

# CONSTRUCTION SHOP BUILDING

## GREENHALGH CONSTRUCTION

1268 W. TIMPANOGOS TERRACE

SANTAQUIN, UTAH 84655



**GREENHALGH  
CONSTRUCTION**

**SHOP BUILDING**

1268 W. TIMPANOGOS  
TERRACE  
SANTAQUIN, UTAH 84655

### DRAWING INDEX

GENERAL
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ELECTRICAL
E1.0 ELECTRICAL SITE PLAN

#### CIVIL ENGINEER

**ATLAS ENGINEERING**  
946 EAST 800 NORTH, SUITE A  
SPANISH FORK, UTAH 84660  
ANDREW J. DELPIVO, P.E.  
801.655.0566  
aj@atlasengr.com

#### ARCHITECT

**WPA ARCHITECTURE**  
1535 NORTH FREEDOM BLVD., SUITE 360  
PROVO, UTAH 84604  
BRUCE T. FALLON, AIA, LEED AP  
801.374.0800  
bfallon@wpa-architecture.com

#### OWNER

**GREENHALGH CONSTRUCTION**  
135 WEST 200 NORTH  
SANTAQUIN, UTAH 84655  
KIRK GREENHALGH  
801.404.3000  
kirk@greenhalghconstruction.com

#### STRUCTURAL ENGINEER

**DYNAMIC STRUCTURES**  
744 SOUTH 400 EAST  
OREM, UTAH 84057  
JAY ADAMS, S.E.  
801.356.1140  
jay@dstructures.com

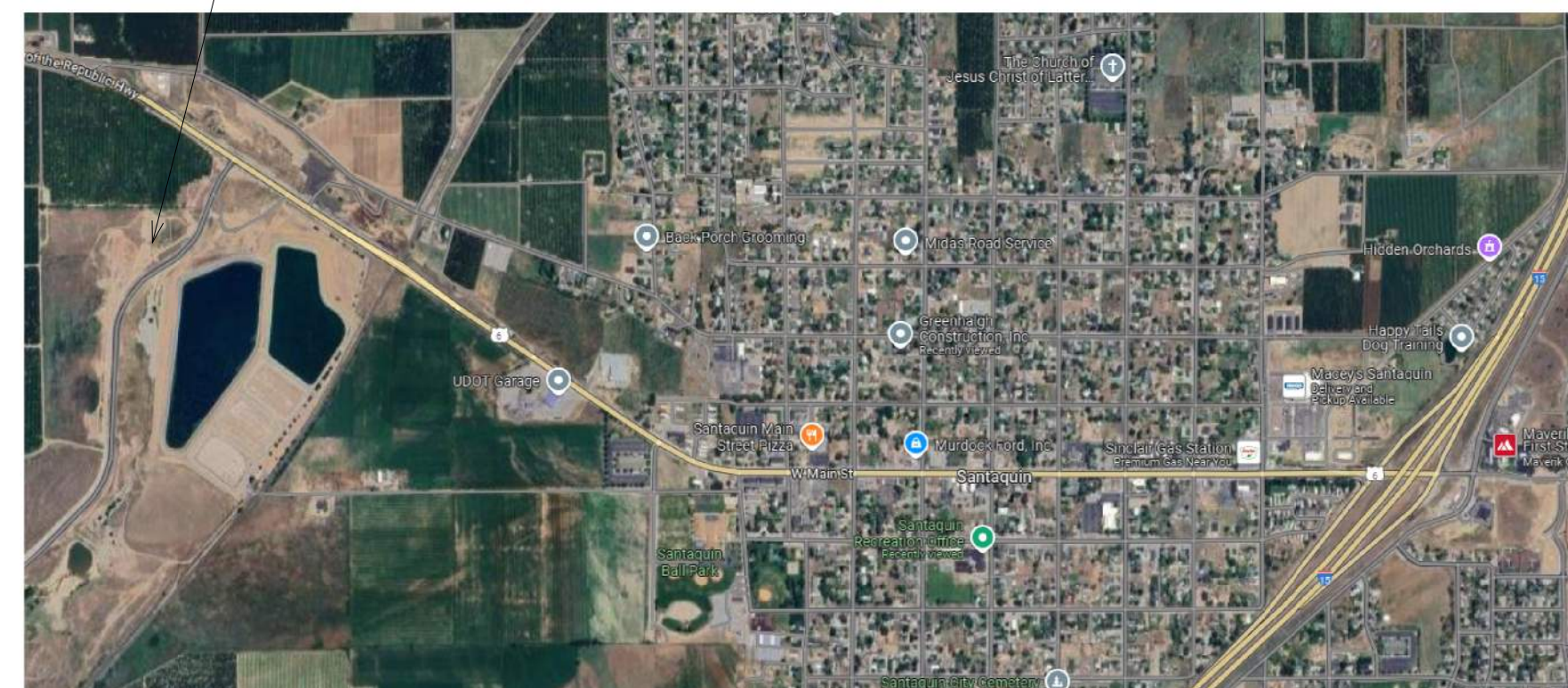
#### MECHANICAL ENGINEER

**RED BRICK ENGINEERING**  
1052 SOUTH 1350 EAST  
SPANISH FORK, UTAH 84660  
ZACH LARSON, P.E.  
801.224.5335  
zach@redbrickengineering.com

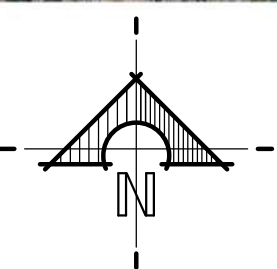
#### ELECTRICAL ENGINEER

**RED BRICK ENGINEERING**  
1052 SOUTH 1350 EAST  
SPANISH FORK, UTAH 84660  
ZACH LARSON, P.E.  
801.224.5335  
zach@redbrickengineering.com

#### PROJECT LOCATION



VICINITY MAP



### GENERAL NOTES

- A. ALL EXIT ACCESS DOORS AND EXITS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. USE OF MANUAL FLUSH BOLTS, EDGE BOLTS, TOP OR BOTTOM BOLTS, ETC. IS PROHIBITED.
- B. GLAZING IN DOORS OR IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE IS WITHIN A 34 INCH ARC OF THE DOOR AND WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE MUST BE TEMPERED.
- C. TANK TYPE WATER CLOSETS SHALL HAVE A MAXIMUM WATER USE OF 1.6 GALLONS PER FLUSH. SHOWERS SHALL HAVE A MAXIMUM FLOW OF 2.5 GALLONS PER MINUTE.
- D. BURNING OF CONSTRUCTION WASTE MATERIALS IS PROHIBITED AT ALL TIMES.
- E. PROVIDE ONE RECESSED 2-A FIRE EXTINGUISHER FOR EVERY 3,000 SQ. FT. OF FLOOR AREA WITH A MAXIMUM TRAVEL DISTANCE OF 75 FEET TO AN EXTINGUISHER.
- F. STORAGE OF EQUIPMENT, BOLS, CONSTRUCTION MATERIALS ON PUBLIC RIGHT-OF-WAY (STREETS/SIDEWALKS) OR BASEMENT IS EXPRESSLY PROHIBITED.
- G. GENERAL CONTRACTOR TO PROCURE ALL REQUIRED PERMITS FROM AUTHORITY HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO BUILDING ENGINEERING, RIGHT OF WAY, AND OTHER PERMITS REQUIRED FOR SUB-CONTRACTOR WORK.
- H. GENERAL CONTRACTOR TO PROVIDE REQUIRED FIRE EXTINGUISHERS TO BE PRESENT DURING CONSTRUCTION.
- I. DIMENSIONS ARE SHOWN TO FACE OF STUD, UNLESS NOTED OTHERWISE.
- J. ALL APPLICABLE ELEMENTS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES WILL BE ADHERED TO.
- K. SEE ELECTRICAL DRAWINGS FOR RELATED SITE UTILITIES.
- L. COMPLY WITH SPANISH FORK CITY STANDARDS, SPECIFICATIONS, AND DRAWINGS.
- M. COMPLY WITH REQUIREMENTS OF PROJECT GEO-TECHNICAL REPORT.
- N. FINISH GRADE AND FINISH SIDEWALKS TO SLOPE AWAY FROM BUILDING WITH POSITIVE DRAINAGE.

### PROJECT DATA

SITE ADDRESS: 1268 WEST TIMPANOGOS TERRACE  
SANTAQUIN, UTAH 84655  
PARCEL NUMBER: T1002.0014  
ZONING: I-1  
GENERAL PLAN: 1 (INDUSTRIAL)  
EXISTING USE: VACANT  
PROPOSED USE: CONSTRUCTION SHOP & OFFICE  
LAND AREA: 3.746 ACRES

revision information
no. date description

milestone issue date
12.30.2024
milestone issue description
SITE PLAN REVIEW
latest revision date
latest revision description

COVER SHEET

# G1.1

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# GREENHALGH SITE PLAN

1268 WEST TIMPANOGOS TERRACE

SANTAQUIN, UTAH

FINAL PLAN SET

JANUARY 2025

## -SHEET INDEX-

SHEET	SHEET NAME
1	COVER
2	OVERALL BOUNDARY
3	OVERALL UTILITY LAYOUT
4	DRAINAGE PLAN
5	EXISTING TOPOGRAPHY
6A	TBC PLAN
6B	TBC PLAN
DT-01	DETAIL SHEET



### BOUNDARY DESCRIPTION:

BEING A PARCEL OF LAND, BEING LOCATED IN SECTION 3, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, BEING IN SANTAQUIN CITY, UTAH COUNTY, STATE OF UTAH BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT LOCATED SOUTH 00°30'52" EAST 169.56 FEET AND EAST 561.06 FEET FROM THE NORTH 1/4 CORNER OF SECTION 3, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 89°23'57" EAST 310.25 FEET; THENCE SOUTH 00°35'40" WEST 487.66 FEET; THENCE SOUTHWESTERLY 122.72 FEET ALONG THE ARC OF A 792.00 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 8°52'40"; THENCE NORTH 55°06'47" WEST 14.15 FEET; THENCE NORTHWESTERLY 110.21 FEET ALONG THE ARC OF A 181.00 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 34°53'14"; THENCE WEST 94.43 FEET; THENCE NORTH 00°30'52" WEST 532.62 FEET TO THE POINT OF BEGINNING.

