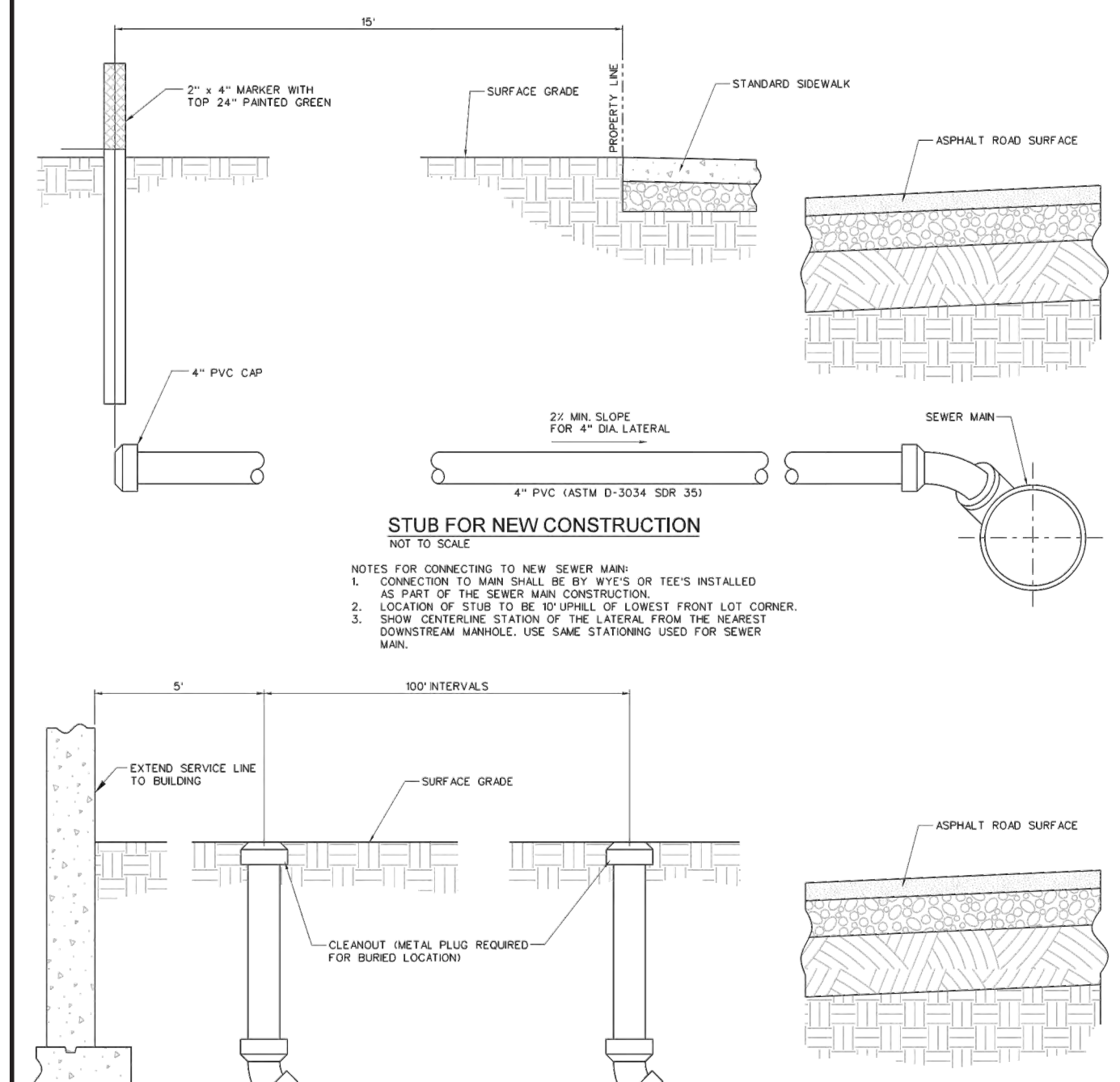
ASPHALT SURFACE

GRAVEL SURFACE

TURF SURFACE

- SLOPE TRENCH SIDES TO MEET OSHA REQUIREMENTS (LATEST EDITION) OR USE TRENCH BOX.
- FOUNDATION AND BEDDING MATERIAL AS REQUIRED INSTALL PIPELINES ON STABLE FOUNDATION WITH UNIFORM BEARING FOR FULL LENGTH OF BARREL. EXCAVATE IN BEDDING FOR ALL PIPE JOINTS.

