

CONSTRUCTION NOTES

Construction Notes

- 1. All work to be done in conformity to SANTAQUIN CITY standards and specification and as directed by the SANTAQUIN CITY engineer or his representatives.
2. All sewer and water system construction shall be in accordance with SANTAQUIN CITY standards and specifications. Contractor to obtain current standards from the SANTAQUIN CITY.
3. Contractor shall contact blue stakes prior to beginning construction, to facilitate the location and identification of existing underground utilities.
4. Contractor responsible for protection of all utilities shown or not shown.
5. Contractor shall be responsible to obtain and pay for necessary permits.
6. Contractors shall attend all pre-construction conferences.
7. Contractor shall be responsible for all public safety and OSHA standards.
8. Contractor shall field verify locations and invert elevations of all existing sewer facilities and other utilities prior to building or staking any new sewer lines.
9. Location and installation of gas, power, telephone, and cable lines to be done in accordance with SANTAQUIN CITY standards.
10. All culinary water lines shall be per SANTAQUIN CITY standards.
11. Minimum depth for culinary waterlines from the final grade to the top of the pipe is 4 feet, unless otherwise noted on the plan and profile sheets.
12. Minimum spacing between waterlines and sewer lines is 10 feet horizontally or 12 inches vertically (in times of crossing the waterline shall be above the sewer line). All other utilities shall be spaced a minimum distance of 12 inches from the waterline.
13. All ductile iron valves, hydrants, and buried fittings shall be wrapped with 8 mil thick polyethylene film tube or sheet. The film shall be held in place by and approved adhesive tape, equal to scotchrap no. 50. All fittings and valves requiring wrapping shall be wrapped prior to placing concrete thrust blocking. All valves are to be flanged to the adjacent fittings.
14. Sanitary sewer laterals shall extend into each lot 15' and be marked with a 2" by 4" board with the top 12" painted green.
15. All sewer laterals will be marked with a "S" stamped into the curb above.
16. Culinary water laterals shall extend into each lot 15' and be marked with a 2" by 4" board with the top 12" painted blue.
17. All culinary water laterals will be marked with a "W" on the curb above.
18. Contractor to verify as build sewer laterals for building FF design. Existing sewer lateral to govern.

NOTE: The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN CITY Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.

MISC CONSTRUCTION NOTES

THE CONTRACTOR SHALL CAREFULLY READ ALL OF THE NOTES AND SPECIFICATIONS, THE CONTRACTOR SHALL BE SATISFIED AS TO THEIR TRUE MEANING AND INTENT AND SHALL BE RESPONSIBLE FOR COMPLYING WITH EACH.

GENERAL NOTES:

- 1) ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING: SANTAQUIN CITY STANDARD SPECIFICATIONS, LATEST EDITION, AND ALL AMENDMENTS THERETO UNLESS OTHERWISE STATED.
2) PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL CONTACT SANTAQUIN CITY FOR A PRE-CONSTRUCTION CONFERENCE.
3) IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.
4) WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
5) THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR, IT SHALL BE EXPECTED THAT PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.
6) THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES, WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR PECULIAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
7) CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHTS-OF-WAY OR EASEMENTS FROM SANTAQUIN CITY AND UDOT. CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMENCING THE WORK, OR AS REQUIRED BY SAID PERMITS.
8) THE CONTRACTOR SHALL, AT THE TIME OF BIDDING, AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDBLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
9) CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK.

- 10) THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
11) THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.
12) THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.
13) THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
14) THE CONTRACTOR AGREES THAT:
A. THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.
B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
C. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
D. THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE RIGHTS-OF-WAY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL PAYMENT.
E. THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.
F. UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.
15) THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
16) DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE, WITH A WATER TRUCK.
17) CONSTRUCTION STAKING FOR LIMITS OF DISTURBANCE INCLUDING CONSTRUCTION AND SILT FENCES, GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER, AND ELECTRICITIES MAY BE DONE BY AWARDED SURVEYOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF THE NEED FOR STAKING. ANY STAKING REQUESTED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS THAT IS ABOVE AND BEYOND STANDARD STAKING NEEDS, WILL BE SUBJECT TO AN EXTRA WORK BACK CHARGE TO THE CONTRACTOR.
18) FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATOR AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION.
19) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
20) IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
21) WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
22) THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND OTHER FACILITIES. THE AS-BUILT SET OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS RECORDED AS A PRECONDITION TO FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

23) WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.

24) BENCHMARK: 4759.858
ELEVATION:
DESCRIPTION: NORTHEAST CORN SEC 36, T9S, R1E, S1B&M
FOUND 3" BRASS CAP

CLEARING AND GRADING NOTES:
1) CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH SANTAQUIN CITY STANDARD SPECIFICATIONS AND THE RECOMMENDED EARTHWORK SPECIFICATIONS FOUND IN THE LATEST REPORT OF GEOTECHNICAL INVESTIGATION.

2) THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON A TOPO SURVEY SUPPLIED BY THE OWNER.

3) THE OWNER SHALL PROVIDE A TEMPORARY EROSION CONTROL PLAN AND OBTAIN ALL PERMITS REQUIRED BY SANTAQUIN CITY CITY, AND THE STATE OF UTAH FOR TEMPORARY EROSION CONTROL. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ALL TEMPORARY EROSION CONTROL AND MAINTENANCE, AND SHALL PROVIDE EROSION AND SEDIMENT CONTROL FORMS TO THE CITY. FOR ADDITIONAL EROSION CONTROL INFORMATION, SEE "EROSION CONTROL/REVEGETATION PLAN" SHEETS AND REPORTS.

4) SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK. SOIL INVESTIGATIONS WERE CONDUCTED FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH AS PROJECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK, SOIL BEARING VALUES AND PROFILES, SOIL STABILITY, AND THE PRESENCE, LEVEL, AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION

IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.

10) THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.

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3) THE OWNER SHALL PROVIDE A TEMPORARY EROSION CONTROL PLAN AND OBTAIN ALL PERMITS REQUIRED BY SANTAQUIN CITY CITY, AND THE STATE OF UTAH FOR TEMPORARY EROSION CONTROL. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ALL TEMPORARY EROSION CONTROL AND MAINTENANCE, AND SHALL PROVIDE EROSION AND SEDIMENT CONTROL FORMS TO THE CITY. FOR ADDITIONAL EROSION CONTROL INFORMATION, SEE "EROSION CONTROL/REVEGETATION PLAN" SHEETS AND REPORTS.

4) SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK. SOIL INVESTIGATIONS WERE CONDUCTED FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH AS PROJECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK, SOIL BEARING VALUES AND PROFILES, SOIL STABILITY, AND THE PRESENCE, LEVEL, AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION

DEWATERING NOTES:

- 1) THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND WATER LEVEL OUTSIDE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN OPERATIONS TO A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.
2) THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED.
3) SUMPS SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SUMPS.
4) THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOILS," DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF THE NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATIONS SOILS, PREVENT DISTURBANCE OF COMPACTED BACKFILL, AND PREVENT FLOTTING OF STRUCTURAL FACILITIES. THE RELEASE OF GROUNDWATER AT ADJACENT UTILITY (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, IT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.

UNDERGROUND UTILITIES:

- 1) THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THESE LOCATIONS TO BE EITHER TRUE OR EXACT. PRIOR TO CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO, SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSURE OF THE UTILITIES, SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION/ELEVATION MUST BE MADE PRIOR TO CONSTRUCTION.
2) PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATED, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-862-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES WHOSE UTILITIES ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
3) THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 - EXCAVATIONS, AND SECTION 69 - TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES. ANY EXCAVATION GREATER THAN 10 FEET IN DEPTH REQUIRES A TRENCH BOX.
4) PRIOR TO OPENING AN EXCAVATION, CONTRACTOR SHALL ENDEAVOR TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS, I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXACT LOCATION AND APPROXIMATE DEPTH OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING; AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.
5) IN CASES OF HIGH GROUNDWATER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO USE RUBBER GASKET JOINTS ON ALL PRE CAST PIPES. THE COST FOR RUBBER GASKET JOINTS SHALL BE INCLUDED IN THE UNIT PRICES OF PIPE.
6) THE CONTRACTOR SHALL PROVIDE CLAY DAMS IN UTILITY TRENCHES TO PREVENT CHANNELING OF SUBSURFACE WATER, DURING AND AFTER CONSTRUCTION. CONSTRUCT CLAY DAMS AT THE TOP OF GRADE BREAKS AND AT THE FOLLOWING INTERVALS:
* TRENCHES WITH SLOPES < 10% = DAMS AT 500' INTERVALS
* TRENCHES WITH SLOPES > 10% = DAMS AT 100' INTERVALS

7) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS OF SANTAQUIN CITY FOR H-20 LOAD REQUIREMENTS.

8) ALL CONSTRUCTION AND MATERIALS FOR THE SEWER MAIN AND LATERALS MUST COMPLY WITH THE SANTAQUIN CITY DISTRICT. THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO THE SEWER MAIN.

9) ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF SANTAQUIN CITY PUBLIC WORKS DEPARTMENT PERSONNEL ONLY.

10) WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. CONTRACTOR RESPONSIBLE FOR ALL NECESSARY FITTINGS AND THRUST BLOCKS.

11) THE CONTRACTOR SHALL NOTIFY ENGINEER AT LEAST 48 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH THE REGULATORY AGENCY STANDARD SPECIFICATIONS.

12) ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER AND STREET PAVING.

SURFACE IMPROVEMENTS:
1) SUB GRADE PREPARATION: EARTHWORK FOR ROADWAY SECTIONS SHOULD BE CONDUCTED PER THE LATEST GEOTECH REPORT. ONCE ROADWAY EXCAVATION STARTS, THE SUB GRADE SHOULD BE SCARIFIED AND RECOMPACTED AT THE PROPER MOISTURE CONTENT TO 98 PERCENT RELATIVE DENSITY (STANDARD PROCTOR ASTM D-1557). THE NATIVE SUB GRADE SHOULD BE FIRM AND NON-YIELDING PRIOR TO SUB BASE PLACEMENT. EVERY EVERY EFFORT SHOULD BE MADE TO AVOID EXPOSING NATIVE SUB-GRADES TO EXCESS MOISTURE.

2) ALL MANHOLE RIMS, VALVES AND MONUMENT BOXES, ETC. SHALL BE ADJUSTED TO FINISH GRADE AFTER STREET PAVING, UNLESS OTHERWISE NOTED. ON PAVED AREAS, PROVIDE A 1 FOOT BY 1 FOOT CONCRETE COLLAR SET BACK 1/8 INCH LOWER THAN FINISH GRADE AT OUTER EDGE. PROVIDE CONCRETE COLLAR FOR ALL VALVES AND MONUMENTS PER SANTAQUIN CITY STANDARD SPECIFICATIONS. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR SAID FACILITIES.

3) PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON THE PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THESE SPECIFICATIONS, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK.

4) INSTALLATION OF STREET LIGHTS SHALL BE IN ACCORDANCE WITH SANTAQUIN CITY DEVELOPMENT GUIDELINES.

5) PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS BUILT TO THESE PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, CITY OF SANTAQUIN, AND POWER CO. TO HAVE THE ELECTRICAL SYSTEM AND ALL STREET LIGHTS ENERGIZED.

6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.

7) STRIPING AND PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH UPW SECTIONS 01570 AND 02580.

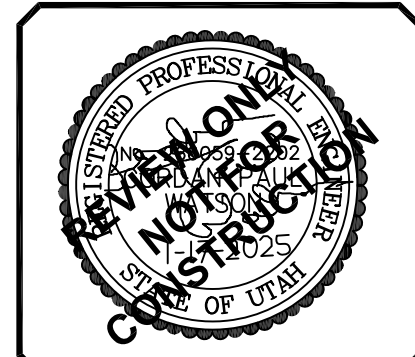
Table with 4 columns: NO., DESCRIPTION, N/S, APPD. Rows 1-10.

Table with 4 columns: ORIG. DATE: 2-8-21, SURVEY BY: GFW, DRAWN BY: GFW, DESIGNED BY: GFW, CHECKED BY: GFW, SCALE: N/A.

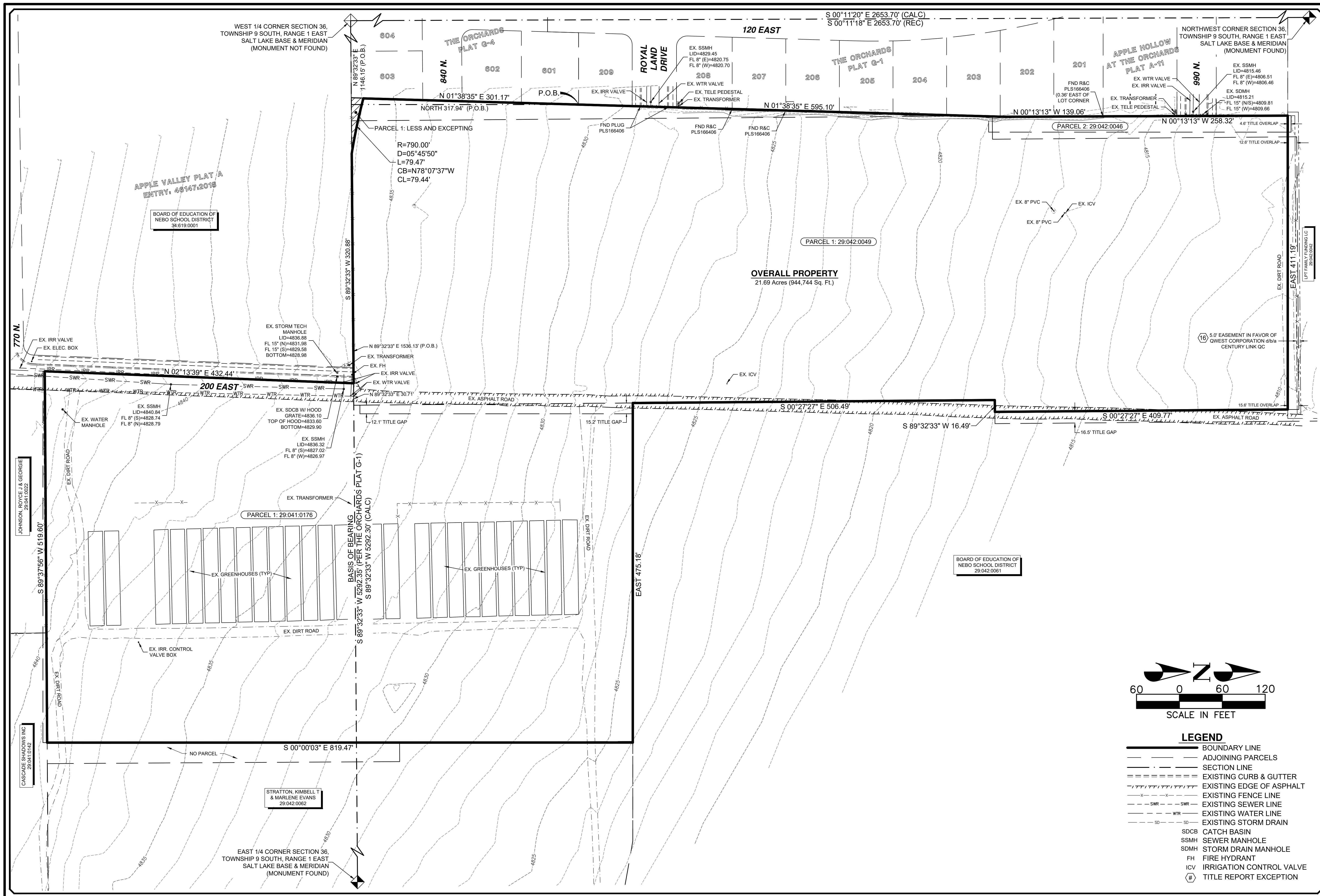
GATEWAY CONSULTING, Inc. P.O. BOX 951005 SOUTH JORDAN, UT 84095 PH: (801) 694-5848 paul@gatewayconsultingllc.com CIVIL ENGINEERING * CONSULTING * LAND PLANNING CONSTRUCTION MANAGEMENT

BELLA VISTA SUBDIVISION PROJECT NOTES AND CONTACT INFORMATION 1-17-2025 PLOT DATE:

SANTAQUIN CITY



SHEET NO. 1A



WEST 1/4 CORNER SECTION 36,
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN
(MONUMENT NOT FOUND)

NORTHWEST CORNER SECTION 36,
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN
(MONUMENT FOUND)

APPLE VALLEY PLAT A
ENTRY: 461472018

BOARD OF EDUCATION OF
NEBO SCHOOL DISTRICT
34-619-0001

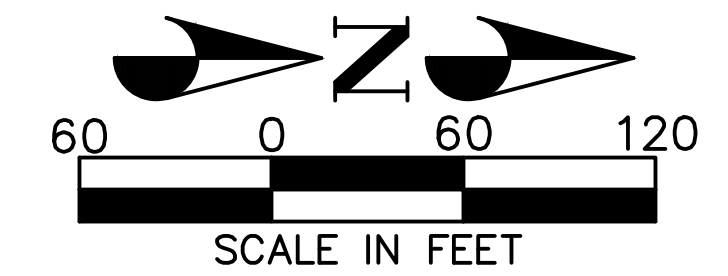
OVERALL PROPERTY
21.69 Acres (944,744 Sq. Ft.)

5.0' EASEMENT IN FAVOR OF
QWEST CORPORATION d/b/a
CENTURY LINK QC

BOARD OF EDUCATION OF
NEBO SCHOOL DISTRICT
29-042-0061

STRATTON, KIMBELL T
& MARLENE EVANS
29-042-0062

EAST 1/4 CORNER SECTION 36,
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN
(MONUMENT FOUND)



LEGEND

	BOUNDARY LINE
	ADJOINING PARCELS
	SECTION LINE
	EXISTING CURB & GUTTER
	EXISTING EDGE OF ASPHALT
	EXISTING FENCE LINE
	EXISTING SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM DRAIN
	SDCB CATCH BASIN
	SSMH SEWER MANHOLE
	SDMH STORM DRAIN MANHOLE
	FH FIRE HYDRANT
	ICV IRRIGATION CONTROL VALVE
	TITLE REPORT EXCEPTION

NO.	DESCRIPTION	DATE	APP'D.

ORIG. DATE:	09/2022
SURVEY BY:	REFG CREW
DRAWN BY:	BCB
DESIGNED BY:	N/A
CHECKED BY:	RS
SCALE:	1"=60'

CMT TECHNICAL SERVICES
 9270 SOUTH 900 WEST • SANDY, UT 84070
 PHONE: (801) 562-2521 • FAX: (801) 562-2551
 MATERIALS TESTING • INSPECTION SERVICES • LAB TESTING • GEOTECHNICAL
 ENVIRONMENTAL • CIVIL ENGINEERING • TRANSPORTATION ENGINEERING
 SURVEYING • CONSTRUCTION MANAGEMENT • SPECIALTY LAB

STRATTON ACRES, LLC
ALTA/NSPS SURVEY
 PARCELS: 29:042:0049,
 29:042:0046, & 29:041:0176
 OCTOBER 11, 2022
 PROJECT NUMBER: 1555.2210
 DRAWING FILE: DWG\ALTA-PH2

SANTAQUIN CITY

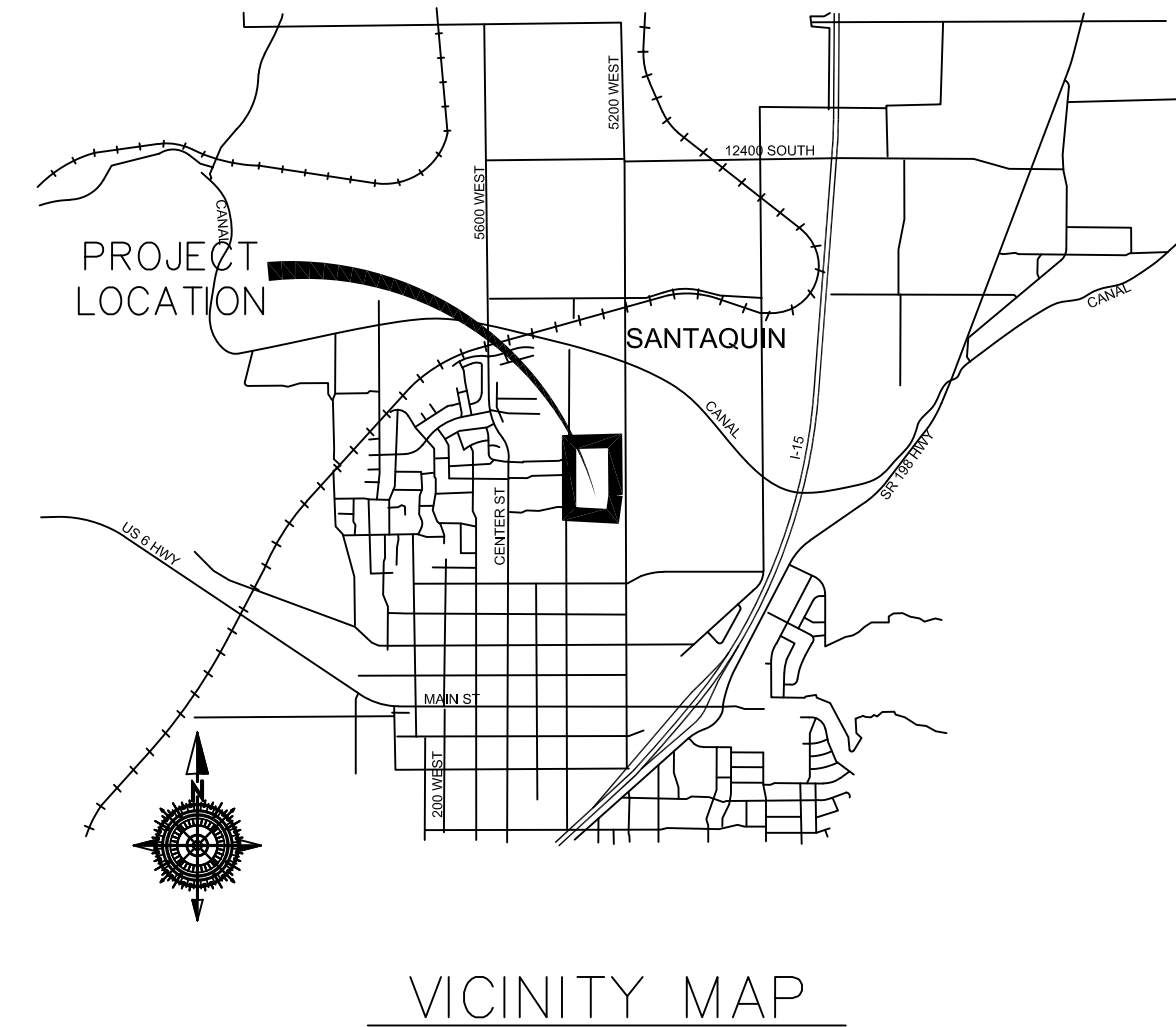
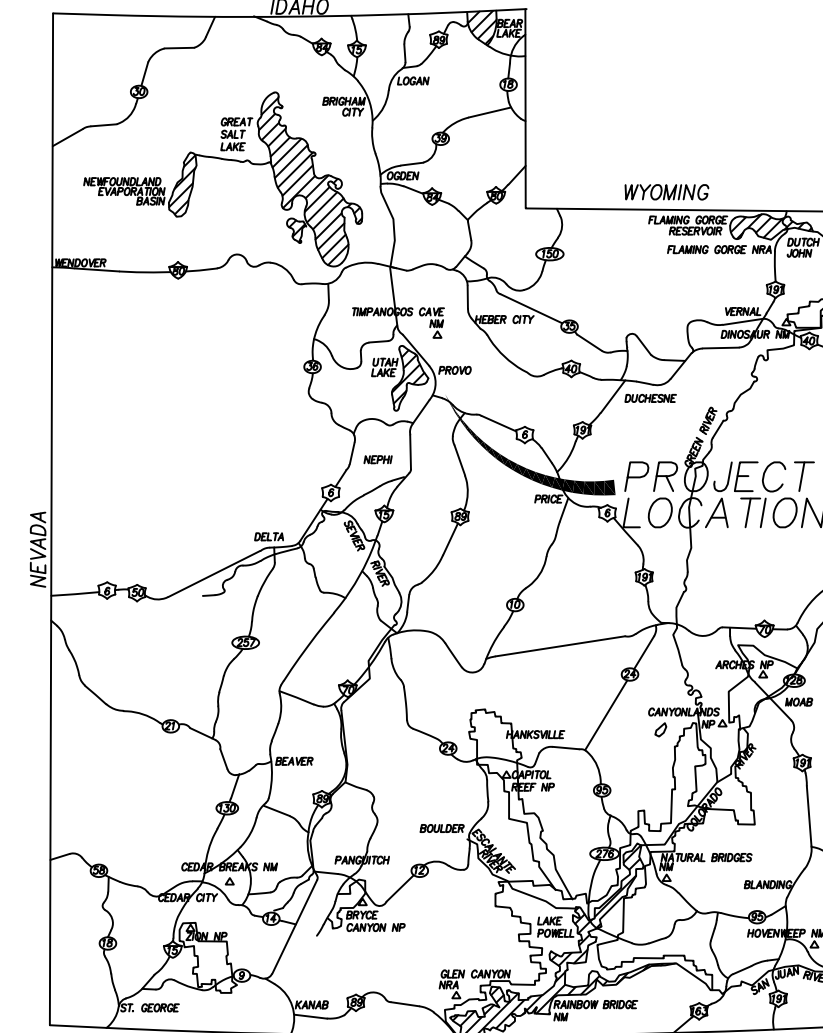
BELLA VISTA SUBDIVISION PHASE 3

PROJECT LOCATED IN THE WEST HALF OF SECTION 36, TOWNSHIP 9 SOUTH,
RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT

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CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C102	23.56'	15.00'	21.21'	N45°00'02"W	89°59'57"
C103	26.18'	15.00'	22.98'	S49°59'58"W	100°00'03"
C104	23.56'	15.00'	21.21'	S45°00'03"E	90°00'00"
C108	82.00'	60.00'	75.77'	S11°01'51"E	78°18'23"
C109	23.56'	15.00'	21.21'	S44°59'57"W	90°00'00"
C110	23.47'	15.00'	21.15'	N45°10'10"W	89°39'47"
C111	4.86'	15.00'	4.84'	S18°50'25"W	18°33'52"
C112	2.59'	15.00'	2.59'	S4°36'36"W	9°53'45"
C113	23.82'	15.00'	21.40'	S45°30'02"E	90°59'58"
C114	23.30'	15.00'	21.03'	N44°29'58"E	89°00'02"
C115	23.82'	15.00'	21.40'	N45°30'02"W	90°59'58"
C116	23.30'	15.00'	21.03'	S44°29'58"W	89°00'02"
C117	23.87'	15.09'	21.46'	N46°00'01"W	90°39'45"
C118	23.39'	15.00'	21.09'	S44°19'51"W	89°20'15"
C119	23.74'	15.00'	21.34'	S45°40'09"E	90°39'45"
C120	23.39'	15.00'	21.09'	N44°19'51"E	89°20'15"
C121	23.39'	15.00'	21.09'	N44°19'51"E	89°20'15"
C122	23.74'	15.00'	21.34'	N45°40'09"W	90°39'45"
C123	33.81'	300.00'	33.79'	N86°46'18"W	6°27'25"
C124	18.55'	300.00'	18.55'	N81°46'18"W	3°32'35"
C125	54.05'	300.00'	53.98'	S85°09'42"E	10°19'23"
C126	14.16'	15.00'	13.64'	N62°57'34"E	5°40'45"
C127	19.26'	60.00'	19.18'	N45°06'58"E	18°23'32"
C128	79.07'	60.00'	73.47'	N87°56'10"W	75°30'14"
C129	23.56'	15.00'	21.21'	S45°19'50"E	89°59'57"



SURVEYOR'S CERTIFICATE
I, _____ DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH _____ AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S) I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THE PLAT IS BELLA VISTA SUBDIVISION PHASE 3, SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

BOUNDARY DESCRIPTION
Beginning at a point that is North 89°32'33" East, 2,038.92 feet along the quarter section line and N 00°00'03" W 447.82 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and commencing East 119.26 feet to a point on a 331.00' radius curve to the right, thence along arc of said curve 57.77' through a delta of 10°00'00" (chord bears S 85°00'00" E 57.70 feet) thence S 80°00'00" E 169.62 feet to a point on a 269.00' radius curve to the left, thence along arc of said curve 48.47' through a delta of 85°09'42" (chord bears S 85°00'00" E 42.40 feet), thence S 89°40'37" E 15.42 feet, thence S 01°19'44" E 62.02 feet, thence N 89°40'16" E 181.50 feet, thence S 01°19'44" E 970.32 feet, thence S 89°39'44" W 124.88 feet, thence N 78°40'24" W 59.22 feet, thence N 89°48'51" W 229.90 feet, thence S 83.35'12" W 58.37 feet, thence S 88°59'59" W 113.77 feet, thence N 01°00'01" W 100.00 feet, thence N 07°35'03" W 64.42 feet, thence N 0°00'03" W 902.78 feet to the point of beginning.
Parcel contains 13.87 acres and 37 lots.

PRELIMINARY PLAT FOR REVIEW ONLY

OWNER'S DEDICATION AND CONSENT TO RECORD
KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____

BOARD OF EDUCATION NEBO SCHOOL DISTRICT
STRATTON ACRES LLC ANDY FLAMM (MANAGER) CASCADe SHADOWS INC. KIMBALL STRATTON (MANAGER)

BELLA VISTA SUBDIVISION PHASE 3
A SINGLE FAMILY PROJECT LOCATED IN THE WEST HALF OF SECTION 36, TOWNSHIP 1 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY LEGISLATIVE BODY
THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____

APPROVED BY MAYOR _____
APPROVED _____ CITY ENGINEER (SEE SEAL BELOW) ATTEST _____ CLERK-RECORDER (SEE SEAL BELOW)
PLANNING COMMISSION APPROVAL
APPROVED THIS _____ DAY OF _____, A.D. 20____ BY THE _____ CHAIRPERSON, PLANNING COMMISSION DATE _____
DIRECTOR, SECRETARY DATE _____

NOTES:
1. TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
2. NDCBU - NEIGHBORHOOD DELIVERY BOX UNIT.
3. ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
4. AGRICULTURE PROTECTION AREA
THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

NEBO SCHOOL DISTRICT ACKNOWLEDGMENT
STATE OF UTAH COUNTY OF S.S.
ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____ FOR AND IN BEHALF OF _____ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.
MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

SCHOOL BOARD ACKNOWLEDGMENT
STATE OF UTAH COUNTY OF S.S.
ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____ FOR AND IN BEHALF OF _____ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.
MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

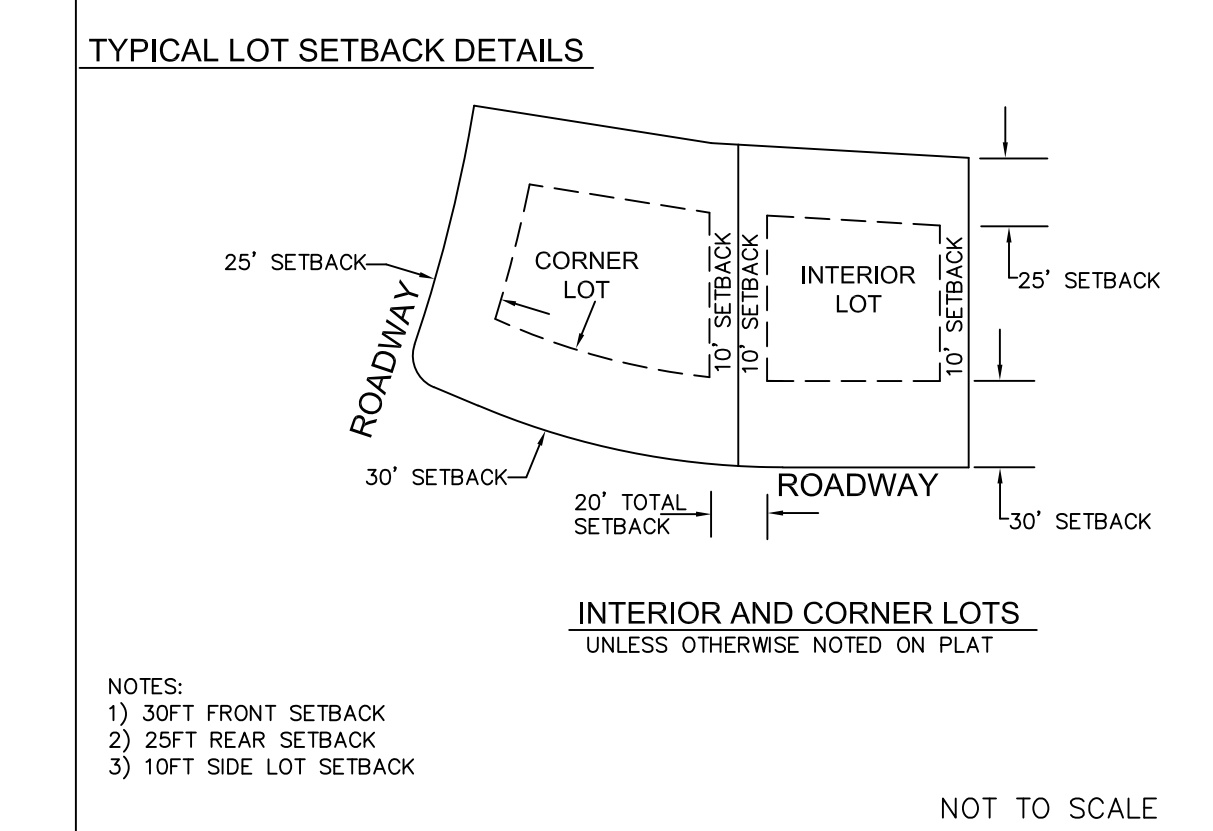
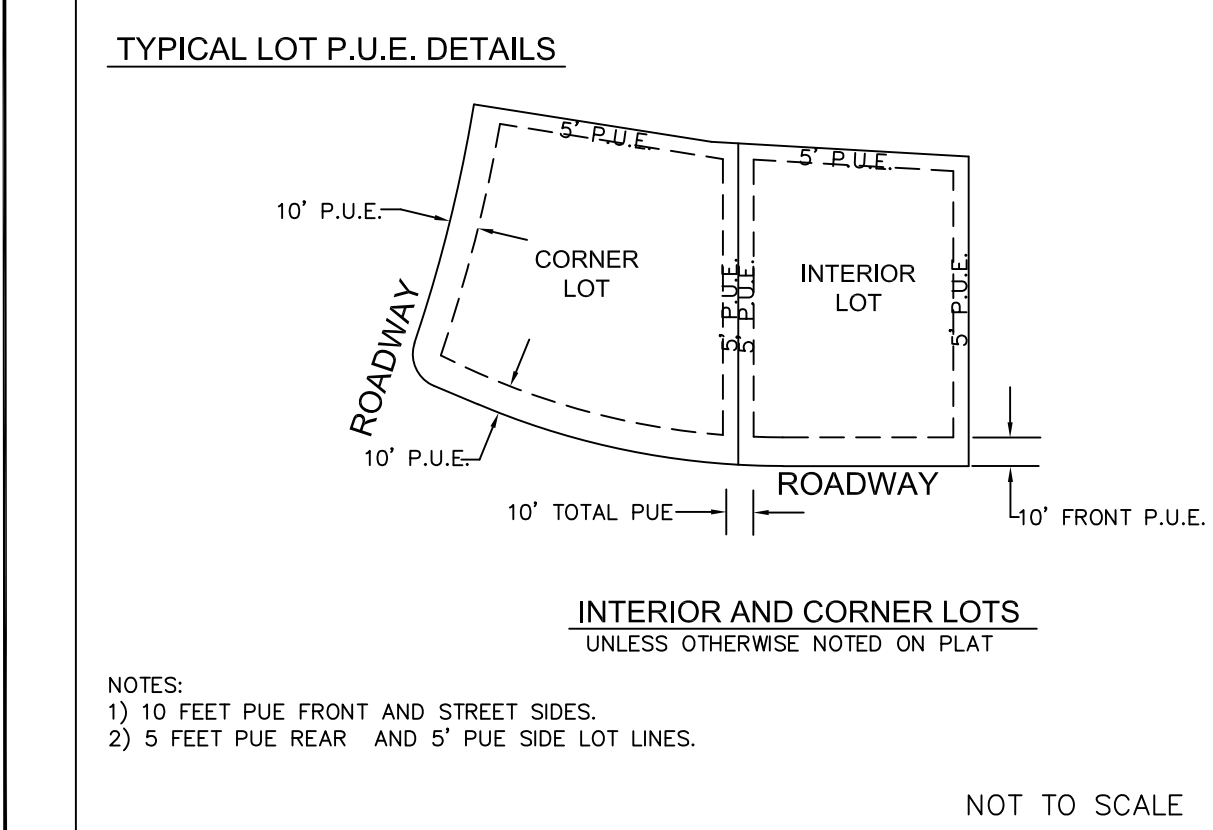
CASCADe SHADOWS INC. ACKNOWLEDGMENT
STATE OF UTAH COUNTY OF S.S.
ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____ FOR AND IN BEHALF OF _____ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.
MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

STRATTON ACKNOWLEDGMENT
STATE OF UTAH COUNTY OF S.S.
ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____ FOR AND IN BEHALF OF _____ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.
MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

UTAH COUNTY RECORDER
NO. _____ BOOK _____ PAGE _____ DATE _____ STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____ RECORDED AND FILED AT THE REQUEST OF _____ COUNTY RECORDER

SURVEYOR OF RECORD:

PROJECT ENGINEER:
GATEWAY CONSULTING, inc
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com



ROCKY MOUNTAIN POWER
1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
a. A RECORDED EASEMENT OR RIGHT-OF-WAY
b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
c. TITLE 54, CHAPTER 86, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
d. ANY OTHER PROVISION OF LAW
Approved this _____ day of _____, 20____
ROCKY MOUNTAIN POWER

DOMINION ENERGY QUESTAR CORPORATION
DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.
Approved this _____ day of _____, 20____
QUESTAR GAS COMPANY
By _____
Title _____

CENTRACOM ACCEPTANCE
APPROVED THIS _____ DAY OF _____, A.D. 20____
CENTRACOM COMPANY
BY _____ TITLE _____

CENTURY LINK ACCEPTANCE
APPROVED THIS _____ DAY OF _____, A.D. 20____
CENTURY LINK COMPANY
BY _____ TITLE _____

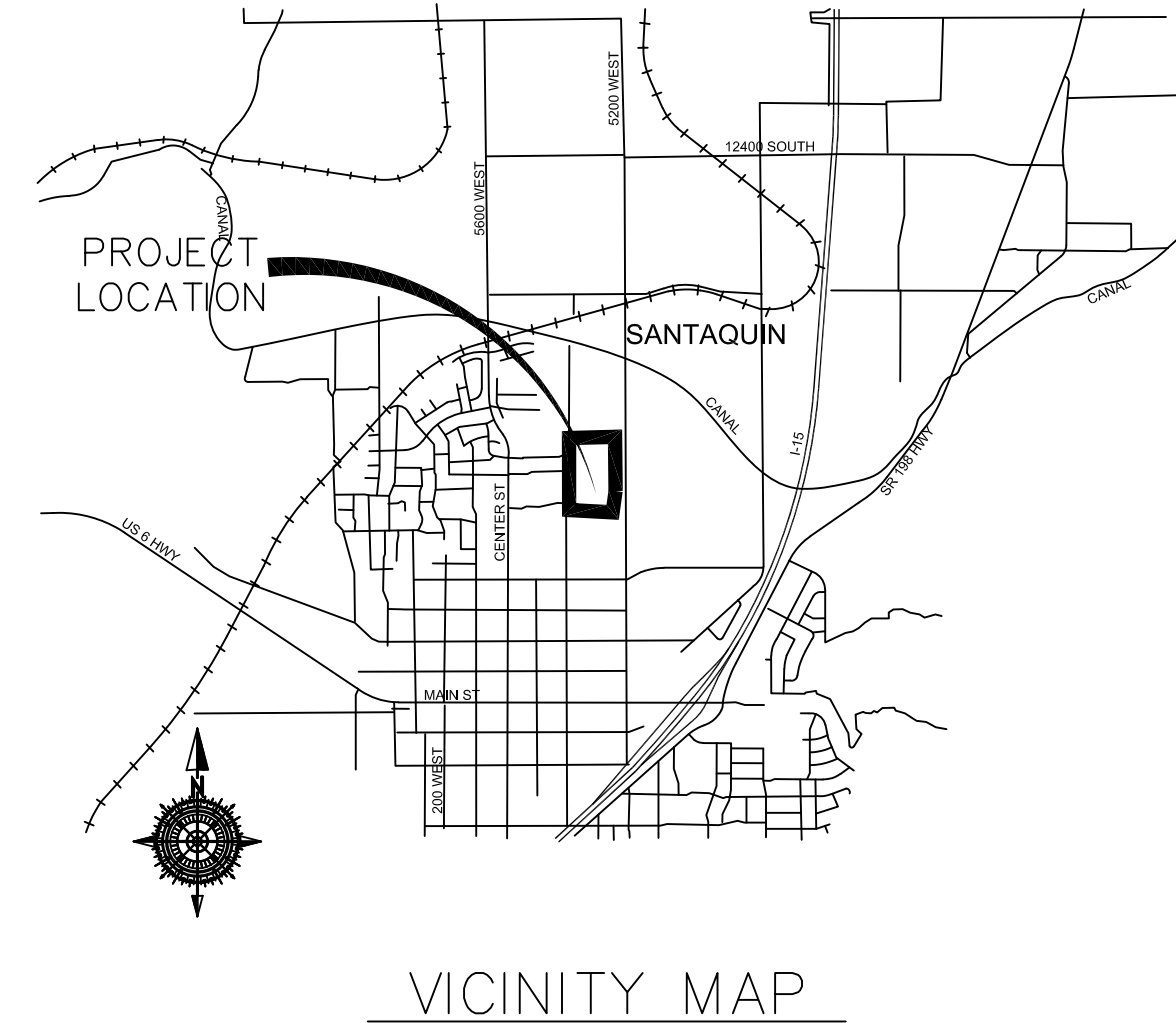
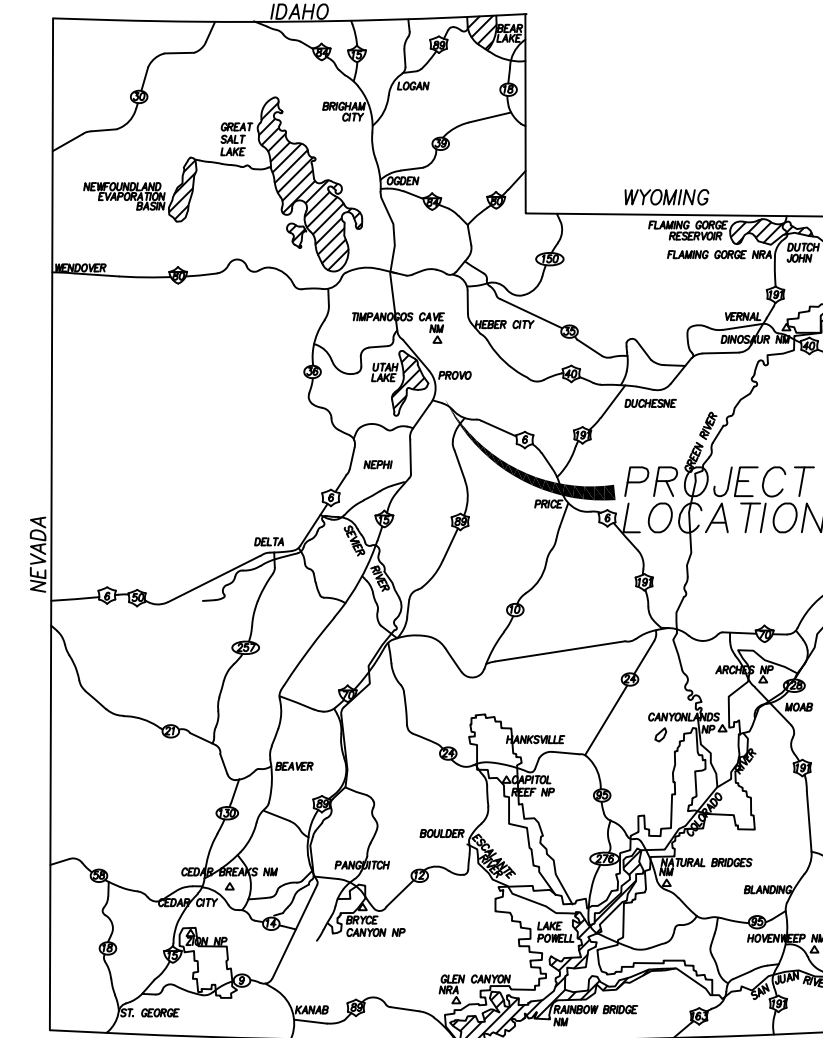
BELLA VISTA SUBDIVISION PHASE 4

PROJECT LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT

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CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C130	23.57'	15.00'	21.22'	N45°00'28"W	90°00'50"
C131	23.56'	15.00'	21.21'	N44°59'05"E	89°59'10"
C132	14.16'	15.00'	13.64'	S62°57'49"E	54°06'09"
C133	58.53'	60.00'	56.24'	S63°51'33"E	55°53'37"
C134	79.16'	60.00'	73.54'	N50°23'50"E	75°35'38"
C135	64.37'	60.00'	61.32'	N18°07'55"W	61°27'52"
C136	60.17'	60.00'	57.68'	N77°35'28"W	57°27'13"
C137	39.53'	60.00'	38.82'	S54°48'21"W	37°45'10"
C138	14.15'	15.00'	13.63'	S62°57'26"W	54°03'21"
C139	23.56'	15.00'	21.21'	N44°59'58"E	90°00'03"
C140	14.16'	15.00'	13.64'	S62°57'37"E	54°04'45"
C141	47.21'	60.00'	46.00'	S58°27'48"E	45°05'06"
C142	70.47'	60.00'	66.49'	N65°20'44"E	67°17'50"
C143	66.39'	60.00'	63.05'	N0°00'00"W	63°23'37"
C144	70.56'	60.00'	66.57'	N65°23'17"W	67°22'56"
C145	47.12'	60.00'	45.92'	S58°25'15"W	45°00'01"
C146	14.16'	15.00'	13.64'	S62°57'37"W	54°04'45"
C147	23.56'	15.00'	21.21'	N45°00'02"W	89°59'57"
C148	23.56'	15.00'	21.21'	N44°59'58"E	90°00'03"
C149	23.56'	15.00'	21.21'	N45°00'02"W	89°59'57"
C150	23.56'	15.00'	21.21'	S44°59'58"W	90°00'03"
C151	23.56'	15.00'	21.21'	N45°00'02"W	89°59'57"



SURVEYOR'S CERTIFICATE
I, _____ DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH _____ AND THAT I HOLD LICENSE NO. _____ AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S) I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THE PLAT IS BELLA VISTA SUBDIVISION PHASE 4, SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

BOUNDARY DESCRIPTION

Beginning at a point that is North 89°32'33" East, 1887.91 feet along the quarter section line and South 644.95 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and commencing N 88°59'59" E 161.72 feet, thence N 01°00'01" W 24.53 feet, thence N 88°59'59" E 113.77 feet, thence N 83°35'12" E 58.37 feet, thence S 89°48'51" E 117.50 feet, thence S 00°00'03" E 864.62 feet, thence S 89°59'57" W 117.50', thence S 47°53'32" W 78.18 feet, thence West 250.00 feet, thence N 89°39'15" W 58.00 feet, thence N 89°58'04" W 127.01 feet, thence N 00°01'56" E 279.25 feet, thence N 00°01'53" E 362.01 feet, thence 89°19'18" E 156.57 feet, thence N 89°40'16" E 5.90 feet, thence N 00°40'59" W 238.01 feet.

Parcel contains 11.51 acres and 32 lots.

**PRELIMINARY PLAT
FOR REVIEW ONLY**

DATE: _____

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HERON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____

BELLA VISTA SANTAQUIN LLC
KIMBALL STRATTON (MANAGER)

STRATTON ACRES LLC
KIMBALL STRATTON (MANAGER)

BELLA VISTA SUBDIVISION PHASE 4

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____ A.D. 20____

APPROVED BY MAYOR _____

APPROVED _____ CITY ENGINEER (SEE SEAL BELOW) ATTEST _____ CLERK-RECORDER (SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____ A.D. 20____ BY THE SANTAQUIN CITY PLANNING COMMISSION.

CHAIRPERSON, PLANNING COMMISSION _____ DATE _____

DIRECTOR, SECRETARY _____ DATE _____

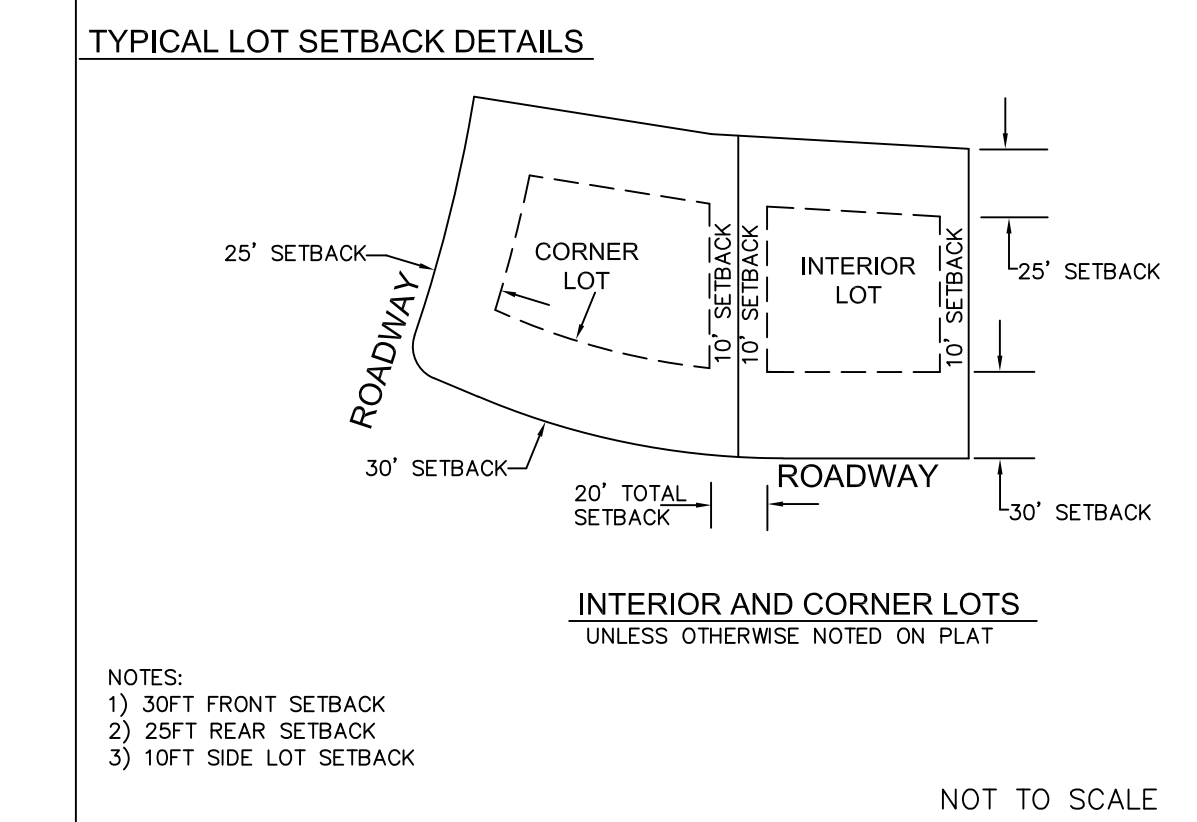
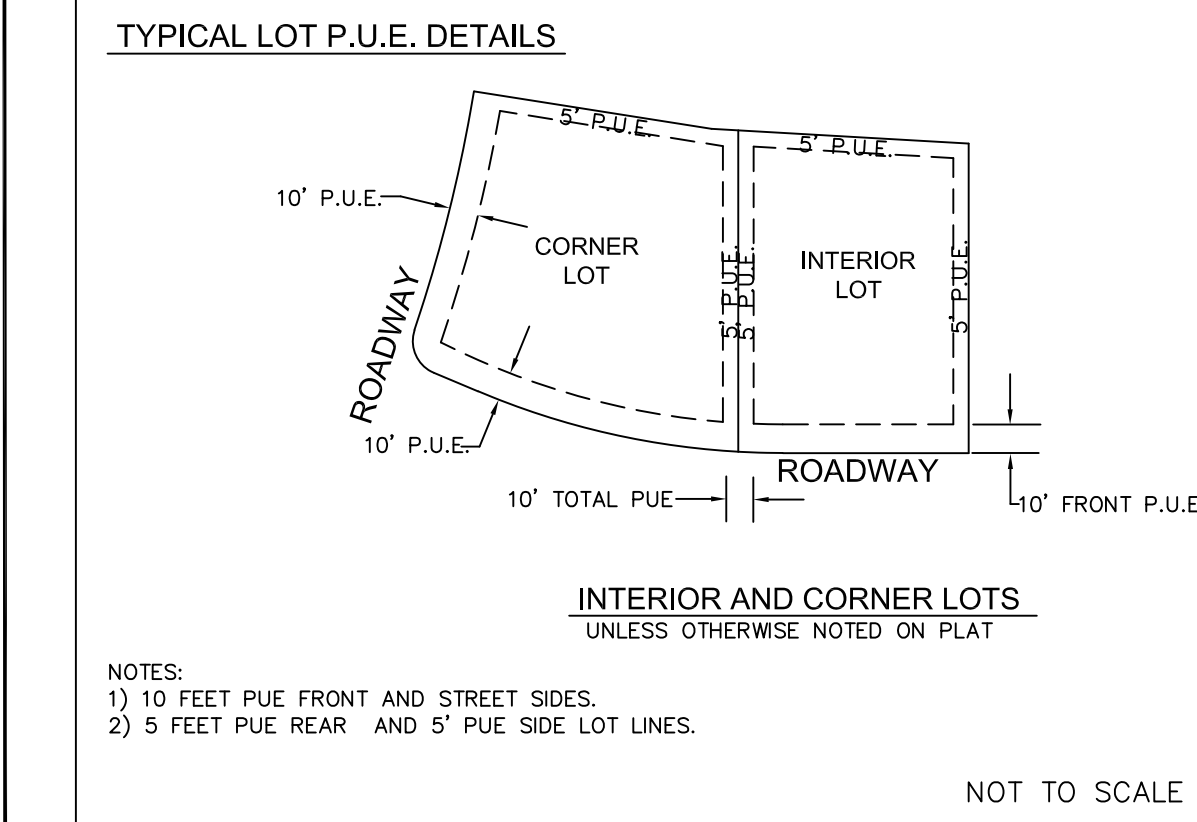
- NOTES:**
- TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
 - NDCBU - NEIGHBORHOOD DELIVERY BOX UNIT.
 - ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
 - AGRICULTURE PROTECTION AREA
THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

NEBO SCHOOL DISTRICT ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____ FOR AND IN BEHALF OF _____ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY



BELLA VISTA SANTAQUIN LLC. ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____ FOR AND IN BEHALF OF _____ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

SURVEYOR OF RECORD:

STRATTON ACRES LLC ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____ FOR AND IN BEHALF OF _____ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

PROJECT ENGINEER:

GATEWAY CONSULTING, inc
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

UTAH COUNTY RECORDER

NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER

COUNTY RECORDER SEAL

CITY CLERK SEAL

SURVEYORS SEAL

CITY ENGINEER SEAL

SHEET NO

1
2

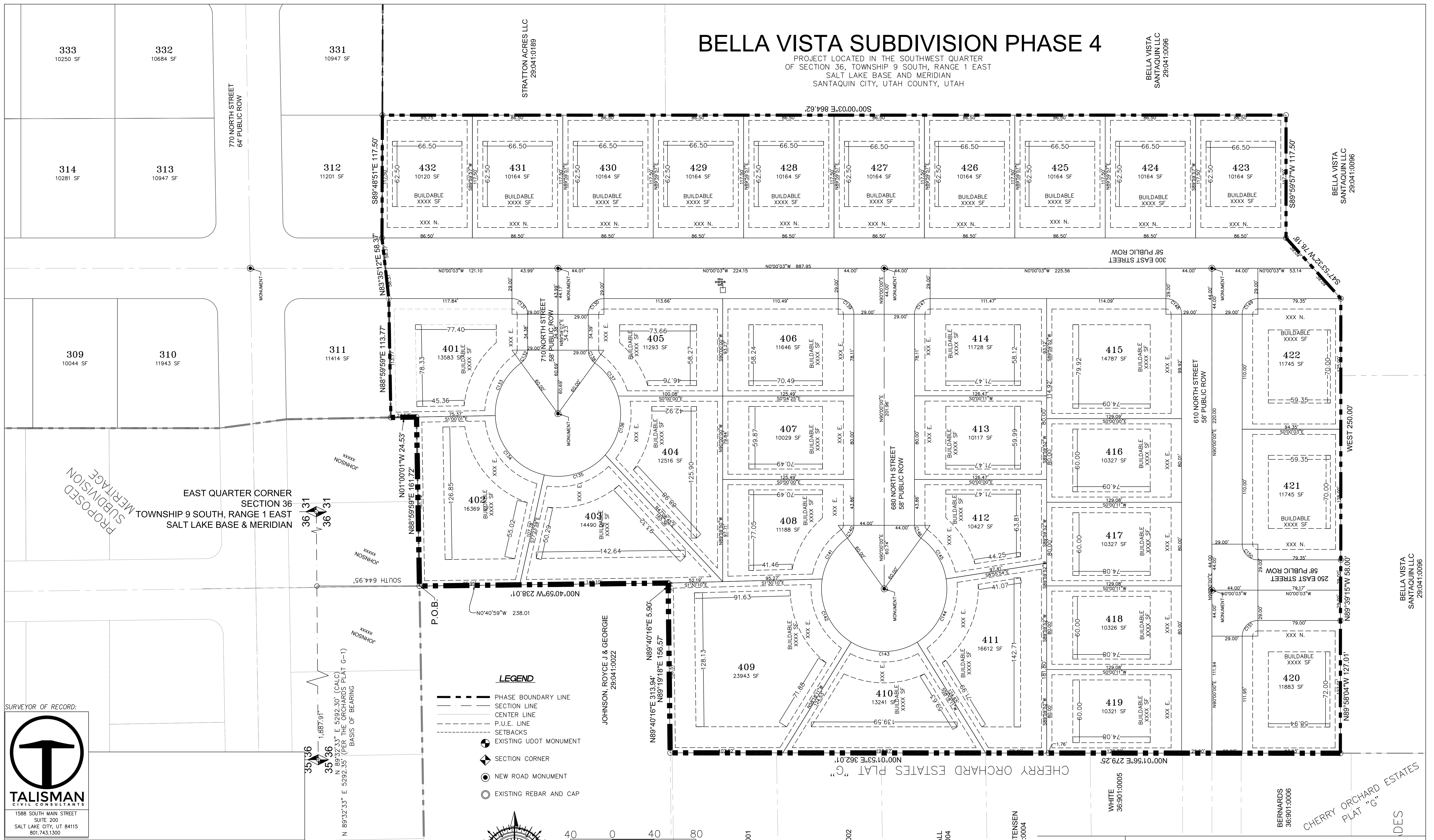
BELLA VISTA SUBDIVISION PHASE 4

PROJECT LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

BELLA VISTA
SANTAQUIN LLC
29-041:0096

BELLA VISTA
SANTAQUIN LLC
29-041:0096

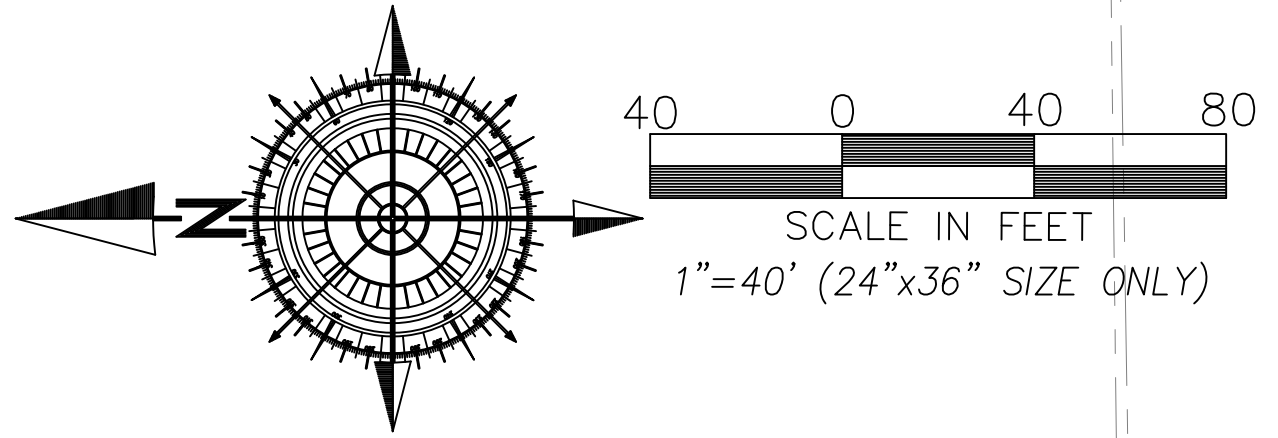
BELLA VISTA
SANTAQUIN LLC
29-041:0096



PROPOSED
SUBDIVISION
MERITAGE

EAST QUARTER CORNER
SECTION 36
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN

- LEGEND**
- PHASE BOUNDARY LINE
 - SECTION LINE
 - CENTER LINE
 - P.U.E. LINE
 - SETBACKS
 - EXISTING UDOT MONUMENT
 - ◆ SECTION CORNER
 - NEW ROAD MONUMENT
 - EXISTING REBAR AND CAP



SURVEYOR OF RECORD:

TALISMAN
CIVIL CONSULTANTS
1588 SOUTH MAIN STREET
SUITE 200
SALT LAKE CITY, UT 84115
801.743.1300

PROJECT ENGINEER:

GATEWAY CONSULTING, inc
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

SANTAQUIN CITY RECORDER

NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER

SHEET NO
2 / 2

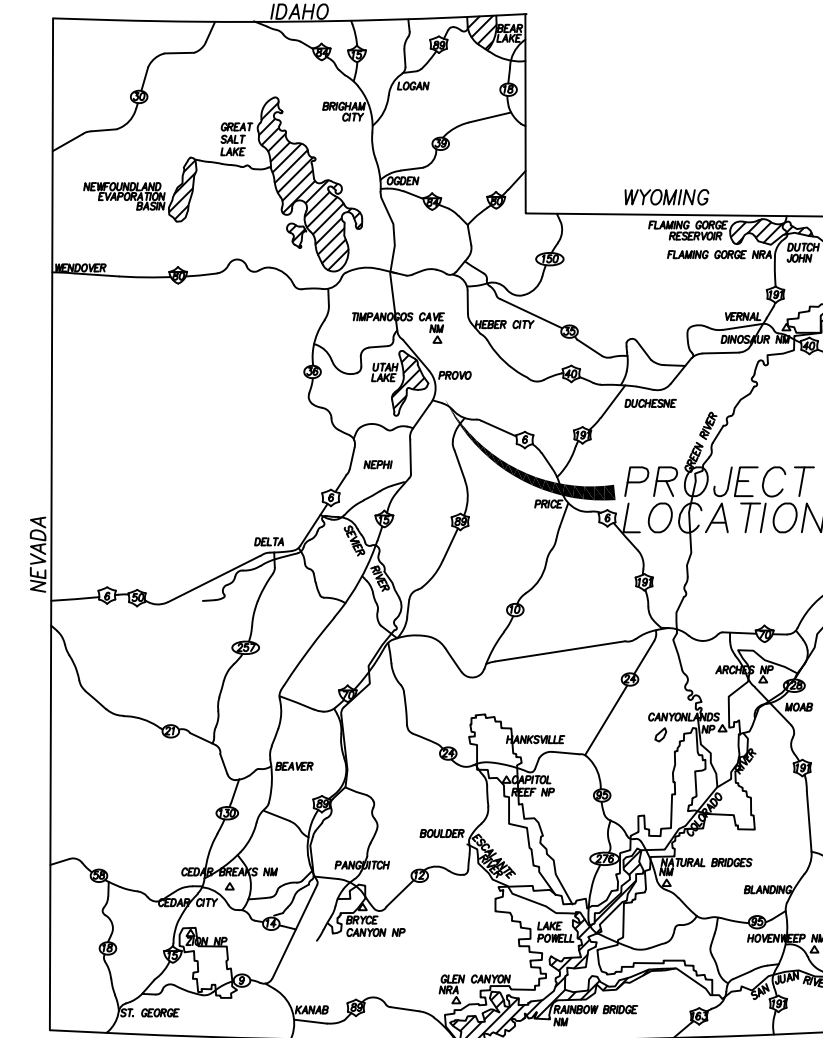
BELLA VISTA SUBDIVISION PHASE 5

PROJECT LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

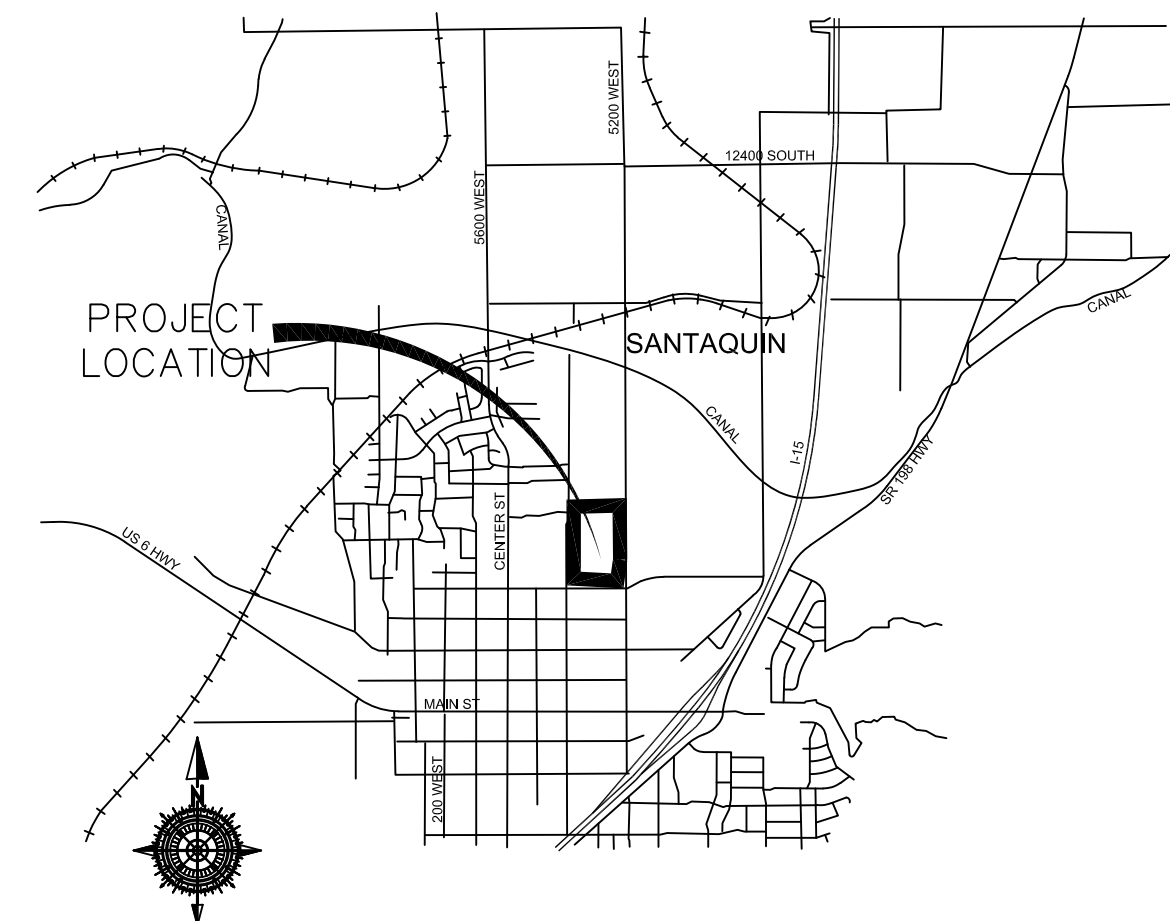
PRELIMINARY PLAT

ADDRESSES	
LOT	
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CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C152	24.00'	15.00'	21.52'	S45°50'44"E	91°41'22"
C153	22.34'	15.00'	20.33'	N42°39'39"E	85°19'25"
C154	27.54'	271.00'	27.53'	S85°23'55"W	5°49'21"
C156	23.12'	15.00'	20.90'	N44°09'16"E	88°18'38"
C157	24.00'	15.00'	21.52'	S45°50'44"E	91°41'22"
C158	16.28'	329.00'	16.28'	N83°54'18"E	2°50'07"
C159	35.06'	270.00'	35.03'	N86°12'26"E	7°26'23"
C160	42.59'	328.00'	42.56'	N86°12'25"E	7°26'24"
C162	38.82'	299.00'	38.80'	N86°12'26"E	7°26'23"
C163	42.59'	328.00'	42.56'	N86°12'25"E	7°26'24"
C164	27.54'	271.00'	27.53'	N85°23'55"E	5°49'21"
C165	30.49'	300.00'	30.47'	N85°23'55"E	5°49'21"
C166	35.06'	270.00'	35.03'	N86°12'26"E	7°26'23"
C167	16.28'	329.00'	16.28'	N83°54'18"E	2°50'07"
C168	14.85'	300.00'	14.84'	N83°54'18"E	2°50'07"
C169	15.64'	300.00'	15.64'	N86°48'58"E	2°59'14"



VICINITY MAP



VICINITY MAP

SURVEYOR'S CERTIFICATE

I, _____ DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH _____ AND THAT I HOLD LICENSE NO. _____ AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S) I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THE PLAT IS BELLA VISTA SUBDIVISION PHASE 5, SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

BOUNDARY DESCRIPTION

Beginning at a point that is North 89°32'33" East 1,727.93 feet along the quarter section line and South 1,524.81 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and commencing S 89°58'04" E 127.01 feet, thence S 89°39'15" E 58.00 feet, thence East 250.00 feet, thence N 47°53'32" E 78.18 feet, thence N 89°58'57" E 117.50 feet, thence S 00°00'03" E 346.00 feet, thence S 01°00'42" E 152.88 feet, thence S 88°18'35" W 286.98 feet, thence S 1°48'51" W 203.32 feet, thence West 396.35 feet, thence N 0°04'24" W 171.75 feet, thence S 23°19'12" W 60.95 feet, thence N 0°04'26" W 111.01 feet, thence N 86°41'06" E 100.92 feet, thence N 0°01'56" E 313.97 feet to the point of beginning. Phase contain 8.72 ac and 26 lots.

**PRELIMINARY PLAT
FOR REVIEW ONLY**

DATE: _____

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HERON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20_____

BELLA VISTA SANTAQUIN LLC
KIMBALL STRATTON (MANAGER)

BELLA VISTA SUBDIVISION PHASE 5

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____ A.D. 20_____

APPROVED BY MAYOR _____

APPROVED _____ CITY ENGINEER (SEE SEAL BELOW) ATTEST _____ CLERK-RECORDER (SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL
APPROVED THIS _____ DAY OF _____ A.D. 20_____ BY THE
SANTAQUIN CITY PLANNING COMMISSION.

CHAIRPERSON, PLANNING COMMISSION _____ DATE _____

DIRECTOR, SECRETARY _____ DATE _____

CASCADE SHADOWS INC. ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.
ON THE _____ DAY OF _____, 20_____, PERSONALLY APPEARED BEFORE ME _____ FOR AND IN BEHALF OF _____ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.
MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

SURVEYOR OF RECORD:

PROJECT ENGINEER:

GATEWAY CONSULTING, inc
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

UTAH COUNTY RECORDER

NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER

COUNTY RECORDER SEAL

CITY CLERK SEAL

SURVEYORS SEAL

CITY ENGINEER SEAL

SHEET NO

1
2

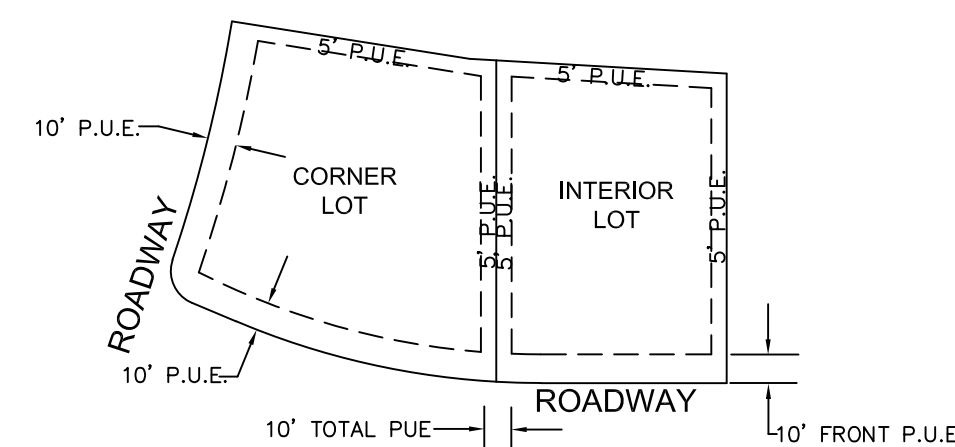
NOTES:

- TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
- NDCBU - NEIGHBORHOOD DELIVERY BOX UNIT.
- ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
- AGRICULTURE PROTECTION AREA
THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

NEBO SCHOOL DISTRICT ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.
ON THE _____ DAY OF _____, 20_____, PERSONALLY APPEARED BEFORE ME _____ FOR AND IN BEHALF OF _____ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.
MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

TYPICAL LOT P.U.E. DETAILS

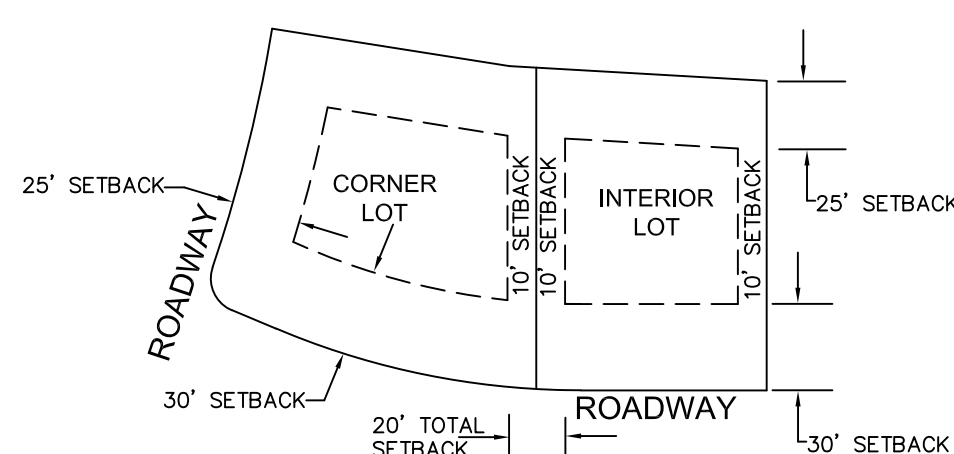


INTERIOR AND CORNER LOTS UNLESS OTHERWISE NOTED ON PLAT

- NOTES:
1) 10 FEET PUE FRONT AND STREET SIDES.
2) 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES.

NOT TO SCALE

TYPICAL LOT SETBACK DETAILS



INTERIOR AND CORNER LOTS UNLESS OTHERWISE NOTED ON PLAT

- NOTES:
1) 30FT FRONT SETBACK
2) 25FT REAR SETBACK
3) 10FT SIDE LOT SETBACK

NOT TO SCALE

ROCKY MOUNTAIN POWER

- PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
- PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
 - A RECORDED EASEMENT OR RIGHT-OF-WAY
 - THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
 - TITLE 54, CHAPTER 86, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
 - ANY OTHER PROVISION OF LAW

Approved this _____ day of _____, 20_____

ROCKY MOUNTAIN POWER

DOMINION ENERGY QUESTAR CORPORATION

- DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

Approved this _____ day of _____, 20_____

QUESTAR GAS COMPANY

By _____
Title _____

CENTRACOM ACCEPTANCE

APPROVED THIS _____ DAY OF _____ A.D. 20_____

BY _____ TITLE _____

CENTURY LINK ACCEPTANCE

APPROVED THIS _____ DAY OF _____ A.D. 20_____

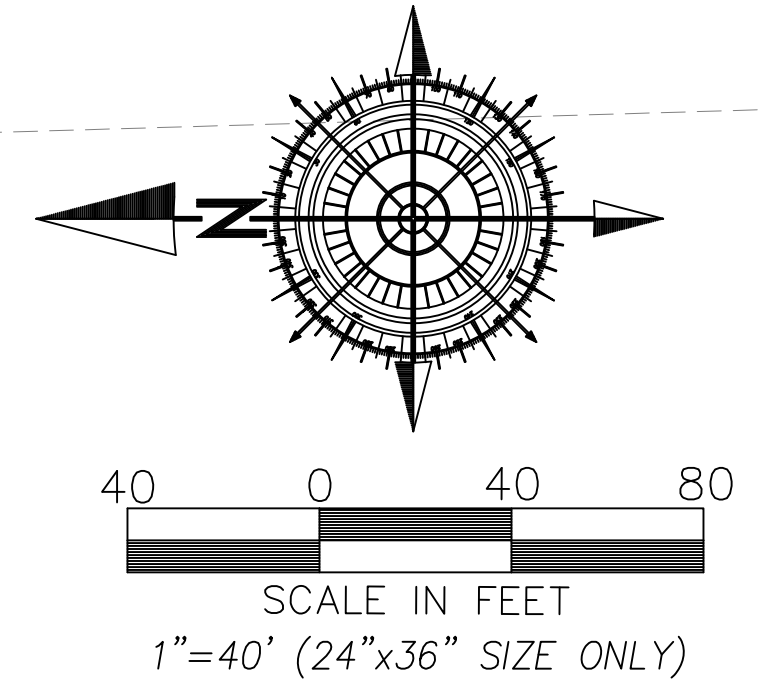
BY _____ TITLE _____

BELLA VISTA SUBDIVISION PHASE 5

PROJECT LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH



CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C152	24.00'	15.00'	21.52'	S45°50'44"E	91°41'22"
C153	22.34'	15.00'	20.33'	N42°39'39"E	85°19'25"
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C157	24.00'	15.00'	21.52'	S45°50'44"E	91°41'22"
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C159	35.06'	270.00'	35.03'	N86°12'26"E	7°26'23"
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C162	38.82'	299.00'	38.80'	N86°12'26"E	7°26'23"
C163	42.59'	328.00'	42.56'	N86°12'25"E	7°26'24"
C164	27.54'	271.00'	27.53'	N85°23'55"E	5°49'21"
C165	30.49'	300.00'	30.47'	N85°23'55"E	5°49'21"
C166	35.06'	270.00'	35.03'	N86°12'26"E	7°26'23"
C167	16.28'	329.00'	16.28'	N83°54'18"E	2°50'07"
C168	14.85'	300.00'	14.84'	N83°54'18"E	2°50'07"
C169	15.64'	300.00'	15.64'	N84°48'98"E	2°59'14"



- LEGEND**
- PHASE BOUNDARY LINE
 - SECTION LINE
 - CENTER LINE
 - P.U.E. LINE
 - SETBACKS
 - EXISTING UDOT MONUMENT
 - SECTION CORNER
 - NEW ROAD MONUMENT
 - EXISTING REBAR AND CAP

SURVEYOR OF RECORD:

PROJECT ENGINEER:



GATEWAY CONSULTING, inc
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

WEST QUARTER CORNER
SECTION 36
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN

EAST QUARTER CORNER
SECTION 36
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN

SHEET NO. **2** / **2**

SANTAQUIN CITY RECORDER

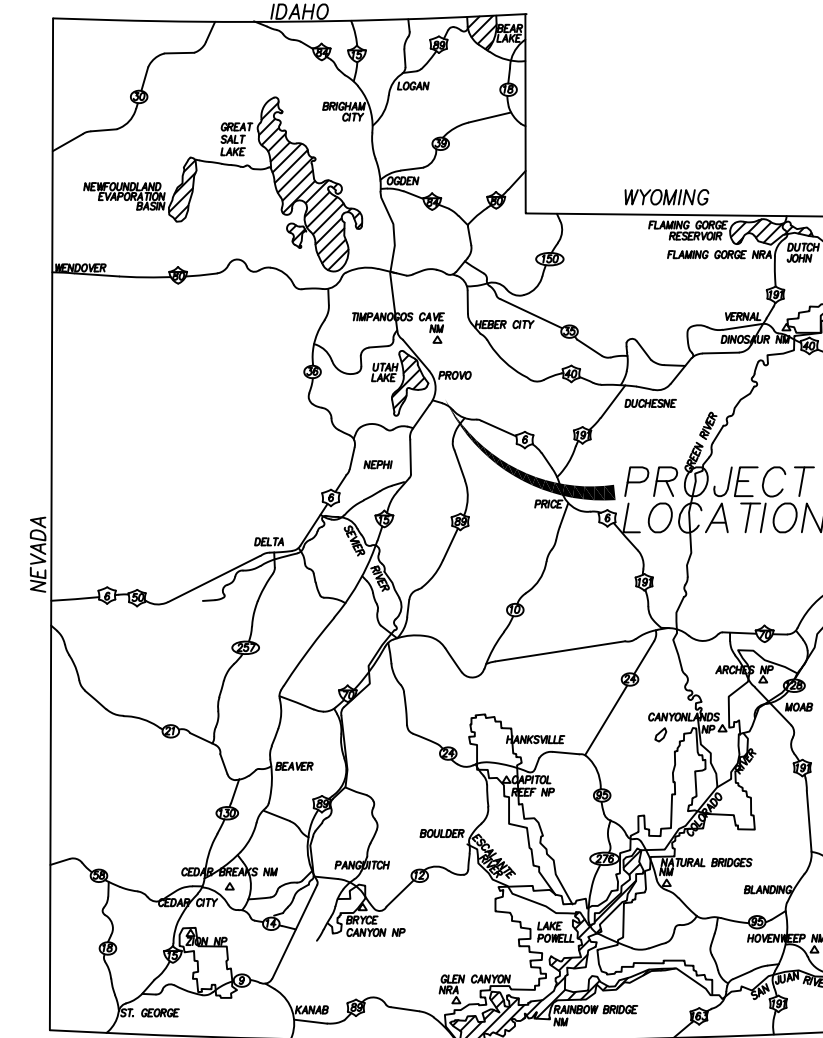
NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER

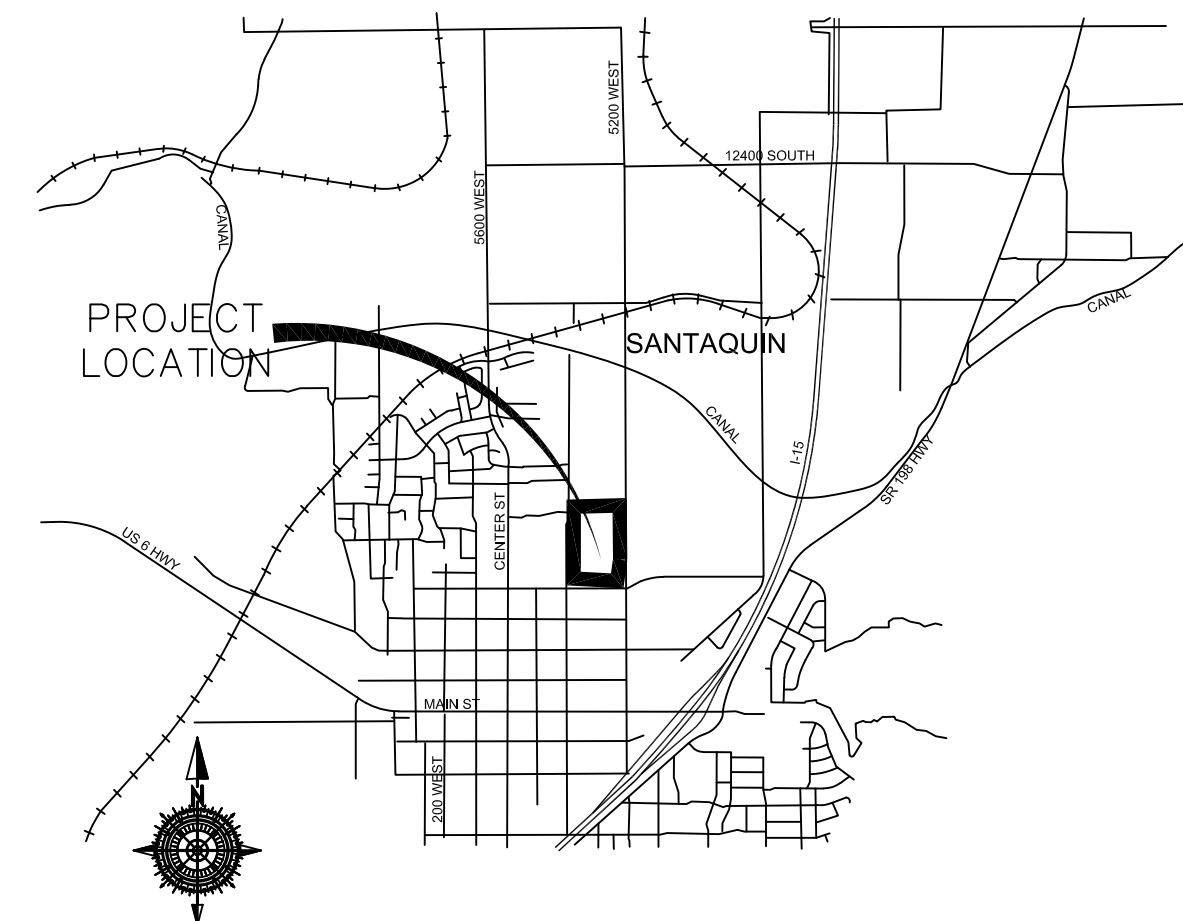
BELLA VISTA SUBDIVISION PHASE 6

PROJECT LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT



VICINITY MAP



VICINITY MAP

LOT	ADDRESSES
601	
602	
603	
604	
605	
606	
607	
608	
609	
610	
611	
612	
613	
614	
615	
616	
617	
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619	
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621	
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623	
624	
625	
626	
627	
628	
629	

NOTES:

- TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
- NDCBU - NEIGHBORHOOD DELIVERY BOX UNIT.
- ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
- AGRICULTURE PROTECTION AREA
THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

NEBO SCHOOL DISTRICT ACKNOWLEDGMENT

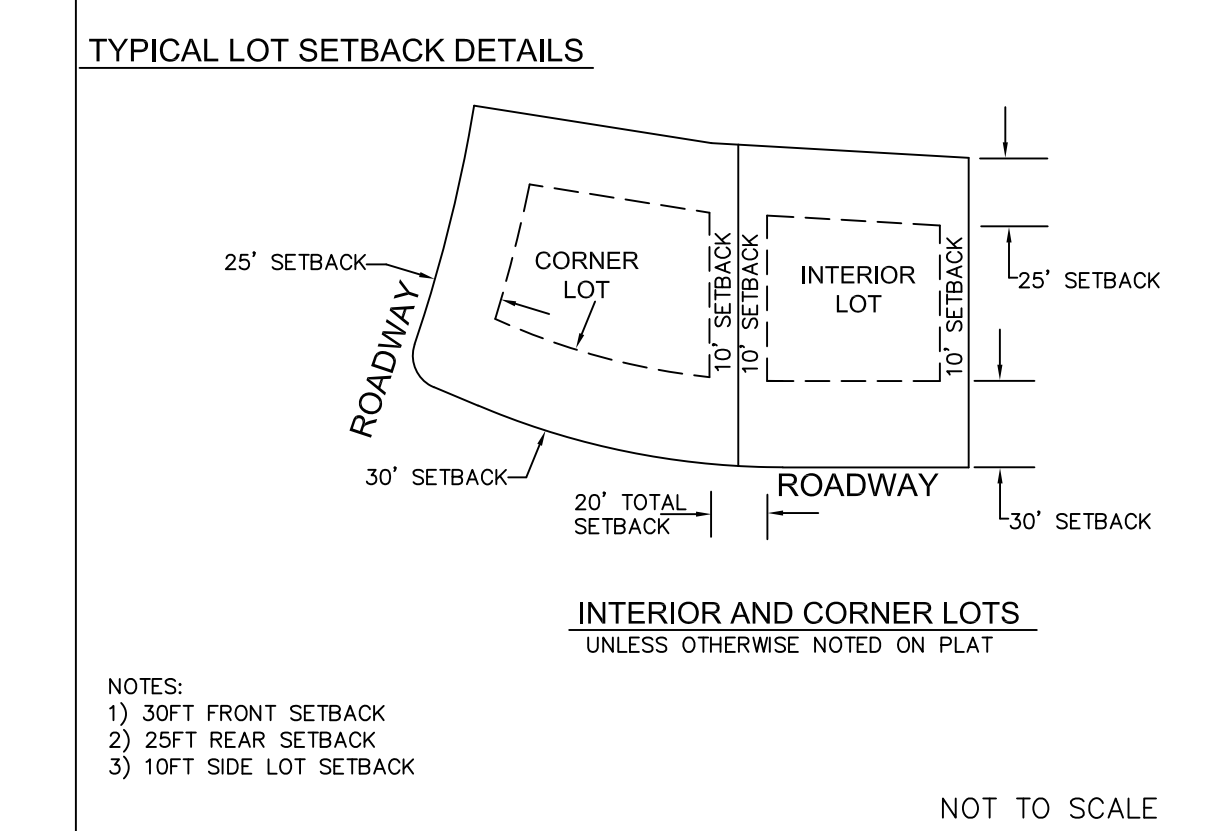
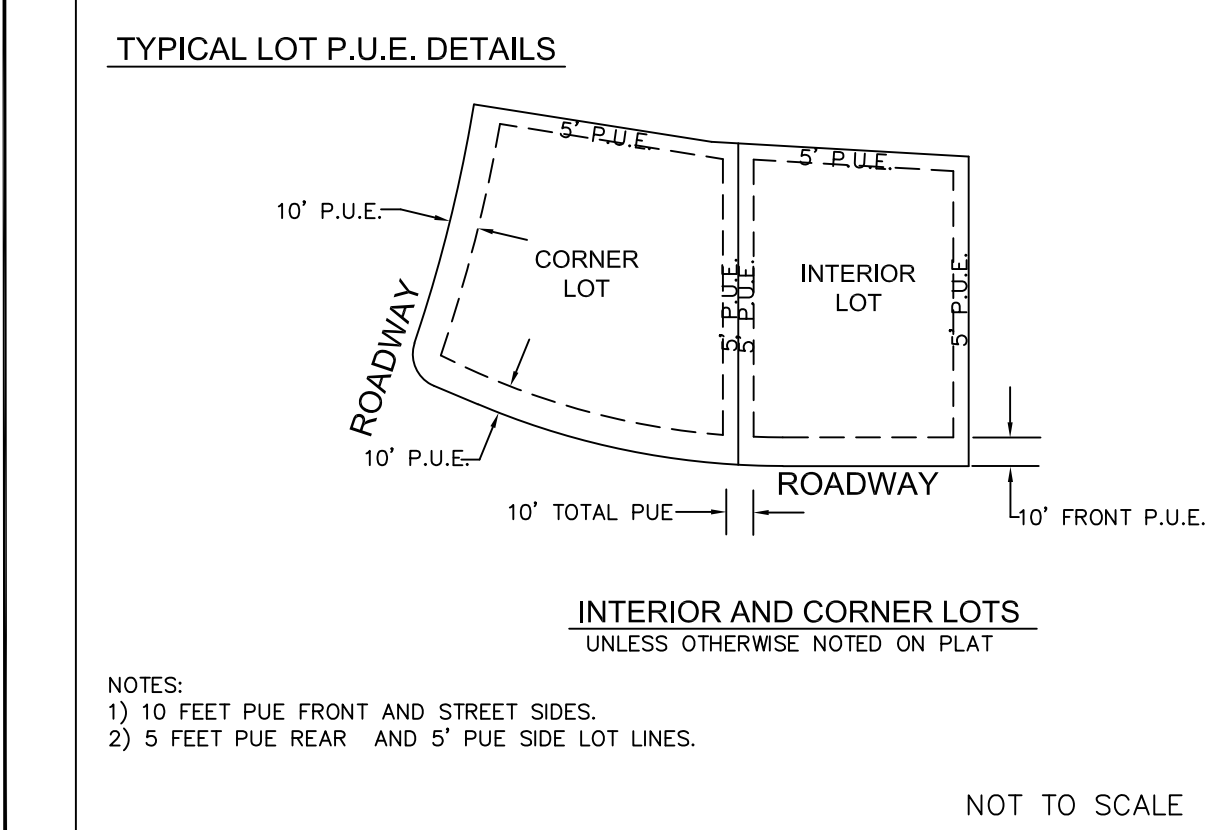
STATE OF UTAH COUNTY OF S.S.

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____

FOR AND IN BEHALF OF _____

WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY



BELLA VISTA SANTAQUIN LLC. ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____

FOR AND IN BEHALF OF _____

WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

SURVEYOR OF RECORD:

STRATTON ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____

FOR AND IN BEHALF OF _____

WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

PROJECT ENGINEER:

GATEWAY CONSULTING, inc
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

UTAH COUNTY RECORDER

NO. _____ BOOK _____ PAGE _____ DATE _____

STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____

RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER

COUNTY RECORDER SEAL

CITY CLERK SEAL

SURVEYORS SEAL

CITY ENGINEER SEAL

SHEET NO
1
2

SURVEYOR'S CERTIFICATE

I, _____ DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH _____ AND THAT I HOLD LICENSE NO. _____ AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S) I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THE PLAT IS BELLA VISTA SUBDIVISION PHASE 6, SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

BOUNDARY DESCRIPTION

Beginning at a point that is North 89°32'33" East 2,338.44 feet along the quarter section line and South 613.07 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and commencing S 89°48'51" E 112.40 feet, thence S 78°40'24" E 59.22 feet, thence N 89°39'44" E 124.88 feet, thence S 0°19'44" E 1,343.37 feet, thence S 68°18'35" W 300.47 feet, thence N 01°00'42" W 152.88 feet, thence N 0°00'03" W 346.00 feet, thence N 0°00'03" W 864.62 feet to the point of beginning.
Parcel contains 29 lots and 9.29 acres.

PRELIMINARY PLAT
FOR REVIEW ONLY

DATE: _____

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____

STRATTON ACRES LLC
ANDY FLAMM (MANAGER)

BELLA VISTA SANTAQUIN LLC
KIMBALL STRATTON (MANAGER)

BELLA VISTA SUBDIVISION PHASE 6

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____

APPROVED BY MAYOR _____

APPROVED _____ CITY ENGINEER (SEE SEAL BELOW) ATTEST _____ CLERK-RECORDER (SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL

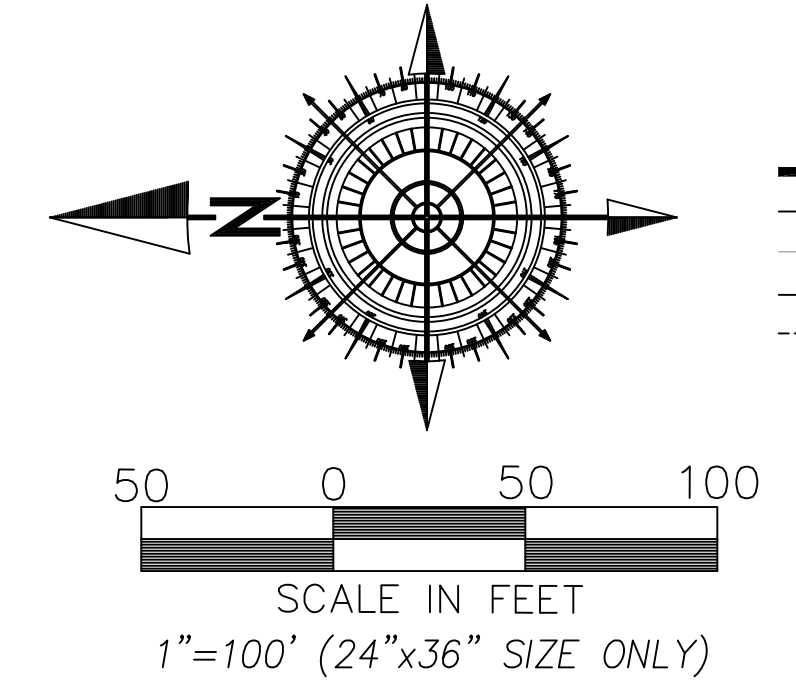
APPROVED THIS _____ DAY OF _____, A.D. 20____ BY THE SANTAQUIN CITY PLANNING COMMISSION.

CHAIRPERSON, PLANNING COMMISSION _____ DATE _____

DIRECTOR, SECRETARY _____ DATE _____

BELLA VISTA SUBDIVISION PHASE 6

PROJECT LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

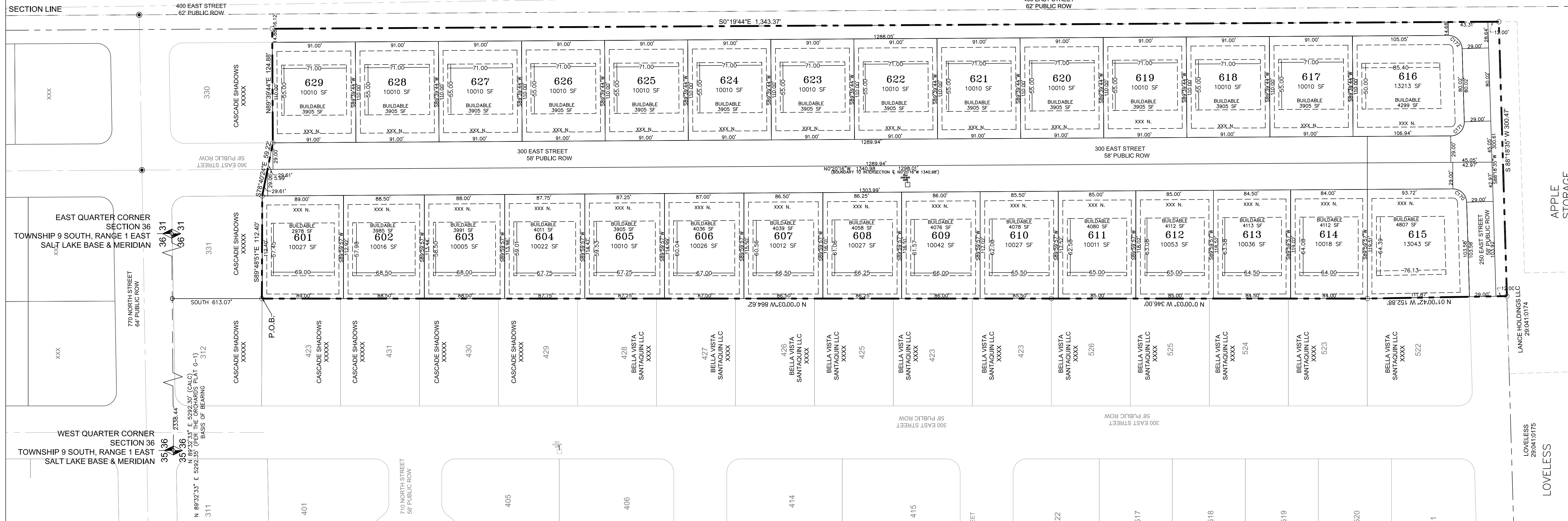


- LEGEND**
- PHASE BOUNDARY LINE
 - - - SECTION LINE
 - CENTER LINE
 - - - P.U.E. LINE
 - - - SETBACKS
 - EXISTING UDOT MONUMENT
 - ◆ SECTION CORNER
 - NEW ROAD MONUMENT
 - EXISTING REBAR AND CAP

BOARD OF
EDUCATION
NEBO
SCHOOL

FERGUSON
ORCHARDS

FERGUSON
FAMILY
TRUST



SURVEYOR OF RECORD:

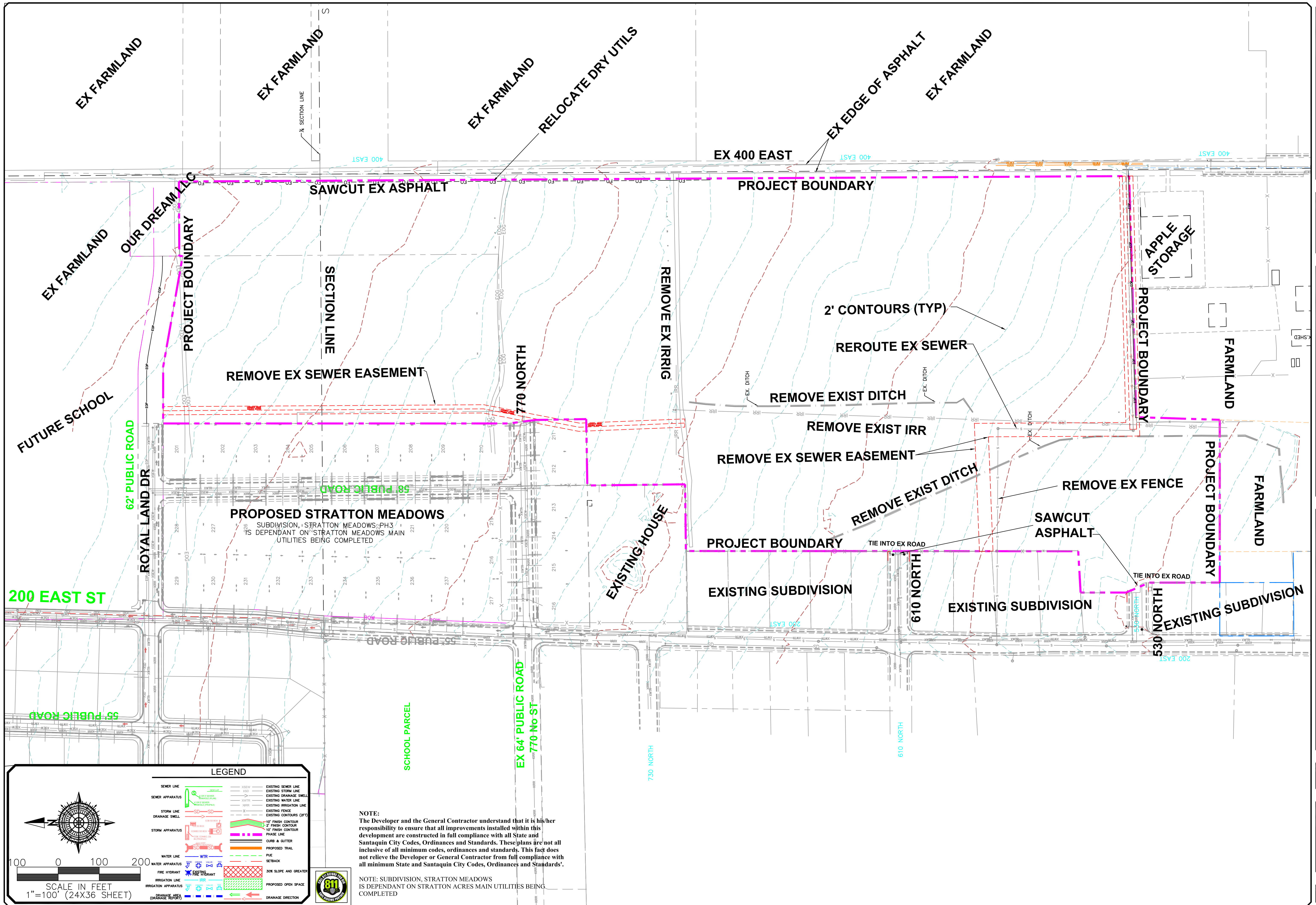
PROJECT ENGINEER:

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C170	23.21'	15.00'	20.96'	N43°59'09"E	88°38'51"
C171	23.92'	15.00'	21.46'	S46°00'51"E	91°21'09"
C172	23.21'	15.00'	20.96'	N43°59'09"E	88°38'51"

GATEWAY CONSULTING, inc
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

SHEET NO
2 / 2

SANTAQUIN CITY RECORDER
NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____
COUNTY RECORDER _____



LEGEND

SEWER LINE		EXISTING SEWER LINE	
SEWER APPARATUS		EXISTING STORM LINE	
STORM LINE		EXISTING DRAINAGE SHIELD	
DRAINAGE SHIELD		EXISTING WATER LINE	
STORM APPARATUS		EXISTING IRRIGATION LINE	
WATER LINE		EXISTING FENCE	
FIRE HYDRANT		EXISTING CONTOURS (2FT)	
IRRIGATION APPARATUS		10' FINISH CONTOUR	
DRAINAGE SHIELD		2' FINISH CONTOUR	
		10' FINISH CONTOUR	
		2' FINISH CONTOUR	
		PROPOSED TRAIL	
		SETBACK	
		SOE SLOPE AND GREATER	
		PROPOSED OPEN SPACE	
		DRAINAGE DIRECTION	

SCALE IN FEET
1"=100' (24X36 SHEET)

NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards.

NOTE: SUBDIVISION, STRATTON MEADOWS IS DEPENDANT ON STRATTON ACRES MAIN UTILITIES BEING COMPLETED

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	CPW
DRAWN BY:	CPW
DESIGNED BY:	CPW
CHECKED BY:	CPW
SCALE:	1"=100'

GATEWAY CONSULTING, Inc
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 paul@gatewayconsultingllc.com

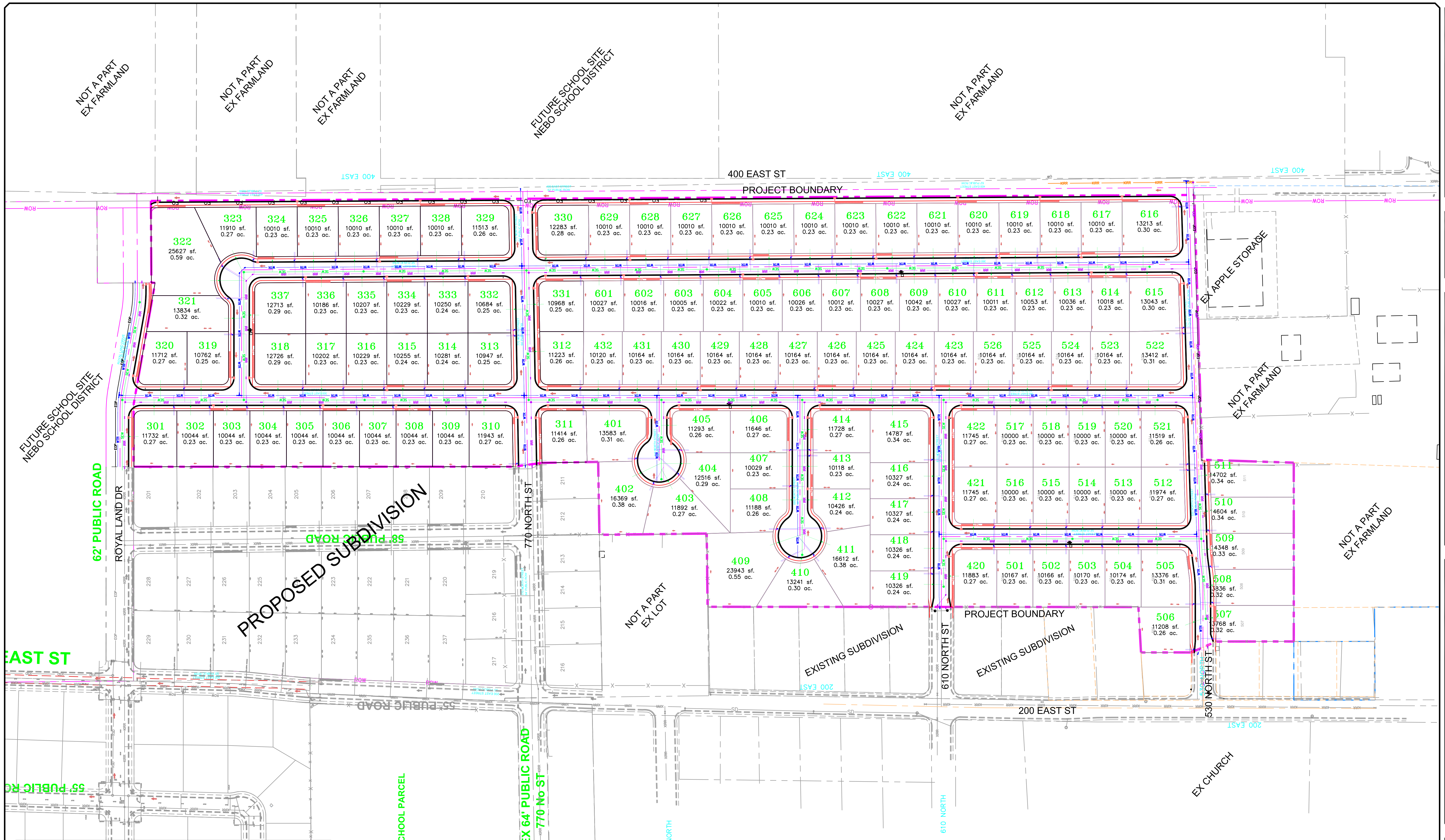
CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

BELLA VISTA SUBDIVISION
 EXISTING CONDITIONS AND DEMOLITION SHEET
 1-17-2025

SANTAQUIN CITY



SHEET NO. **2**



LEGEND

SEWER LINE	EXISTING SEWER LINE	EXISTING STORM LINE	EXISTING STORM LINE
SEWER APPARATUS	EXISTING SEWER APPARATUS	EXISTING DRAINAGE SHIELD	EXISTING DRAINAGE SHIELD
STORM LINE	EXISTING STORM LINE	EXISTING WATER LINE	EXISTING WATER LINE
DRAINAGE SHIELD	EXISTING DRAINAGE SHIELD	EXISTING IRRIGATION LINE	EXISTING IRRIGATION LINE
STORM APPARATUS	EXISTING STORM APPARATUS	EXISTING FENCE	EXISTING FENCE
		EXISTING CONTOUR (2 FT)	EXISTING CONTOUR (2 FT)
		10' FINISH CONTOUR	10' FINISH CONTOUR
		2' FINISH CONTOUR	2' FINISH CONTOUR
		10' FINISH CONTOUR	10' FINISH CONTOUR
		PHASE LINE	PHASE LINE
		BOUNDARY LINE	BOUNDARY LINE
		PIE	PIE
		CLUB & OUTER	CLUB & OUTER
		SETBACK	SETBACK
		DOE SLOPE AND GRATER	DOE SLOPE AND GRATER
		PROPOSED OPEN SPACE	PROPOSED OPEN SPACE
		STOP OR STREET SIGN	STOP OR STREET SIGN
		DRAINAGE DIRECTION	DRAINAGE DIRECTION

SCALE IN FEET
1"=100' (24x36 SHEET)

NOTE:
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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
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 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=40'

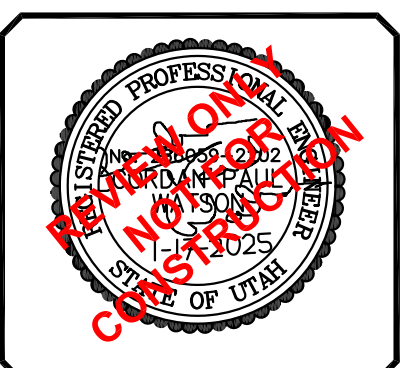
GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
 paul@gatewayconsultingllc.com

CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

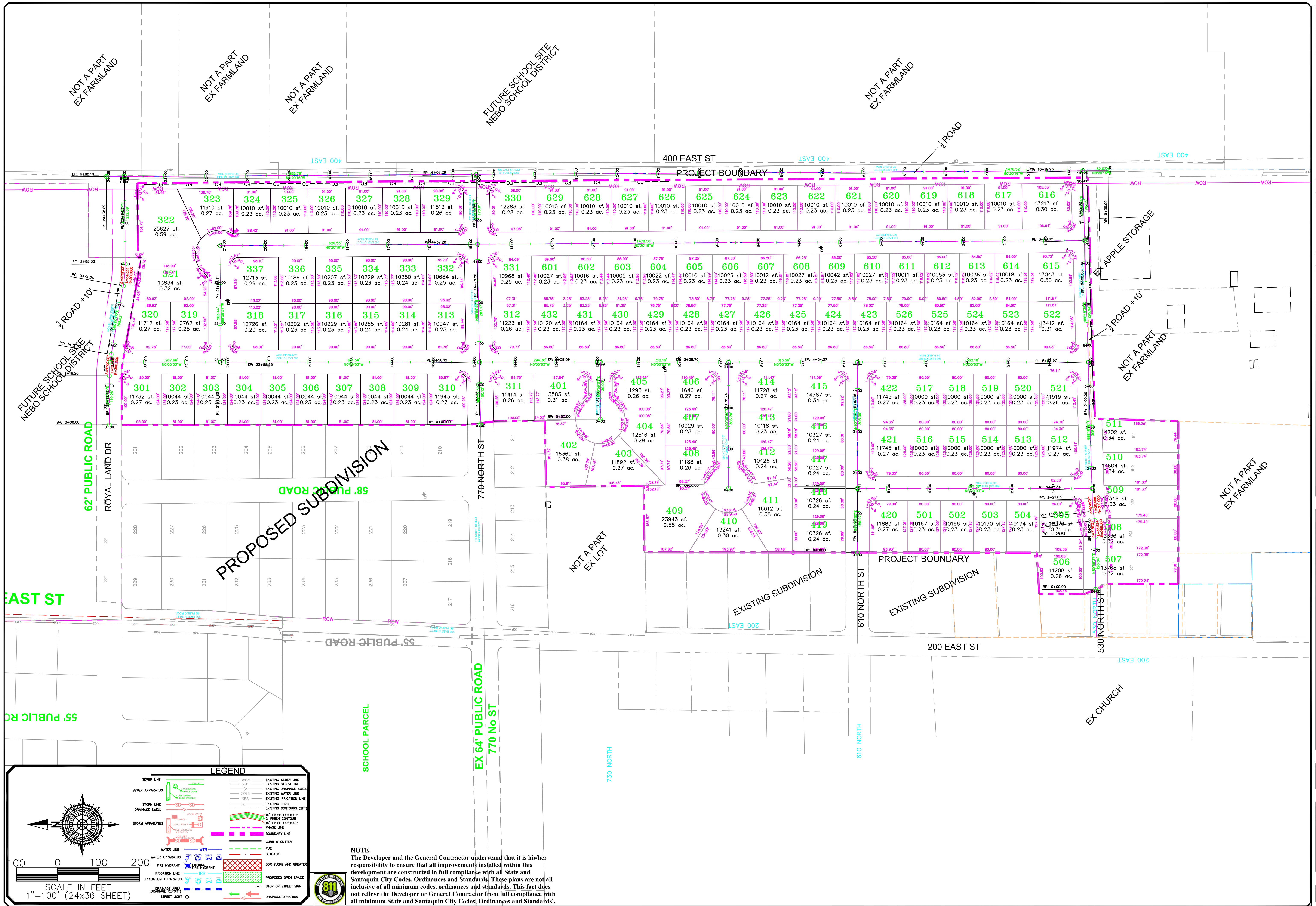
BELLA VISTA SUBDIVISION
SITE PLAN

1-17-2025

SANTAQUIN CITY



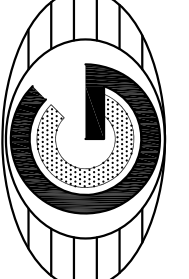
SHEET NO. 3A



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
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 DRAWN BY: CPW
 DESIGNED BY: CPW
 CHECKED BY: CPW
 SCALE: 1"=40'

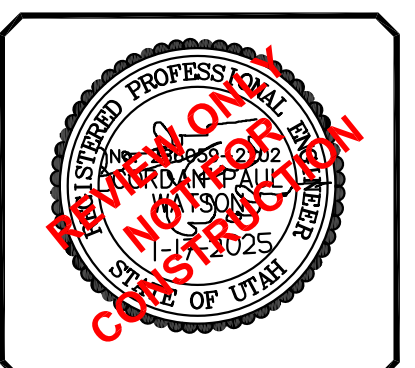
GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 684-5848
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CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

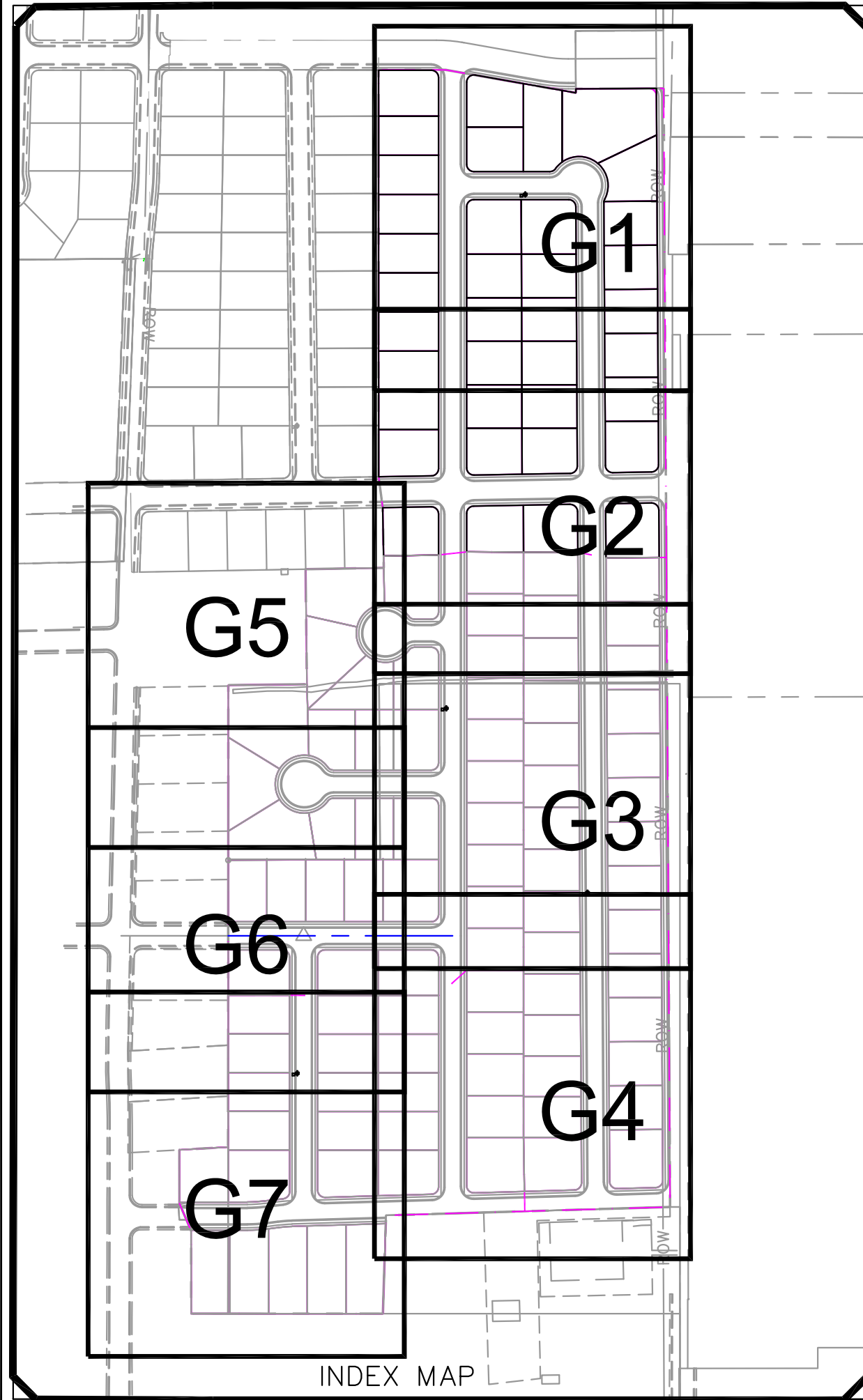
BELLA VISTA SUBDIVISION
 SITE PLAN DIMENSIONS
 1-17-2025