CONTAINING 3.75 ACRES.

### GENERAL NOTES:

- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES, AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES, AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES, AND STANDARDS.
- ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

### CONTRACTOR NOTE:

THE SIZE, ELEVATION, & LOCATIONS OF EXISTING IMPROVEMENTS AND UTILITIES SHOWN HEREON ARE ASSUMED AND APPROXIMATELY SHOWN BASED UPON THE FIELD DATA FROM THE SURVEY. ALL SIZES, LOCATIONS & ELEVATIONS ARE TO BE VERIFIED. IF THERE ARE DIFFERENCES OR DISCREPANCIES, ATLAS ENGINEERING, LLC NEEDS TO BE NOTIFIED BEFORE CONSTRUCTION. ATLAS ENGINEERING, LLC WILL NOT BE LIABLE OR RESPONSIBLE FOR REMOVAL, CONSTRUCTION, OR INSTALLATION OF IMPROVEMENTS THAT ARE NOT IN ACCORDANCE WITH THESE PLANS. ANY AND ALL CHANGES OR VARIATIONS IN THE REMOVAL, CONSTRUCTION OR INSTALLATION OF THE IMPROVEMENTS MADE WITHOUT THE APPROVAL OF THE DESIGNER WILL RESULT IN SOLE LIABILITY TO THE CONTRACTOR. IN ADDITION, ATLAS ENGINEERING, LLC ASSUMES NO RESPONSIBILITY FOR ANY AND ALL EXISTING UTILITIES NOT SHOWN ON THIS PLAN AND ASSUMES NO LIABILITY FOR FAILURE TO EXACTLY LOCATE ALL EXISTING UTILITIES, SHOULD THERE BE INCIDENT.

### ENGINEER/SURVEYOR CONTACT INFO:

ATLAS ENGINEERING LLC  
(801) 655-0566  
946 E. 800 N. SUITE A  
SPANISH FORK, UT 84660

### OWNER/DEVELOPER

KIRK GREENHALGH  
GREENHALGH CONSTRUCTION  
(801) 404-3000  
135 W 200 N, SANTAQUIN, UT 84665  
kirk@greenhalghconstruction.com



### VICINITY MAP

-NTS-

### DATA TABLE

TOTAL ACREAGE= 3.75 ACRES  
PARCEL SIZE = 3.75 SF  
BUILDING AREA= 13,600 SF  
PARKING LOT AREA= 26,608 SF  
LANDSCAPED AREA= 13,402 SF  
CONCRETE WALK AREA= 1,409 SF  
ACREAGE OF OPEN SPACE/LANDSCAPING= 0.30 ACRES  
% OF OPEN SPACE = 8.21%  
ZONING= I-1

### PARKING TABLE

MAIN LEVEL WAREHOUSE: 11,102 SF  
UPPER LEVEL MEZZANINE (STORAGE): 2,522 SF  
TOTAL WAREHOUSE/STORAGE: 13,624 SF  
MAIN LEVEL OFFICE: 2,498 SF  
PARKING REQUIRED: 21 STALLS  
PARKING STALLS PROVIDED: 21 STALLS

### LEGEND

(APPLIES TO ALL SHEETS)

	EXISTING POWER POLE
	PROPOSED STREET LIGHT
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING STREET LIGHT
	EXISTING SIGN
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPERTY BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY LINE
	LOT LINE
	SECTION LINE
	EASEMENT
	EXISTING DEED LINE
	EDGE OF PAVEMENT
	EXISTING OVER HEAD POWER
	EXISTING FENCE LINE
	EXISTING SANITARY SEWER W/MANHOLE
	EXISTING STORM DRAIN W/MH
	EXISTING WATER
	EXISTING PRESSURIZED IRRIGATION
	PROPOSED SEWER
	PROPOSED STORM DRAIN
	PROPOSED CULINARY WATER
	PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
	PROPOSED ASPHALT
	PROPOSED CONCRETE/CURB & GUTTER
	REVERSE LIP CURB

## GREENHALGH SITE PLAN



ATLAS ENGINEERING  
CIVIL · STRUCTURAL · SURVEY

PHONE: 801-655-0566  
946 E. 800 N. SUITE A  
SPANISH FORK, UT 84660



**NORTHWEST CORNER,  
SECTION 3, T10S,  
R1E, SLB&M**

**BASIS OF BEARING  
S89°30'24"W 2649.01'**

**NORTH 1/4 CORNER,  
SECTION 3, T10S,  
R1E, SLB&M**

**S00°30'52"E 169.56'**

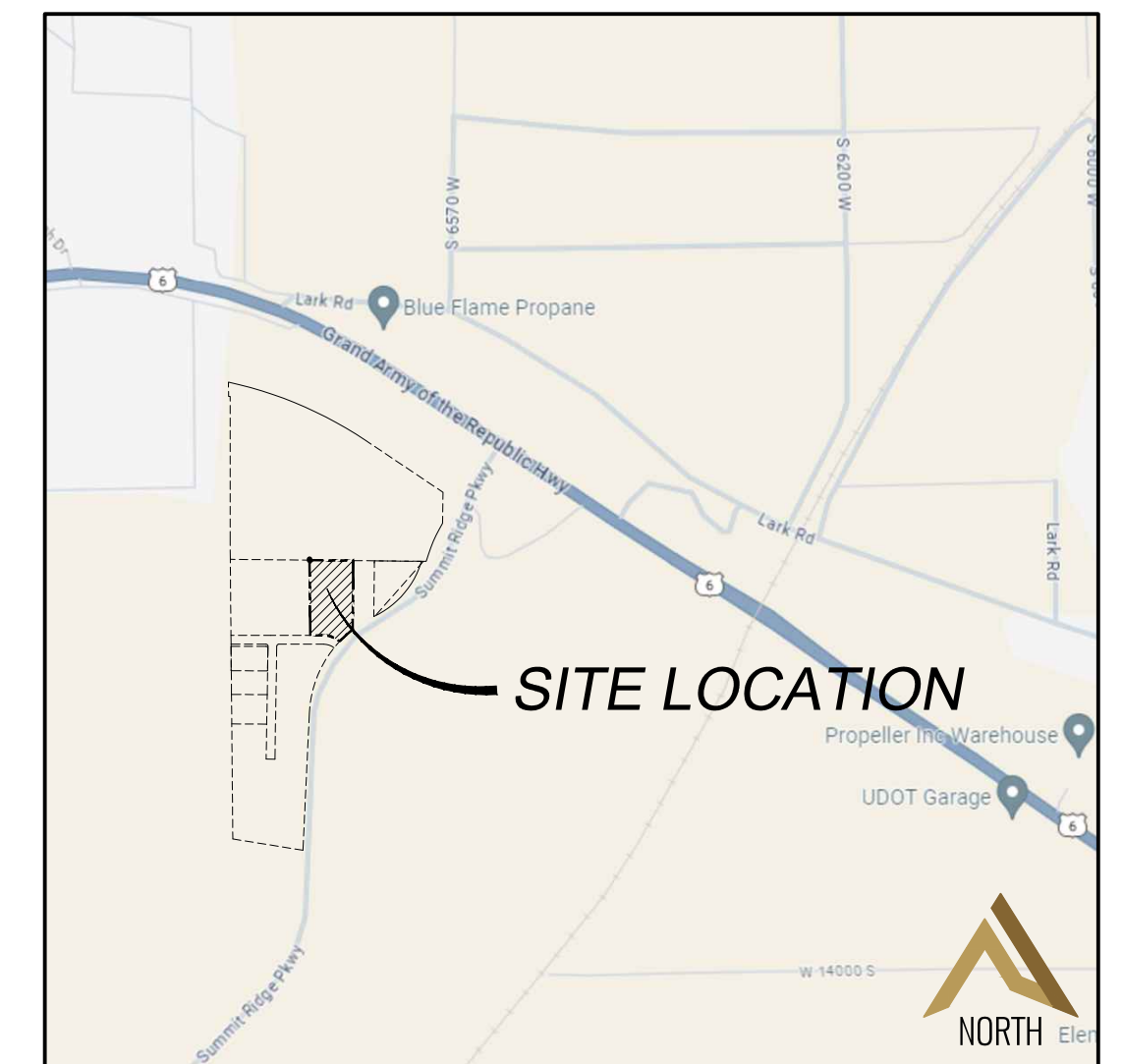
**DATA TABLE**  
 TOTAL ACREAGE= 3.75 ACRES  
 PARCEL SIZE = 3.75 SF  
 BUILDING AREA= 13,600 SF  
 PARKING LOT AREA= 26,608 SF  
 LANDSCAPED AREA= 13,402 SF  
 CONCRETE WALK AREA= 1,409 SF  
 ACREAGE OF OPEN SPACE/LANDSCAPING= 0.30 ACRES  
 % OF OPEN SPACE = 8.21%  
 ZONING= I-1

**PARKING TABLE**  
 MAIN LEVEL WAREHOUSE: 11,102 SF  
 UPPER LEVEL MEZZANINE (STORAGE): 2,522 SF  
 TOTAL WAREHOUSE/STORAGE: 13,624 SF  
 MAIN LEVEL OFFICE: 2,498 SF  
 PARKING REQUIRED: 21 STALLS  
 PARKING STALLS PROVIDED: 21 STALLS

ROWLEY'S SOUTH RIDGE FARMS INC.  
29:036:0093

**BOUNDARY DESCRIPTION:**  
 BEING A PARCEL OF LAND, BEING LOCATED IN SECTION 3, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, BEING IN SANTAQUIN CITY, UTAH COUNTY, STATE OF UTAH BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT LOCATED SOUTH 00°30'52" EAST 169.56 FEET AND EAST 561.06 FEET FROM THE NORTH 1/4 CORNER OF SECTION 3, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 89°23'57" EAST 310.25 FEET; THENCE SOUTH 00°35'40" WEST 487.66 FEET; THENCE SOUTHWESTERLY 122.72 FEET ALONG THE ARC OF A 792.00 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 8°52'40"; THENCE NORTH 55°06'47" WEST 14.15 FEET; THENCE NORTHWESTERLY 110.21 FEET ALONG THE ARC OF A 181.00 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 34°53'14"; THENCE WEST 94.43 FEET; THENCE NORTH 00°30'52" WEST 532.62 FEET TO THE POINT OF BEGINNING.  
 CONTAINING 3.75 ACRES.