DATE: 10/15/2022	PROJECT: STRATTON ACRES PHASE 1	SHEET: UT3
DESIGNED BY: [Signature]	CITY: SANTAQUIN CITY	ADDRESS: 275 WEST MAIN STREET
CHECKED BY: [Signature]	SCALE: NOT TO SCALE	



STUB FOR NEW CONSTRUCTION

TIE TO EXISTING CONSTRUCTION

- CONNECTION TO NEW SEWER MAIN
- CONNECTION TO MAIN SHALL BE BY WYES OR TEES INSTALLED AS PART OF THE SEWER MAIN CONSTRUCTION.
- LOCATION OF STUB TO BE TYPICAL OR LOWEST FRONT LOT CORNER.
- SHOW CENTERLINE LOCATION OF THE LATERAL FROM THE NEAREST DOWNSTREAM MANHOLE. USE SAME STATIONING USED FOR SEWER MAIN.

DATE: 10/15/2022	PROJECT: STRATTON ACRES PHASE 1	SHEET: S2
DESIGNED BY: [Signature]	CITY: SANTAQUIN CITY	ADDRESS: 275 WEST MAIN STREET
CHECKED BY: [Signature]	SCALE: NOT TO SCALE	

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21	SCALE: N/A
SURVEY BY: GPW	DESIGNED BY: GPW
DRAWN BY: GPW	CHECKED BY: GPW

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**STRATTON ACRES  
 PHASE 1  
 SEWER DETAILS**

