# BELLA VISTA SUBDIVISION

LOCATION **VICINITY MAP** 

**PROPERTY OWNER:** STRATTON ACRES LLC KAMERON SPENCER

DRAPER, UTAH 84020

801-330-0546

**ENGINEER:** 

801-694-5848

PAUL WATSON PO BOX 951005

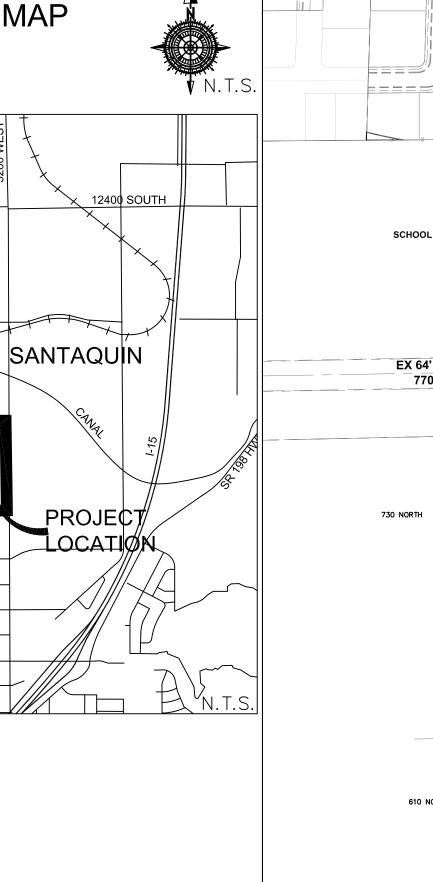
847 E DRAPER MEADOW LANE

GATEWAY CONSULTING INC.

**RIVERTON, UTAH 84095** 

SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN SANTAQUIN, UTAH COUNTY, UTAH

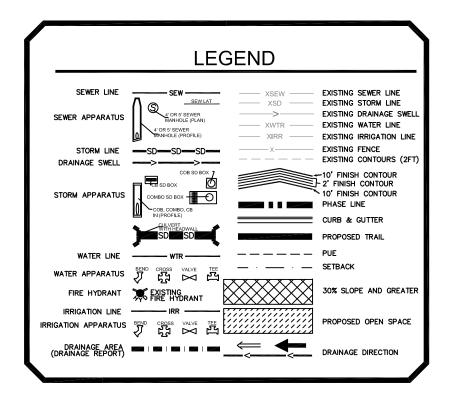
> CONCEPT January 17, 2025

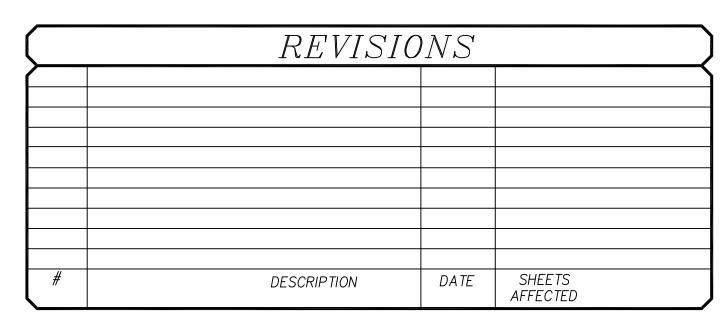


The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.

All recommendations made in a pertinent geotechnical report/study shall be followed explicitly during construction of buildings and site improvements.

ZONE	R-10
LOTS	122
ACREAGE	42.8 ac.
ACREAGE LOTS	31.25 ac.
ACREAGE ROW	3.76 ac.
DENSITY	3.12 lots to the ac.



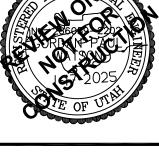


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CIVIL ENGINEERING • CONSULTING • LAND PLANNING **CONSTRUCTION MANAGEMENT** 







# CONSTRUCTION NOTES

**Construction Notes** 

1. All work to be done in conformity to SANTAQUIN CITY standards and specification and as directed by the **SANTAQUIN CITY engineer or his representatives.** 2. All sewer and water system construction shall be in accordance with SANTAQUIN CITY standards and specifications. Contractor to obtain current standards from the SANTAQUIN CITY.

3. Contractor shall contact blue stakes prior to beginning construction, to facilitate the location and identification of existing underground utilities. 4. Contractor responsible for protection of all utilities shown or not shown.

5. Contractor shall be responsible to obtain and pay for necessary permits.

6. Contractors shall attend all pre-construction conferences.

7. Contractor shall be responsible for all public safety and OSHA standards.

8. Contractor shall field verify locations and invert elevations of all existing sewer facilities and other utilities prior to building or staking any new sewer lines. 9. Location and installation of gas, power, telephone, and cable lines to be done in accordance with **SANTAQUIN CITY standards.** 

10. All culinary water lines shall be per SANTAQUIN CITY standards.

11. Minimum depth for culinary waterlines from the final grade to the top of the pipe is 4 feet, unless otherwise noted on the plan and profile sheets. 12. Minimum spacing between waterlines and sewer lines is 10 feet horizontally or 12 inches vertically (in times of crossing the waterline shall be above the sewer line). All other utilities shall be spaced a minimum distance of 12 inches from the waterline. 13. All ductile iron valves, hydrants, and buried fittings shall be wrapped with 8 mil thick polyethylene film tube or sheet. The film shall be held in place by and

approved adhesive tape, equal to scotchrap no. 50. All fittings and valves requiring wrapping shall be wrapped prior to placing concrete thrust blocking. All valves are to be flanged to the adjacent fittings. 14. Sanitary sewer laterals shall extend into each lot 15'

and be marked with a 2" by 4" board with the top 12" painted green. 15. All sewer laterals will be marked with a "S" stamped

into the curb above. 16. Culinary water laterals shall extend into each lot 15' and be marked with a 2" by 4" board with the top 12"

17. All culinary water laterals will be marked with a "W" on the curb above.

painted blue.

18. Contractor to verity as build sewer laterals for building FF design. Existing sewer lateral to govern. MISC CONSTRUCTION NOTES

THE CONTRACTOR SHALL CAREFULLY READ ALL OF THE NOTES AND SPECIFICATIONS, THE CONTRACTOR SHALL BE SATISFIED AS TO THEIR TRUE MEANING AND INTENT AND SHALL BE RESPONSIBLE FOR COMPLYING WITH EACH. **GENERAL NOTES:** 

SANTAQUIN CITY STANDARD SPECIFICATIONS, LATEST EDITION, AND ALL AMENDMENTS THERETO UNLESS OTHERWISE STATED. TO DATE, AND THE UTAH PUBLIC WORKS GENERAL CONDITIONS AND STANDARD SPECIFICATIONS FOR CONSTRUCTION IN ITS LATEST EDITION (UPW), THE M.U.T.C.D. MANUAL FOR STRIPING AND LAND DISTURBANCE, AND THE MANUAL FOR EROSION CONTROL, WHERE APPLICABLE,

PRIOR TO PERFORMING ANY WORK. THE CONTRACTOR SHALL CONTACT SANTAQUIN CITY FOR A PRE-CONSTRUCTION CONFERENCE.

MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING 2) CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES THEIR BID. OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE.

4) WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST FIRST QUALITY ARE TO BE USED.

5) THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL 12) THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE

THE CONTRACTOR SHALL BE COMPETENT. KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. 14) THE CONTRACTOR AGREES THAT: CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES, WHICH MAY CREATE DURING THE CONSTRUCTION PROGRAM LINUSUAL OR PECULIAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS. PROPERTY AND THE ENVIRONMENT CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHTS-OF-WAY. EASEMENTS. AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION.

7) CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHTS-OF-WAY OR EASEMENTS FROM SANTAQUIN CITY AND UDOT CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMENCING THE WORK, OR AS REQUIRED BY SAID PERMITS.

8) THE CONTRACTOR SHALL. AT THE TIME OF BIDDING. AND THROUGHOUT THE PERIOD OF THE CONTRACT. BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.

THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE DEPTH OF 4' OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT OF THE OWNER OR THE ENGINEER. THE SITE OF WORK.

IF. DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS PI ANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS I) IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL

OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.

CONTRACTOR, IT SHALL BE EXPECTED THAT PRICES PROVIDED WITHIN THE CONTRACT 13) THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES. LOSS OR DISTURBANCE.

ORDERLY MANNER AT ALL TIMES.

THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.

B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH. SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND

THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL PAYMENT.

THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.

UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR INCLUDING SAFETY OF ALL PERSONS AND PROPERTY: THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY 9) CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK

> 16) DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE, WITH A WATER TRUCK.

17) CONSTRUCTION STAKING FOR LIMITS OF DISTURBANCE INCLUDING CONSTRUCTION AND SILT FENCES, GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER. STORM DRAIN. WATER. AND ELECTROLIERS MAY BE DONE BY AWARDED SURVEYOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF THE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN NEED FOR STAKING. ANY STAKING REQUESTED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS INSTALLATION. THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND THAT IS ABOVE AND BEYOND STANDARD STAKING NEEDS, WILL BE SUBJECT TO AN EXTRA WORK DIGGING; AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR BACK CHARGE TO THE CONTRACTOR.

SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND THE START OF ACTUAL EXCAVATION. PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED CONTRACTOR. SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION. JOINTS SHALL BE INCLUDED IN THE UNIT PRICES OF PIPE.

19) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.

20) IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.

21) WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS. SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE 9) ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.

22) THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL; ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND 11) THE CONTRACTOR SHALL NOTIFY ENGINEER AT LEAST 48 HOURS OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND 1) SUB GRADE PREPARATION: EARTHWORK FOR ROADWAY SECTIONS SHOULD BE THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MOISTURE. MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.

DESCRIPTION: NORTHEAST CORN SEC 36, T9S, R1E, SLB&M FOUND 3" BRASS CAP CLEARING AND GRADING NOTES:

REPORT OF GEOTECHNICAL INVESTIGATION.

ELEVATION: 4759.858

24) BENCHMARK:

1) CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH SANTAQUIN CITY STANDARD SPECIFICATIONS, AND THE RECOMMENDED EARTHWORK SPECIFICATIONS FOUND IN THE LATEST

2) THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON A TOPO SURVEY

3) THE OWNER SHALL PROVIDE A TEMPORARY EROSION CONTROL PLAN AND OBTAIN ALL PERMITS REQUIRED BY SANTAQUIN CITY CITY, AND THE STATE OF UTAH FOR TEMPORARY EROSION CONTROL. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE OWNER, CITY OF SANTAQUIN, AND POWER CO. TO HAVE THE ELECTRICAL SYSTEM ALL TEMPORARY EROSION CONTROL AND MAINTENANCE, AND SHALL PROVIDE EROSION AND AND ALL STREET LIGHTS ENERGIZED. SEDIMENT CONTROL FORMS TO THE CITY. FOR ADDITIONAL EROSION CONTROL INFORMATION, SEE "EROSION CONTROL/REVEGETATION PLAN" SHEETS AND REPORTS.

4) SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK. SOIL INVESTIGATIONS WERE CONDUCTED FOR DESIGN PURPOSES ONLY, AND THE DATA STATE OF THE DATA OF THE DAT SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH AS PROJECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK, SOIL BEARING VALUES AND PROFILES, SOIL STABILITY AND THE PRESENCE, LEVEL AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION

**DEWATERING NOTES:** 

GROUNDWATER LEVEL.

THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY. OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND WATER LEVEL OUTSIDE THE EXCAVATION 1) ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING: SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRICT TO THE EXTENT OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY AND THE PROPERTY OF THE PROPERTY STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY

UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC

THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION. A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED. 10) THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR 3) SUMPS SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SUMPS.

11) THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY 4) THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION. OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOILS", DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF THE NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATIONS SOILS, PREVENT DISTURBANCE OF COMPACTED BACKFILL, AND PREVENT FLOTATION OR MOVEMENT OF STRUCTURES, PIPELINES AND SEWERS. IF A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, IT SHALL BE OBTAINED

### UNDERGROUND UTILITIES:

THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THESE LOCATIONS TO BE FITHER TRUE OR EXACT. PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO, SEWER STORM DRAIN WATER IRRIGATION GAS ELECTRICAL ETC. AND SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES. SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION/ELEVATION MUST BE MADE PRIOR TO CONSTRUCTION.

P) PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE FACH UTILITY COMPANY LOCATE. IN THE FIFLD. THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY FXCAVATION. IT WILL THE CONTRACTOR SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.

3) THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A CONTRACTOR SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 — EXCAVATIONS, AND SECTION 69 — TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES. ANY EXCAVATION GREATER THAN 10 FEET IN DEPTH REQUIRES A

4) PRIOR TO OPENING AN EXCAVATION, CONTRACTOR SHALL ENDEAVOR TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS; I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE 18) FOR ALL WORK WITHIN PUBLIC RIGHTS—OF—WAY OR EASEMENTS. THE CONTRACTOR AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO

TO USE RUBBER GASKET JOINTS ON ALL PRE CAST PIPES. THE COST FOR RUBBER GASKET

6) THE CONTRACTOR SHALL PROVIDE CLAY DAMS IN LITHITY TRENCHES TO PREVENT CHANNELING OF SUBSURFACE WATER, DURING AND AFTER CONSTRUCTION. INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL CONSTRUCT CLAY DAMS AT THE TOP OF GRADE BREAKS AND AT THE FOLLOWING INTERVALS: \* TRENCHES WITH SLOPES < 10% = DAMS AT 500' INTERVALS \* TRENCHES WITH SLOPES > 10% = DAMS AT 100' INTERVALS

7) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS OF SANTAQUIN CITY FOR H-20 LOAD REQUIREMENTS.

> 8) ALL CONSTRUCTION AND MATERIALS FOR THE SEWER MAIN AND LATERALS MUST COMPLY WITH THE SANTAQUIN CITY DISTRICT. THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO THE SEWER MAIN.

SANTAQUIN CITY PUBLIC WORKS DEPARTMENT PERSONNEL ONLY.

O) WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. CONTRACTOR RESPONSIBLE FOR ALL NECESSARY TITTINGS AND THRUST BLOCKS.

LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH THE REGULATORY AGENCY STANDARD SPECIFICATIONS. 12) ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB,

# SURFACE IMPROVEMENTS:

GÚTTER AND STREET PAVING.

CONDUCTED PER THE LATEST GEOTEC REPORT. ONCE ROADWAY EXCAVATION STARTS, THE SUB GRADE SHOULD BE SCARIFIED AND RECOMPACTED AT THE PROPER MOISTURE CONTENT TO 96 PERCENT RELATIVE DENSITY (STANDARD PROCTOR ASTM D-1557). THE NATIVE SUB GRADE SHOULD BE FIRM AND NON-YIELDING PRIOR TO SUB BASE PLACEMENT. EVERY 23) WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND EVERY EFFORT SHOULD BE MADE TO AVOID EXPOSING NATIVE SUB-GRADES TO EXCESS

> ALL MANHOLE RIMS, VALVES AND MONUMENT BOXES, ETC. SHALL BE ADJUSTED TO FINISH GRADE AFTER STREET PAVING, UNLESS OTHERWISE NOTED. IN PAVED AREAS, PROVIDE A 1 FOOT BY 1 FOOT CONCRETE COLLAR . SET CONCRETE COLLAR 3/8 INCH LOWER THAN FINISH GRADE AT OUTER EDGE. PROVIDE CONCRETE COLLAR FOR ALL VALVES AND MONUMENTS PER SANTAQUIN CITY STANDARD SPECIFICATIONS. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR SAID FACILITIES.

3) PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON THE PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THESE SPECIFICATIONS, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK

4) INSTALLATION OF STREET LIGHTS SHALL BE IN ACCORDANCE WITH SANTAQUIN CITY DEVELOPMENT GUIDELINES.

5) PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS BUILT TO THESE PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE

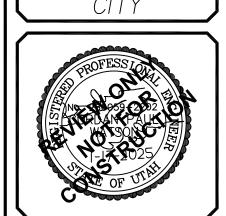
6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO TIE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.



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SANTAQUIN



The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.

## LEGAL DESCRIPTIONS

PARCEL

Commencing 17.76 chains East of the Southwest corner of the Northwest quarter of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence East 5.98 chains; thence North 13.59 chains; thence East 25 links; thence North 6.45 chains to a point 20 chains North of the South line of said Northwest quarter; thence West 5.78 chains; thence South 6.45 chains; thence West 50 links; thence South 13.59 chains to the beginning.

ALSO that portion of land acquired by Boundary Line Agreement recorded March 19, 2007 as Entry No. 39584-2007

## LESS AND EXCEPTING THEREFROM the following:

Beginning at a point located North 89°32'33" East along the quarter section line 1,136.25 feet from the West quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence North 01°41'33" East 17.18 feet; thence along the arc of a 790.00 foot radius curve (radius bears North 14°48'36" East) 80.27 feet through a central angle of 05°49'18" (Chord: South 78°06'03" East 80.23 feet) to said quarter section line; thence South 89°32'33" West along said quarter section line 79.02 feet to the point of beginning.

ALSO LESS AND EXCEPTING that portion of land deeded to Kenyon L. Farley and Irene Farley aka Irene L. Farley by Boundary Line Agreement recorded March 19, 2007 as Entry No. 39584:2007.

## PARCEL 2:

Commencing North 1323.92 feet and East 1184.66 feet from the West quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence South 423.05 feet; thence West 22.17 feet; thence North 01°41'33" East 21.06 feet; thence North 00°13'13" West 402 feet; thence East 23.09 feet to the beginning.

### PARCEL 3:

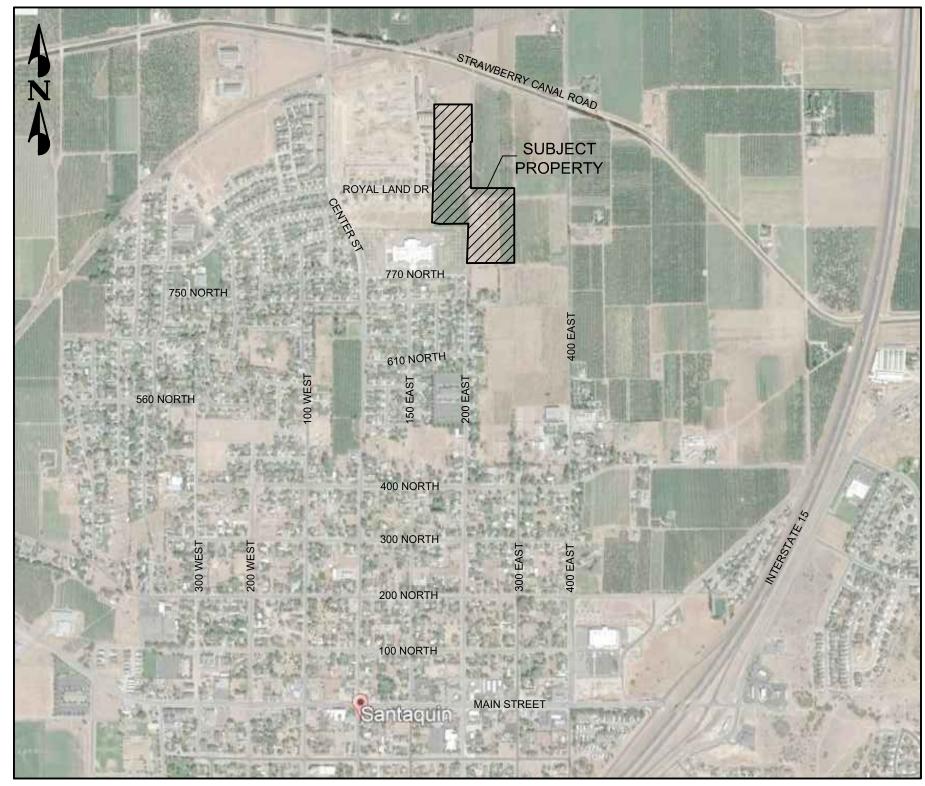
Commencing 9.20 chains West of the Southeast Corner of the Northwest Quarter of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence South 6.72 chains; thence West 8.04 chains; thence North 6.72 chains; thence East 1.07 chains; thence North 16.99 chains; thence East 25 links; thence North 1.47 chains; thence East 6.72 chains; thence South 18.46 chains to beginning.

## LESS AND EXCEPTING the following:

Beginning at the intersection of the North boundary line of Plat "B", Alpine View Subdivision and the Easterly right-of-way line of Center Street (a 99' wide public road) as dedicated on Plat "E", The Orchards Subdivision official plat. Said intersection lies 2,050.41 feet N. 00°16'52" W. along the section line and 407.76 feet East of the Southwest corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence N. 00°12'34" E. 123.48 feet along said right-of-way, thence continuing along said right-of-way along a curve turning to the left with an arc length of 538.70 feet, a radius of 1,054.00 feet and a chord bearing and distance of N. 14°25'59" W. 532.85 feet to the ¼ section line, thence N. 89°32'36" E. 1,257.59 feet along the ¼ section line, thence S. 02°13'39" W. 626.31 feet to the Northeast corner of said Plat "B", Alpine View Subdivision, thence S. 88°46'00" W. 1,101.10 feet along said subdivision to the point of beginning.

# ALSO LESS AND EXCEPTING the following:

Beginning at a point that lies S 00°20'15" E 1371.20 feet along the Quarter Section Line and 27.63 feet West from the North Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian, thence S. 00°33'21" E. 156.60 feet along the West line of a Warranty Deed as recorded in the Utah County Recorder's office as Entry Number 56278, thence N. 89°24'42" E. 10.35 feet along the South line of said Warranty Deed to the West line of 5200 West Street, thence along said West line of said 5200 West Street the following 2 courses (1) S. 00°24'57" E. 500.88 feet, (2) S. 00°19'44" E. 155.45 feet, thence S. 89°40'02" W. 181.50 feet, thence S. 00°19'44" E. 127.73 feet, thence N. 80°00'00" W. 274.06 feet, thence West 613.10 feet to the Southeast corner of a Quit Claim Deed as recorded in the Utah County Recorder's Office as Entry Number 93946:2017, thence N. 00°27'24" W. 506.49 feet along the East line of said Quit Claim Deed, thence N. 89°32'36" E. 33.00 feet to the East line of a 2 rod street as platted in Map 34-E (a Subdivision of the West half of said Section 36 filed June 3, 1908 in the office of the Utah County Recorder), thence N. 00°27'24" W. 551.60 feet along said East line, thence N. 89°32'36" E. 49.50 feet along Lot 3 of said Subdivision, thence N. 00°27'24" W. 203.58 feet along Lot 3 of said Subdivision to the South Line of Strawberry High-line Canal Easement, thence S. 69°35'24" E. 16.70 feet along said South line to the Northeast Corner of a less and excepting parcel of land as recorded in the Utah County Recorder's Office as Entry Number 55820:2008, thence S. 00°33'00" E. 4.67 feet along the West line of said Parcel of Land, thence S. 69°32'40" E. 1023.79 feet to the point of beginning.



VICINITY MAP

(NOT TO SCALE)

# REFERENCE DOCUMENTS CHERRY ORCHARD ESTATES PLAT-G ENTRY: 16468:2001 MAP #8952

THE ORCHARDS PLAT "G-4" ENTRY: 131982:2021 MAP #17824

APPLE VALLEY PLAT A ENTRY: 46147:2018 MAP #16048

# BENCHMARK

EAST 1/4 CORNER SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE & MERIDIAN NAD83 ELEVATION=4793.24

# LOCATION

LOCATED IN PORTIONS OF THE NORTHWEST AND SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.

# FLOOD ZONE

PARCELS LIE WITHIN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD COMMUNITY-PANEL NUMBER 49049C0975F, EFFECTIVE DATE: JUNE 19, 2020

# TITLE REPORT EXCEPTIONS

Republic National Title Insurance Company Cottonwood Title Insurance Agency

File Number: 155143-RCM

Commitment Date: August 18, 2022 at 7:30AM

## 1.-15. {Not a survey matter}

16. Easement Agreement in favor of Qwest Corporation d/b/a CenturyLink QC, its successors, assigns, lessees, licensees, agents and affiliates to construct, operate, maintain, repair, expand, replace and remove a communication system and incidental purposes, by instrument recorded October 7, 2020, as Entry No. 156593:2020. {Does not affect Subject Property as shown hereon}

# NOTE: The legal description therein appears to contain an error.

17. Rights of the public, and others entitled thereto, to use for street and incidental purposes any portion of the Land lying within 200 East Street. {Affects Subject Property as shown hereon}

18.-22. {Not a survey matter}

# **NARRATIVE**

The purpose of this survey is to show the relationship of Survey Parcel with surrounding parcels and improvements, as well as to provide those named in the Surveyors Certificate a ALTA/NSPS survey for their use in evaluating the site.

This Survey does not guarantee title to line, nor is it proof of ownership, nor is it a legal instrument of conveyance. Furthermore, any survey markers set in conjunction with this survey are not intended to represent evidence of ownership of the subject property or its ad joiners. The general intent of this survey is to portray where possible the record title lines of the subject property and to show their relationship to any evidence of use and/or possession.

This survey represents opinions based on facts and evidence. As the evidence changes or if new evidence is discovered or recovered, then the surveyor reserves the right to modify or alter his opinions pertaining to this survey according to this new evidence.

This survey shows all easements of record as disclosed by the title report as shown hereon. The surveyor has made no independent search for record easements or encumbrances. This survey depicts all observable improvements or other indications of easements and utilities. Utilities shown hereon are based on a combination of visual inspection by survey crews and drawings provided by local utility companies during the course of the survey. It is the contractors responsibility to seek blue stake information and verify utility locations prior to any excavation.

Basis of Bearing is North 89°32'33" East between the East Quarter corner and the West Quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian as shown hereon.

# SURVEY DESCRIPTION

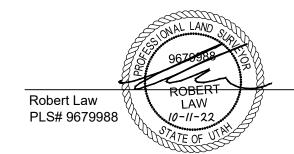
Beginning at the southeast corner of Lot 209 of The Orchards Plat G-1, Entry Number 102759:2019, Map Number 16746; said point being North 89°32'33" East, along the section line, 1146.15 feet and North, 317.94 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; said West Quarter Corner of Section 36 being South 89°32'33" West, along the section line, 5292.30 feet from the East Quarter Corner of said Section 36; and running thence along the easterly boundary line of said The Orchards Plat G-1 the following two (2) calls; 1) North 01°38'35" E, 595.10 feet; 2) North 00°13'13" West, 139.06 feet to a point at the southeast corner of the Apple Hollow at The Orchards Plat A-11, Entry Number 12754:2019, Map Number 16860; thence North 00°13'13" West, along the easterly boundary line of said Apple Hollow at The Orchards Plat A-11, 258.32 feet; thence East, 411.19 feet; thence South 00°27'27" East, 409.77 feet; thence South 89°32'33" West, 16.49 feet; thence South 00°27'27" East, 506.49 feet; thence East, 475.18 feet; thence South 00°00'03" East, 819.47 feet; thence South 89°37'56" West, 519.60 feet; thence North 02°13'39" East, 432.44 feet to a point the quarter section line; thence South 89°32'33" West, along said quarter section line, 320.88 feet to a point on a non-tanget 790.00 foot radius curve to the right; thence 79.47 feet along said curve through a central angle of 05°45'50" (chord bears North 78°07'37" West, 79.44 feet) to a point on the easterly boundary line of The Orchards Plat G-4, Entry Number 131982:2021, Map Number 17824; thence North 01°38'35" East, along said easterly boundary line, 301.17 feet to the point of beginning.

Contains: 21.69 Acres

# SURVEYORS CERTIFICATE

To: Stratton Acres, LLC, a Utah limited liability company, Old Republic National Title Insurance Company, and Cottonwood Title Insurance Agency

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. The field work was completed on: September 23, 2022.



PG CREW

BCB

N/A

RSL

NO. DESCRIPTION

DATE APP'D.

SURVEY BY: PEPG CREW

DRAWN BY: BCB

DESIGNED BY: N/A

CHECKED BY: RSL

SCALE: 1"=60'

UT 84070

11) 562-2551

STING • GEOTECHNICAL
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SPECIAL TY LAB
SCA

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SINEERING • TRANSPORTATION ENGINEERING

9270 SOUTH 300 WEST •
PHONE: (801) 562-2521 • I
TERIALS TESTING • INSPECTION SERVICE
ENVIRONMENTAL • CIVIL ENGINEERING • I

9270 SOUTH ( PHONE: (801) MATERIALS TESTING • IN ENVIRONMENTAL • CIV

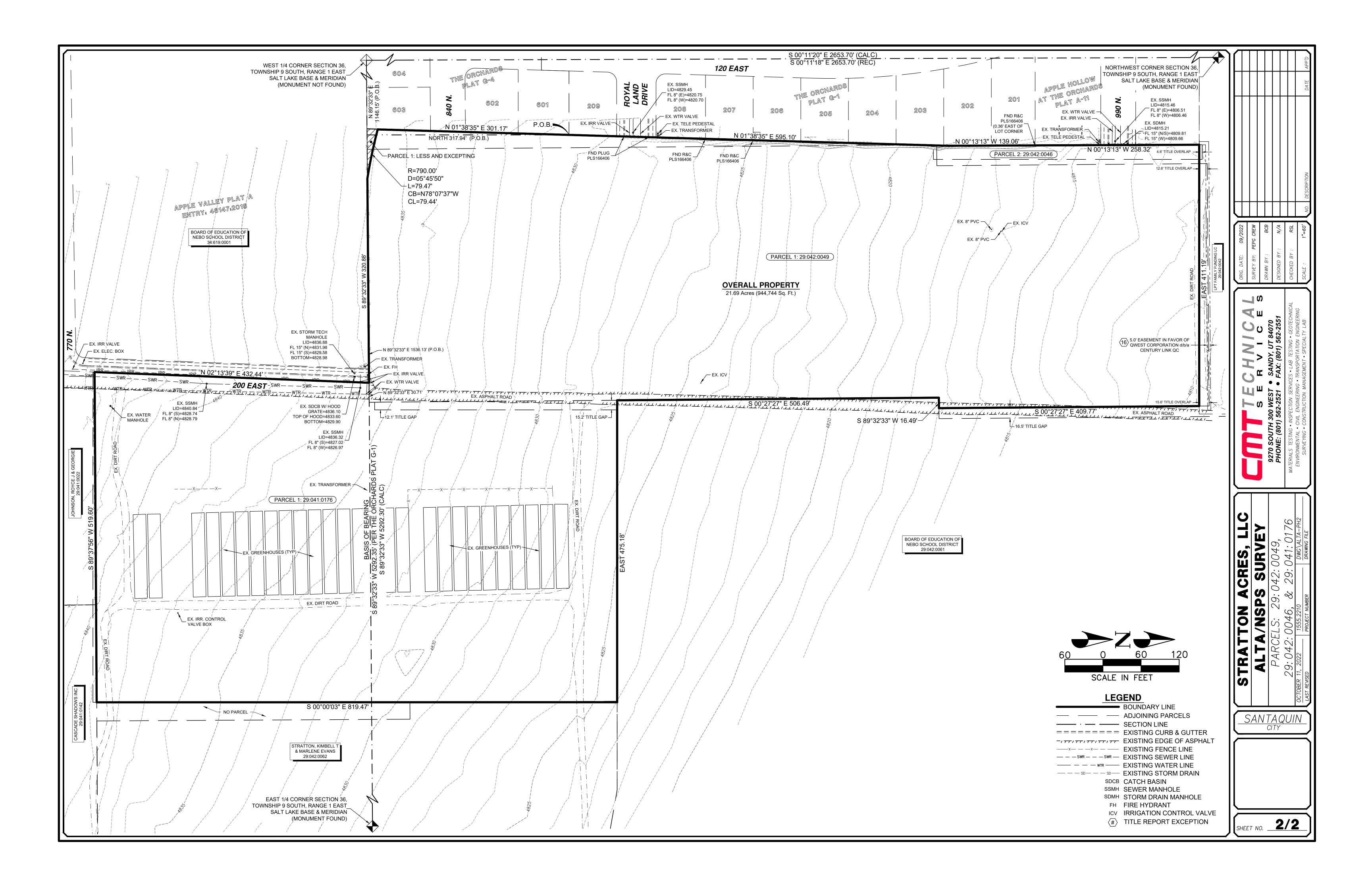
SPS SURVEY
29:042:0049,
6, & 29:041:0176

ALIA/NSF PARCELS: 29 :9:042:0046,

PA 29:0

SANTAQUIN CITY

4/0



# AS-PROVIDED DESCRIPTION

## PARCEL 1:

Beginning at a point which is North 660.17 feet and West 20.29 feet from the South quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence South 88°18'35" West 549.74 feet; thence North 00°19'44" West 1098.49 feet; thence North 89°40'16" East 549.58 feet; thence South 00°19'44" East 1085.43 feet to the point of beginning.

Commencing North 1742.47 feet and West 576.1 feet from the South guarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence South 00°19'44" East 1098.49 feet; thence South 88°18'35" West 37.71 feet; thence South 01°48'51" West 203.32 feet; thence West 320.28 feet; thence North 00°01'53" East 344.59 feet; thence North 00°01'53" East 593.15 feet; thence North 89°40'16" East 313.94 feet; thence North 00°19'44" West 363 feet; thence North 89°40'15" East 45.74 feet to the point of beginning.

### PARCEL 3:

Commencing North 439.65 feet and West 934.22 feet from the South quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence North 00°01'53" East 344.59 feet; thence South 86°41'06" West 100.92 feet; thence South 00°04'26" East 111.03 feet; thence South 23°19'12" East 60.95 feet; thence South 00°04'24" East 171.75 feet; thence East 76.07 feet to the point of beginning.

# AS-SURVEYED DESCRIPTION

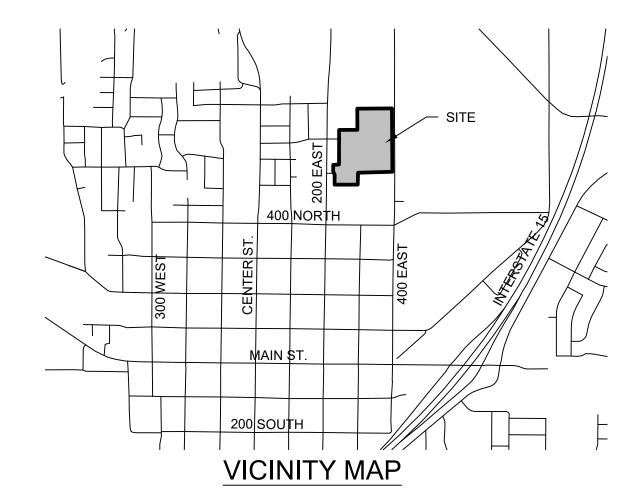
Beginning at a point lying 16.5 feet perpendicularly distant Westerly from the North-South Quarter Section line of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian, said point lies North 660.170 feet (Basis of bearings is North 0°19'44" West between the South Quarter Corner and the North Quarter Corner of Section 36, T9S, R1E) and West 20.290 feet from the South Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and running thence South 88°18'35" West 587.450 feet; thence South 01°48'51" West 203.320 feet; thence West 396.350 feet to the East Line of Peach Tree Estates Plat A; thence along said East Line the following (3) courses: 1) North 00°04'24" West 171.750 feet; 2) North 23°19'12" West 60.950 feet; 3) North 00°04'26" West 111.010 feet; thence North 86°41'06" East 100.919 feet; thence North 00°01'53" East 593.174 feet along the East Line and East Line extended of Cherry Orchard Estates Plat G; thence North 89°40'16" East 313.940 feet; thence North 00°19'44" West 363.004 feet; thence North 89°40'16" East 595.326 feet to a point lying 16.5 feet perpendicularly distant Westerly from said North-South Quarter Section line; thence along said 16.5 feet perpendicularly distant Westerly line South 00°19'44" East 1085.429 feet to the point of beginning.