**VICINITY MAP**  
-NTS-

**LEGEND**

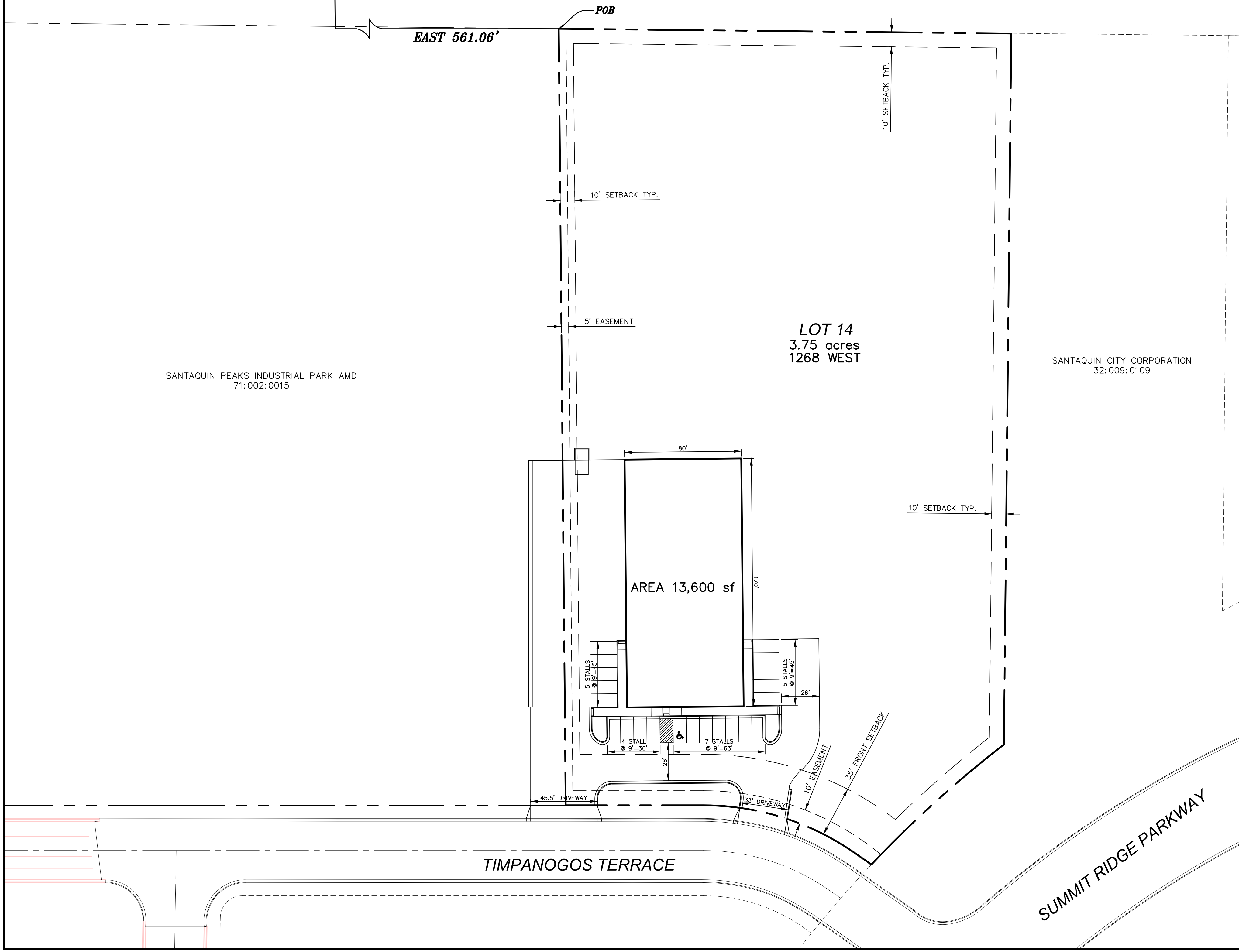
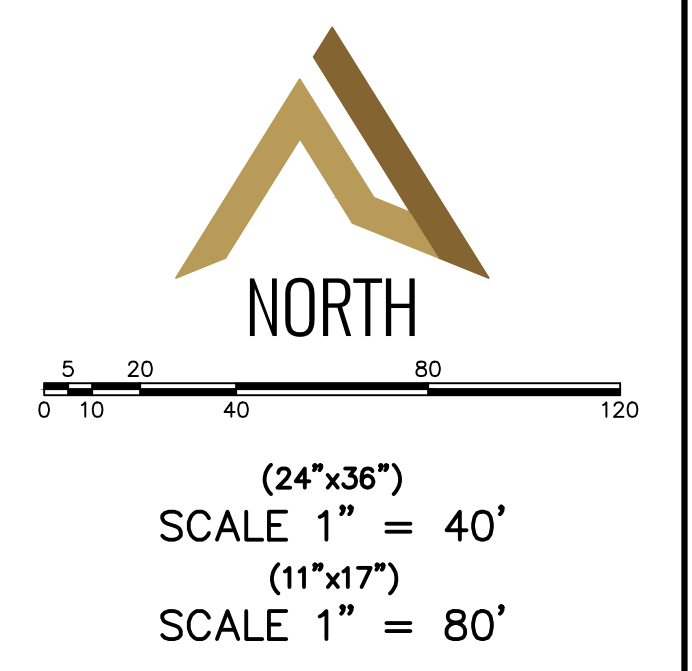
- UTAH COUNTY MONUMENT
- FOUND MONUMENT
- 
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**LINE TABLE**

LINE	DIRECTION	LENGTH
XXX	X	

**CURVE TABLE**

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
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SHEET NO.  
**2**

NO.	REVISIONS	BY	DATE
12			
11			
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1			

OVERAL BOUNDARY

SANTAQUIN, UTAH

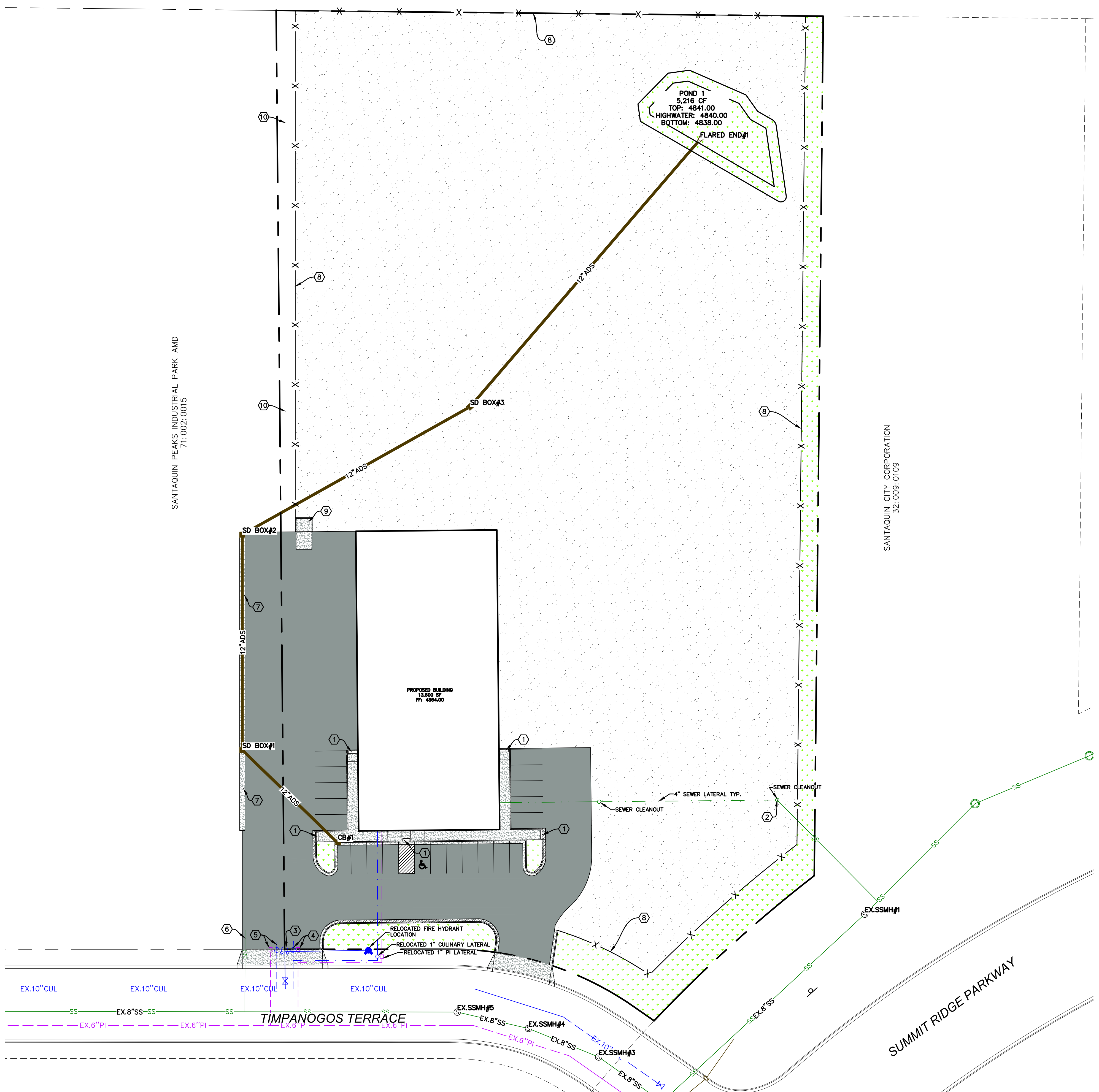
GREENHALGH SITE PLAN

**ATLAS ENGINEERING**  
 CIVIL · STRUCTURAL · SURVEY

PHONE: 801-955-0555  
 946 E. BOON, SUITE A  
 SPANISH FORK, UT 84601

C:\USERS\GAVIN\ATLAS ENGINEERING\COMMUNICATION SITE - DOCUMENTS\1.0 OPERATIONS\1.1 - CIVIL\2024\24-018 GREENHALGH INDUSTRIAL\CADD\FINAL\02-OVERALL BOUNDARY.DWG





- CONSTRUCTION NOTES:**
- ① CONST. ADA RAMP PER SANTAQUIN CITY STANDARDS.
  - ② LOCATE & TIE TO EXISTING SEWER LATERAL.
  - ③ RELOCATE EXISTING FIRE HYDRANT ASSEMBLY.
  - ④ EXISTING CULINARY & PI LATERALS TO BE RELOCATED.
  - ⑤ EXISTING CULINARY & PI LATERALS TO BE REMOVED.
  - ⑥ EXISTING SEWER LATERAL TO REMAIN.
  - ⑦ CONST. 3' CROSS GUTTER.
  - ⑧ INSTALL 6' CHAIN LINK FENCE.
  - ⑨ CONST. DUMPSTER ENCLOSURE PER SANTAQUIN CITY STANDARDS AND DETAIL ON SHEET DT-01.
  - ⑩ SHARED ACCESS WITH ADJACENT PARCEL.