7-20-2022

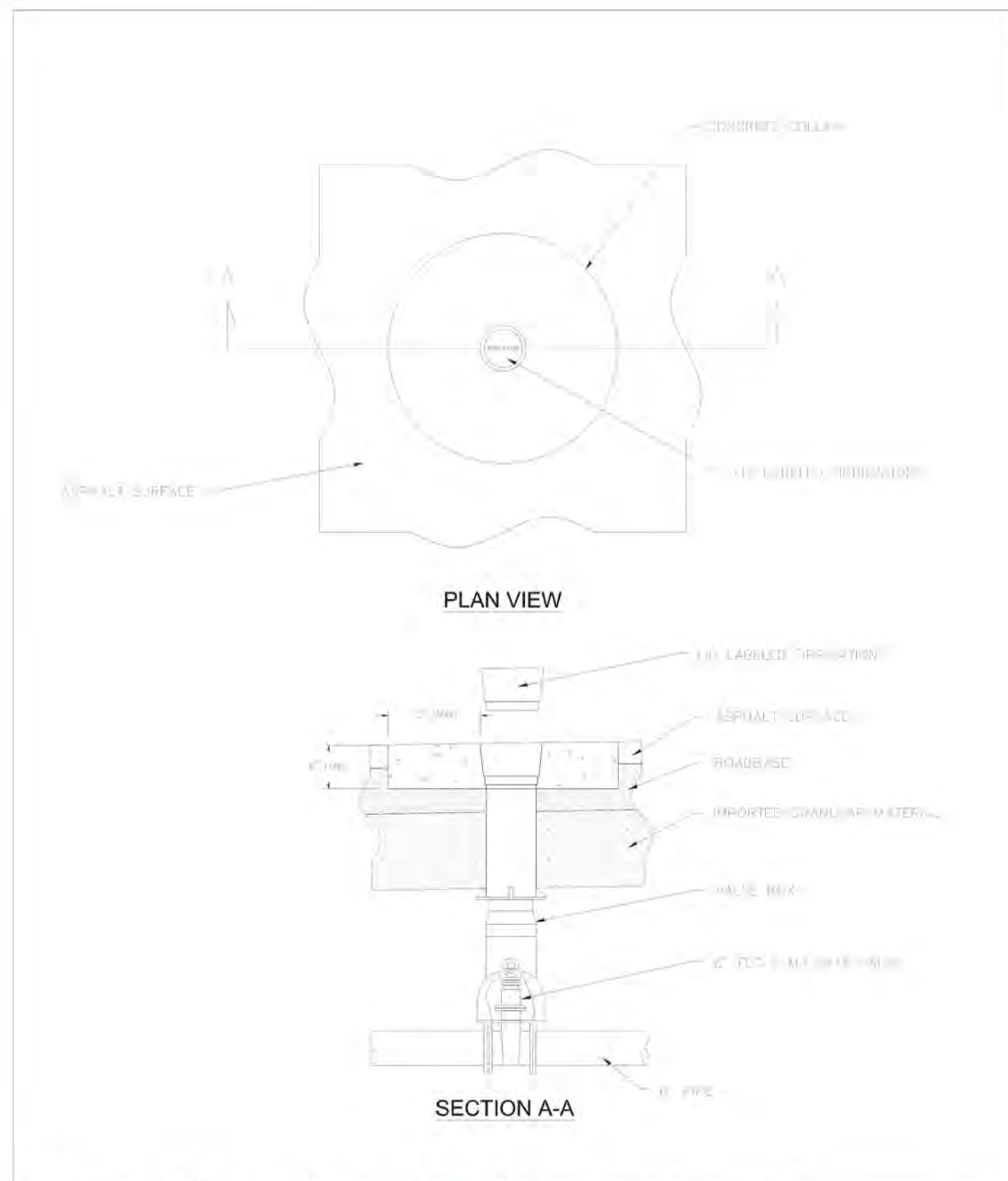
SANTAQUIN CITY



SHEET NO. D2

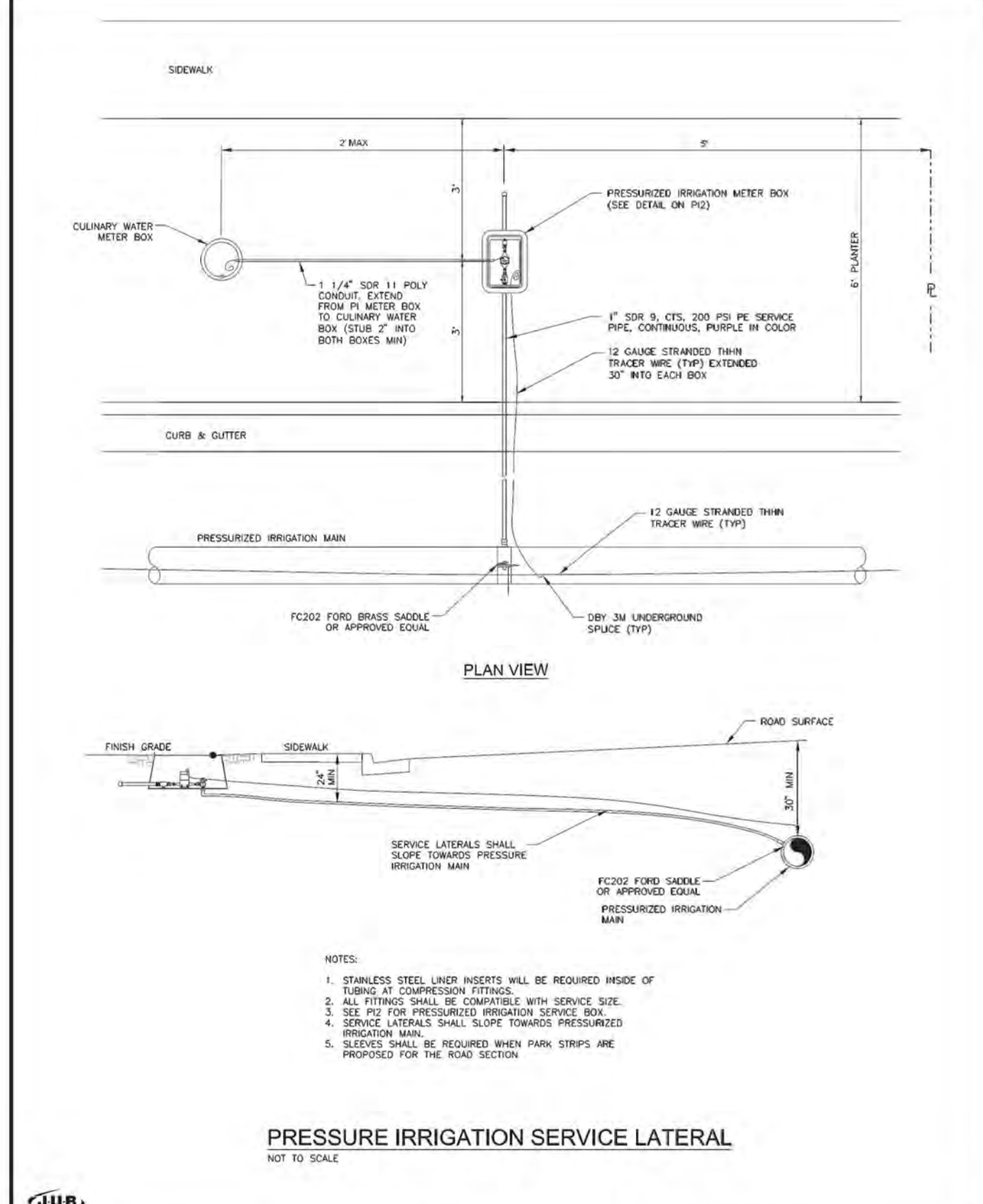






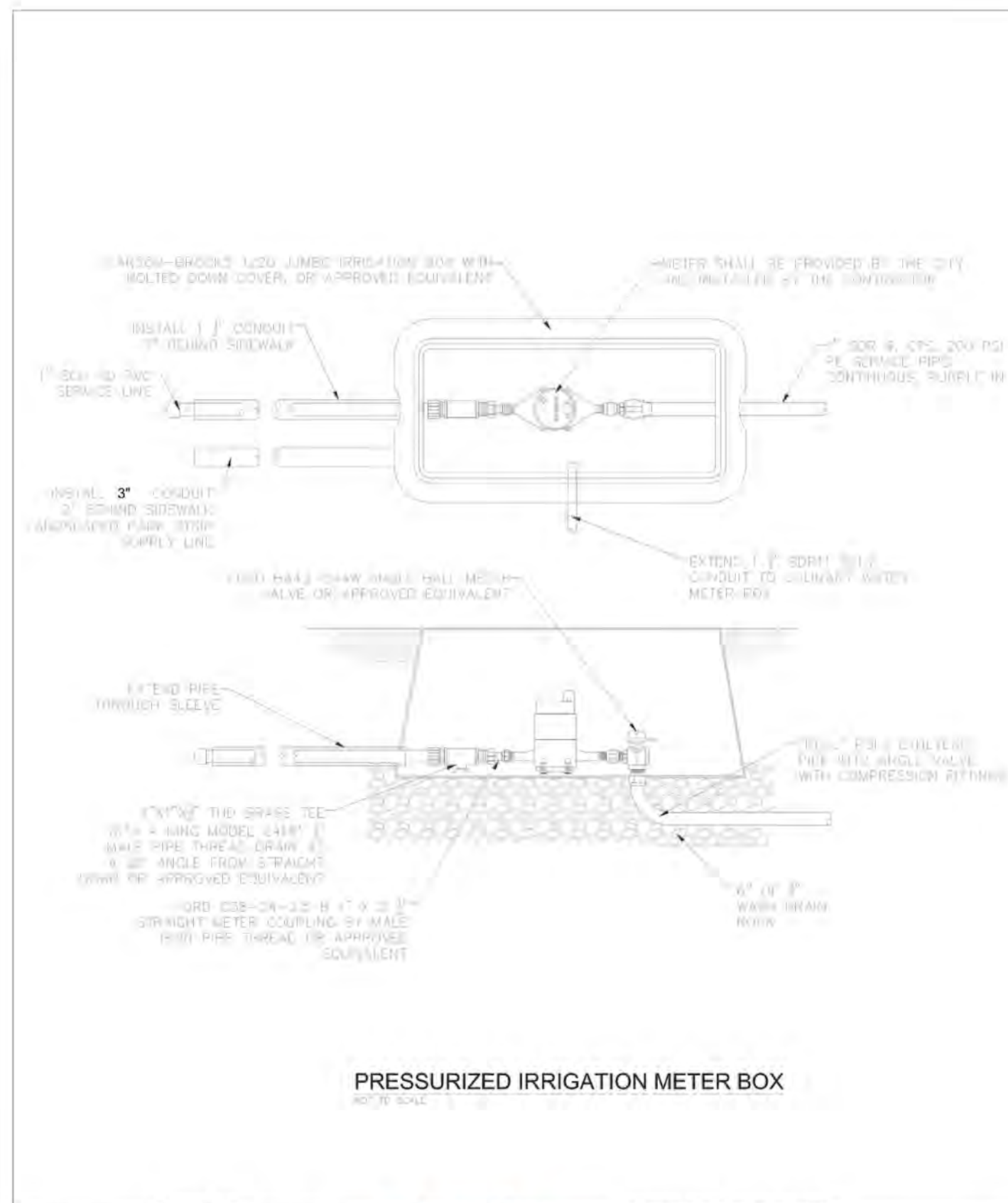
**PRESSURE IRRIGATION WATER VALVE**  
SANTAQUIN CITY  