Property contains 22.457 acres

# ALTA / NSPS LAND TITLE SURVEY PREPARED FOR CLAYTON PROPERTIES GROUP II, INC.

BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST,

SALT LAKE BASE & MERIDIAN



# **AREA**

22.457 ACRES MORE OR LESS

# ZONING

NOT PROVIDED BY TITLE COMMITMENT

# **BASIS OF BEARING**

NORTH 0°19'44" WEST - BEING THE NORTH-SOUTH QUARTER SECTION LINE BETWEEN THE SOUTH QUARTER CORNER AND THE NORTH QUARTER CORNER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN

# FLOOD INSURANCE DATA

PER THE FEMA WEBSITE, FEMA HAS NOT COMPLETED A STUDY TO DETERMINE FLOOD HAZARDS FOR THE SUBJECT PROPERTY. THEREFORE A FLOOD MAP HAS NOT BEEN PUBLISHED AT THIS TIME

# PARKING STALLS

NO PARKING STALLS WERE OBSERVED AT TIME OF SURVEY

# **SURVEYORS COMMENTS**

- THE CERTIFYING SURVEYOR HAS NOT MADE AN INDEPENDENT TITLE SEARCH AND HAS RELIED SOLELY ON SUPPLIED DOCUMENTATION SHOWN IN A PRELIMINARY TITLE REPORT PROVIDED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, FILE NO. 101763-CAF, EFFECTIVE DATE MARCH 21, 2018, AND SPECIFICALLY DISCLAIMS ANY ITEMS NOT SHOWN WHICH MAY OR MAY NOT BE OF PUBLIC RECORD THAT MIGHT AFFECT THE PROPERTY SHOWN ON THIS SURVEY.
- ADDRESS:
- SANTAQUIN CITY, UTAH COUNTY, UTAH
- 3. SUBJECT PROPERTY HAS NO OBSERVABLE EVIDENCE OF RECENT CONSTRUCTION. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. IMPROVEMENTS SHOWN REPRESENT SITE CONDITIONS AT TIME OF SURVEY, BUT MAY BE SUBJECT TO CHANGE.
- SUBJECT PROPERTY HAS NO OBSERVABLE EVIDENCE OF CEMETERIES OR BURIAL GROUNDS.
- THE SURVEYOR RELIED ON A COMMITMENT FOR TITLE INSURANCE, COMMONWEALTH LAND TITLE INSURANCE COMPANY, FILE NO. 101763-CAF, EFFECTIVE DATE MARCH 21, 2018, AND DID NOT RESEARCH CHAIN OF TITLE OR SENIOR RIGHTS.
- 6. THE SURVEYOR MADE A PRUDENT ATTEMPT TO DISCLOSE ALL RECORD EASEMENTS SHOWN ON SAID COMMITMENT FOR TITLE INSURANCE AS WELL AS LOCATING VISIBLE UTILITY STRUCTURES AND OTHER STRUCTURES BUT DOES NOT WARRANT THEM TO BE ALL INCLUSIVE.
- 7. A PORTION OF THE PROPERTY HAS ACCESS TO 610 NORTH STREET, 530 NORTH STREET & 400 EAST STREET (PUBLIC STREETS).
- 8. NEAREST INTERSECTING STREETS SHOWN ON PLANS
- TAX PARCEL NUMBER: 29-041-0097, 29-041-0096 & 29-041-0146
- 10. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND. VISIBLE STRUCTURES AND BLUE STAKE GROUND. MARKINGS. THEREFORE LOCATIONS SHOWN HEREON ARE APPROXIMATE

# NARRATIVE:

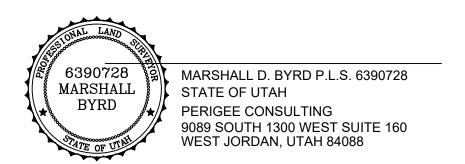
1. THE PURPOSE OF THIS SURVEY IS TO PROVIDE AN ALTA/NSPS SURVEY TO SHOW ALL IMPROVEMENTS AND STRUCTURES RELATIVE TO BOUNDARY LINES.

# SURVEYOR'S CERTIFICATE

TO: CLAYTON PROPERTIES GROUP II, INC., A COLORADO CORPORATION DBA OAKWOOD HOMES COMMONWEALTH LAND TITLE INSURANCE COMPANY

COMPLETED ON MAY 24, 2018.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 8, 9, 11, 13, 14, 16 & 20 OF TABLE A THEREOF. THE FIELD WORK WAS



# SCHEDULE "B" ITEMS

- a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- 2. Any facts, rights, interests, or claims which are not shown by the Public Records but that could be ascertained by inspection of the Land or that may be asserted by persons in possession of the Land.
- 3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
- 4. Any encroachment, encumbrance, violation, variation, of adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
- 5. a) Unpatented mining claims; b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; c) water rights, claims or title to water, whether or not the matters excepted under a), b), or c) are shown by the Public Records.
- 6. Any liens, or right to a lien, for services, labor or material theretofore or hereafter furnished, imposed by law and not shown by the Public Records.
- 7. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing the Public Records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this commitment.
- 8. Any service, installation, connection, maintenance or construction charges for sewer, water, electricity or garbage collection or disposal or other utilities
- unless shown as an existing lien by the Public Records.
- 9. Taxes for the year 2018 are accruing as a lien, not yet due and payable under Parcel No. 29-041-0097
- Taxes for 2017 are a lien past due and payable in the amount of \$113.68, plus penalties and interest under Parcel No. 29-041-0097. (affects Parcel 1)
- 10. Taxes for the year 2018 are accruing as a lien, not yet due and payable under Parcel No. 29-041-0096.
- Taxes for 2017 are a lien past due and payable in the amount of \$2,382.23, plus penalties and interest under Parcel No. 29-041-0096. (affects Parcel 2)
- 11. Taxes for the year 2018 are accruing as a lien, not yet due and payable under Parcel No. 29-041-0146.
  - Taxes for 2017 are a lien past due and payable in the amount of \$202.14, plus penalties and interest under Parcel No. 29-041-0146. (affects Parcel 3)
- 12. The herein described property is located within the boundaries of Santaquin City, Utah County, Central Utah Water Conservancy District, Wasatch Mental Health Special Service District, South Utah Valley Animal Special Service District, Santaquin Special Service District, Utah Valley Dispatch Special Service District and Santaquin SSD for Road Maintenance, and is subject to any and all charges and assessments levied thereunder.
- 13. Resolution 11-01-2004 to Create the Santaquin City, Utah Special Improvement District No. 2004-1, recorded November 22, 2004 as Entry No. 131626:2004
- 14. Notice of Impending Boundary Action Santaquin Community Development and Renewal Agency, recorded December 8, 2010 as Entry No. 106902:2010.
- Ordinance No. 11-02-2010 Approving the Creation of a Community Development and Renewal Agency, recorded December 8, 2010 as Entry No.
- 15. Minerals of whatsoever kind, subsurface and surface substances, including but not limited to coal, lignite, oil, gas, uranium, clay, rock, sand and gravel in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not appearing in the Public Records or listed in Schedule B. The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed.
- 16. Claim, right, title or interest to water or water rights whether or not shown by the public records.
- 17. Warranty Deed and Agreements for Easement and Right of Way by and between Wilber E. Shaw and Blanche B. Shaw, husband and wife and W. K. Degraffenried, also known as Willard K. Degraffenried and Ellen W. Degraffenried, husband and wife and Donald O. Armstrong and Alice Armstrong, husband and wife, dated November 23, 1955 and recorded November 26, 1955 as Entry No. 15678 in Book 698 at Page 299.
- 18. Right-of-Way Easement in favor of Santaquin City Corporation for a construction easement and perpetual easement over, across, under and through said property, recorded December 14, 1993 as Entry No. 91385 in Book 3322 at Page 294.
- 19. Right of Entry Agreement between Vern Alma Stratton and Pamela K. Stratton and Santaquin City for the construction and maintenance of a sewer line, dated February 24, 1994 and recorded February 28, 1994 as Entry No. 16466 in Book 3379 at Page 333.
- 20. Notwithstanding those items described herein-above, the land is also subject to any additional discrepancies, conflicts in the boundary lines, shortage in area, encroachments, or any other facts which an ALTA/NSPS Survey, (made in accordance with the current Minimum Standard Detail Requirements for Land Title Surveys jointly established and adopted by (ALTA) American Land Title Association and (NSPS) National Society of Professional Surveyors) may disclose.
- 21. Rights of tenants in possession, as tenants only, under unrecorded leases.
- 22. Taxes for 2017 are a lien past due and payable in the amount of \$113.68, plus penalties and interest under Parcel No. 29-041-0097. (affects Parcel 1)
  - Taxes for 2017 are a lien past due and payable in the amount of \$2,382.23, plus penalties and interest under Parcel No. 29-041-0096. (affects Parcel 2)
- Taxes for 2017 are a lien past due and payable in the amount of \$202.14, plus penalties and interest under Parcel No. 29-041-0146. (affects Parcel 3)

# SCHEDULE "B" NOTES

ITEMS 1-16: INFORMATION / BLANKET

ITEM 17: AFFECTS - PLOTTED, SHOWN ON SHEET 2

ITEM 18: AFFECTS - PLOTTED, SHOWN ON SHEET 2

ITEM 19: AFFECTS - PLOTTED, SHOWN ON SHEET 2 - RECORDED DOCUMENT APPEARS TO CONTAIN A TYPOGRAPHICAL ERROR. THE RECORDED DESCRIPTION IS INCONSISTANT WITH THE APPARENT INTENT OF THE EASEMENT SHOWN IN THE RECORDED EXHIBIT. EASEMENT DEPICTED HEREON, SURVEYOR CHANGED THE FIRST CALL FROM

NORTH 87°43'37" WEST TO NORTH 87°43'37" EAST, WHICH MATCHED A PORTION OF THE SEWER IMPROVEMENTS

FOUND IN THE FIELD. TITLE TO CONFIRM ITEM 20: AFFECTS PER TITLE REPORT, BLANKET

AFFECTS PER TITLE REPORT, NOT SURVEY RELATED ITEM 21:

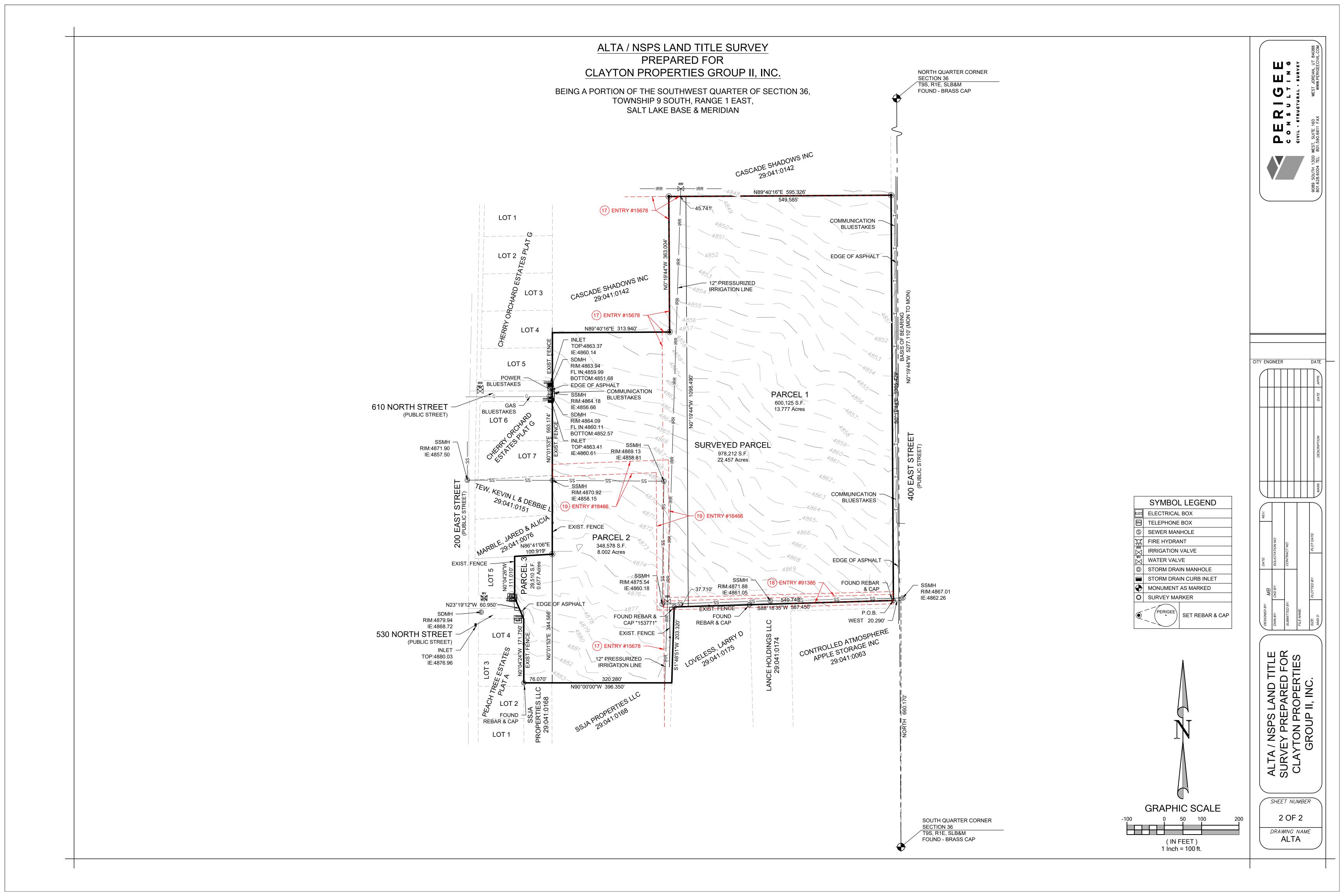
ITEM 22: AFFECTS PER TITLE REPORT, NOT SURVEY RELATED Що M » **D** "

CITY ENGINEER

PROI JP II,

SHEET NUMBER 1 OF 2

DRAWING NAME COVER



# LOT 301 302 303 304 305 306 307 308 309 310 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 333 334 335 336

*ADDRESSES* 

# BELLA VISTA SUBDIVISION PHASE 3

PROJECT LOCATED IN THE WEST HALF OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST

SALT LAKE BASE AND MERIDIAN

SANTAQUIN CITY, UTAH COUNTY, UTAH

		CU	RVE TABL	.E	
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C102	23.56'	15.00'	21.21'	N45°00'02"W	89°59'57"
C103	26.18'	15.00'	22.98'	S49°59'58"W	100°00'03"
C104	23.56'	15.00'	21.21'	S45°00'03"E	90°00'00"
C108	82.00'	60.00'	75.77'	S11°01'51"E	78"18'23"
C109	23.56'	15.00'	21.21'	S44°59'57"W	90°00'00"
C110	23.47'	15.00'	21.15'	N45°10'10"W	89°39'47"
C111	4.86'	15.00'	4.84'	S18°50'25"W	18 <b>°</b> 33'52"
C112	2.59'	15.00'	2.59'	S4°36'36"W	9°53'45"
C113	23.82'	15.00'	21.40'	S45°30'02"E	90°59'58"
C114	23.30'	15.00'	21.03'	N44°29'58"E	89°00'02"
C115	23.82'	15.00'	21.40'	N45°30'02"W	90°59'58"
C116	23.30'	15.00'	21.03'	S44*29'58"W	89'00'02"
C117	23.87'	15.09'	21.46'	N46°00'01"W	90°39'45"
C118	23.39'	15.00'	21.09'	S44°19'51"W	89°20'15"
C119	23.74'	15.00'	21.34'	S45°40'09"E	90°39'45"
C120	23.39'	15.00'	21.09'	N44°19'51"E	89°20'15"
C121	23.39'	15.00'	21.09'	N44°19'51"E	89°20'15"
C122	23.74'	15.00'	21.34'	N45°40'09"W	90°39'45"
C123	33.81'	300.00'	33.79'	N86°46'18"W	6°27'25"
C124	18.55'	300.00'	18.55'	N81°46'18"W	3°32'35"
C125	54.05'	300.00'	53.98'	S85°09'42"E	10°19'23"
C126	14.16'	15.00'	13.64'	N62°57'34"E	54°04'45"

21.21

COUNTY OF

FOR AND IN BEHALF OF \_\_\_\_\_

MY COMMISSION EXPIRES\_\_\_\_\_

TYPICAL LOT P.U.E. DETAILS

1) 10 FEET PUE FRONT AND STREET SIDES.

TYPICAL LOT SETBACK DETAILS

2) 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES.

STATE OF UTAH

N45°06'58"E | 18°23'32"

N87°56'10"W 75°30'14"

S45°19'50"E 89°59'57"

NEBO SCHOOL DISTRICT ACKNOWLEDGMENT

NOTARY PUBLIC

- <del>-5</del>' --- U.E. --- ---

INTERIOR

ROADWAY

NOT TO SCALE

STATE OF UTAH

INTERIOR AND CORNER LOTS

UNLESS OTHERWISE NOTED ON PLAT

RESIDING IN\_\_\_\_\_COUNTY

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED

WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE

FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

# PRELIMINARY PLAT

# SANTAQUÍN

VICINITY MAP

# SURVEYOR'S CERTIFICATE

AND THAT I HOLD LICENSE NO. UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND PLAT IS <u>BELLA VISTA SUBDIVISION PHASE 3,</u> SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY

# **BOUNDARY DESCRIPTION**

Beginning at a point that is North 89°32'33" East, 2,038.92 feet along the quarter section line and N 00°00'03" W 447.82 feet from the West Quarter Corner of Section 36. Township 9 South, Range 1 East, Salt Lake Base and Meridian and commencing East 119.26 feet to a point on a 331.00' radius curve to the right, thence along arc of said curve 57.77' through a delta of 10°00'00" (chord bears S 85°00'00" E 57.70 feet) thence S 80°00'00" E 169.62 feet to a point on a 269.00' radius curve to the left, thence along arc of said curve 48.47' through a delta of 85°09'42" (chord bears S 85°00'00" E 42.40 feet), thence S 89°40'37" E 15.42 feet, thence S 01°19'44" E 62.02 feet, thence N 89°40'16" E 181.50 feet, thence S 01°19'44" E 970.32 feet, thence S 89°39'44" W 124.88 feet, thence N 78°40'24" W 59.22 feet, thence N 89°48'51" W 229.90 feet, thence S 83.35'12" W 58.37 feet, thence S 88°59'59" W 113.77 feet, thence N 01°00'01" W 100.00 feet, thence N 07°35'03" W 64.42 feet, thence N 0°00'03" W 902.78 feet to the point of beginning.

Parcel contains 13.87 acres and 37 lots.

PRELIMINARY ONLY
DATE:

# OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HERON FOR THE PERPETUAL USE OF THE PUBLIC.

WITNESS	HEREOF	WE	HAVE	HEREUNTO	SET	OUR	HANDS	THIS	
Y OF			, A.]	D. 20					

BOARD OF EDUCATION NEBO SCHOOL DISTRICT

STRATTON ACRES LLC

ANDY FLAMM (MANAGER)

CASCADE SHADOWS INC. KIMBALL STRATTON (MANAGER)

# BELLA VISTA SUBDIVISION PHASE 3

A SINGLE FAMILY PROJECT LOCATED IN THE WEST HALF OF SECTION 36. TOWNSHIP 1 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN, COUNTHE DEDICATION OF ALL STREETS, EASE LAND INTENDED FOR PUBLIC PURPOSES PUBLIC THIS DAY OF	EMENTS, AND OTHER PARCELS OF FOR THE
APPROVED BY MAYOR	
APPROVEDCITY ENGINEER (SEE SEAL BELOW)	ATTEST  CLERK-RECORDER (SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_ A.D. 20\_\_ BY THE SANTAQUIN CITY PLANNING COMMISSION.

CHAIRPERSON, PLANNING COMMISSION  $\overline{ ext{DATE}}$ 

DIRECTOR, SECRETARY

CITY CLERK SEAL SURVEYORS SEAL CITY ENGINEER SEAL

SHEET NO

- ( TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNÈRS. NAIL AND BRASS WASHÉR TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
- NDCBU NEIGHBORHOOD DELIVERY BOX UNIT. ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS. WHICH MAY IMPACT HOME ORIENTATION.
- AGRICULTURE PROTECTION AREA THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND

# **ROCKY MOUNTAIN POWER**

337

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN. 2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION, ROCKY MOUNTAIN POWER MAY REQUIRE OTHER FASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN

POWER HAS UNDER: a. A RECORDED EASEMENT OR RIGHT-OF-WAY b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS c. TITLE 54, CHAPTER 8a, DAMAGE TO

UNDERGROUND UTILITY FACILITIES OR

Approved this \_\_\_\_\_ day of \_\_\_\_\_20\_\_\_

ROCKY MOUNTAIN POWER

d. ANY OTHER PROVISION OF LAW

# DOMINION ENERGY QUESTAR CORPORATION

C127

19.26' 60.00'

C128 79.07' 60.00'

C129 23.56' 15.00'

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS, DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDE BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532. Approved this \_\_\_\_\_ day of\_\_\_\_\_ 20\_\_\_\_ QUESTAR GAS COMPANY

# **CENTRACOM ACCEPTANCE**

CEN	ITURY LINK ACCEPTANO	`F
BY	TITLE	
APPROVED THISCENTRACOM COMPANY	DAY OF	, A.D. 20

APPROVED THIS \_\_\_\_\_\_DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ CENTURY LINK COMPANY

BY-\_\_\_\_\_TITLE\_\_\_\_\_

		<u> </u>
	10' SETBACK 10' SETBACK 10' SETBACK 10' SETBACK 10' SETBACK 10' SETBACK	25' SETBACK
30' SETBACK	20' TOTAL   ROADWAY	
	INTERIOR AND CORNER LO UNLESS OTHERWISE NOTED ON PLA	

10' TOTAL PUE ---

1) 30FT FRONT SETBACK 2) 25FT REAR SETBACK 3) 10FT SIDE LOT SETBACK NOT TO SCALE

SCHOOL BOARD ACKNOWLEDGMENT STATE OF UTAH

COUNTY OF S.S. ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED

FOR AND IN BEHALF OF \_\_\_\_\_\_ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES\_\_\_\_\_

CASCADE SHADOWS INC. ACKNOWLEDGMENT STATE OF UTAH COUNTY OF S.S. ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_, PERSONALLY APPEARED

FOR AND IN BEHALF OF \_\_\_\_\_\_, WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE

FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME. MY COMMISSION EXPIRES\_\_\_\_\_

STRATTON ACKNOWLEDGMENT

COUNTY OF	5.5.	
N THE DAY OF	, 20,	PERSONALLY APPEARED
EFORE ME		,
OR AND IN BEHALF OF		,

WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES\_\_\_\_\_ NOTARY PUBLIC RESIDING IN\_

COUNTY RECORDER

\_COUNTY

NOTARY PUBLIC

RESIDING IN\_\_\_\_\_COUNTY

PH: (801) 694-5848 paul@gatewayconsultingllc.com

SURVEYOR OF RECORD:

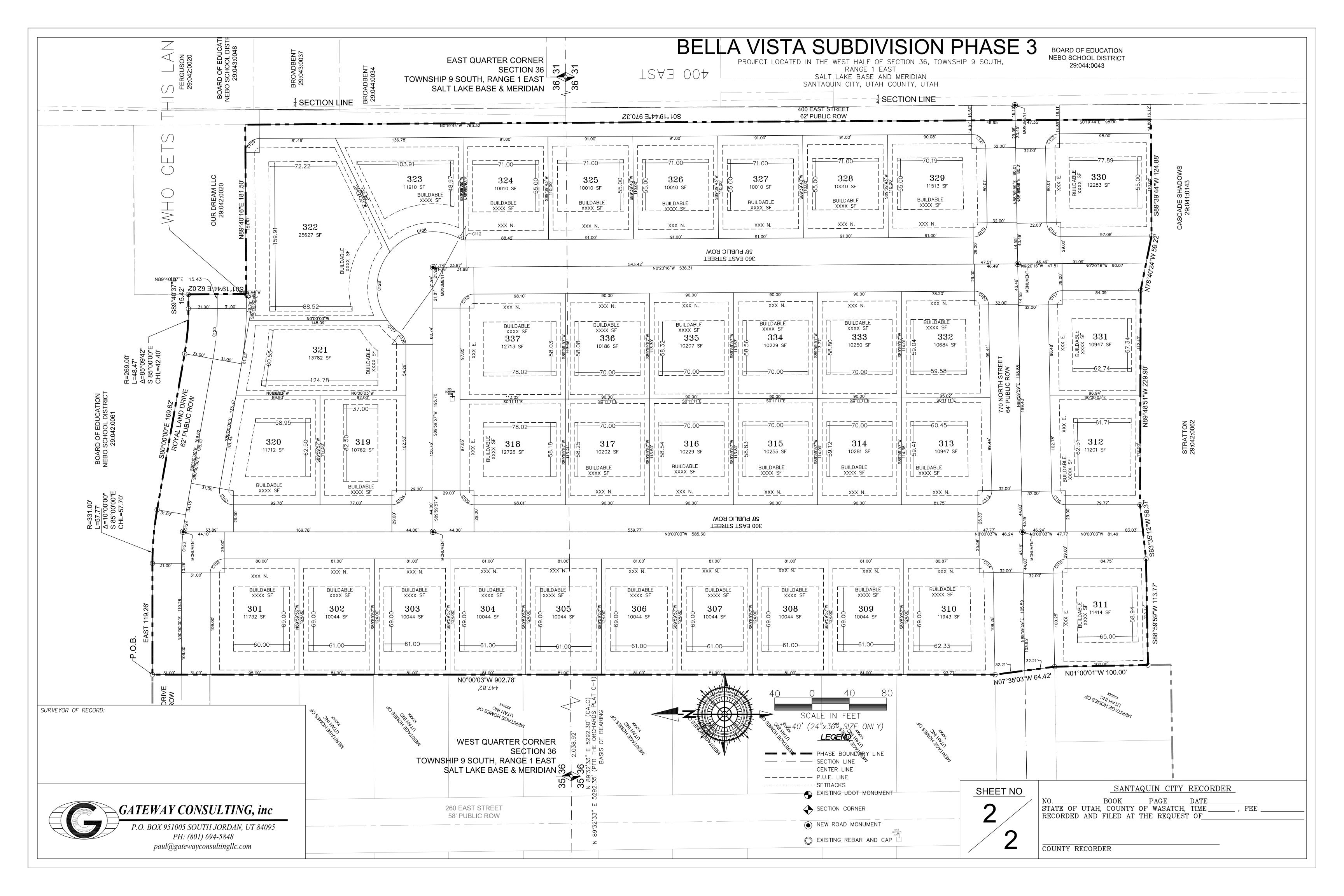
PROJECT ENGINEER: GATEWAY CONSULTING, inc P.O. BOX 951005 SOUTH JORDAN, UT 84095

COUNTY RECORDER SEAL

UTAH	COUNTY	RECORDER		
K	PAGE	DATE		
JNTY C	F WASATC	H. TIME	. FEE	

STATE OF UTAH, COU RECORDED AND FILED AT THE REQUEST OF

Date 1-17-2025 File: PPLAT STRATTON MEADOW



# *ADDRESSES* LOT 401 402 403 404 405 406 407 408 409 410 412 413 414 415 416 417 418

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423 424

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432

# BELLA VISTA SUBDIVISION PHASE 4

OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN SANTAQUIN CITY, UTAH COUNTY, UTAH

# PRELIMINARY PLAT

TEAR TO THE TEAR T
BRIGHAN LOGAN &
GREAT SALT SALT LAKE
NEWFOLHOLAND PLANOR BASIN WYOMING
FLAMING GORGE RESERVOIR FLAMING GORGE NEW JOHN
DINOSAUR TRANSPORT
NEPHI DO DE LECT
DELTA SINGLE STATE OF THE STATE
ARCHE III
CANYON LANDS TO MOAB
AFAMER PARTY FOR THE PARTY FOR
A PARTICIAL TO THE PARTICIAL THE PARTICIAL TO THE PARTICI
BOULDER TO THE PANGITCH TO THE
BLANDING BLANDING
ST. GEORGE KANAB (8) CANYON PRIDE (8) ST. GEORGE
ARIZONA
<u>VICINITY MAP</u>

# SANTAQUÍN

VICINITY MAP

# PRELIMINARY ONLY DATE:

SURVEYOR'S CERTIFICATE

PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE

PLAT IS <u>BELLA VISTA SUBDIVISION PHASE 4,</u> SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN

RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY

**BOUNDARY DESCRIPTION** 

Beginning at a point that is North 89°32'33" East, 1887.91 feet along the quarter section line and

South 644.95 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East,

Salt Lake Base and Meridian and commencing N 88°59'59" E 161.72 feet, thence N 01°00'01" W 24.53 feet, thence N 88°59'59"E 113.77 feet, thence N 83°35'12" E 58.37 feet, thence S 89°48'51"

47°53'32" W 78.18 feet, thence West 250.00 feet, thence N 89°39'15" W 58.00 feet, thence N

89°58'04" W 127.01 feet, thence N 00°01'56" E 279.25 feet, thence N 00°01'53" E 362.01 feet

thence 89°19'18" E 156.57 feet, thence N 89°40'16" E 5.90 feet, thence N 00°40'59"W 238.01

E 117.50 feet, thence S 00°00'03" E 864.62 feet, thence S 89°59'57" W 117.50', thence S

UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22,

OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBÉD BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL

DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM

ME ON THE GROUND.

Parcel contains 11.51 acres and 32 lots.

AND THAT I HOLD LICENSE NO. \_\_\_

# OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HERON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS HEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_\_

> BELLA VISTA SANTAQUIN LLC KIMBALL STRATTON (MANAGER)

STRATTON ACRES LLC KIMBALL STRATTON (MANAGER)

# **ROCKY MOUNTAIN POWER**

PROJECTION OF SIDE LOT LINES.

AGRICULTURE PROTECTION AREA

NDCBU - NEIGHBORHOOD DELIVERY BOX UNIT.

VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN. 2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION, ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:

a. A RECORDED EASEMENT OR RIGHT-OF-WAY b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR

ROCKY MOUNTAIN POWER

d. ANY OTHER PROVISION OF LAW

Approved this \_\_\_\_\_ day of \_\_\_\_\_20\_\_\_

# **DOMINION ENERGY** QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS, DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDE BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532. Approved this \_\_\_\_\_ day of\_\_\_\_\_ QUESTAR GAS COMPANY

Ву
Title

# CENTRACOM ACCEPTANCE

TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE

SET AT ALL LOT CORNÈRS. NAIL AND BRASS WASHÉR TO BE SET IN TOP OF CURB @

ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE

THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE

SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR

PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH

AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON

PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT

OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND

\_\_\_\_\_\_DAY OF \_\_\_\_\_\_, A.D. 20\_\_\_\_\_ BY-\_\_\_\_\_\_TITLE\_\_\_\_\_

# CENTURY LINK ACCEPTANCE

APPROVED THIS \_\_\_\_\_\_DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_\_
CENTURY LINK COMPANY BY-\_\_\_\_\_TITLE\_\_\_\_\_

# NEBO SCHOOL DISTRICT ACKNOWLEDGMENT STATE OF UTAH COUNTY OF ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_, PERSONALLY APPEARED BEFORE ME\_ FOR AND IN BEHALF OF \_\_\_\_\_\_ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME. MY COMMISSION EXPIRES\_\_\_\_\_ NOTARY PUBLIC RESIDING IN\_\_\_\_\_COUNTY

CURVE TABLE

CURVE | LENGTH | RADIUS | CHORD DIST. | CHORD BRG. | DELTA

21.22'

21.21'

13.64

73.54

61.32

21.21

13.64

45.92'

13.64

21.21'

21.21

1) 30FT FRONT SETBACK 2) 25FT REAR SETBACK 3) 10FT SIDE LOT SETBACK

N45°00'28"W 90°00'50"

N44°59'05"E 89°59'10"

S63°51'33"E | 55°53'37"

N50°23'50"E 75°35'38"

N18°07'55"W 61°27'52"

N77°35'28"W 57°27'13"

S54°48'21"W 37°45'10"

S62°57'26"W 54°03'21"

N44°59'58"E 90°00'03"

S62°57'37"E 54°04'45"

N0°00'00"W 63°23'37"

N65°23'17"W 67°22'56"

S58°25'15"W 45°00'01"

S62°57'37"W 54°04'45"

N45°00'02"W 89°59'57"

N44°59'58"E 90°00'03"

N45°00'02"W | 89°59'57"

S44°59'58"W 90°00'03"

N45°00'02"W 89°59'57"

S58°27'48"E

N65°20'44"E

54°06'09"

45°05'06"

S62°57'49"E

15.00'

15.00'

15.00'

60.00'

60.00'

60.00'

60.00'

15.00'

15.00'

15.00'

60.00'

60.00'

60.00'

15.00'

15.00'

15.00'

15.00'

15.00'

15.00'

C130 23.57'

C131 23.56'

C134 79.16'

C137 | 39.53'

C142 70.47'

C147 23.56'

C148 | 23.56'

C150 | 23.56'

C151 23.56'

C138

C140

C144

14.16'

58.53'

C135 | 64.37' | 60.00'

14.15'

23.56'

14.16'

47.21'

C143 | 66.39' | 60.00'

70.56'

C145 | 47.12' | 60.00'

14.16'

23.56'

TYPICAL LOT P.U.E. DETAILS	
10' P.U.E.  CORNER LOT PAI LOT PAI LOT POI ROADWAY 10' TOTAL PUE  10' FRONT P.U.E.	ST OI BI F( W
INTERIOR AND CORNER LOTS UNLESS OTHERWISE NOTED ON PLAT  NOTES:  1) 10 FEET PUE FRONT AND STREET SIDES. 2) 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES.	М
NOT TO SCALE	
TYPICAL LOT SETBACK DETAILS	ST
25' SETBACK DETAILS  CORNER   VOVER   STRUCK   S	ON BE FC WI FC
30' SETBACK ROADWAY 30' SETBACK	

INTERIOR AND CORNER LOTS
UNLESS OTHERWISE NOTED ON PLAT

NOT TO SCALE

BELLA VISTA SANTAQUIN LLC. ACKNOWLEDGMENT	
E OF UTAH COUNTY OF S.S.	SURVEYOR OF RECORD:
THE DAY OF, 20, PERSONALLY APPEARED ORE ME, , ,	
AND IN BEHALF OF,	
BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE EGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.	
COMMISSION EXPIRES	
NOTARY PUBLIC  RESIDING INCOUNTY	
STRATTON ACRES LLC ACKNOWLEDGMENT	
E OF UTAH COUNTY OF S.S.	
THE DAY OF, 20, PERSONALLY APPEARED ORE ME, , ,	PROJECT ENGINEER:
AND IN BEHALF OF,	GATEWAY CONSUL
BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE EGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.	P.O. BOX 951005 SOUTH JC PH: (801) 694-5
COMMISSION EXPIRES	paul@gatewayconsult
COMMISSION EXPIRESNOTARY PUBLIC  RESIDING INCOUNTY	
UTAH COUNTY RECORDER	COUNTY RECO

NO. \_\_\_\_BOOK\_\_PAGE\_\_DATE\_\_\_STATE OF UTAH, COUNTY OF WASATCH, TIME\_\_\_\_, FEE

RECORDED AND FILED AT THE REQUEST OF

COUNTY RECORDER

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	PROJECT ENGINEER:			APPROVE	ľΣ
	GATEWAY CONSULTING, inc			APPROVE	
	P.O. BOX 951005 SOUTH JORDAN, UT 84095 PH: (801) 694-5848			SANTAQU	
_	paul@gatewayconsultingllc.com			DIRECTO	
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		ACCEPTANCE	BY LI	EGISLATIVE	BODY	,	
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	APPROVE	D BY MAYOR					
	APPROVE	CITY ENGINEEI		ATTEST _	-	LERK-RECORDER SEE SEAL BELOW)	
		(SEE SEAL BELOW)		ICION ADD	<u>`</u>	SEE SEAL DELOW)	
	ADDDAM	PLANNING C				DV MIID	
		D THIS DAY IN CITY PLANNING COMM		A. D.	20	BY THE	
	CHAIRPE	RSON, PLANNING COMMIS	SION	DATE			
	DIRECTOR	R, SECRETARY		DATE			
LERK	SEAL	SURVEYORS SEAL	CITY	ENGINEER	SEAL		