**LEGEND**

	EXISTING POWER POLE
	PROPOSED STREET LIGHT
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING STREET LIGHT
	EXISTING SIGN
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPERTY BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY LINE
	LOT LINE
	SECTION LINE
	EASEMENT
	EXISTING DEED LINE
	EDGE OF PAVEMENT
	EXISTING OVER HEAD POWER
	EXISTING FENCE LINE
	EXISTING SANITARY SEWER W/MANHOLE
	EXISTING STORM DRAIN W/MH
	EXISTING WATER
	EXISTING PRESSURIZED IRRIGATION
	PROPOSED SEWER
	PROPOSED STORM DRAIN
	PROPOSED CULINARY WATER
	PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
	PROPOSED ASPHALT
	PROPOSED CONCRETE/CURB & GUTTER
	REVERSE LIP CURB
	PROPOSED ROADBASE STORAGE YARD
	PROPOSED LANDSCAPING

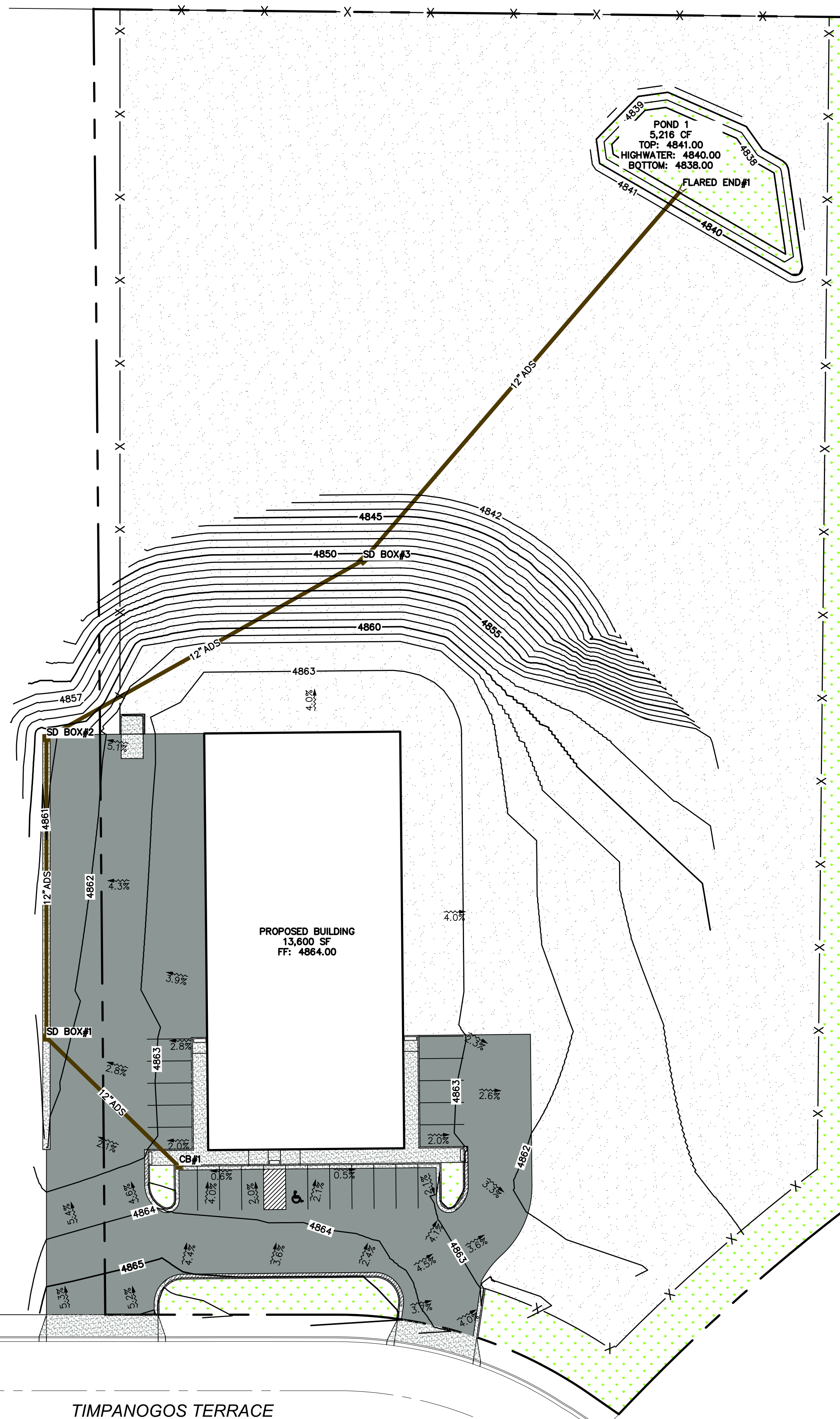
**NORTH**

SCALE 1" = 30'  
(24"x36")  
SCALE 1" = 60'  
(11"x17")

<b>OVERALL UTILITY LAYOUT</b>		<b>SANTAQUIN, UTAH</b>
<b>GREENHALGH SITE PLAN</b>		<b>ATLAS ENGINEERING</b> CIVIL · STRUCTURAL · SURVEY
PHONE: 801-555-0555 946 E. BOON SUITE A SPANISH FORK, UT 84601		SHEET NO. <b>3</b>
C:\USERS\GAVIN\ATLAS ENGINEERING\COMMUNICATION SITE - DOCUMENTS\1.0 OPERATIONS\1.1 - CIVIL\2024\24-018 GREENHALGH INDUSTRIAL\CADD\FINAL\03-SITE PLAN.DWG		REVISIONS NO. 1 BY DATE



SANTAQUIN PEAKS INDUSTRIAL PARK AMD  
71:002:0015



SANTAQUIN CITY CORPORATION  
32:009:0109

**LEGEND**

- EXISTING POWER POLE
- PROPOSED STREET LIGHT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STREET LIGHT
- EXISTING SIGN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- EASEMENT
- EXISTING DEED LINE
- EDGE OF PAVEMENT
- EXISTING OVER HEAD POWER
- EXISTING FENCE LINE
- EXISTING SANITARY SEWER W/MANHOLE
- EXISTING STORM DRAIN W/MH
- EX-CUL
- EX-PI
- 8"SS
- 15"SD
- 8"CUL
- 6"PI
- PROPOSED ASPHALT
- PROPOSED CONCRETE/CURB & GUTTER
- REVERSE LIP CURB
- PROPOSED ROADBASE STORAGE YARD
- PROPOSED LANDSCAPING

**NORTH**

0 15 30 60 90

(24"x36")  
SCALE 1" = 30'  
(11"x17")  
SCALE 1" = 60'

SHEET NO.  
**4**

NO.	REVISIONS	BY	DATE
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**DRAINAGE PLAN**