275 WEST MAIN STREET

NOT TO SCALE



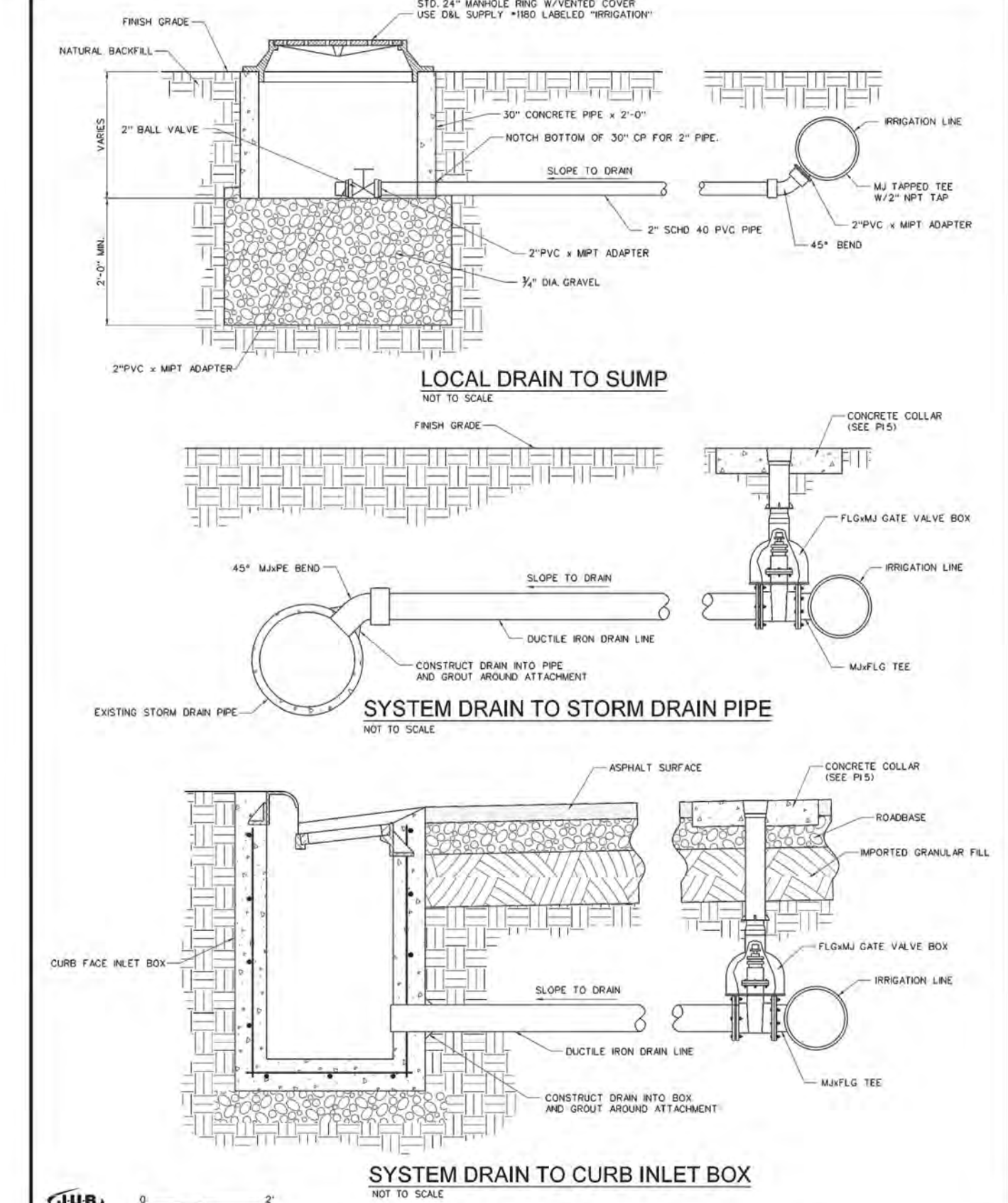
**PRESSURE IRRIGATION SERVICE LATERAL**  
SANTAQUIN CITY  
275 WEST MAIN STREET

NOT TO SCALE



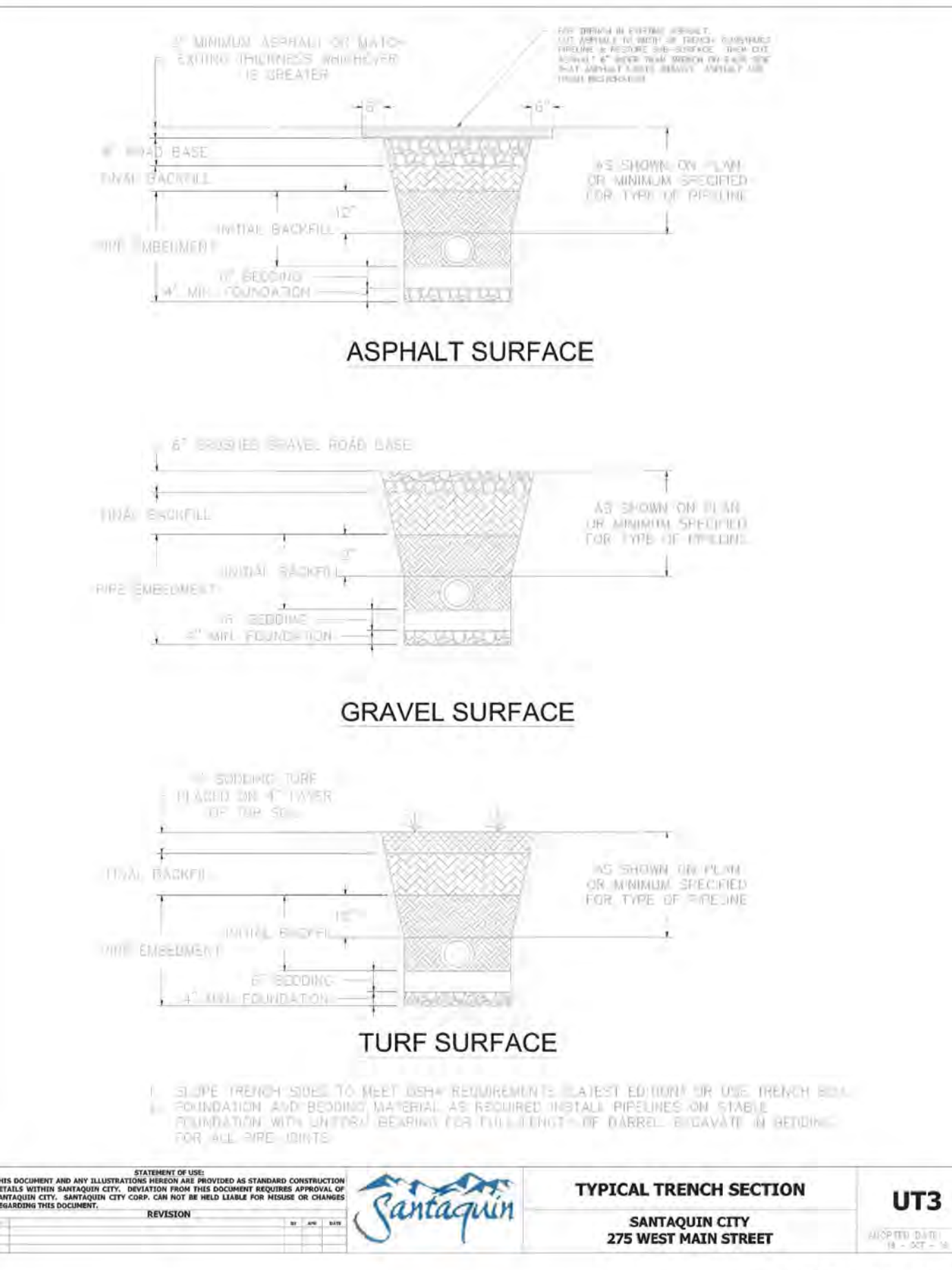
**PRESSURIZED IRRIGATION METER BOX**  
SANTAQUIN CITY  