SANTAQUIN CITY



SHEET NO. 3B

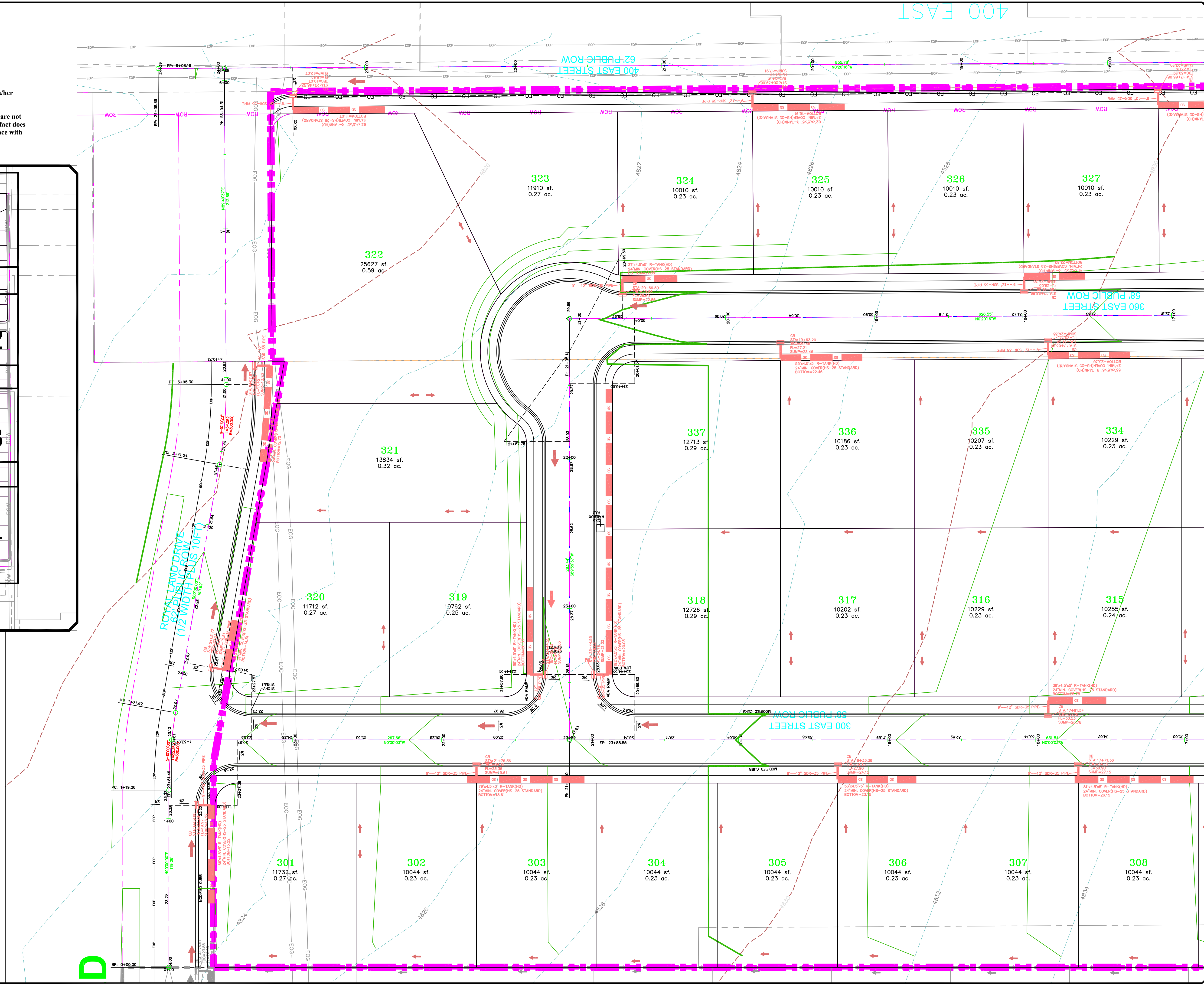
NOTE:
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SCALE IN FEET
1"=30' (24X36 SHEET)

LEGEND

SEWER LINE	EXISTING SEWER LINE	EXISTING SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE	EXISTING STORM LINE	EXISTING STORM LINE
STORM LINE	EXISTING WATER LINE	EXISTING WATER LINE	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE	EXISTING IRRIGATION LINE	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE	EXISTING FENCE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (PT)	EXISTING CONTOURS (PT)	EXISTING CONTOURS (PT)
FIRE HYDRANT	10' FINISH CONTOUR	10' FINISH CONTOUR	10' FINISH CONTOUR
IRRIGATION LINE	2' FINISH CONTOUR	2' FINISH CONTOUR	2' FINISH CONTOUR
IRRIGATION APPARATUS	5' FINISH CONTOUR	5' FINISH CONTOUR	5' FINISH CONTOUR
DRAINAGE AREA (DRAINAGE REPORT)	PROPOSED TRAIL	PROPOSED TRAIL	PROPOSED TRAIL
	PUE	PUE	PUE
	SETBACK	SETBACK	SETBACK
	SOIL SLOPE AND GREATER	SOIL SLOPE AND GREATER	SOIL SLOPE AND GREATER
	PROPOSED OPEN SPACE	PROPOSED OPEN SPACE	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION	DRAINAGE DIRECTION	DRAINAGE DIRECTION



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
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CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

BELLA VISTA SUBDIVISION
 GRADING

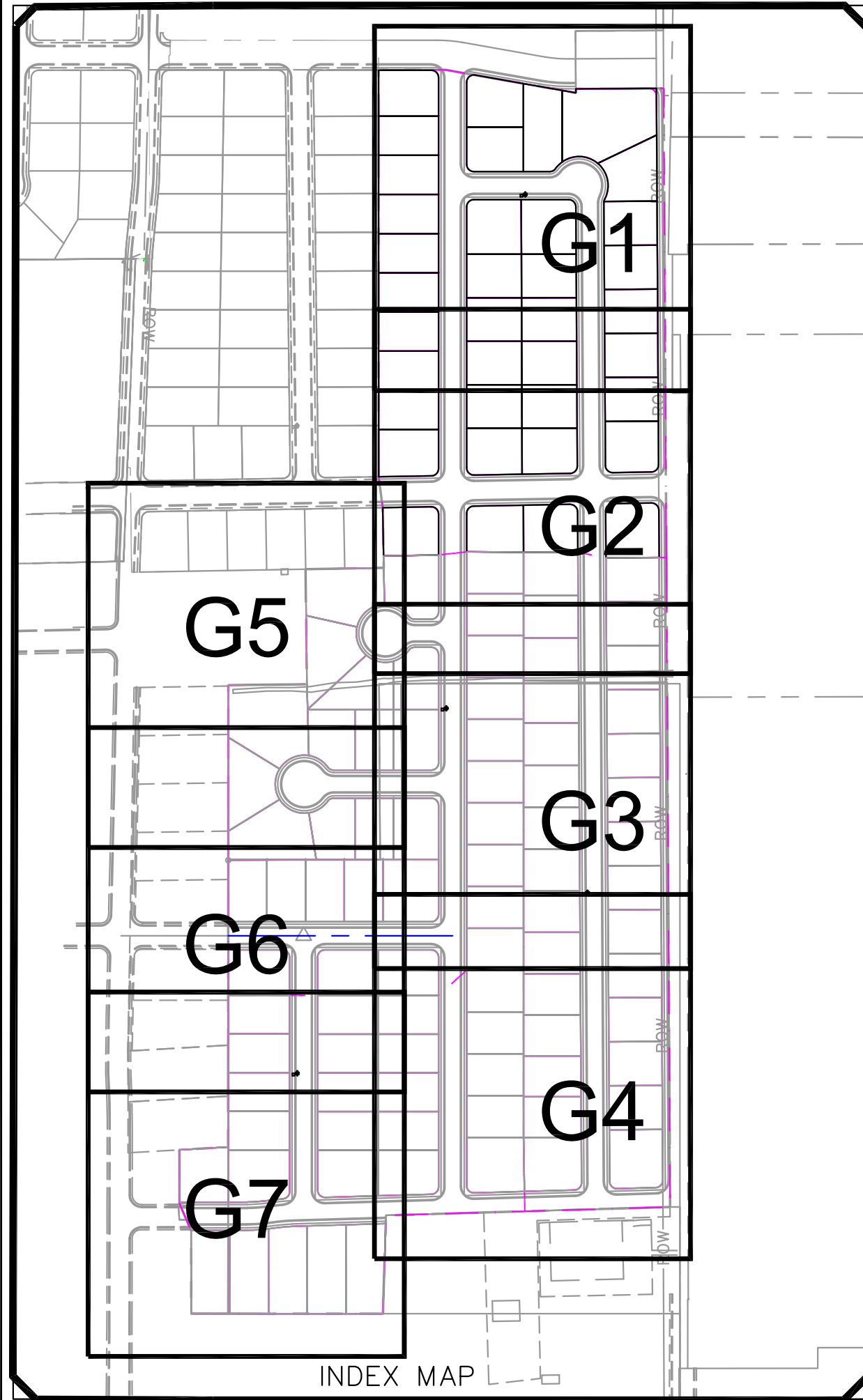
1-17-2025

SANTAQUIN CITY



SHEET NO. G1

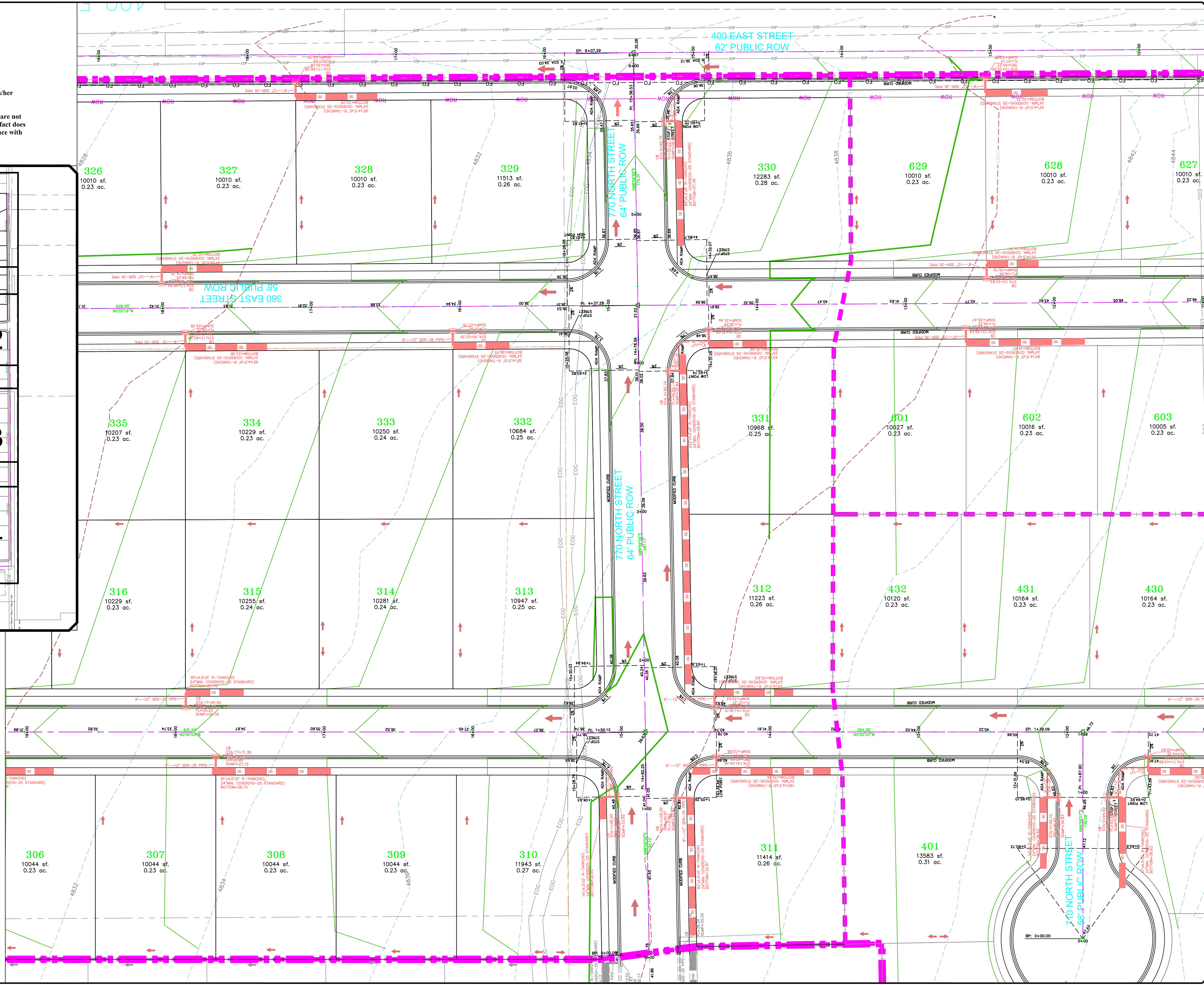
NOTE:
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SCALE IN FEET
1"=30' (24X36 SHEET)

LEGEND

SEWER LINE	EXISTING SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SHELL	EXISTING DRAINAGE SHELL
DRAINAGE SHELL	EXISTING WATER LINE	EXISTING WATER LINE
	EXISTING IRRIGATION LINE	EXISTING IRRIGATION LINE
	EXISTING FENCE	EXISTING FENCE
	EXISTING CONTOURS (PNT)	EXISTING CONTOURS (PNT)
	10' FINISH CONTOUR	10' FINISH CONTOUR
	2' FINISH CONTOUR	2' FINISH CONTOUR
	10' FINISH CONTOUR	10' FINISH CONTOUR
	PROPOSED TRAIL	PROPOSED TRAIL
	PUE	PUE
	SETBACK	SETBACK
	SOE SLOPE AND GREATER	SOE SLOPE AND GREATER
	PROPOSED OPEN SPACE	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION	DRAINAGE DIRECTION



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

GATEWAY CONSULTING, Inc
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CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

BELLA VISTA SUBDIVISION

GRADING

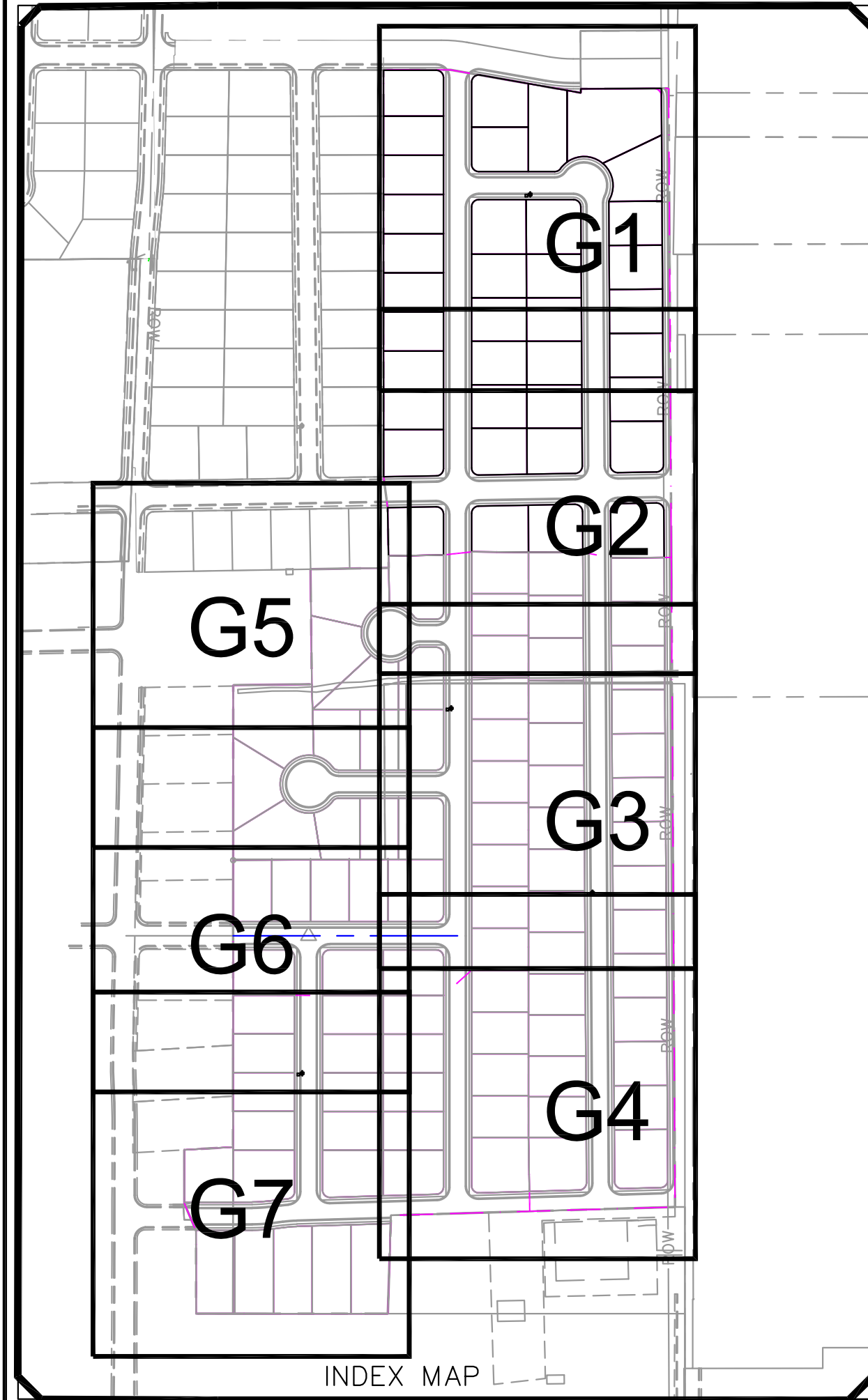
1-17-2025

SANTAQUIN CITY



SHEET NO. G2

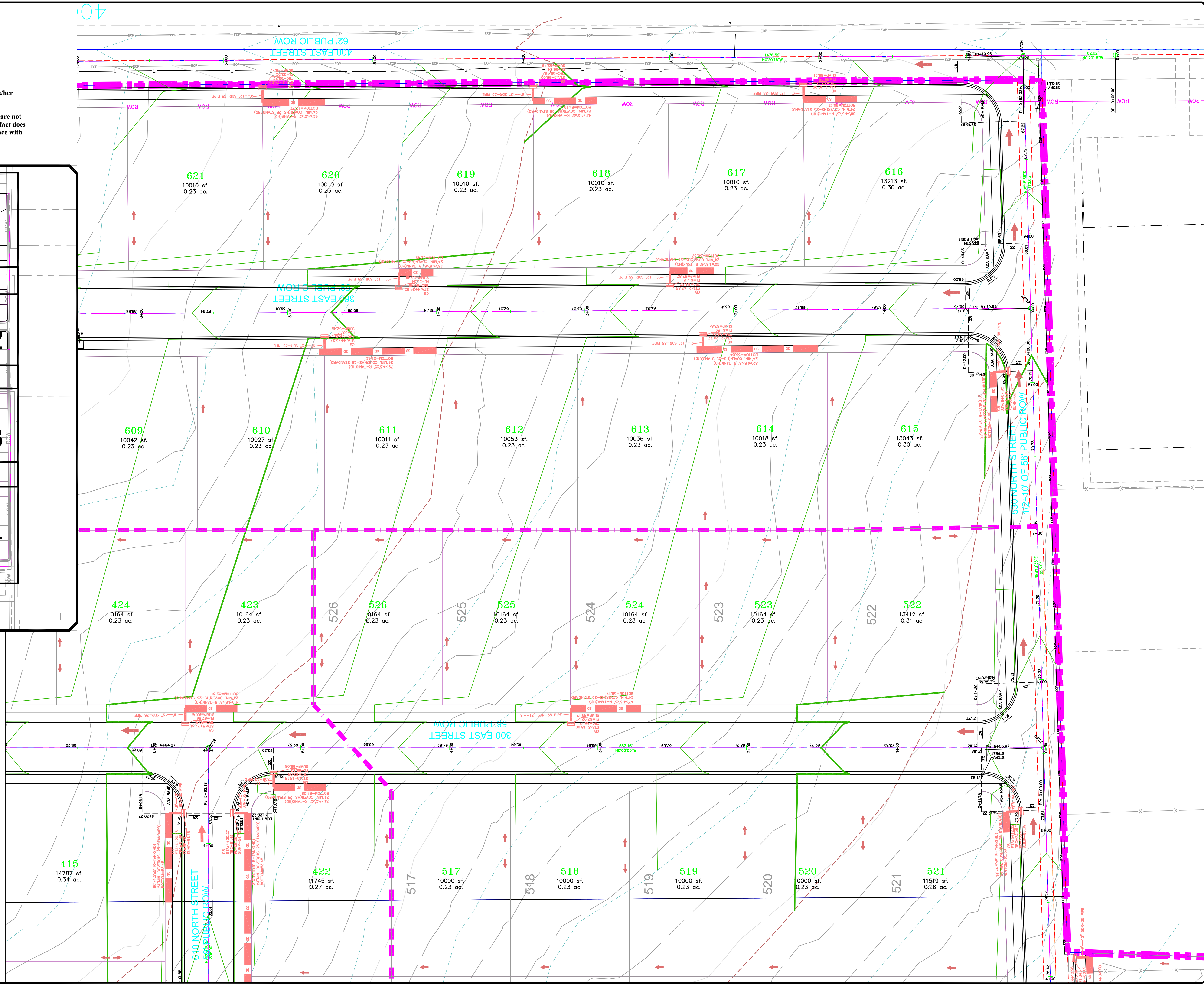
NOTE:
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SCALE IN FEET
1"=30' (24X36 SHEET)

LEGEND

SEWER LINE	EXISTING SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE	EXISTING STORM LINE
STORM LINE	EXISTING WATER LINE	EXISTING WATER LINE
DRAINAGE SHELL	EXISTING IRRIGATION LINE	EXISTING IRRIGATION LINE
STORM APPARATUS	EXISTING FENCE	EXISTING FENCE
	EXISTING CONTOURS (PFT)	EXISTING CONTOURS (PFT)
	EXISTING CONTOURS (7' FINISH)	EXISTING CONTOURS (7' FINISH)
	EXISTING CONTOURS (10' FINISH)	EXISTING CONTOURS (10' FINISH)
	PROPOSED TRAIL	PROPOSED TRAIL
	PUE	PUE
	SETBACK	SETBACK
	SOE SLOPE AND GREATER	SOE SLOPE AND GREATER
	PROPOSED OPEN SPACE	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION	DRAINAGE DIRECTION



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

GATEWAY CONSULTING, Inc
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CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

BELLA VISTA SUBDIVISION

GRADING

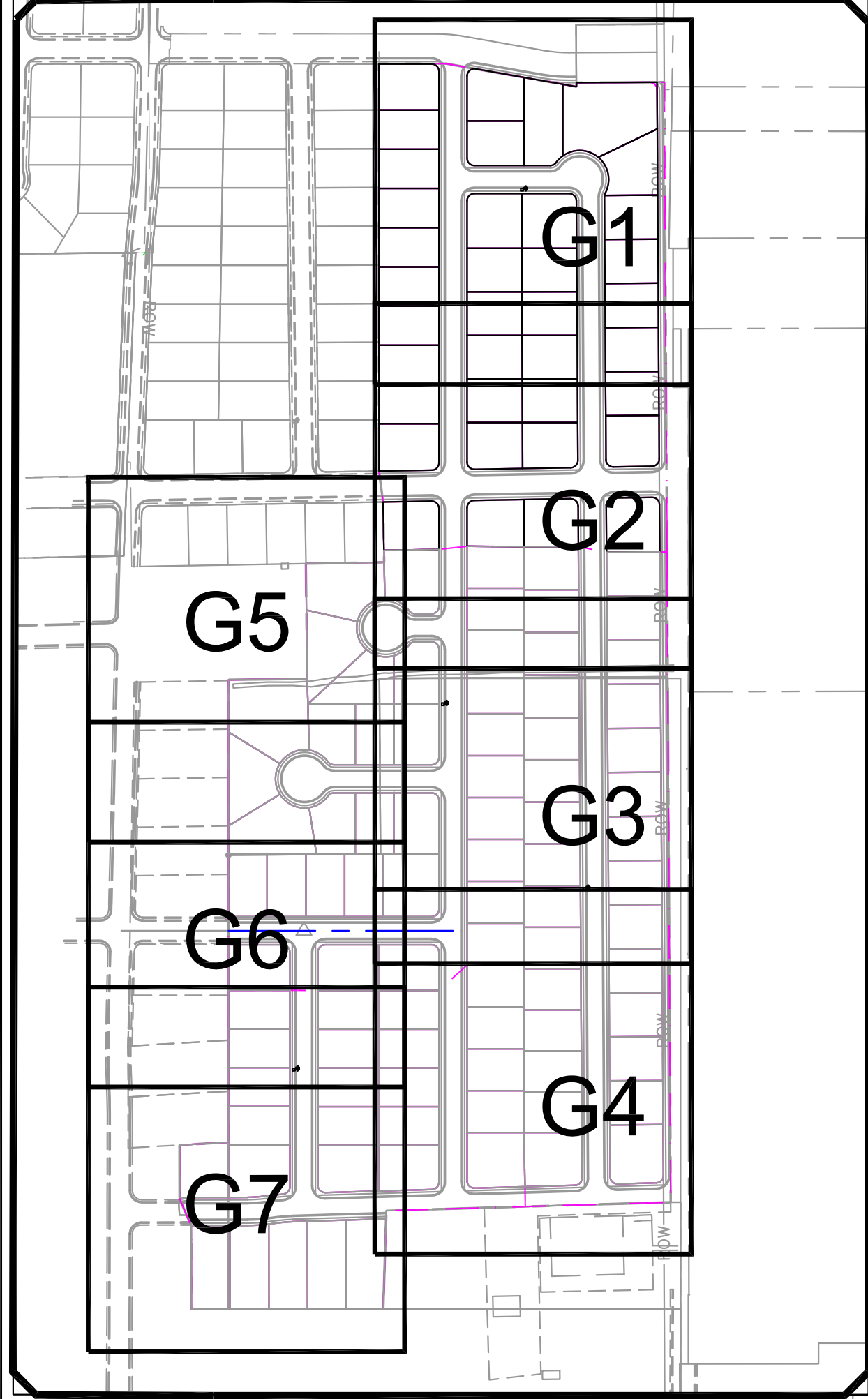
1-17-2025

SANTAQUIN CITY



SHEET NO. **G4**

NOTE:
 The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and SANTAQUIN City Codes, Ordinances and Standards'.

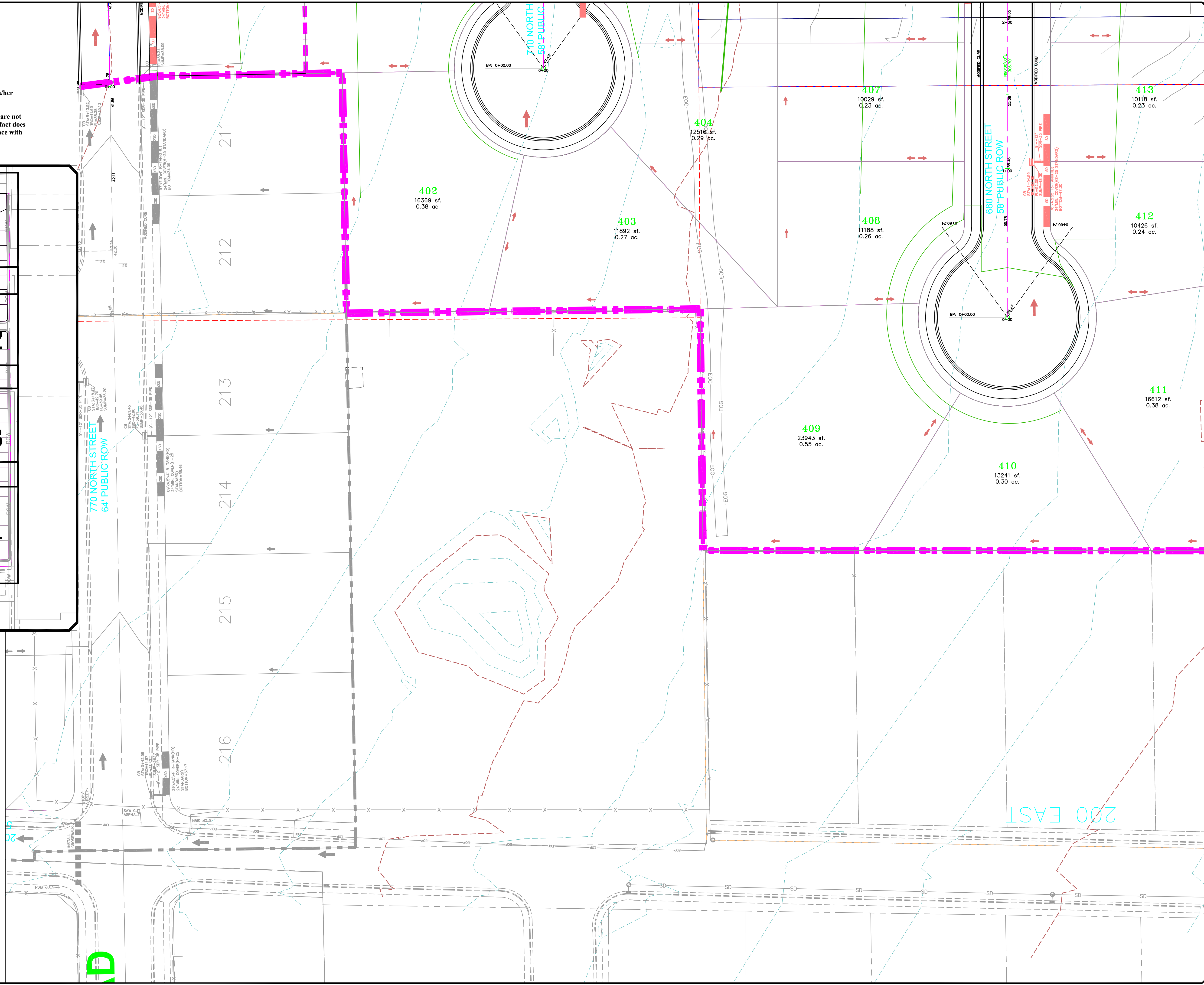


INDEX MAP

SCALE IN FEET
 1"=30' (24X36 SHEET)

LEGEND

SEWER LINE	EXISTING SEWER LINE	EXISTING SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE	EXISTING STORM LINE	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SHELL	EXISTING DRAINAGE SHELL	EXISTING DRAINAGE SHELL
DRAINAGE SHELL	EXISTING WATER LINE	EXISTING WATER LINE	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE	EXISTING IRRIGATION LINE	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE	EXISTING FENCE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (PFT)	EXISTING CONTOURS (PFT)	EXISTING CONTOURS (PFT)
FIRE HYDRANT	10' FINISH CONTOUR	10' FINISH CONTOUR	10' FINISH CONTOUR
IRRIGATION LINE	7' FINISH CONTOUR	7' FINISH CONTOUR	7' FINISH CONTOUR
IRRIGATION APPARATUS	5' FINISH CONTOUR	5' FINISH CONTOUR	5' FINISH CONTOUR
DRAINAGE AREA (DRAINAGE REPORT)	PROPOSED TRAIL	PROPOSED TRAIL	PROPOSED TRAIL
	PUE	PUE	PUE
	SETBACK	SETBACK	SETBACK
	SOE SLOPE AND GREATER	SOE SLOPE AND GREATER	SOE SLOPE AND GREATER
	PROPOSED OPEN SPACE	PROPOSED OPEN SPACE	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION	DRAINAGE DIRECTION	DRAINAGE DIRECTION



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: CPW
 DRAWN BY: CPW
 DESIGNED BY: CPW
 CHECKED BY: CPW
 SCALE: 1"=30'

GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
 paul@gatewayconsultingllc.com

CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

BELLA VISTA SUBDIVISION

GRADING

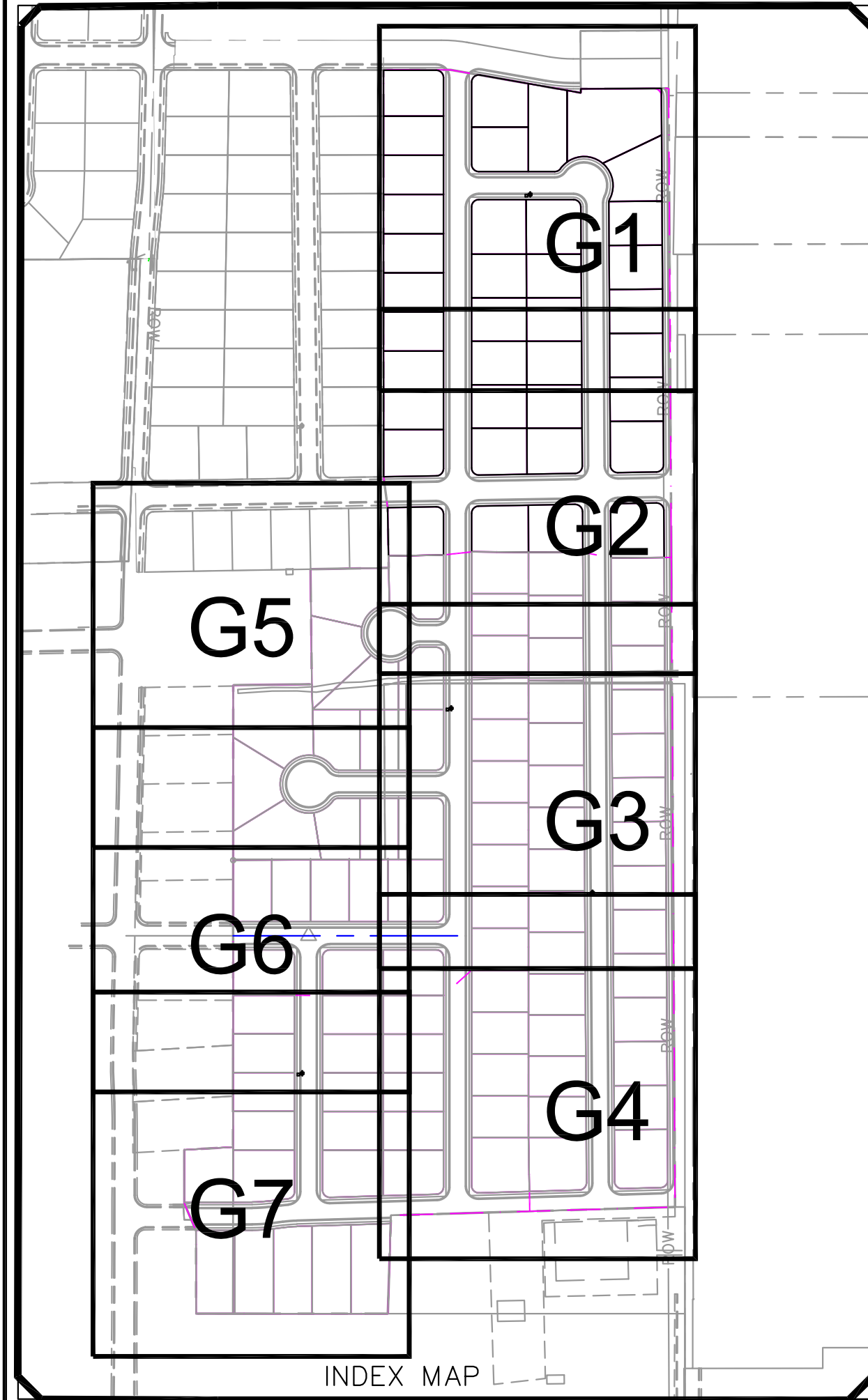
1-17-2025

SANTAQUIN CITY



SHEET NO. G5

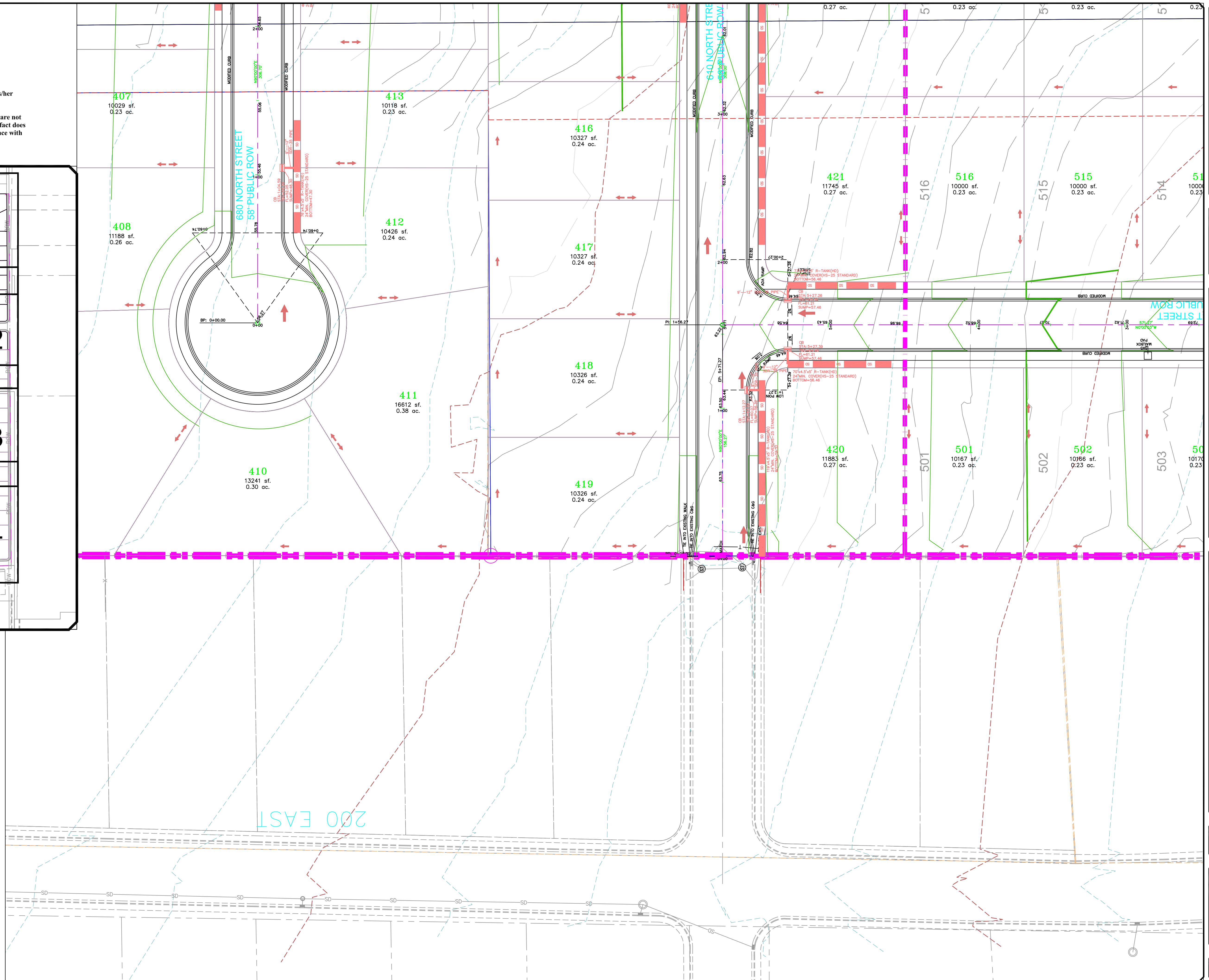
NOTE:
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SCALE IN FEET
1"=30' (24X36 SHEET)

LEGEND

SEWER LINE	EXISTING SEWER LINE	EXISTING STORM LINE	EXISTING STORM LINE SHELL
SEWER APPARATUS	EXISTING WATER LINE	EXISTING WATER LINE SHELL	EXISTING IRRIGATION LINE
STORM LINE	EXISTING IRRIGATION LINE	EXISTING FENCE	EXISTING CONTOURS (PFT)
DRAINAGE SHELL	10' FINISH CONTOUR	2' FINISH CONTOUR	10' FINISH CONTOUR
STORM APPARATUS	PROPOSED TRAIL	CURB & GUTTER	PUE
WATER LINE	PROPOSED TRAIL	SETBACK	3:0% SLOPE AND GREATER
WATER APPARATUS	PROPOSED OPEN SPACE	PROPOSED OPEN SPACE	DRAINAGE DIRECTION
FIRE HYDRANT			
IRRIGATION APPARATUS			
IRRIGATION APPARATUS			
DRAINAGE AREA (DRAINAGE REPORT)			



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

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 GRADING

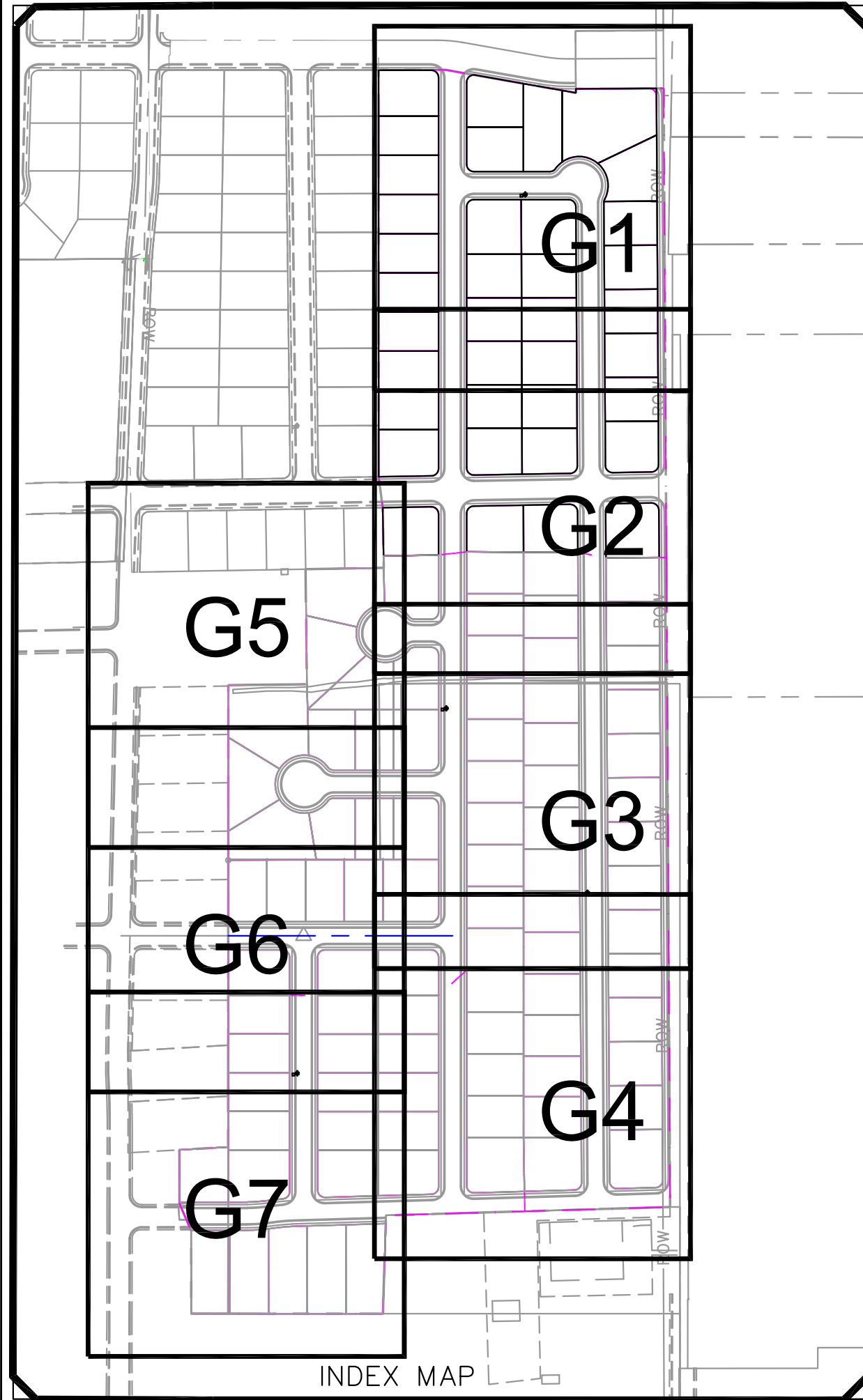
1-17-2025

SANTAQUIN CITY



SHEET NO. **G6**

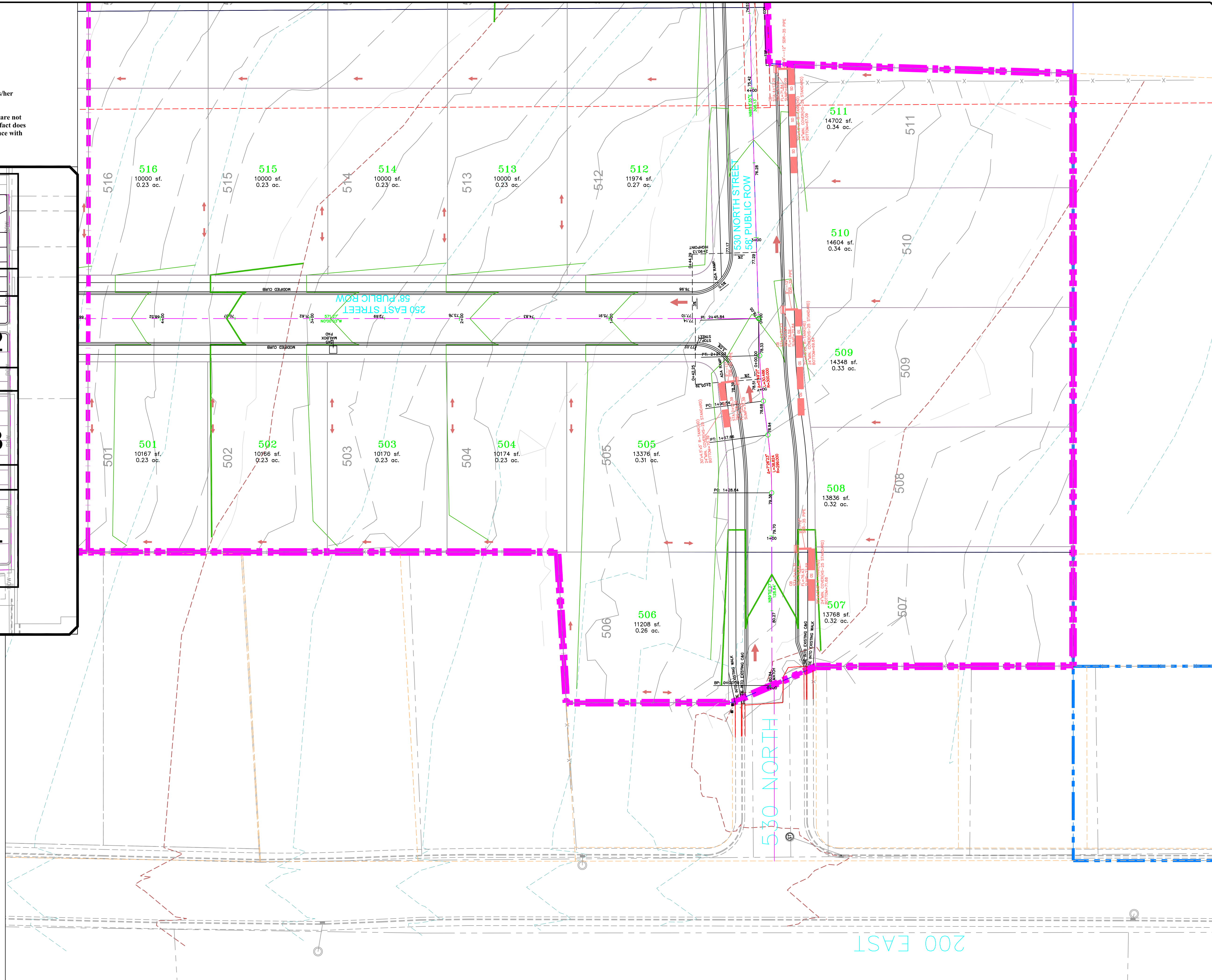
NOTE:
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SCALE IN FEET
1"=30' (24X36 SHEET)

LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING WATER LINE
DRAINAGE SHELL	EXISTING IRRIGATION LINE
STORM APPARATUS	EXISTING FENCE
WATER LINE	EXISTING CONTOURS (PFT)
WATER APPARATUS	10' FINISH CONTOUR
FIRE HYDRANT	7' FINISH CONTOUR
IRRIGATION APPARATUS	10' FINISH CONTOUR
DRAINAGE AREA (DRAINAGE REPORT)	PROPOSED TRAIL
	PUE
	SETBACK
	3:0% SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

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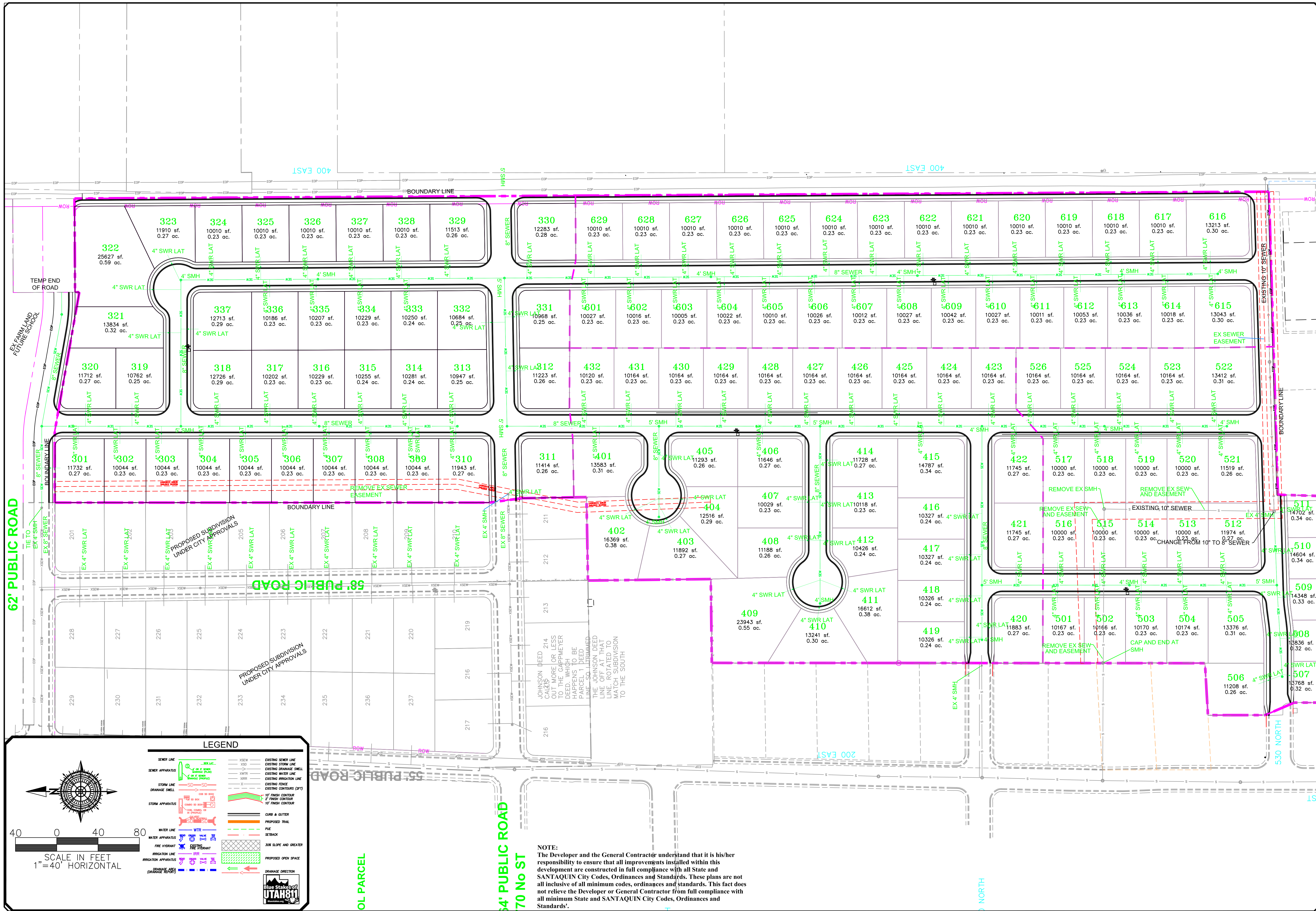
BELLA VISTA SUBDIVISION
 GRADING

1-17-2025

SANTAQUIN CITY



SHEET NO. **G7**



LEGEND

	SEWER LINE		EXISTING SEWER LINE
	SEWER APPARATUS		EXISTING SEWER APPARATUS
	STORM LINE		EXISTING STORM LINE
	STORM APPARATUS		EXISTING STORM APPARATUS
	WATER LINE		EXISTING WATER LINE
	WATER APPARATUS		EXISTING WATER APPARATUS
	FIRE HYDRANT		EXISTING FIRE HYDRANT
	IRRIGATION LINE		EXISTING IRRIGATION LINE
	IRRIGATION APPARATUS		EXISTING IRRIGATION APPARATUS
	PROPOSED ROAD		PROPOSED DRIVE
	PROPOSED OPEN SPACE		PROPOSED SETBACK
	PROPOSED CURB & GUTTER		PROPOSED 30% SLOPE AND GREATER
	PROPOSED DRAINAGE DIRECTION		PROPOSED FENCE
	PROPOSED 15' FINISH CONTOUR		PROPOSED 2' FINISH CONTOUR
	PROPOSED 10' FINISH CONTOUR		PROPOSED 5' FINISH CONTOUR

SCALE IN FEET
1" = 40' HORIZONTAL

UTAH 81
Blue Stamps of UTAH 81

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NO.	DESCRIPTION	DATE	APPD.