**SANTAQUIN, UTAH**

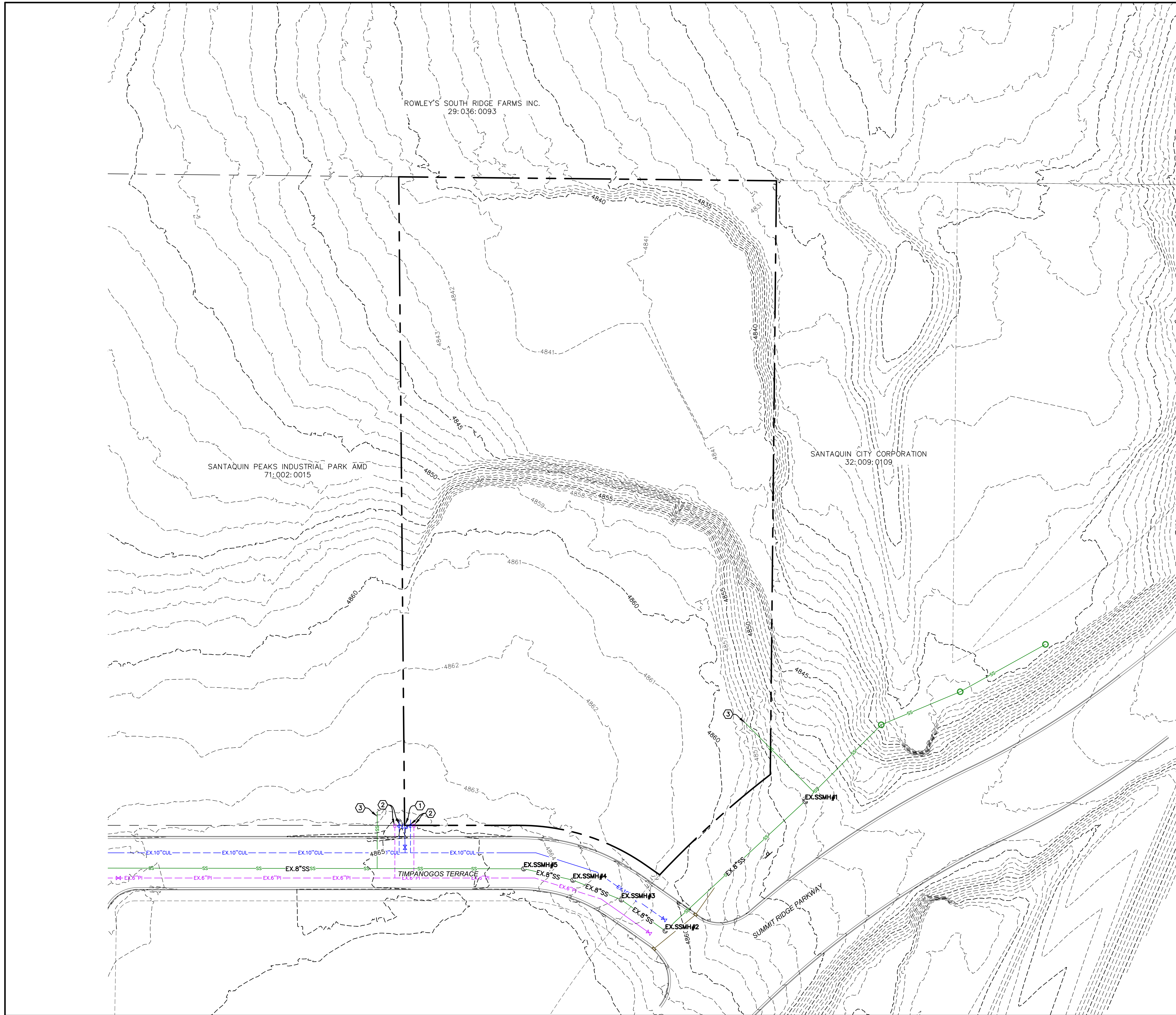
**GREENHALGH SITE PLAN**

**ATLAS ENGINEERING**  
CIVIL · STRUCTURAL · SURVEY

PHONE: 801-955-0566  
946 E. BOON SUITE A  
SPANISH FORK, UT 84601

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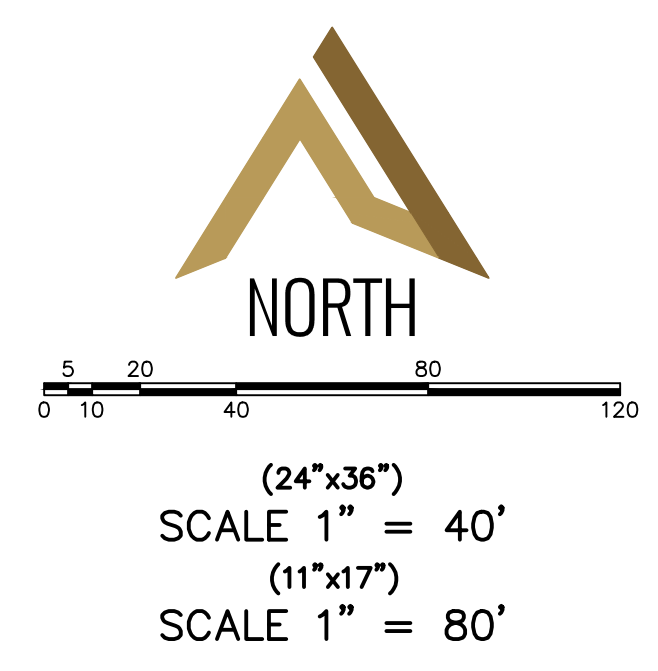




- CONSTRUCTION NOTES:**
- ① REMOVE AND RELOCATE EXISTING FIRE HYDRANT ASSEMBLY.
  - ② EXISTING CULINARY & PI LATERALS TO BE REMOVED.
  - ③ EXISTING SEWER LATERAL TO REMAIN.

**LEGEND**

- EXISTING POWER POLE
- PROPOSED STREET LIGHT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STREET LIGHT
- EXISTING SIGN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- EASEMENT
- EXISTING DEED LINE
- EDGE OF PAVEMENT
- EXISTING OVER HEAD POWER
- EXISTING FENCE LINE
- EXISTING SANITARY SEWER W/MANHOLE
- EXISTING STORM DRAIN W/MH
- EX.CUL
- EX.PI
- 8"SS
- 15"SD
- 8"CUL
- 6"PI
- PROPOSED ASPHALT
- PROPOSED CONCRETE/CURB & GUTTER
- REVERSE LIP CURB
- PROPOSED ROADBASE STORAGE YARD
- PROPOSED LANDSCAPING



SHEET NO.		5
EXISTING TOPOGRAPHY	SANTAQUIN, UTAH	
GREENHALGH SITE PLAN	ATLAS ENGINEERING CIVIL · STRUCTURAL · SURVEY	

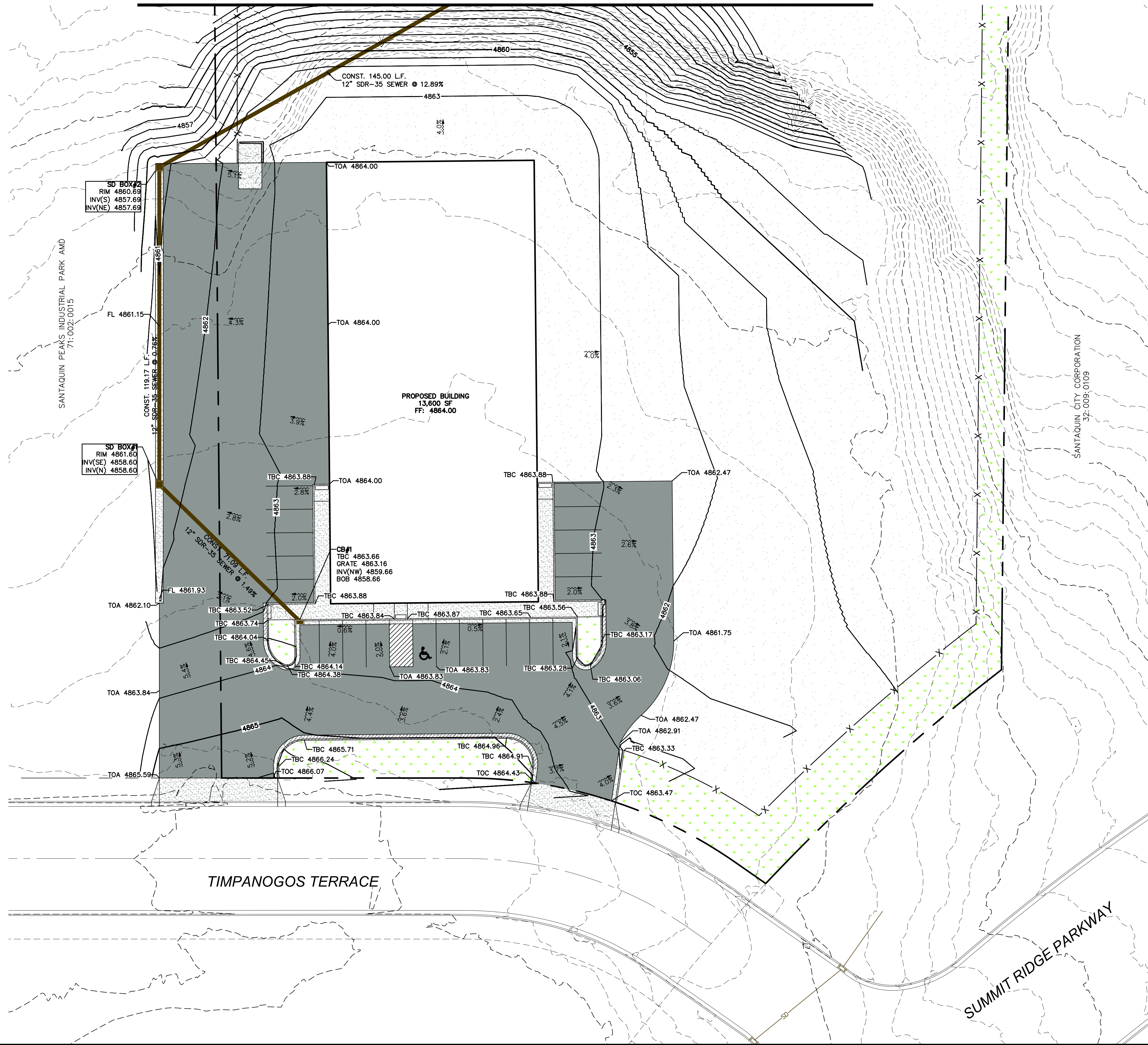
PHONE: 801-955-6565  
946 E. BOON SUITE A  
SPANISH FORK, UT 84601

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NO.	REVISIONS	BY	DATE
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MATCHLINE - SEE SHEET 6B



**LEGEND**

- EXISTING POWER POLE
- PROPOSED STREET LIGHT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STREET LIGHT
- EXISTING SIGN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- EASEMENT
- EXISTING DEED LINE
- EOP
- EDGE OF PAVEMENT
- OHP
- EXISTING OVER HEAD POWER
- EXISTING FENCE LINE
- EX-SS
- EX-SD
- EX-CUL
- EX-PI
- EX-PI
- 8"SS
- 15"SD
- 8"CUL
- 6"PI
- PROPOSED ASPHALT
- PROPOSED CONCRETE/CURB & GUTTER
- REVERSE LIP CURB
- PROPOSED ROADBASE STORAGE YARD
- PROPOSED LANDSCAPING

NORTH

2 10 20 40 60

(24"x36")  
SCALE 1" = 20'  
(11"x17")  
SCALE 1" = 40'

SHEET NO.  
**6A**

NO.	REVISIONS	BY	DATE
12			
11			
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**TBC PLAN**