BELLA VISTA SUBDIVISION PHASE 4

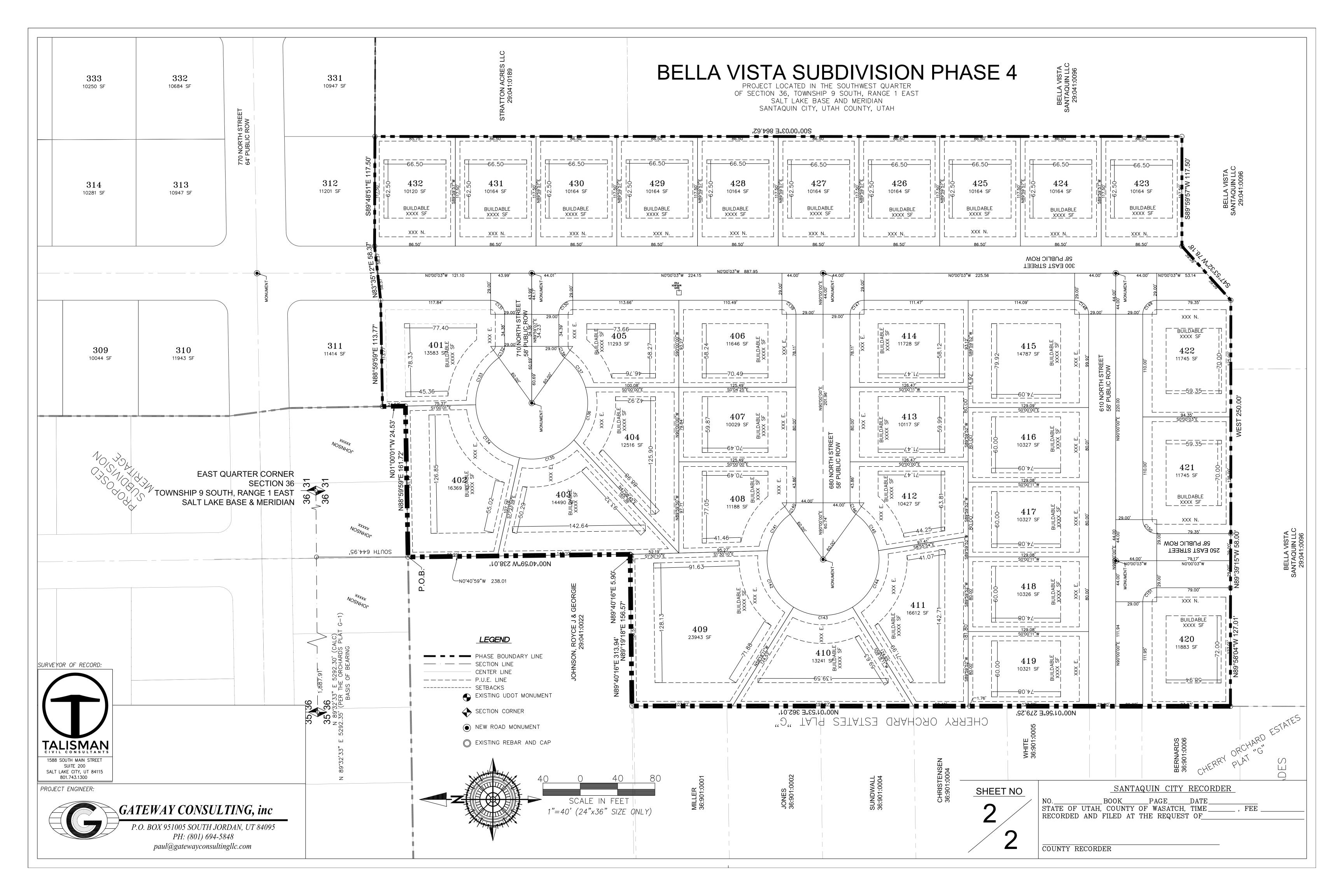
A SINGLE FAMILY PROJECT LOCATED IN THE SOUTHWEST QUARTER OF

SECTION 36,

TOWNSHIP 9 SOUTH, RANGE 1 EAST

SHEET NO	
1 /	
/ 2	

Date 1-17-2025 File: PPLAT STRATTON MEADOW



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# BELLA VISTA SUBDIVISION PHASE 5

OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN SANTAQUIN CITY, UTAH COUNTY, UTAH

# PRELIMINARY PLAT

		CU	rve tabl	E	
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C152	24.00'	15.00'	21.52'	S45°50'44"E	91°41'22"
C153	22.34'	15.00'	20.33'	N42°39'39"E	85°19'25"
C154	27.54'	271.00'	27.53'	S85°23'55"W	5*49'21"
C156	23.12'	15.00'	20.90'	N44°09'16"E	88'18'38"
C157	24.00'	15.00'	21.52'	S45°50'44"E	91°41'22"
C158	16.28'	329.00'	16.28'	N83°54'18"E	2*50'07"
C159	35.06'	270.00'	35.03'	N86°12'26"E	7°26'23"
C160	42.59'	328.00'	42.56'	N86°12'25"E	7°26'24"
C162	38.82'	299.00'	38.80'	N86°12'26"E	7°26'23"
C163	42.59'	328.00'	42.56'	N86°12'25"E	7°26'24"
C164	27.54	271.00'	27.53'	N85°23'55"E	5°49'21"
C165	30.49'	300.00'	30.47'	N85°23'55"E	5°49'21"
C166	35.06'	270.00'	35.03'	N86°12'26"E	7°26'23"
C167	16.28'	329.00'	16.28'	N83°54'18"E	2°50'07"
C168	14.85'	300.00'	14.84'	N83°54'18"E	2°50'07"
C169	15.64'	300.00'	15.64'	N86°48'58"E	2°59'14"

- TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES. NDCBU - NEIGHBORHOOD DELIVERY BOX UNIT.
- ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
- AGRICULTURE PROTECTION AREA THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND

# **ROCKY MOUNTAIN POWER**

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN. 2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION, ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN

POWER HAS UNDER: a. A RECORDED EASEMENT OR RIGHT-OF-WAY b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR

Approved this \_\_\_\_\_ day of \_\_\_\_\_20\_\_\_

ROCKY MOUNTAIN POWER

d. ANY OTHER PROVISION OF LAW

# DOMINION ENERGY QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS, DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDE BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532. Approved this \_\_\_\_\_ day of\_\_\_\_ 20\_\_\_\_ QUESTAR GAS COMPANY

# **CENTRACOM ACCEPTANCE**

APPROVED THIS \_\_\_\_\_\_DAY OF \_\_\_\_\_\_, A.D. 20\_\_\_\_\_ BY-\_\_\_\_\_TITLE\_\_\_\_\_

# CENTURY LINK ACCEPTANCE

APPROVED THISCENTURY LINK COMPANY	DAY OF	, A.D. 20
BY	TITLE	

NEBO SCHOOL DISTRICT	ACKNOWLEDGMENT
STATE OF UTAH COUNTY OF S.S.	
ON THE, 2 BEFORE ME, 2	•
FOR AND IN BEHALF OF	
WHO BEING BY ME DULY SWORN, DID SAY THAT (S	• • • • • • • • • • • • • • • • • • • •
FOREGOING INSTRUMENT, AND THAT THE (S)HE EX	ECUTED THE SAME.
MY COMMISSION EXPIRES	
	NOTARY PUBLIC
	RESIDING INCOUNTY

TYPICAL LOT P.U.E. DETAILS	
10' P.U.E.	S
LOT BB INTERIOR B	
10' TOTAL PUE ROADWAY 10' FRONT P.U.E.	
INTERIOR AND CORNER LOTS UNLESS OTHERWISE NOTED ON PLAT	

1) 10 FEET PUE FRONT AND STREET SIDES. 2) 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES.

3) 10FT SIDE LOT SETBACK

TYPICAL LOT SETBACK DETAILS INTERIOR 30' SETBACK-ROADWAY

NOT TO SCALE

NOT TO SCALE

INTERIOR AND CORNER LOTS
UNLESS OTHERWISE NOTED ON PLAT 1) 30FT FRONT SETBACK 2) 25FT REAR SETBACK

# CASCADE SHADOWS INC. ACKNOWLEDGMENT STATE OF UTAH COUNTY OF ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED FOR AND IN BEHALF OF \_\_\_\_\_\_, WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE

FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES\_\_\_\_\_ RESIDING IN\_\_\_\_\_COUNTY

> PROJECT ENGINEER: PH: (801) 694-5848 paul@gatewayconsultingllc.com

SURVEYOR OF RECORD:

# GATEWAY CONSULTING, inc

COUNTY RECORDER SEAL

VICINITY MAP

VICINITY MAP

UTAH COUNTY RECORDER \_BOOK\_\_\_\_PAGE\_\_\_DATE\_ STATE OF UTAH, COUNTY OF WASATCH, TIME \_\_\_\_\_, FEE RECORDED AND FILED AT THE REQUEST OF COUNTY RECORDER

# SURVEYOR'S CERTIFICATE

AND THAT I HOLD LICENSE NO. . UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S). I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBÉD BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL PLAT IS <u>BELLA VISTA SUBDIVISION PHASE 5,</u> SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

# **BOUNDARY DESCRIPTION**

Beginning at a point that is North 89°32'33" East 1,727.93 feet along the quarter section line and South 1,524.81 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and commencing S 89°58'04" E 127.01 feet, thence S 89°39'15" E 58.00 feet, thence East 250.00 feet, thence N 47°53'32" E 78.18 feet, thence N 89°58'57" E 117.50 feet, thence S 00°00'03" E 346.00 feet, thence S 01°00'42" E 152.88 feet, thence S 88°18'35" W 286.98 feet, thence S 1°48'51" W 203.32 feet, thence West 396.35 feet, thence N 0°04'24" W 171.75 feet, thence 23°19'12" W 60.95 feet, thence N 0°04'26" W 111.01 feet, thence N 86°41'06" E 100.92 feet, thence N 0°01'56" E 313.97 feet to the point of beginning. Phase contain 8.72 ac and 26 lots.



# OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HERON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS	HEREOF V	WE HAVE	HEREUNTO	SET OUI	R HANDS	THIS	
DAY OF		, A. I	D. 20				

BELLA VISTA SANTAQUIN LLC KIMBALL STRATTON (MANAGER)

# BELLA VISTA SUBDIVISION PHASE 5

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTHWEST QUARTER OF SECTION 36,

TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN, COUNTHE DEDICATION OF ALL STREETS, EASE LAND INTENDED FOR PUBLIC PURPOSES PUBLIC THIS DAY OF	MENTS, AND OTHER PARCELS OF FOR THE PERPETUAL USE OF THE
APPROVED BY MAYOR	
APPROVEDCITY ENGINEER (SEE SEAL BELOW)	ATTEST  CLERK-RECORDER (SEE SEAL BELOW)
PLANNING COMMIS	SSION APPROVAL
APPROVED THIS DAY OF	A.D. 20 BY THE

SANTAQUIN CITY PLANNING COMMISSION.

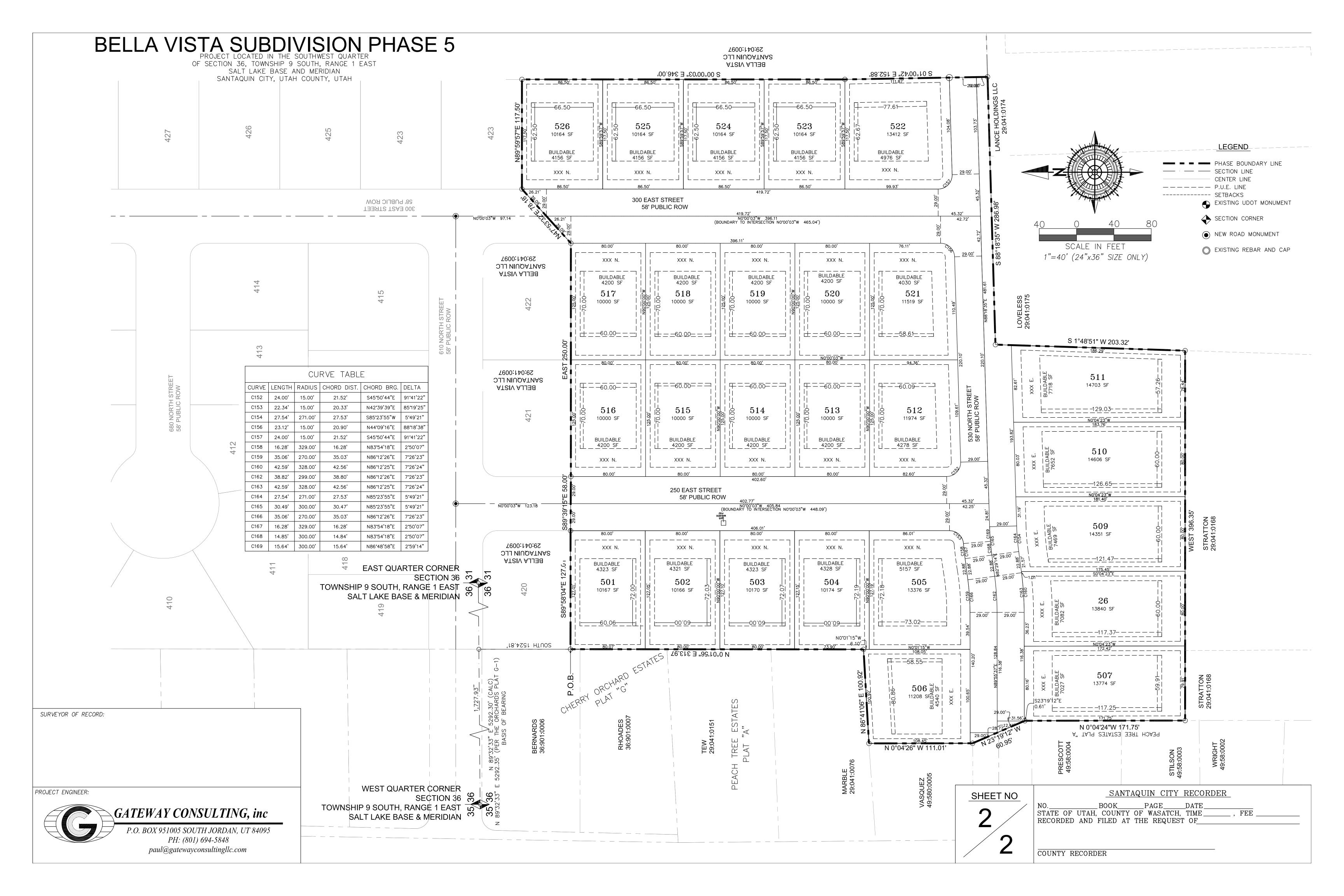
CHAIRPERSON, PLANNING COMMISSION DATE

DIRECTOR, SECRETARY

SURVEYORS SEAL CITY ENGINEER SEAL CITY CLERK SEAL

SHEET NO

Date 1–17–25 File: PPLAT BELLA VISTA

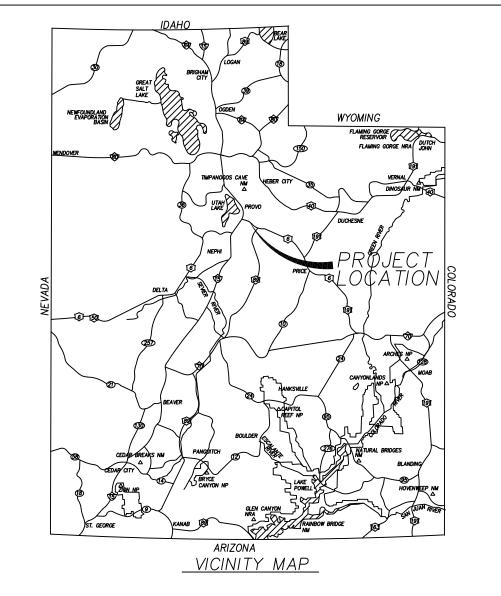


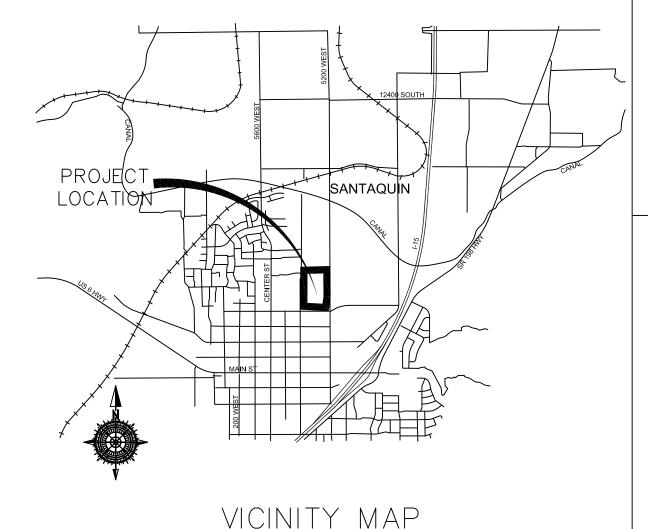
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# BELLA VISTA SUBDIVISION PHASE 6

OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN SANTAQUIN CITY, UTAH COUNTY, UTAH

# PRELIMINARY PLAT





# SURVEYOR'S CERTIFICATE

AND THAT I HOLD LICENSE NO. \_\_\_\_ UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE PLAT IS <u>BELLA VISTA SUBDIVISION PHASE 6,</u> SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY

# BOUNDARY DESCRIPTION

Beginning at a point that is North 89°32'33" East 2,338.44 feet along the quarter section line and South 613.07 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and commencing S 89°48'51" E 112.40 feet, thence S 78°40'24" E 59.22 feet, thence N 89°39'44" E 124.88 feet, thence S 0°19'44" E 1,343.37 feet, thence S 88°18'35" W 300.47 feet, thence N 01°00'42" W 152.88 feet, thence N 0°00'03" W 346.00 feet, thence N 0°00'03" W 864.62 feet to the point of beginning.

Parcel contains 29 lots and 9.29 acres.



# OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS. EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HERON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS HEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_\_

STRATTON ACRES LLC

ANDY FLAMM (MANAGER)

BELLA VISTA SANTAQUIN LLC KIMBALL STRATTON (MANAGER)

# BELLA VISTA SUBDIVISION PHASE 6

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTHWEST QUARTER OF SECTION 36,

> TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN.

# ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, HEARBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_ A.D. 20\_\_\_.

APPROVED BY MAYOR

CITY ENGINEER (SEE SEAL BELOW)

CLERK-RECORDER

# PLANNING COMMISSION APPROVAL

\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_ BY THE APPROVED THIS \_ SANTAQUIN CITY PLANNING COMMISSION.

CHAIRPERSON, PLANNING COMMISSION

DIRECTOR, SECRETARY

CITY CLERK SEAL

SURVEYORS SEAL CITY ENGINEER SEAL

SHEET NO

- TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
- NDCBU NEIGHBORHOOD DELIVERY BOX UNIT. ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
- AGRICULTURE PROTECTION AREA THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND

# **ROCKY MOUNTAIN POWER**

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN. 2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION, ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL

DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER: a. A RECORDED EASEMENT OR RIGHT-OF-WAY b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS

Approved this \_\_\_\_\_ day of \_\_\_\_\_20\_\_\_

ROCKY MOUNTAIN POWER

d. ANY OTHER PROVISION OF LAW

c. TITLE 54, CHAPTER 8a, DAMAGE TO

UNDERGROUND UTILITY FACILITIES OR

# **DOMINION ENERGY** QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS, DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDE BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532. Approved this \_\_\_\_\_ day of\_\_\_\_\_

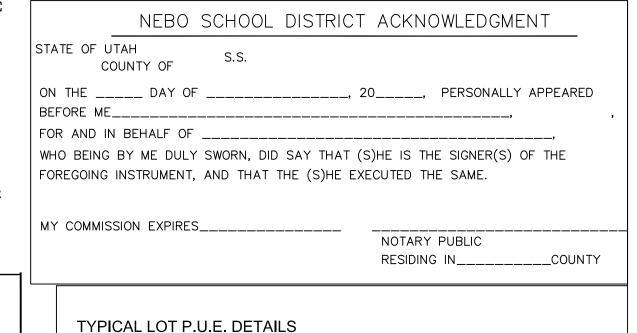
QUESTAR GAS COMPANY

# **CENTRACOM ACCEPTANCE**

APPROVED THISCENTRACOM COMPANY	DAY OF	, A.D. 20
BY	TITLE_	

# CENTURY LINK ACCEPTANCE

CLIN	TORT LINK ACCLITANCE	
APPROVED THISCENTURY LINK COMPANY	DAY OF,	A.D. 20
BY	TITLE	



10' P.U.E.  CORNER LOT LOT LOT LOT 10' P.U.E.  ROADWAY 10' TOTAL PUE 10' FRONT P.U.E.	
INTERIOR AND CORNER LOTS  UNLESS OTHERWISE NOTED ON PLAT  NOTES:  1) 10 FEET PUE FRONT AND STREET SIDES.	
2) 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES.	
NOT TO SCALE	
TYPICAL LOT SETBACK DETAILS	

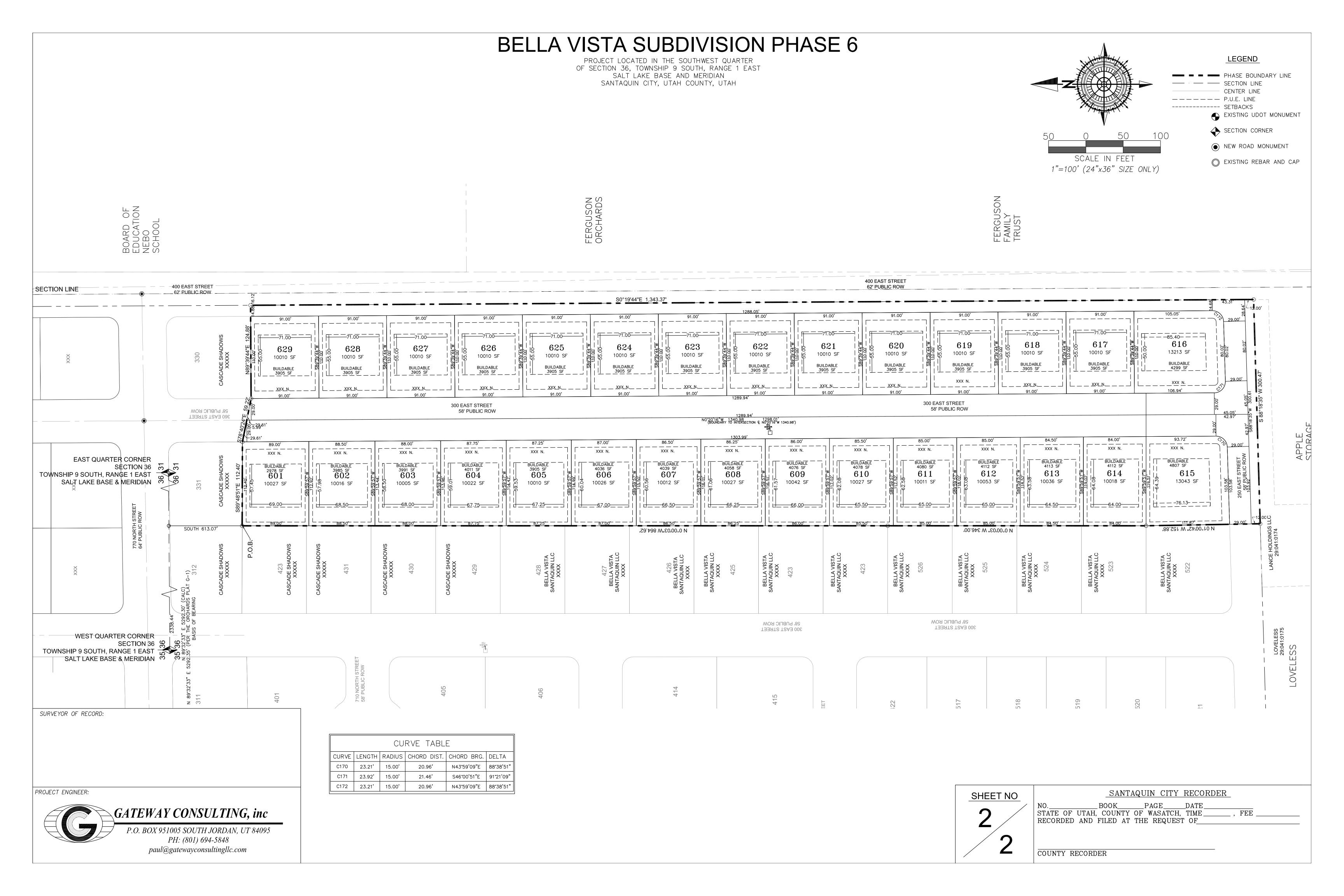
2) 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES.	
NOT TO SCALE	
TYPICAL LOT SETBACK DETAILS	3
25' SETBACK CORNER INTERIOR IN	
30' SETBACK—/ 20' TOTAL ROADWAY 30' SETBACK	
INTERIOR AND CORNER LOTS UNLESS OTHERWISE NOTED ON PLAT	

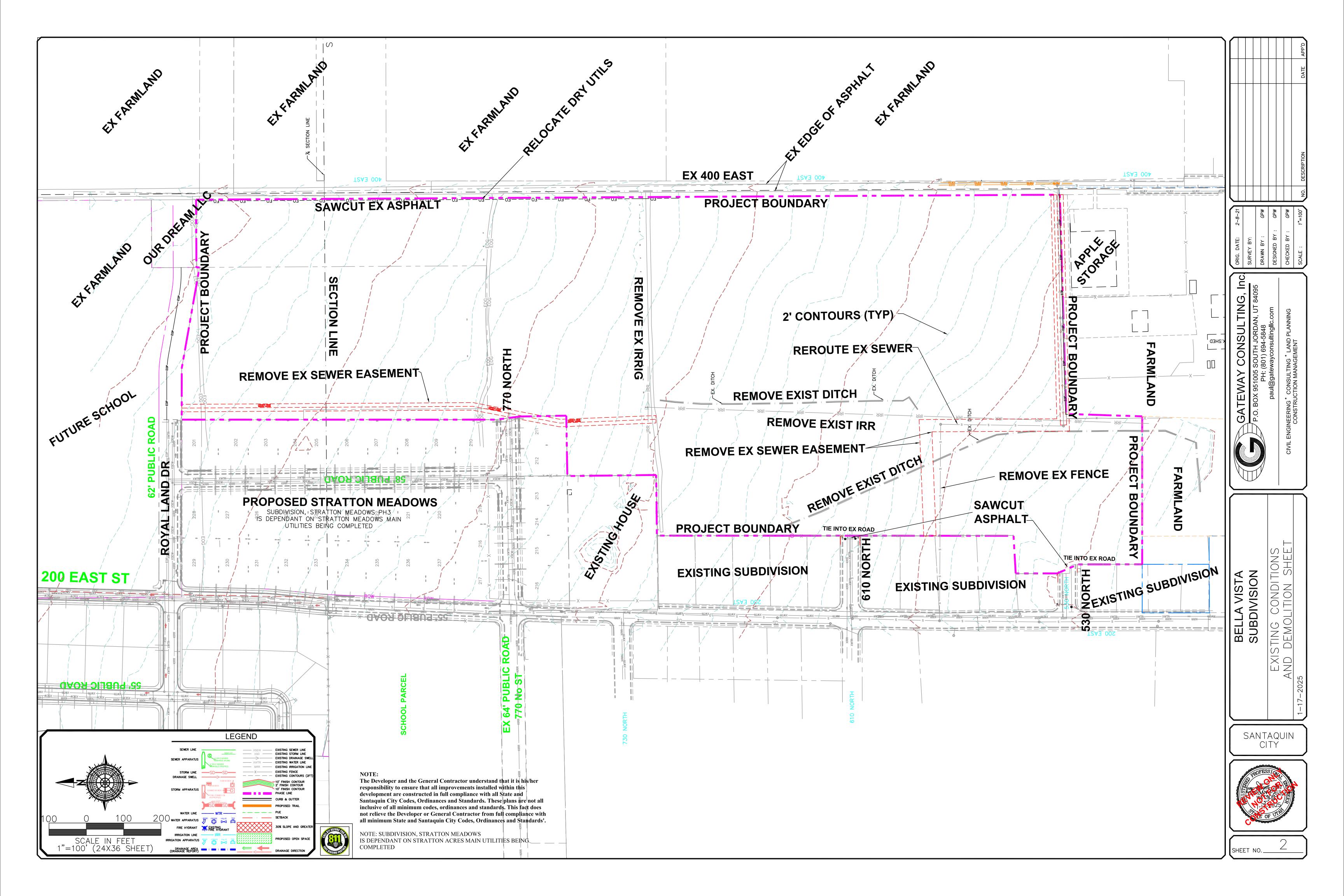
BELLA VIS	STA SANTAQUIN	LLC. ACKNOWLEDG	MENT
STATE OF UTAH COUNTY OF	S.S.		
		20, PERSONALLY A	PPEARED ,
			,
WHO BEING BY ME DULY FOREGOING INSTRUMENT,		(S)HE IS THE SIGNER(S) OF EXECUTED THE SAME.	THE
MY COMMISSION EXPIRES			
		NOTARY PUBLIC	
		RESIDING IN	COUNTY
STATE OF UTAH	STRATTON ACK	NOWLEDGMENT	
COUNTY OF	S.S.		
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FOR AND IN BEHALF OF			,
WHO BEING BY ME DULY FOREGOING INSTRUMENT,		(S)HE IS THE SIGNER(S) OF EXECUTED THE SAME.	THE
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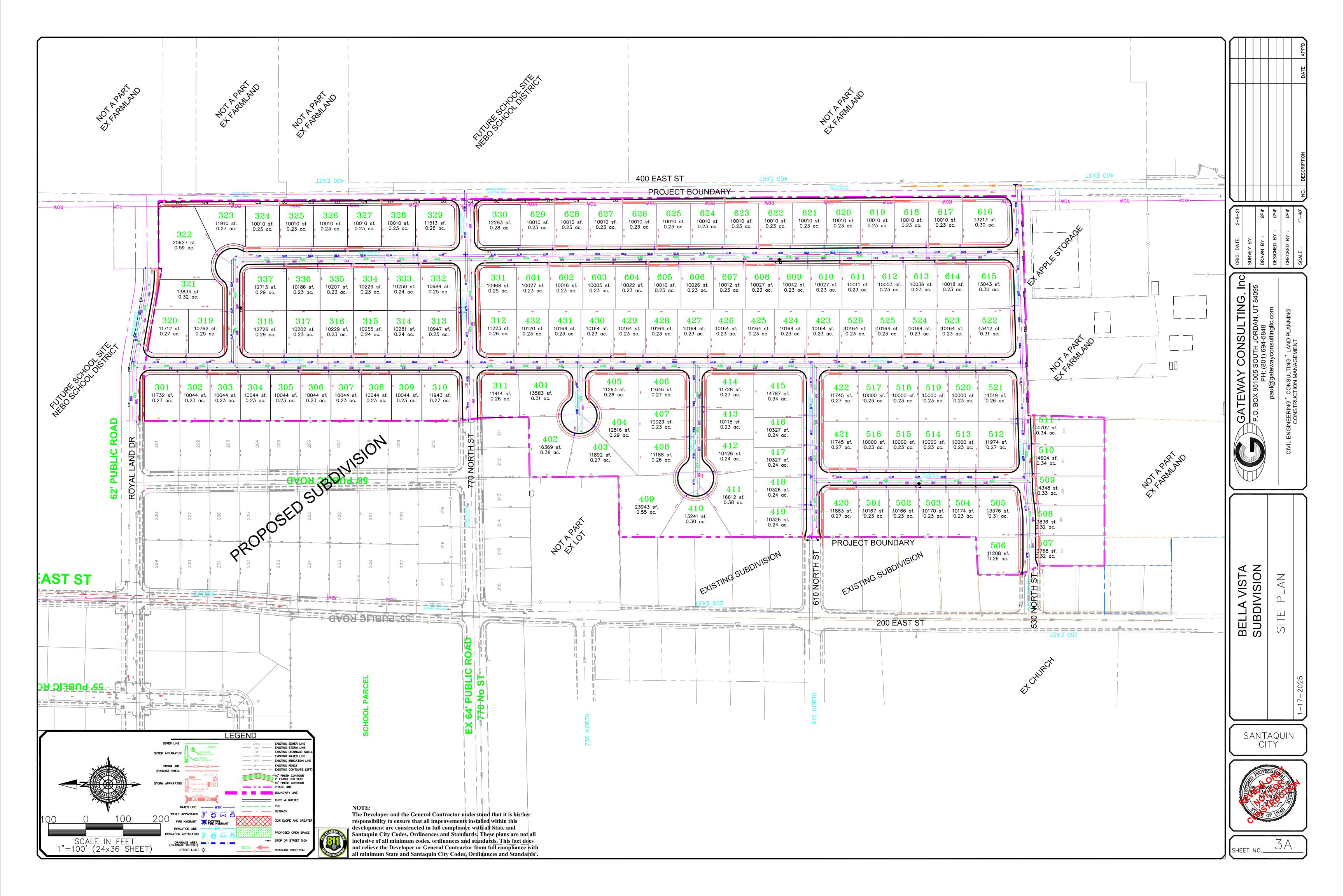
	SURVEYOR OF RECORD:	
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, _, [HE		EWAY CONSULTING,  BOX 951005 SOUTH JORDAN, UT
	1.0.	PH: (801) 694-5848 paul@gatewayconsultingllc.com
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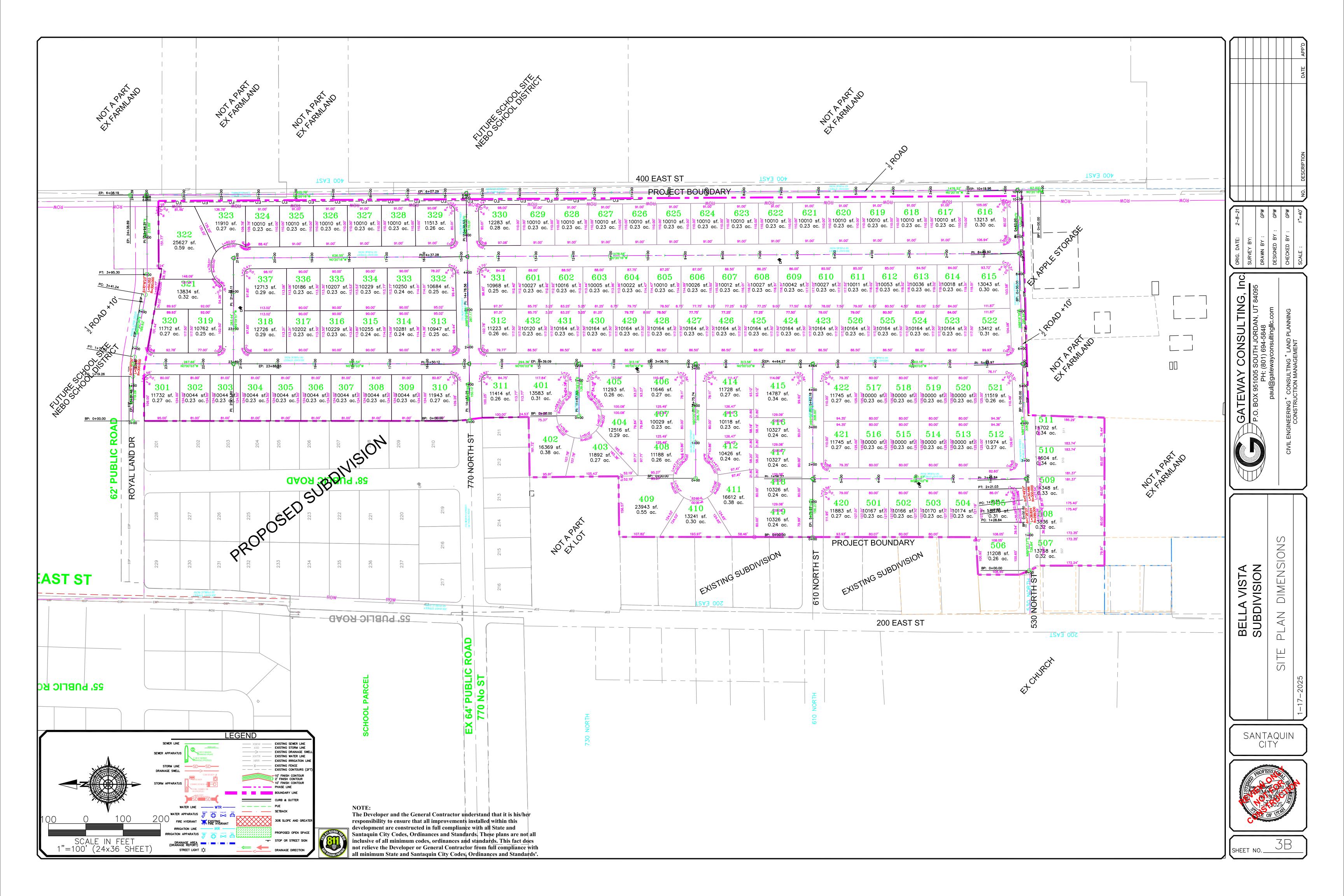
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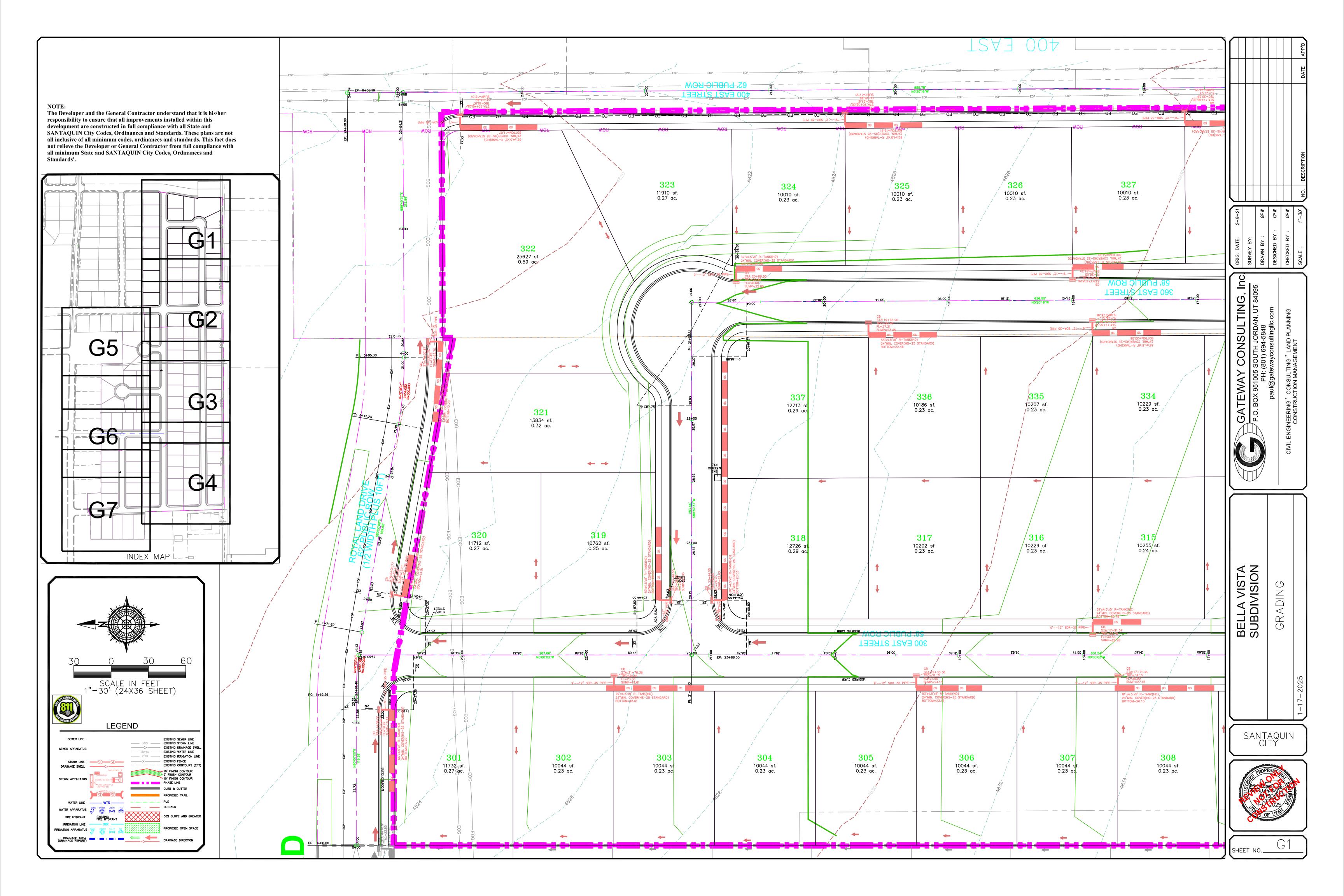
ONLE	ERIOR AND CORNER LOTS ESS OTHERWISE NOTED ON PLAT
NOTES:  1) 30FT FRONT SETBACK 2) 25FT REAR SETBACK 3) 10FT SIDE LOT SETBACK	
	NOT TO SCALE