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=40'

GATEWAY CONSULTING, Inc.
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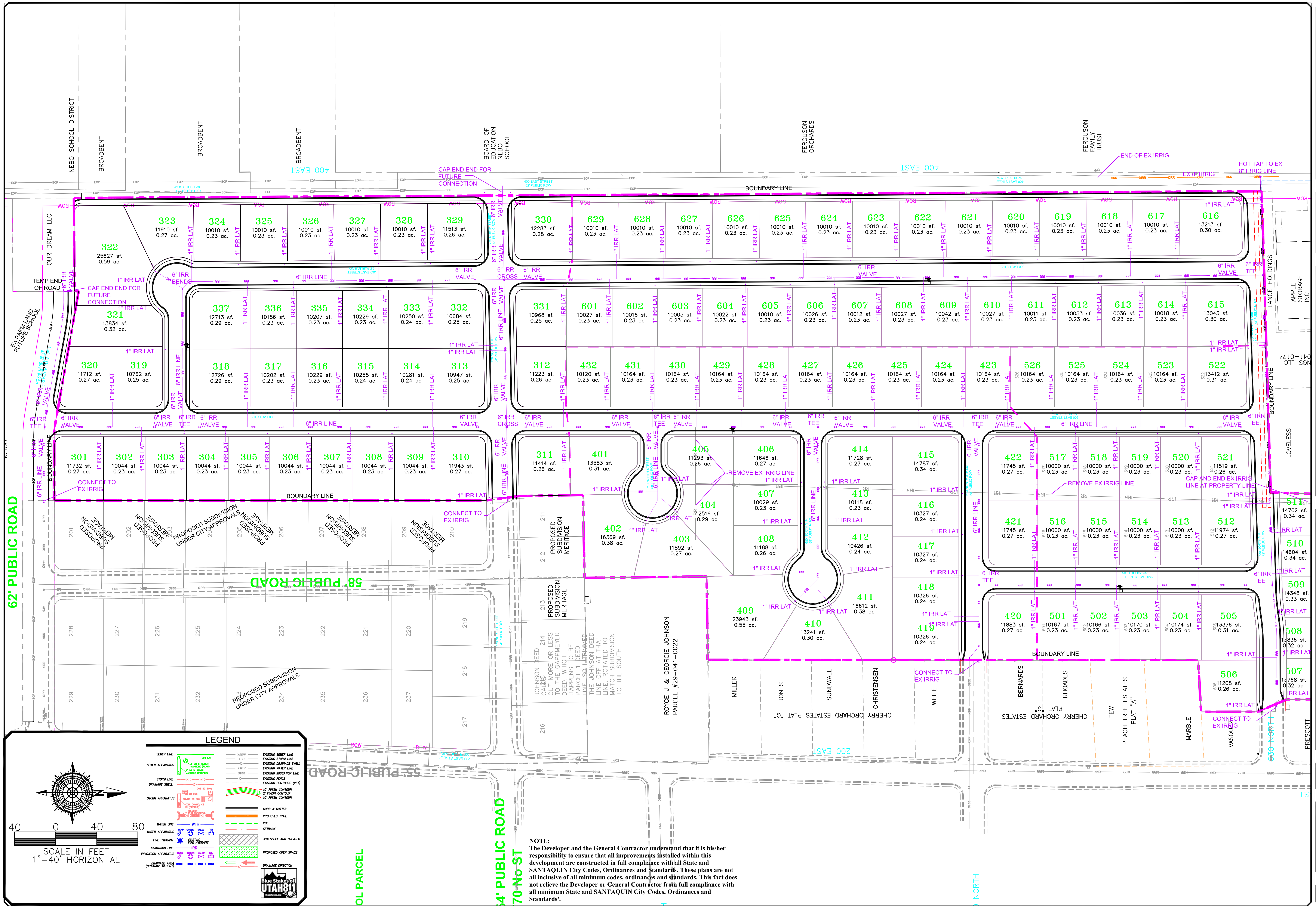
BELLA VISTA SUBDIVISION
SEWER UTILITY SHEET

PRINT DATE: 1-17-2025

SANTAQUIN CITY

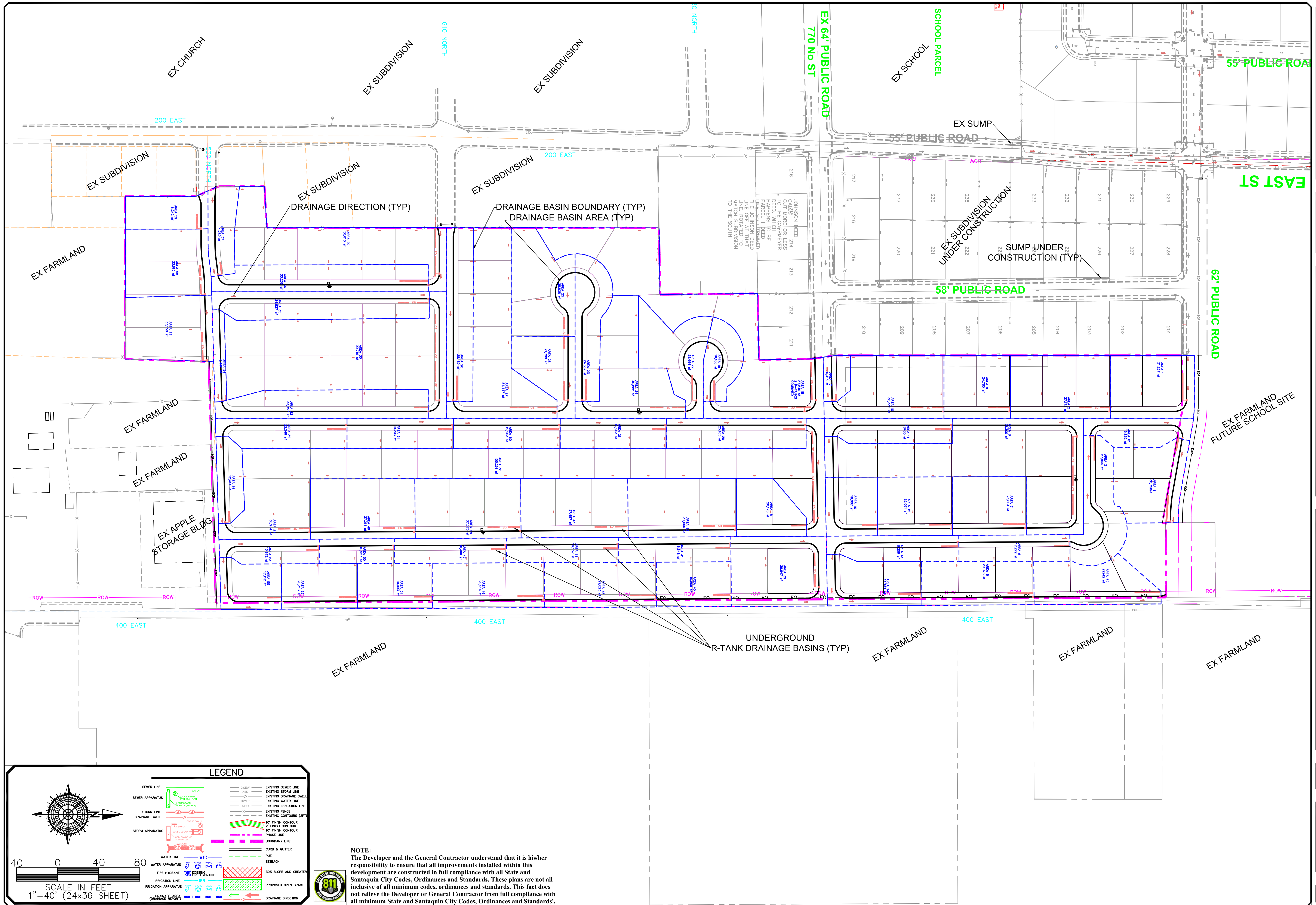


SHEET NO. **U2**



LEGEND

1\" IRR L	6\" IRR	12\" IRR	18\" IRR	24\" IRR	30\" IRR	36\" IRR	42\" IRR	48\" IRR	54\" IRR	60\" IRR	66\" IRR	72\" IRR	78\" IRR	84\" IRR	90\" IRR	96\" IRR	102\" IRR	108\" IRR	114\" IRR	120\" IRR	126\" IRR	132\" IRR	138\" IRR	144\" IRR	150\" IRR	156\" IRR	162\" IRR	168\" IRR	174\" IRR	180\" IRR	186\" IRR	192\" IRR	198\" IRR	204\" IRR	210\" IRR	216\" IRR	222\" IRR	228\" IRR	234\" IRR	240\" IRR	246\" IRR	252\" IRR	258\" IRR	264\" IRR	270\" IRR	276\" IRR	282\" IRR	288\" IRR	294\" IRR	300\" IRR	306\" IRR	312\" IRR	318\" IRR	324\" IRR	330\" IRR	336\" IRR	342\" IRR	348\" IRR	354\" IRR	360\" IRR	366\" IRR	372\" IRR	378\" IRR	384\" IRR	390\" IRR	396\" IRR	402\" IRR	408\" IRR	414\" IRR	420\" IRR	426\" IRR	432\" IRR	438\" IRR	444\" IRR	450\" IRR	456\" IRR	462\" IRR	468\" IRR	474\" IRR	480\" IRR	486\" IRR	492\" IRR	498\" IRR	504\" IRR	510\" IRR	516\" IRR	522\" IRR	528\" IRR	534\" IRR	540\" IRR	546\" IRR	552\" IRR	558\" IRR	564\" IRR	570\" IRR	576\" IRR	582\" IRR	588\" IRR	594\" IRR	600\" IRR	606\" IRR	612\" IRR	618\" IRR	624\" IRR	630\" IRR	636\" IRR	642\" IRR	648\" IRR	654\" IRR	660\" IRR	666\" IRR	672\" IRR	678\" IRR	684\" IRR	690\" IRR	696\" IRR	702\" IRR	708\" IRR	714\" IRR	720\" IRR	726\" IRR	732\" IRR	738\" IRR	744\" IRR	750\" IRR	756\" IRR	762\" IRR	768\" IRR	774\" IRR	780\" IRR	786\" IRR	792\" IRR	798\" IRR	804\" IRR	810\" IRR	816\" IRR	822\" IRR	828\" IRR	834\" IRR	840\" IRR	846\" IRR	852\" IRR	858\" IRR	864\" IRR	870\" IRR	876\" IRR	882\" IRR	888\" IRR	894\" IRR	900\" IRR	906\" IRR	912\" IRR	918\" IRR	924\" IRR	930\" IRR	936\" IRR	942\" IRR	948\" IRR	954\" IRR	960\" IRR	966\" IRR	972\" IRR	978\" IRR	984\" IRR	990\" IRR	996\" IRR	1002\" IRR	1008\" IRR	1014\" IRR	1020\" IRR	1026\" IRR	1032\" IRR	1038\" IRR	1044\" IRR	1050\" IRR	1056\" IRR	1062\" IRR	1068\" IRR	1074\" IRR	1080\" IRR	1086\" IRR	1092\" IRR	1098\" IRR	1104\" IRR	1110\" IRR	1116\" IRR	1122\" IRR	1128\" IRR	1134\" IRR	1140\" IRR	1146\" IRR	1152\" IRR	1158\" IRR	1164\" IRR	1170\" IRR	1176\" IRR	1182\" IRR	1188\" IRR	1194\" IRR	1200\" IRR	1206\" IRR	1212\" IRR	1218\" IRR	1224\" IRR	1230\" IRR	1236\" IRR	1242\" IRR	1248\" IRR	1254\" IRR	1260\" IRR	1266\" IRR	1272\" IRR	1278\" IRR	1284\" IRR	1290\" IRR	1296\" IRR	1302\" IRR	1308\" IRR	1314\" IRR	1320\" IRR	1326\" IRR	1332\" IRR	1338\" IRR	1344\" IRR	1350\" IRR	1356\" IRR	1362\" IRR	1368\" IRR	1374\" IRR	1380\" IRR	1386\" IRR	1392\" IRR	1398\" IRR	1404\" IRR	1410\" IRR	1416\" IRR	1422\" IRR	1428\" IRR	1434\" IRR	1440\" IRR	1446\" IRR	1452\" IRR	1458\" IRR	1464\" IRR	1470\" IRR	1476\" IRR	1482\" IRR	1488\" IRR	1494\" IRR	1500\" IRR	1506\" IRR	1512\" IRR	1518\" IRR	1524\" IRR	1530\" IRR	1536\" IRR	1542\" IRR	1548\" IRR	1554\" IRR	1560\" IRR	1566\" IRR	1572\" IRR	1578\" IRR	1584\" IRR	1590\" IRR	1596\" IRR	1602\" IRR	1608\" IRR	1614\" IRR	1620\" IRR	1626\" IRR	1632\" IRR	1638\" IRR	1644\" IRR	1650\" IRR	1656\" IRR	1662\" IRR	1668\" IRR	1674\" IRR	1680\" IRR	1686\" IRR	1692\" IRR	1698\" IRR	1704\" IRR	1710\" IRR	1716\" IRR	1722\" IRR	1728\" IRR	1734\" IRR	1740\" IRR	1746\" IRR	1752\" IRR	1758\" IRR	1764\" IRR	1770\" IRR	1776\" IRR	1782\" IRR	1788\" IRR	1794\" IRR	1800\" IRR	1806\" IRR	1812\" IRR	1818\" IRR	1824\" IRR	1830\" IRR	1836\" IRR	1842\" IRR	1848\" IRR	1854\" IRR	1860\" IRR	1866\" IRR	1872\" IRR	1878\" IRR	1884\" IRR	1890\" IRR	1896\" IRR	1902\" IRR	1908\" IRR	1914\" IRR	1920\" IRR	1926\" IRR	1932\" IRR	1938\" IRR	1944\" IRR	1950\" IRR	1956\" IRR	1962\" IRR	1968\" IRR	1974\" IRR	1980\" IRR	1986\" IRR	1992\" IRR	1998\" IRR	2004\" IRR	2010\" IRR	2016\" IRR	2022\" IRR	2028\" IRR	2034\" IRR	2040\" IRR	2046\" IRR	2052\" IRR	2058\" IRR	2064\" IRR	2070\" IRR	2076\" IRR	2082\" IRR	2088\" IRR	2094\" IRR	2100\" IRR	2106\" IRR	2112\" IRR	2118\" IRR	2124\" IRR	2130\" IRR	2136\" IRR	2142\" IRR	2148\" IRR	2154\" IRR	2160\" IRR	2166\" IRR	2172\" IRR	2178\" IRR	2184\" IRR	2190\" IRR	2196\" IRR	2202\" IRR	2208\" IRR	2214\" IRR	2220\" IRR	2226\" IRR	2232\" IRR	2238\" IRR	2244\" IRR	2250\" IRR	2256\" IRR	2262\" IRR	2268\" IRR	2274\" IRR	2280\" IRR	2286\" IRR	2292\" IRR	2298\" IRR	2304\" IRR	2310\" IRR	2316\" IRR	2322\" IRR	2328\" IRR	2334\" IRR	2340\" IRR	2346\" IRR	2352\" IRR	2358\" IRR	2364\" IRR	2370\" IRR	2376\" IRR	2382\" IRR	2388\" IRR	2394\" IRR	2400\" IRR	2406\" IRR	2412\" IRR	2418\" IRR	2424\" IRR	2430\" IRR	2436\" IRR	2442\" IRR	2448\" IRR	2454\" IRR	2460\" IRR	2466\" IRR	2472\" IRR	2478\" IRR	2484\" IRR	2490\" IRR	2496\" IRR	2502\" IRR	2508\" IRR	2514\" IRR	2520\" IRR	2526\" IRR	2532\" IRR	2538\" IRR	2544\" IRR	2550\" IRR	2556\" IRR	2562\" IRR	2568\" IRR	2574\" IRR	2580\" IRR	2586\" IRR	2592\" IRR	2598\" IRR	2604\" IRR	2610\" IRR	2616\" IRR	2622\" IRR	2628\" IRR	2634\" IRR	2640\" IRR	2646\" IRR	2652\" IRR	2658\" IRR	2664\" IRR	2670\" IRR	2676\" IRR	2682\" IRR	2688\" IRR	2694\" IRR	2700\" IRR	2706\" IRR	2712\" IRR	2718\" IRR	2724\" IRR	2730\" IRR	2736\" IRR	2742\" IRR	2748\" IRR	2754\" IRR	2760\" IRR	2766\" IRR	2772\" IRR	2778\" IRR	2784\" IRR	2790\" IRR	2796\" IRR	2802\" IRR	2808\" IRR	2814\" IRR	2820\" 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NO.	DESCRIPTION	DATE	APP'D

ORIS. DATE: 2-8-22
 SURVEY BY: GPM
 DRAWN BY: GPM
 DESIGNED BY: GPM
 CHECKED BY: GPM
 SCALE: 1"=40'

GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
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 CONSTRUCTION MANAGEMENT

**BELLA VISTA PH3
 SUBDIVISION
 DRAINAGE PLAN**

1-17-2025

SANTAQUIN CITY



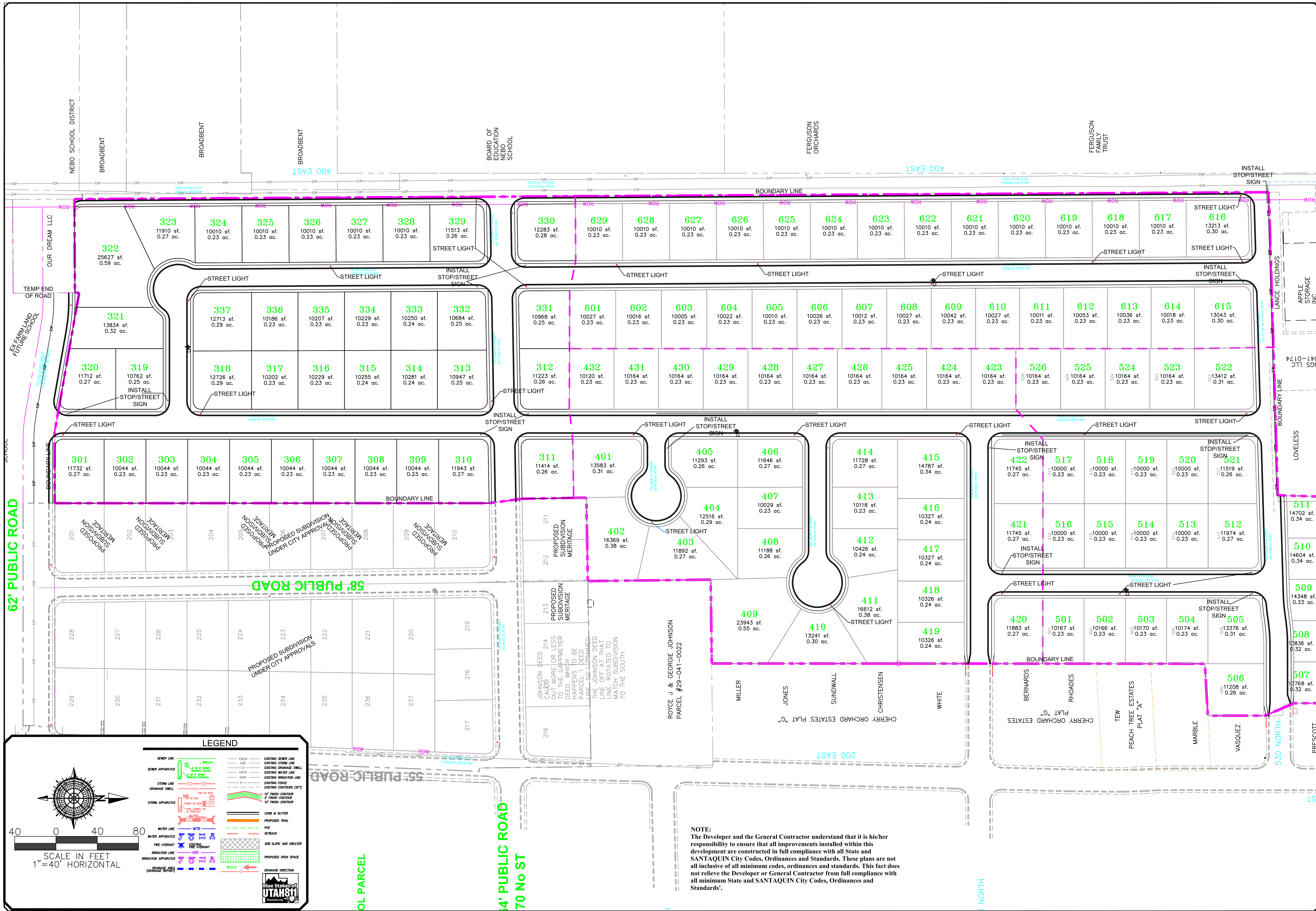
SHEET NO. **DRAIN**

LEGEND

SEWER LINE SEWER APPARATUS STORM LINE DRAINAGE SHELL STORM APPARATUS WATER LINE WATER APPARATUS FIRE HYDRANT IRRIGATION LINE IRRIGATION APPARATUS	EXISTING SEWER LINE EXISTING STORM LINE EXISTING DRAINAGE SHELL EXISTING WATER LINE EXISTING IRRIGATION LINE EXISTING FENCE EXISTING CONTOURS (2FT) 10' FINISH CONTOUR 2' FINISH CONTOUR 5' FINISH CONTOUR PHASE LINE BOUNDARY LINE CURB & GUTTER PAVE SETBACK SOIL SLOPE AND GREATER PROPOSED OPEN SPACE DRAINAGE DIRECTION
--	---

SCALE IN FEET
 1"=40' (24x36 SHEET)

NOTE:
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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: GPW
 DRAWN BY: GPW
 DESIGNED BY: GPW
 CHECKED BY: GPW
 SCALE: 1"=40'

GATEWAY CONSULTING, Inc.
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BELLA VISTA SUBDIVISION
 LIGHT AND SIGN PLAN
 PRINT DATE: 1-17-2025

SANTAQUIN CITY



SHEET NO. SS1

LIC ROAD

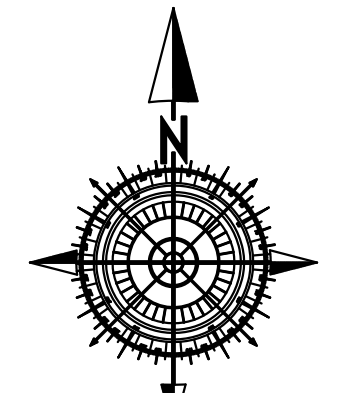
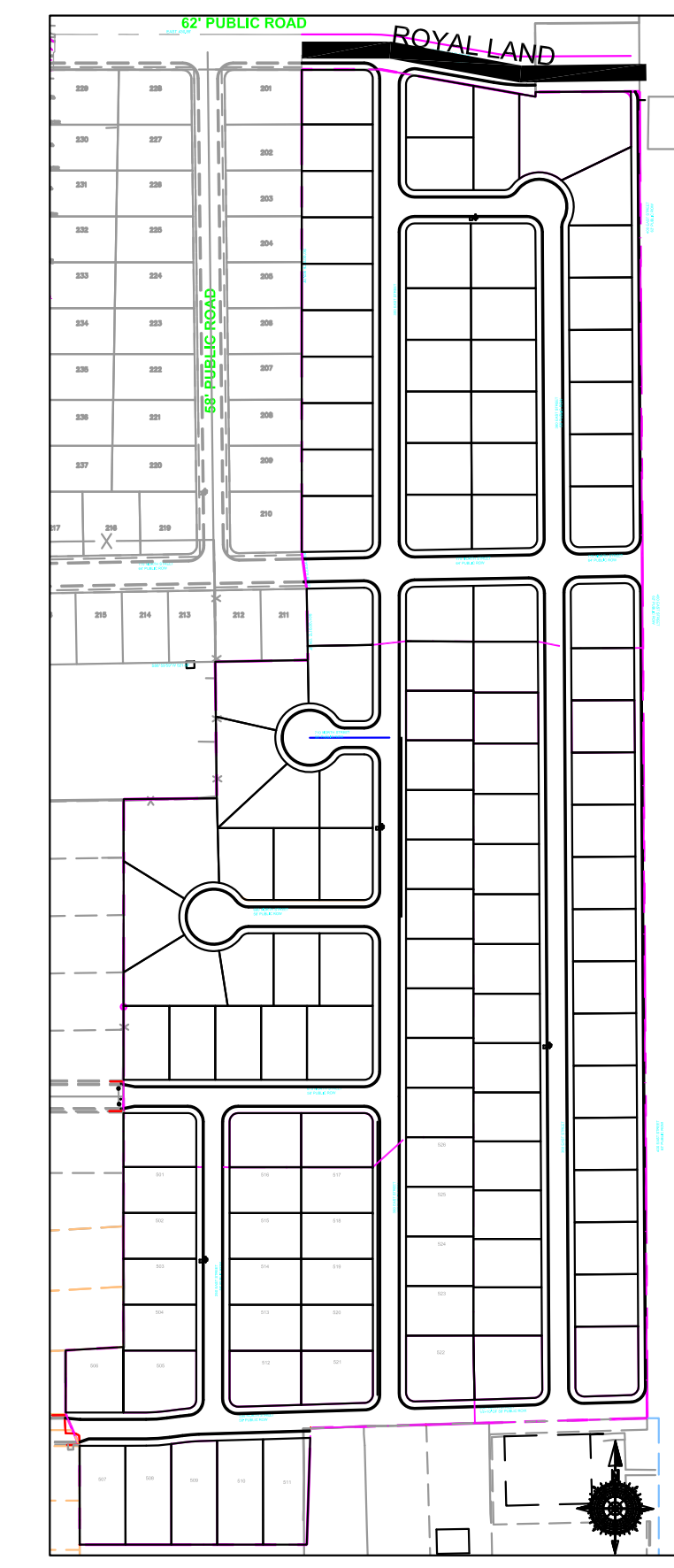
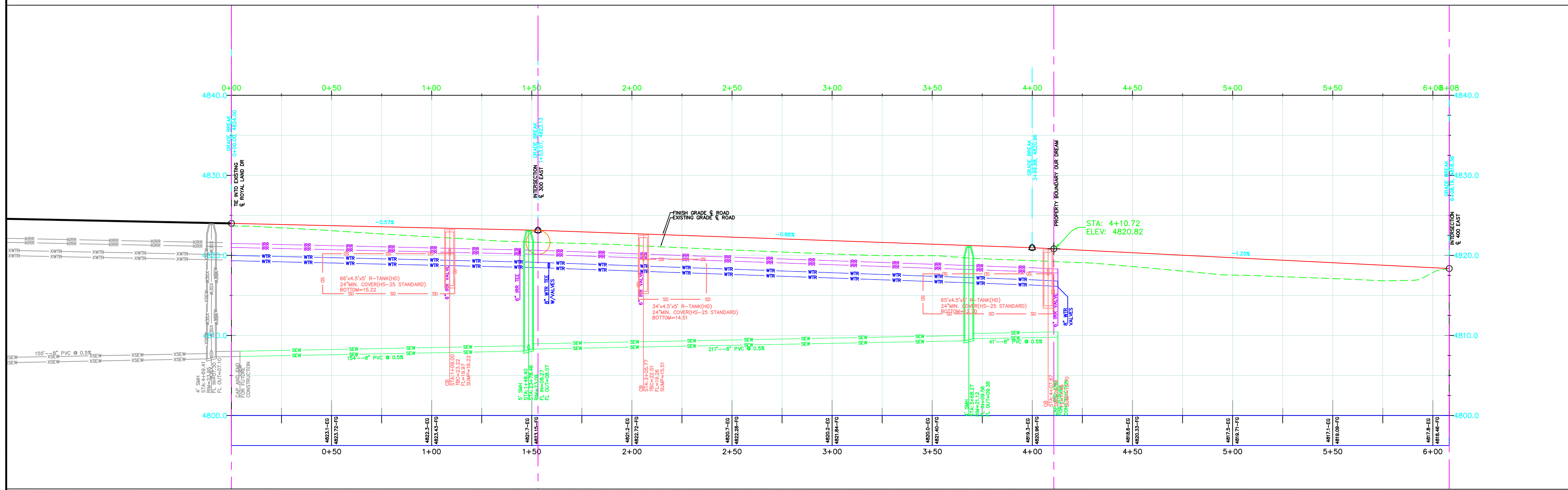
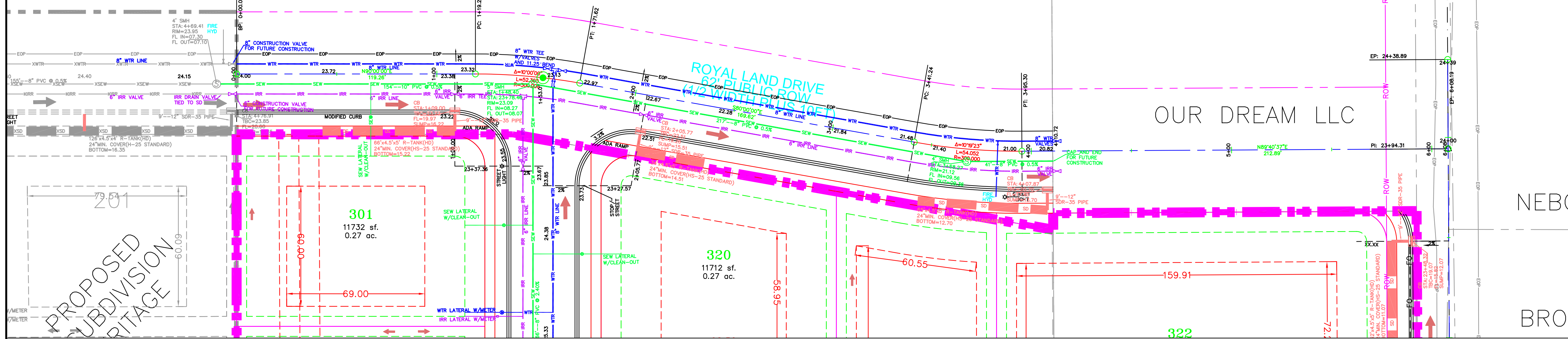
EDUCATION
NEBO
SCHOOL

ROYAL LAND DRIVE
62' PUBLIC ROW
14'2" W/16' PUBLIC ROW

OUR DREAM LLC

NEBO

BROA



SCALE IN FEET
(HORIZONTAL)
1" = 7.5' (VERTICAL)
(24X36 SHEET)



LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SWELL
DRAINAGE SWELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING CONTOURS (2 FT)
WATER APPARATUS	10' FINISH CONTOUR
FIRE HYDRANT	2' FINISH CONTOUR
IRRIGATION LINE	10' FINISH CONTOUR
IRRIGATION APPARATUS	PHASE LINE
DRAINAGE AREA (DRAINAGE REPORT)	CURB & GUTTER
	PROPOSED TRAIL
	PUE
	SEBACK
	30% SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

NOTE:
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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

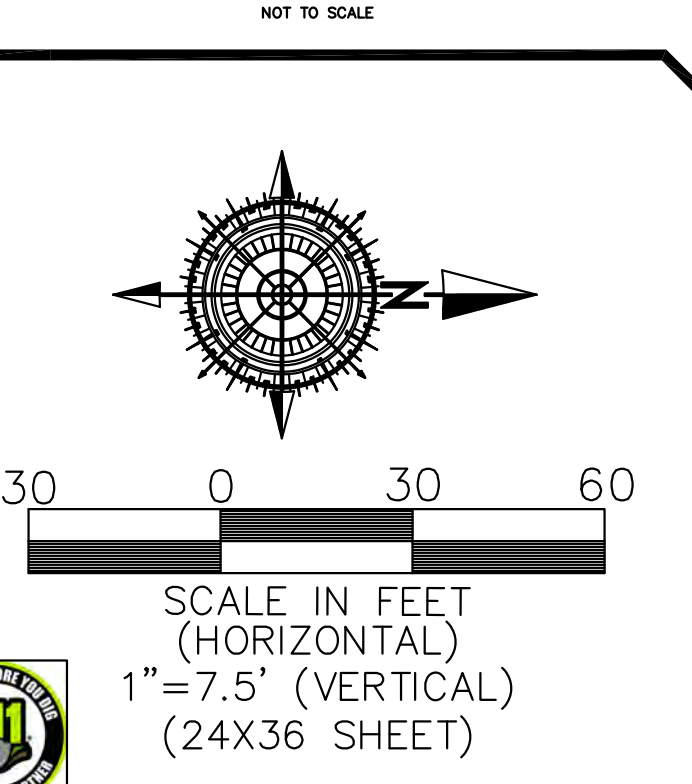
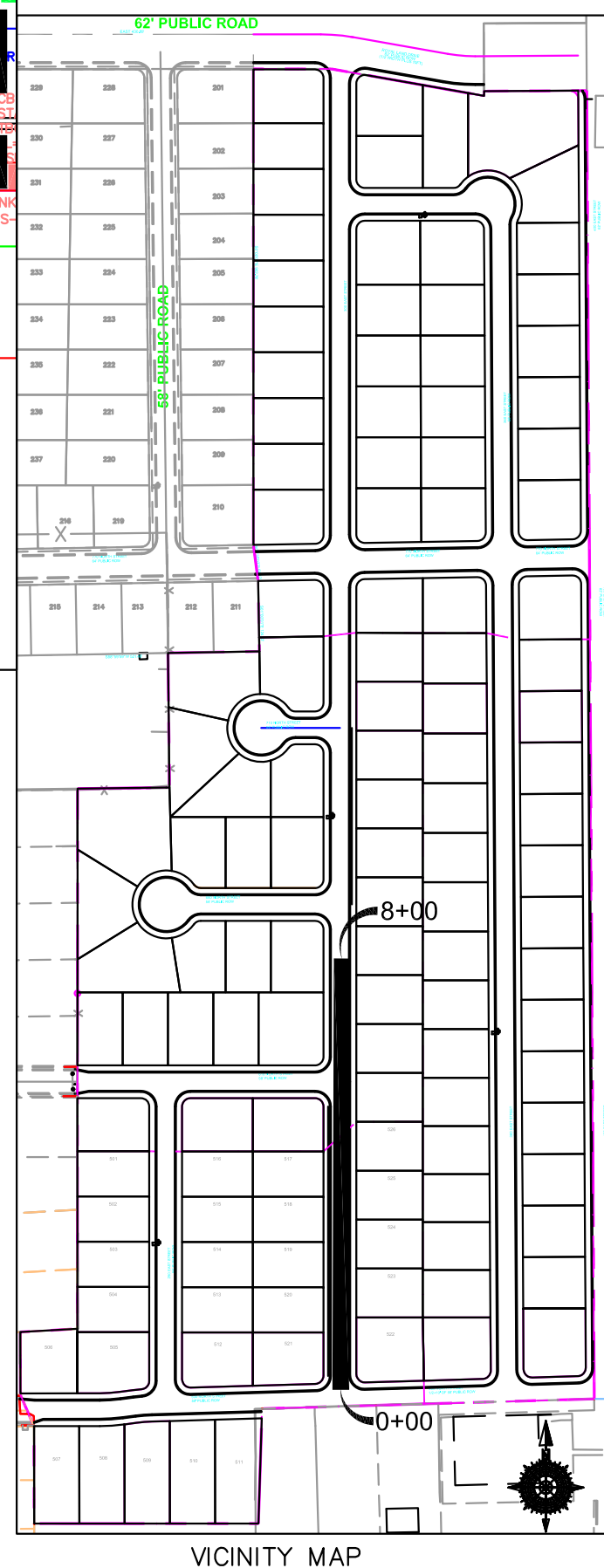
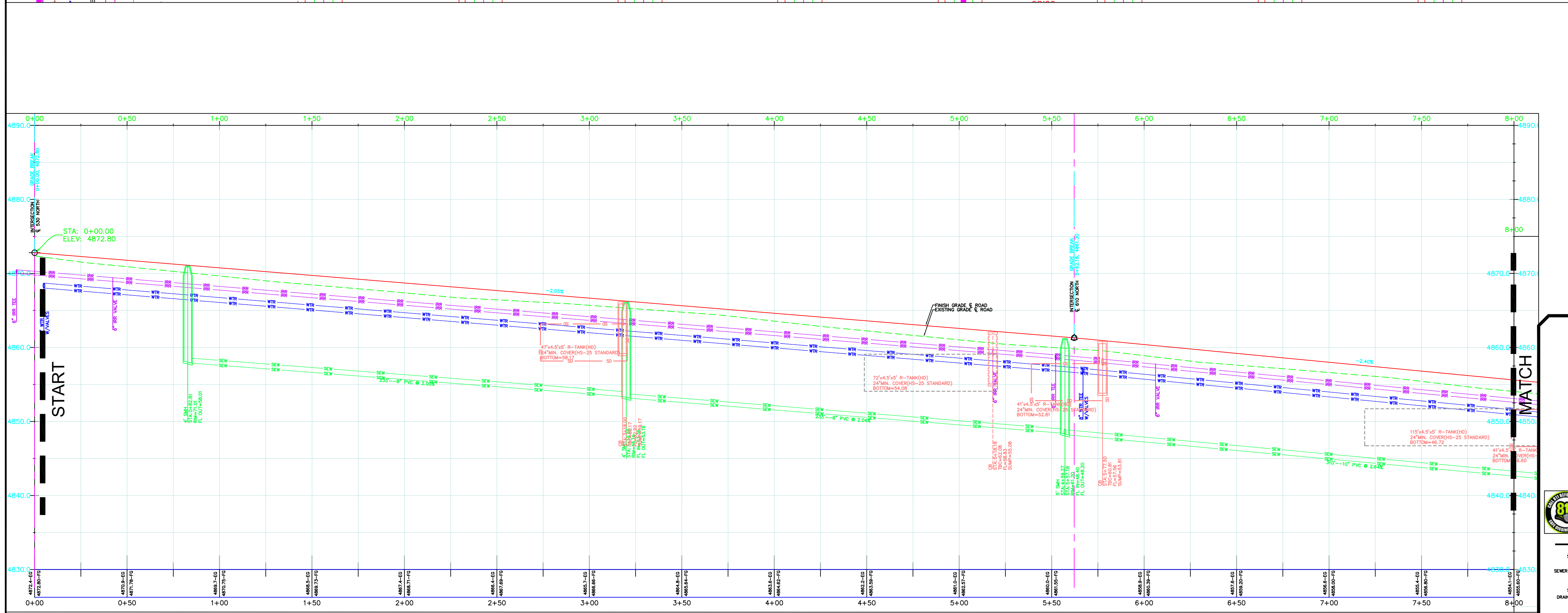
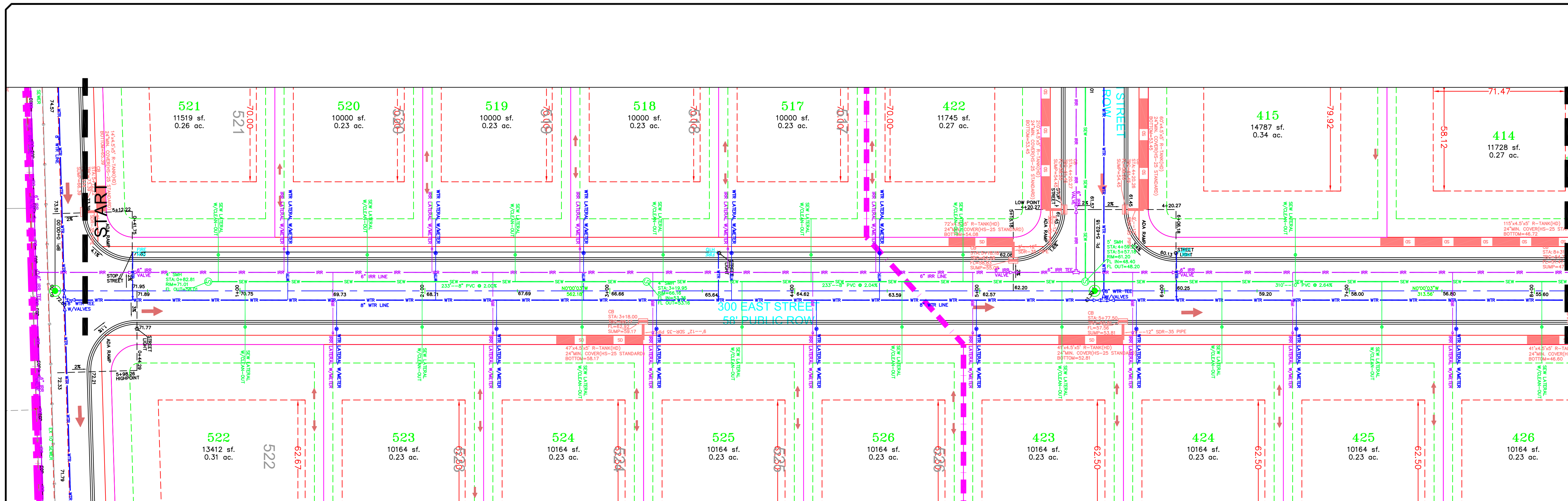
GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
 paul@gatewayconsultingllc.com
 CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

BELLA VISTA
SUBDIVISION
PLAN AND PROFILE
ROYAL LAND DR
1-17-2025

SANTAQUIN
CITY



SHEET NO. PP1



LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SWELL
DRAINAGE SWELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (2 FT)
FIRE HYDRANT	10' FINISH CONTOUR
IRRIGATION APPARATUS	2' FINISH CONTOUR
IRRIGATION APPARATUS	PROPOSED PHASE LINE
DRAINAGE AREA (CHANNEL REPORT)	CURB & GUTTER
	PROPOSED TRAIL
	PUE
	SETRACK
	30% SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
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 DRAWN BY: CPW
 DESIGNED BY: CPW
 CHECKED BY: CPW
 SCALE: 1"=30'

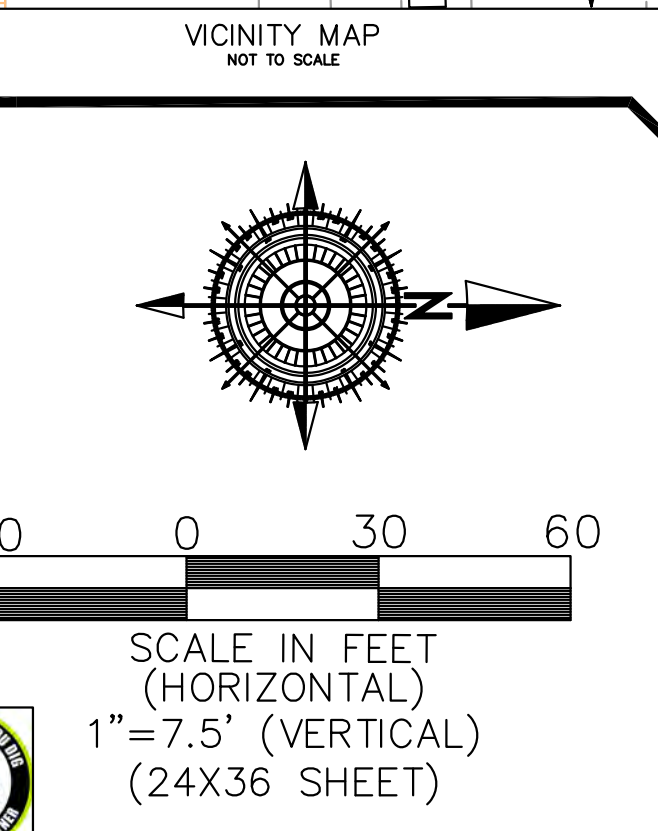
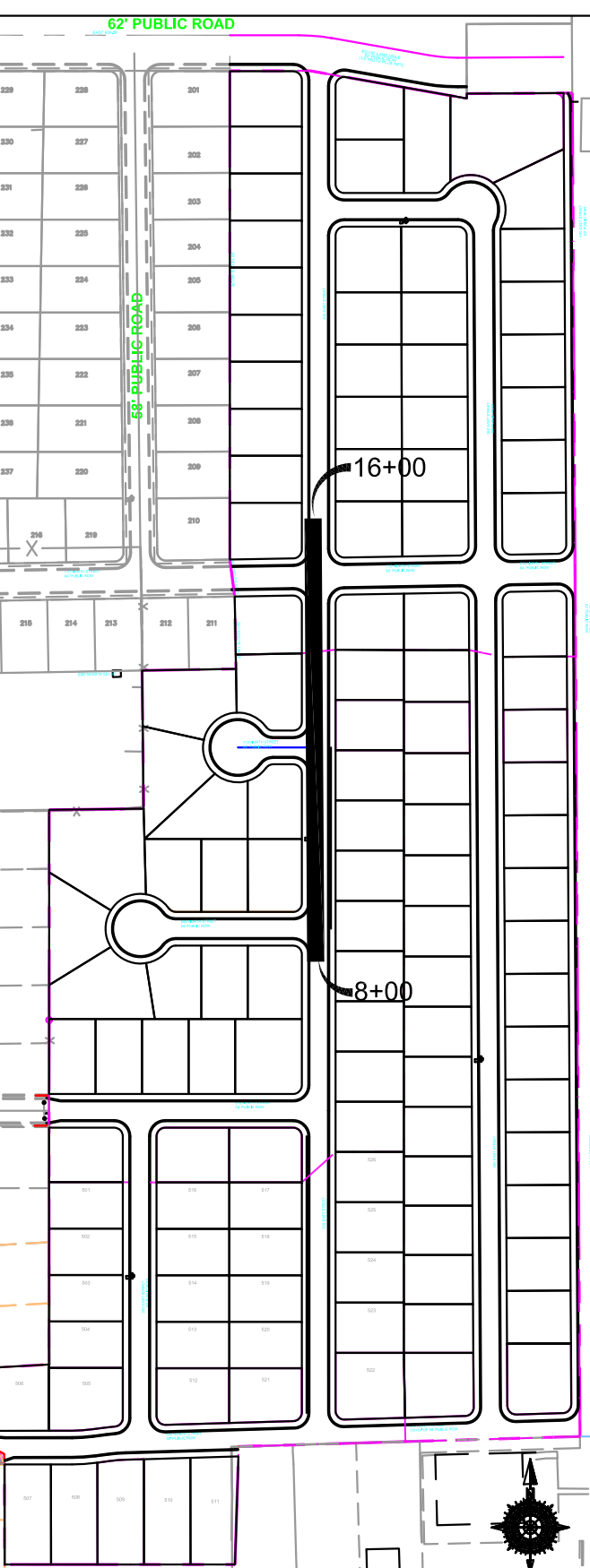
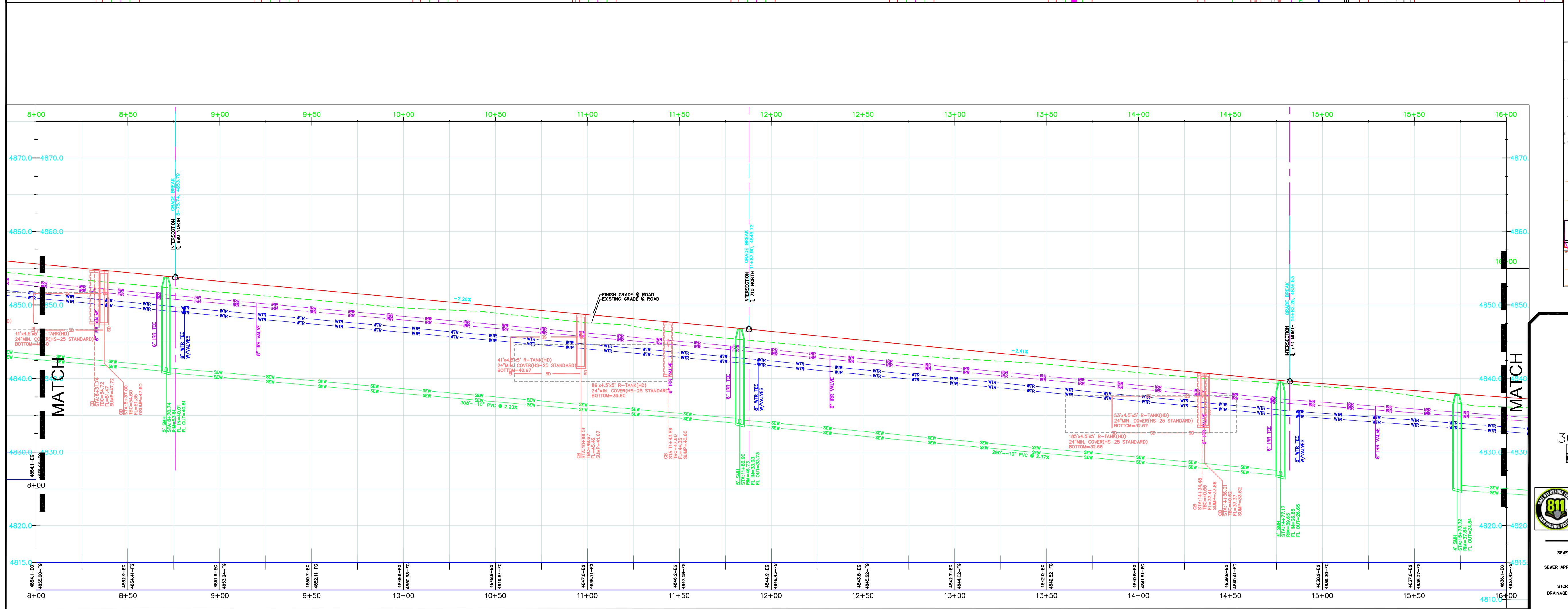
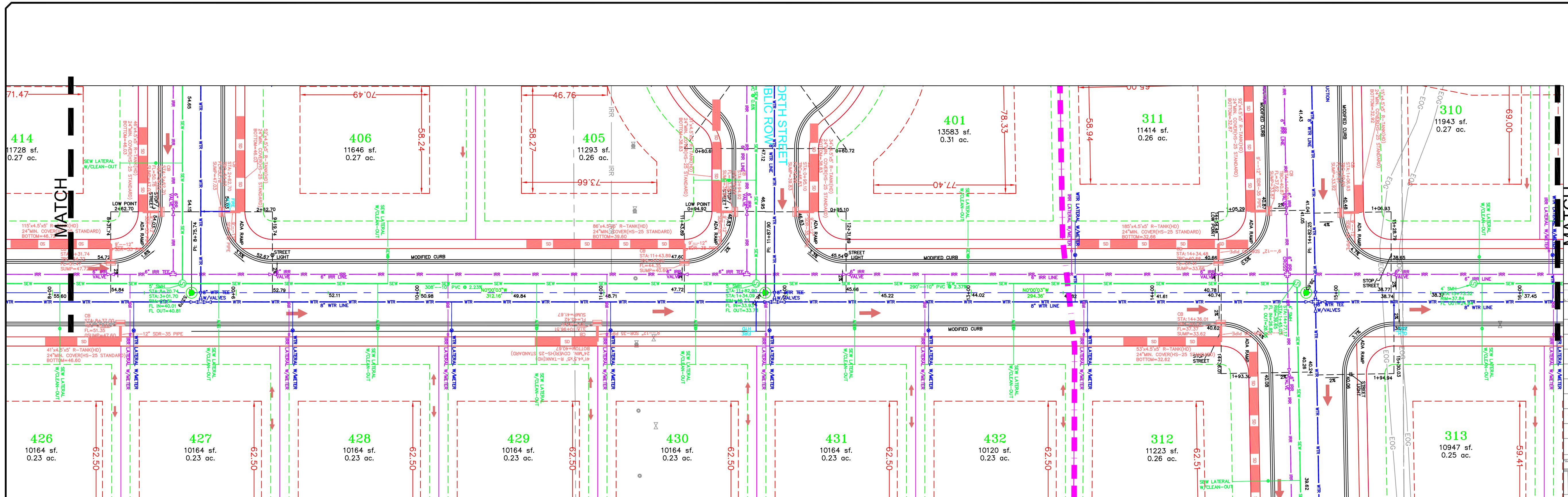
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BELLA VISTA SUBDIVISION
 PLAN AND PROFILE
 300 EAST (STA: 0+00 to 8+00)
 11-17-2025

SANTAQUIN CITY



SHEET NO. PP2



LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SWELL
DRAINAGE SWELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
EXISTING FENCE	EXISTING CONTOURS (2 FT)
EXISTING CONTOURS (2 FT)	10' FINISH CONTOUR
EXISTING CONTOURS (2 FT)	2' FINISH CONTOUR
EXISTING CONTOURS (2 FT)	10' FINISH CONTOUR
EXISTING CONTOURS (2 FT)	PHASE LINE
EXISTING CONTOURS (2 FT)	CURB & GUTTER
EXISTING CONTOURS (2 FT)	PROPOSED TRAIL
EXISTING CONTOURS (2 FT)	PUE
EXISTING CONTOURS (2 FT)	SETRACK
EXISTING CONTOURS (2 FT)	30% SLOPE AND GREATER
EXISTING CONTOURS (2 FT)	PROPOSED OPEN SPACE
EXISTING CONTOURS (2 FT)	DRAINAGE DIRECTION

NOTE:
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NO.	DESCRIPTION	DATE	APP'D

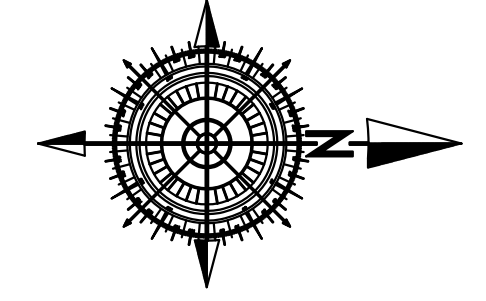
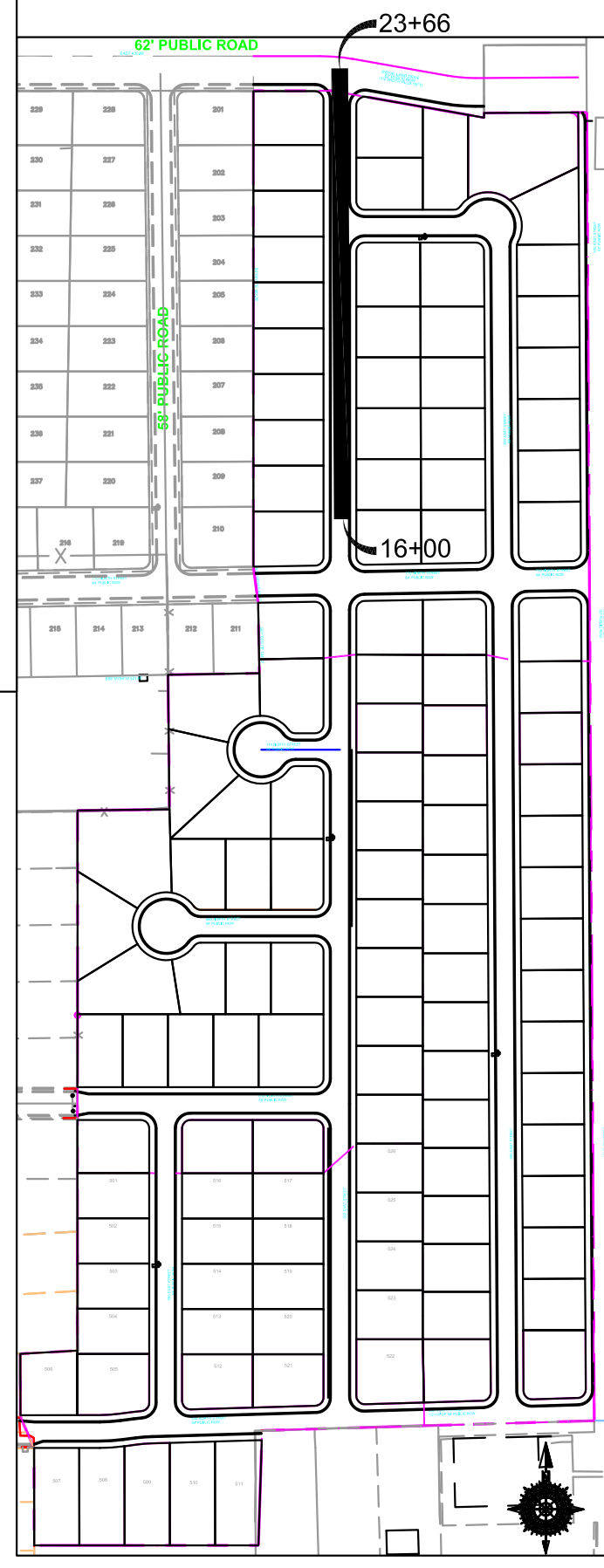
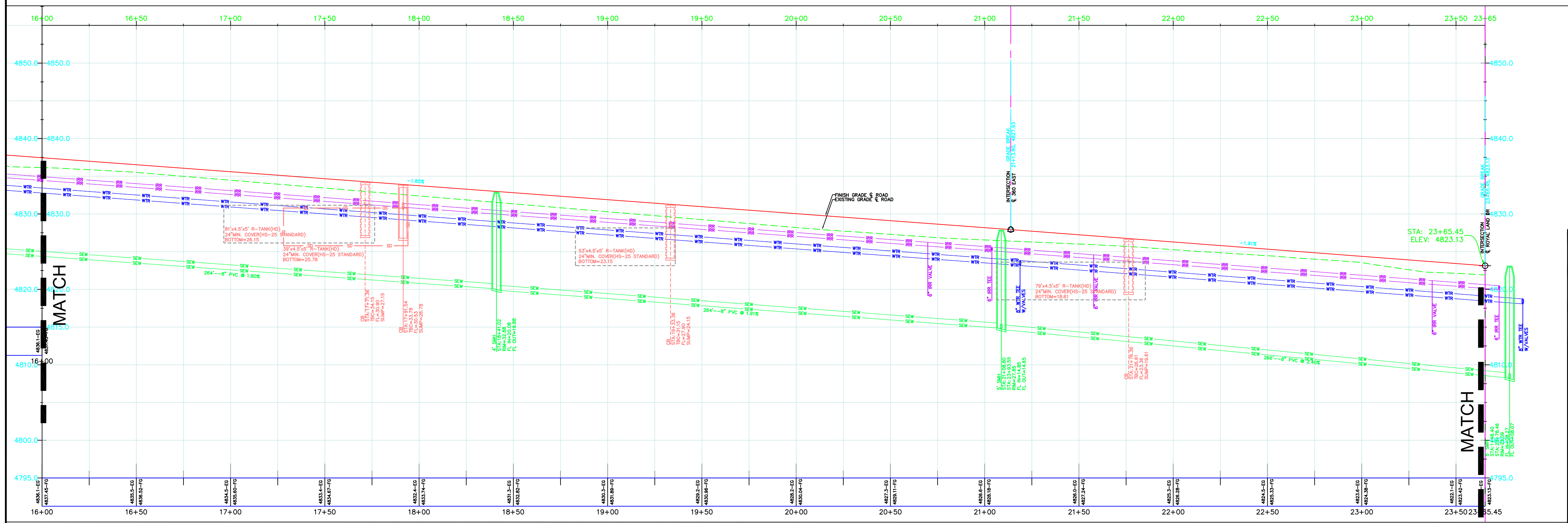
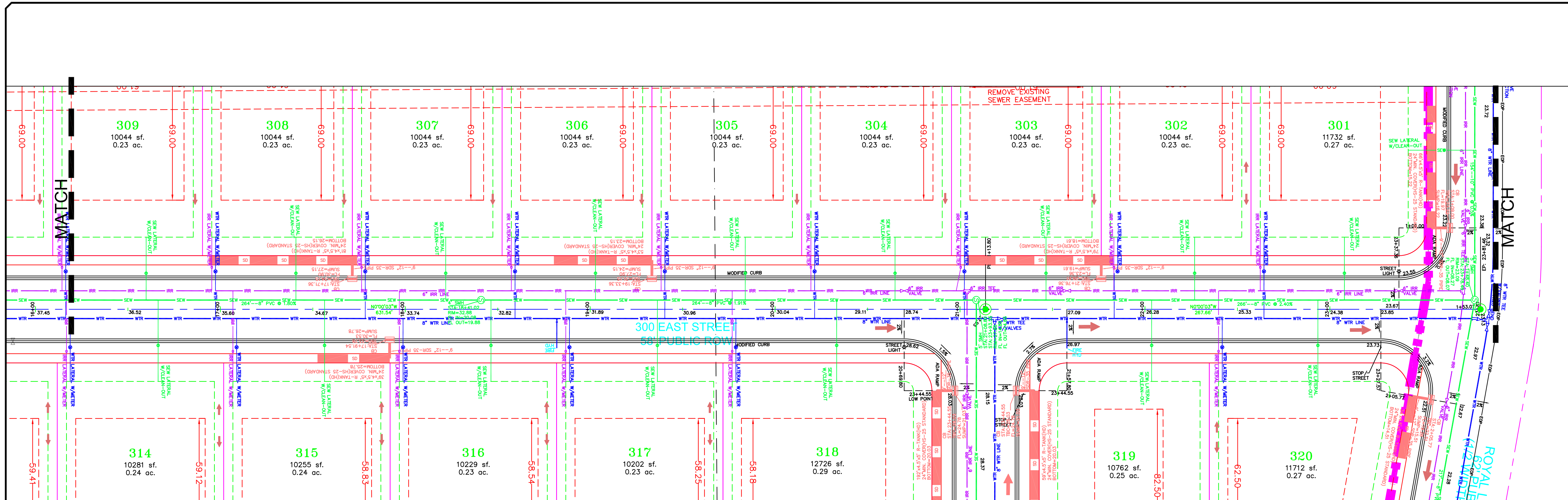
ORIG. DATE: 2-6-21
 SURVEY BY: CPW
 DRAWN BY: CPW
 DESIGNED BY: CPW
 CHECKED BY: CPW
 SCALE: 1"=30'

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 paul@gatewayconsultingllc.com
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 CONSTRUCTION MANAGEMENT

BELLA VISTA SUBDIVISION
PLAN AND PROFILE
 300 EAST (STA: 8+00 to 16+00)
 1-17-2025

SANTAQUIN CITY

SHEET NO. **PP3**



SCALE IN FEET
(HORIZONTAL)
1" = 7.5' (VERTICAL)
(24X36 SHEET)

LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SWELL
DRAINAGE SWELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (2 FT)
IRRIGATION LINE	10' FINISH CONTOUR
IRRIGATION APPARATUS	2' FINISH CONTOUR
DRAINAGE AREA (CHANNEL REPORT)	PROPOSED TRAIL
	CURB & GUTTER
	PROPOSED TRAIL
	PUE
	SETRACK
	30% SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

NOTE:
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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
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 DESIGNED BY: CPW
 CHECKED BY: CPW
 SCALE: 1"=30'

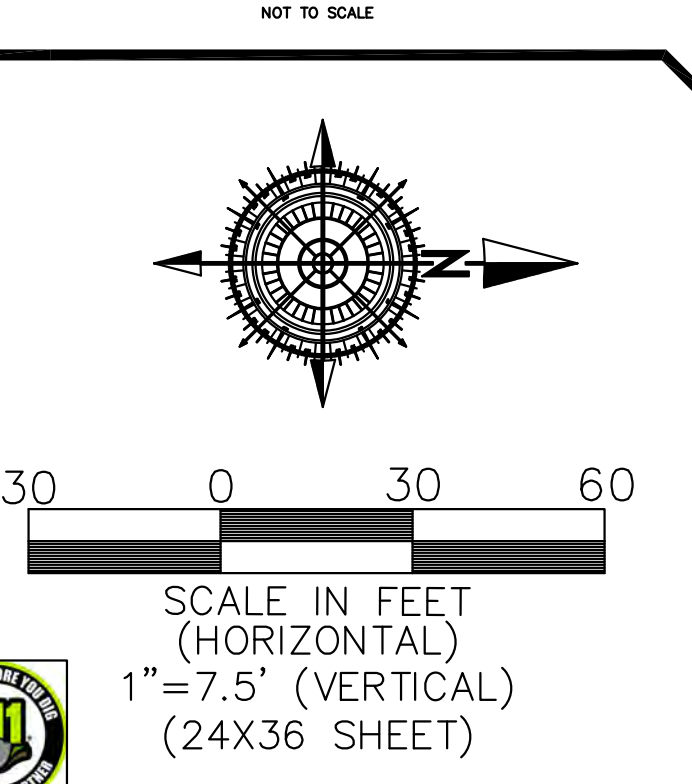
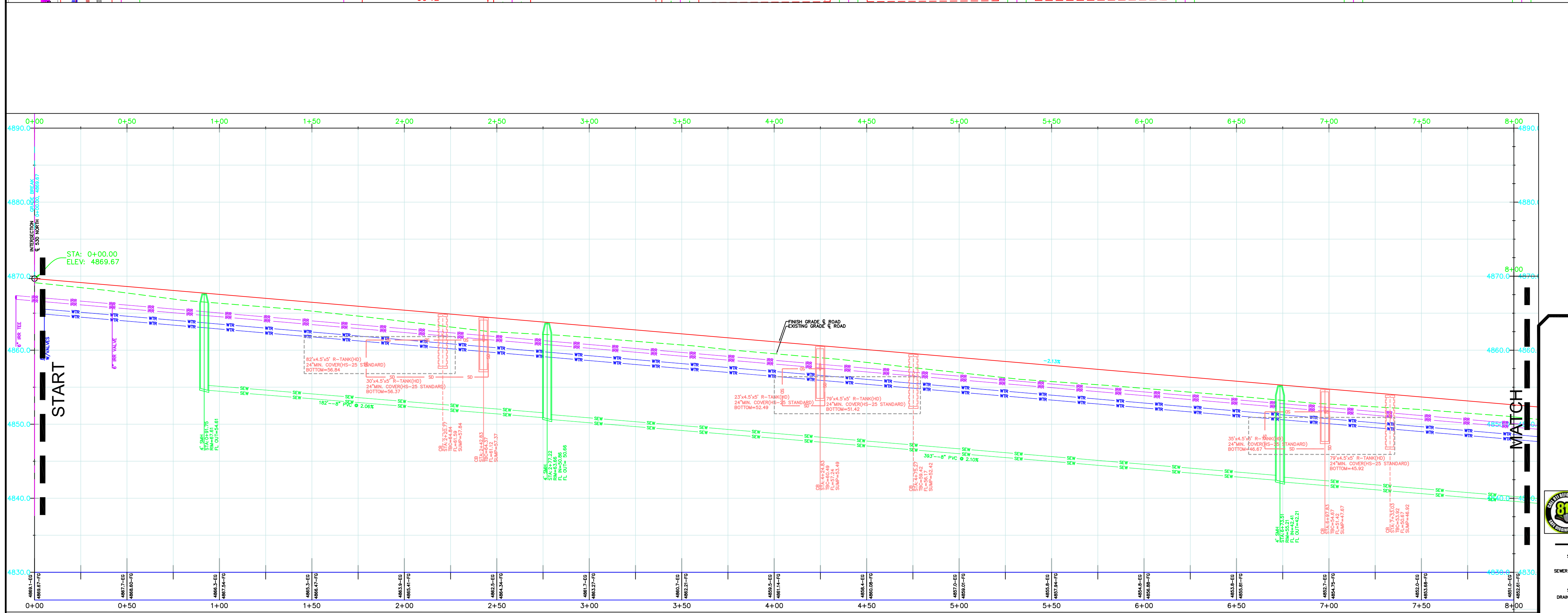
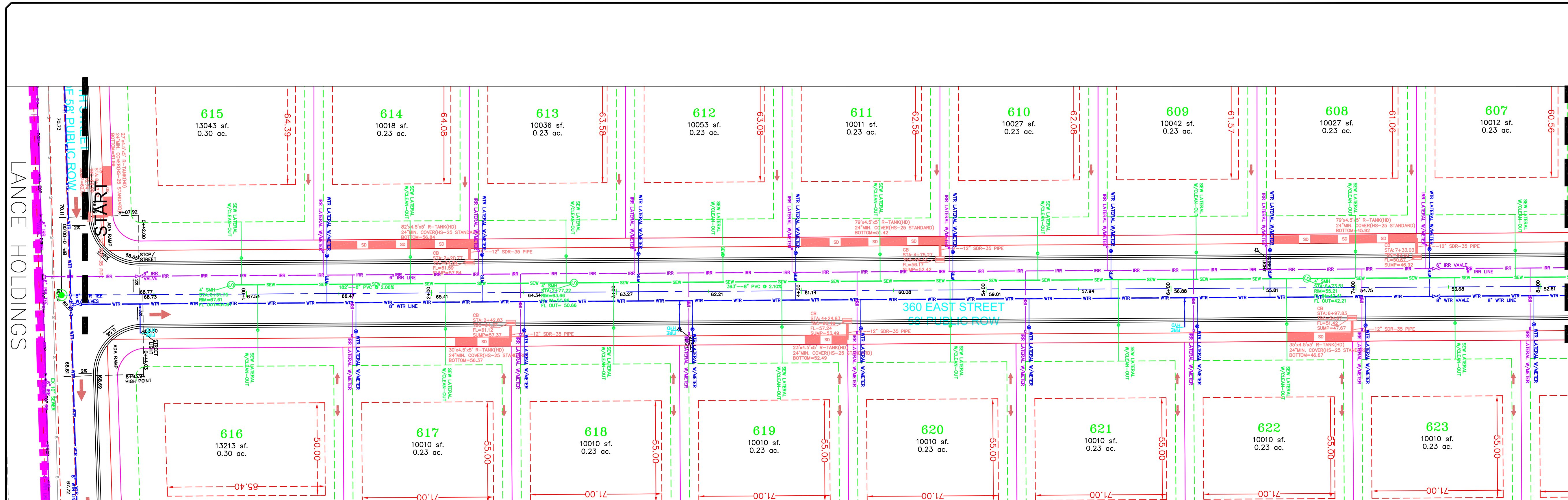
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BELLA VISTA SUBDIVISION
 PLAN AND PROFILE
 300 EAST (STA: 16+00 to 23+66)
 1-17-2025