275 WEST MAIN STREET

NOT TO SCALE



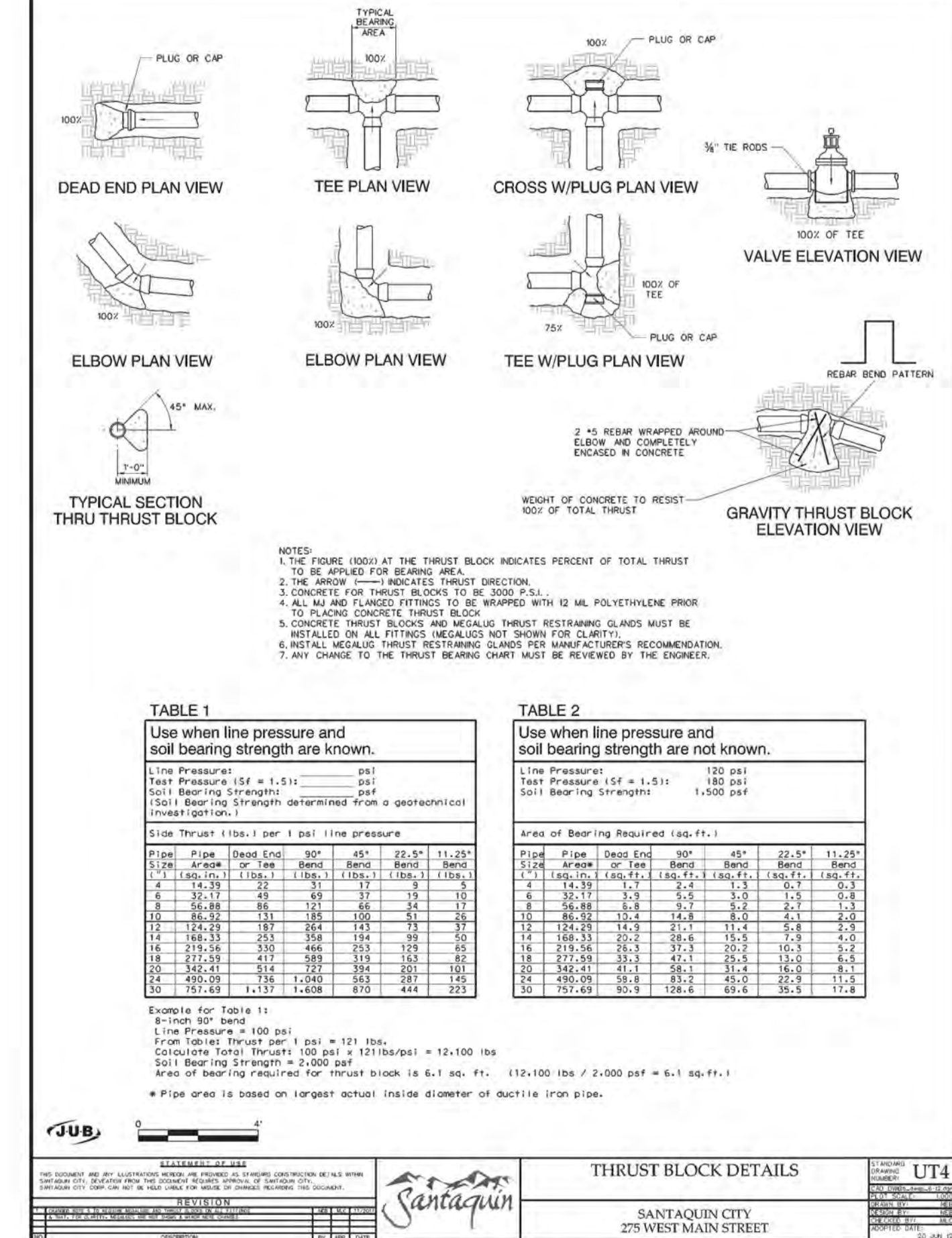
**PRESSURE IRRIGATION SYSTEM DRAINS**  
SANTAQUIN CITY  
275 WEST MAIN STREET

NOT TO SCALE



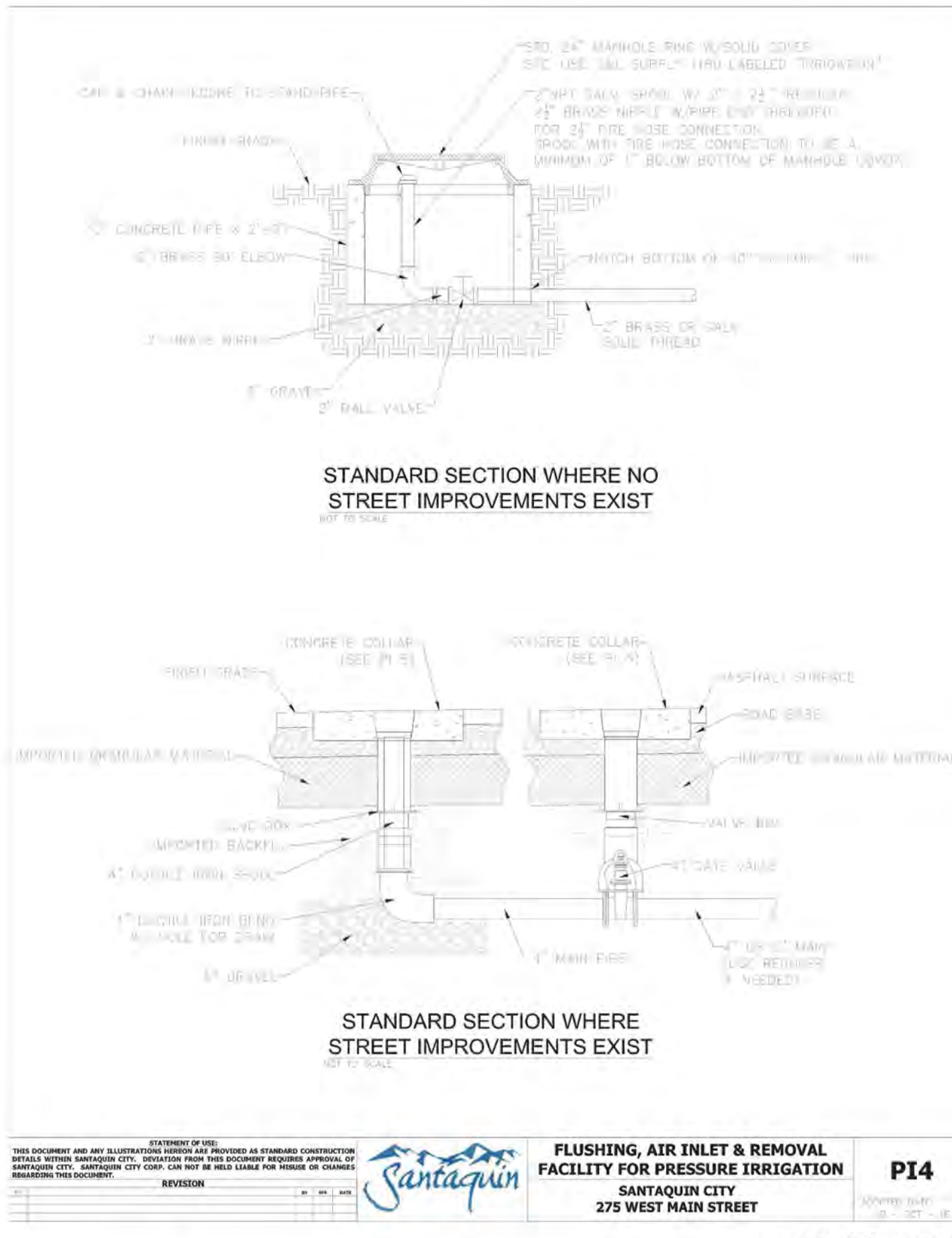
**TYPICAL TRENCH SECTION**  
SANTAQUIN CITY  
275 WEST MAIN STREET

NOT TO SCALE



**THRUST BLOCK DETAILS**  
SANTAQUIN CITY  
275 WEST MAIN STREET

NOT TO SCALE



**FLUSHING, AIR INLET & REMOVAL FACILITY FOR PRESSURE IRRIGATION**  
SANTAQUIN CITY  
275 WEST MAIN STREET

NOT TO SCALE

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paul@gatewayconsultingllc.com

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CONSTRUCTION MANAGEMENT

DATE	DESCRIPTION
2-8-21	ORIG. DATE
GPW	SURVEY BY
GPW	DRAWN BY
GPW	DESIGNED BY
GPW	CHECKED BY
N/A	SCALE

**STRATTON ACRES**  
**PHASE 1**  
IRRIGATION WATER DETAILS

7-20-2022

**SANTAQUIN**  
CITY

**PROFESSIONAL ENGINEER**  
PAUL J. WILSON  
UT 00000000