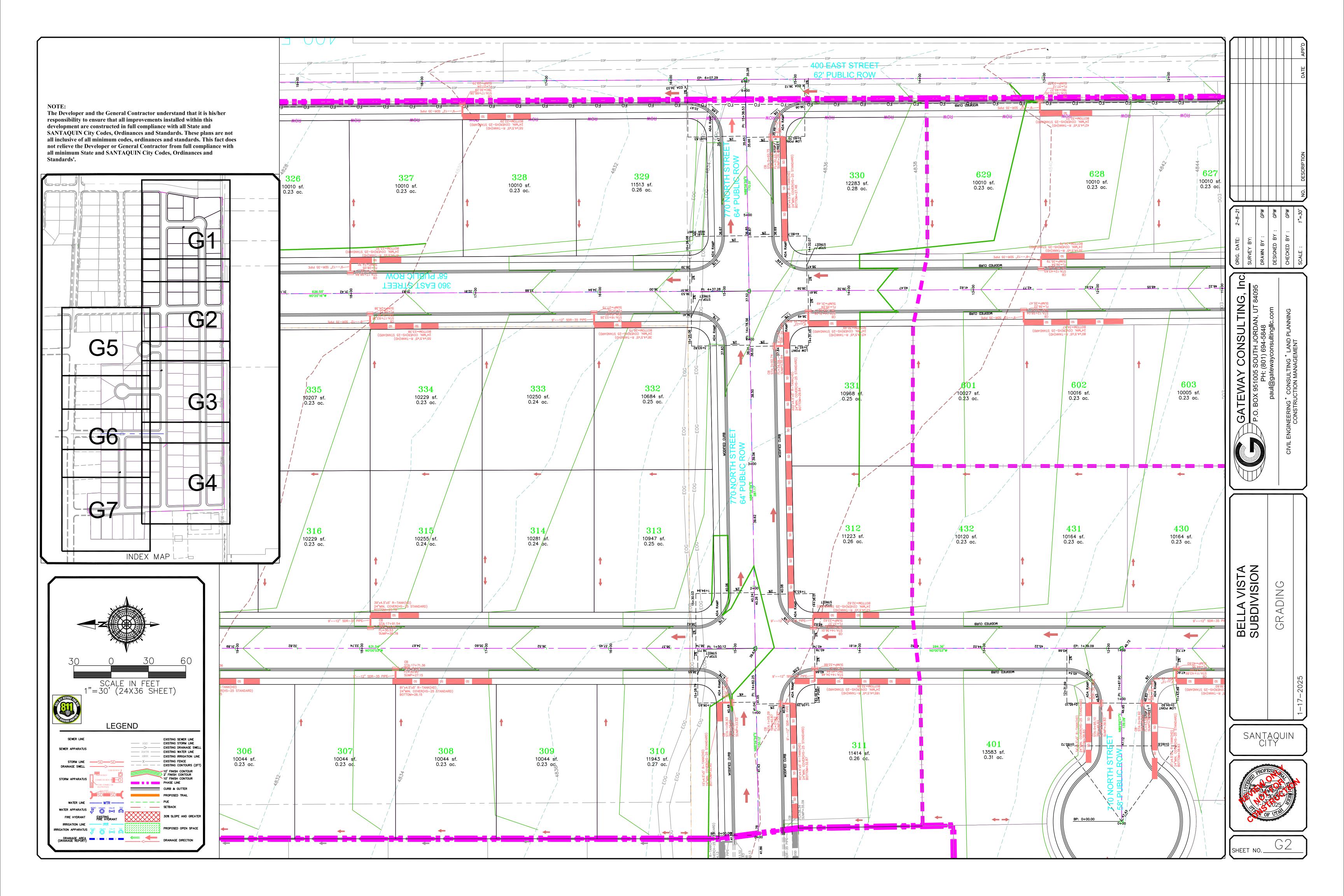


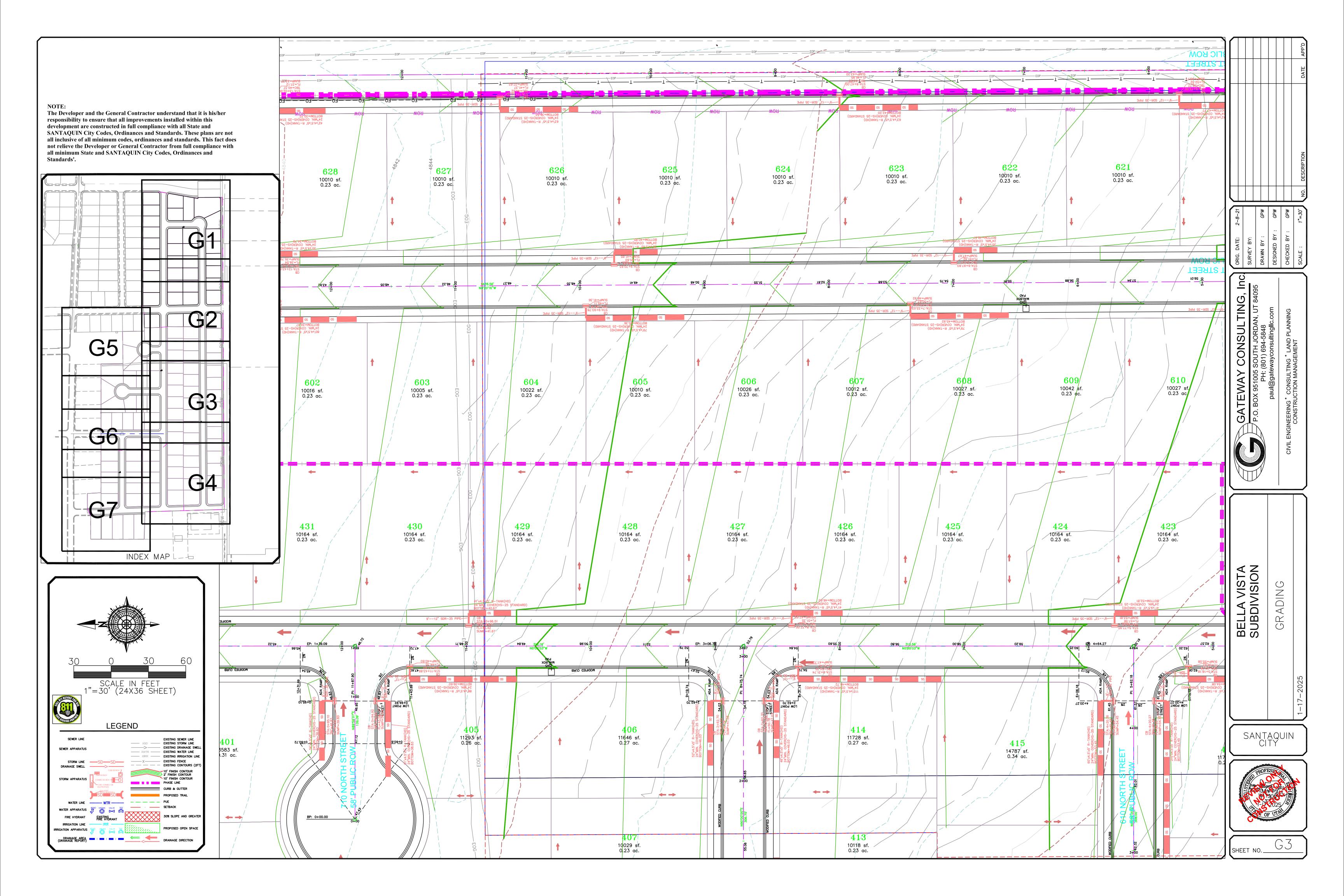


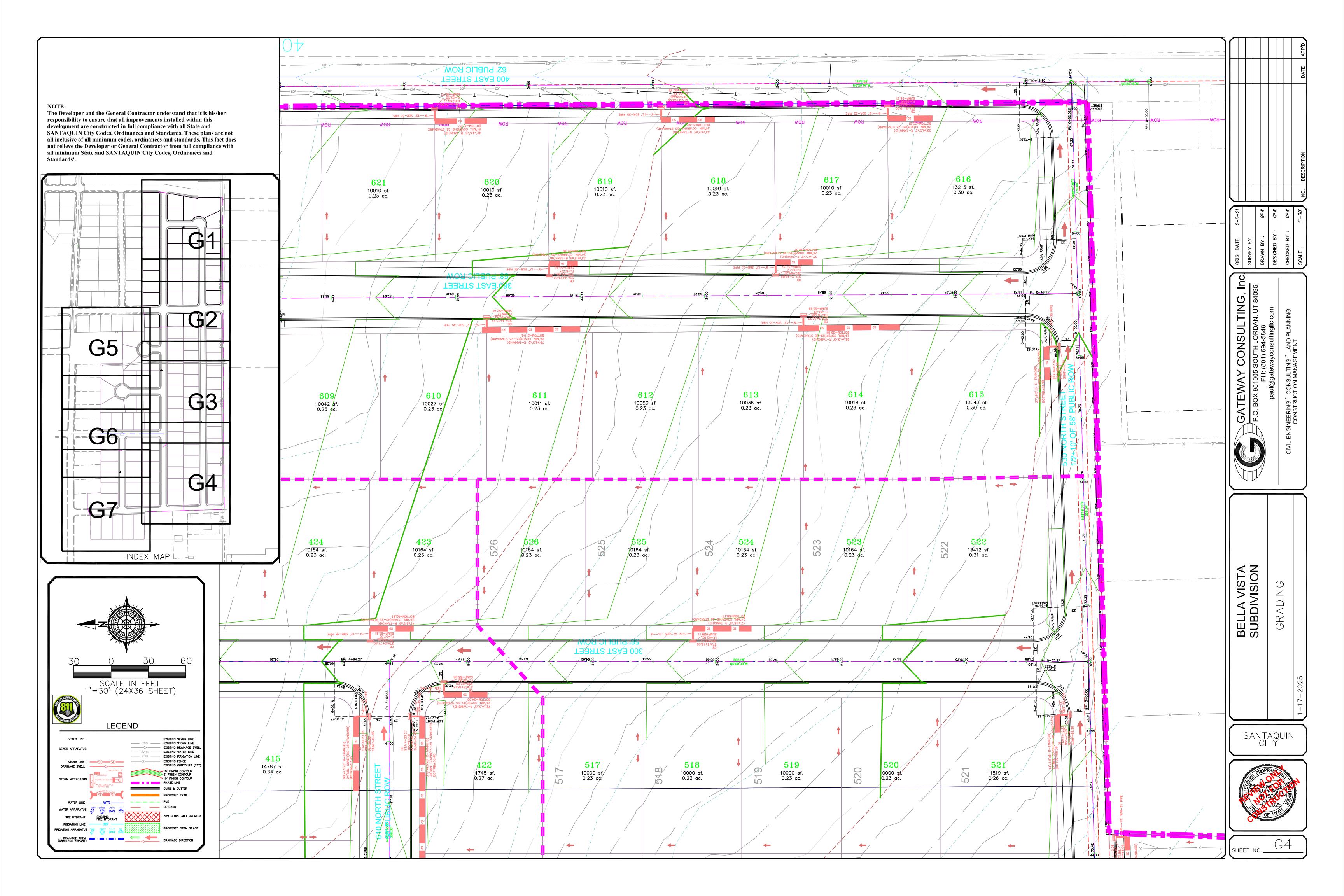


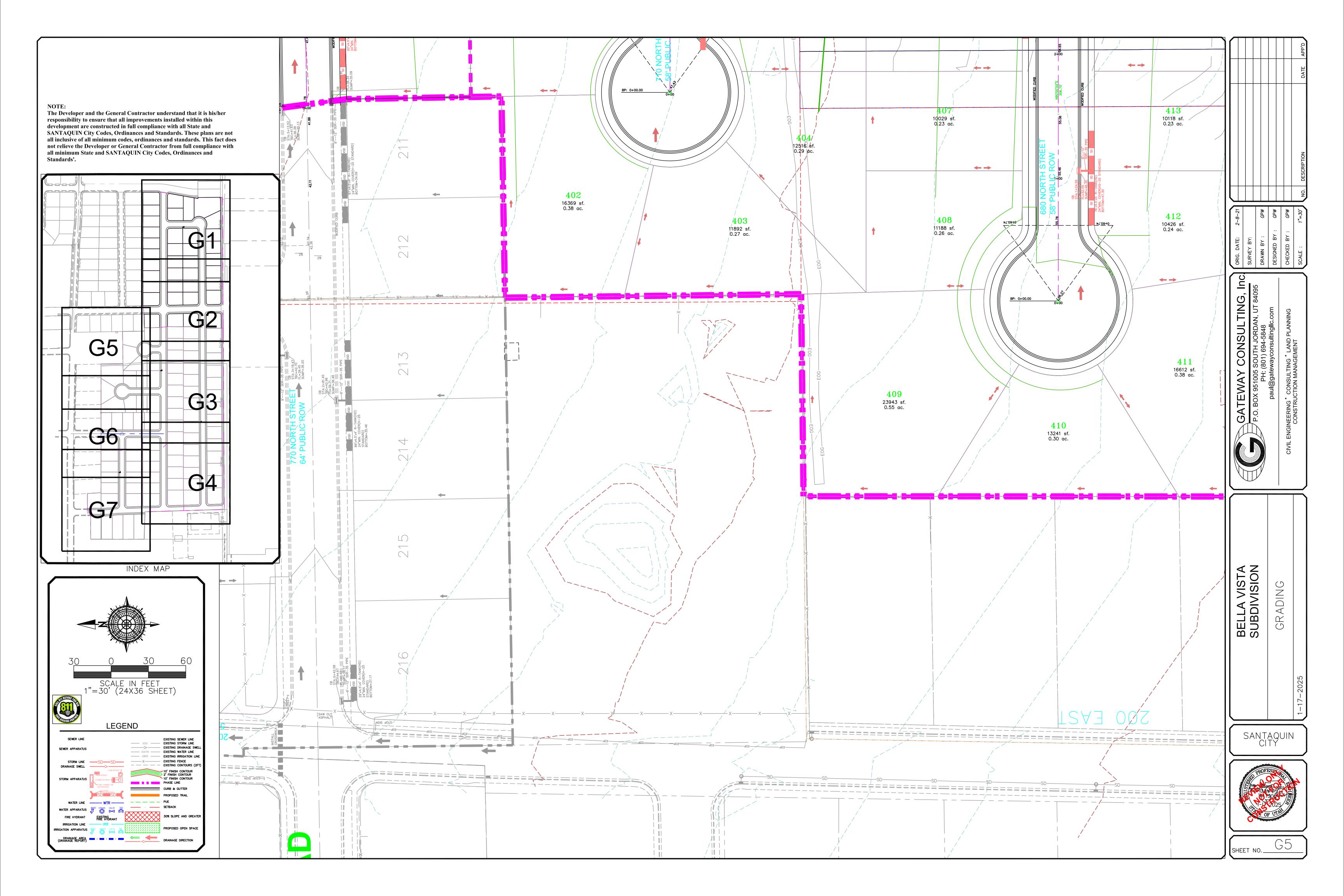


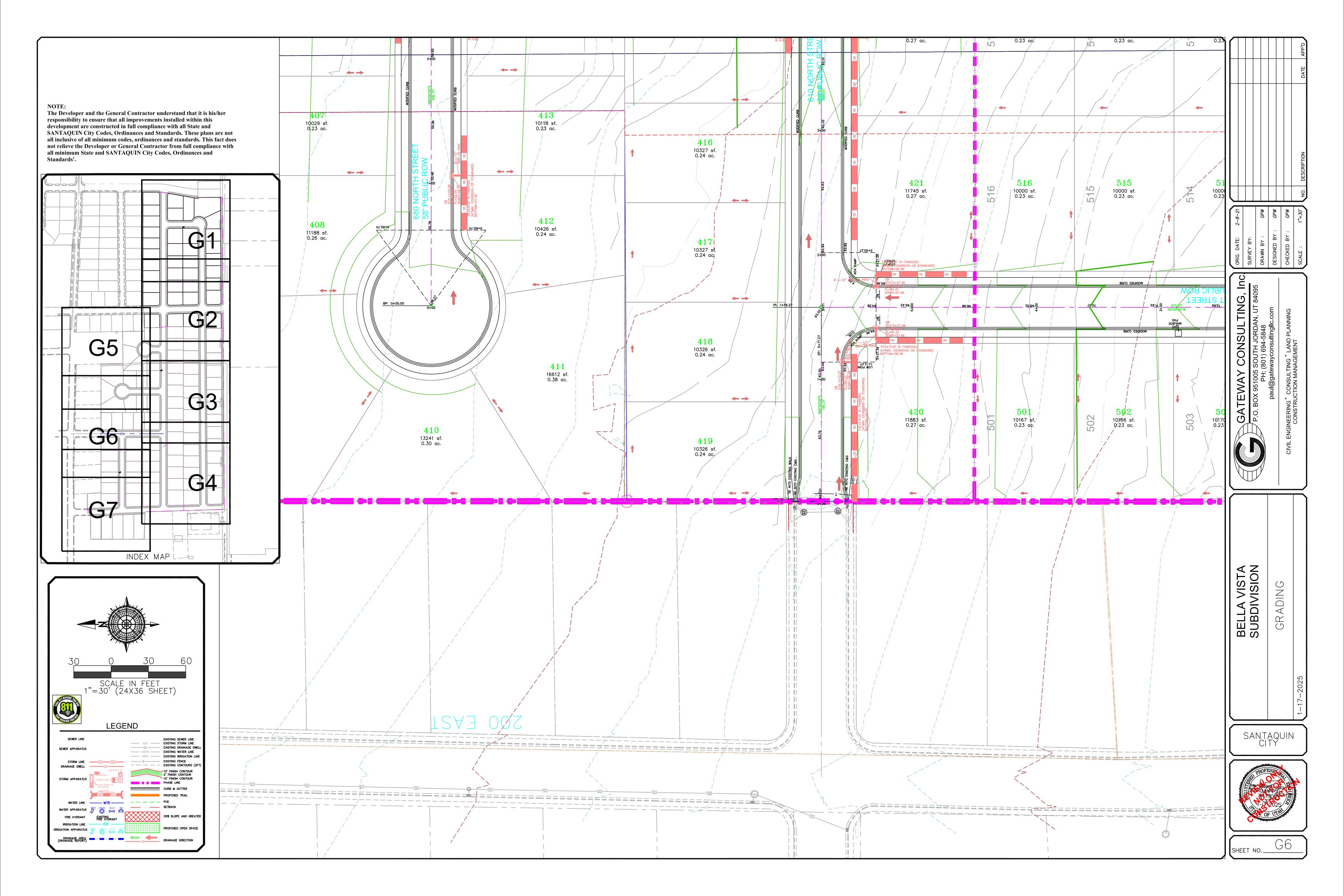


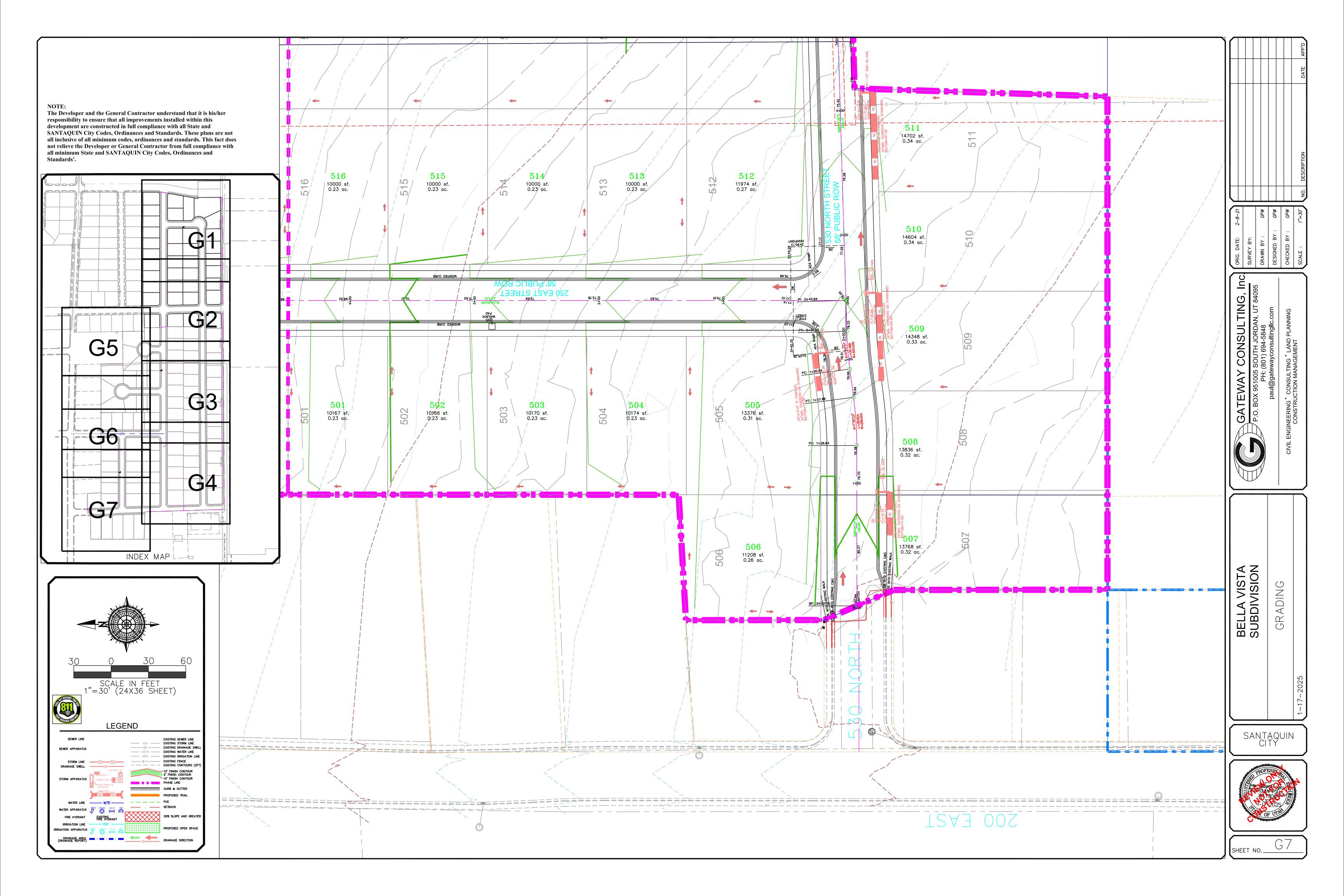


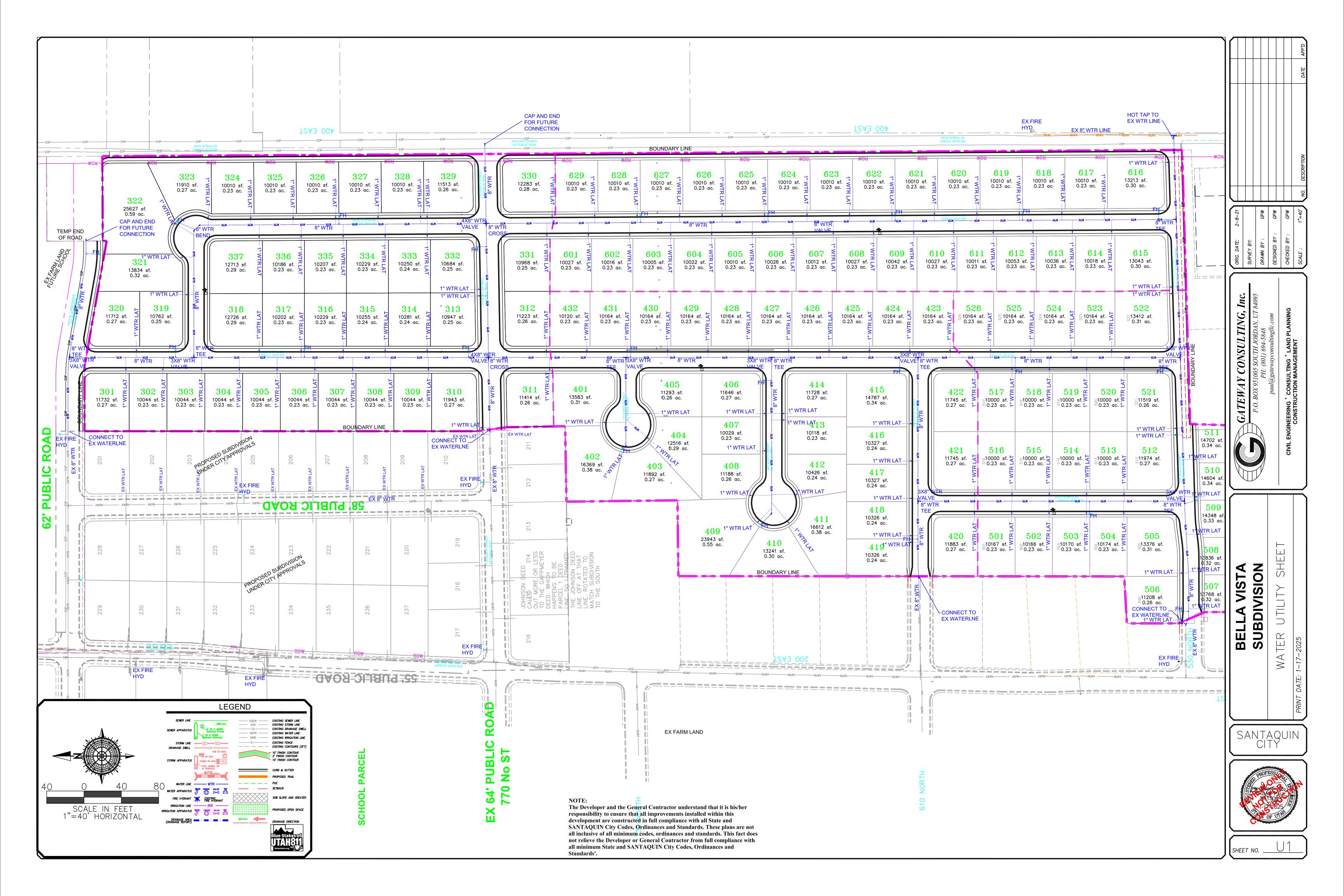


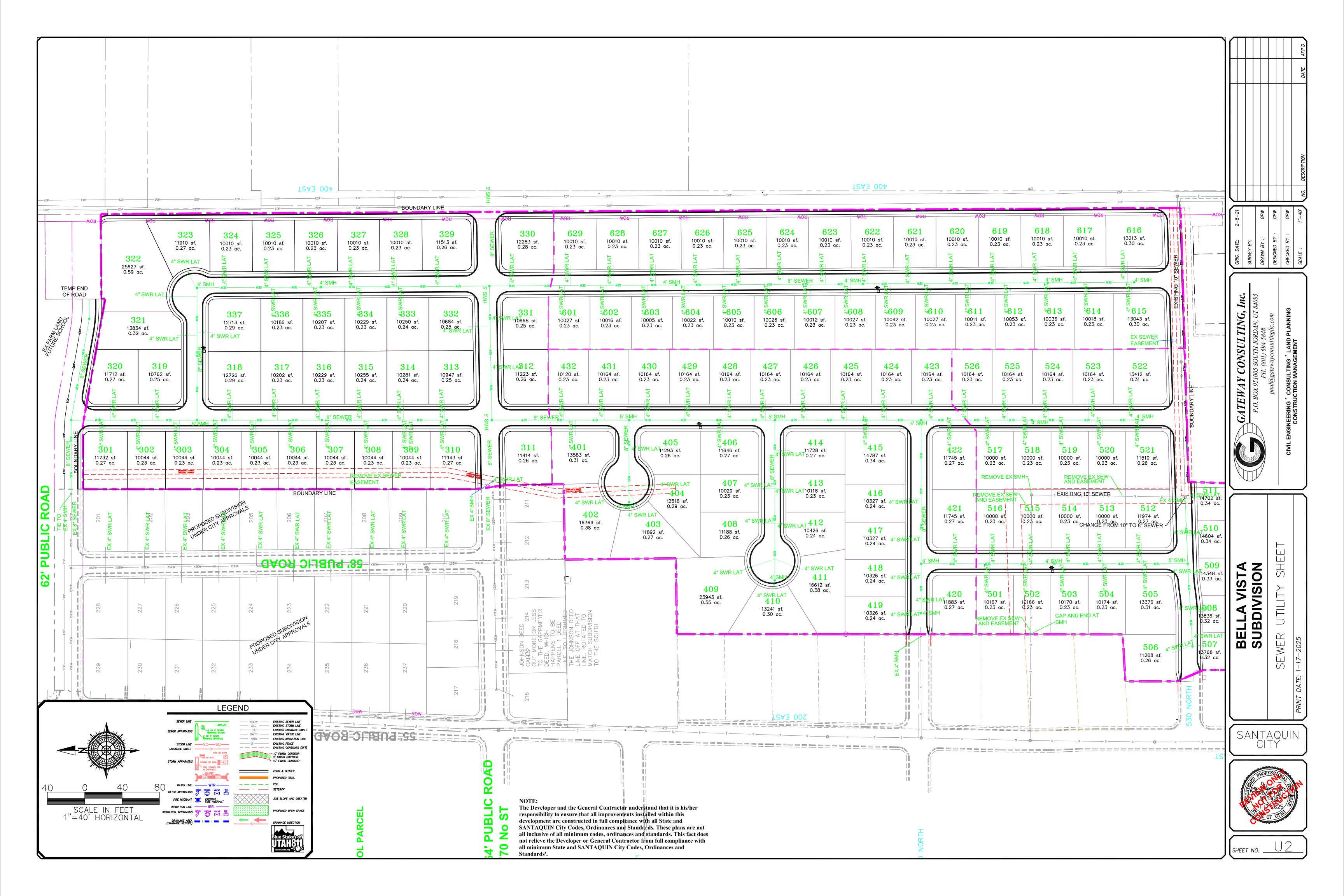


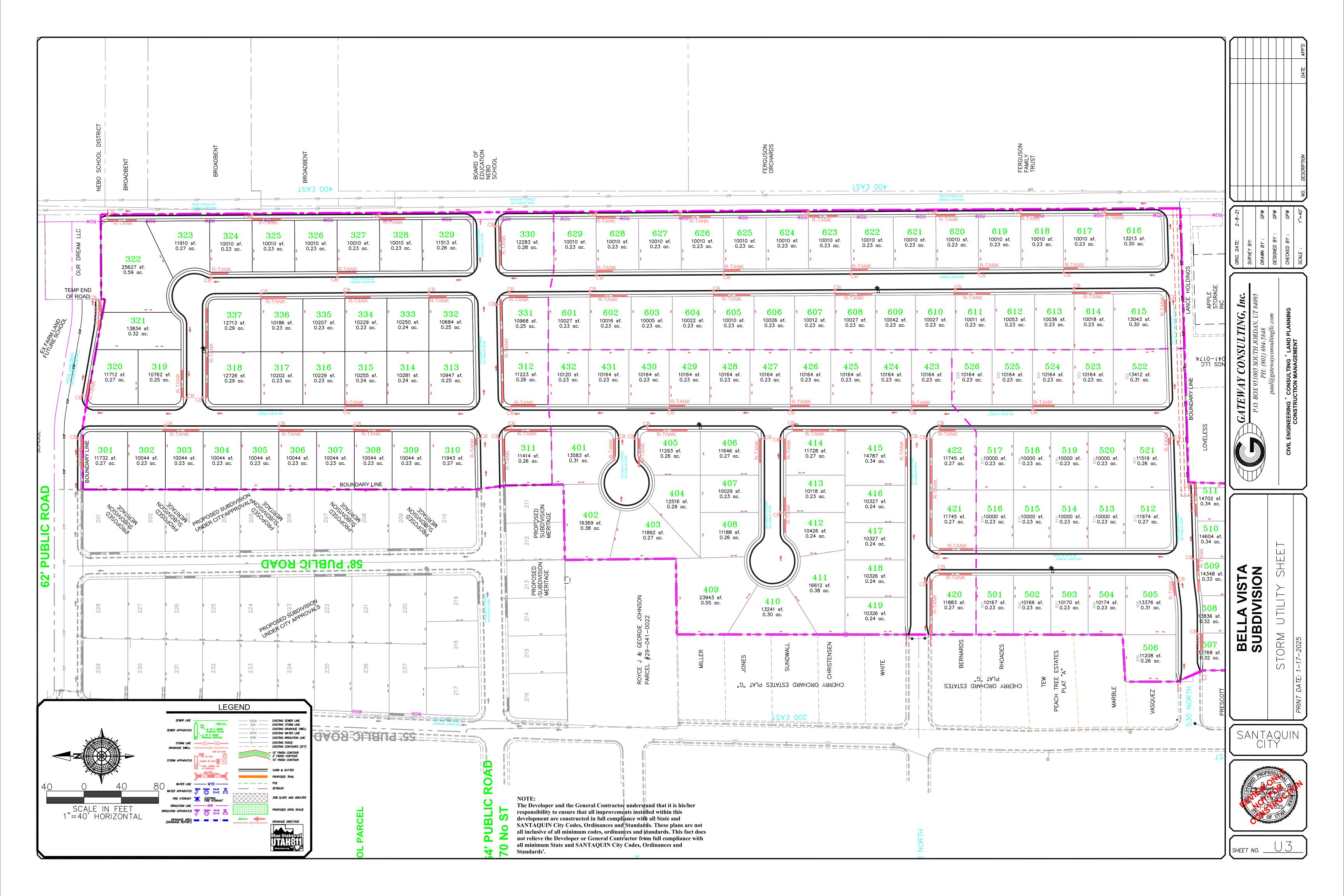


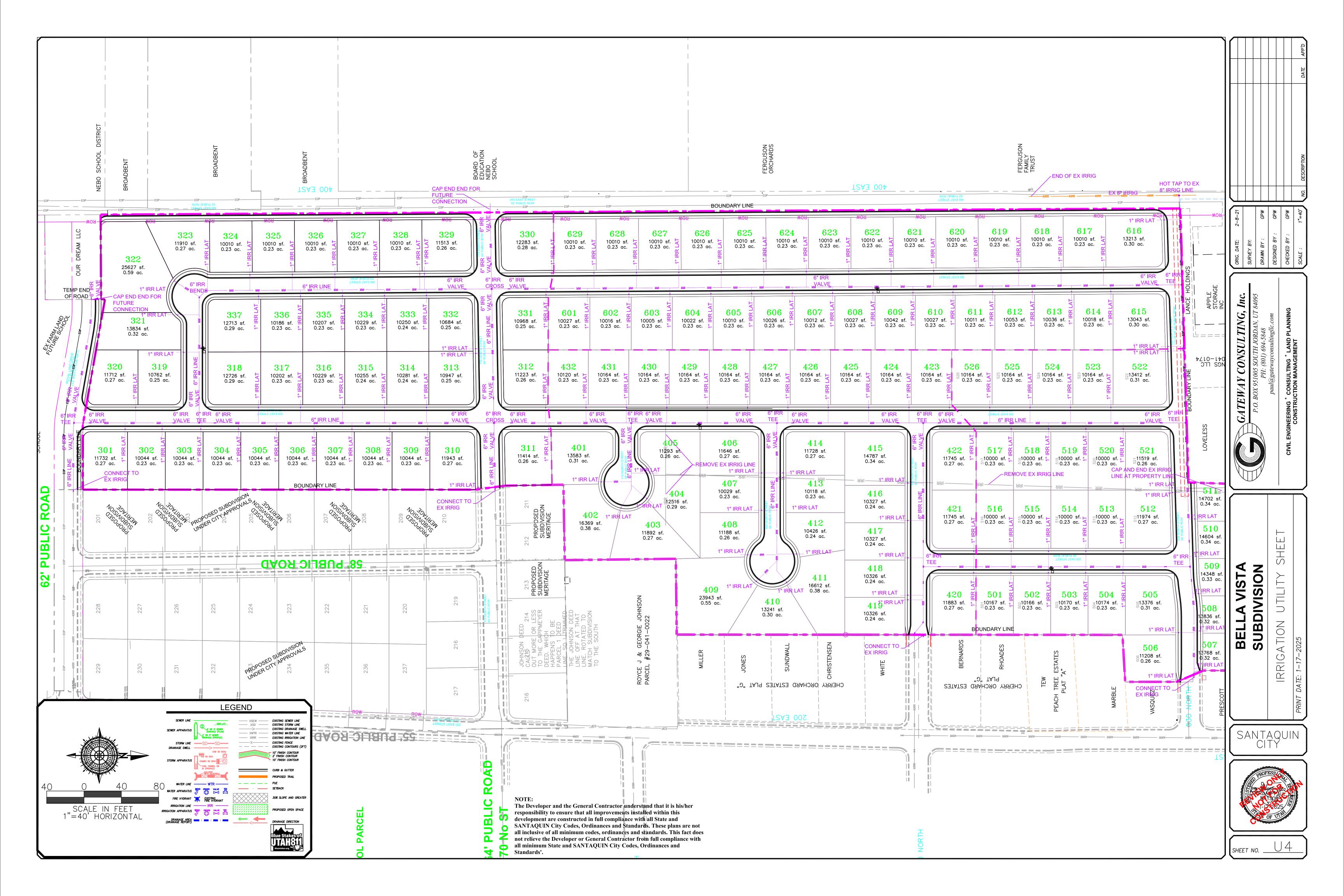


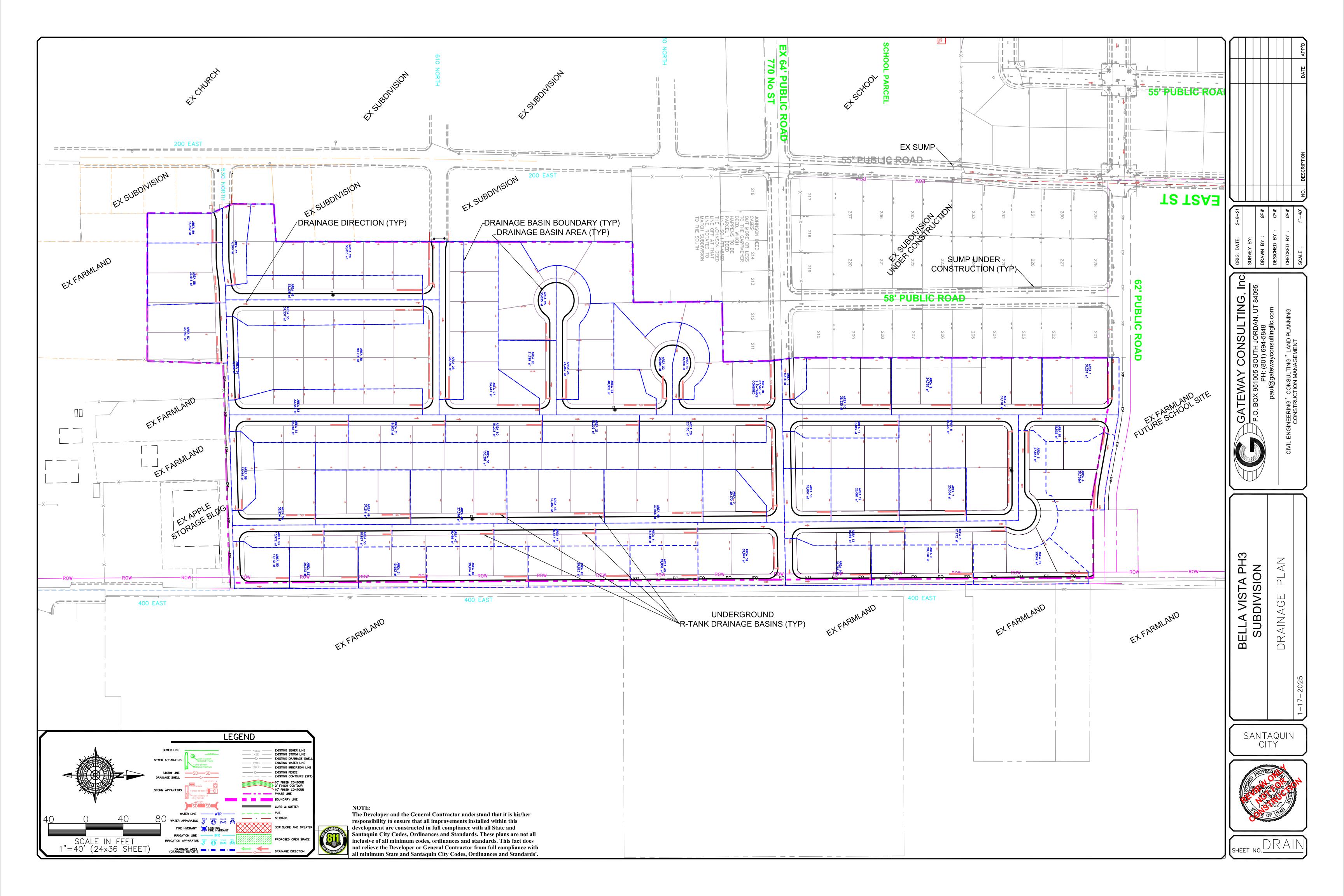