SANTAQUIN CITY



SHEET NO. PP4



LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING WATER LINE
DRAINAGE SWELL	EXISTING IRRIGATION LINE
STORM APPARATUS	EXISTING FENCE
WATER LINE	EXISTING CONTOURS (2 FT)
WATER APPARATUS	10' FINISH CONTOUR
FIRE HYDRANT	2' FINISH CONTOUR
IRRIGATION APPARATUS	PROPOSED TRAIL
IRRIGATION APPARATUS	PROPOSED TRAIL
IRRIGATION APPARATUS	PUE
IRRIGATION APPARATUS	SETRACK
IRRIGATION APPARATUS	30% SLOPE AND GREATER
IRRIGATION APPARATUS	PROPOSED OPEN SPACE
IRRIGATION APPARATUS	DRAINAGE DIRECTION

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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
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 CHECKED BY: OPW
 SCALE: 1"=30'

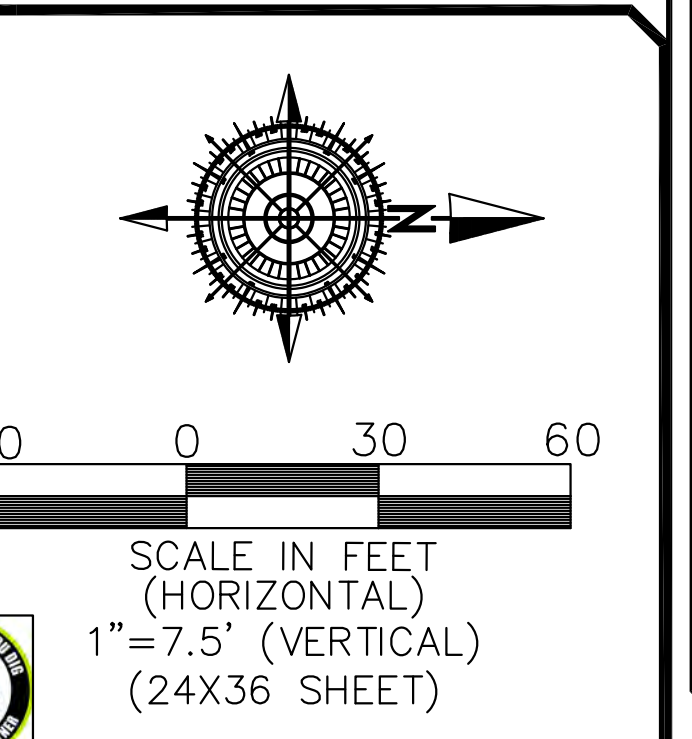
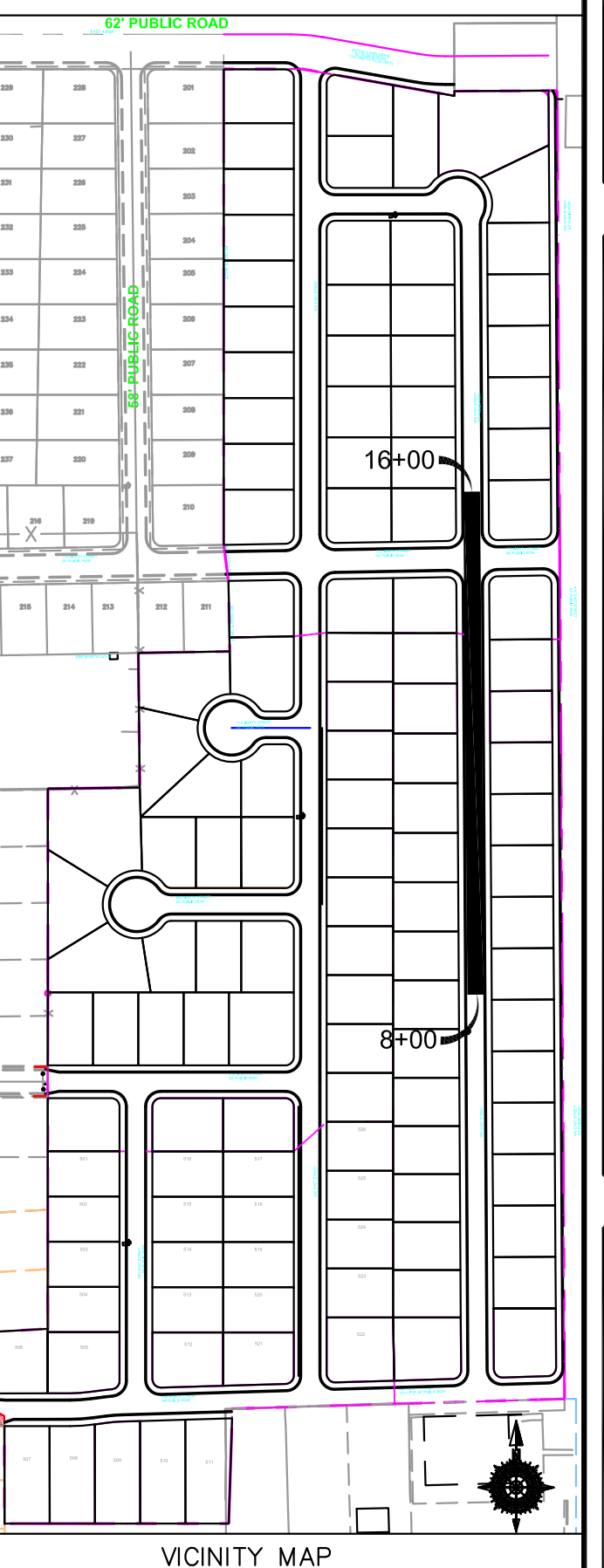
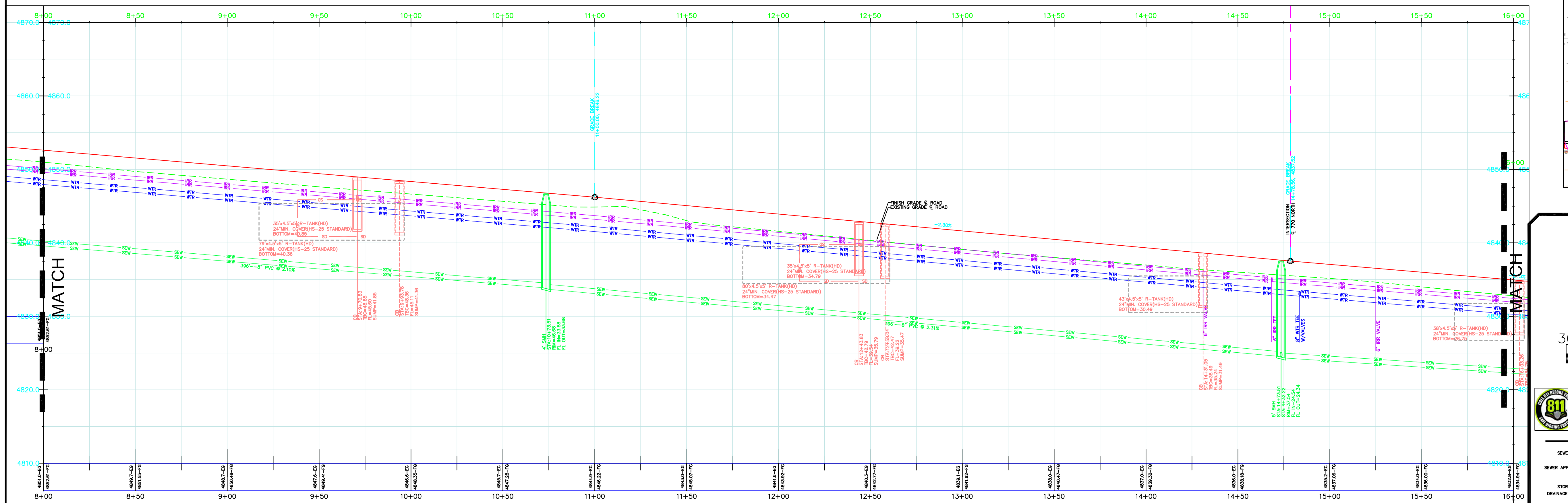
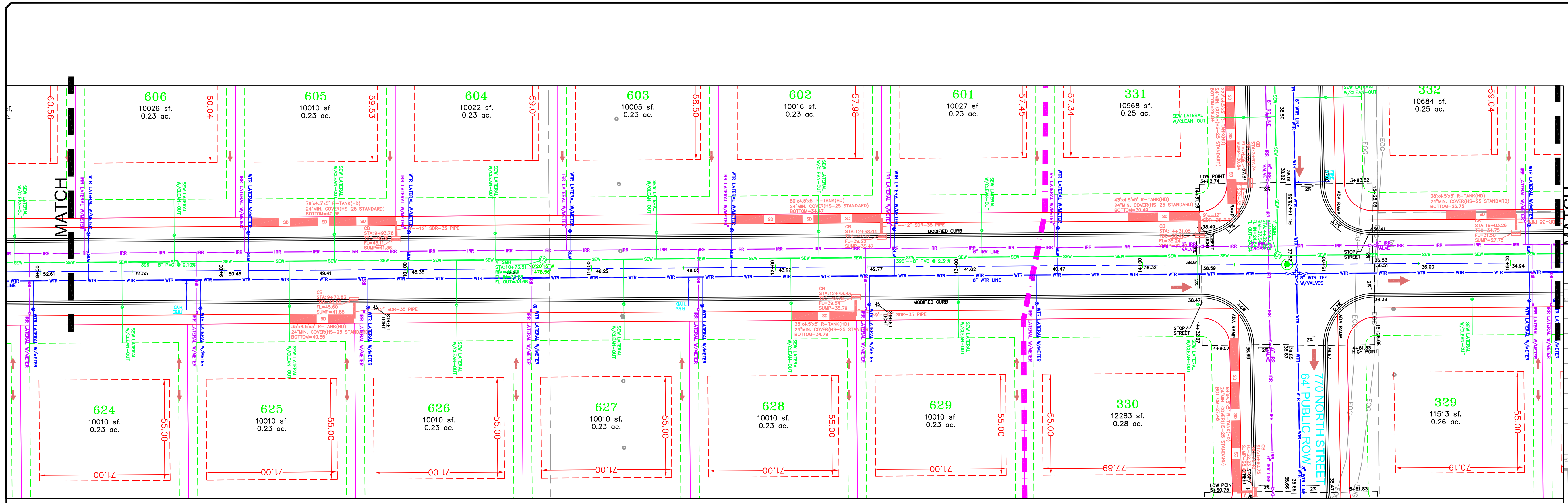
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 CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

BELLA VISTA SUBDIVISION
PLAN AND PROFILE
 360 EAST (STA: 0+00 to 8+00)
 1-17-2025

SANTAQUIN CITY



SHEET NO. PP5



LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SWELL
DRAINAGE SWELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (2 FT)
IRRIGATION LINE	10' FINISH CONTOUR
IRRIGATION APPARATUS	2' FINISH CONTOUR
DRAINAGE AREA (CHANNEL REPORT)	10' FINISH CONTOUR PHASE LINE
	CURB & GUTTER
	PROPOSED TRAIL
	PUE
	SETRACK
	30% SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

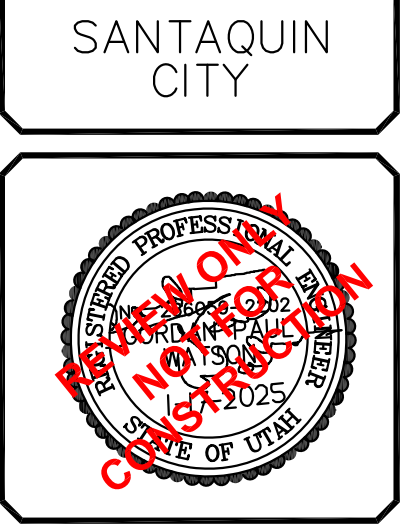
NOTE:
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NO.	DESCRIPTION	DATE	APP'D

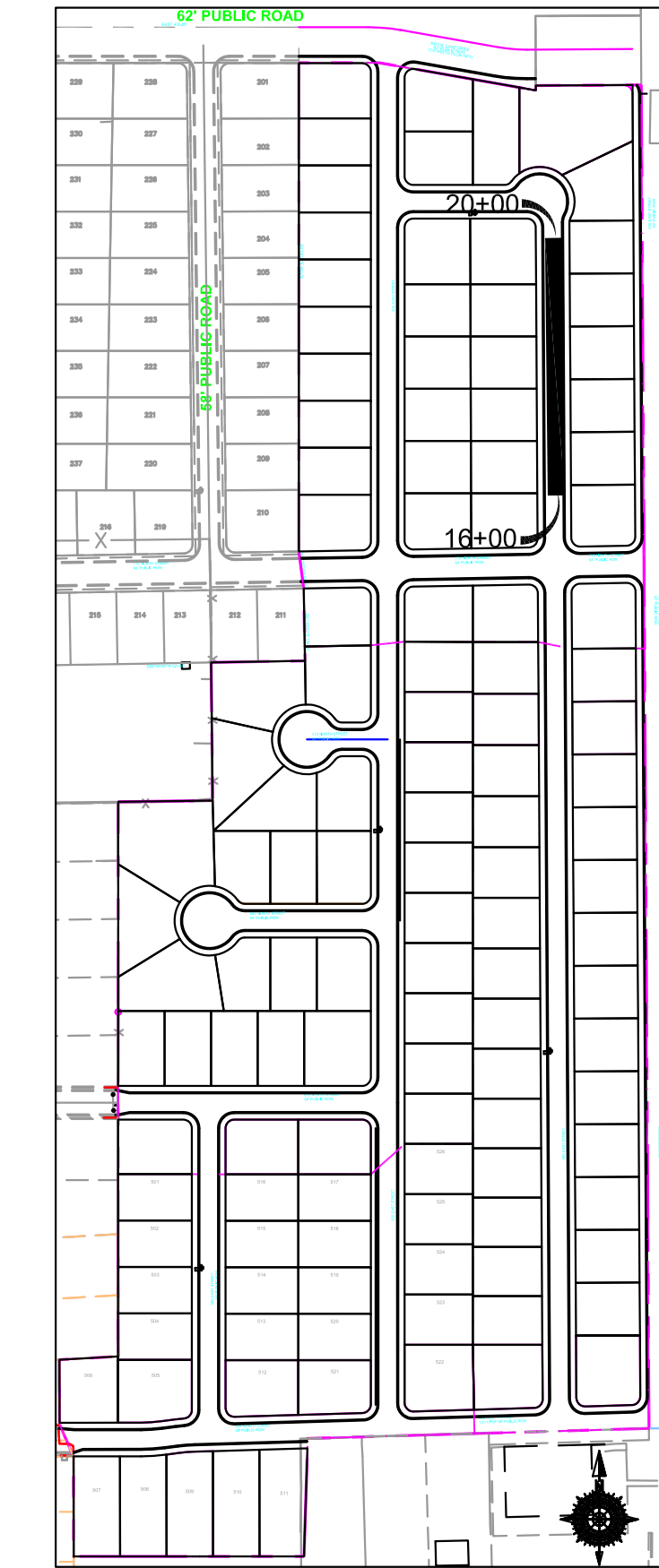
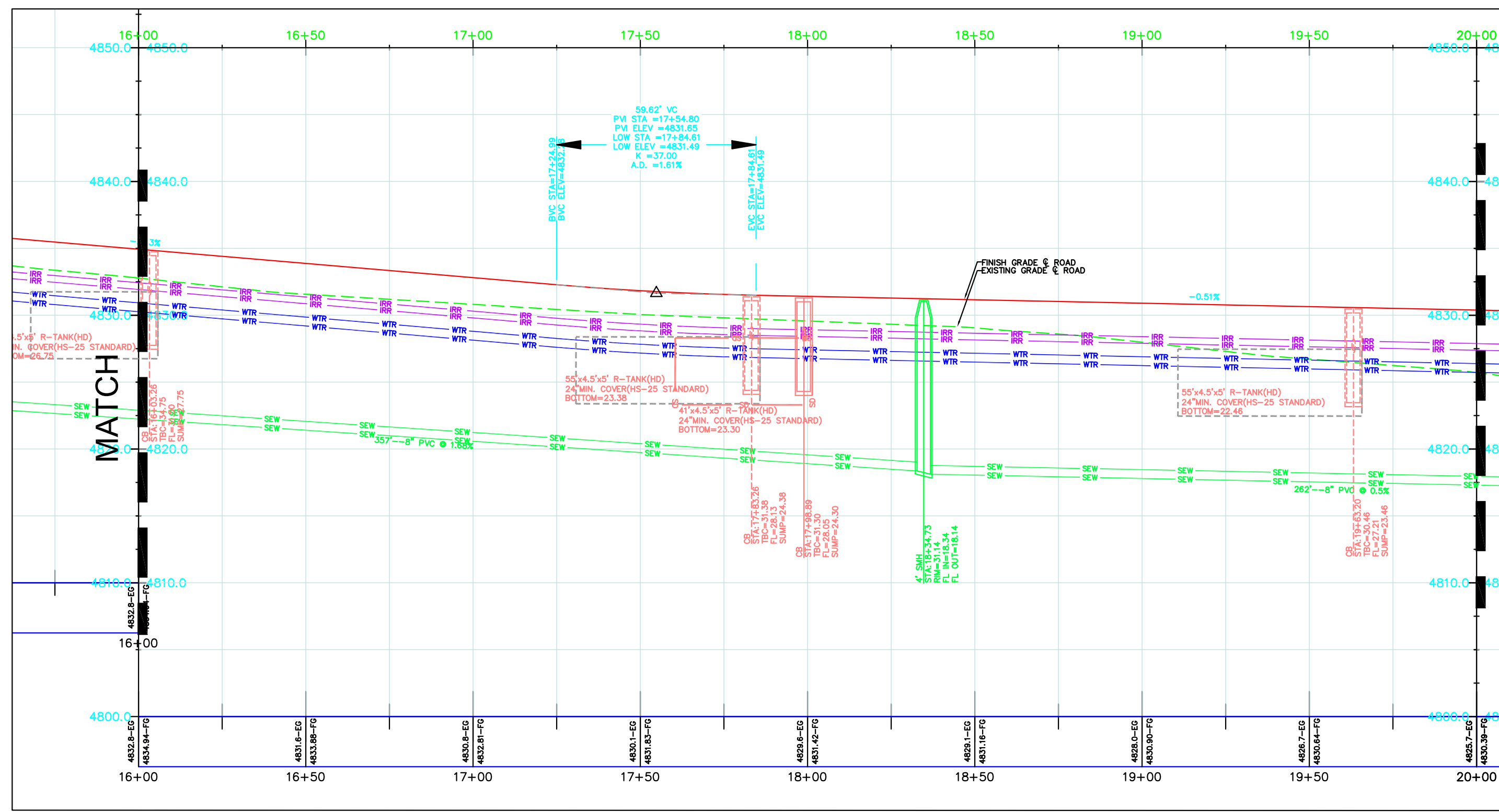
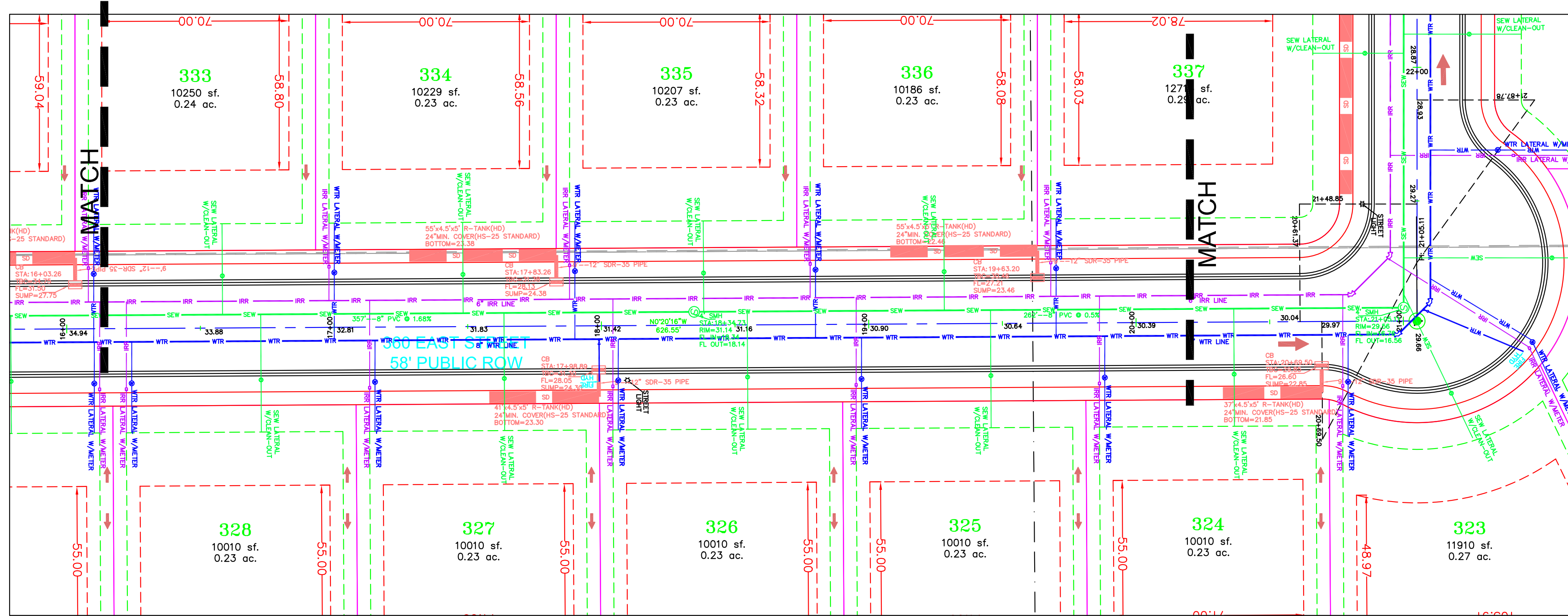
ORIG. DATE: 2-6-21
 SURVEY BY: CPW
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 DESIGNED BY: CPW
 CHECKED BY: CPW
 SCALE: 1"=30'

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BELLA VISTA SUBDIVISION
PLAN AND PROFILE
 360 EAST (STA: 8+00 to 16+00)
 1-17-2025



SHEET NO. **PP6**



LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SWELL
DRAINAGE SWELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (2 FT)
FIRE HYDRANT	10' FINISH CONTOUR
IRRIGATION LINE	2' FINISH CONTOUR
IRRIGATION APPARATUS	PHASE LINE
DRAINAGE AREA (GRADE REPORT)	CURB & GUTTER
	PROPOSED TRAIL
	PUE
	SETRACK
	30% SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
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 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

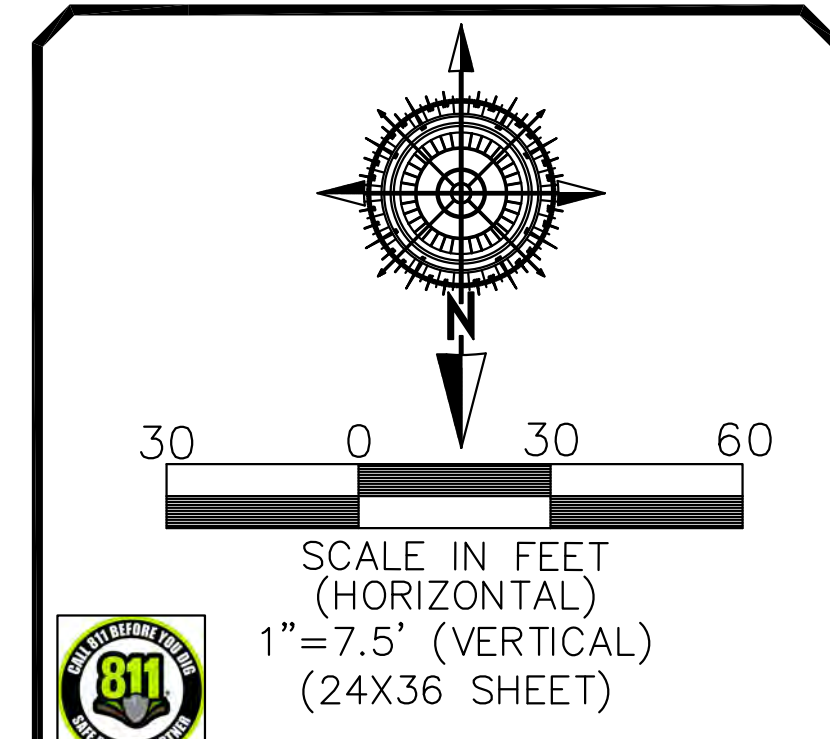
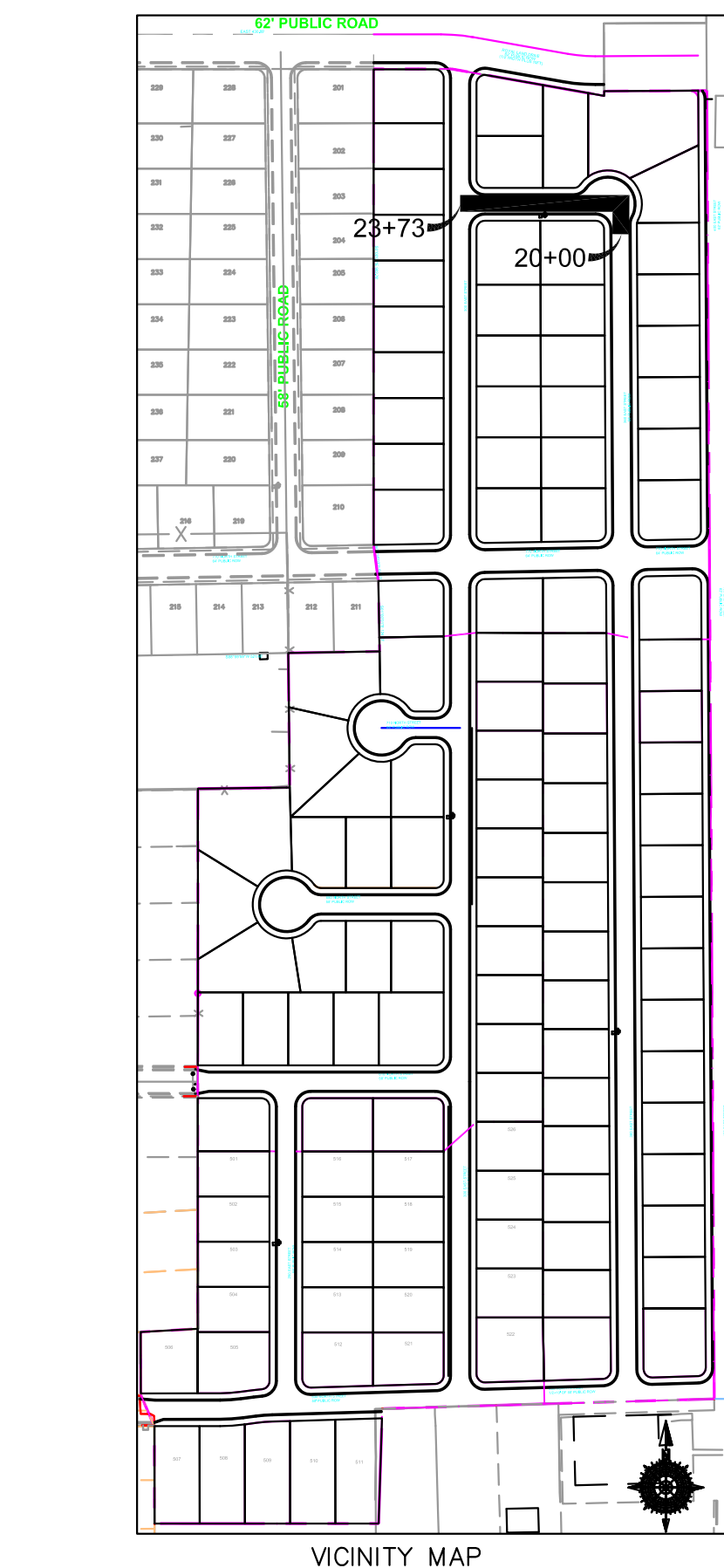
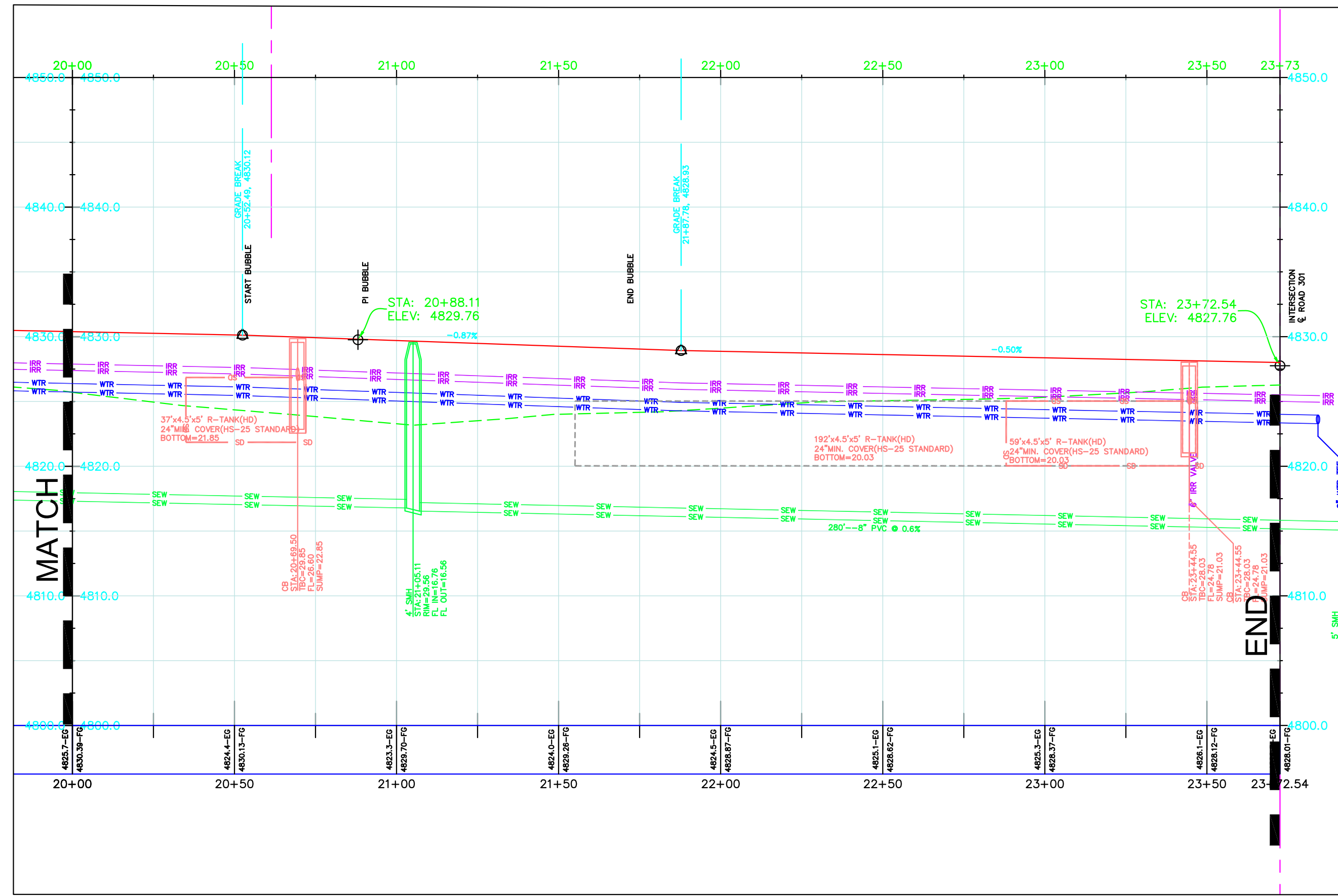
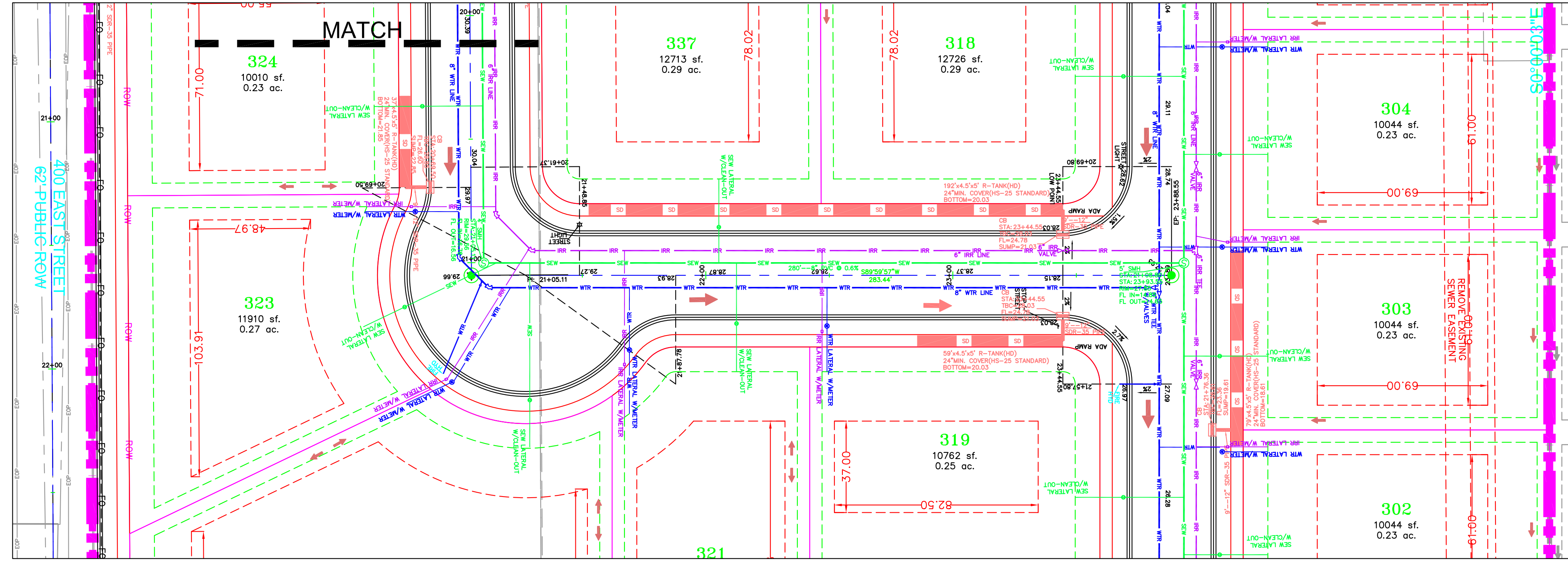
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BELLA VISTA SUBDIVISION
 PLAN AND PROFILE
 360 EAST (STA: 16+00 to 20+00)
 1-17-2025

SANTAQUIN CITY

REGISTERED PROFESSIONAL ENGINEER
 PAUL J. JORDAN
 No. 1025
 STATE OF UTAH

SHEET NO. **PP7**



LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SWELL
DRAINAGE SWELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (2 FT)
FIRE HYDRANT	10' FINISH CONTOUR
IRRIGATION APPARATUS	2' FINISH CONTOUR
DRAINAGE AREA (DRAINAGE REPORT)	PHASE LINE
	CURB & GUTTER
	PROPOSED TRAIL
	PUE
	SETRACK
	30% SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

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ORIG. DATE: 2-6-21
 SURVEY BY: CPW
 DRAWN BY: CPW
 DESIGNED BY: CPW
 CHECKED BY: CPW
 SCALE: 1"=30'

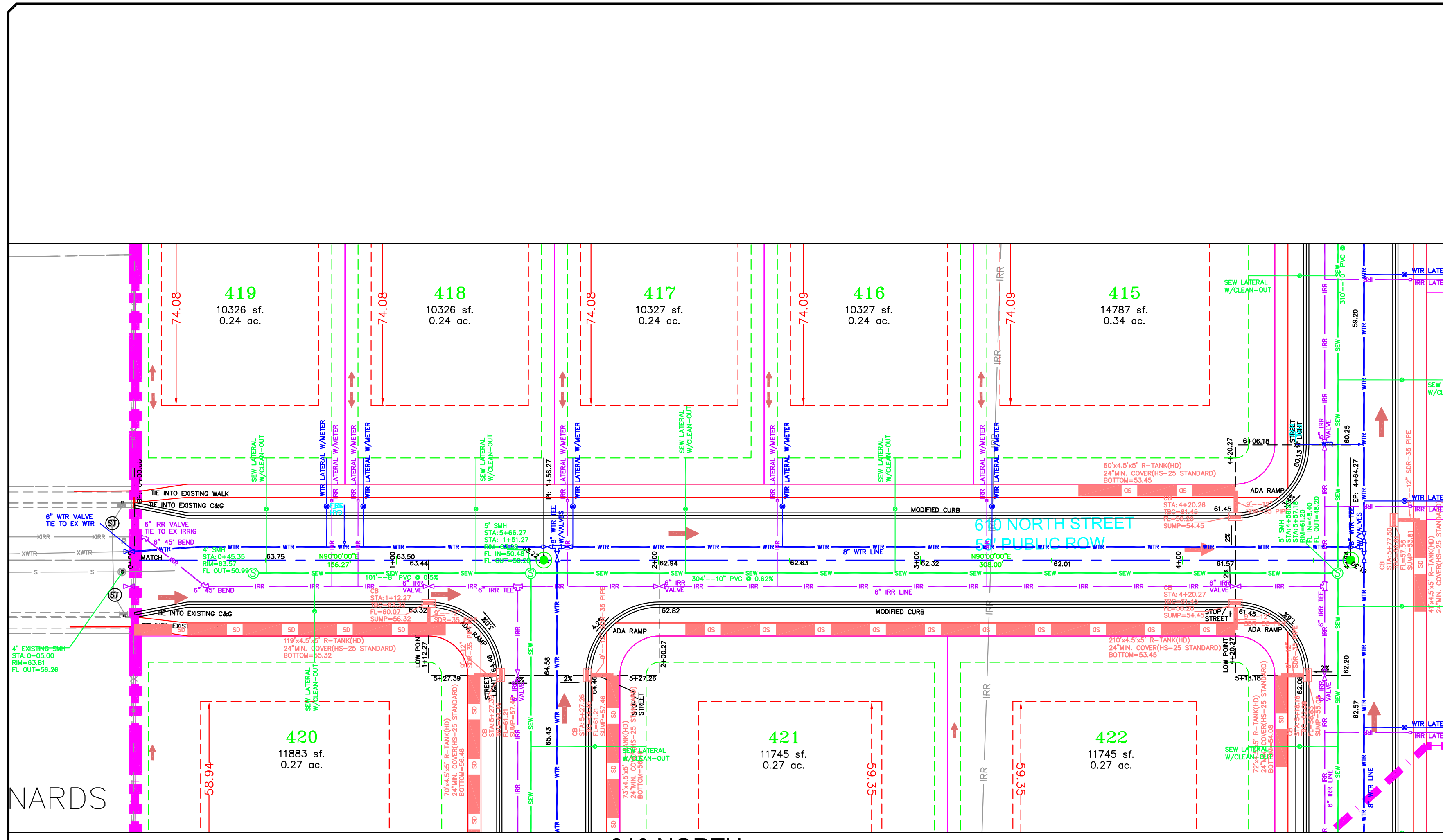
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BELLA VISTA SUBDIVISION
PLAN AND PROFILE
360 EAST (STA: 16+00 to 23+73)
 1-17-2025

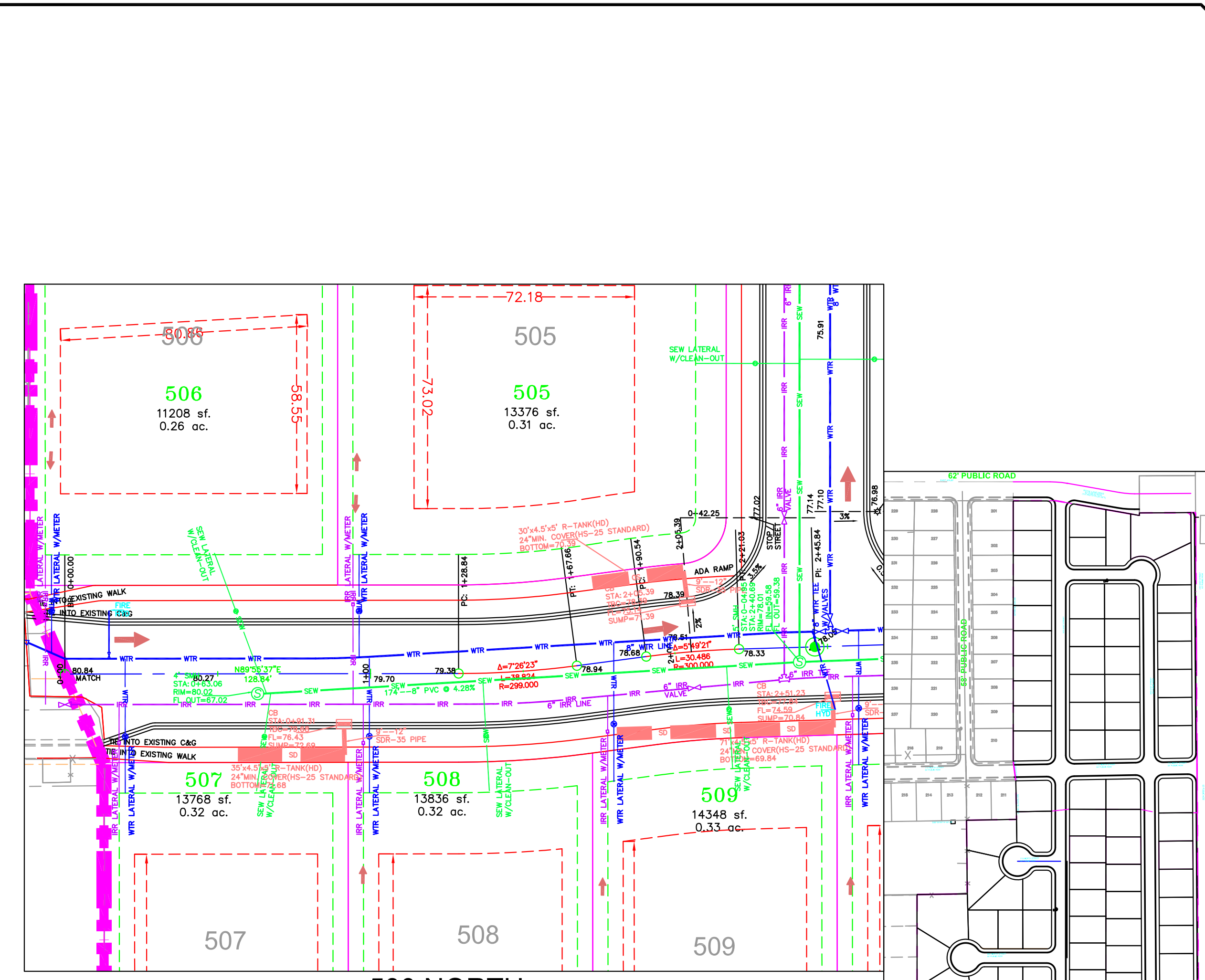
SANTAQUIN CITY



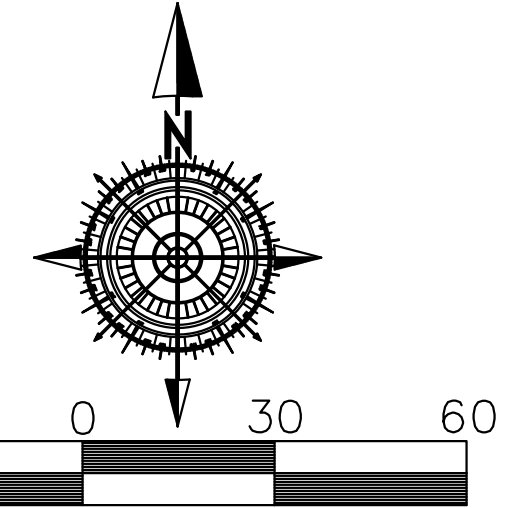
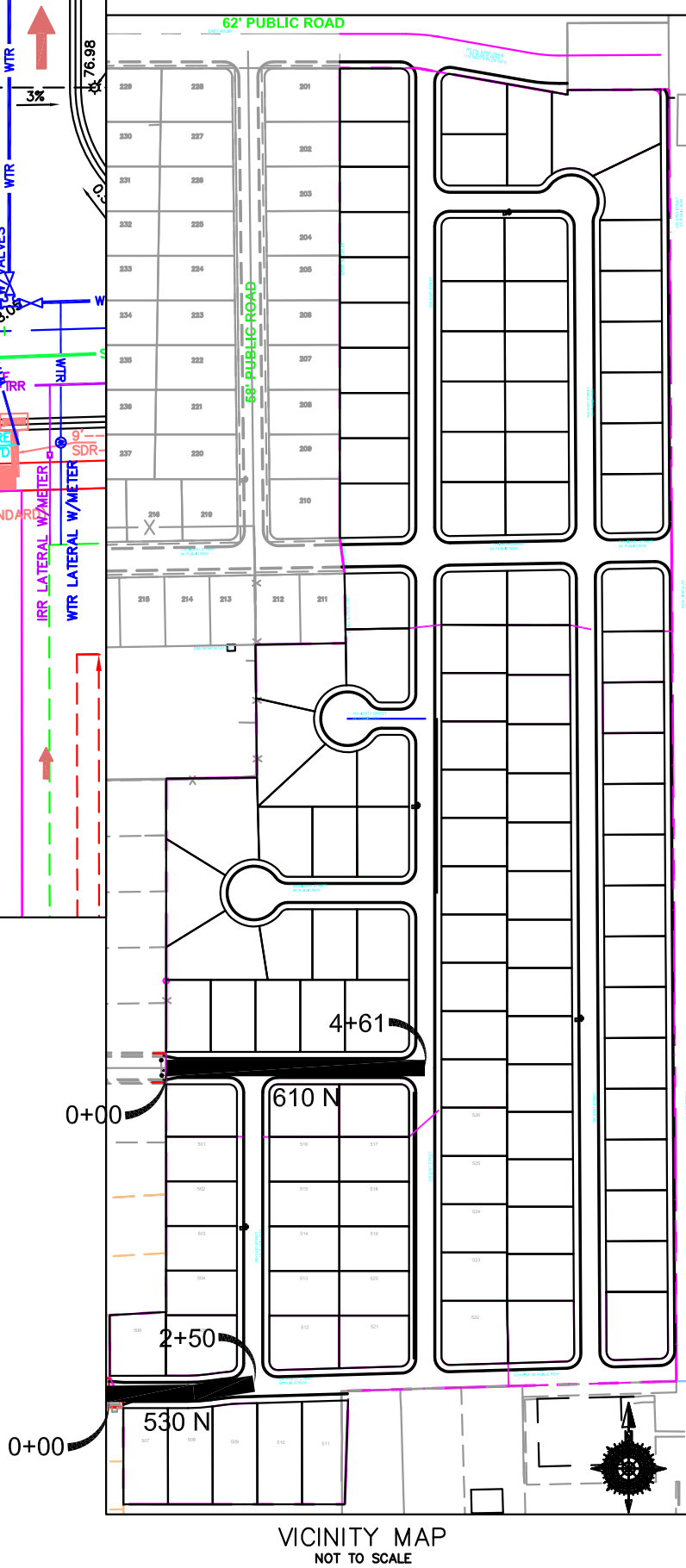
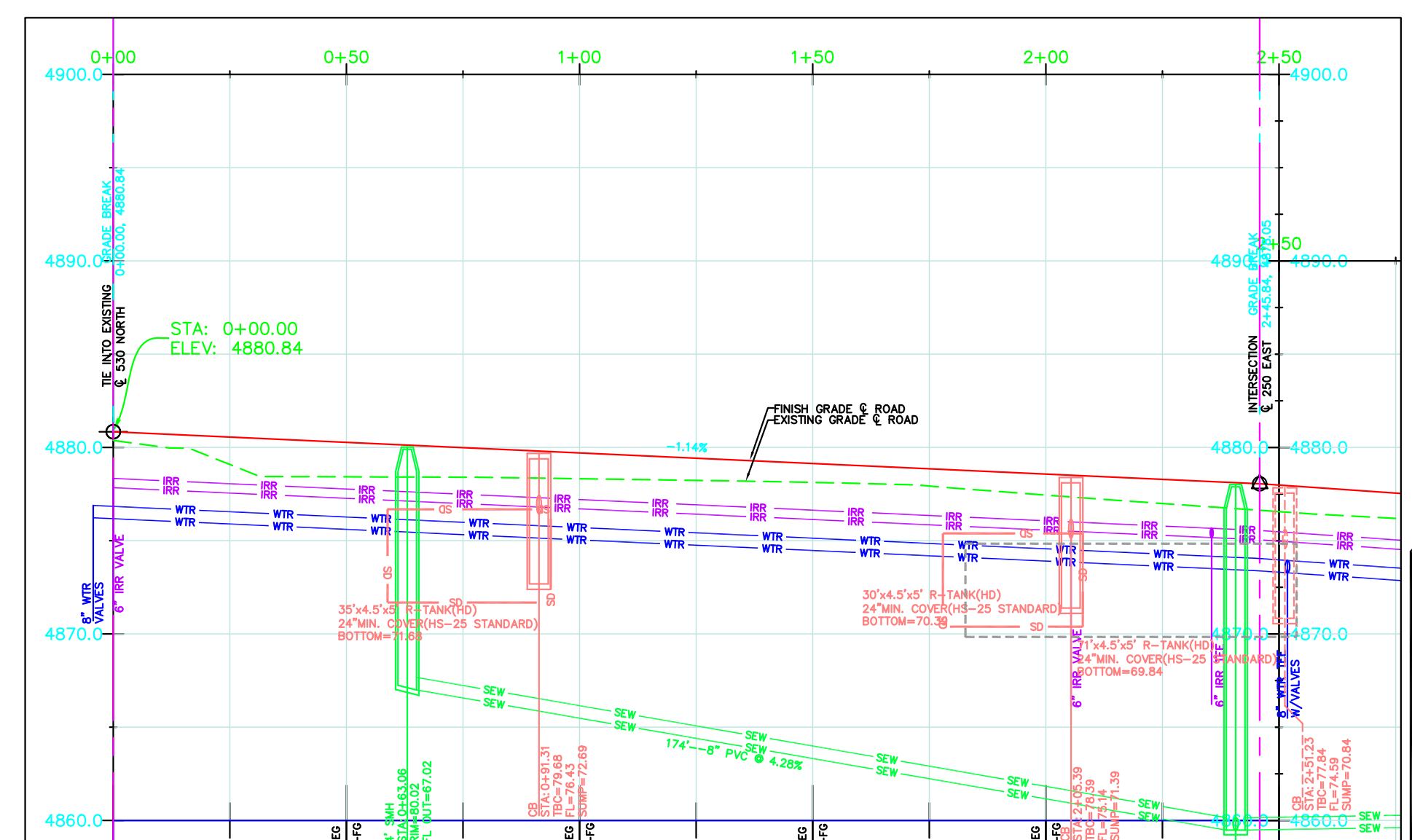
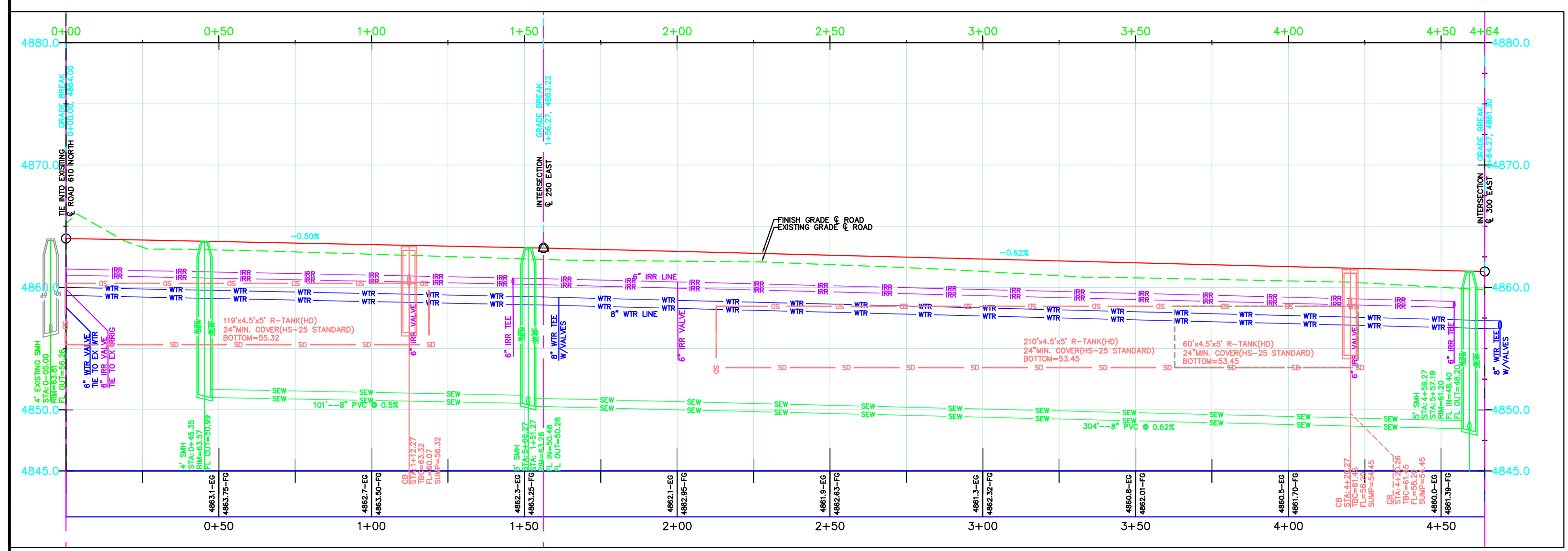
SHEET NO. PP8



610 NORTH



530 NORTH



SCALE IN FEET
(HORIZONTAL)
1" = 7.5' (VERTICAL)
(24X36 SHEET)

LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SWELL
DRAINAGE SWELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (2 FT)
FIRE HYDRANT	10' FINISH CONTOUR
IRRIGATION APPARATUS	2' FINISH CONTOUR
DRAINAGE AREA (GRADE REPORT)	PHASE LINE
	CURB & GUTTER
	PROPOSED TRAIL
	PUE
	SETRACK
	30% SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
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 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