**SANTAQUIN, UTAH**

**GREENHALGH SITE PLAN**

**ATLAS ENGINEERING**  
CIVIL · STRUCTURAL · SURVEY

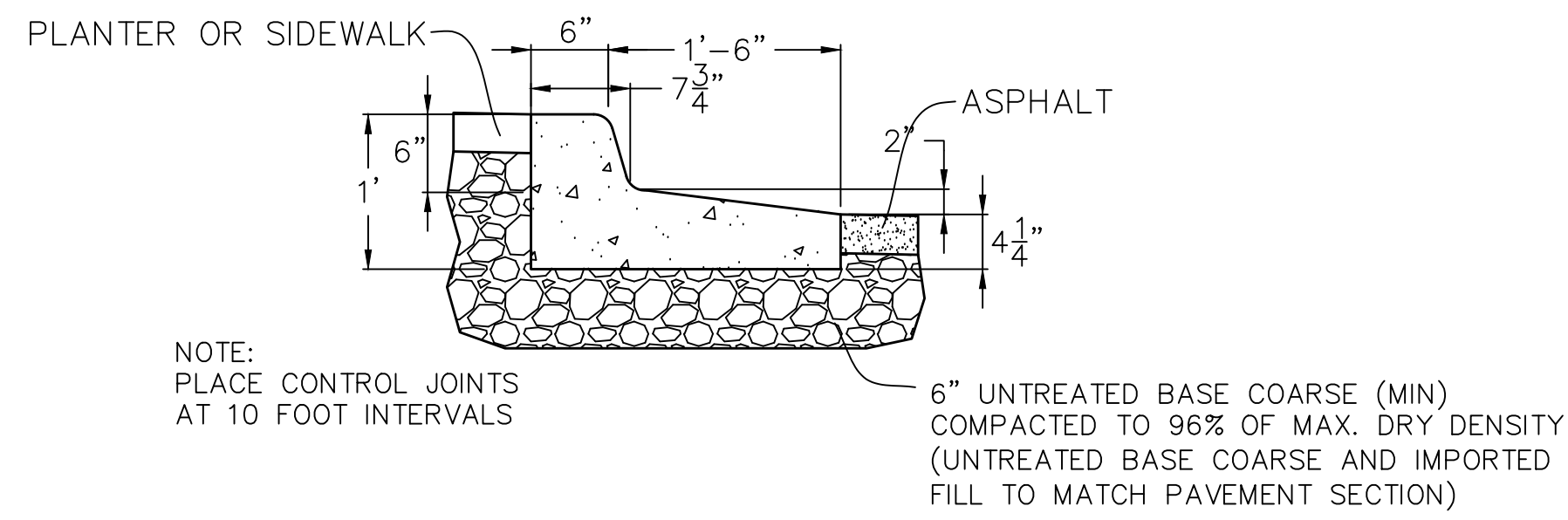
PHONE: 801-455-4566  
946 E. BOON SUITE A  
SPANISH FORK, UT 84603

G:\USERS\GAVINWEST\ATLAS ENGINEERING\COMMUNICATION SITE - DOCUMENTS\1.0 OPERATIONS\1.1 - CIVIL\2024\24-018 GREENHALGH INDUSTRIAL\CADD\FINAL\06-TBC.PLAN.DWG



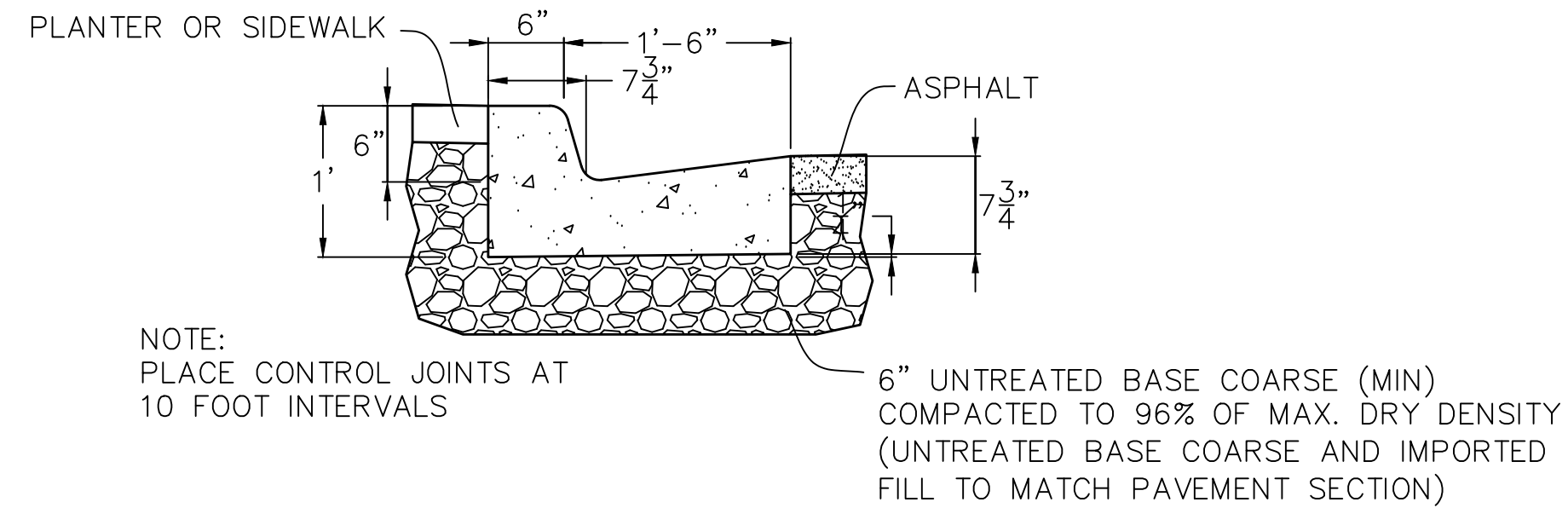






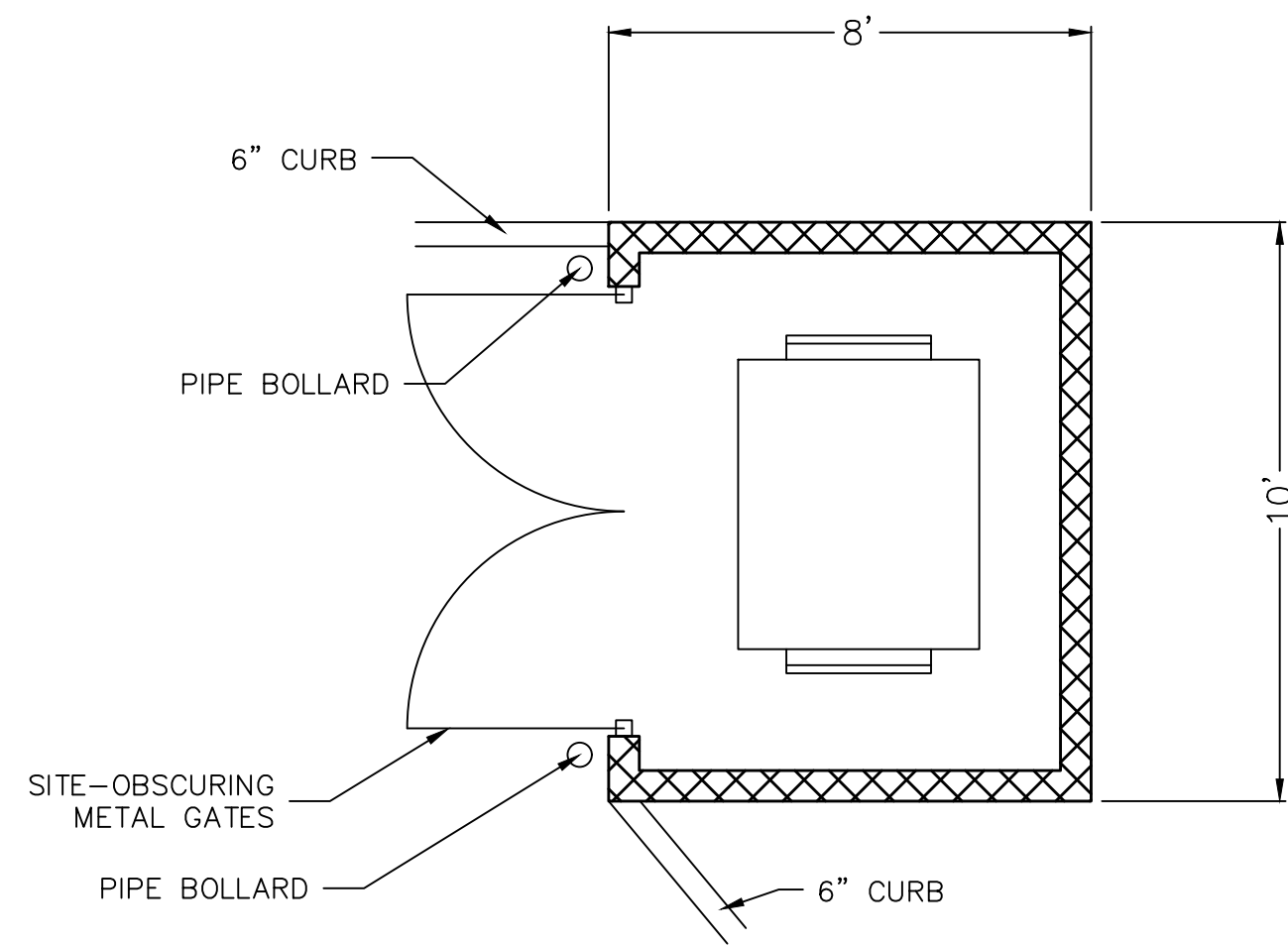
**24" REVERSE LIP CURB & GUTTER**

FOR USE IN PRIVATE STREETS  
-NTS-



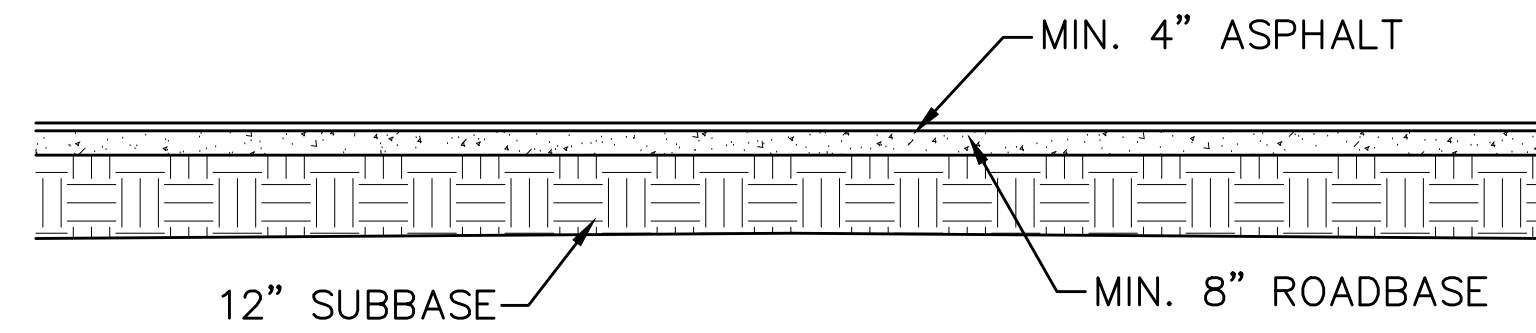
**24" STANDARD CURB & GUTTER**

FOR USE IN PRIVATE STREETS  
-NTS-



**DUMPSTER ENCLOSURE**

SCREENED ON THREE (3) SIDES WITH STEEL SIDING AND TRIM MATCHING EXTERIOR OF BUILDING AND HAVING A HEIGHT OF AT LEAST ONE (1') FOOT ABOVE RECEPTACLE. A STEEL SITE-OBSCURING GATE AT LEAST SIX (6') FEET HIGH IS REQUIRED.