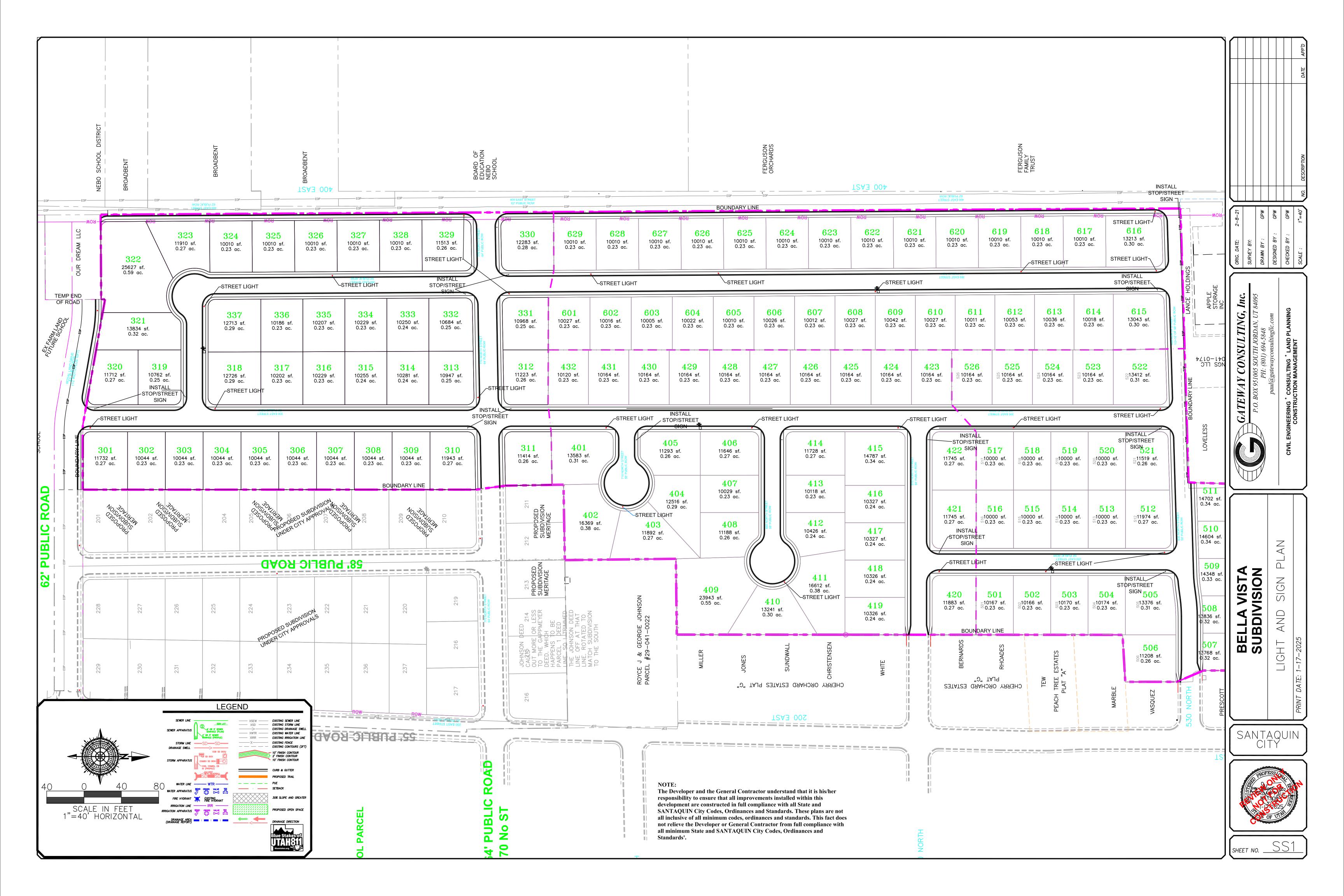


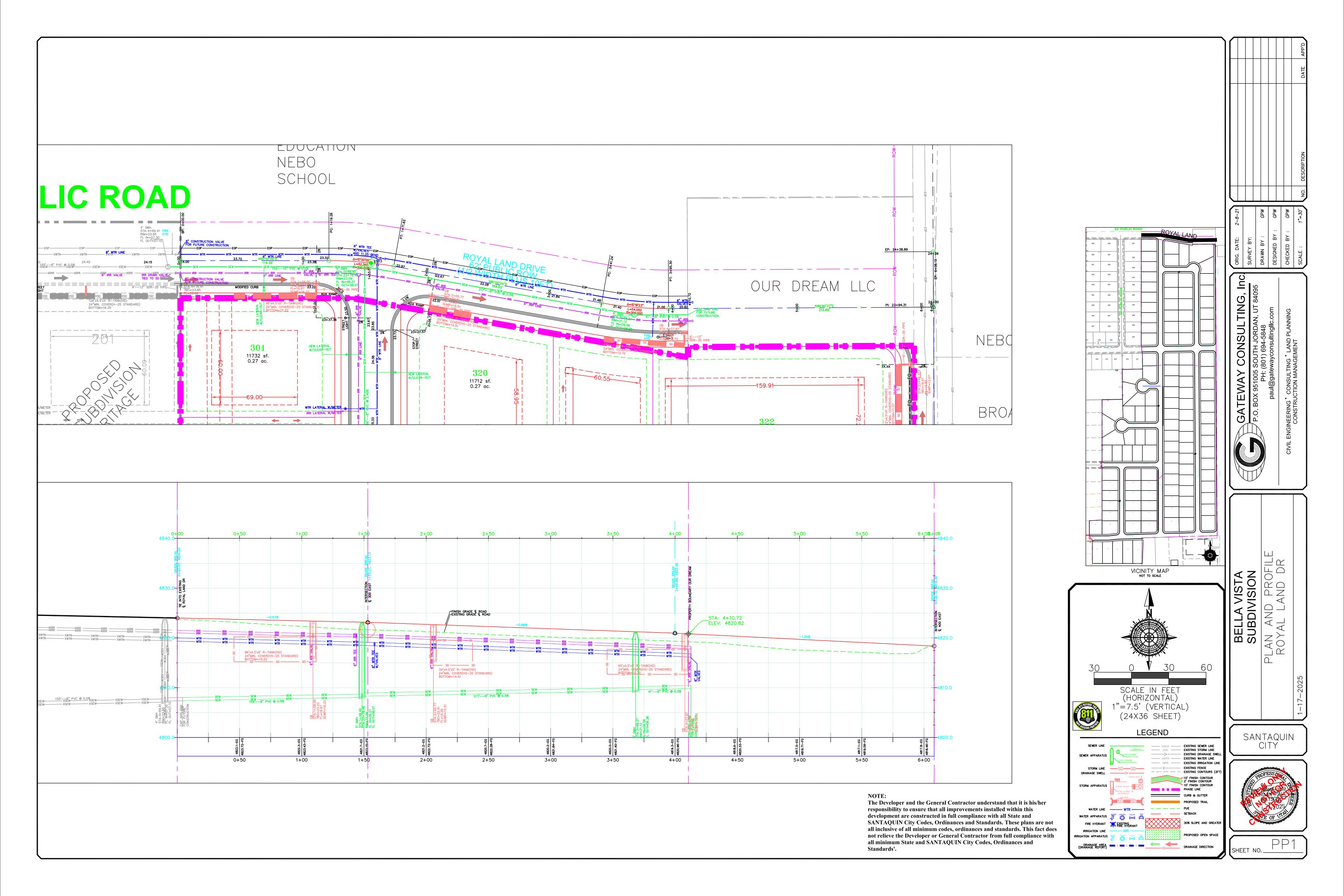


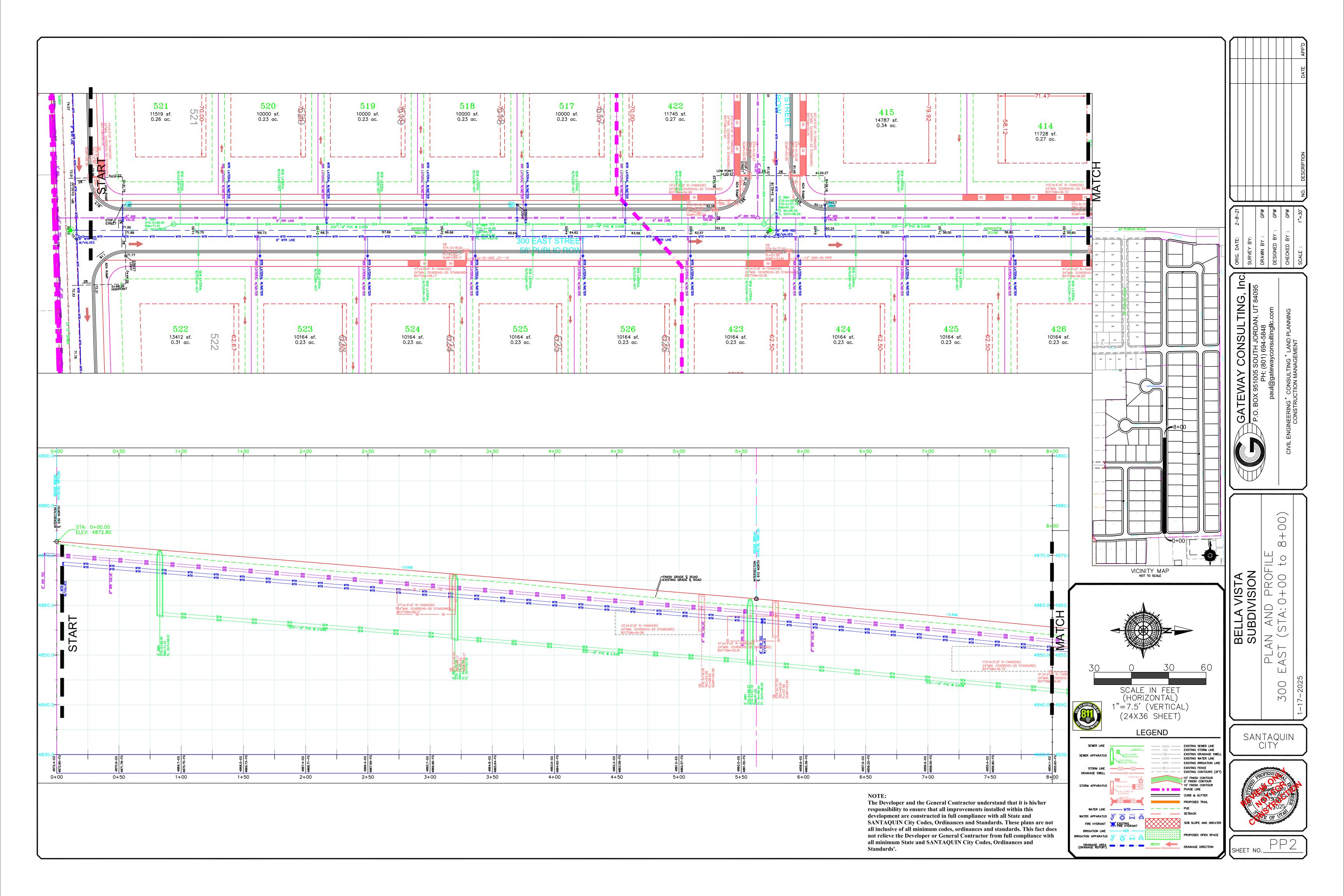


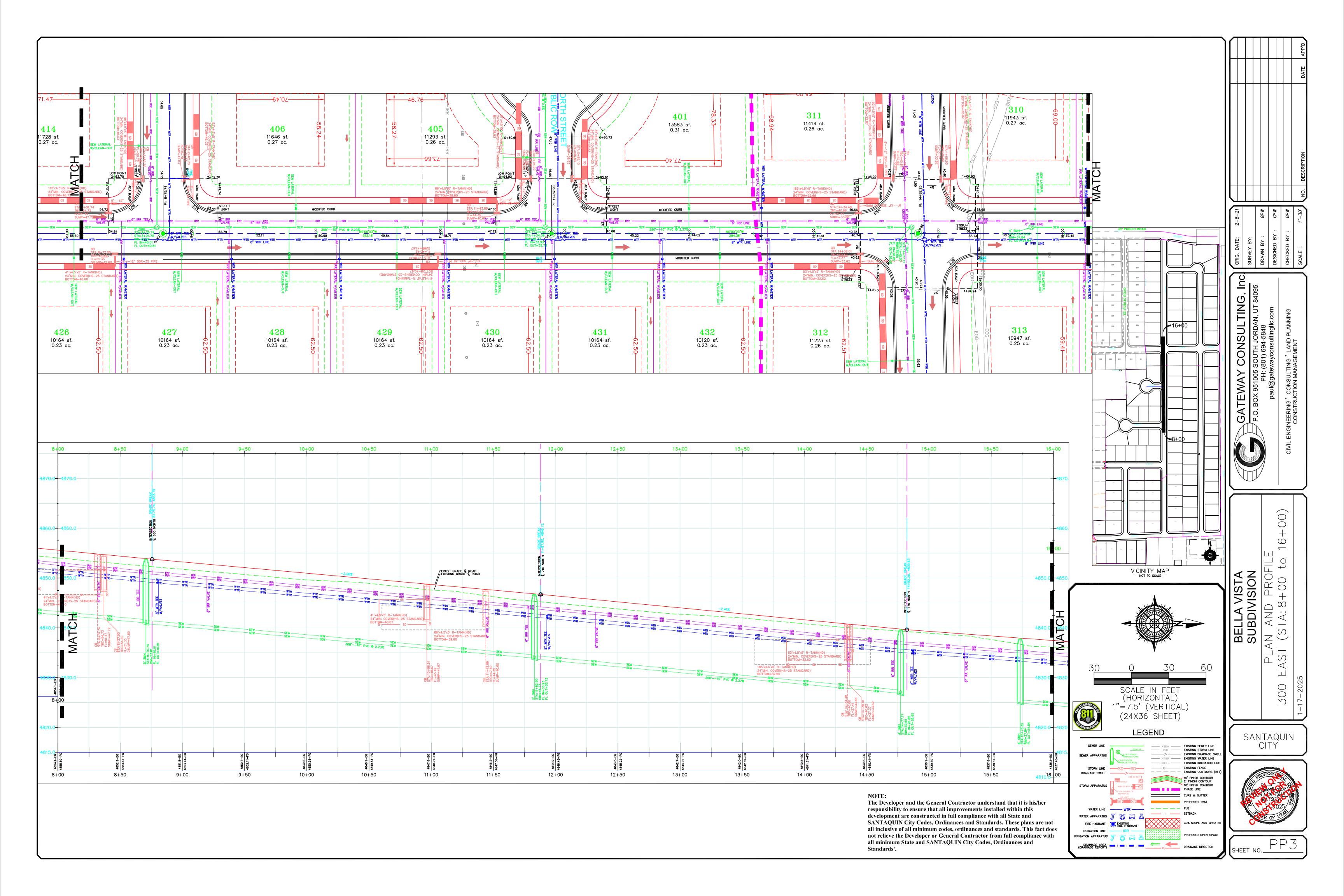


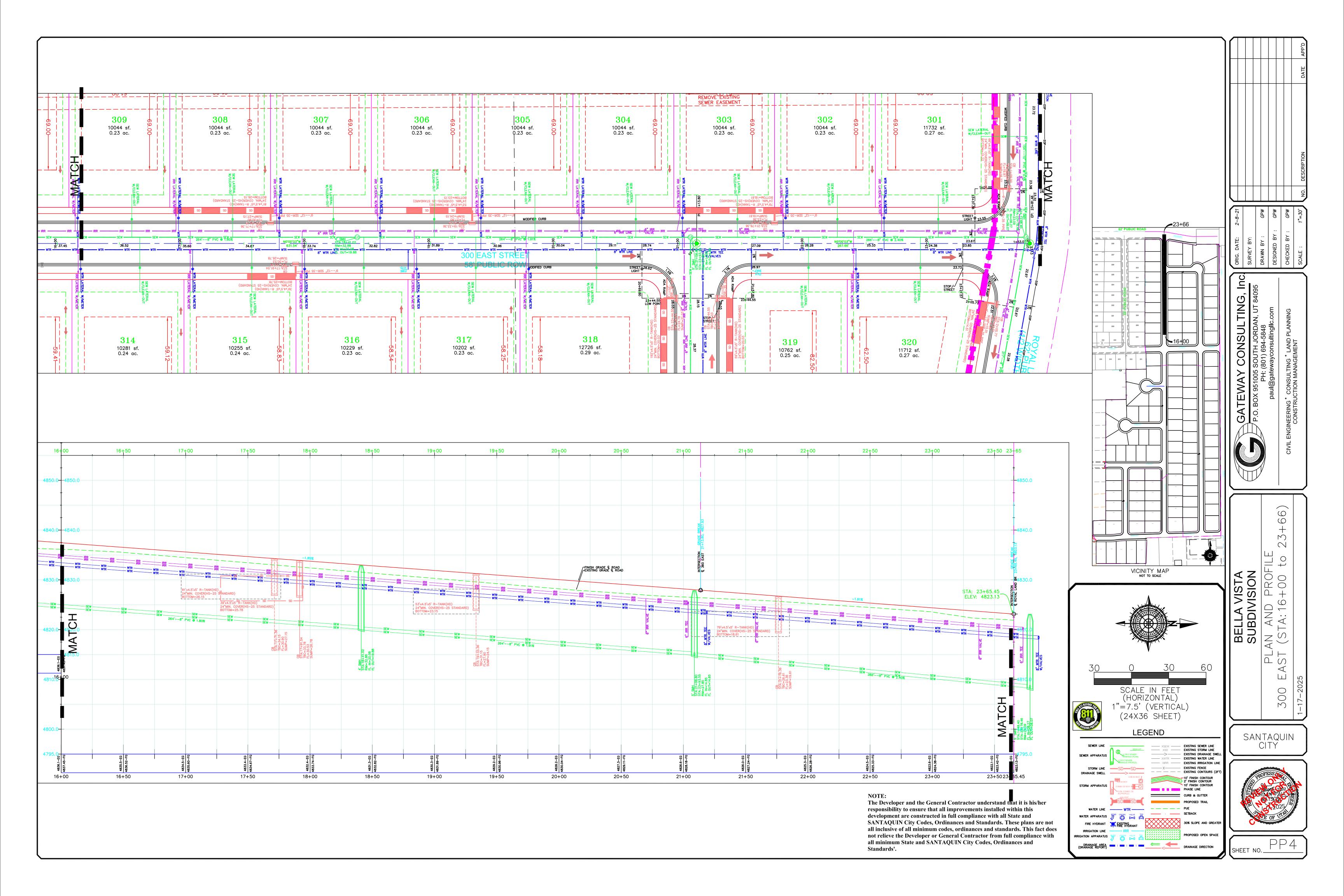


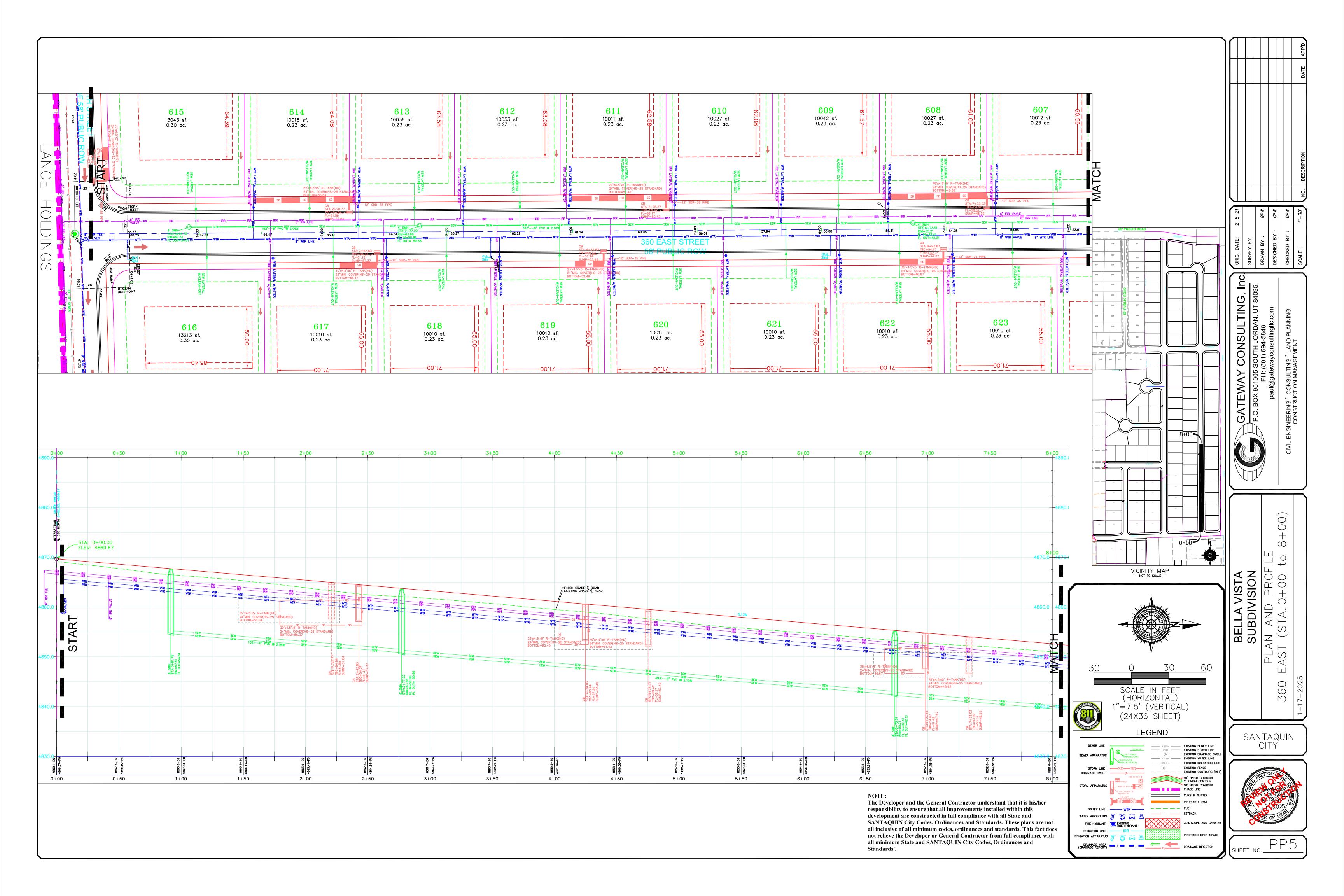


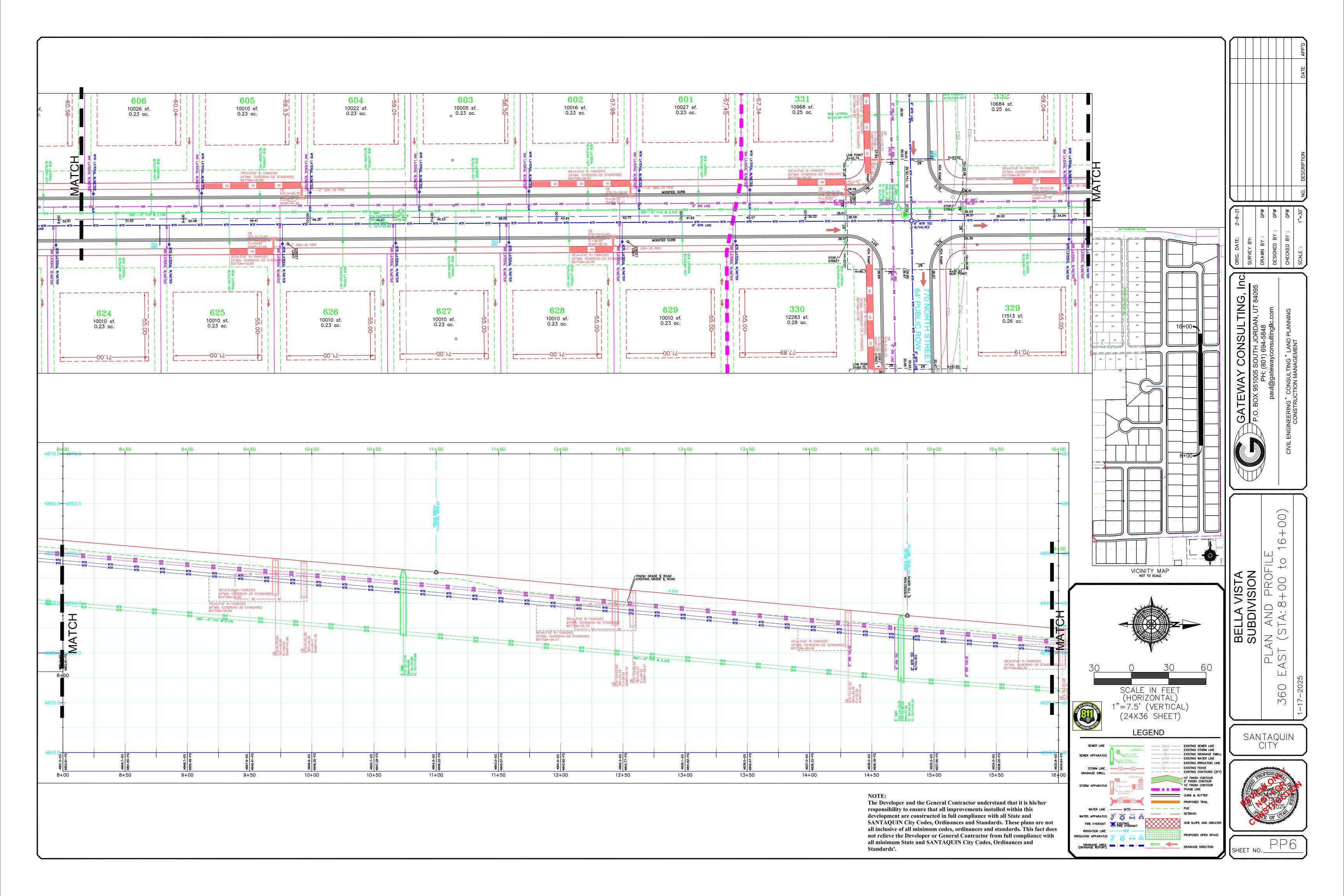


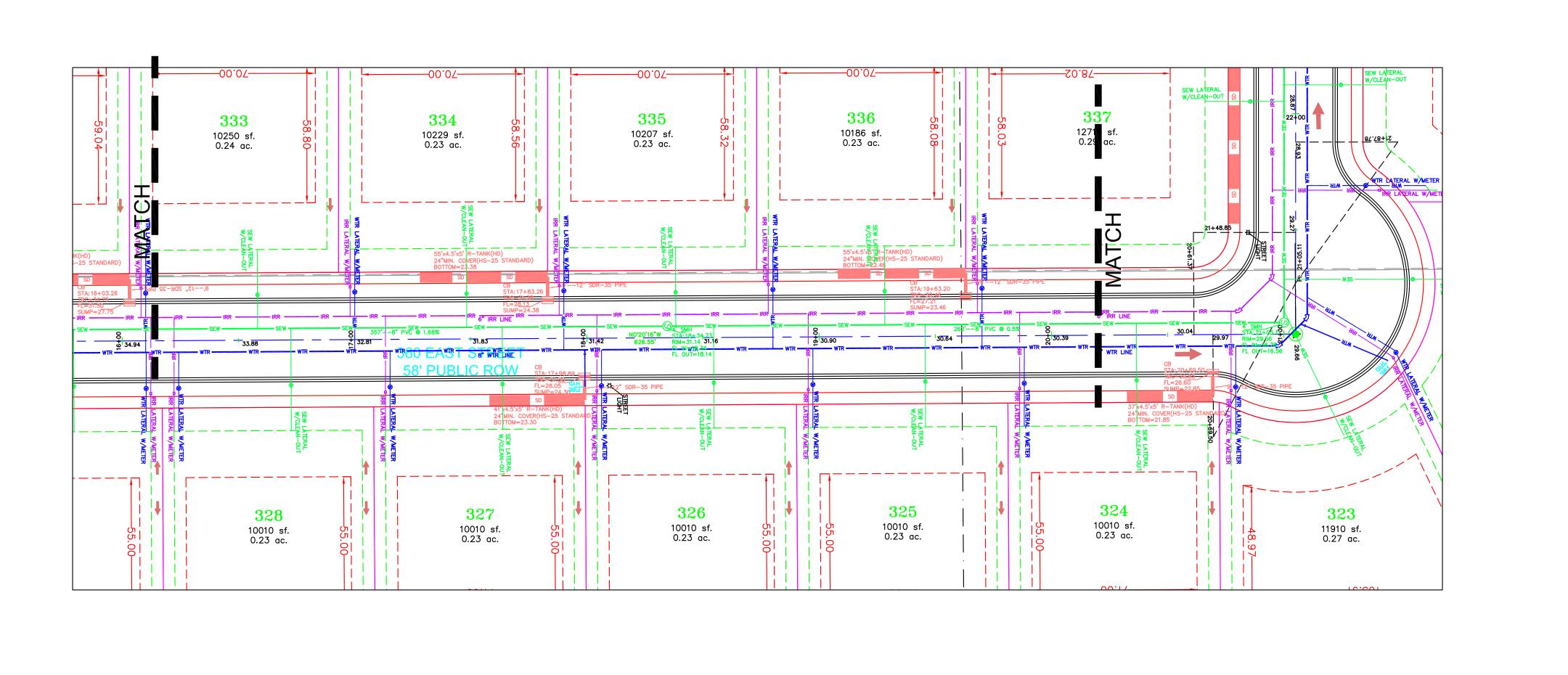


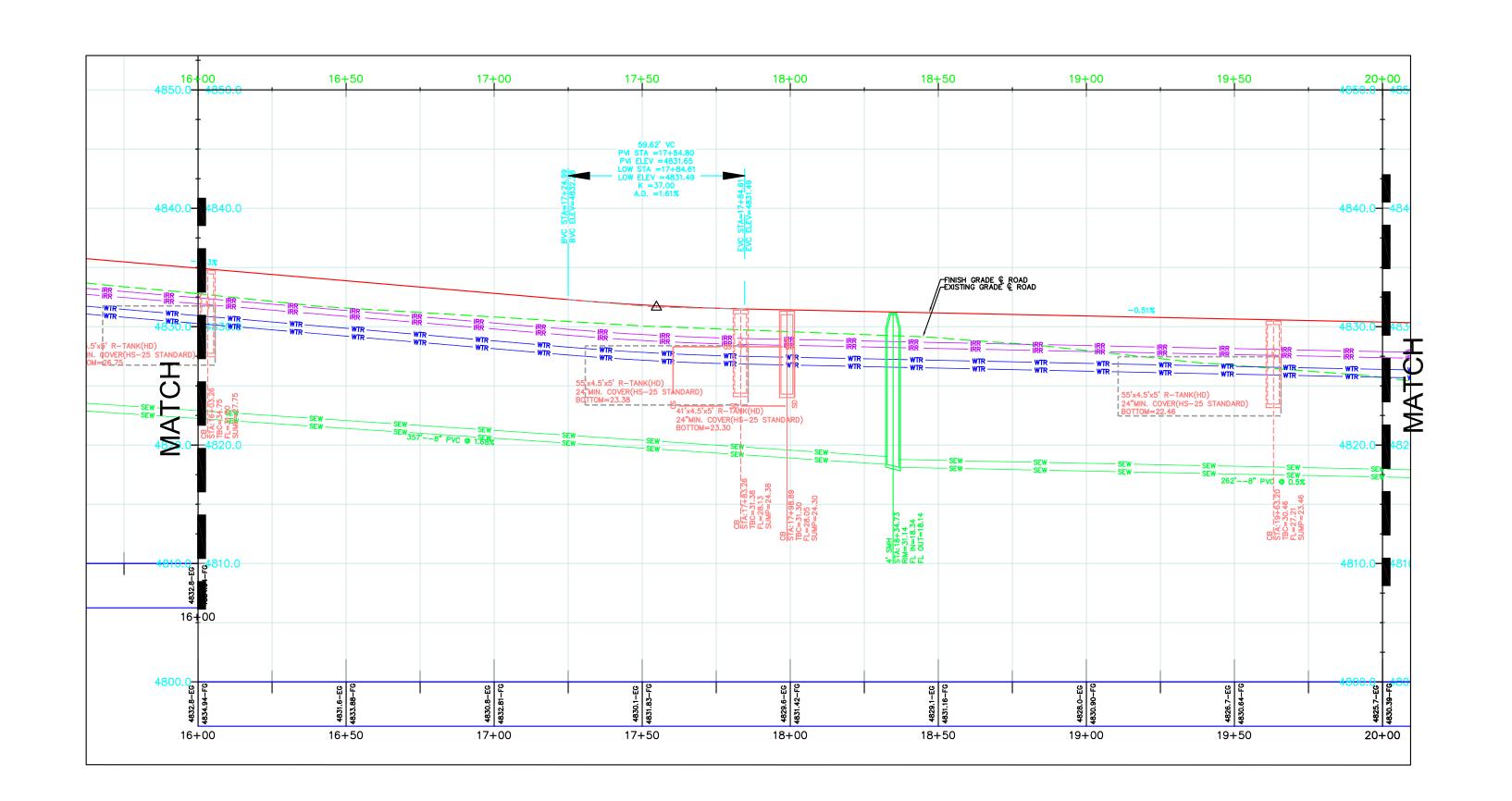


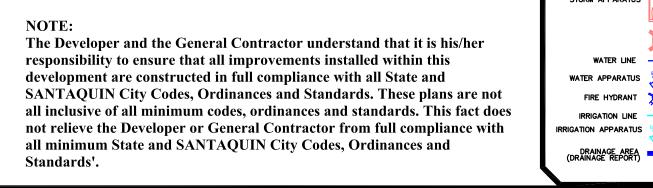


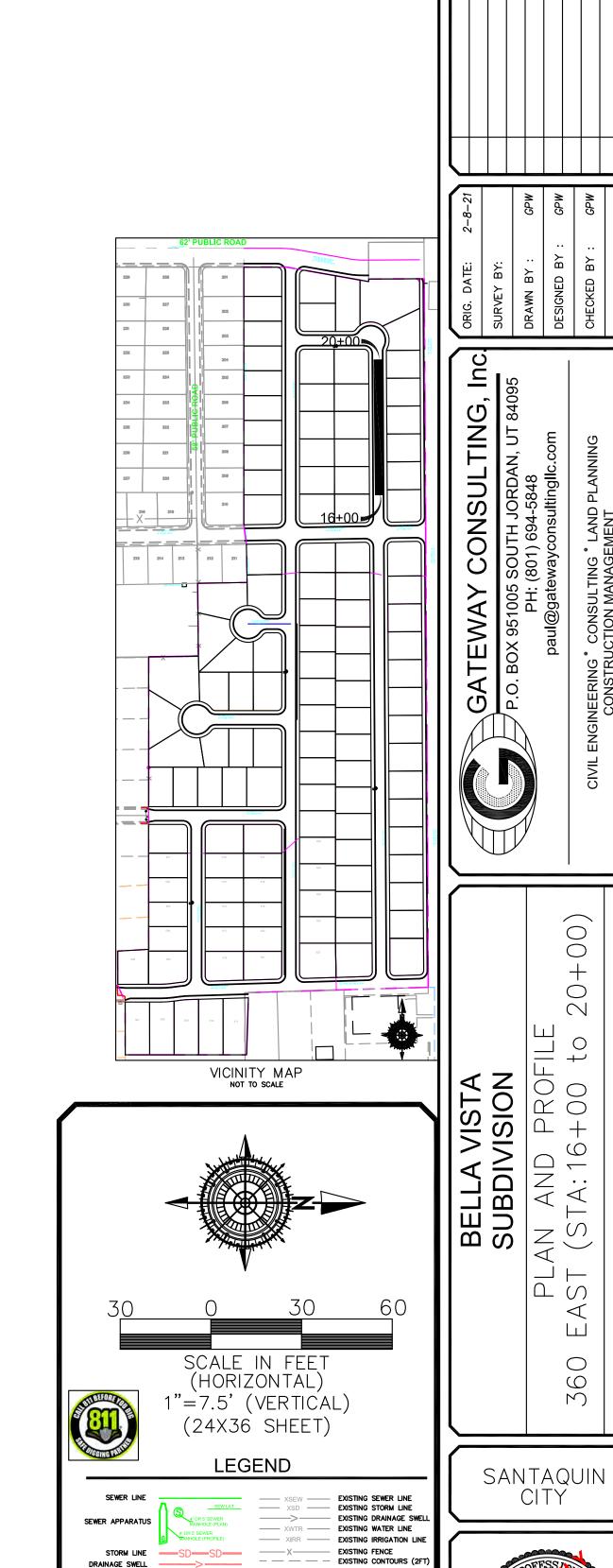