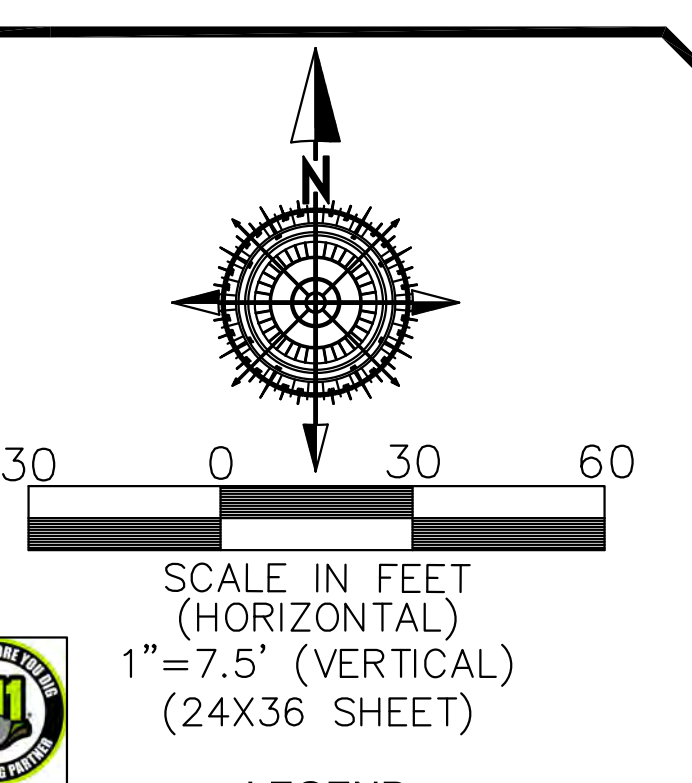
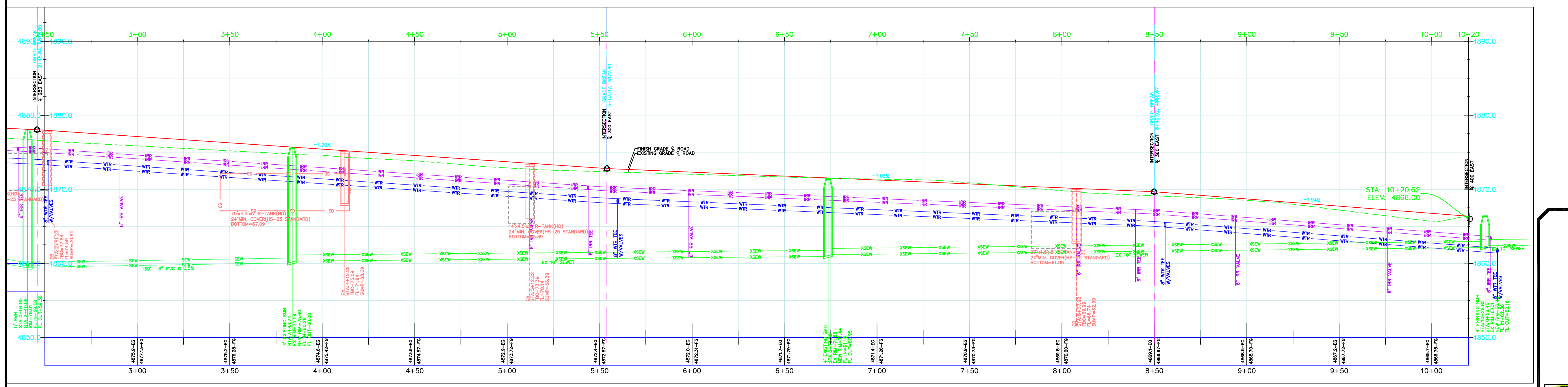
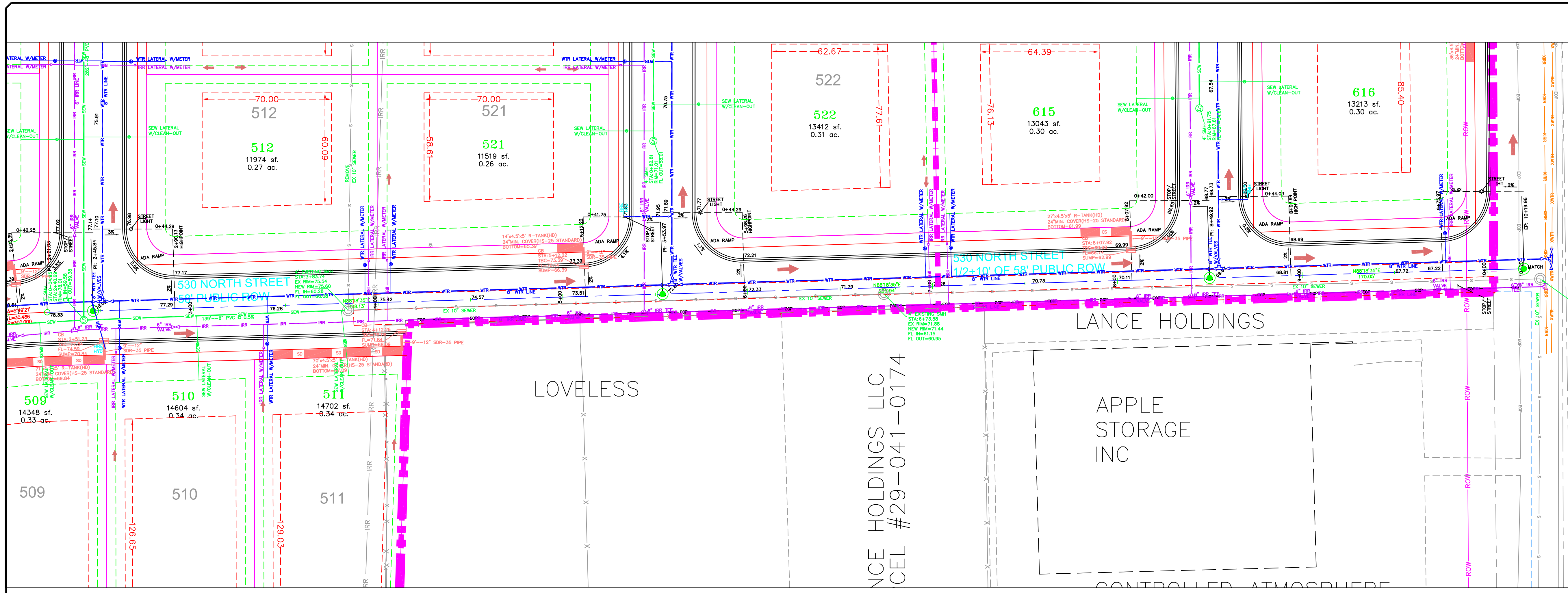
GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
 paul@gatewayconsultingllc.com
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 CONSTRUCTION MANAGEMENT

BELLA VISTA SUBDIVISION
 PLAN AND PROFILE
 610 NORTH
 530 NORTH (STA: 0+00 to 2+50)
 1-17-2025

SANTAQUIN CITY



SHEET NO. PP9



LEGEND

SEWER LINE	EXISTING SEWER LINE	PROPOSED SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE	PROPOSED STORM LINE
STORM LINE	EXISTING DRAINAGE SWELL	PROPOSED DRAINAGE SWELL
DRAINAGE SWELL	EXISTING WATER LINE	PROPOSED WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE	PROPOSED IRRIGATION LINE
WATER LINE	EXISTING FENCE	PROPOSED FENCE
WATER APPARATUS	EXISTING CONTOURS (2 FT)	PROPOSED CONTOURS (2 FT)
FIRE HYDRANT	10' FINISH CONTOUR	PROPOSED 10' FINISH CONTOUR
IRRIGATION LINE	2' FINISH CONTOUR	PROPOSED 2' FINISH CONTOUR
IRRIGATION APPARATUS	PHASE LINE	PROPOSED PHASE LINE
DRAINAGE AREA (CANAL REPORT)	CURB & GUTTER	PROPOSED CURB & GUTTER
	PROPOSED TRAIL	PROPOSED TRAIL
	PUE	PROPOSED PUE
	SEBACK	PROPOSED SEBACK
	30% SLOPE AND GREATER	PROPOSED 30% SLOPE AND GREATER
	PROPOSED OPEN SPACE	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION	PROPOSED DRAINAGE DIRECTION

NOTE:
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NO.	DESCRIPTION	DATE	APP'D

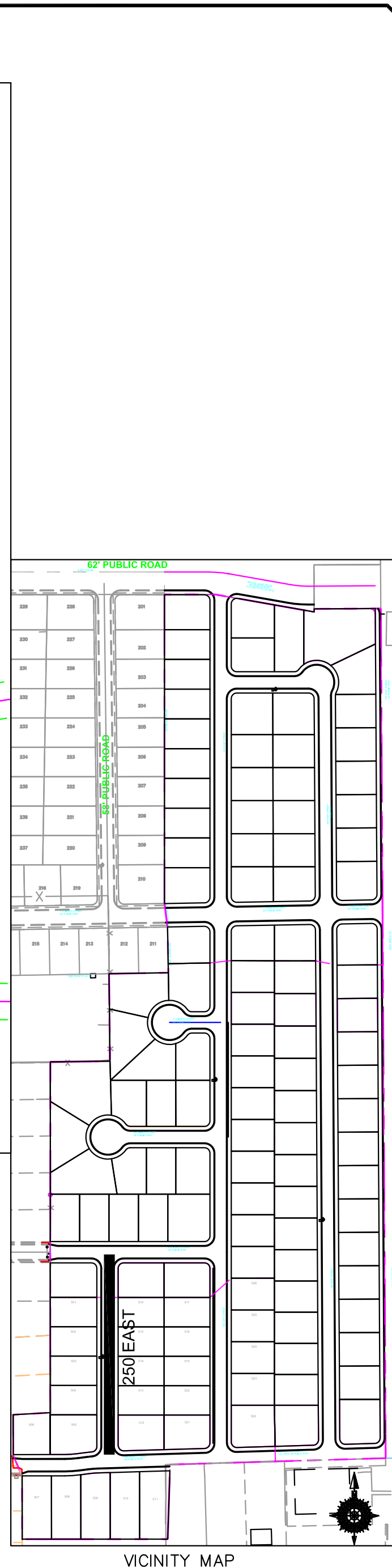
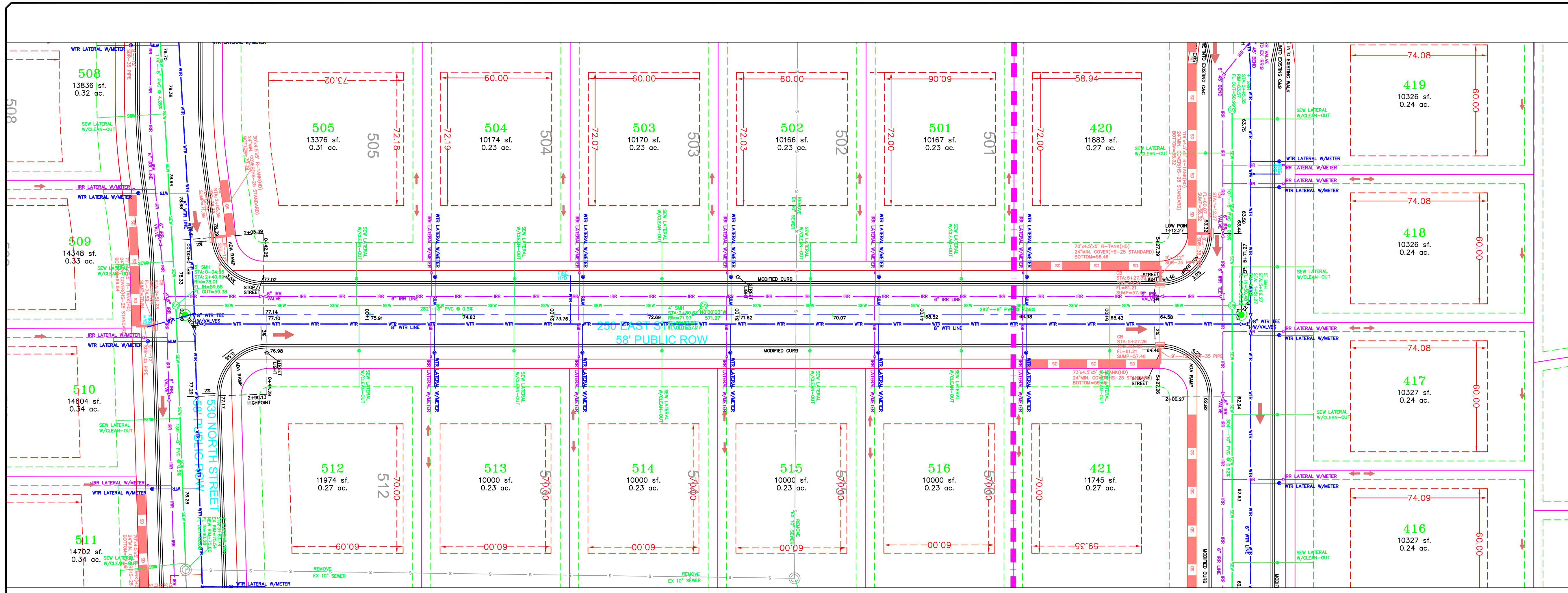
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 SURVEY BY: CPW
 DRAWN BY: CPW
 DESIGNED BY: CPW
 CHECKED BY: CPW
 SCALE: 1"=30'

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BELLA VISTA SUBDIVISION
 PLAN AND PROFILE
 610 NORTH (STA: 2+50 to 10+21)
 1-17-2025

SANTAQUIN CITY

SHEET NO. **PP10**



NO.	DESCRIPTION	DATE	APP'D

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 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

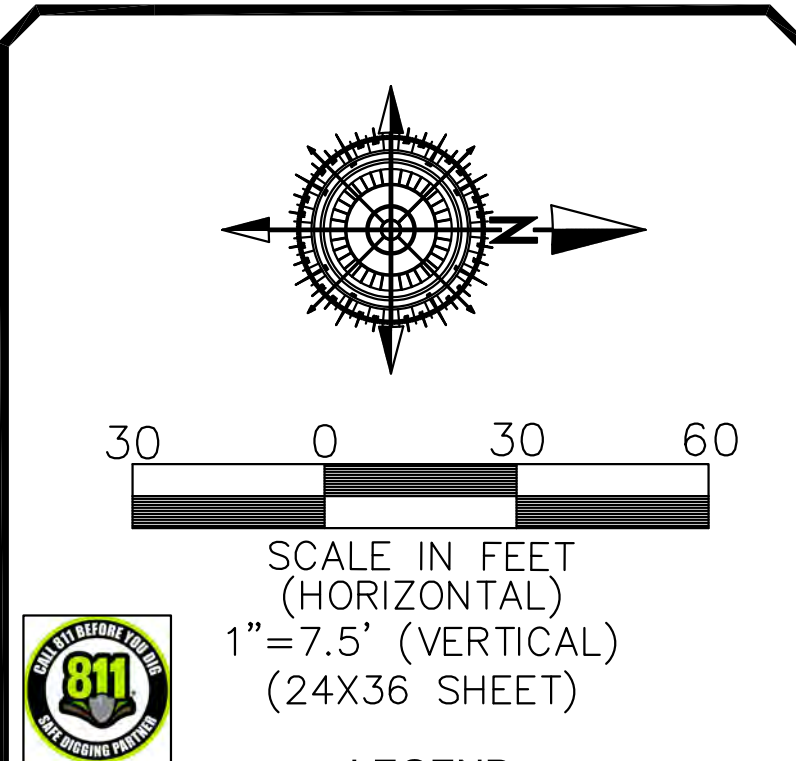
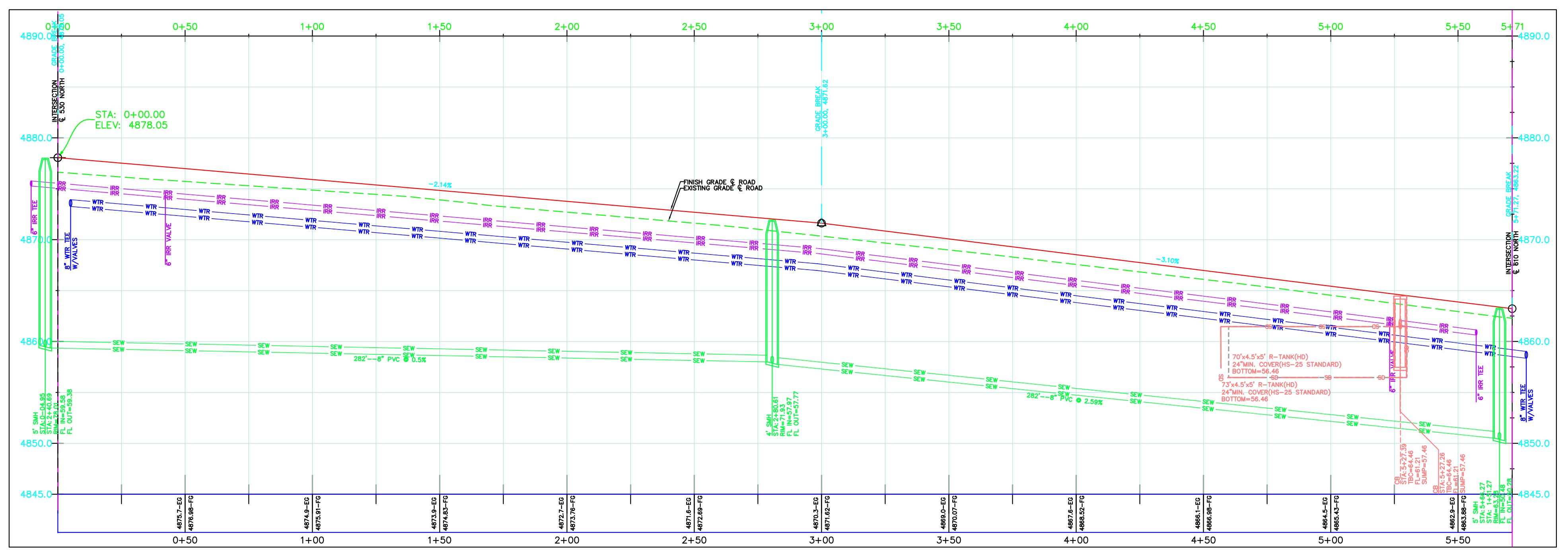
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BELLA VISTA SUBDIVISION
PLAN AND PROFILE
250 EAST
 1-17-2025

SANTAQUIN CITY



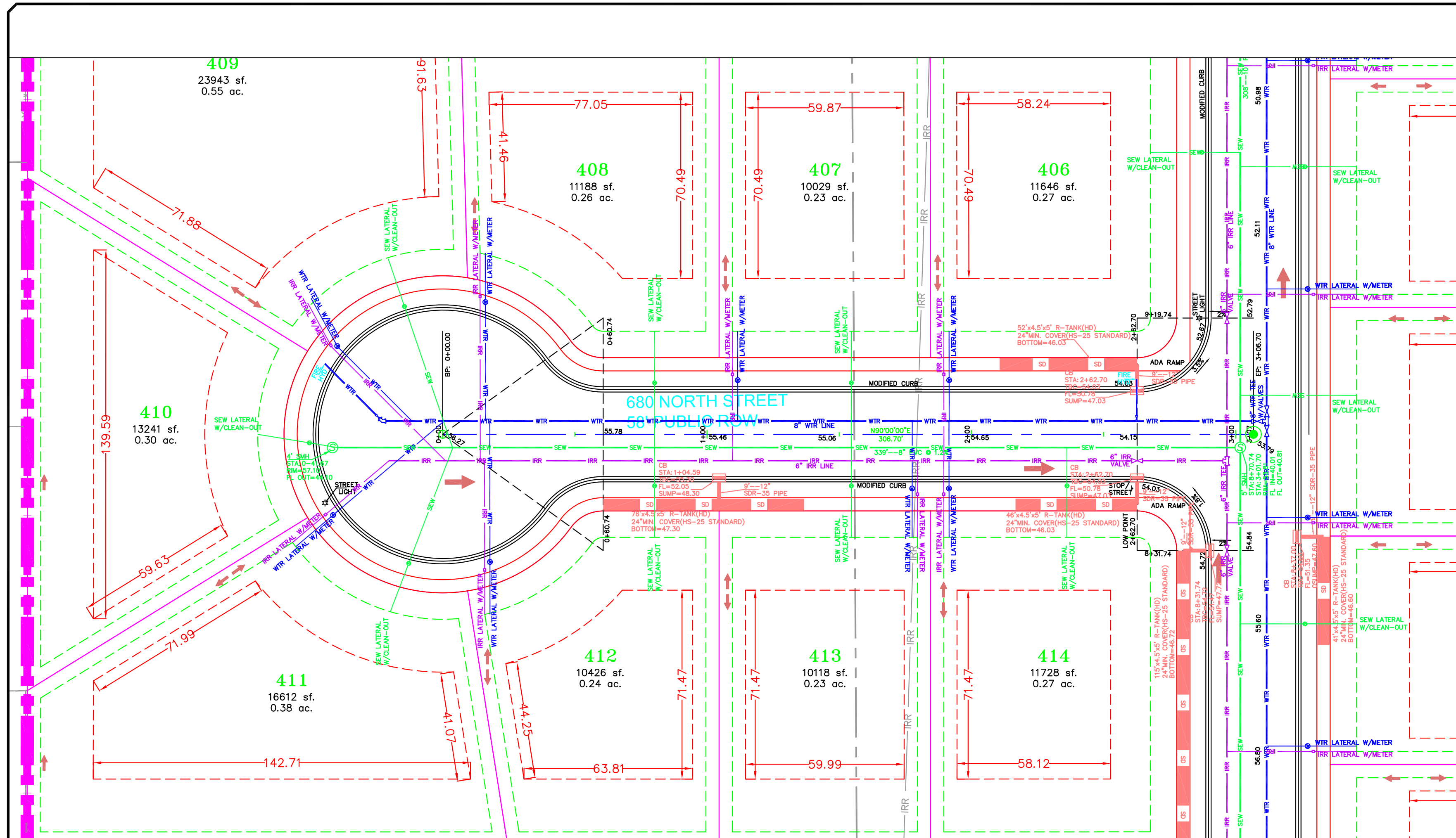
SHEET NO. PP11



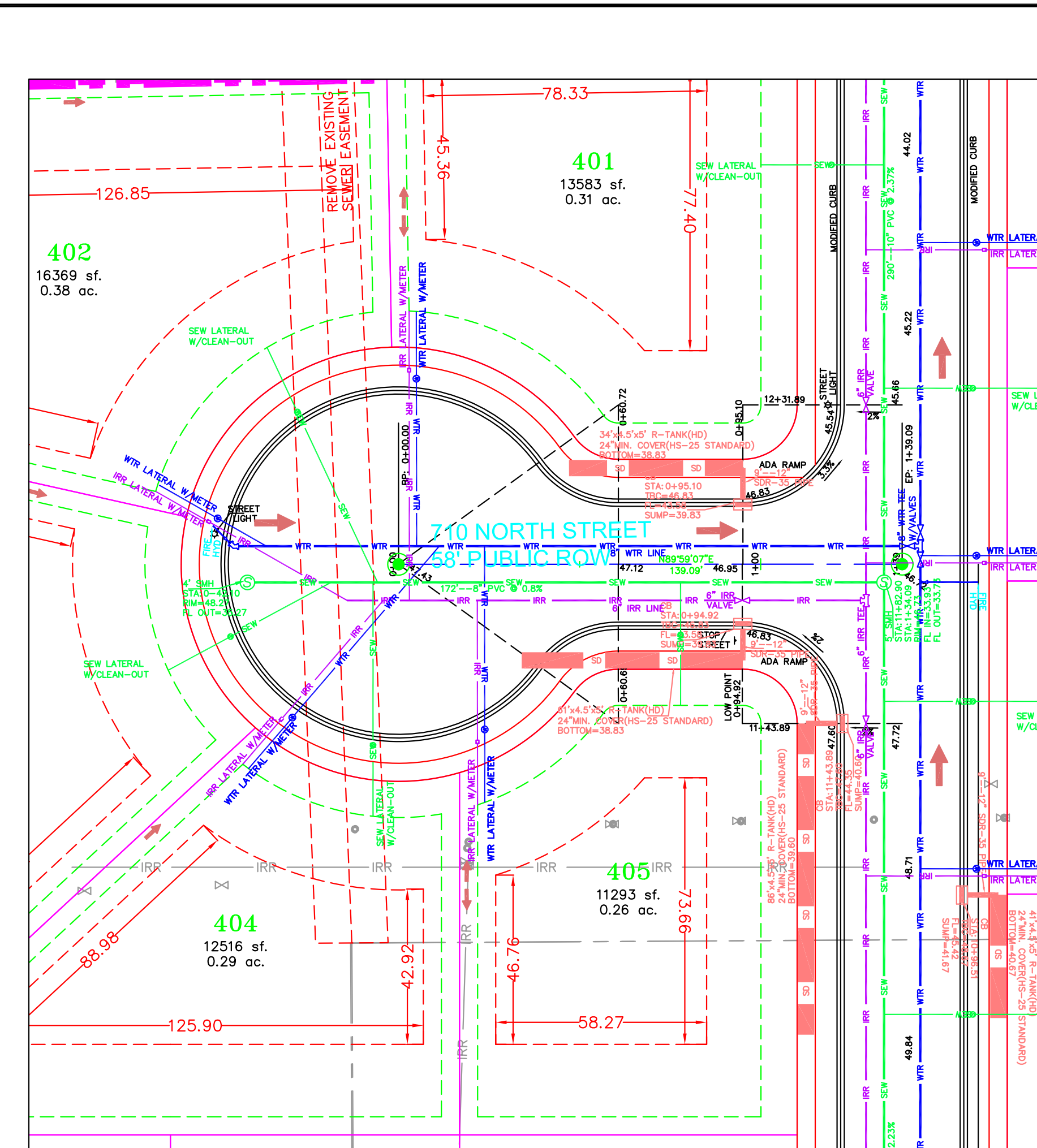
LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SWELL
DRAINAGE SWELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (2 FT)
FIRE HYDRANT	10' FINISH CONTOUR
IRRIGATION APPARATUS	2' FINISH CONTOUR
DRAINAGE AREA (DRAINAGE REPORT)	PROPOSED PHASE LINE
	CURB & GUTTER
	PROPOSED TRAIL
	PUE
	SETRACK
	30% SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

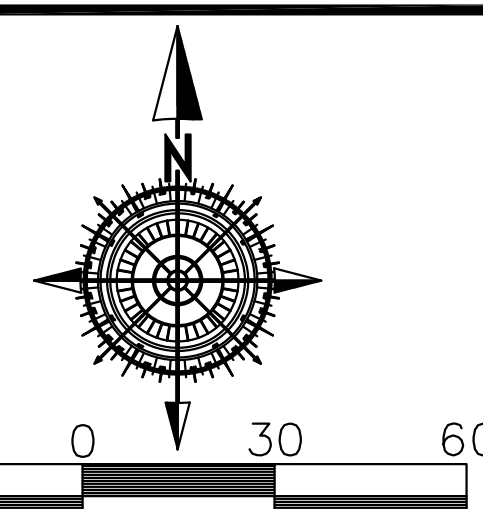
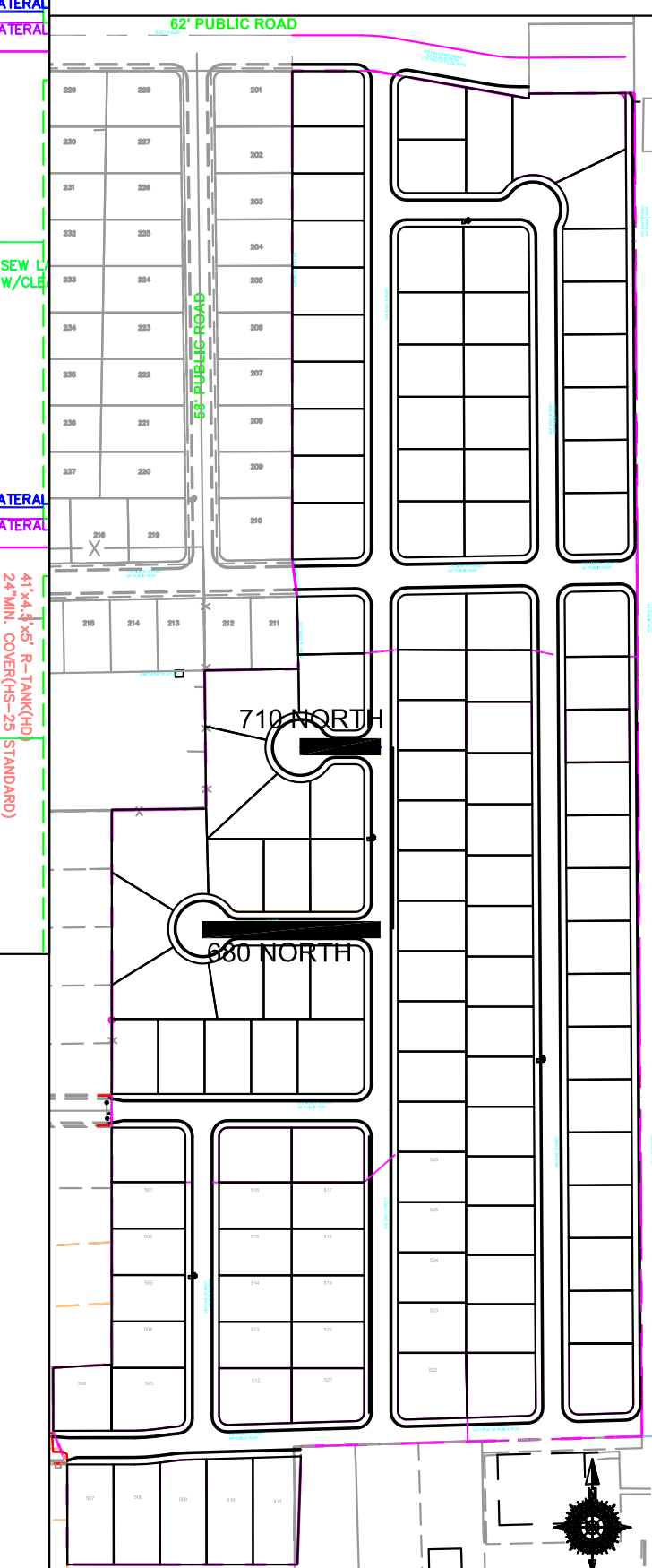
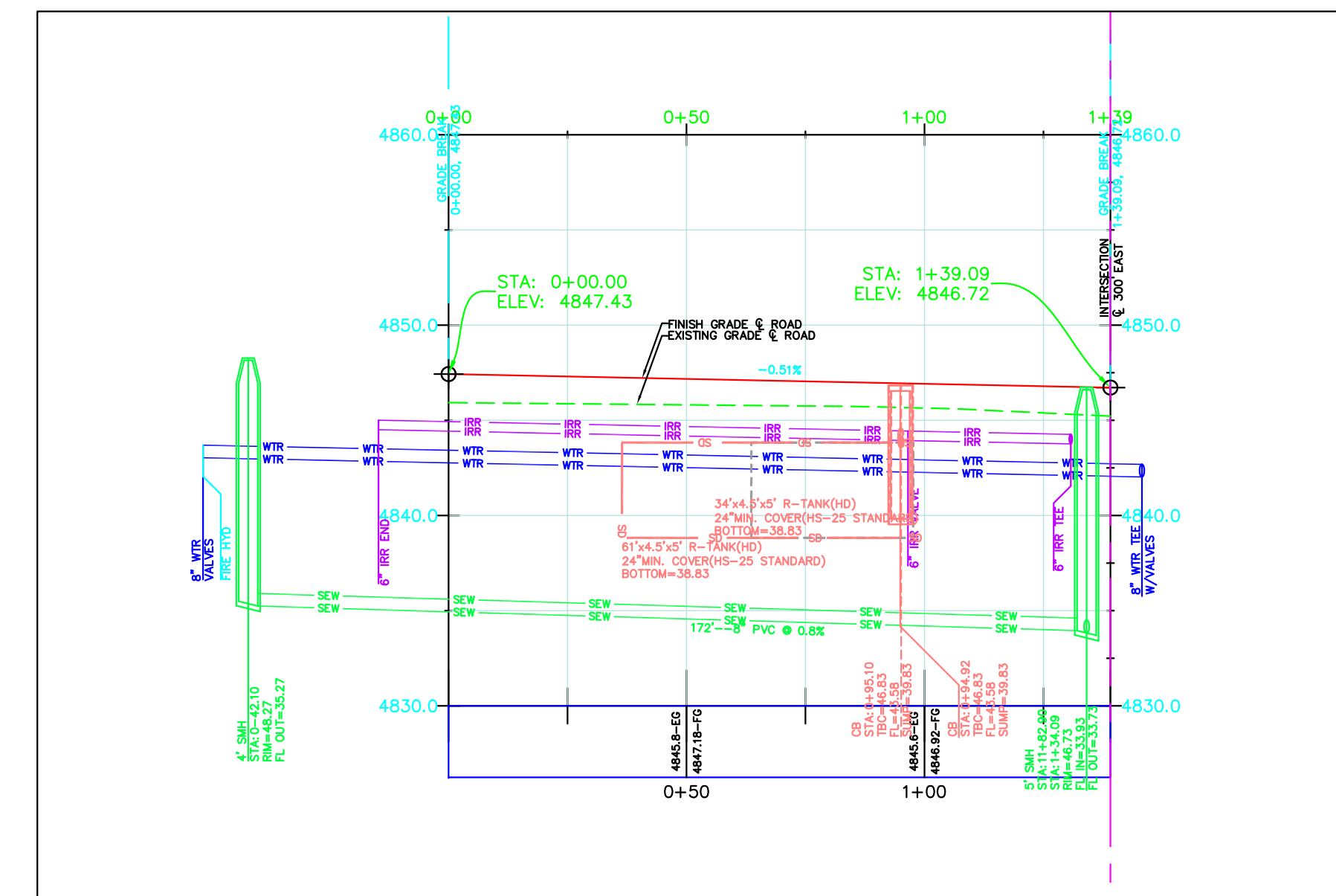
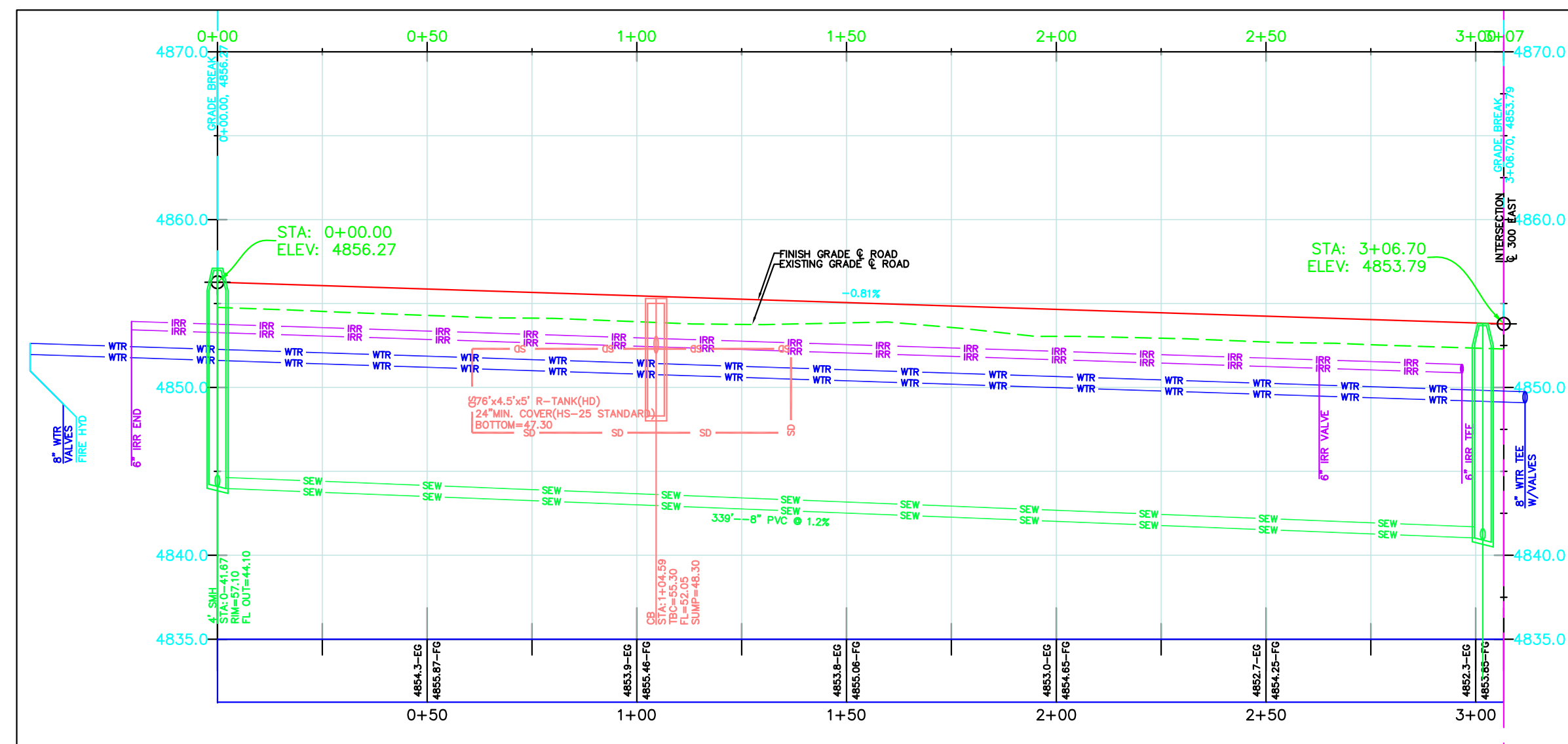
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680 NORTH



710 NORTH



SCALE IN FEET
(HORIZONTAL)
1" = 7.5' (VERTICAL)
(24X36 SHEET)



LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SWELL
DRAINAGE SWELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
FIRE HYDRANT	EXISTING CONTOURS (2 FT)
IRRIGATION APPARATUS	10' FINISH CONTOUR
DRAINAGE AREA (DRAINAGE REPORT)	2' FINISH CONTOUR
	PHASE LINE
	CURB & GUTTER
	PROPOSED TRAIL
	PUE
	SEBACK
	30% SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

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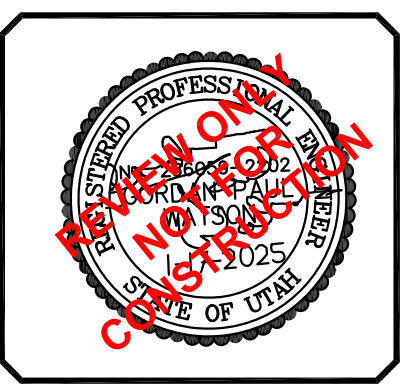
NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

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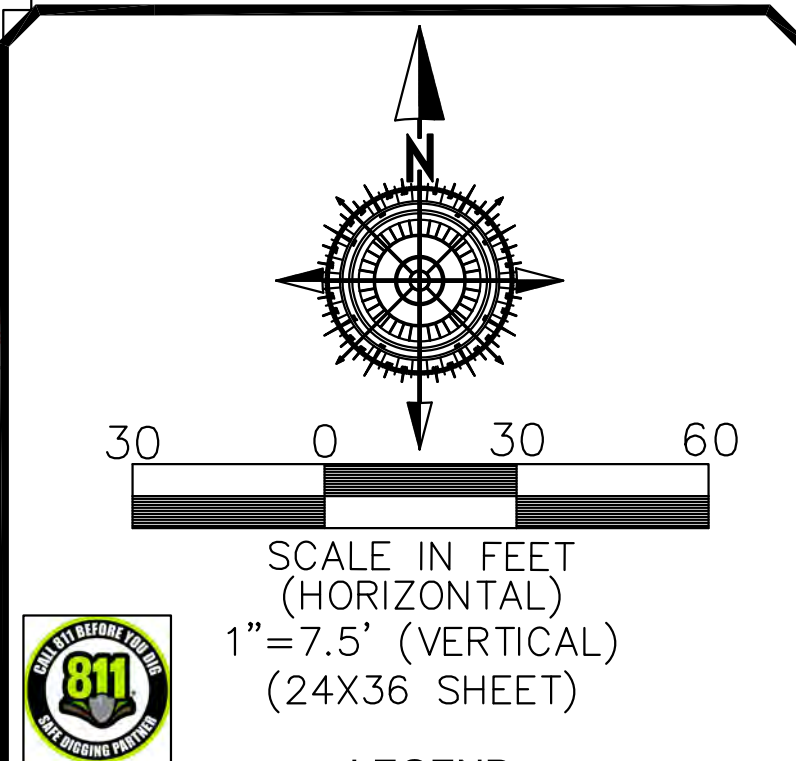
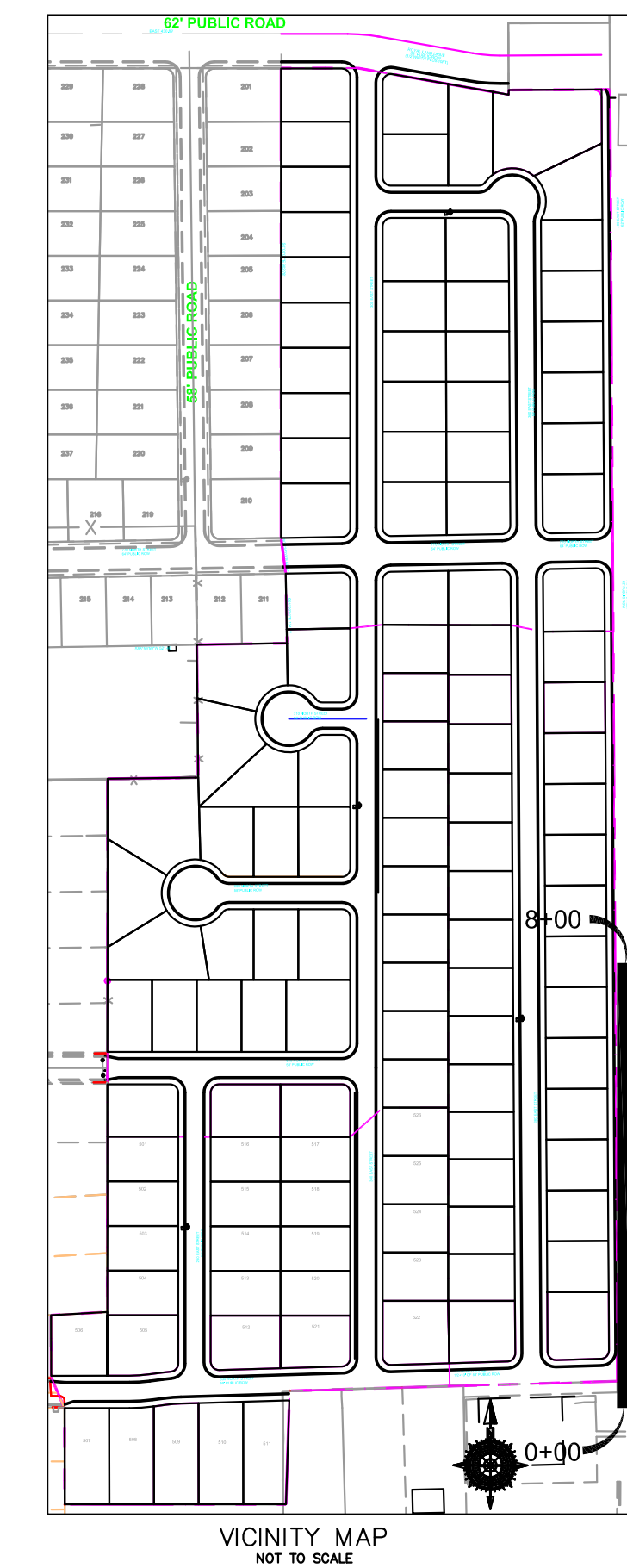
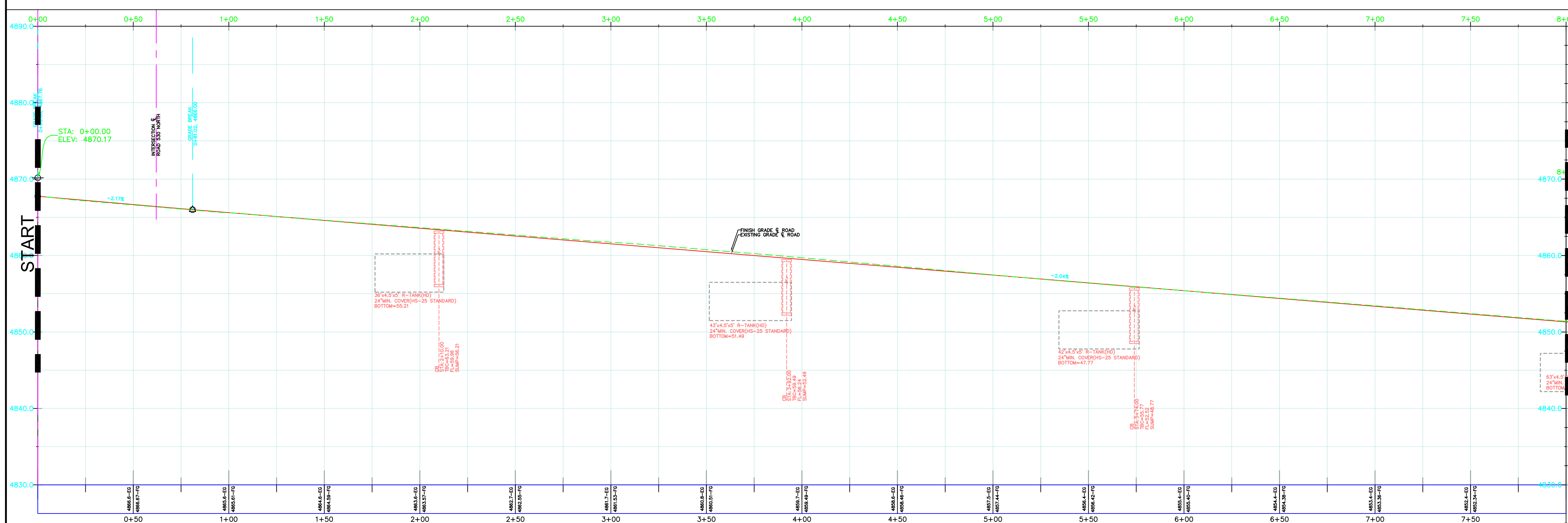
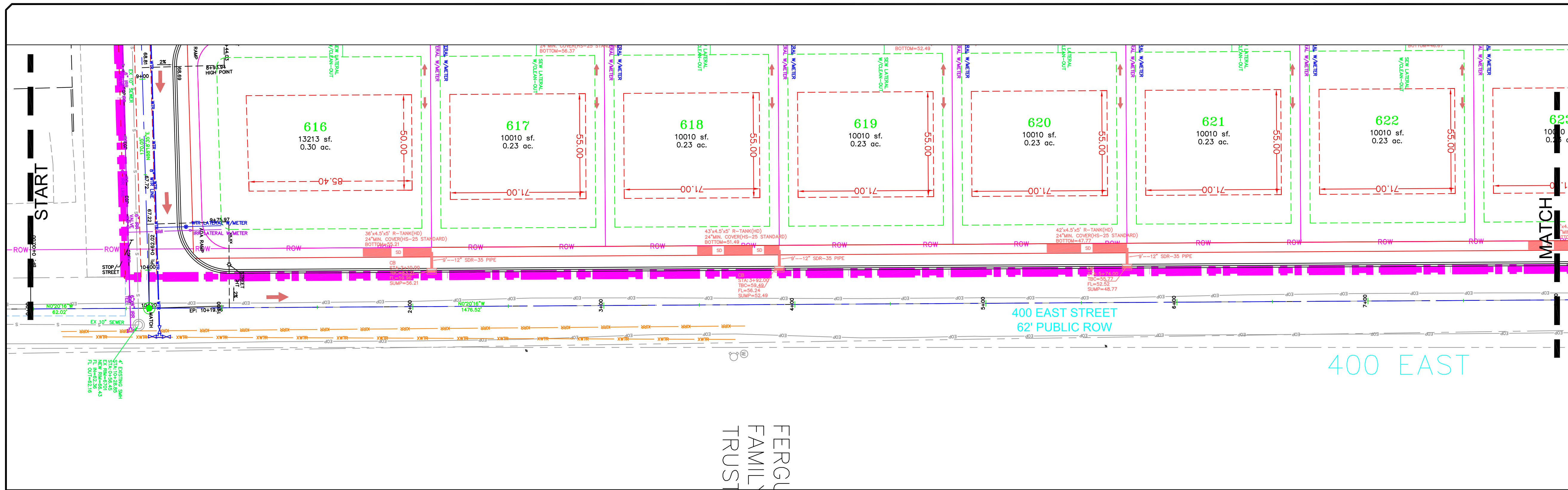
BELLA VISTA SUBDIVISION
 PLAN AND PROFILE
 680 NORTH
 710 NORTH

SANTAQUIN CITY



SHEET NO. PP12

1-17-2025



LEGEND

	EXISTING SEWER LINE		PROPOSED SEWER LINE
	EXISTING STORM LINE		PROPOSED STORM LINE
	EXISTING WATER LINE		PROPOSED WATER LINE
	EXISTING IRRIGATION LINE		PROPOSED IRRIGATION LINE
	EXISTING DRAINAGE AREA		PROPOSED DRAINAGE AREA
	10' FINISH CONTOUR		5' FINISH CONTOUR
	PROPOSED TRAIL		PROPOSED OPEN SPACE
	PROPOSED CURB & GUTTER		DRAINAGE DIRECTION

NOTE:
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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-6-21
SURVEY BY:	OPW
DRAWN BY:	OPW
DESIGNED BY:	OPW
CHECKED BY:	OPW
SCALE:	1"=30'

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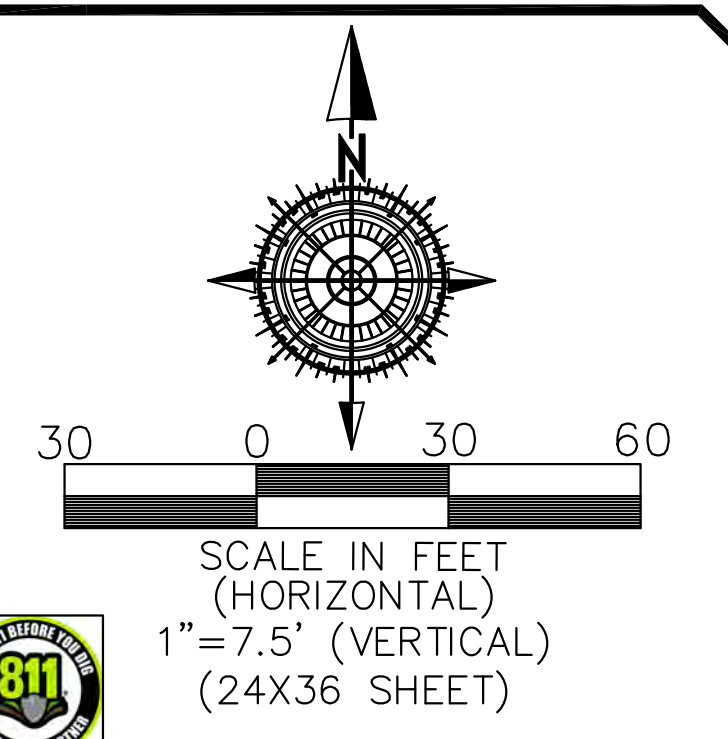
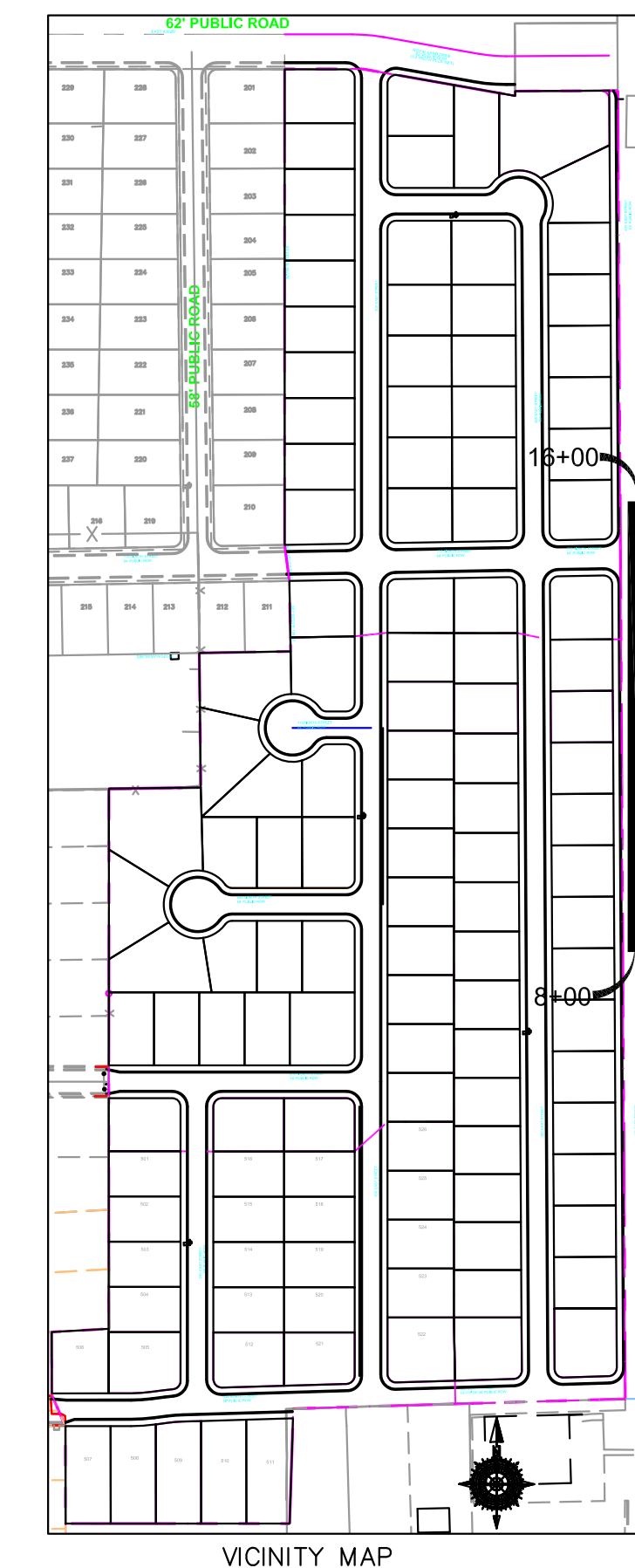
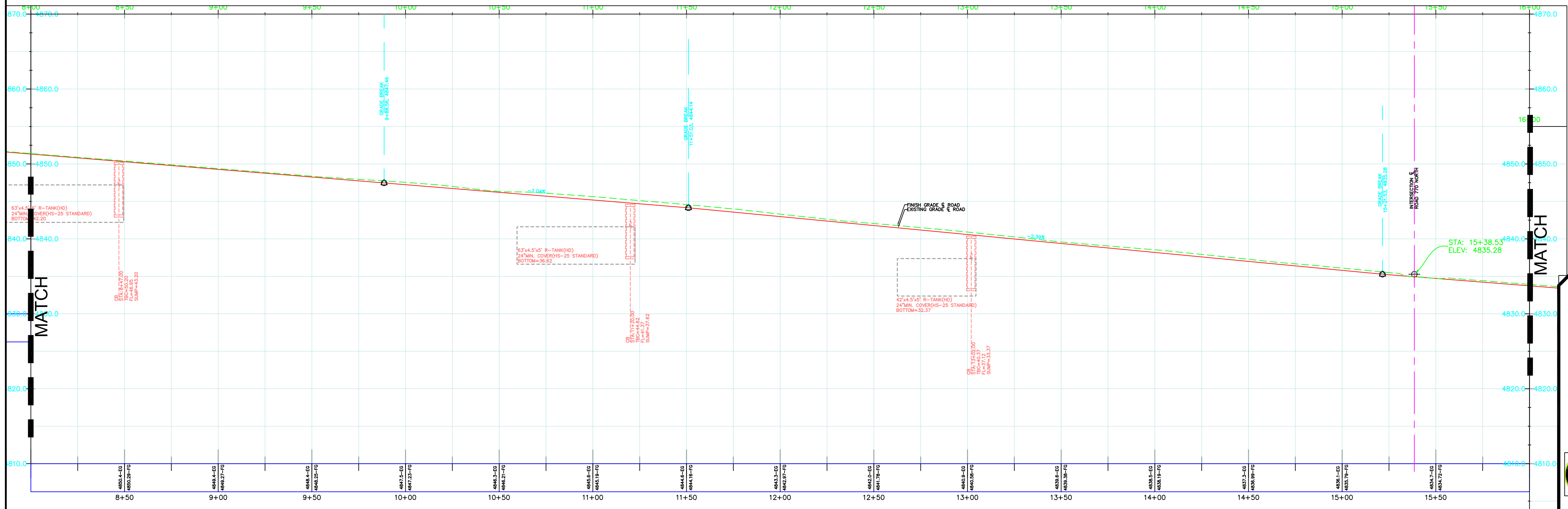
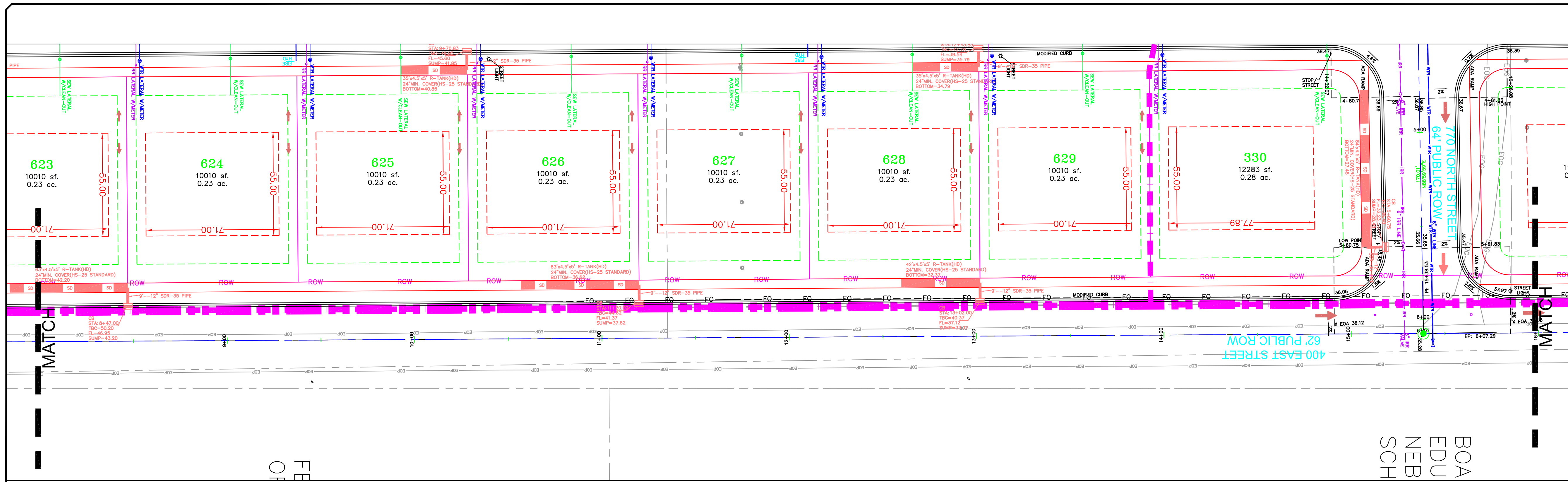
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BELLA VISTA SUBDIVISION
 PLAN AND PROFILE
 400 EAST (STA: 0+00 to 8+00)
 1-17-2025

SANTAQUIN CITY



SHEET NO. PP13



LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SWELL
DRAINAGE SWELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
FIRE HYDRANT	EXISTING CONTOURS (2 FT)
IRRIGATION APPARATUS	10' FINISH CONTOUR
DRAINAGE AREA (CHANNEL REPORT)	5' FINISH CONTOUR
	2' FINISH CONTOUR
	PROPOSED TRAIL
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

NOTE:
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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