**PARKING LOT CROSS SECTION**

-NTS-

\*A SITE-SPECIFIC GEOTECHNICAL REPORT HAS NOT BEEN CONDUCTED. THICKNESSES USED ARE FROM SANTAQUIN CITY STANDARDS AND HAVE BEEN ADJUSTED CONSERVATIVELY.

SHEET NO.

DT-01

NO.	REVISIONS	BY	DATE
12			
11			
10			
9			
8			
7			
6			
5			
4			
3			
2			
1			

DETAIL SHEET

SANTAQUIN, UTAH

C:\USERS\GAVIN\WEST\ATLAS ENGINEERING\COMMUNICATION SITE - DOCUMENTS\1.0 OPERATIONS\1.1 - CIVIL\2024\24-018 GREENHALGH INDUSTRIAL\CADD\FINAL\DT-01.DWG

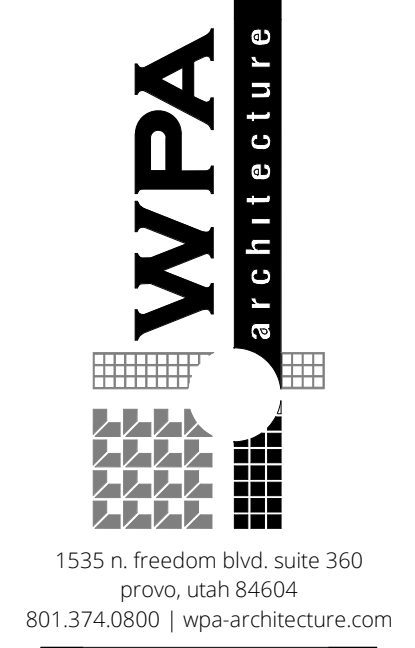
GREENHALGH SITE PLAN

**ATLAS ENGINEERING**  
CIVIL · STRUCTURAL · SURVEY

PHONE: 801-955-0566  
946 E. BOON, SUITE A  
SPRINGFORK, UT 84607



- ◇ TYPICAL REFERENCE FOR CONSTRUCTION TYPE - SEE SHEET A3.1
  - TYPICAL REFERENCE FOR DOOR TYPE - SEE SHEET A3.2
  - TYPICAL REFERENCE FOR WINDOW TYPE - SEE SHEET A3.2
- 1 EXISTING STREET CURB & GUTTER TO REMAIN
  - 2 EXISTING STREET ASPHALT TO REMAIN
  - 3 CROSS HATCHED AREA INDICATES PLANTER BED WITH 12" OF SCREENED, SANDY LOAM TOP SOIL ON TOP OF SUB-GRADE. PROVIDE A MIX OF 2 - 4 INCH MINUS AND 4 - 6 INCH MINUS CALICO COBBLE FROM STAKER PARSON OR APPROVED EQUAL. INSTALL COBBLE TO A MINIMUM DEPTH OF 3 INCHES. PROVIDE DEWITT PROS WEED BARRIER BELOW COBBLE.
  - 4 CAST-IN-PLACE CONCRETE DRIVEWAY - SEE CIVIL DRAWINGS
  - 5 ASPHALT PAVING OVER BASE - SEE CIVIL DRAWINGS
  - 6 EDGE OF ASPHALT PAVING
  - 7 CAST-IN-PLACE CONCRETE CURB & GUTTER - SEE CIVIL DRAWINGS
  - 8 4" WIDE PAINTED PARKING LOT STRIPING
  - 9 CAST-IN-PLACE CONCRETE CURB RAMP - SEE CIVIL DRAWINGS
  - 10 4" THICK CAST-IN-PLACE CONCRETE SIDEWALK OVER BASE - SEE CIVIL DRAWINGS. PROVIDE CONTROL JOINTS AS SHOWN (6 FEET O.C., TYP.)
  - 11 3' X 3' PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY
  - 12 ACCESSIBLE PARKING SIGN - MOUNT TO BUILDING
  - 13 ACCESSIBLE ACCESS AISLE - PROVIDED DIAGONAL STRIPES AT 26" O.C.
  - 14 6" CAST-IN-PLACE CONCRETE CURB - SEE CIVIL DRAWINGS
  - 15 CAST-IN-PLACE CONCRETE CURB RAMP - SEE CIVIL DRAWINGS
  - 16 4" DIAMETER CONCRETE-FILLED STEEL BOLLARD
  - 17 CAST-IN-PLACE CONCRETE SILL - SEE CIVIL DRAWINGS
  - 18 STORM DRAIN INLET BOX - SEE CIVIL DRAWINGS
  - 19 FIRE HYDRANT - SEE CIVIL DRAWINGS
  - 20 COMPACTED ROAD BASE
  - 21 6" HIGH PRECAST CONCRETE FENCE W/ 6" MOUSTRIP UNDERNEATH
  - 22 DUMPSTER LOCATION
  - 23 POND 1 - PROVIDE 4" THICK LANDSCAPE COBBLE TO WITHIN 5 FEET OF TOP OF POND
  - 24 6" CAST-IN-PLACE CONCRETE MOW CURB



GREENHALGH CONSTRUCTION

SHOP BUILDING

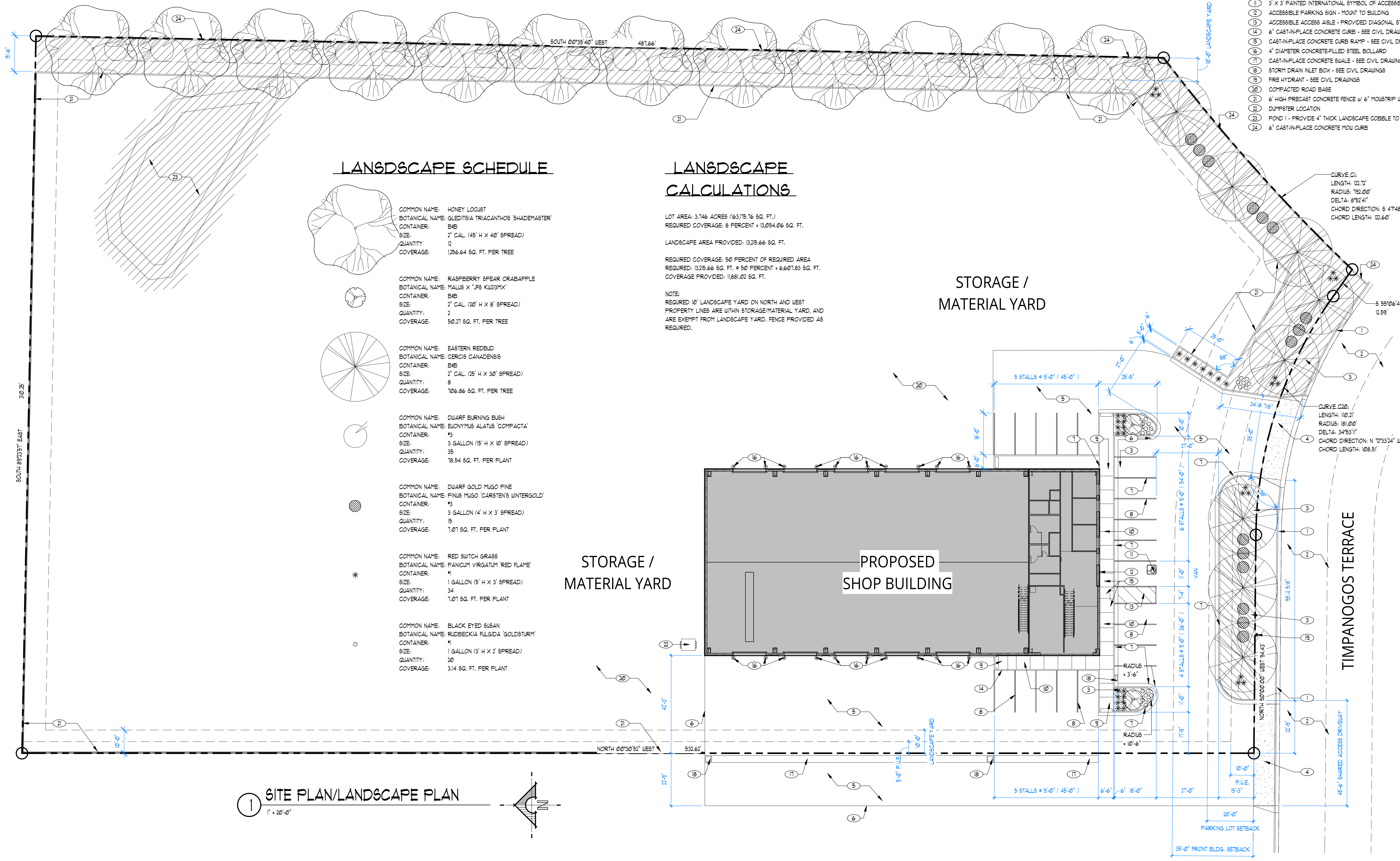
1268 W. TIMPANOGOS TERRACE  
SANTAQUIN, UTAH 84655

revision information		
no.	date	description

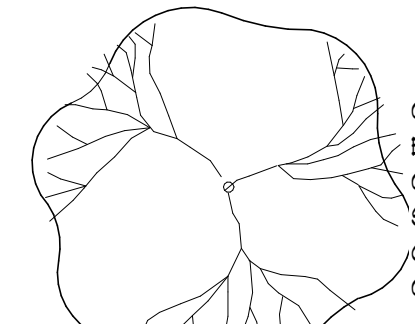
milestone issue date	12.30.2024
milestone issue description	SITE PLAN REVIEW
latest revision date	
latest revision description	