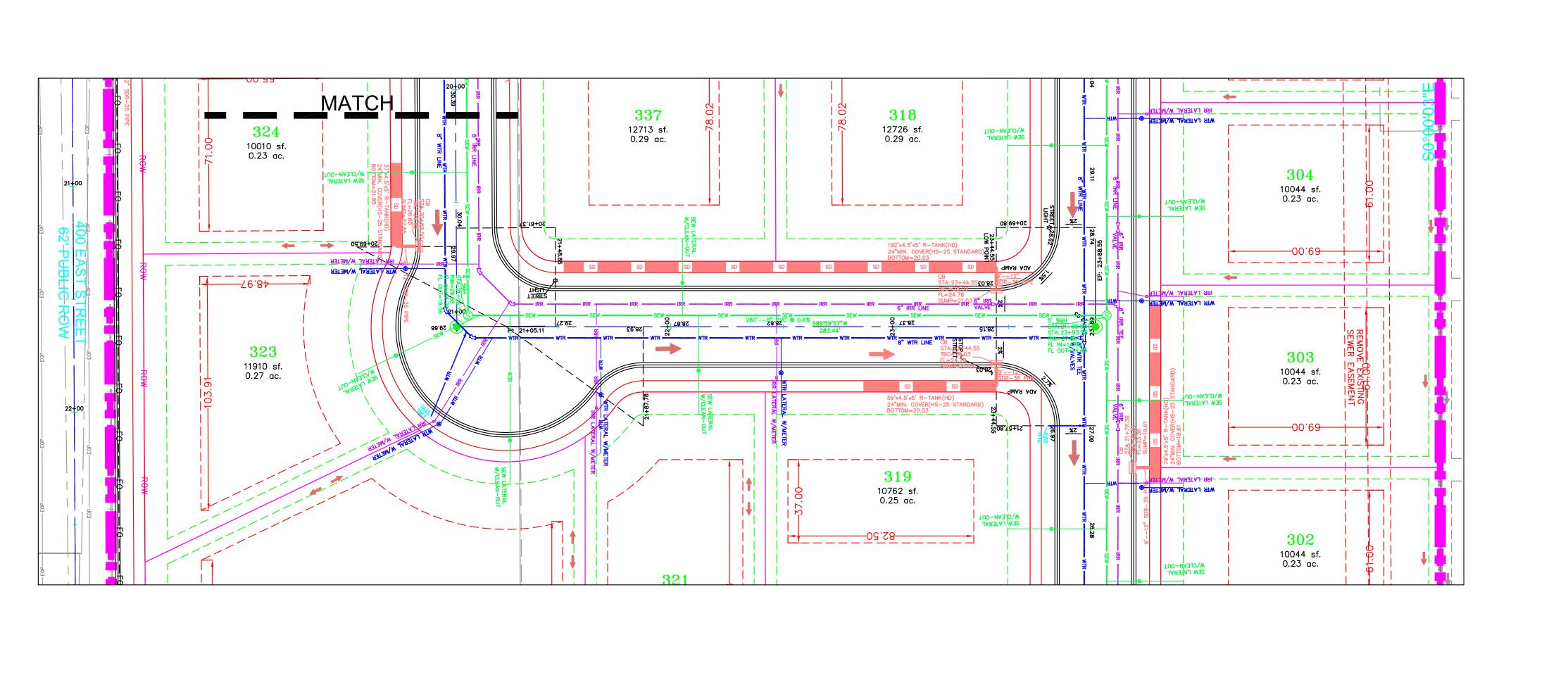
10' FINISH CONTOUR 2' FINISH CONTOUR 10' FINISH CONTOUR PHASE LINE

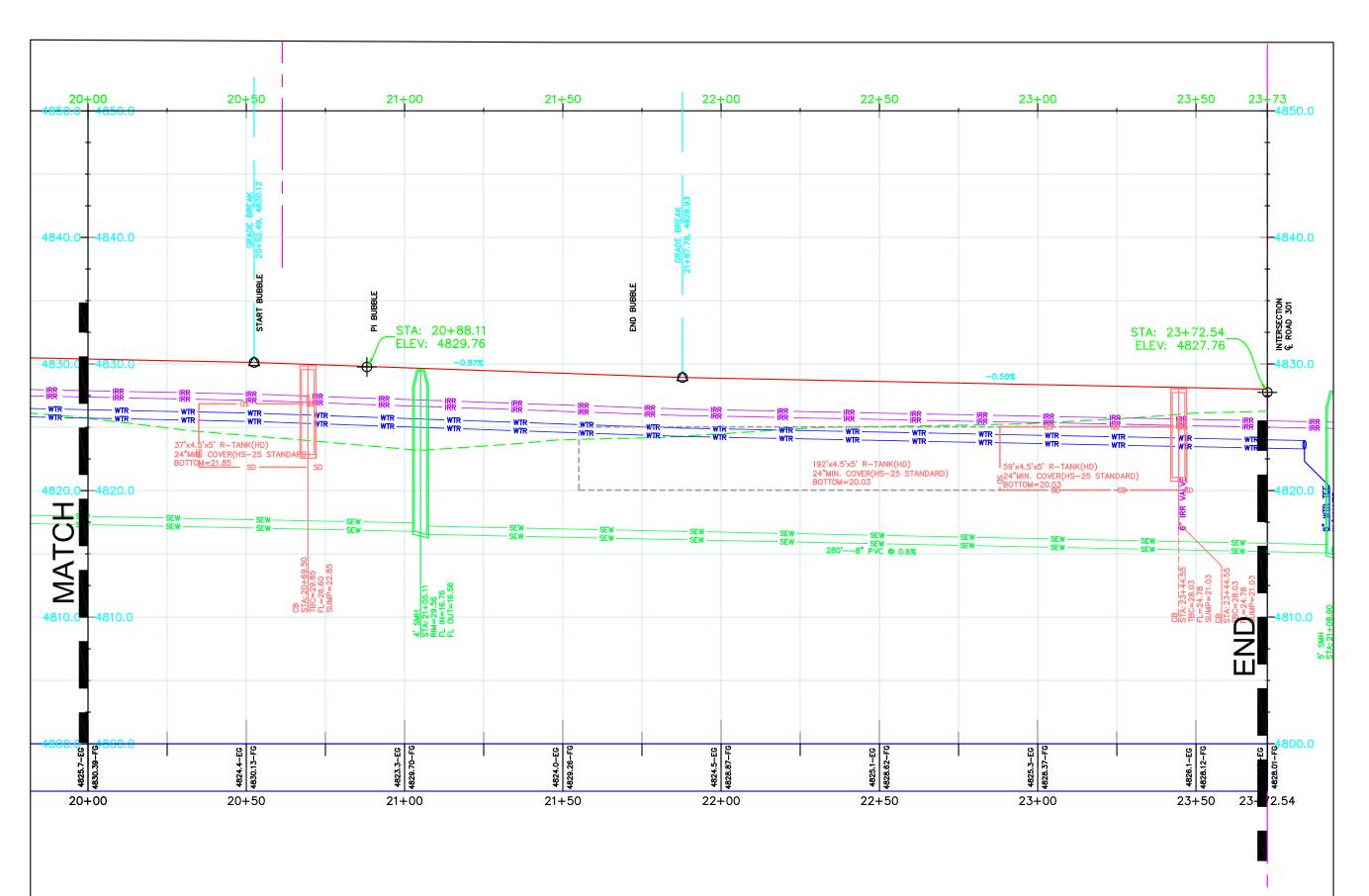
CURB & GUTTER

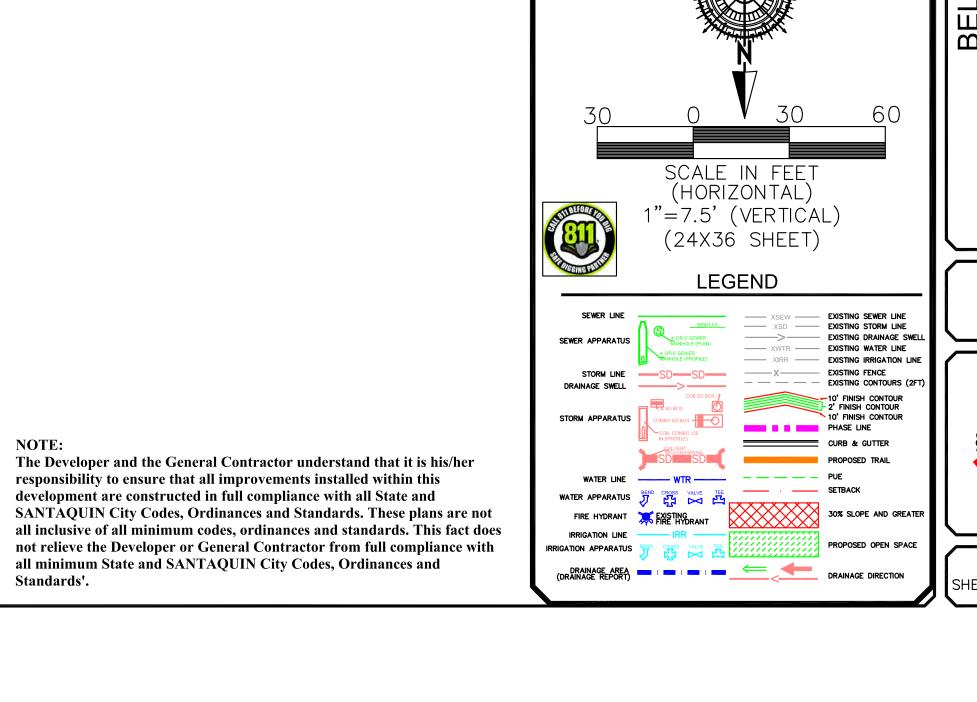
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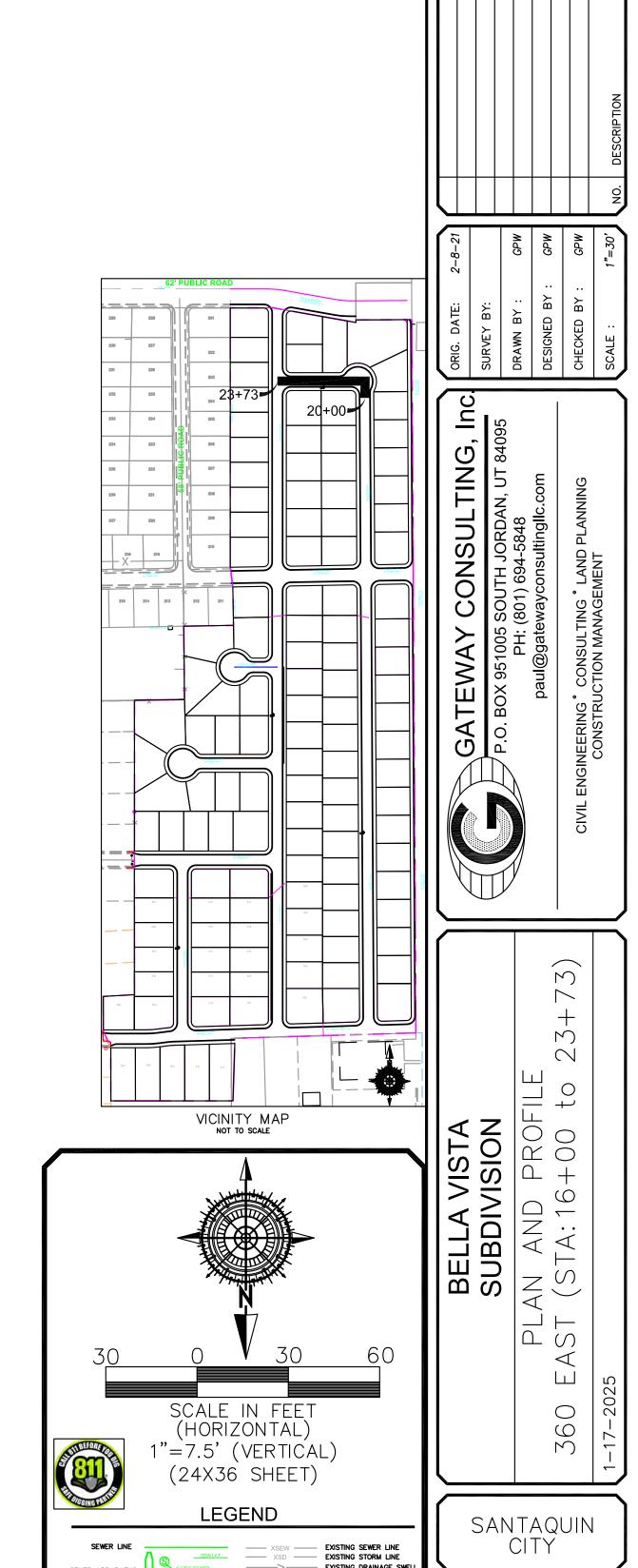
FIRE HYDRANT KEYSTING

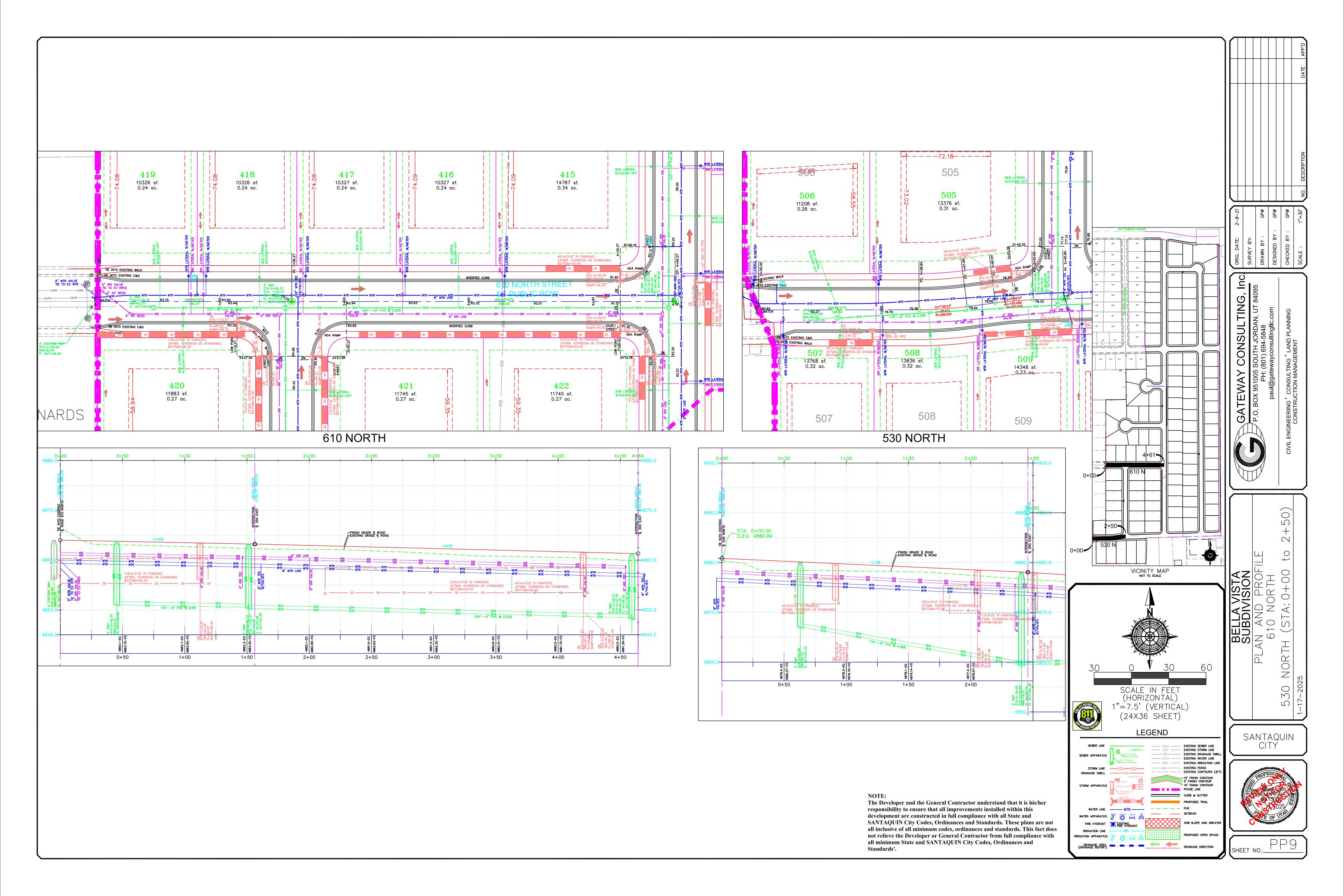
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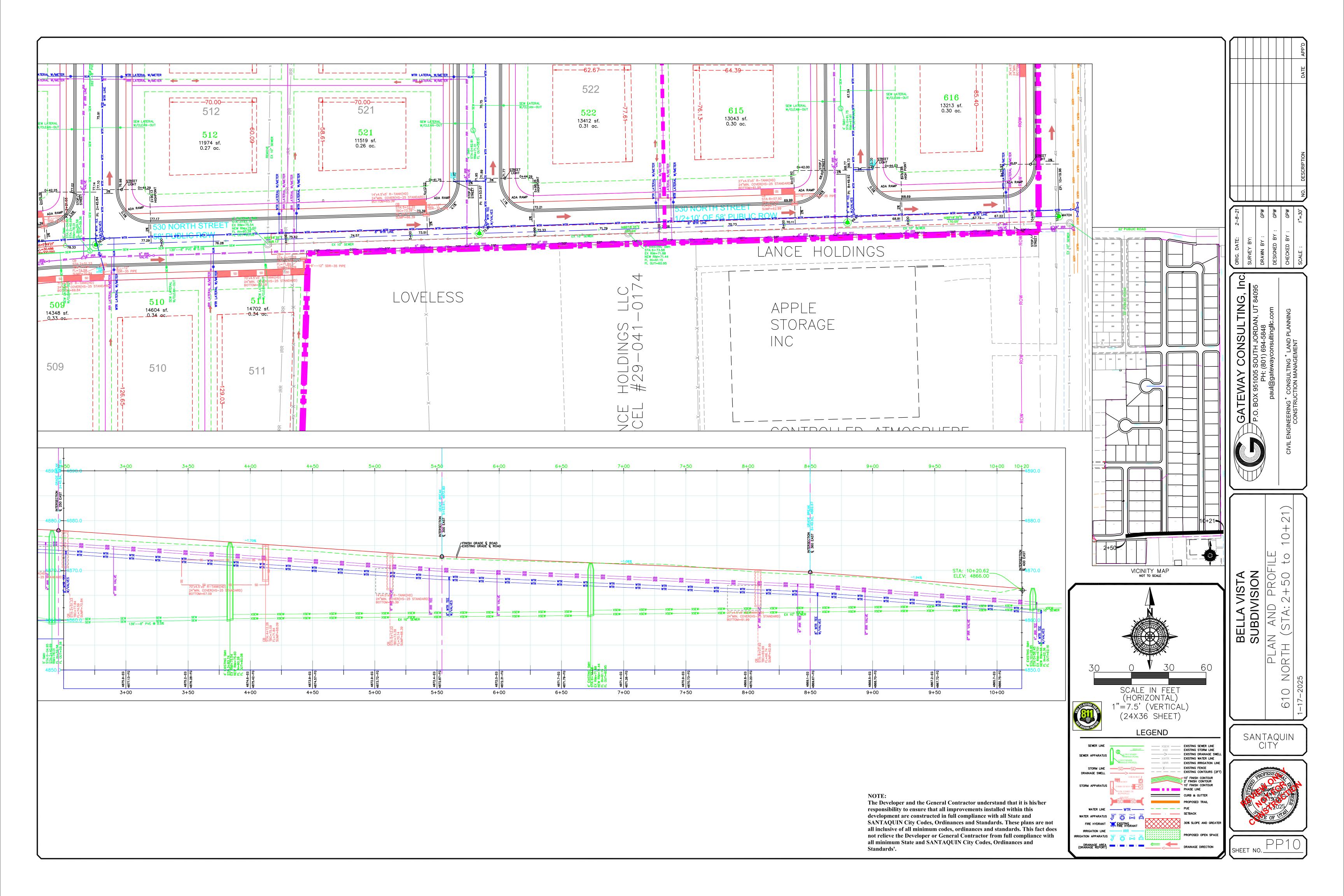