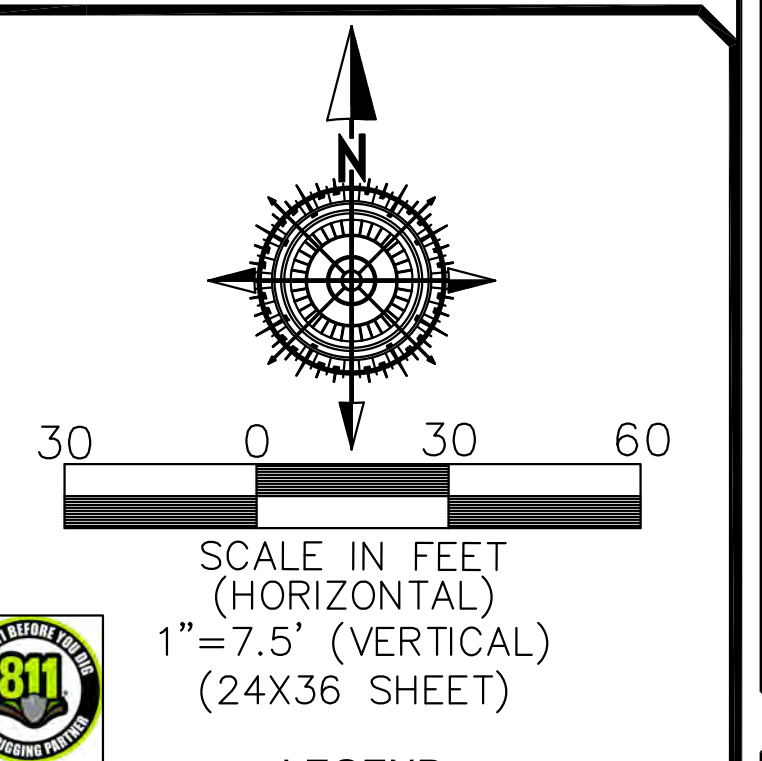
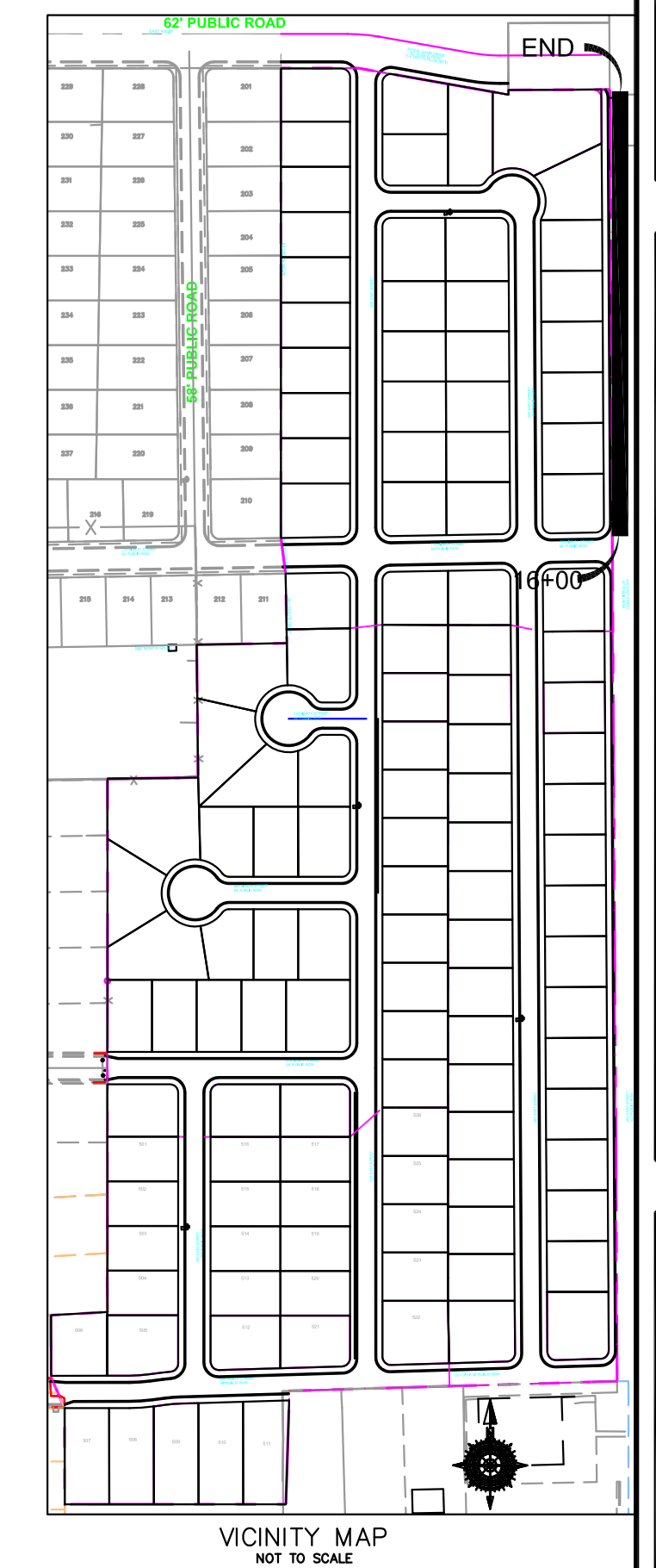
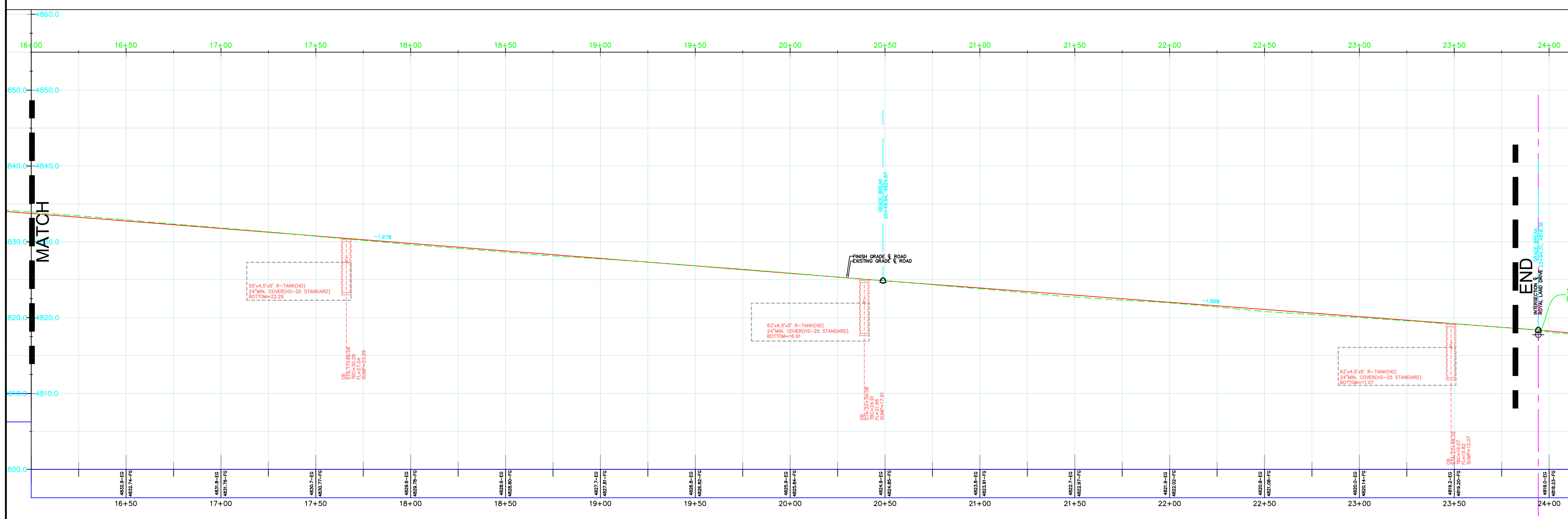
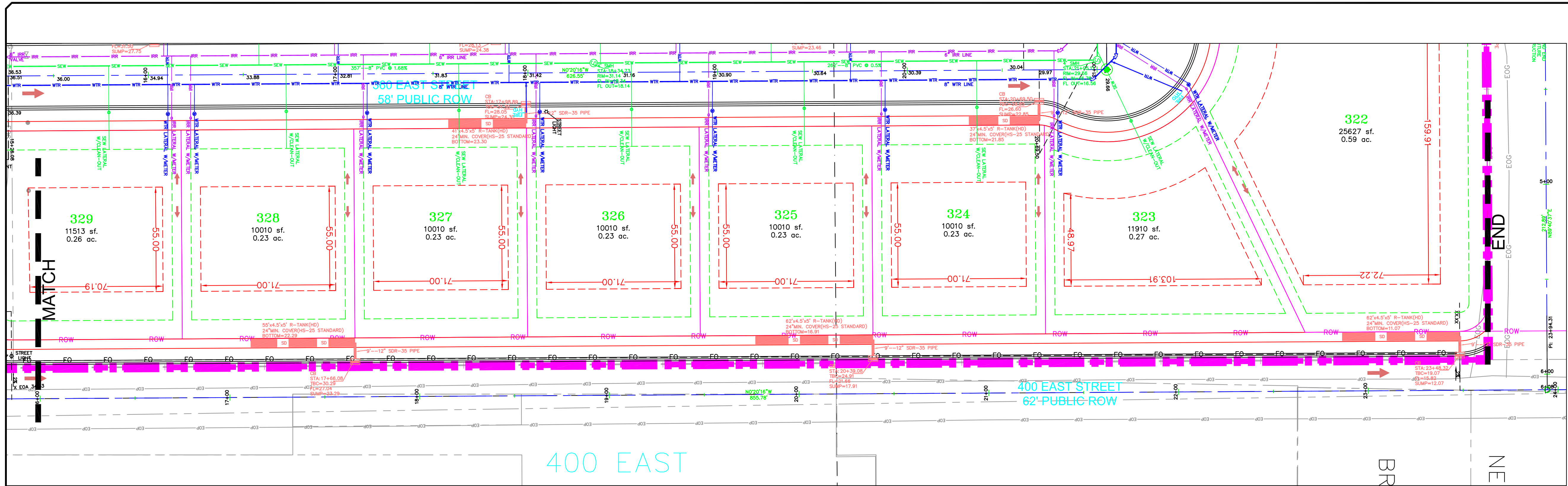
GATEWAY CONSULTING, Inc
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BELLA VISTA SUBDIVISION
 PLAN AND PROFILE
 400 EAST (STA: 8+00 to 16+00)
 11-17-2025

SANTAQUIN CITY



SHEET NO. PP14



LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SWELL
DRAINAGE SWELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
FIRE HYDRANT	EXISTING CONTOURS (2 FT)
IRRIGATION APPARATUS	10' FINISH CONTOUR
DRAINAGE AREA (GRADE REPORT)	2' FINISH CONTOUR
	PHASE LINE
	CURB & GUTTER
	PROPOSED TRAIL
	SETRACK
	30% SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
 SURVEY BY: GPW
 DRAWN BY: GPW
 DESIGNED BY: GPW
 CHECKED BY: GPW
 SCALE: 1"=30'

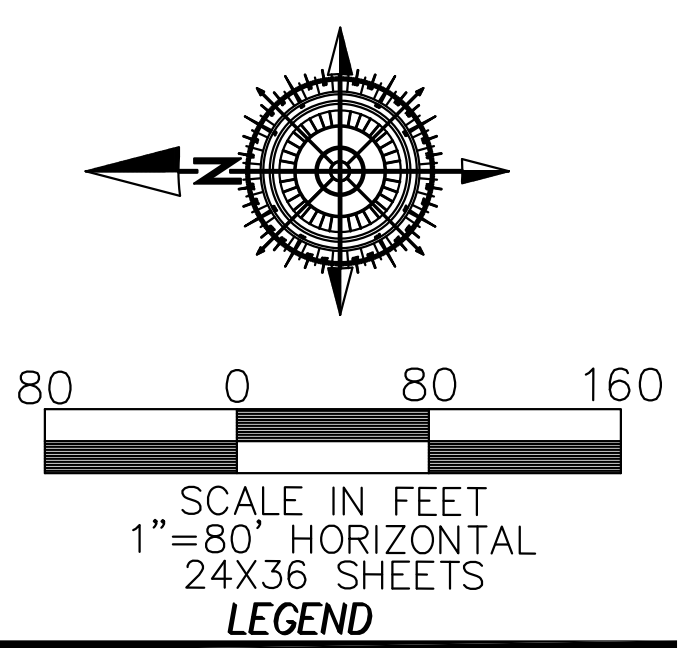
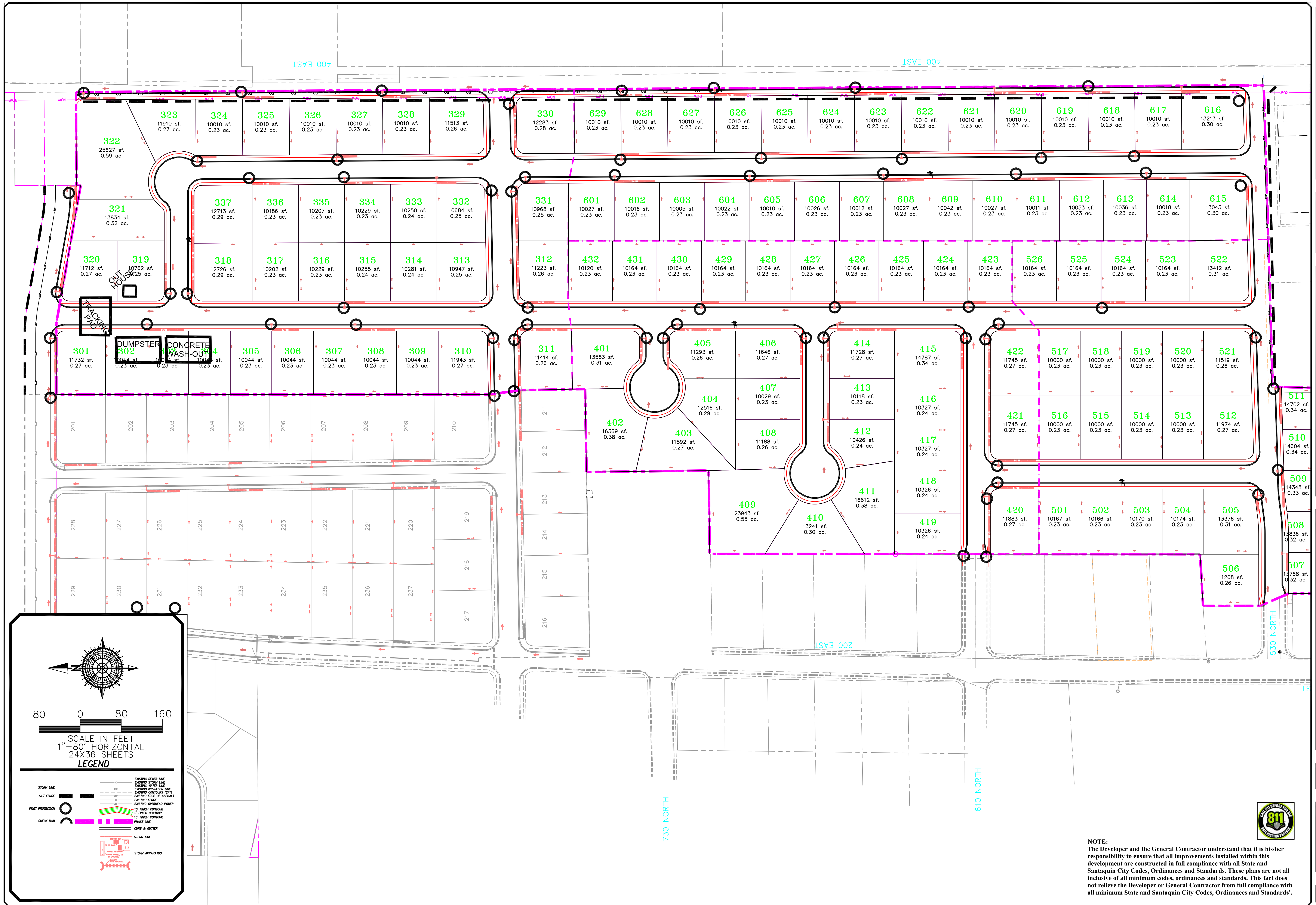
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BELLA VISTA SUBDIVISION
 PLAN AND PROFILE
 400 EAST (STA: 16+00 to END)
 1-17-2025

SANTAQUIN CITY



SHEET NO. PP15



LEGEND

STORM LINE	EXISTING SEWER LINE
SELF FENCE	EXISTING STORM LINE
INLET PROTECTION	EXISTING WATER LINE
CURB & GUTTER	EXISTING BONGALTON LINE
STORM APPARATUS	EXISTING CONTOUR (CITY)
	EXISTING FINISH
	EXISTING OVERHEAD POWER
	1" FINISH CONTOUR
	2" FINISH CONTOUR
	3" FINISH CONTOUR
	PHASE LINE
	STORM LINE

NO.	DESCRIPTION	DATE	APPD.

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=80'

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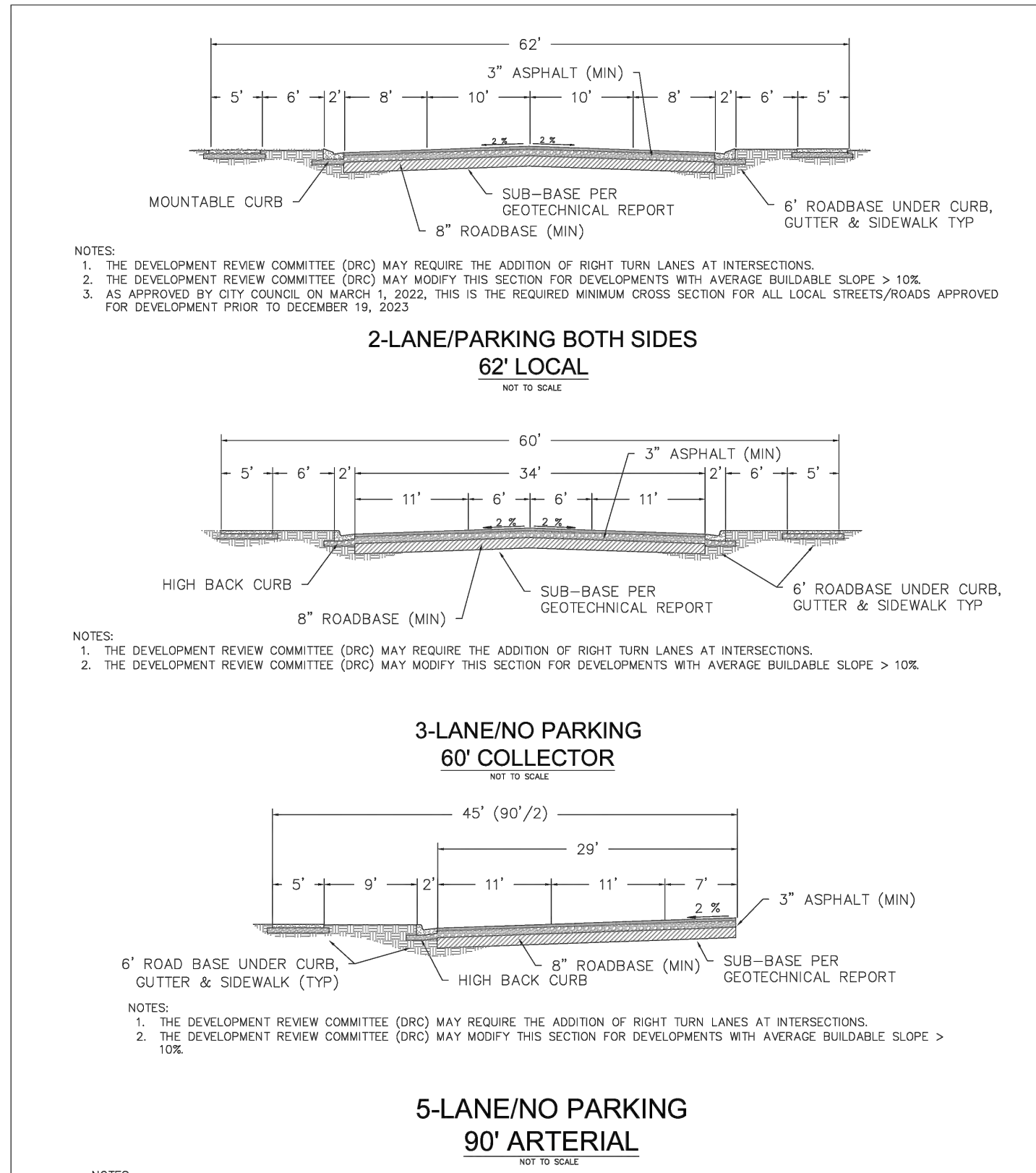
BELLA VISTA SUBDIVISION
 STORM WATER POLLUTION PREVENTION PLAN
 PRINT DATE: 1-17-2025

SANTAQUIN CITY

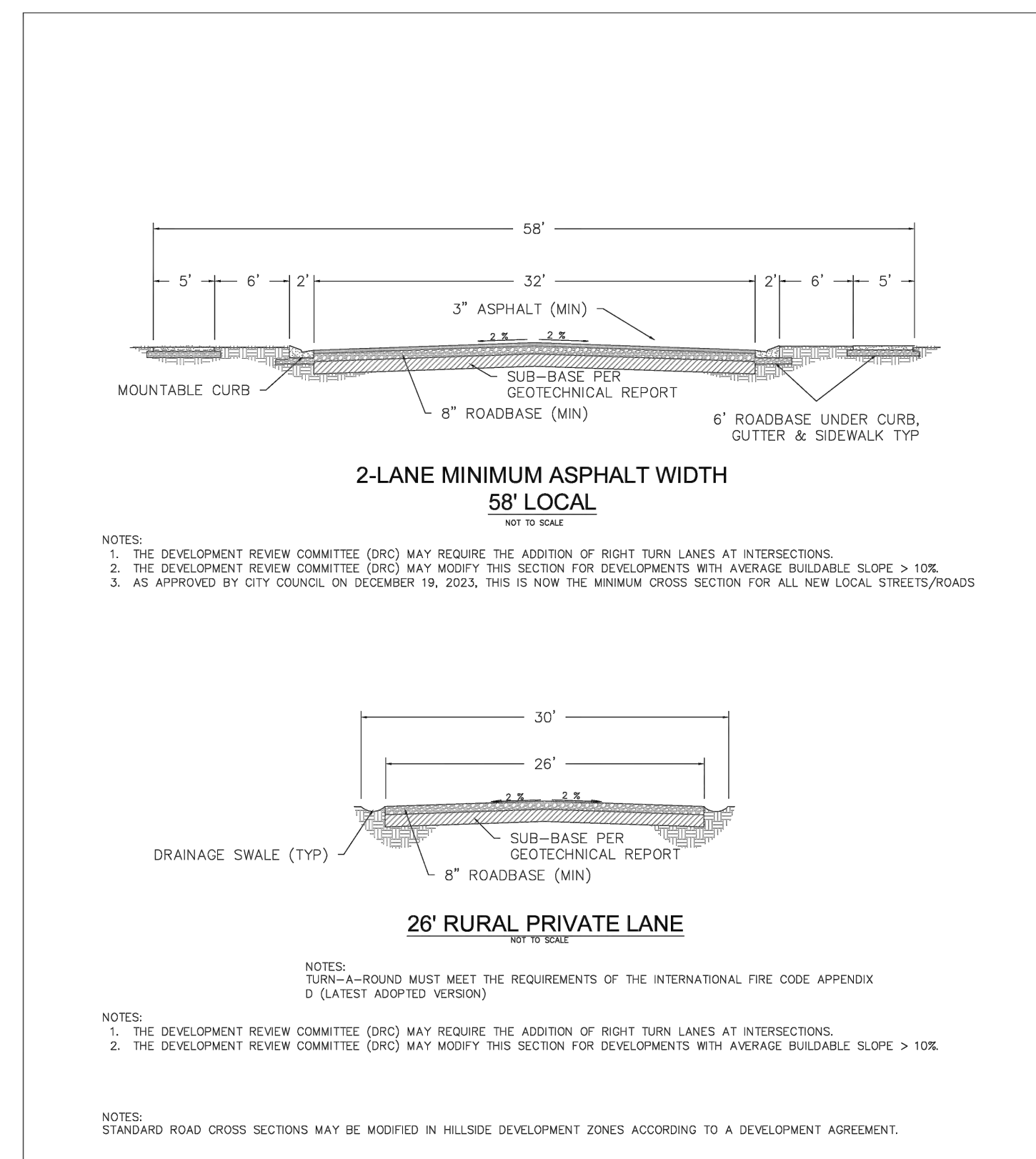


SHEET NO. SWPPP

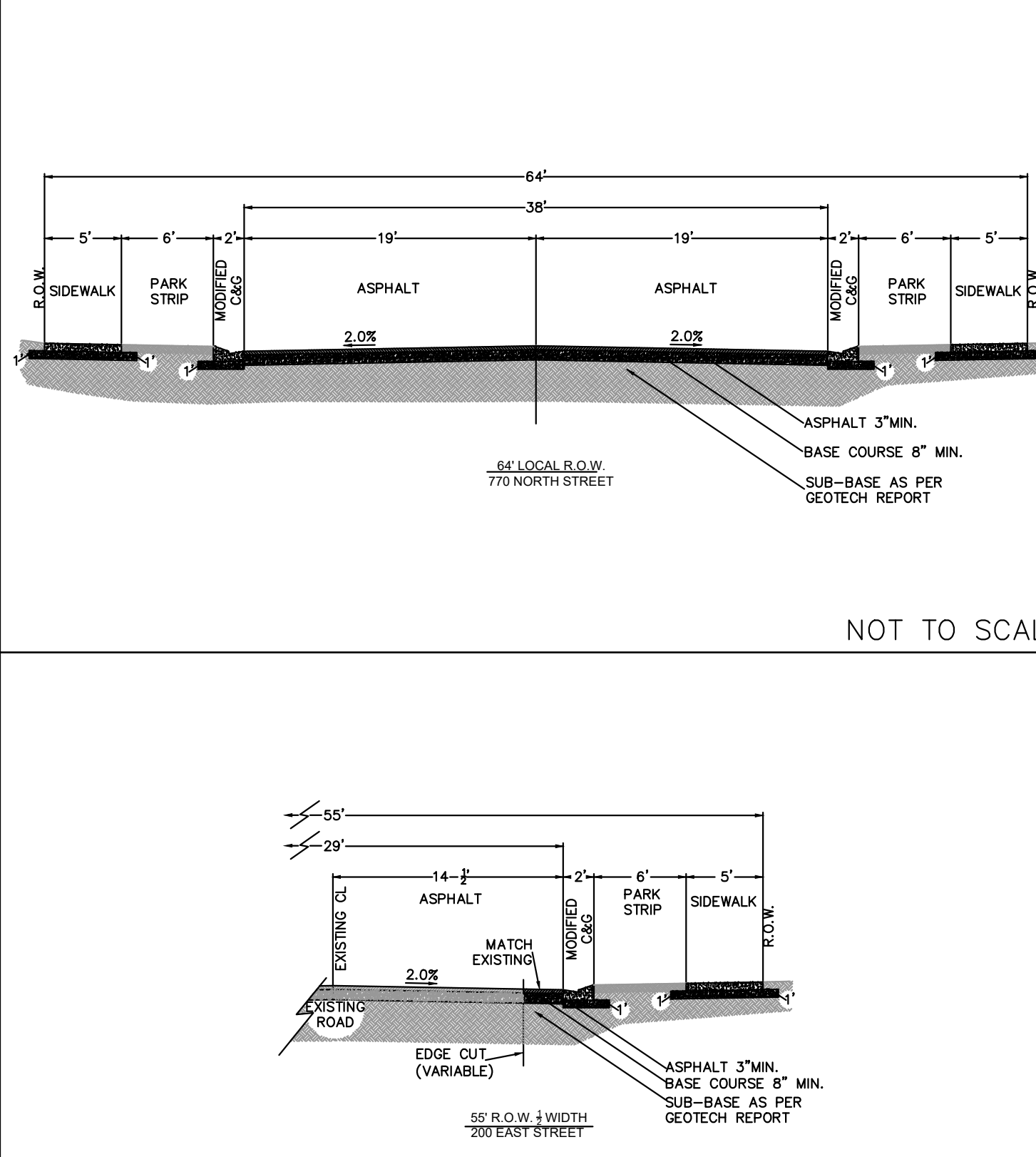
NOTE:
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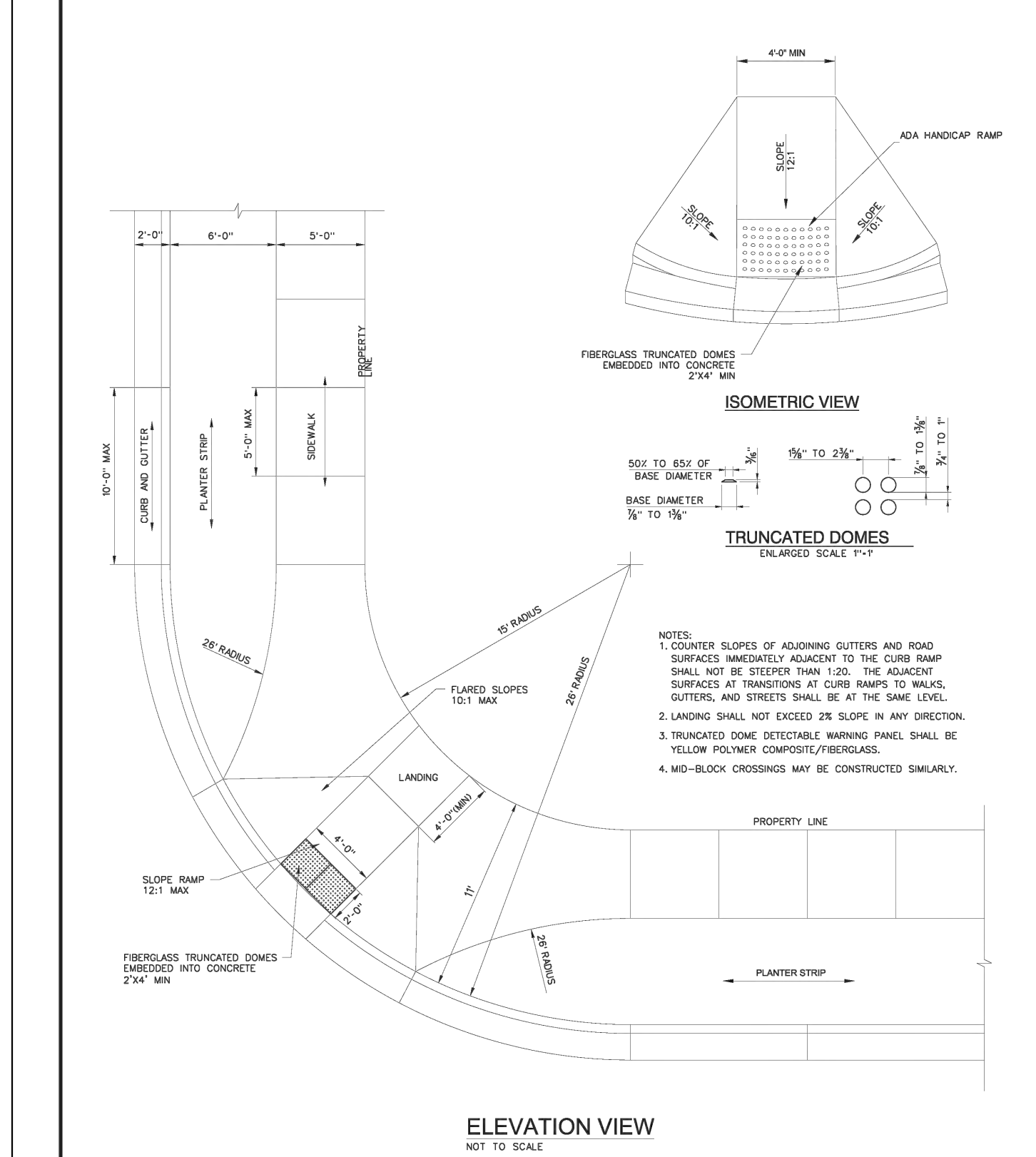
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DATE: 10/1/2023	REVISION:	DATE: 10/1/2023	REVISION:	DATE: 10/1/2023
SANTAQUIN CITY ENGINEER'S OFFICE		SANTAQUIN CITY ENGINEER'S OFFICE		CG2A
NOT TO SCALE		NOT TO SCALE		CG2A



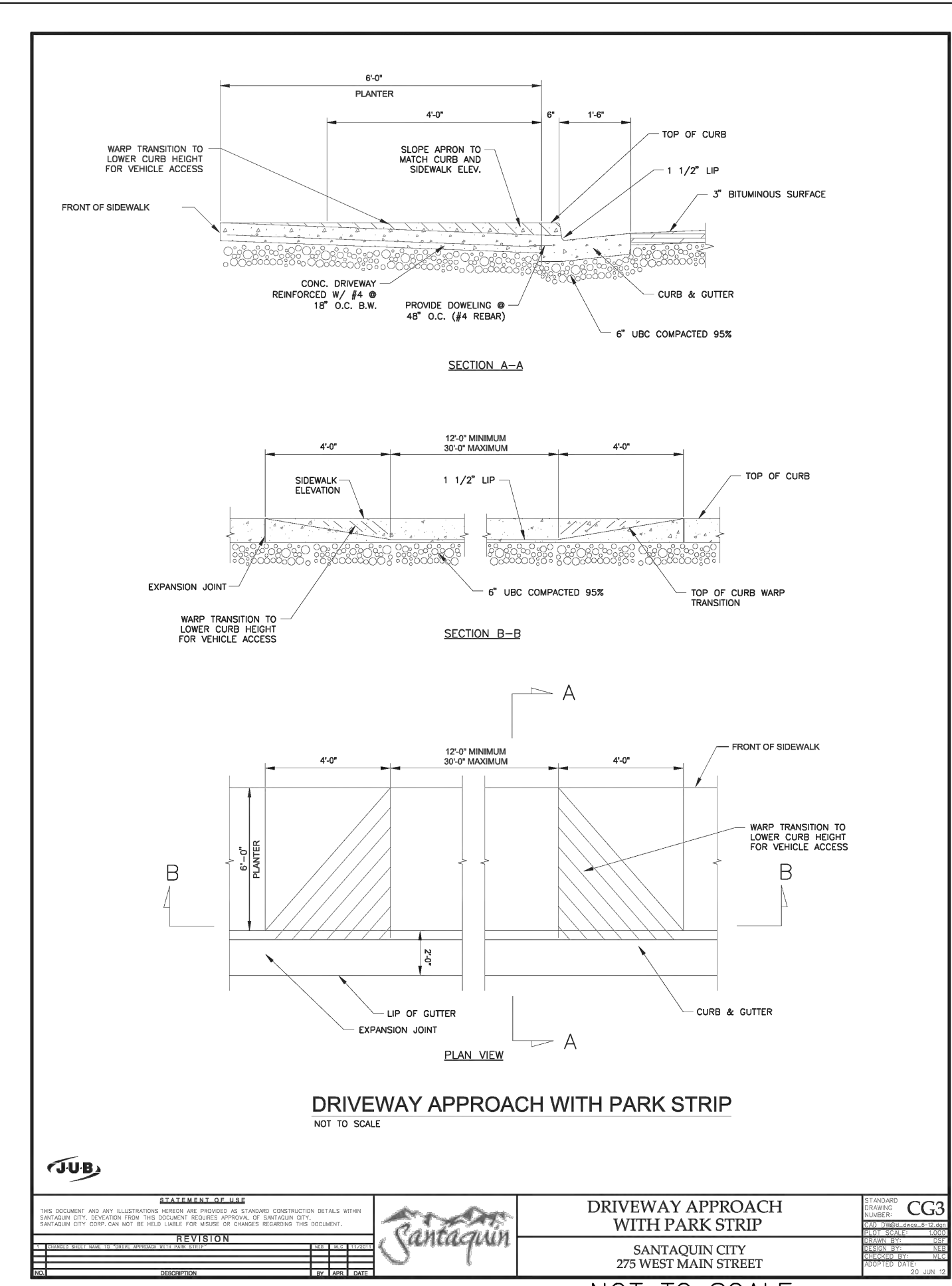
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DATE: 10/1/2023	REVISION:	DATE: 10/1/2023	REVISION:	DATE: 10/1/2023
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NOT TO SCALE		NOT TO SCALE		CG2A



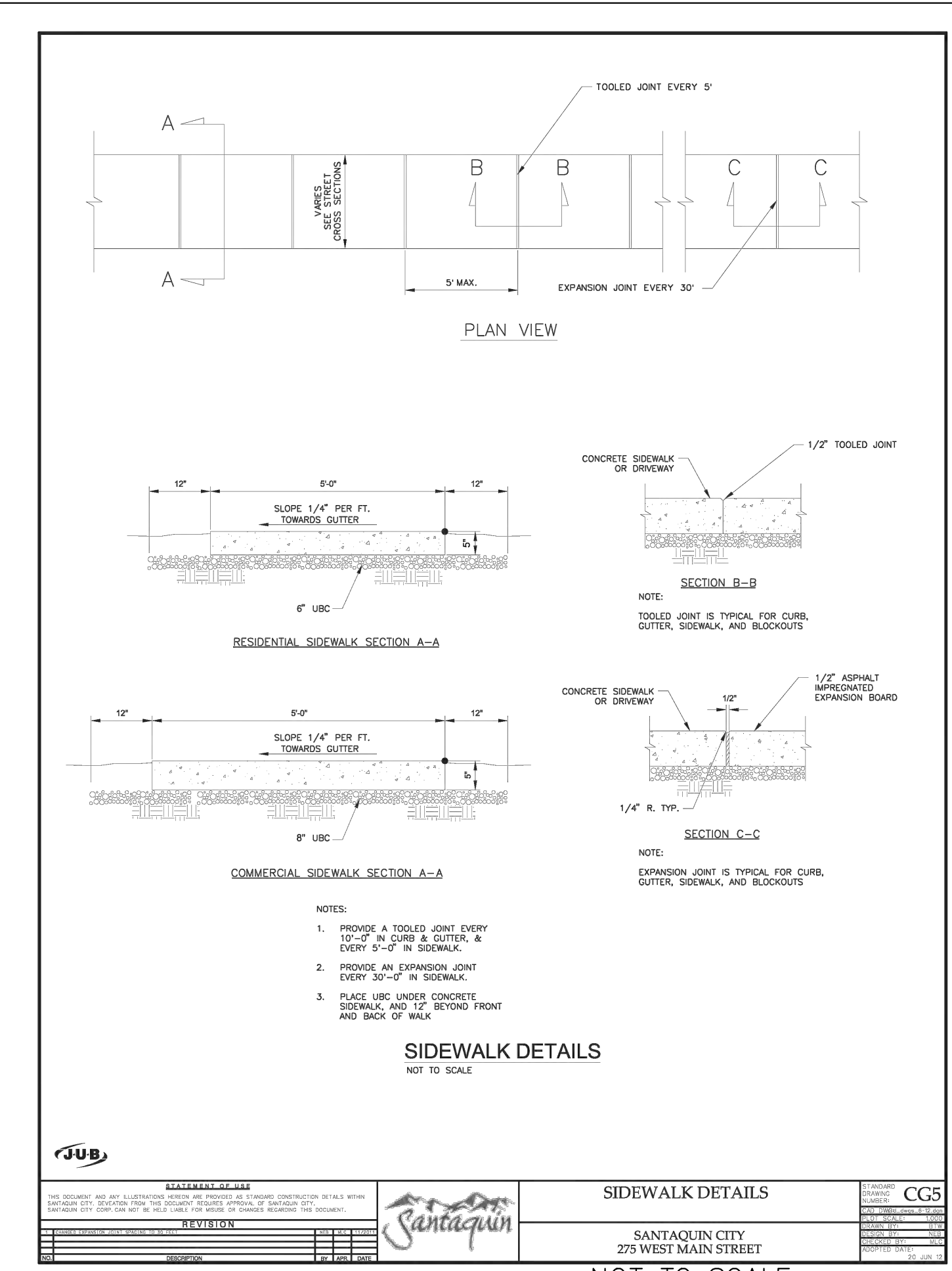
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DATE: 10/1/2023	REVISION:	DATE: 10/1/2023	REVISION:	DATE: 10/1/2023
SANTAQUIN CITY ENGINEER'S OFFICE		SANTAQUIN CITY ENGINEER'S OFFICE		CG2A
NOT TO SCALE		NOT TO SCALE		CG2A



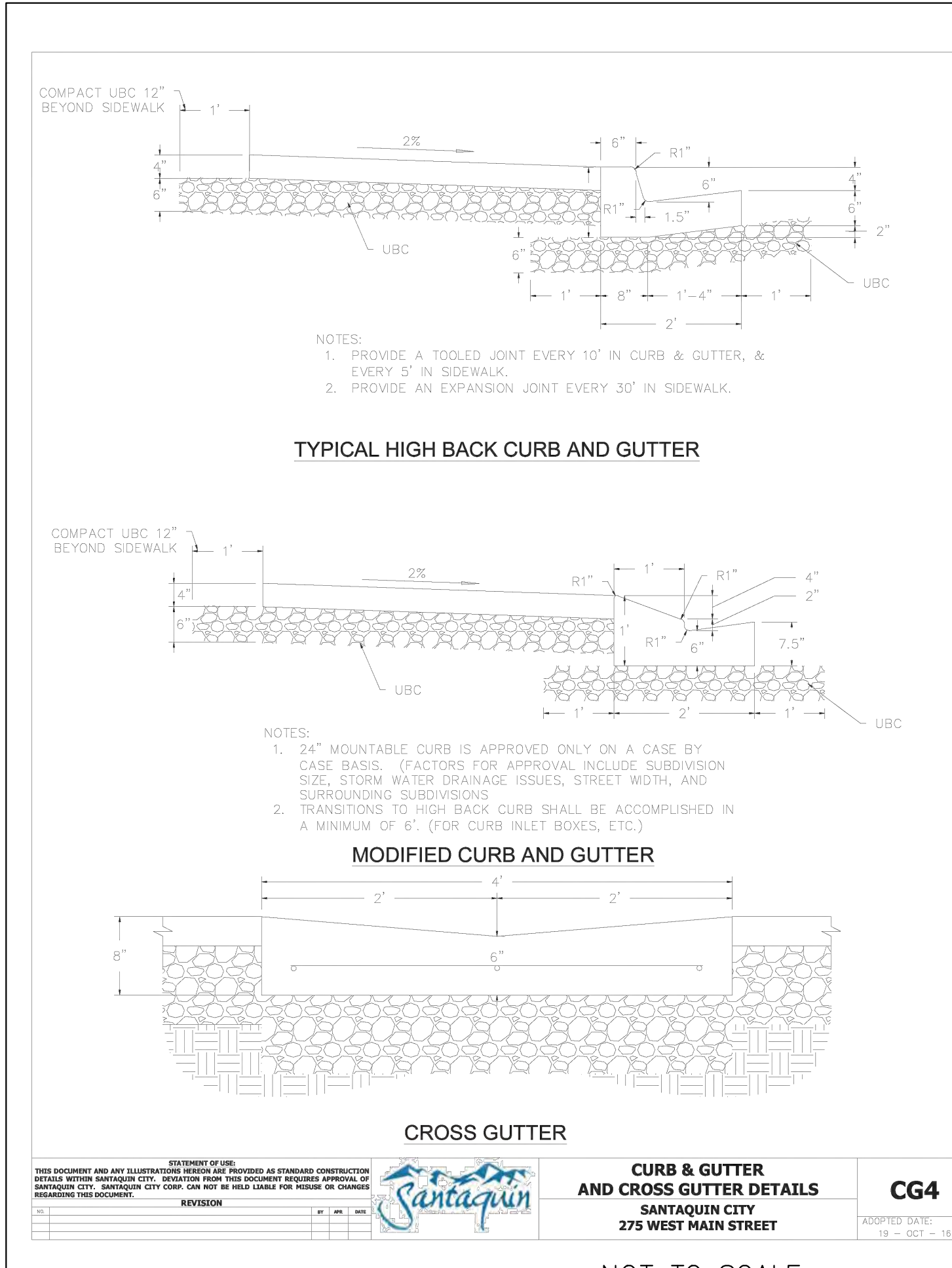
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DATE: 10/1/2023	REVISION:	DATE: 10/1/2023	REVISION:	DATE: 10/1/2023
SANTAQUIN CITY ENGINEER'S OFFICE		SANTAQUIN CITY ENGINEER'S OFFICE		CG2A
NOT TO SCALE		NOT TO SCALE		CG2A



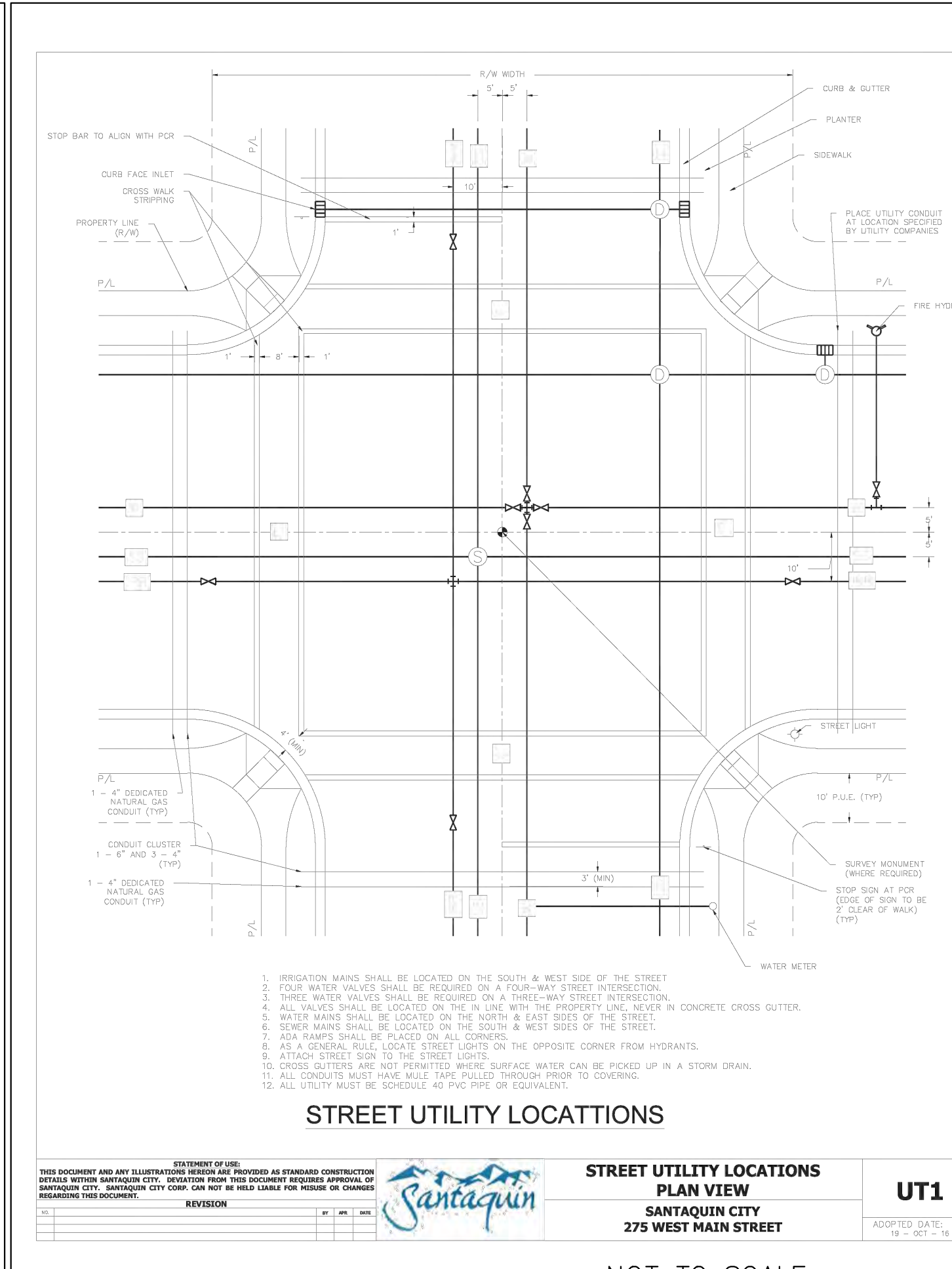
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DATE: 10/1/2023	REVISION:	DATE: 10/1/2023	REVISION:	DATE: 10/1/2023
SANTAQUIN CITY ENGINEER'S OFFICE		SANTAQUIN CITY ENGINEER'S OFFICE		CG3
NOT TO SCALE		NOT TO SCALE		CG3



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DATE: 10/1/2023	REVISION:	DATE: 10/1/2023	REVISION:	DATE: 10/1/2023
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DATE: 10/1/2023	REVISION:	DATE: 10/1/2023	REVISION:	DATE: 10/1/2023
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NOT TO SCALE		NOT TO SCALE		CG4



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DATE: 10/1/2023	REVISION:	DATE: 10/1/2023	REVISION:	DATE: 10/1/2023
SANTAQUIN CITY ENGINEER'S OFFICE		SANTAQUIN CITY ENGINEER'S OFFICE		UT1
NOT TO SCALE		NOT TO SCALE		UT1

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	N/A

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P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

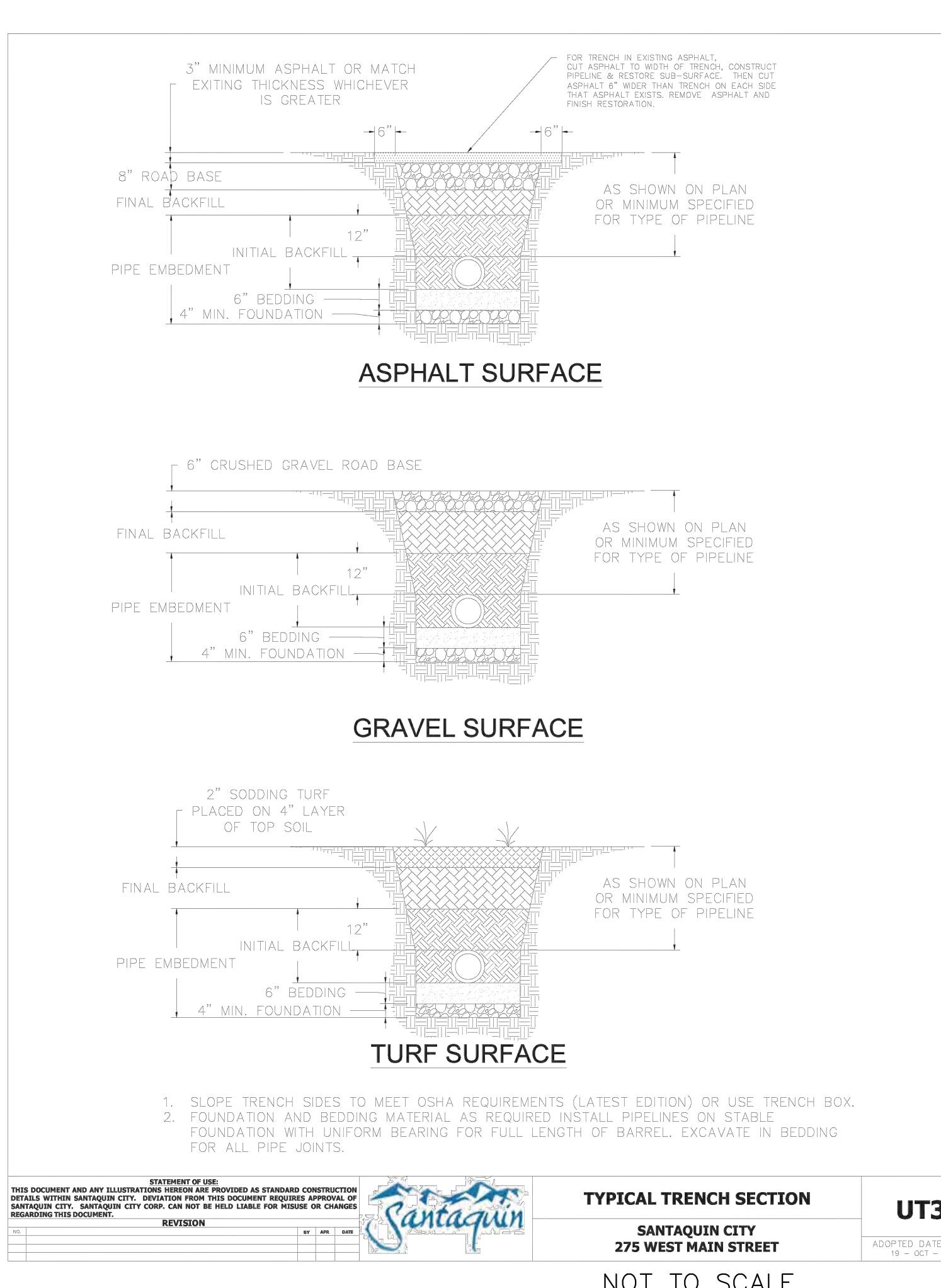
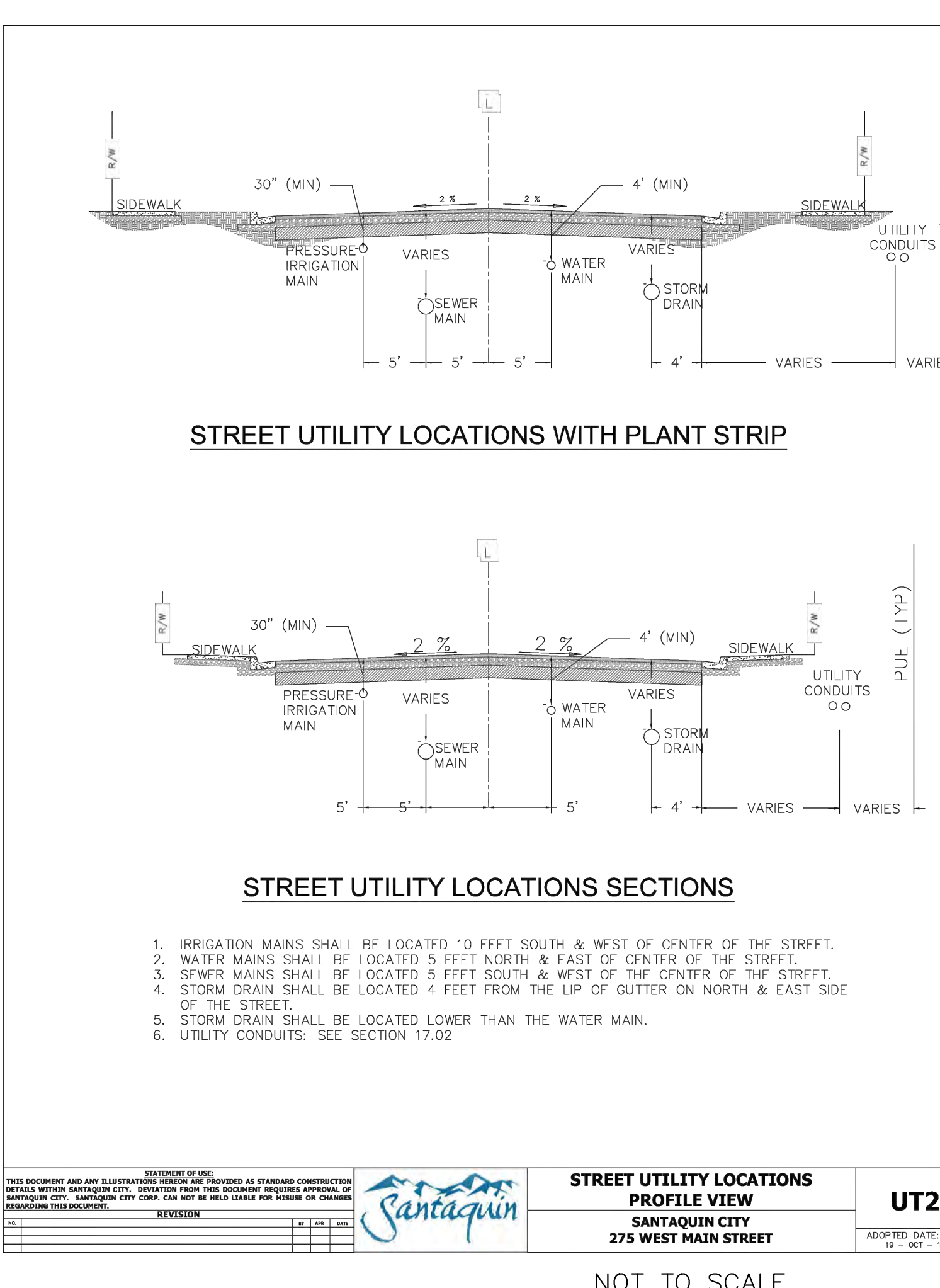
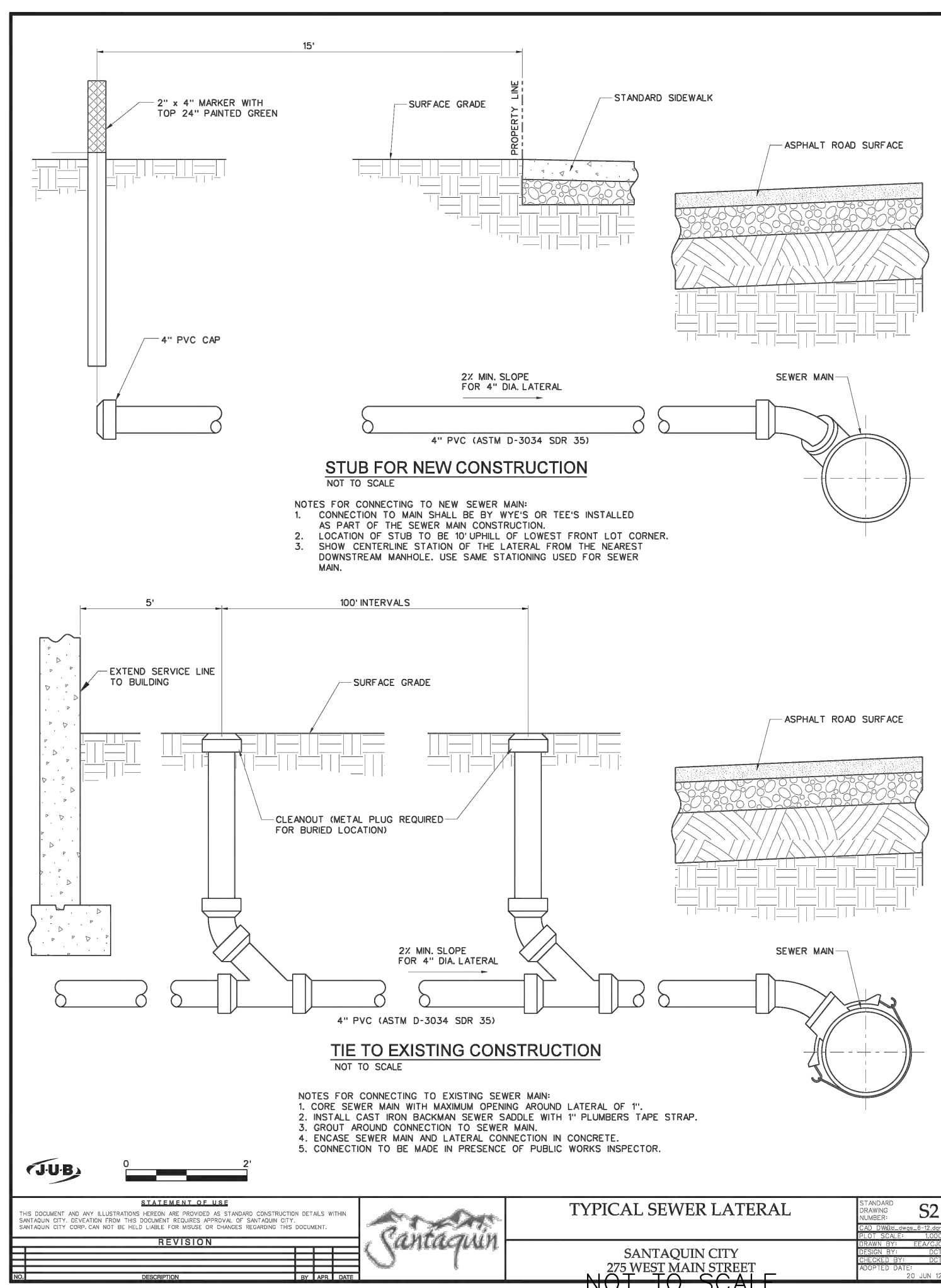
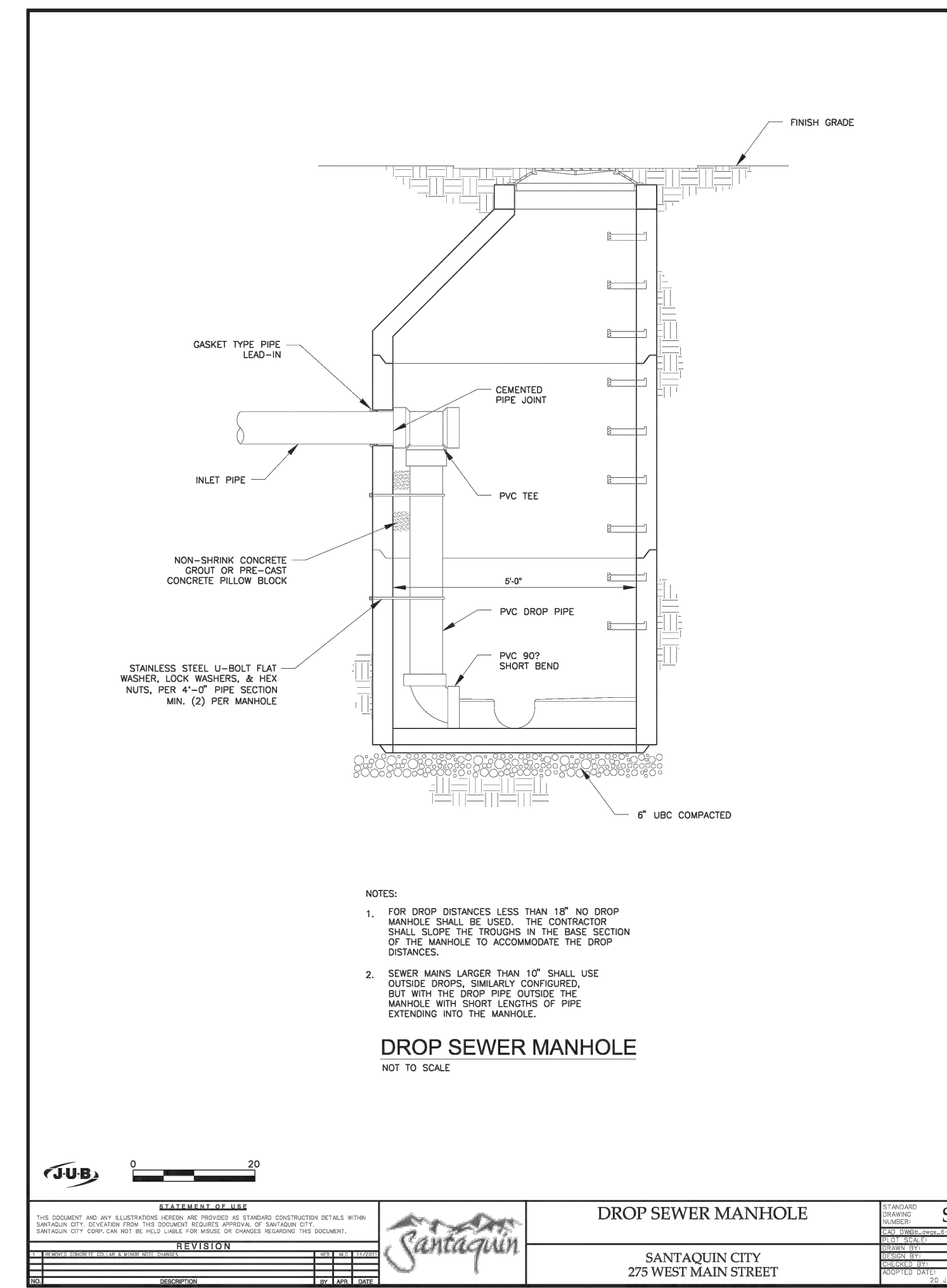
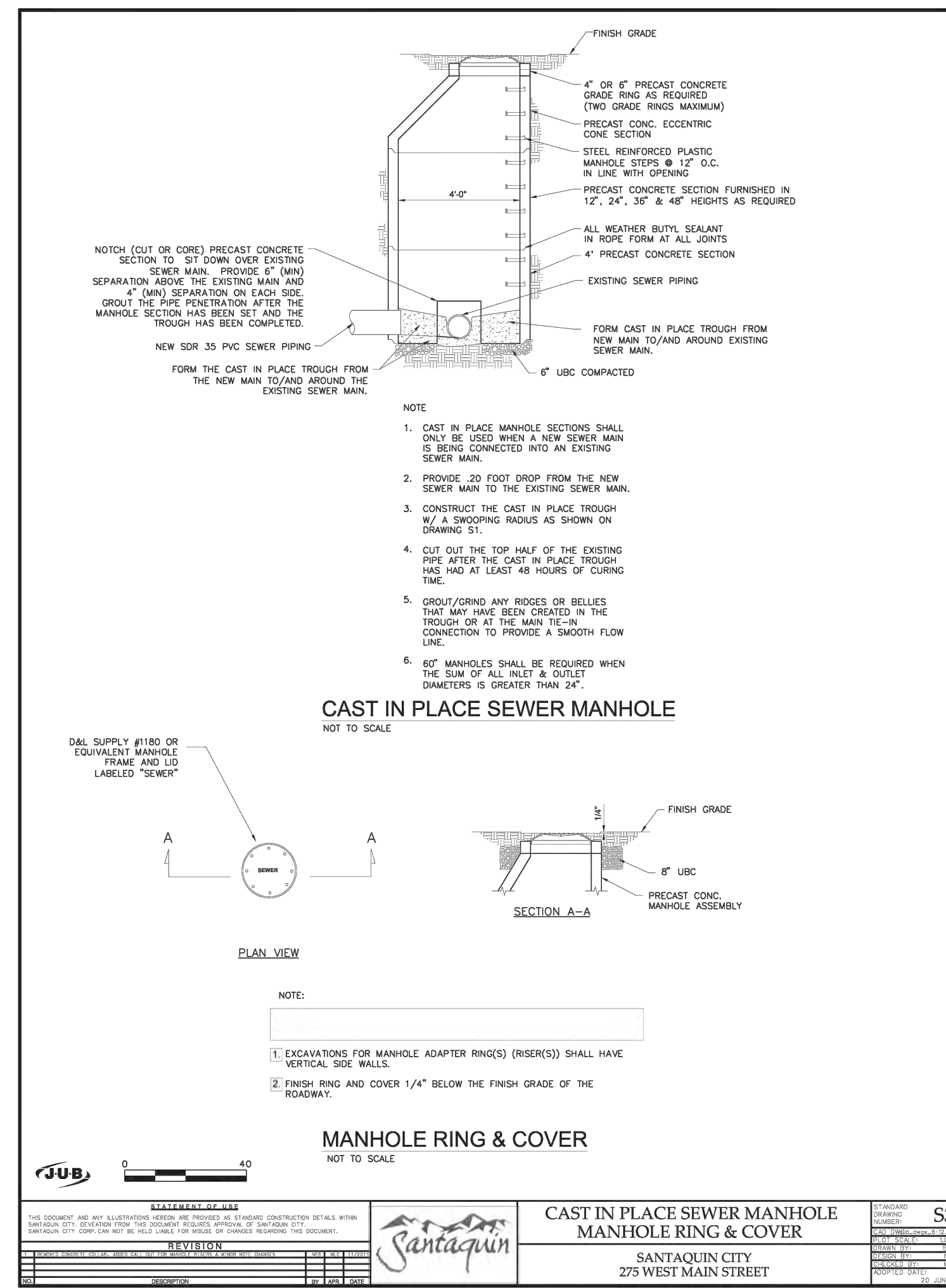
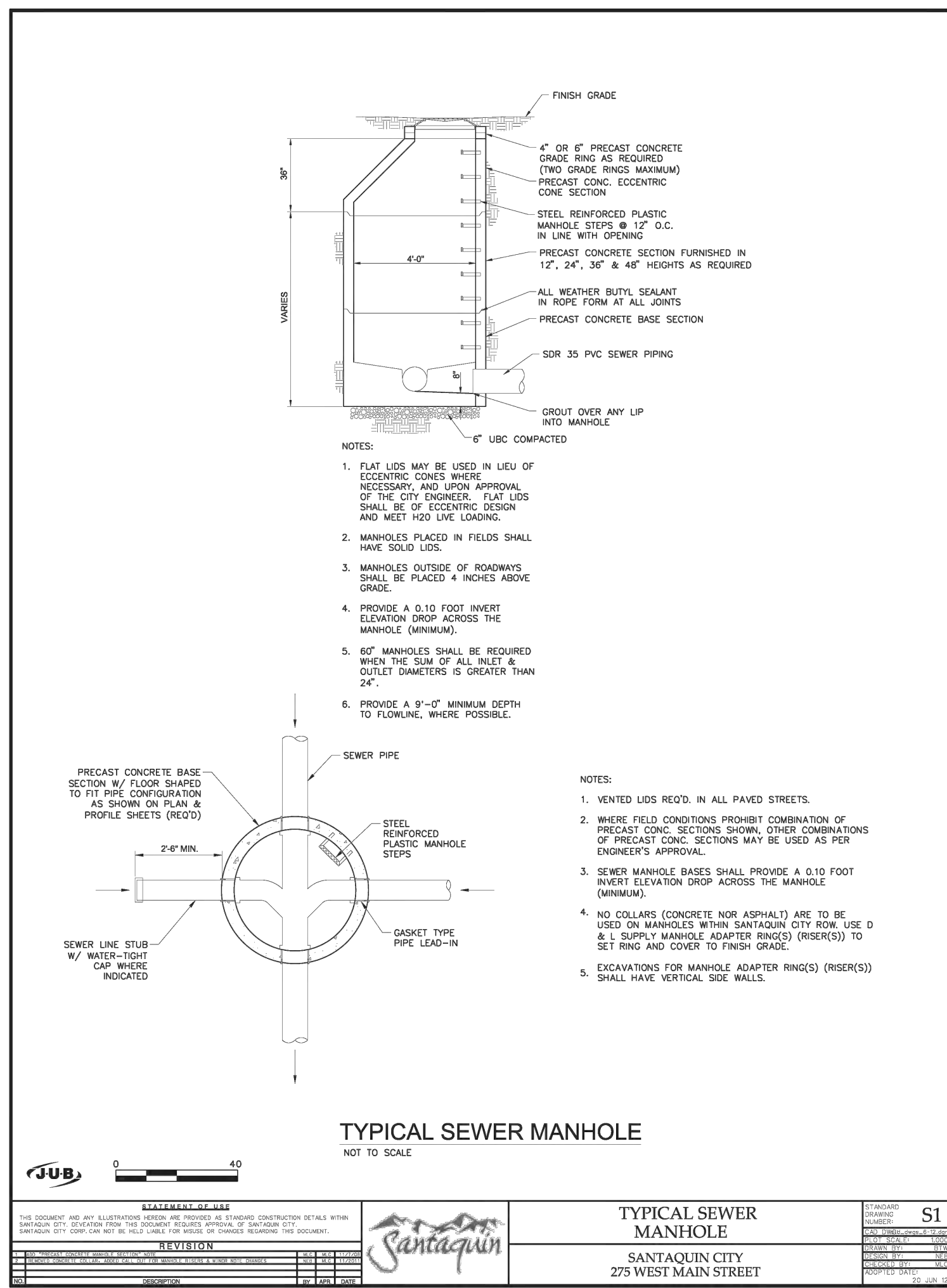
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BELLA VISTA SUBDIVISION
STREET DETAILS