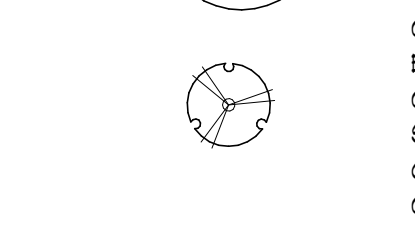
SITE & LANDSCAPE PLAN

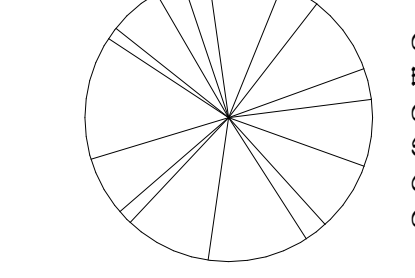
A1.1

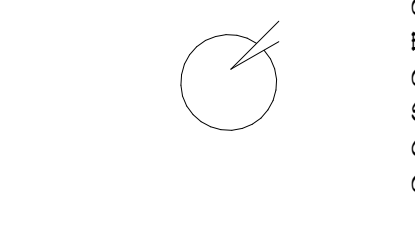


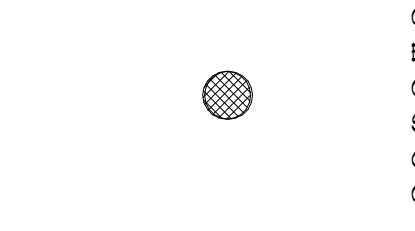
LANDSCAPE SCHEDULE

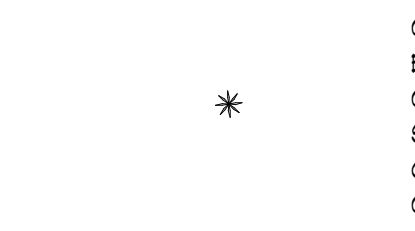
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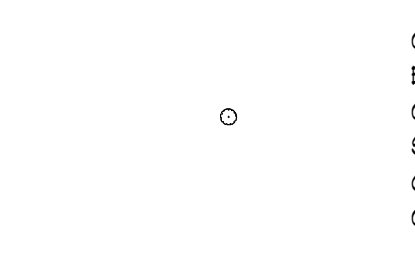
COMMON NAME: HONEY LOCUST  
BOTANICAL NAME: GLEDITSIA TRIACANTHOS 'SHADEMASTER'  
CONTAINER: BIB  
SITE: 2' CAL. (45' H X 40' SPREAD)  
QUANTITY: 12  
COVERAGE: 1,256.64 SQ. FT. PER TREE
- 

COMMON NAME: RASPBERRY SPEAR CRABAPPLE  
BOTANICAL NAME: MALUS X JES KUIZINX  
CONTAINER: BIB  
SITE: 2' CAL. (20' H X 8' SPREAD)  
QUANTITY: 2  
COVERAGE: 50.21 SQ. FT. PER TREE
- 

COMMON NAME: EASTERN REDBUD  
BOTANICAL NAME: CERCIS CANADENSIS  
CONTAINER: BIB  
SITE: 2' CAL. (25' H X 30' SPREAD)  
QUANTITY: 8  
COVERAGE: 706.86 SQ. FT. PER TREE
- 

COMMON NAME: DWARF BURNING BUSH  
BOTANICAL NAME: EUONYMUS ALATUS 'COMPACTA'  
CONTAINER: #3  
SITE: 3 GALLON (15' H X 10' SPREAD)  
QUANTITY: 35  
COVERAGE: 78.54 SQ. FT. PER PLANT
- 

COMMON NAME: DWARF GOLD MUGO PINE  
BOTANICAL NAME: PINUS MUGO 'CARSTEN'S WINTERGOLD'  
CONTAINER: #3  
SITE: 3 GALLON (4' H X 3' SPREAD)  
QUANTITY: 15  
COVERAGE: 7.07 SQ. FT. PER PLANT
- 

COMMON NAME: RED SWITCH GRASS  
BOTANICAL NAME: PANICUM VIRGATUM 'RED FLAME'  
CONTAINER: #1  
SITE: 1 GALLON (5' H X 3' SPREAD)  
QUANTITY: 34  
COVERAGE: 7.07 SQ. FT. PER PLANT
- 

COMMON NAME: BLACK EYED SUSAN  
BOTANICAL NAME: RUDBECKIA FULGIDA 'GOLDSTURM'  
CONTAINER: #1  
SITE: 1 GALLON (3' H X 2' SPREAD)  
QUANTITY: 20  
COVERAGE: 3.14 SQ. FT. PER PLANT

LANDSCAPE CALCULATIONS

LOT AREA: 3.746 ACRES (163,175.76 SQ. FT.)  
REQUIRED COVERAGE: 8 PERCENT = 13,054.06 SQ. FT.

LANDSCAPE AREA PROVIDED: 13,215.66 SQ. FT.

REQUIRED COVERAGE: 50 PERCENT OF REQUIRED AREA  
REQUIRED: 13,215.66 SQ. FT. \* 50 PERCENT = 6,607.83 SQ. FT.  
COVERAGE PROVIDED: 11,881.02 SQ. FT.

NOTE:  
REQUIRED 10' LANDSCAPE YARD ON NORTH AND WEST  
PROPERTY LINES ARE WITHIN STORAGE/MATERIAL YARD, AND ARE EXEMPT FROM LANDSCAPE YARD. FENCE PROVIDED AS REQUIRED.

1 SITE PLAN/LANDSCAPE PLAN  
1" = 20'-0"



## EXTERIOR FINISH LEGEND

STN-1	CAST STONE VENEER
MTL-1	STANDING SEAM METAL ROOF
MTL-2	VERTICAL METAL SIDING
WD-1	FIBER CEMENT LAP SIDING

## EXTERIOR FINISH BY AREA

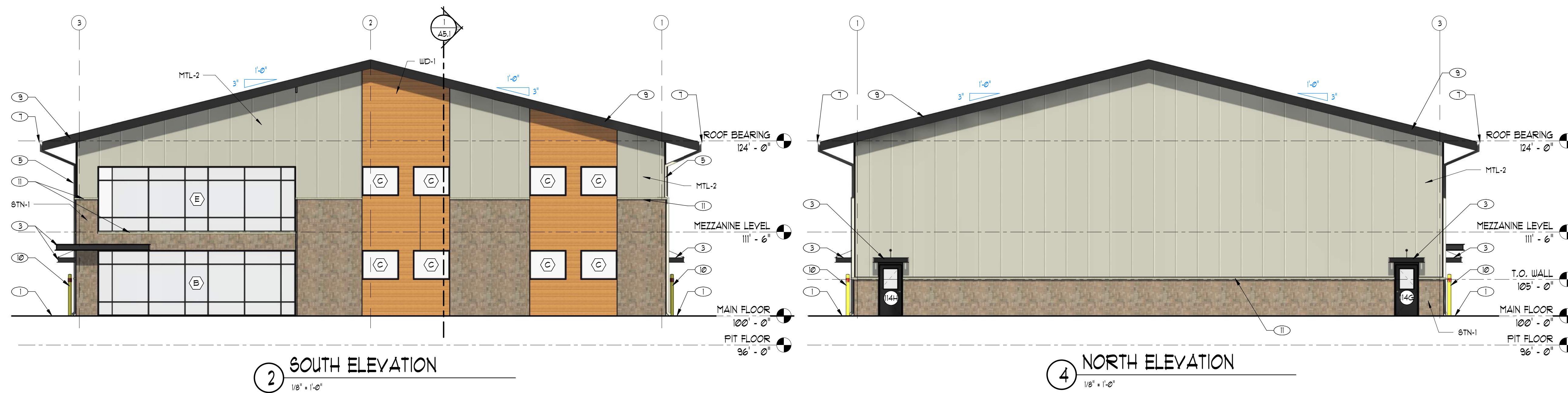
GROSS AREA:	EAST ELEVATION + 4,103 SQ.FT.
	WEST ELEVATION + 4,103 SQ.FT.
	NORTH ELEVATION + 2,340 SQ.FT. SOUTH ELEVATION + 2,340 SQ.FT.
NET AREA:	EAST ELEVATION + 2,830 SQ.FT.
	WEST ELEVATION + 2,830 SQ.FT.
	NORTH ELEVATION + 2,286 SQ.FT. SOUTH ELEVATION + 1,691 SQ.FT.
PRIMARY MAT.	EAST ELEVATION + 1,168 SQ.FT. (41 PERCENT)
	WEST ELEVATION + 865 SQ.FT.
	NORTH ELEVATION + 313 SQ.FT. SOUTH ELEVATION + 1,106 SQ.FT. (65 PERCENT)
TOTAL NET WALL AREA + 9,221 SQ.FT.	
PRIMARY MATERIAL AREA + 3,912 SQ.FT.	
TOTAL BUILDING PERCENTAGE + 38 PERCENT	

## SHEET NOTES

- ◇ TYPICAL REFERENCE FOR CONSTRUCTION TYPE - SEE SHEET A3.1
- TYPICAL REFERENCE FOR DOOR TYPE - SEE SHEET A3.2
- TYPICAL REFERENCE FOR WINDOW TYPE - SEE SHEET A3.2
- ① APPROXIMATE FINISH GRADE - SEE CIVIL DWG'S
- ③ PRE-MANUFACTURED CANOPY
- ⑤ PRE-FINISHED METAL DOWNSPOUT
- ⑦ PRE-FINISHED METAL GUTTER
- ⑧ PRE-FINISHED METAL FASCIA
- ⑩ CONC. FILLED PIPE BOLLARD, SEE DETAIL 1/2A.1 - PAINT
- ⑪ CAST STONE WALL CAP



1 EAST ELEVATION  
1/8" = 1'-0"



2 SOUTH ELEVATION  
1/8" = 1'-0"

4 NORTH ELEVATION  
1/8" = 1'-0"



3 WEST ELEVATION  
1/8" = 1'-0"



**GREENHALGH  
CONSTRUCTION**

SHOP BUILDING

1268 W. TIMPANOGOS  
TERRACE  
SANTAQUIN, UTAH 84655

revision information		
no.	date	description

milestone issue date	12.30.2024
milestone issue description	SITE PLAN REVIEW
latest revision date	
latest revision description	

EXTERIOR ELEVATIONS

**A4.1**



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