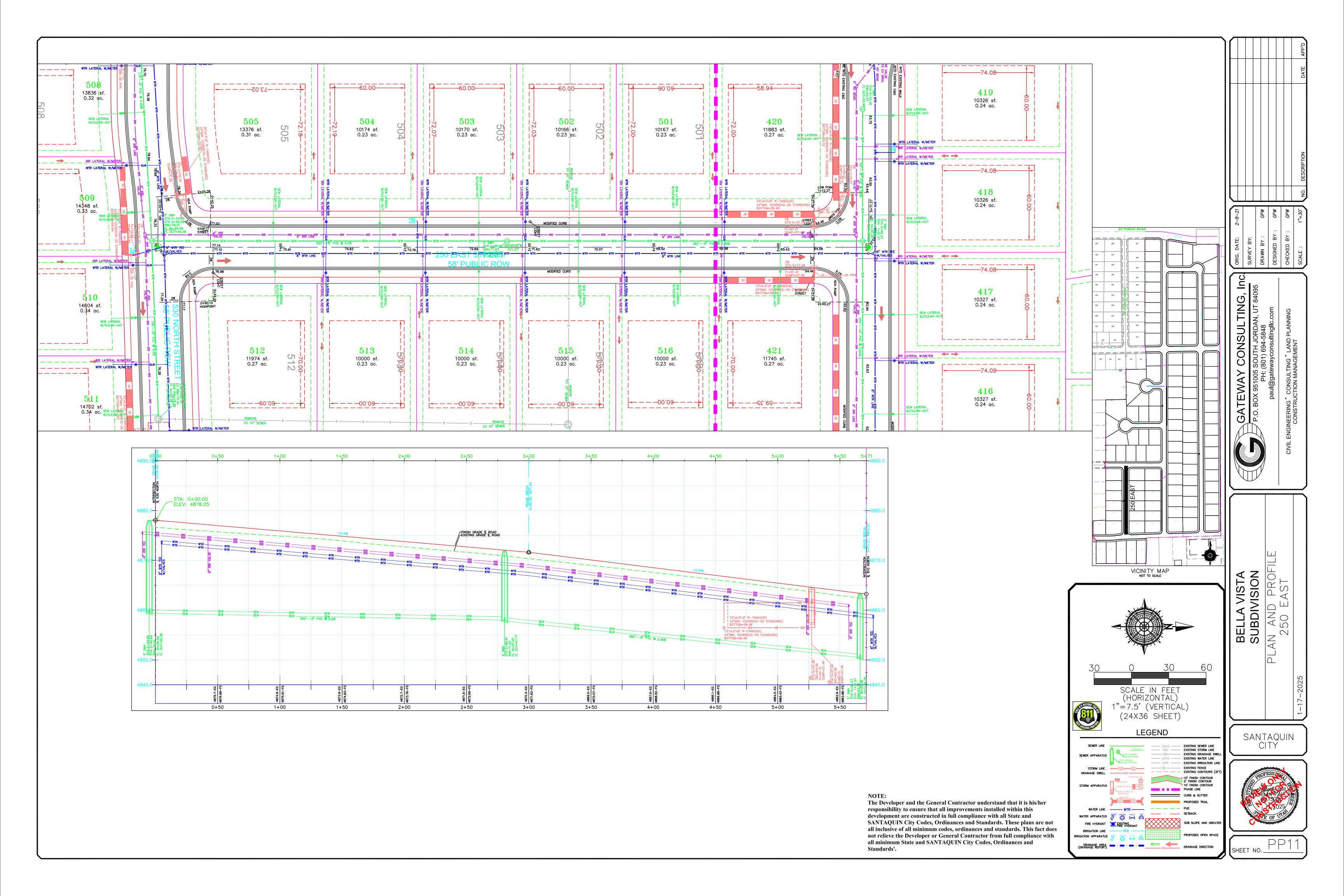


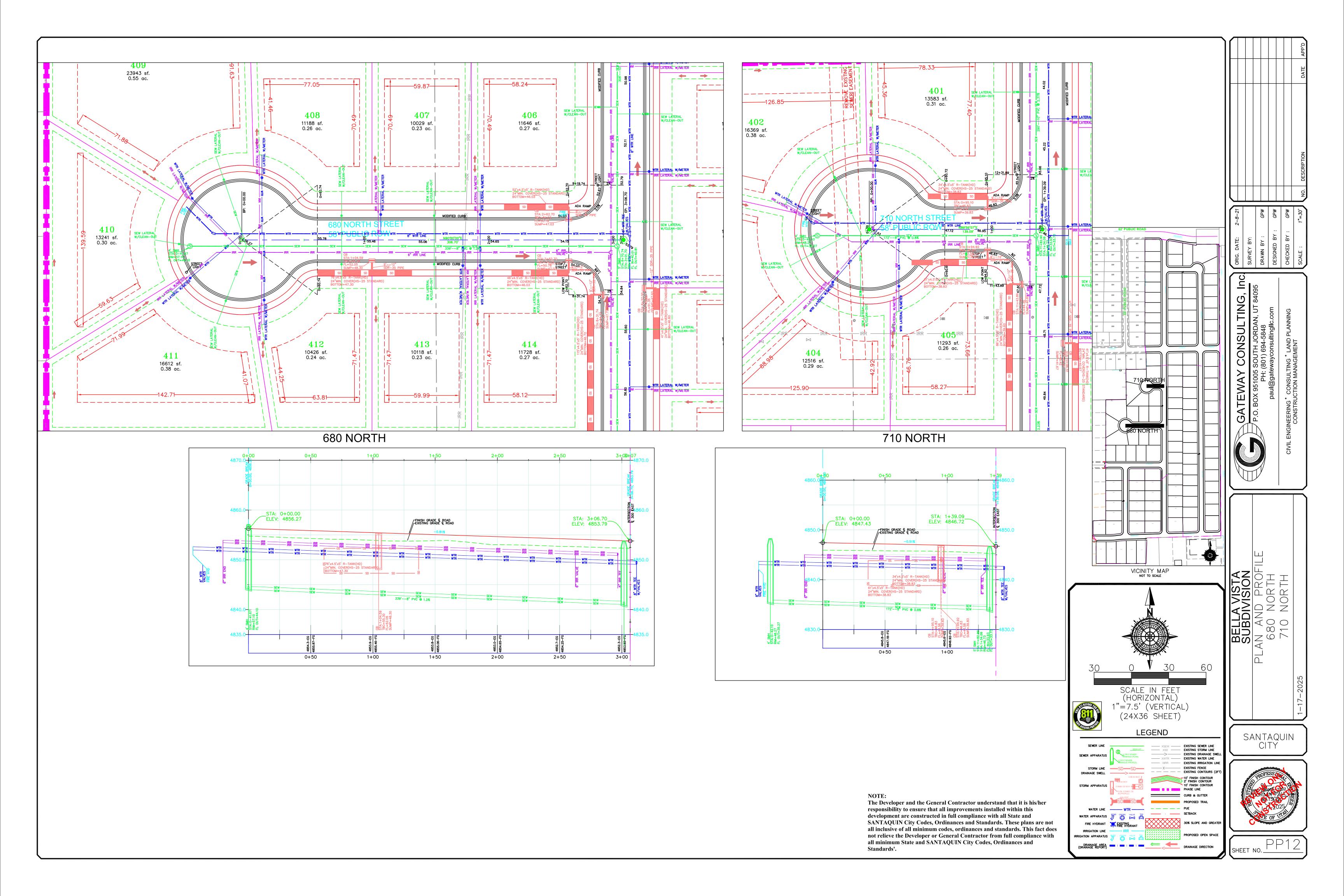


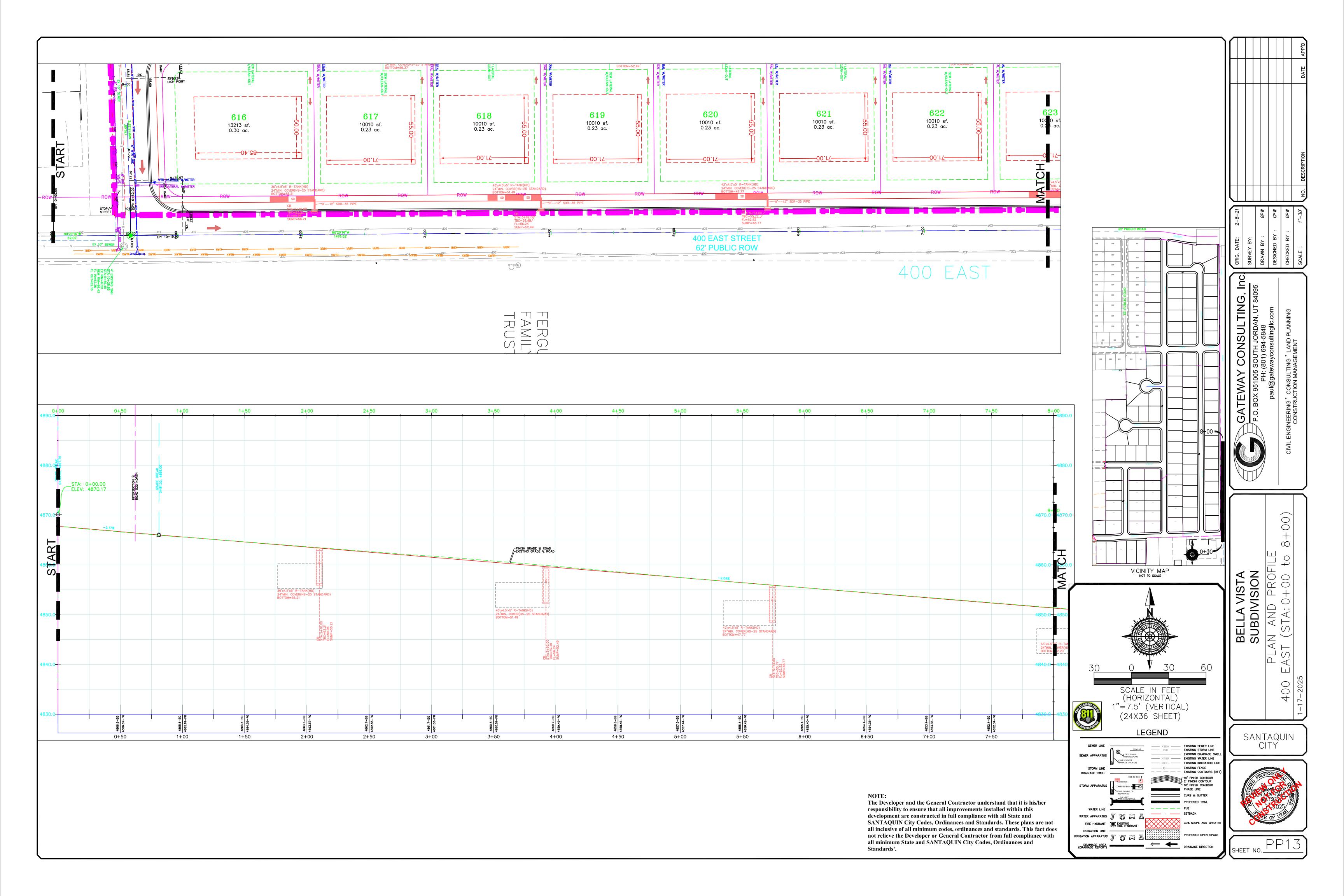


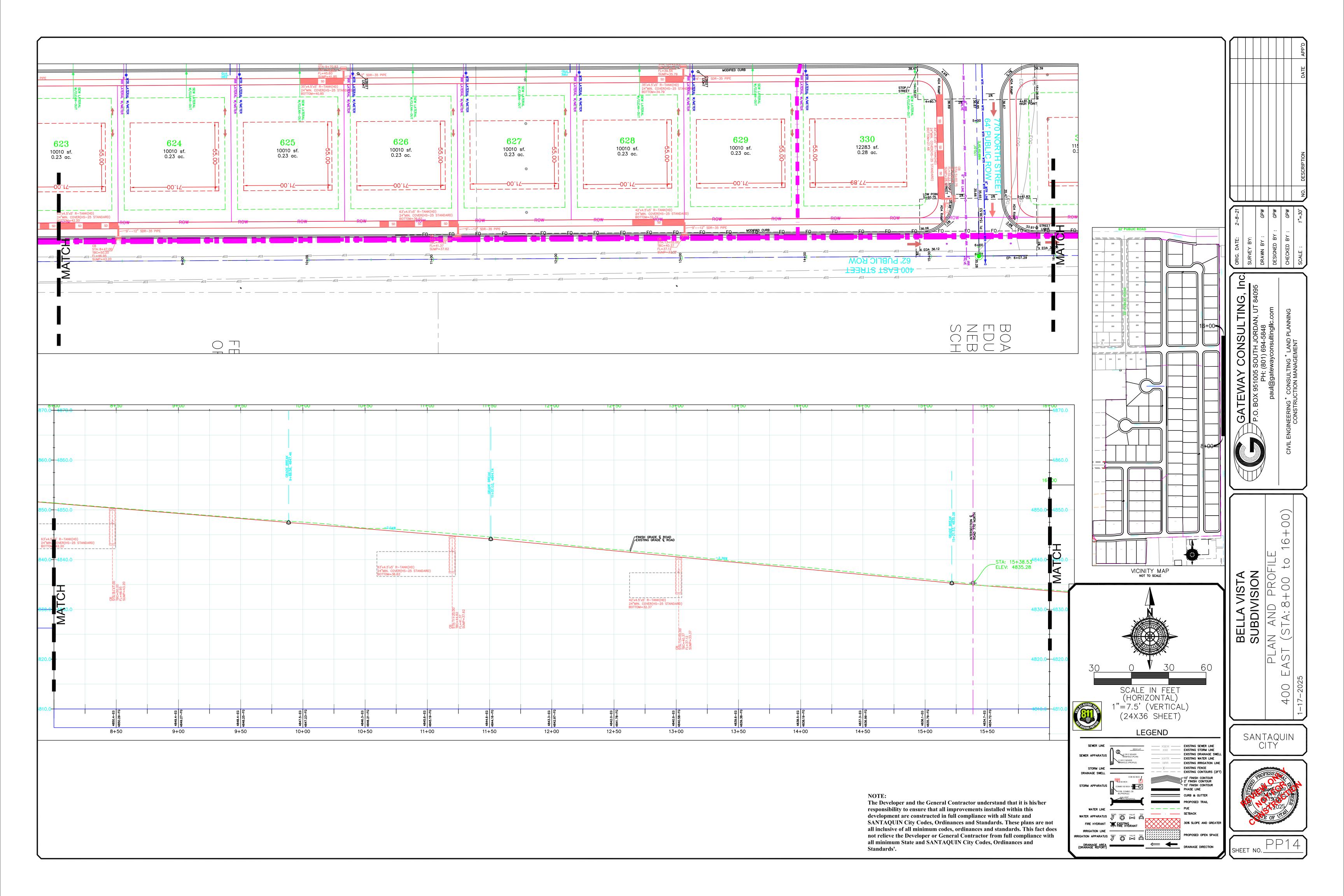


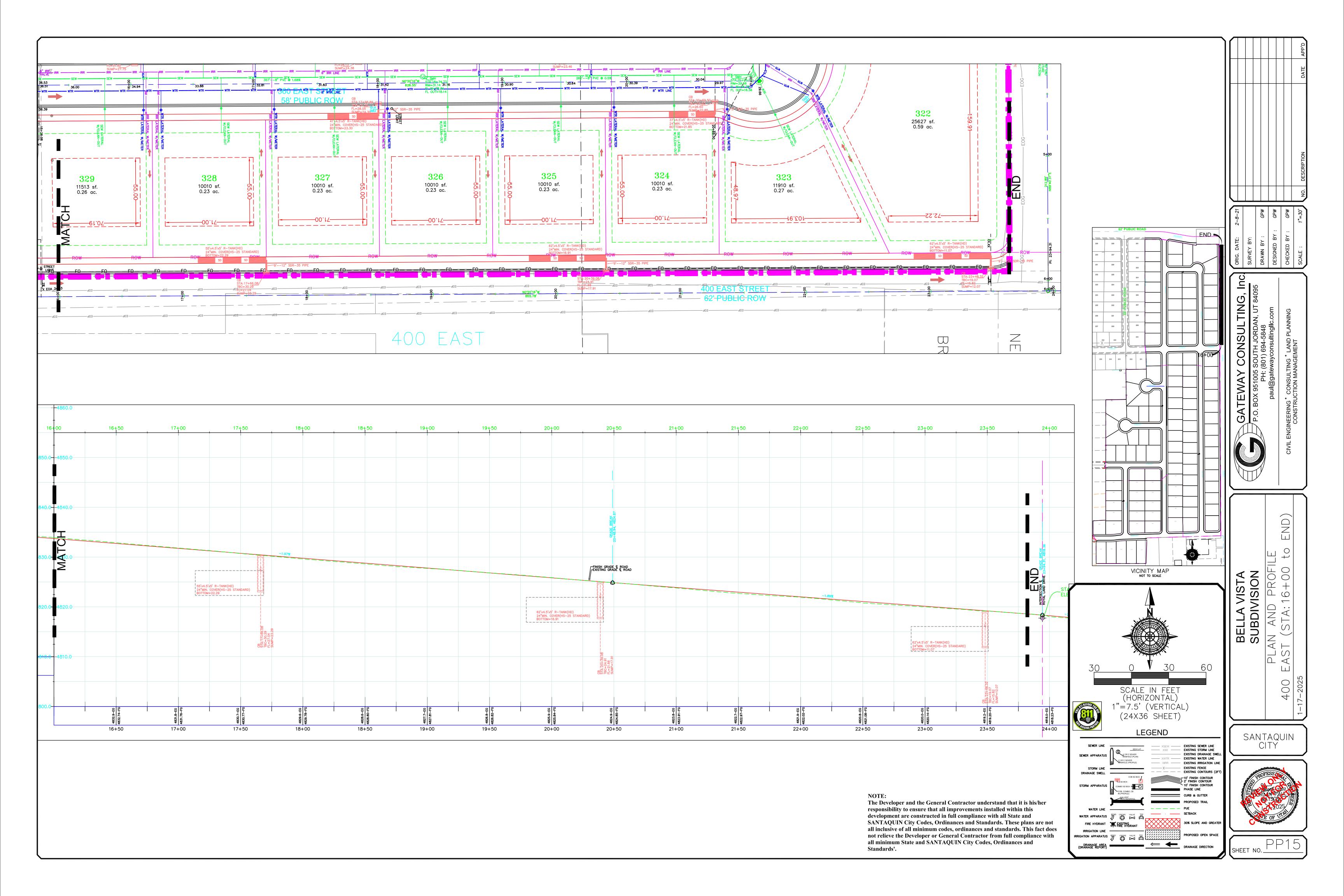


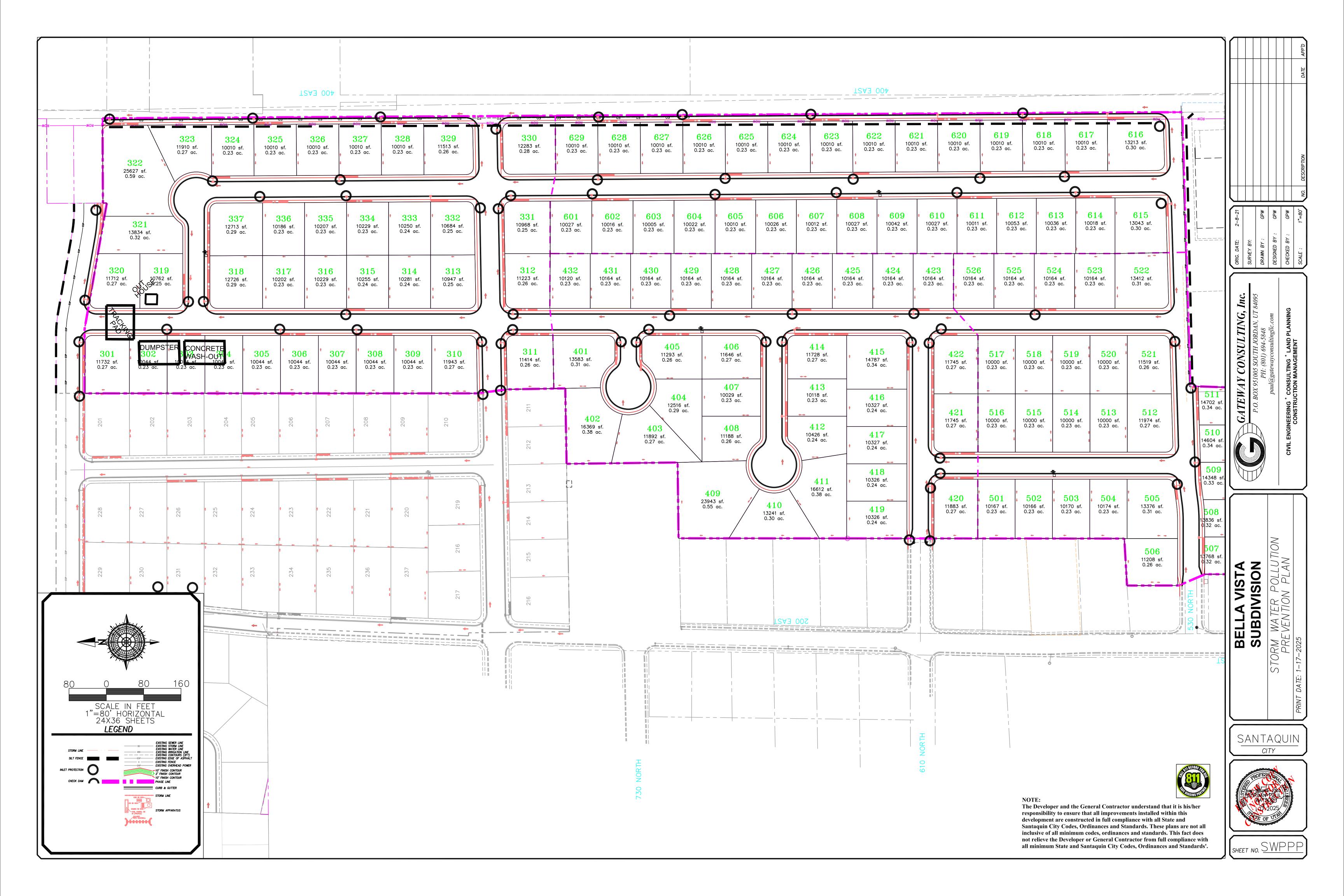












#### GENERAL EROSION CONTROL NOTES

#### DURING CONSTRUCTION

GENERAL EROSION CONTROL NOTES: 1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF, THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.

2. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF THE SANTAQUIN CITY PUBLIC WORKS DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL DEVISES UPON INSPECTION OF PROPOSED FACILITIES.

3. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREETS CLEAN AND FREE FROM DEBRIS FROM TRAFFIC FROM THE SITE.

4. ALL STORM DRAIN FACILITIES ON SITE AND ADJACENT TO THE SITE NEED TO BE PROTECTED FROM SITE RUNOFF. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY UPON INDIVIDUAL INLETS BECOMING FUNCTIONAL.

5. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED, SEEDED WITH NATIVE VEGETATION, OR LANDSCAPED. REFER TO LANDSCAPE PLANS FOR SEED MIX. AND PLANTING SPECIFICATIONS.

6. EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING ARE IN PLACE. EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATIONS. EROSION CONTROL IN PROPOSED PAVEMENT AREAS SHALL REMAIN N PLACE UNTIL PAVEMENT IS COMPLETE. 7. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY AND REMOVED WHEN THE SITE IS PAVED.

8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE.

9. BLOWING DUST MUST BE CONTROLLED AT ALL TIMES. INSTALLATION OF A SILT SCREEN AND SITE WATERING SHALL BE USED TO CONTROL DUST, THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES DURING THE. DEVELOPMENT OF THE PROJECT.

11. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

12. ALL MEASURES CONTAINED IN THIS PLAN MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT. ANY NEEDED CLEANING AND REPAIRS NEED TO BE DONE IMMEDIATELY UPON DISCOVERY.

13. ALL UTILITY LINES SHALL BE CLEANED OF DIRT AND DEBRIS PRIOR TO BEING PUT IN TO SERVICE. DOWNGRADE LINES MUST BE PROTECTED FROM WASH-WATER DURING THE CLEANING TO AVOID CONTAMINATION AND COMPROMISING OUTFALL CLEANLINESS.

#### <u>ADDITIONAL EROSION CONTROL NOTES</u>

#### POST CONSTRUCTION

1. THE CUT SLOPES ARE PROGRAMMED AS SHOWN. TOPS OF 3:1 & 2:1 CUTS THAT OCCUR IN TOP SOIL WILL BE ROUNDED TO BLEND INTO NATURAL

2. EXCAVATED MATERIAL TO BE STOCKPILED IN AREAS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR, COUNTY REVIEW ENGINEER AND COUNTY INSPECTOR.

3. CONTRACTOR SHALL CONFINE CONSTRUCTION ACTIVITY TO AREAS WITHIN THE FLAGGED LIMITS OF DISTURBANCE AND AS SHOWN ON THE PLANS AND WITHIN FIELD DESIGNATED STORAGE, STAGING ACCESS. CONSTRUCTION AND MATERIAL WASTE AREAS AS APPROVED BY THE CITY ENGINEER.

4. CONTRACTOR SHALL ABIDE BY EROSION CONTROL REQUIREMENTS AS SET FORTH HEREIN.

5. ORGANIC MATERIALS WILL BE SEPARATED, REMOVED FROM THE ROAD BEDS AND STOCKPILED IN LOCATIONS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR AND COUNTY INSPECTOR. NO ORGANIC MATERIAL WILL BE PLACED IN THE STRUCTURAL FILLS AREA.

6. AFTER CLEARING AND GRUBBING OPERATIONS, TOPSOIL IS TO BE STOCKPILED IN AREAS TO BE DETERMINED IN FIELD BY THE ENGINEER, CONTRACTOR, COUNTY REVIEW ENGINEER AND COUNTY INSPECTOR. NO ORGANIC MATERIAL OR ROCK LARGER THAN 24" WILL BE PLACED IN ROADWAY FILLS. 12" MINUS IN TOP 1' OF ROADWAY.

7. NO BRUSH OR TOPSOIL SHALL BE STOCKPILED WITHIN THE ROADWAY RIGHT OF WAYS.

8. ALL FILL SLOPES WILL BE GRADED AS SHOWN OR AS DETERMINED BY A GEOTECHNICAL ENGINEER. COMPACTION OF EMBANKMENT FILLS WILL BE CONSTRUCTED TO SANTAQUIN CITY ROADWAY STANDARDS. FILL AREAS SHALL BE CLEARED, GRUBBED, STRIPPED OF SOIL AND SCARIFIED PRIOR TO PLACEMENT OF SUITABLE EMBANKMENT MATERIAL

9. ALL DISTURBED AREAS WILL BE REVEGETATED ACCORDING TO REVEGETATION / EROSION CONTROL NOTES WITH A GRASS MIXTURE AS FOLLOWS APPLIED AT A MINIMUM RATE OF 50 LBS. PLS (PURE LIVE SEED PER ACRE WITH MIX)

> NATIVE GRASSES % Pure Grass Type Hard fescue Pubescent wheat grass 15.00 Orchard grass (sod forming) 15.00 smooth brom grass 20.00 Stream bank wheat grass (sod forming) 15.00 Western wheat grass

TOPSOIL SHALL BE PLACED TO A DEPTH OF 6" ON ALL CUT AND FILL SLOPES 3:1 OR FLATTER. REVEGETATION AREAS WILL BE SEEDED AND MULCHED AS SOON AS POSSIBLE AFTER CONSTRUCTION COMPLETION.

10. SILT FENCING WILL BE HELD IN PLACE WITH 2 X 2 STAKES AND WILL BE PLACED ON THE DOWNHILL SIDES OF ALL DISTURBED AREAS AND AREAS USED FOR STOCKPILING AND TRENCHED INTO GROUND.

11. THE SILT FENCING SHALL BE INSTALLED BEFORE CLEARING AND GRUBBING AT THE TOE OF THE DISTURBED DOWNHILL SLOPE. NO GRUBBED AREA SHALL BE WITHOUT SILT FENCE PROTECTION FOR LONGER THAN 24 HOURS. THE SILT FENCE SHALL BE MONITORED AND REPLACED IF NECESSARY.

12. ALL SITE DRAINAGE SHALL BE ADEQUATELY PROVIDED FOR DURING CONSTRUCTION.

13. NATURAL VEGETATION WILL BE PRESERVED AND PROTECTED AS MUCH AS POSSIBLE AND VEGETATION REMOVAL WILL BE MINIMIZED.

14. DRAINAGE WAYS AND OUTLETS WILL BE PROTECTED FROM INCREASED FLOWS AND EROSION.

15. THE CONTRACTOR SHALL NOTIFY ALL OWNERS OF UTILITIES INCLUDING BUT NOT LIMITED TO WATER, SANITARY SEWER, TELEPHONE, ELECTRICAL, NATURAL GAS AND CABLE TELEVISION, OF THE PROPOSED CONSTRUCTION WITHIN THE UTILITIES AREA OF OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR MEETING WITH AND COORDINATING CONSTRUCTION ACTIVITIES WITH THOSE OF THE UTILITY COMPANIES INVOLVED WITH FIELD LOCATION OF ALL EXISTING UTILITIES WITHIN THE AREA OF OPERATIONS. SHOULD THE CONTRACTOR EXPERIENCE A FAILURE BY THE UTILITY COMPANIES TO COMPLY WITH THEIR RESPONSIBILITY OF RELOCATING OR ADJUSTING THEIR FACILITIES, IF ANY, THE OWNER MUST BE NOTIFIED IN WRITING. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

16. THE CONTRACTOR SHALL FOLLOW AS APPLICABLE, UNLESS STANDARDS HAVE BEEN WAIVED OR MODIFIED:

- UNIFORM BUILDING CODE, 1997 EDITION, APPENDIX CHAPTER A33, EXCAVATING AND GRADING

UNIFORM FIRE CODE

17. FINISH GRADES ARE AT ROADWAY CENTERLINE, UNLESS OTHERWISE SPECIFICALLY NOTED.

18. NATIVE MATERIAL CAN BE CRUSHED AND PROCESSED ON SITE FOR

19. TEMP. DEBRIS PILES WILL BE LOCATED EVERY 200' AS NEEDED.

20. ALL ROADWAYS, TRENCHES, DETENTION PONDS AND/OR EXCAVATIONS OF ANY KIND REQUIRING FILL MATERIAL WILL BE INSPECTED AND APPROVED BY THE OWNERS QUALITY CONTROL FIRM PRIOR TO THE PLACEMENT OF ANY

21. ALL FILL OR BACK FILL, WHETHER IMPORT OR NATIVE SOILS, WILL BE TESTED FOR DENSITY, MOISTURE AND BEARING AT REGULAR INTERVALS THROUGH THE COURSE OF THE FILL PLACEMENT. ALL FILLS WILL BE PLACED IN LIFTS AS PER THE PLANS AND SANTAQUIN CITY SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE TO NOTIFY THE THE GEOTECH 24 HOURS IN ADVANCE OF SCHEDULED FILL PLACEMENT.

22. IN THE EVENT OF DISCREPANCIES BETWEEN BID DOCUMENTS AND EXISTING ONSITE CONDITIONS, CONTRACTOR WILL 1) IMMEDIATELY HALT WORK ACTIVITY AND NOTIFY DESIGN ENGINEER OF ANY SUCH DISCREPANCIES 2) UPON RESOLUTION OF DISCREPANCIES, CONTRACTOR WILL SUBMIT COST OF CHANGED CONDITION, IF ANY. 3) PROCEED WITH WORK AFTER RECEIPT OF WRITTEN NOTICE TO COMMENCE WORK.

23. CONTRACTOR WILL, PRIOR TO INSTALLATION PREPARE AND SUBMIT PRODUCT DATA AND DETAILS FOR MATERIAL USED IN CONJUNCTION WITH THIS PRODUCT IE. OVERFLOW STRUCTURES, DRAINAGE PIPE, FILTER

24. CUT AND FILL SLOPES MATTING TO BE SEEDED AND TOPSOILED PRIOR TO PLACEMENT OF EROSION BLANKETS.

25. STAPLE PATTERNS ON EROSION MATS PER SUPPLIERS SPECS

EROSION CONTROL BLANKET - ALL REQUIRED GRADING AND SEEDING IN AREAS TO RECEIVE EROSION CONTROL BLANKET SHOULD BE COMPLETED AND APPROVED BEFORE PLACING THE PRODUCT. APPLY THE BLANKET WITHIN 24 HOURS AFTER SEEDING OR BEFORE PRECIPITATION FALLS. IF THE BLANKET IS NOT INSTALLED AND A PRECIPITATION EVENT OCCURS, CREATING SOIL EROSION, REPLACE ERODED MATERIAL, REWORK THE SOIL, AND RESEED BEFORE INSTALLING THE BLANKET. INSTALL THE EROSION CONTROL BLANKET OR CHANNEL LINER STRICTLY FOLLOWING MANUFACTURER'S SPECIFICATIONS. ALLOW THE BLANKET OR LINER TO LAY LOOSELY ON THE SOIL TO ACHIEVE MAXIMUM SOIL CONTACT. REMOVE ROOTS, BRANCHES, OR OTHER LOOSE OBJECTS THAT CAUSE THE BLANKET OR CHANNEL LINER TO "TENT". PLACE ROOTS AND BRANCHES ON AREAS ALREADY BLANKETED. DO NOT STRETCH THE BLANKET DURING INSTALLATION. STAPLE THE BLANKET OR LINER USING MANUFACTURER'S SPECIFICATIONS. STAPLE REQUIREMENTS VARY ACCORDING TO THE STEEPNESS AND LENGTH OF THE SLOPE. PLACE ADDITIONAL STAPLES IN AREAS SUCH AS: SWALES, BASE OF HUMPS, AGAINST ROCK OUTCROPS AND AS REQUIRED TO ACHIEVE MAXIMUM CONTACT BETWEEN THE BLANKET AND THE SOIL.

TOPSOIL - PLACE TOPSOIL JUST BEFORE SEEDING TO ELIMINATE COMPETITION FROM WEEDS, COORDINATE TOPSOIL PLACEMENT WITH THE SEEDING WINDOW.

SEEDING WINDOW - COMPLETE ALL GENERAL DISTURBED AREA SEEDING WITHIN THE APPROPRIATE SEEDING WINDOW. IF THE SEEDING IS NOT COMPLETED WITHIN THE GIVEN WINDOW, POSTPONE SEEDING UNTIL THE FOLLOWING YEAR. UNDER CERTAIN CONDITIONS, AN EXCEPTION TO THIS WINDOW MAY BE OBTAINED THROUGH THE REGION LANDSCAPE ARCHITECT. THE ENGINEER APPROVES EXCEPTIONS.

**ELEVATION** 4000 TO 6000 FT ABOVE 6000 FT

ROAD BASE MATERIAL.

FILL MATERIAL.

FABRICS, EROSION BLANKETS, GROUT, GUARDRAILS, ROAD SIGNS, ETC.

SEEDING WINDOW SEPT. 15 TO DEC. 1 SEPT. 1 TO NOV 15



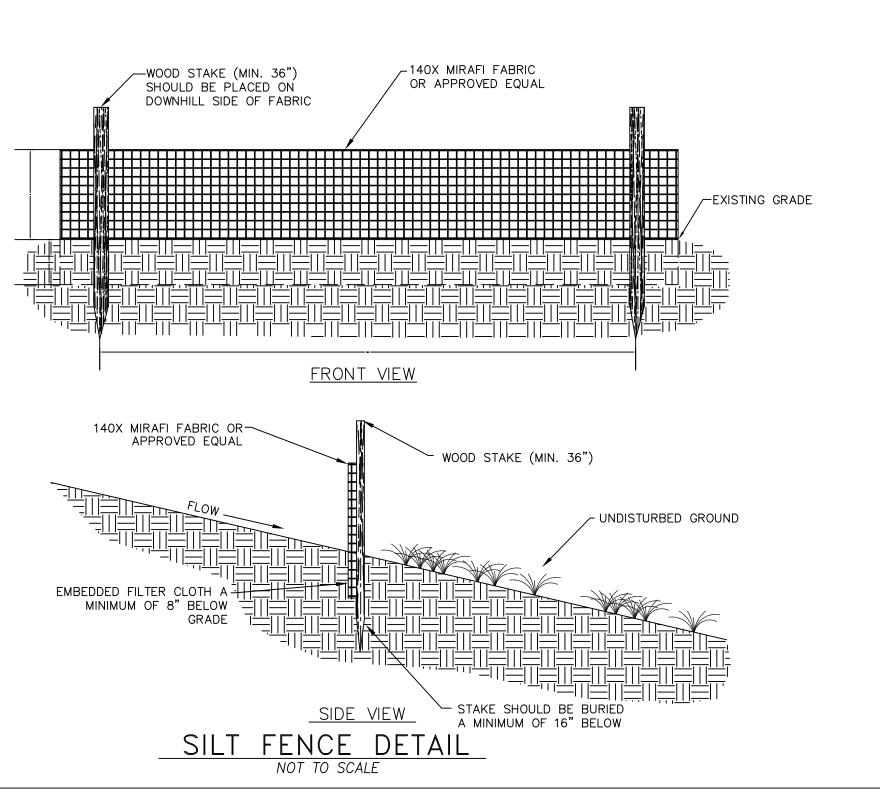
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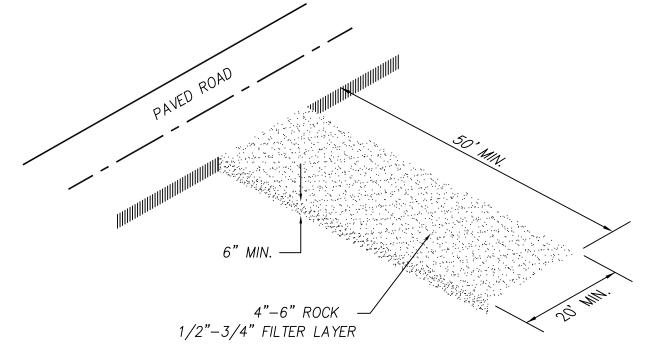
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SANTAQUIN CITY



SHEET NO. \_L





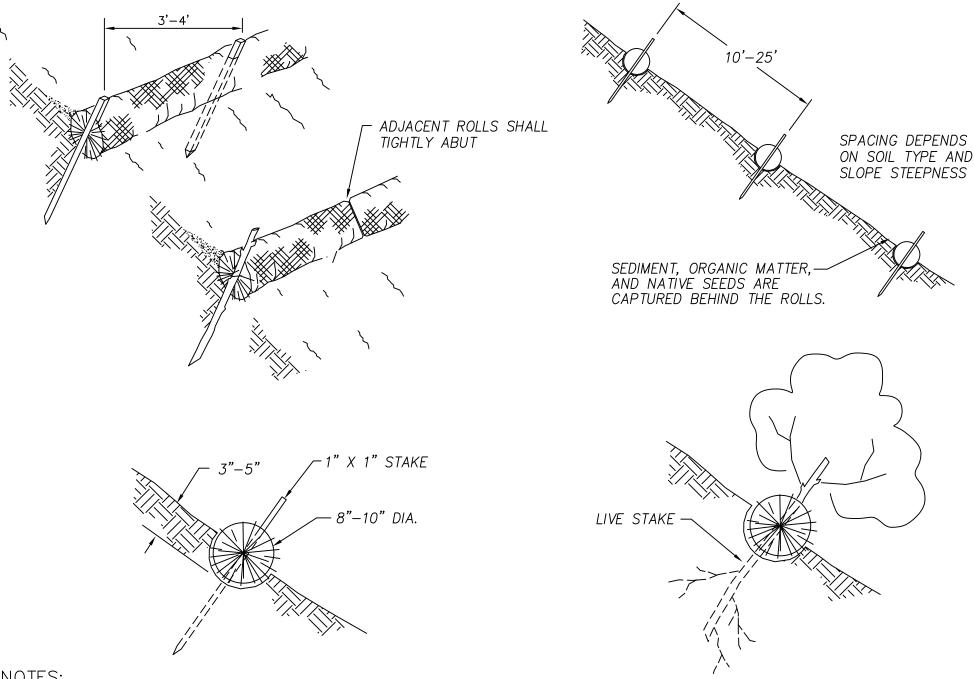
NOTES:

1-CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2% 2-COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN IN USE FOR MORE THEN 3 MONTHS)

3-PLACE COURSE AGGREGATE, 1 TO  $2-\frac{1}{2}$  INCHES SIZE, TO A MINIMUM DEPTH OF 8 INCHES 4-DAILY INSPECTIONS ARE REQUIRED FOR LOSS OF GRAVEL OR SEDIMENT. SWEEPING OF ASPHALT ROADWAY MAY BE REQUIRED TO ELIMINATE GRAVEL FROM TRACKED TO SURFACE.