PRINT DATE: 1-17-2025

SANTAQUIN CITY

REGISTERED PROFESSIONAL ENGINEER
CIVIL ENGINEERING
UTAH



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
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**BELLA VISTA
SUBDIVISION**

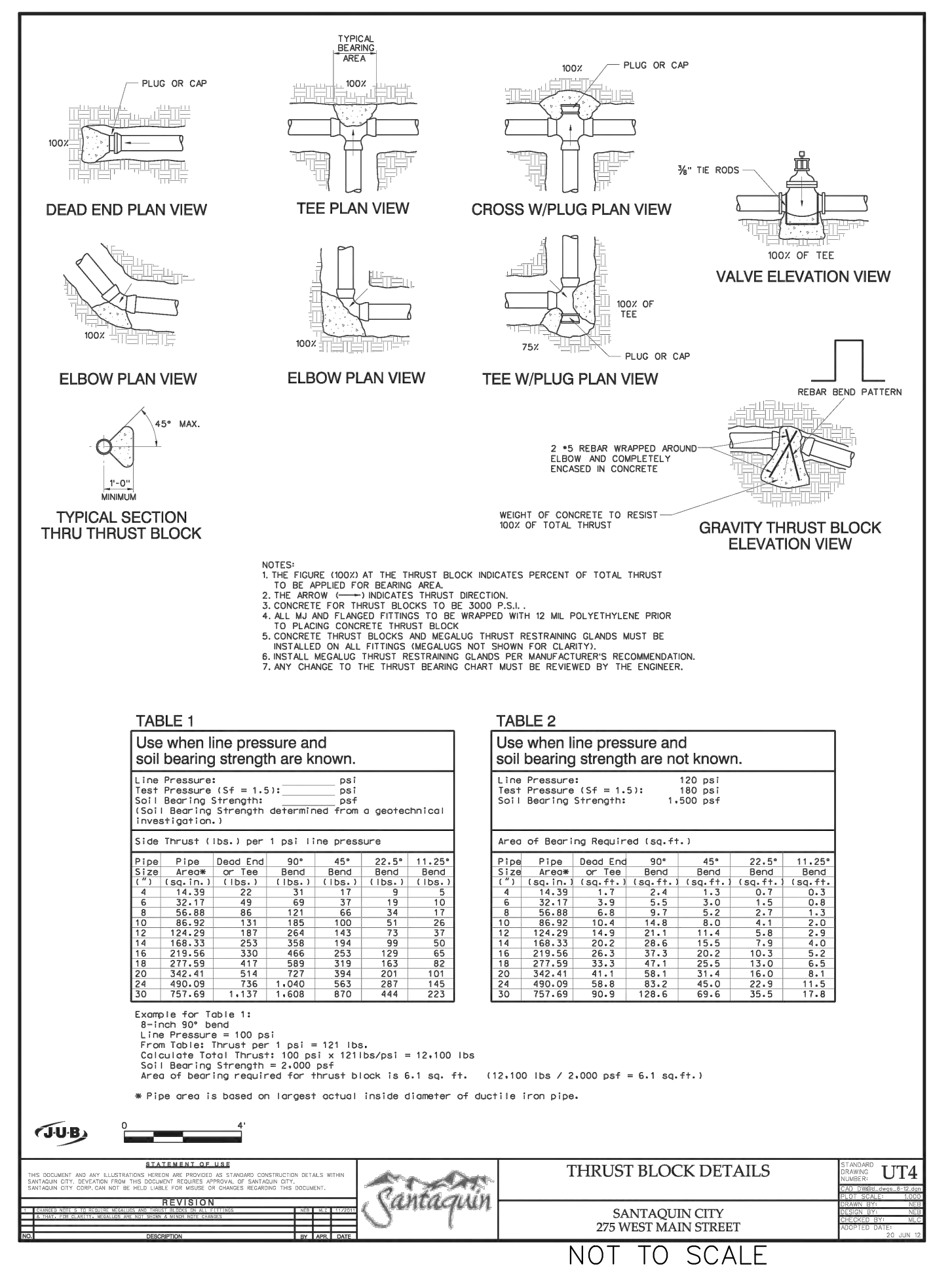
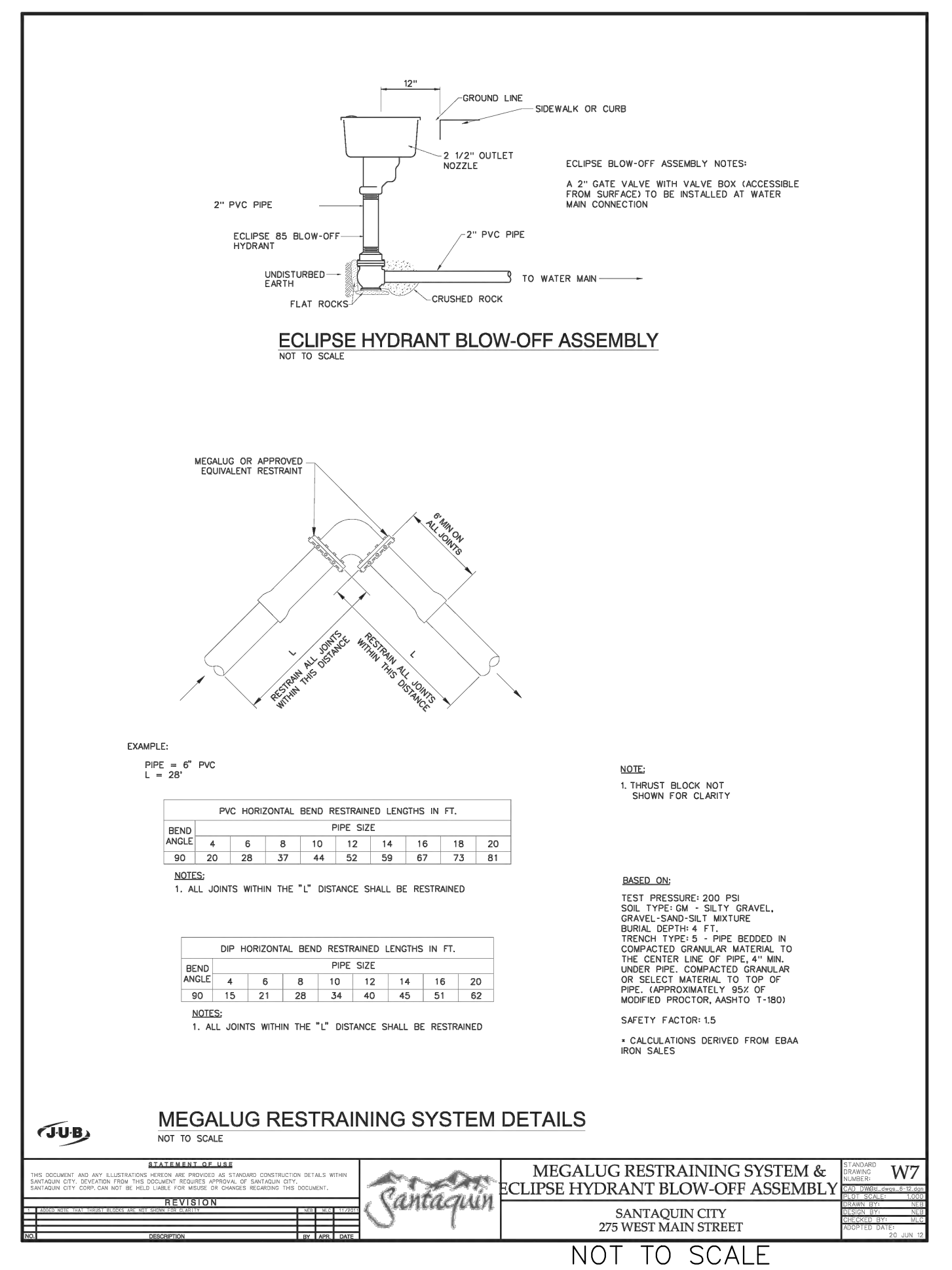
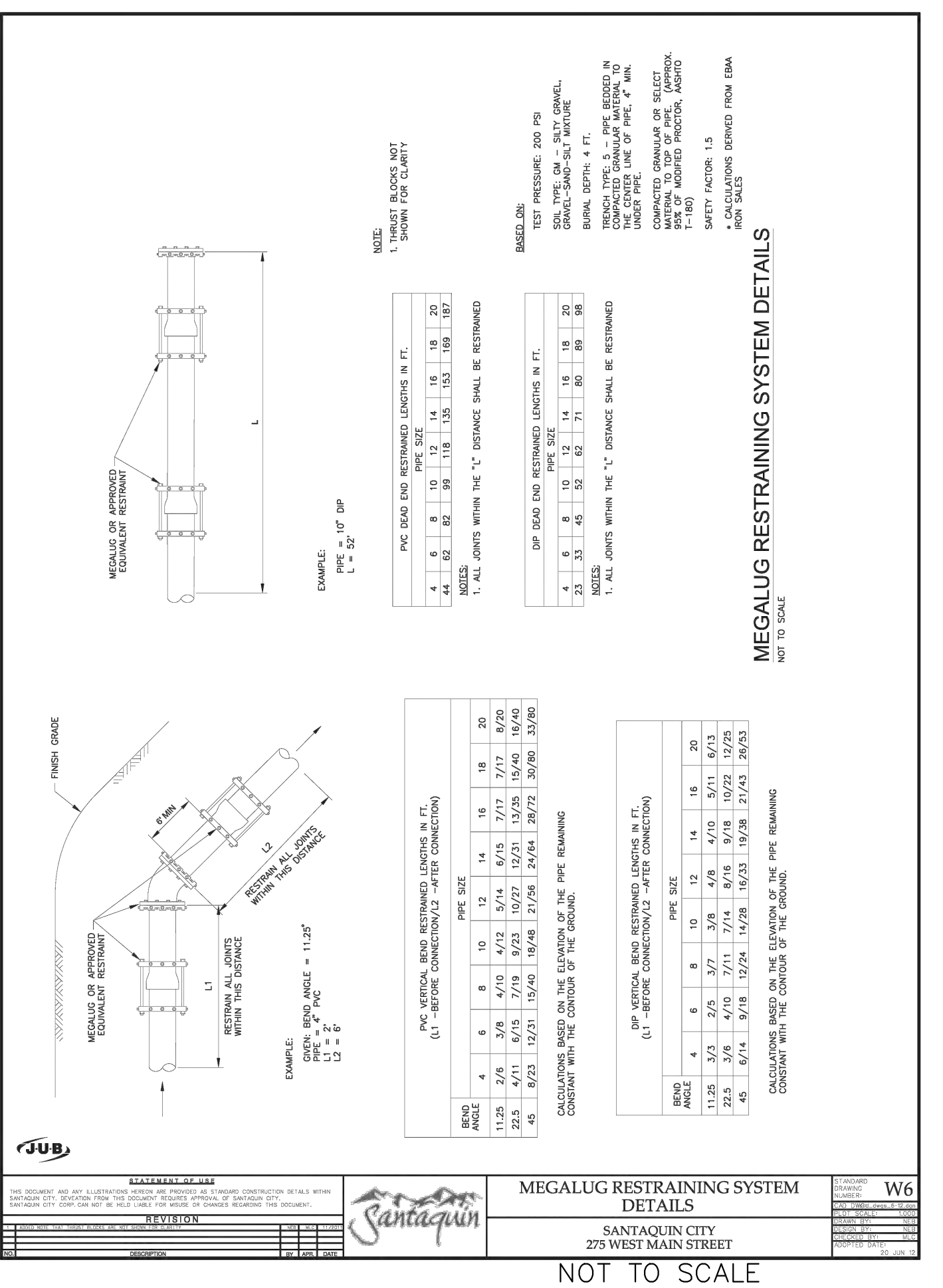
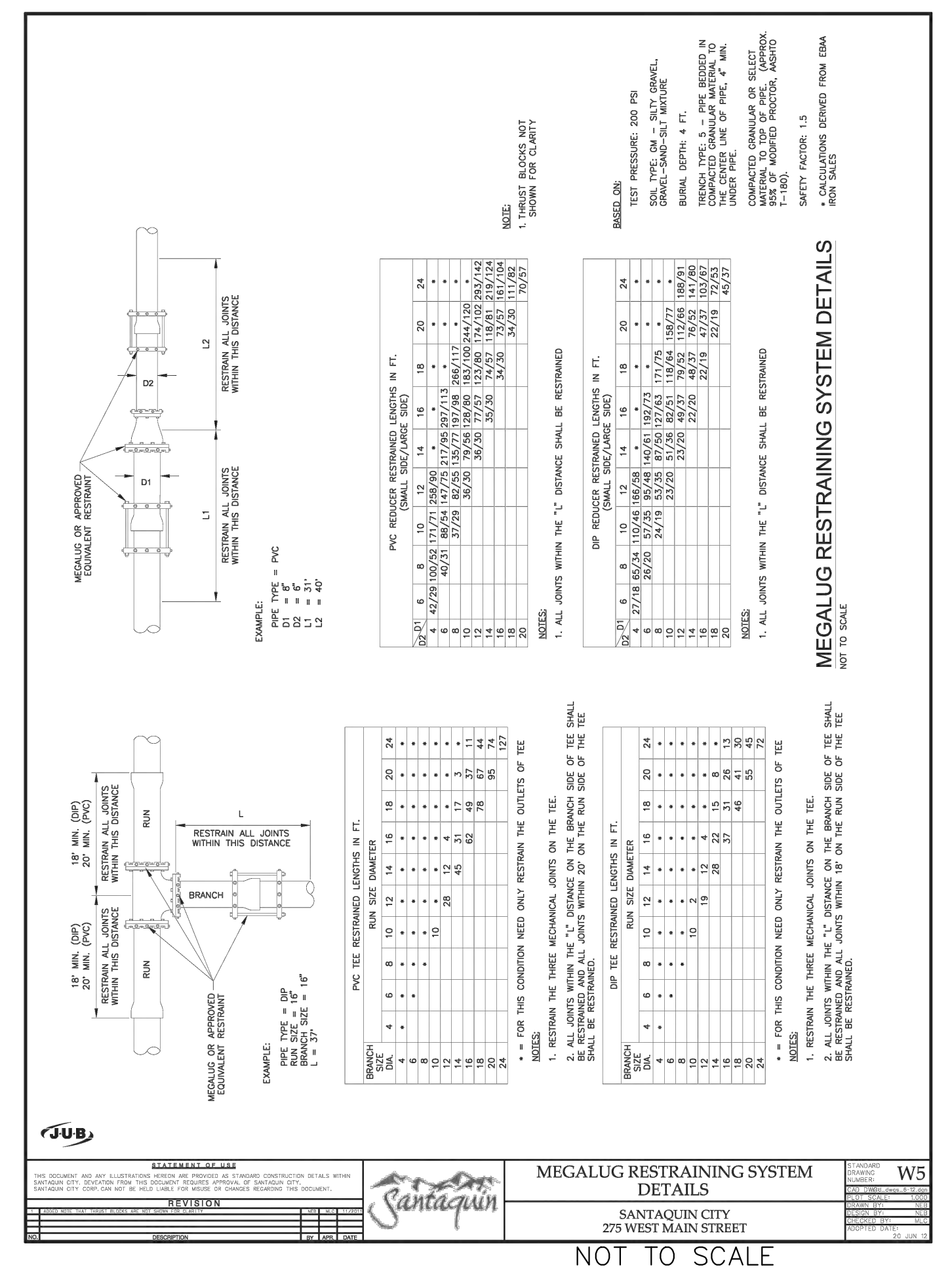
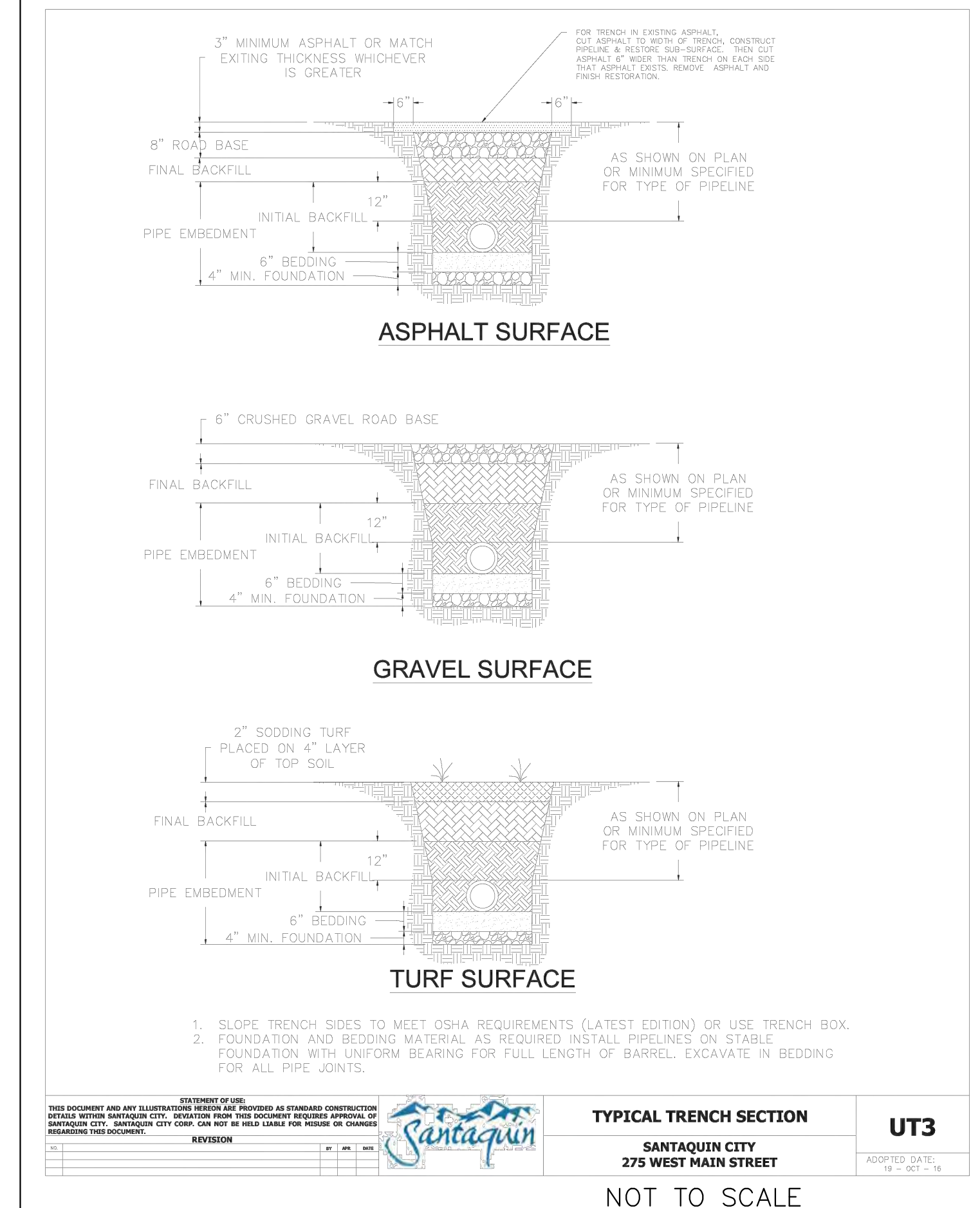
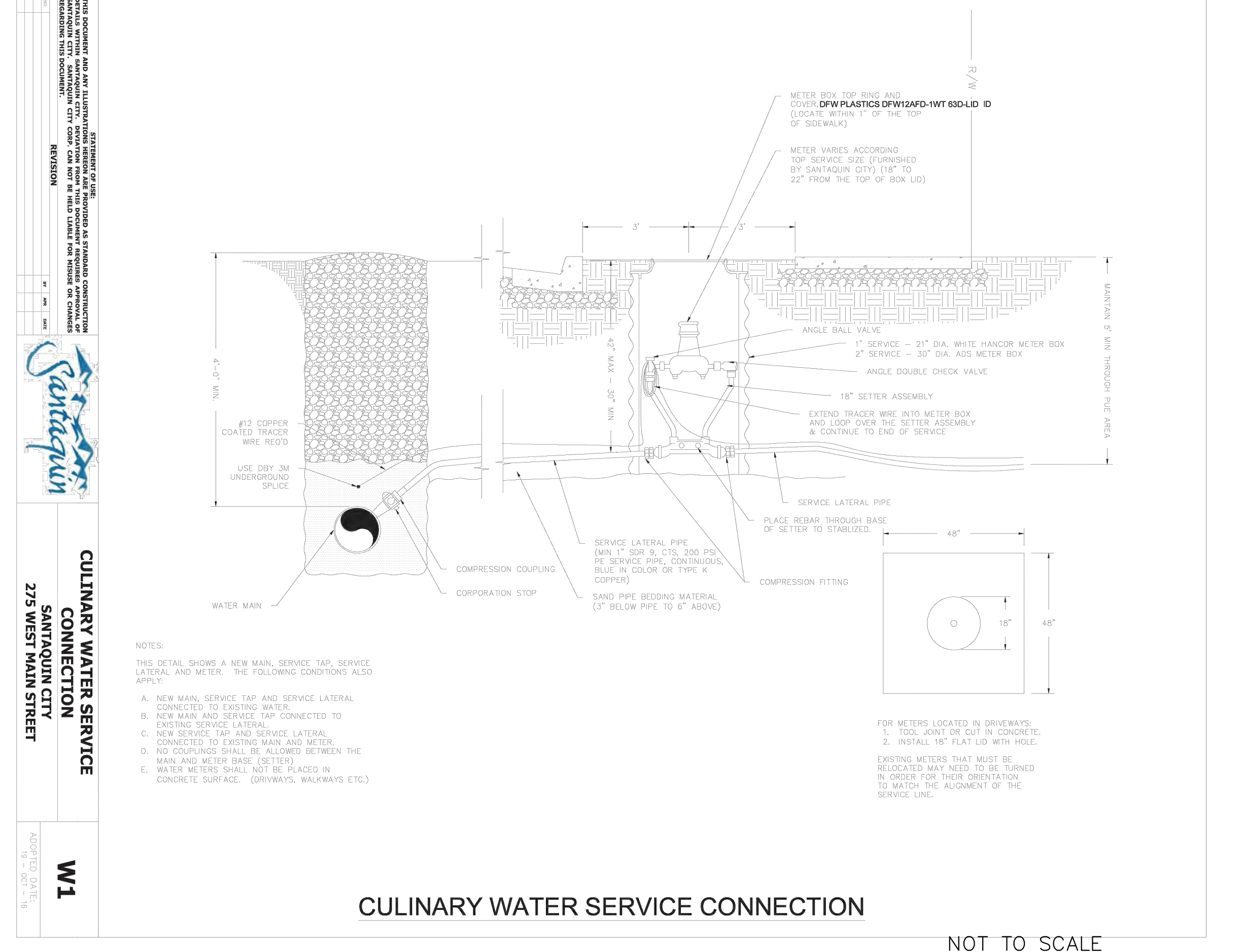
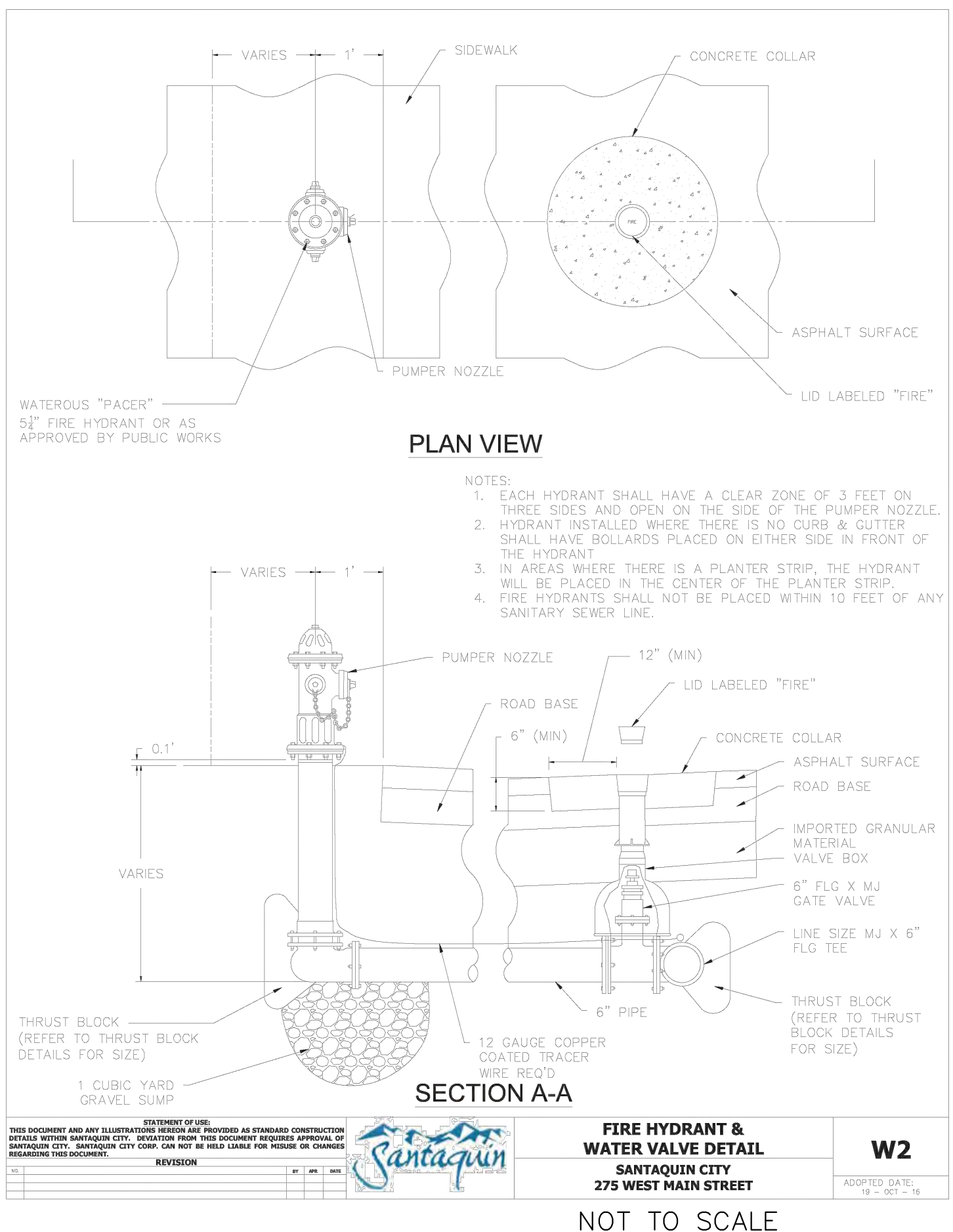
SEWER DETAILS

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SHEET NO. **D2**



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WATER DETAIL

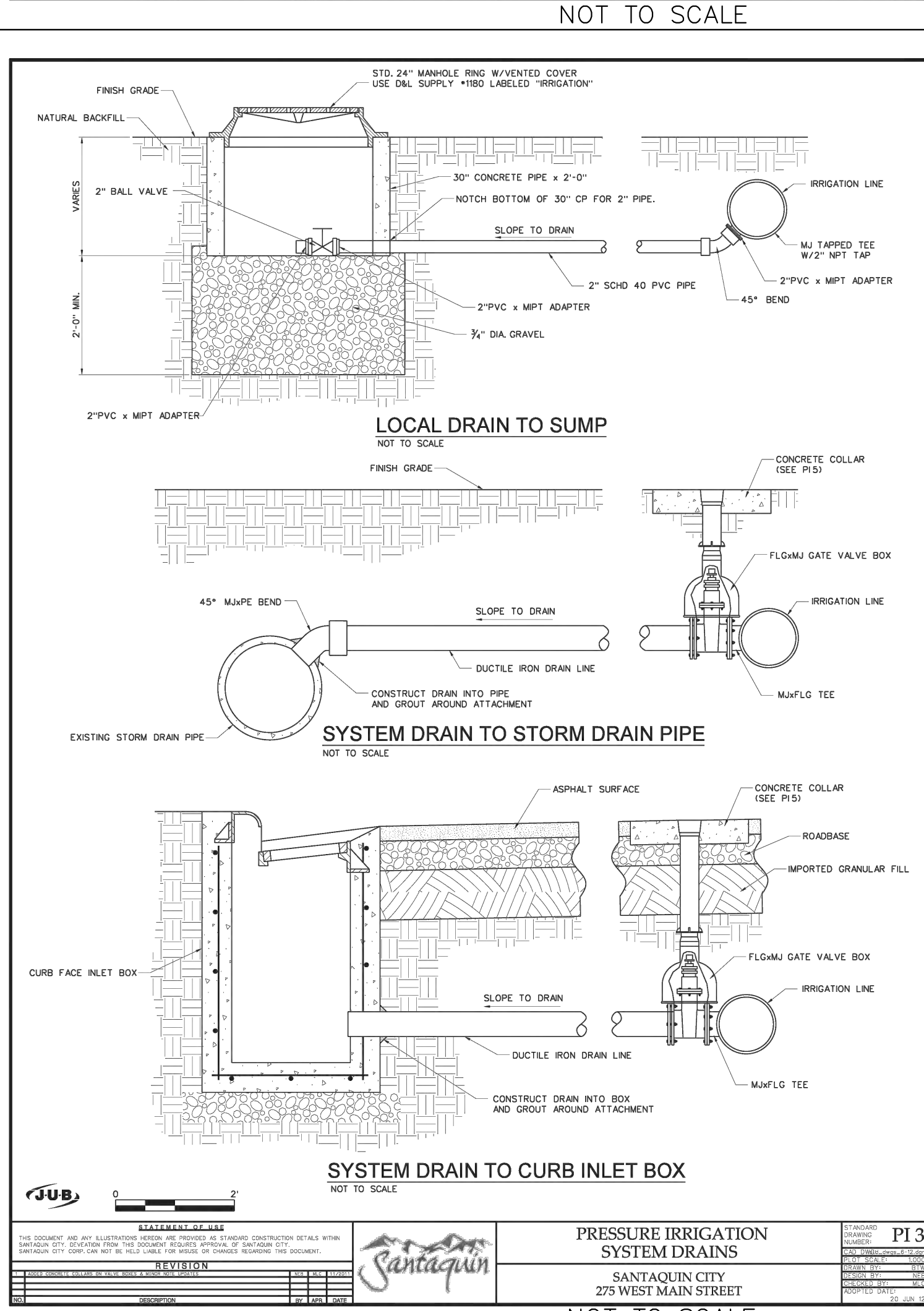
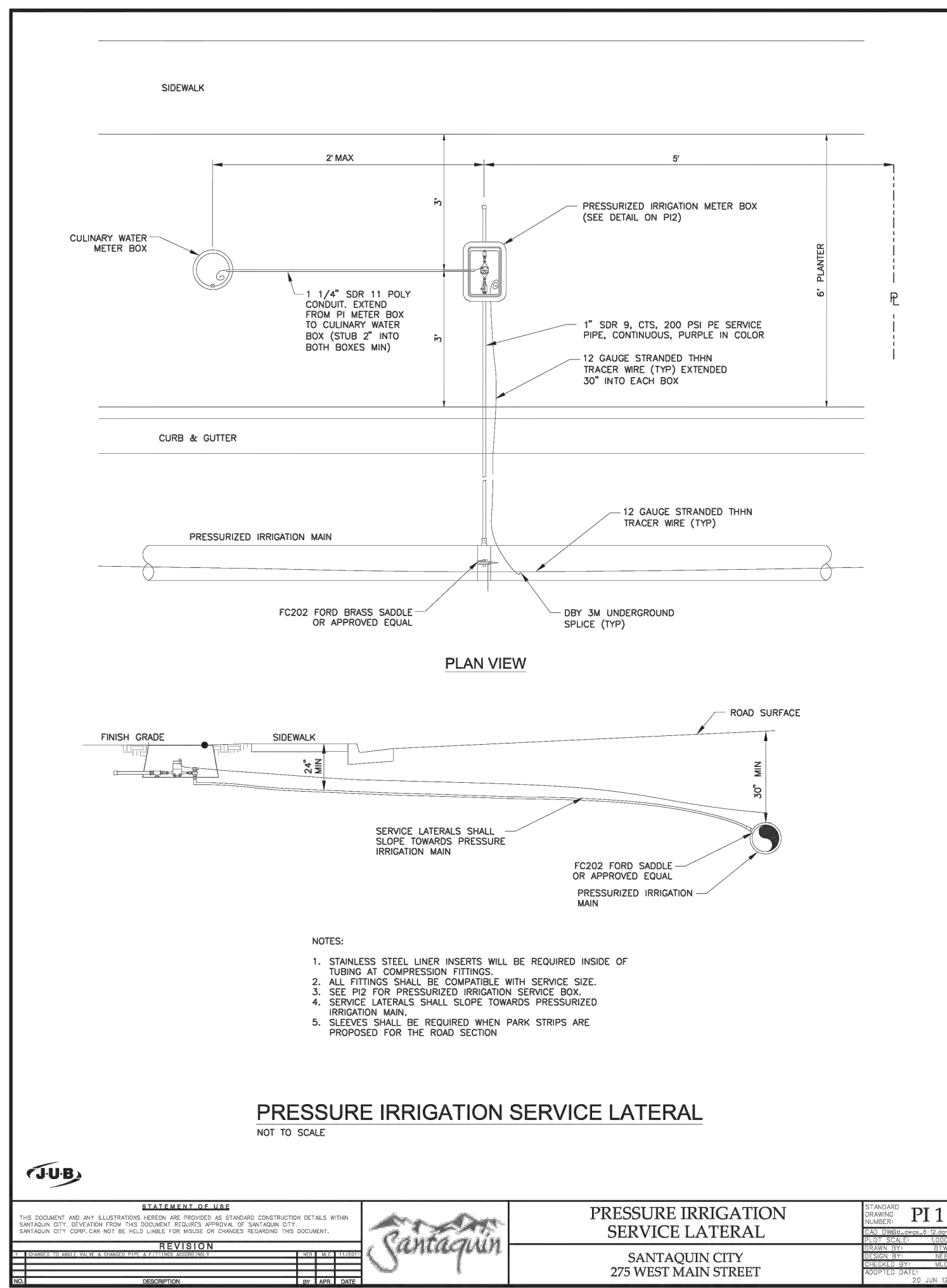
SANTAQUIN CITY

UTAH PROFESSIONAL ENGINEERING SEAL
PAUL J. GATEWAY
2025
STATE OF UTAH

ORIG. DATE: 2-8-21
SURVEY BY: GFW
DRAWN BY: GFW
DESIGNED BY: GFW
CHECKED BY: GFW
SCALE: N/A

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SHEET NO. **D3**



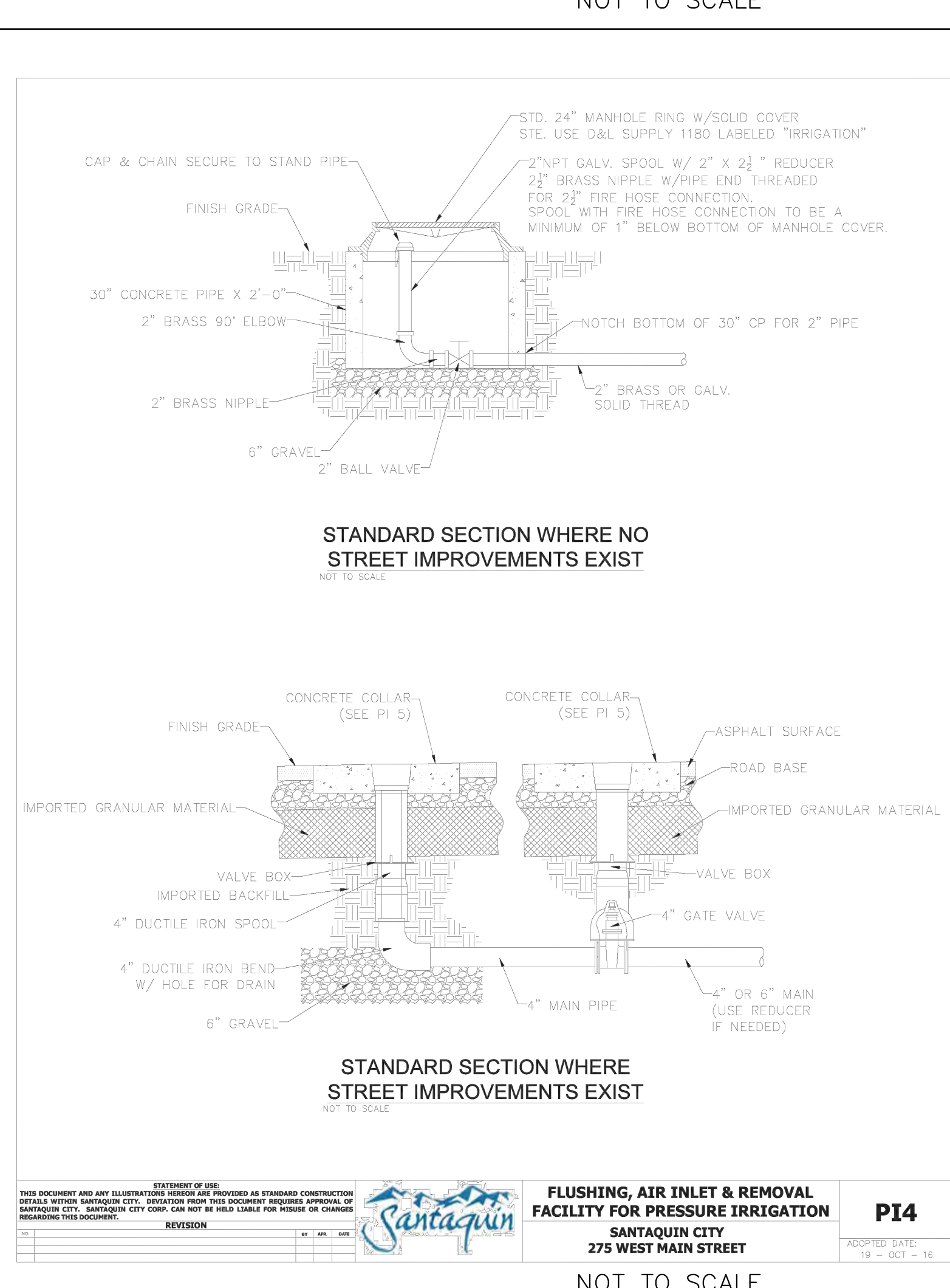
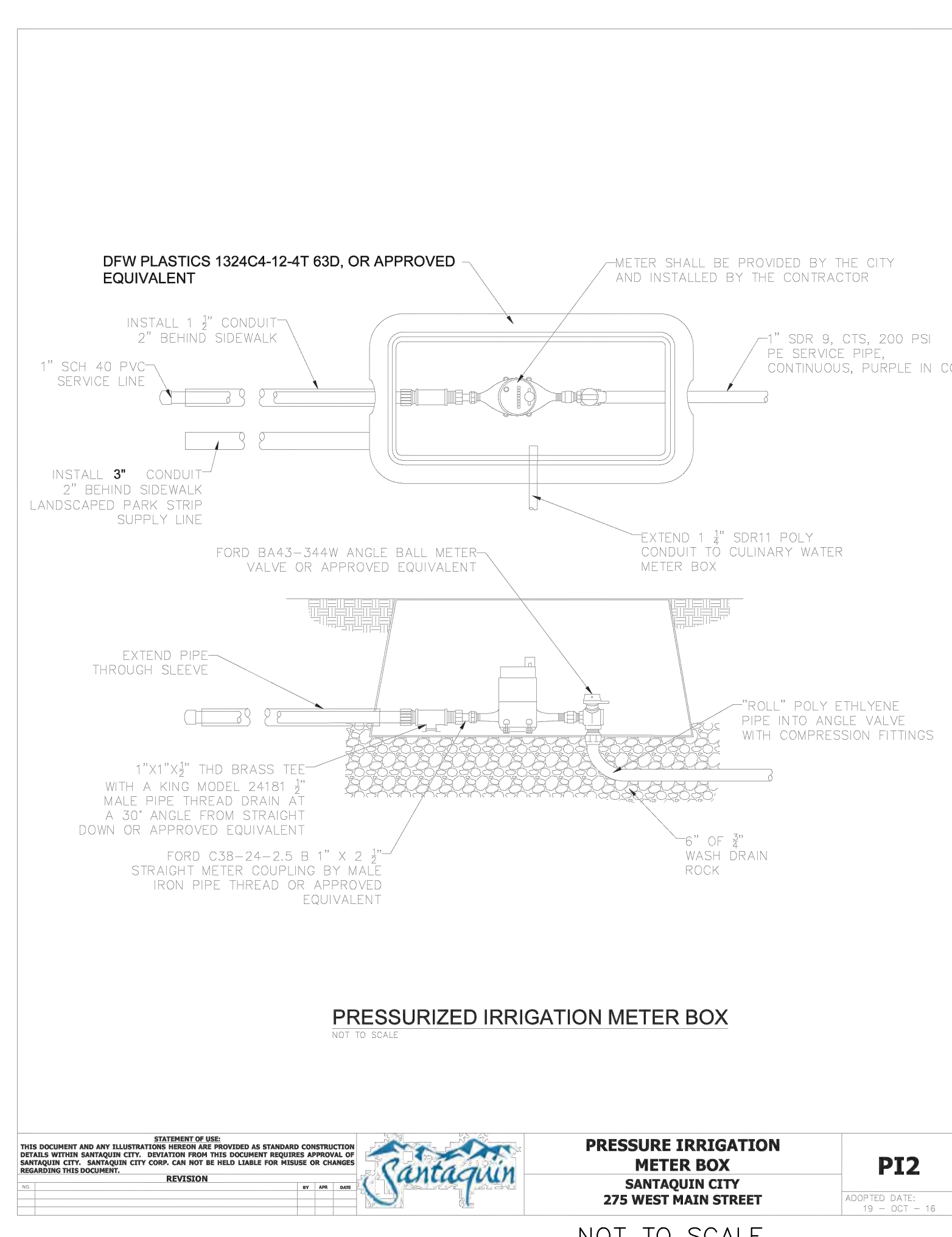
REVISION

PRESSURE IRRIGATION SYSTEM DRAINS

SANTAQUIN CITY
275 WEST MAIN STREET

PI 3

DATE: 19 - OCT - 18



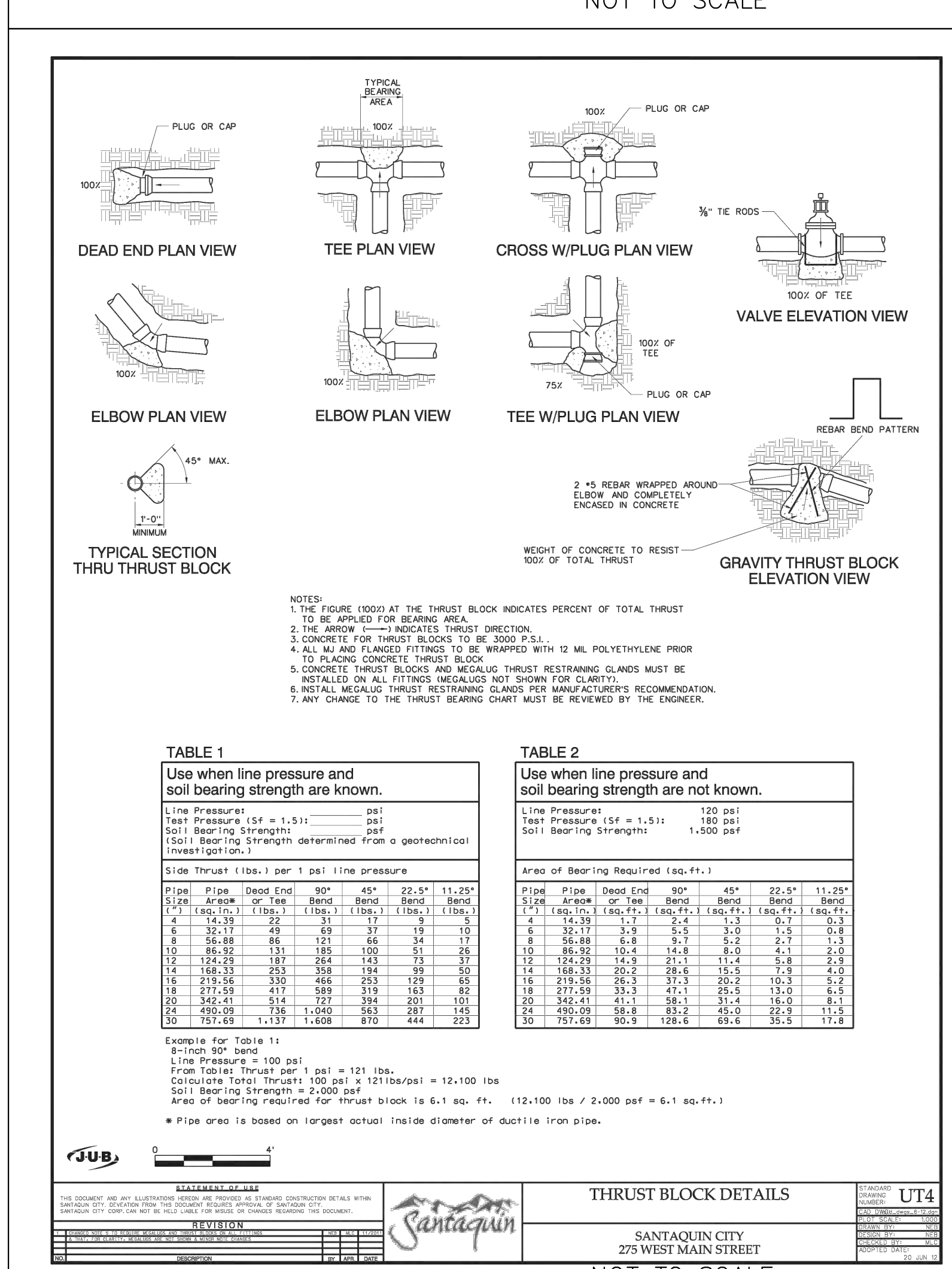
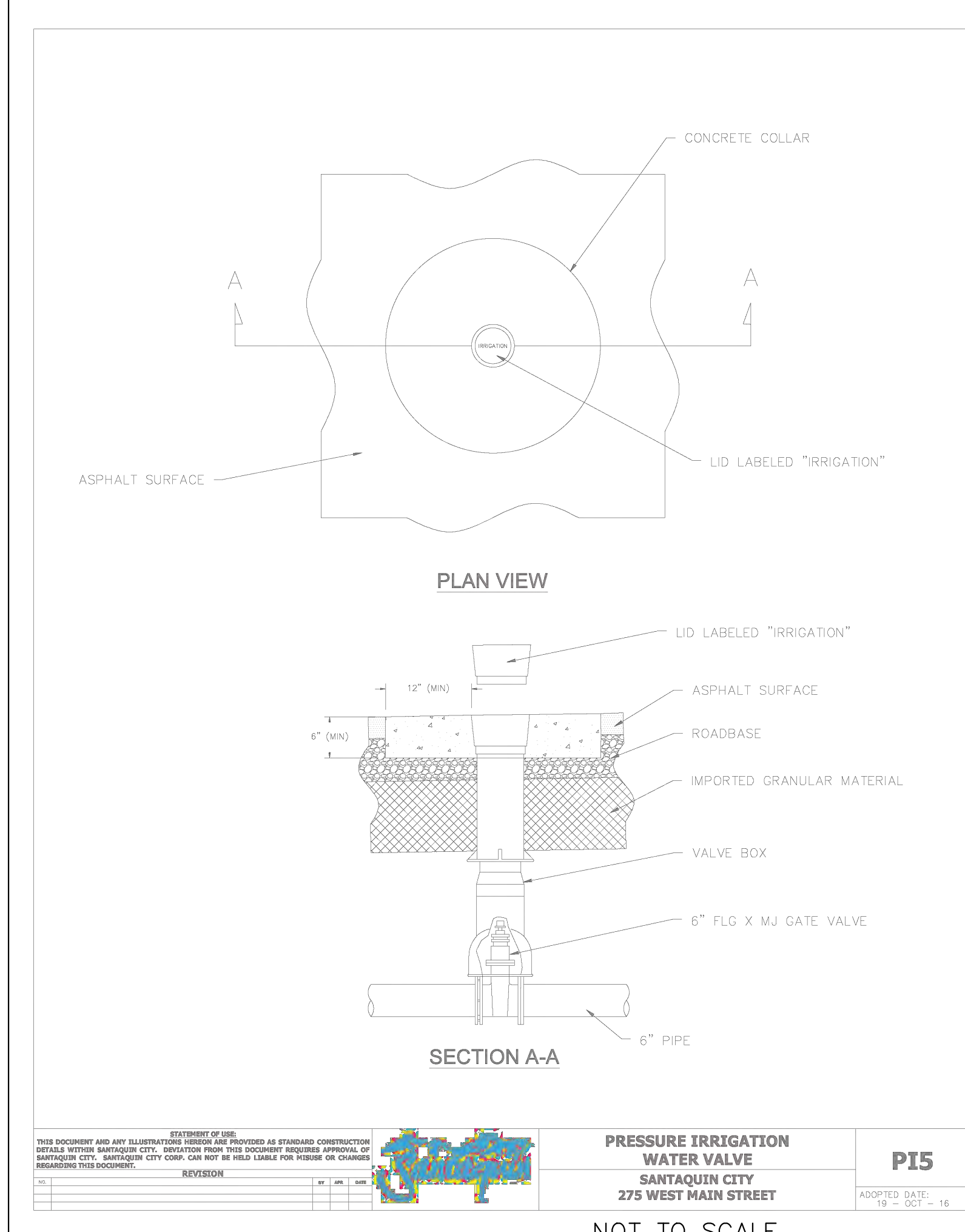
REVISION

FLUSHING, AIR INLET & REMOVAL FACILITY FOR PRESSURE IRRIGATION

SANTAQUIN CITY
275 WEST MAIN STREET

PI 4

DATE: 19 - OCT - 18



REVISION

THRUST BLOCK DETAILS

SANTAQUIN CITY
275 WEST MAIN STREET

UT 4

DATE: 19 - OCT - 18

DATE: 2-8-21

ORIG. DATE: 2-8-21

SURVEY BY: GPM

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SCALE: N/A

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BELLA VISTA SUBDIVISION

IRRIGATION WATER DETAILS

SANTAQUIN CITY

DATE: 1-17-2025

SHEET NO. **D5**