VEHICLE TRACKING DETAIL

NOT TO SCALE



Straw wattles shall be installed as soon as construction will allow or when designated by the Engineer. Straw wattles shall be placed in shallow trenches and staked along the contour of disturbed or newly constructed slopes, in accordance with the Plans, perpendicular to the flow direction and parallel to the slope contour.

The wattles shall be installed at the intervals designated by the Engineer.

Trench construction and wattle installation shall begin from the base of the slope and work uphill. Excavated material shall be spread evenly along the uphill slope and compacted using hand tamping or other method approved by the Engineer. On gradually sloped or clay—type soils trenches shall be 2 to 3 inches deep. On loose soils, in high rainfall areas, or on steep slopes, trenches shall be 3 to 5 inches deep, or half the thickness of the wattle.

The wattle shall be install snugly into the trench, abutting adjacent wattles tightly, end to end, without overlapping the ends. Wattles shall be staked at each end and at 4 foot centers along their entire length. When trench conditions require, pilot holes for the stakes shall be driven through the wattle and

Wattles shall be inspected regularly to ensure they remain thoroughly entrenched and in contact with the soil, and immediately after a runoff producing

into the soil using a straight bar. Stakes shall be driven through the middle of the wattle, leaving 2 to 3 inches of the stake protruding above the wattle.

# STRAW WATTLE (SILT FENCE ALTERNATIVE) NOT TO SCALE

NOTE:
TYPICALLY STRAW BALES ARE NOT RECOMMENDED FOR INLET PROTECTION BARRIERS.

PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.

SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC TO BE USED TO WEIGH DOWN WATTLE IN AREAS WHERE THE WATER FLOW MAY MOVE THE WATTLE.

INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE

PLASTIC SHEETING —

SIDEWALK

END SHALL FIT TIGHTLY
TO BACK OF CURB

FLOW

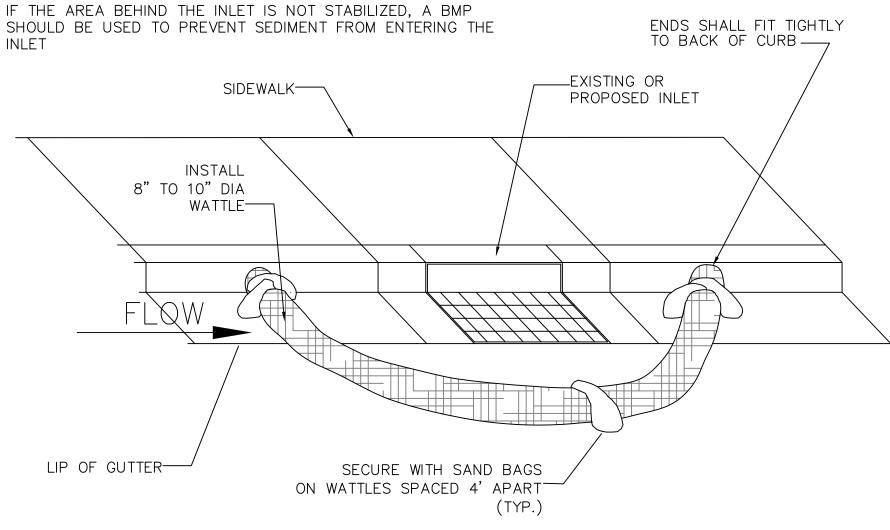
LIP OF GUTTER

SEDIMENT
ZONE

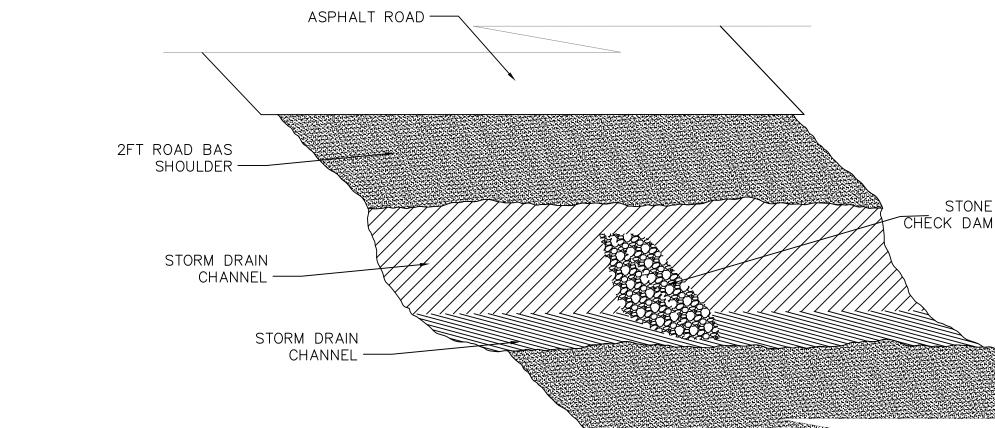
SECURE WITH SAND BAGS
ON WATTLE SPACED 4' APART
(TYP.)

NOTE: INSTALL GUTTER WATTLE MIDWAY BETWEEN IMPACTED INLETS AND CONSTRUCTION DISTURBANCE.

## GUTTER PROTECTION SETUP



# INLET PROTECTION BARRIERS



# DRAINAGE CHANNEL PROTECTION NOT TO SCALE

NOTE:

1. PLACE A CHECK DAM AT EVERY 100 LINIER FEET OF DRAIN CHANNEL
2. PLACE CHECK DAMS PERPENDICULAR TO THE FLOW LINE OF THE CHANNEL
3. CONSTRUCT CHECK DAMS SO THAT WATER DOES NOT FLOW AROUND THE ENDS OF THE DAM
4. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.

See SANTAQUIN CITY specifications for further information.

#### <u>BMP</u> 1 — ∆ V∩I

1-AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON SITE. 2-PERFORM CONCRETE TRUCK WASHOUT OFF SITE OR IN DESIGNATED AREA

3-DO NOT WASHOUT CONCRETE TRUCKS INTO STORM DRAIN, OPEN DITCHES, STREETS OR STREAMS 4-LOCATE ONSITE WASHOUT AREA MORE THEN 50 FT AWAY FROM NEAREST STORM INLET. 5-WASHOUT CONCRETE WASTE INTO WASHOUT PIT OR COMMERCIAL WASHOUT BIN ONLY.

#### USE OF CONCRETE WASHOUT

1-IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE CONCRETE WASHOUT AREA. 2-WASHOUT CONCRETE WASTE INTO PIT OR CONTAINER WHERE IT CAN SET AND LATER BE BROKEN UP AND DISPOSED OF PROPERLY

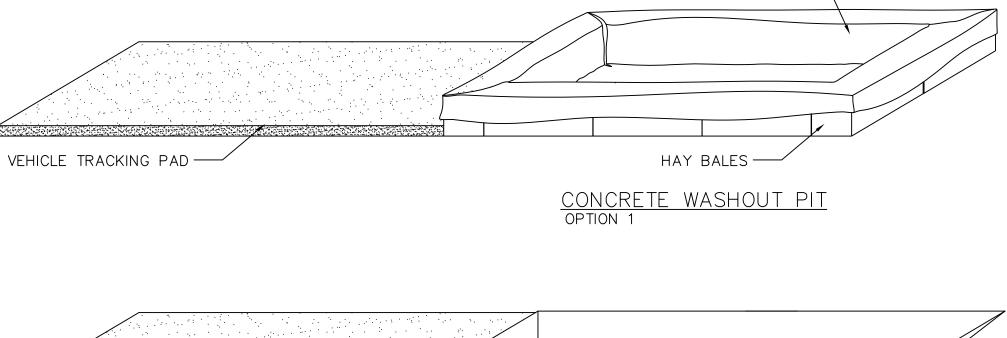
AND DISPOSED OF PROPERLY

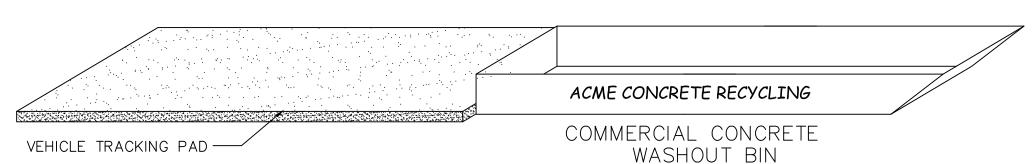
3-NO WASTE OR LITTER IS TO BE PERMITTED TO ACCUMULATE IN THE WASHOUT AREA. AREA SHOULD BE CLEAN AT THE

END OF EACH WORK DAY.

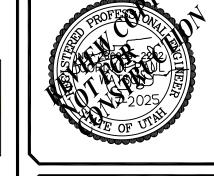
4-INSTALL PROPER WASTE WATER PROTECTION AT ALL EFFECTED DOWNHILL STORM DRAINS AND INLETS 5-INSTALL A VEHICLE TRACKING PAD TO PROTECT THE STREETS FROM MUD AND OTHER DEBRIS FROM TRUCKS. MAKE SURE ALL TRUCKS ARE CLEAR OF MUD AND ROCK THAT CAN FALL FROM TRUCK WHILE TRAVELING ON STREETS.

CONCRETE WASHOUT AREA







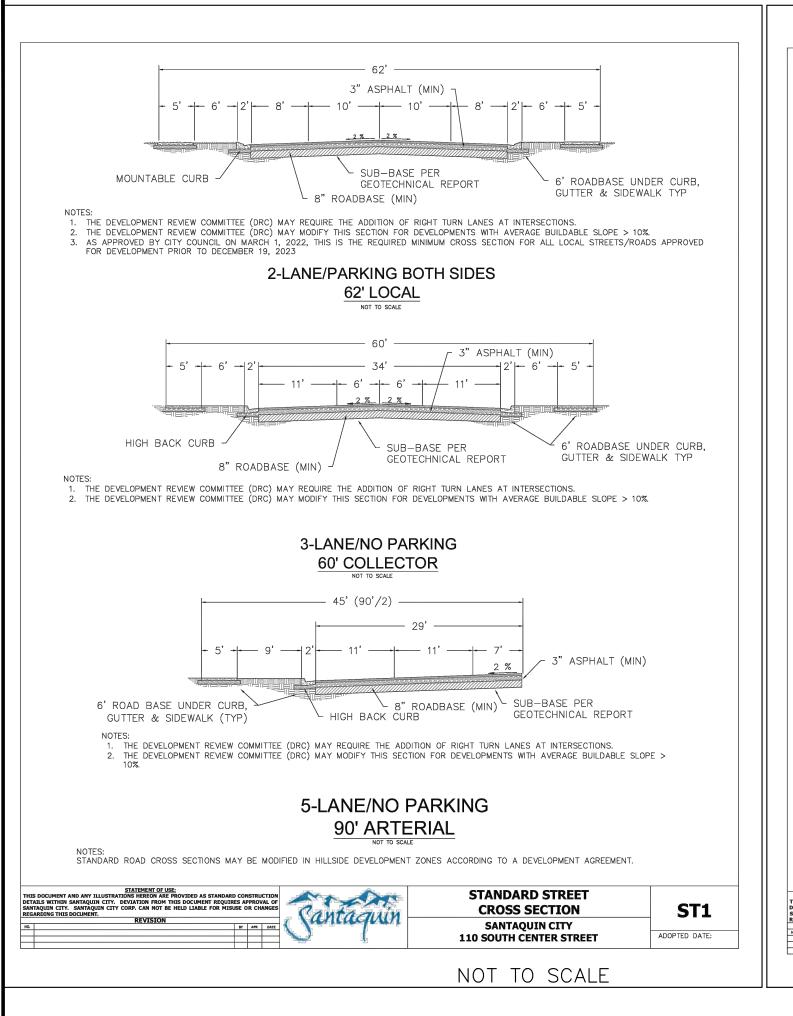


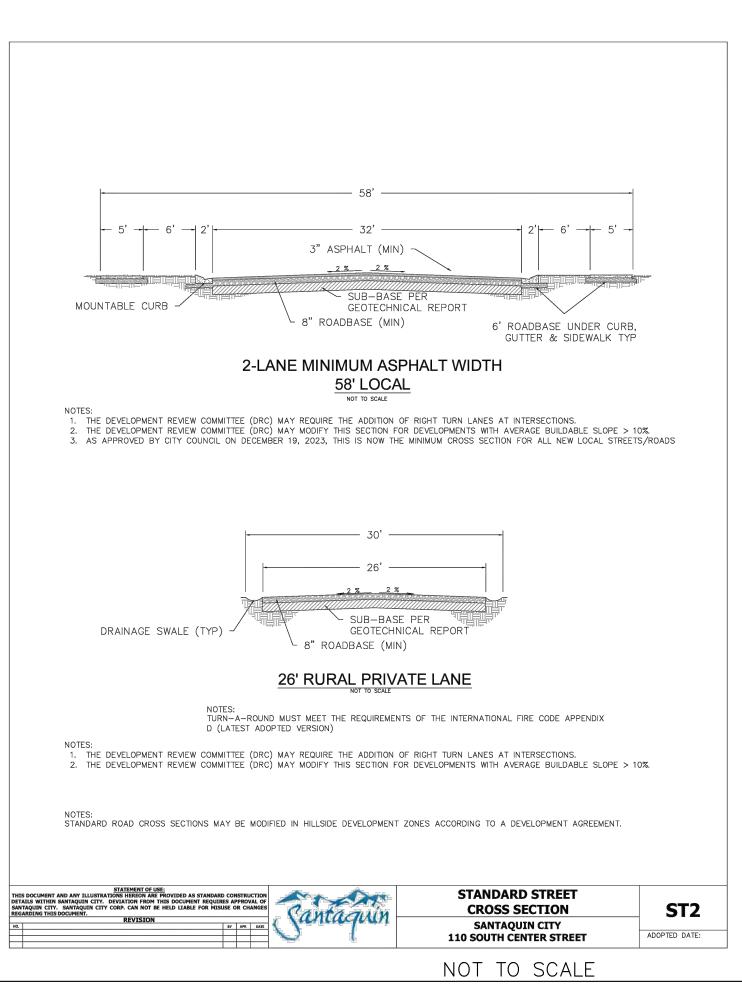
SANTAQUIN

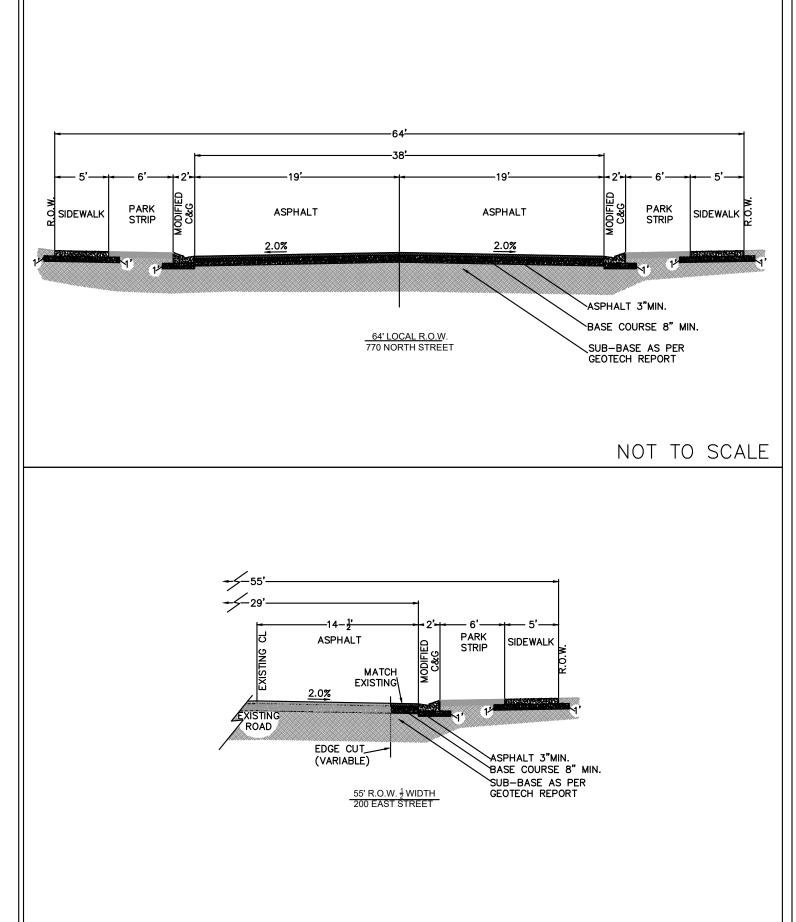
CITY

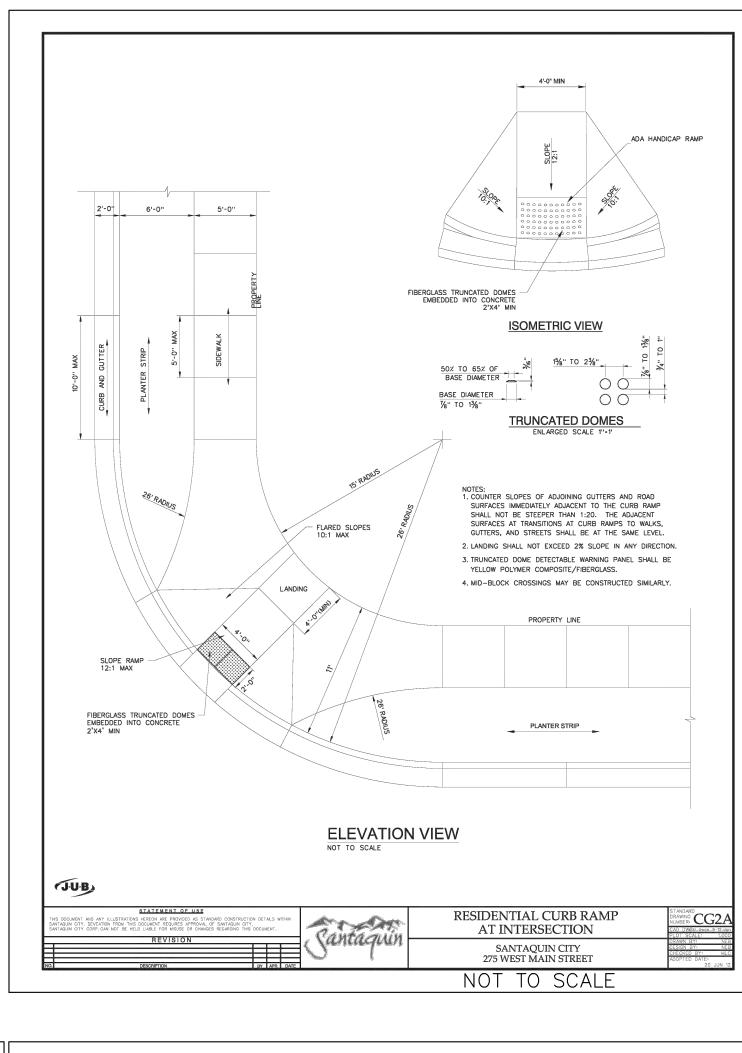
BELLA VISTA SUBDIVISION

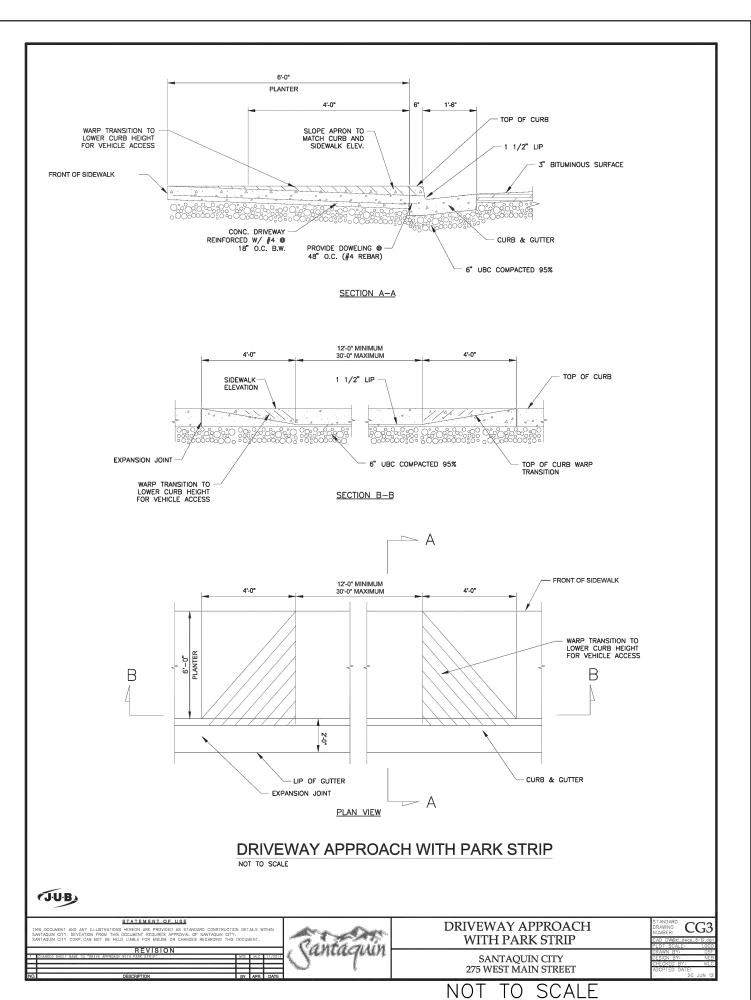
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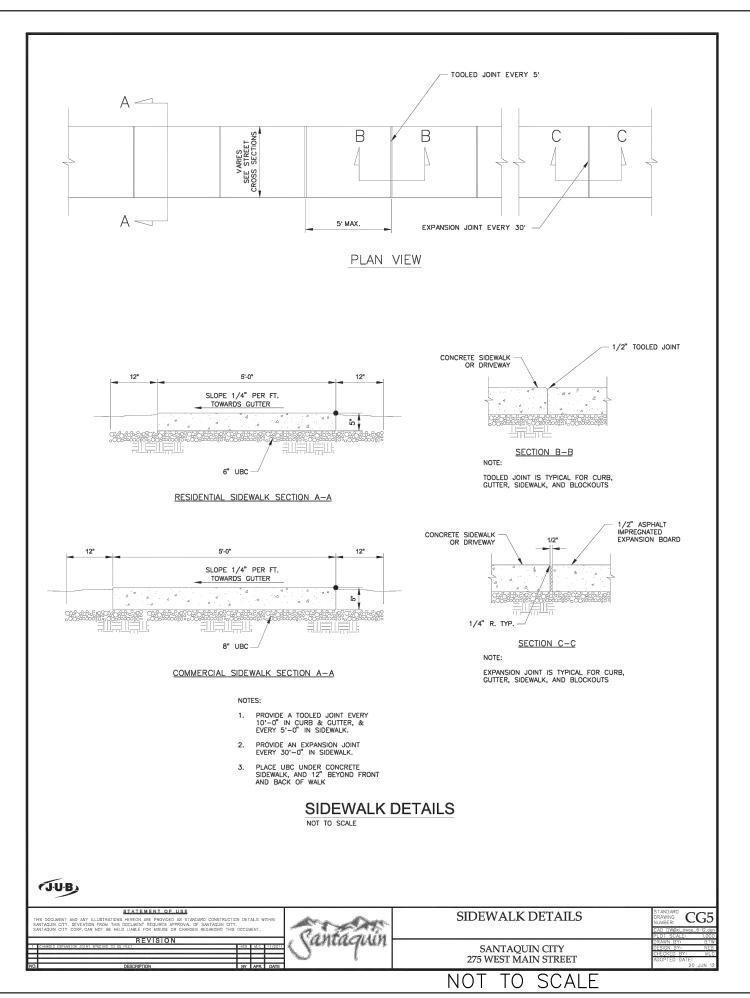


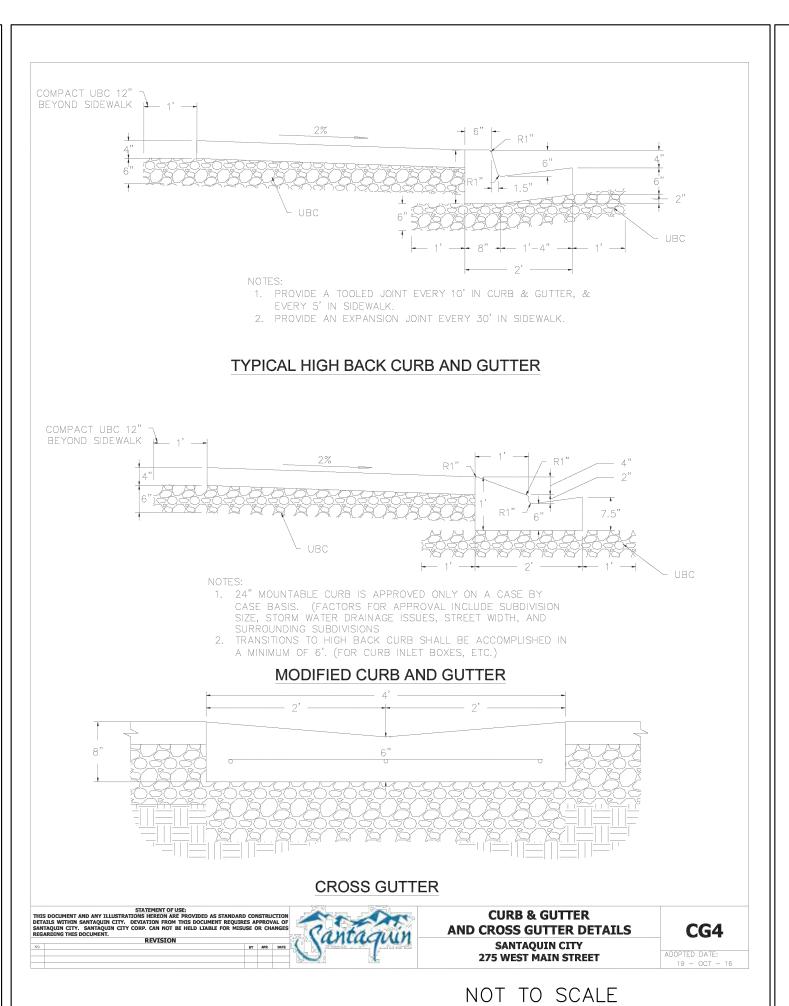


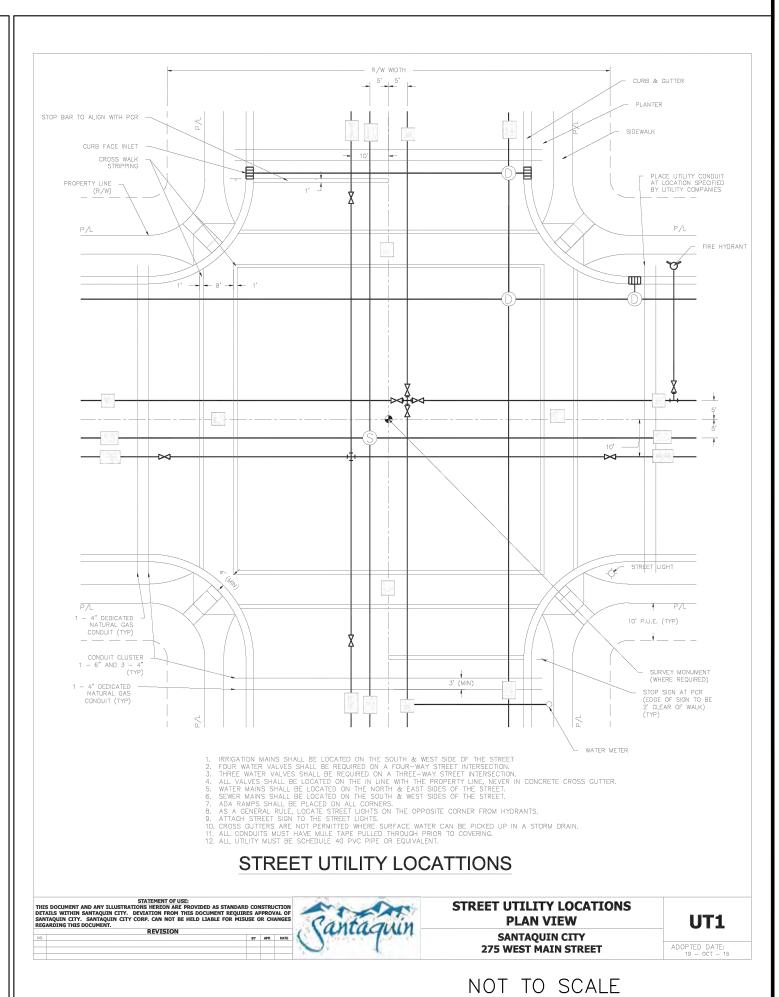


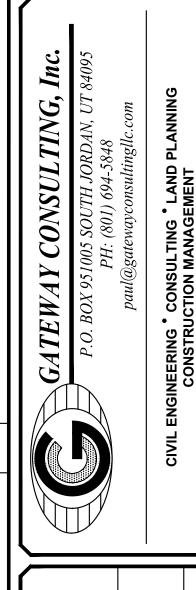












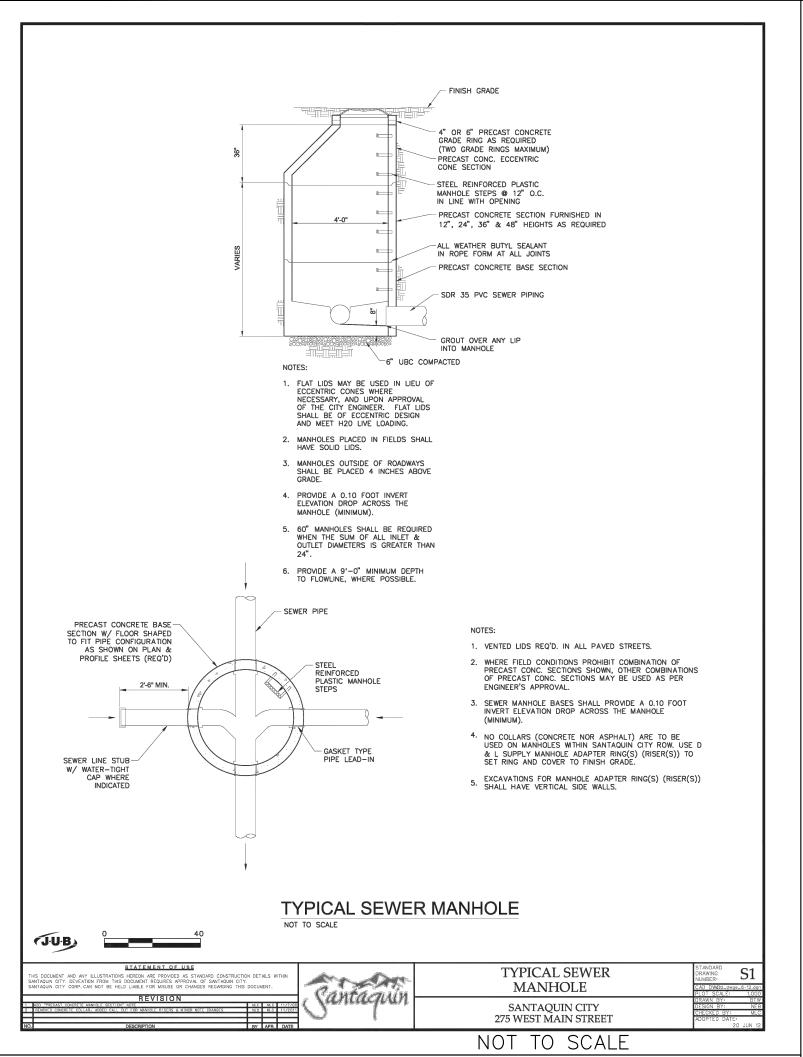


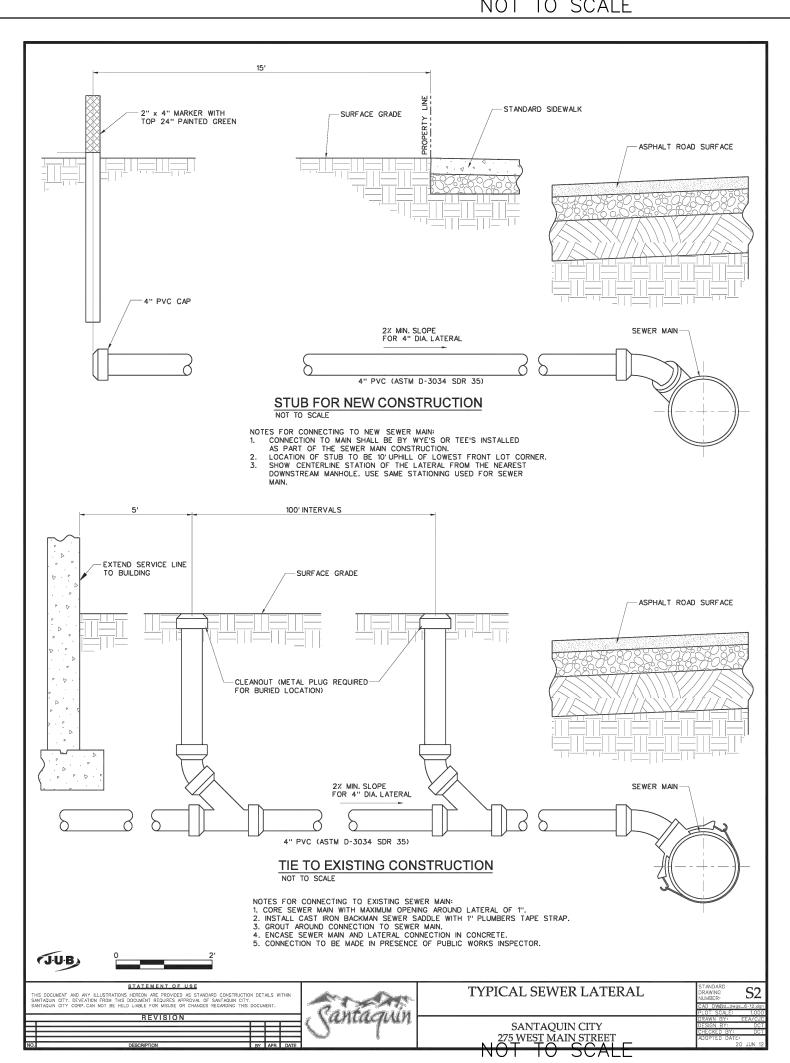
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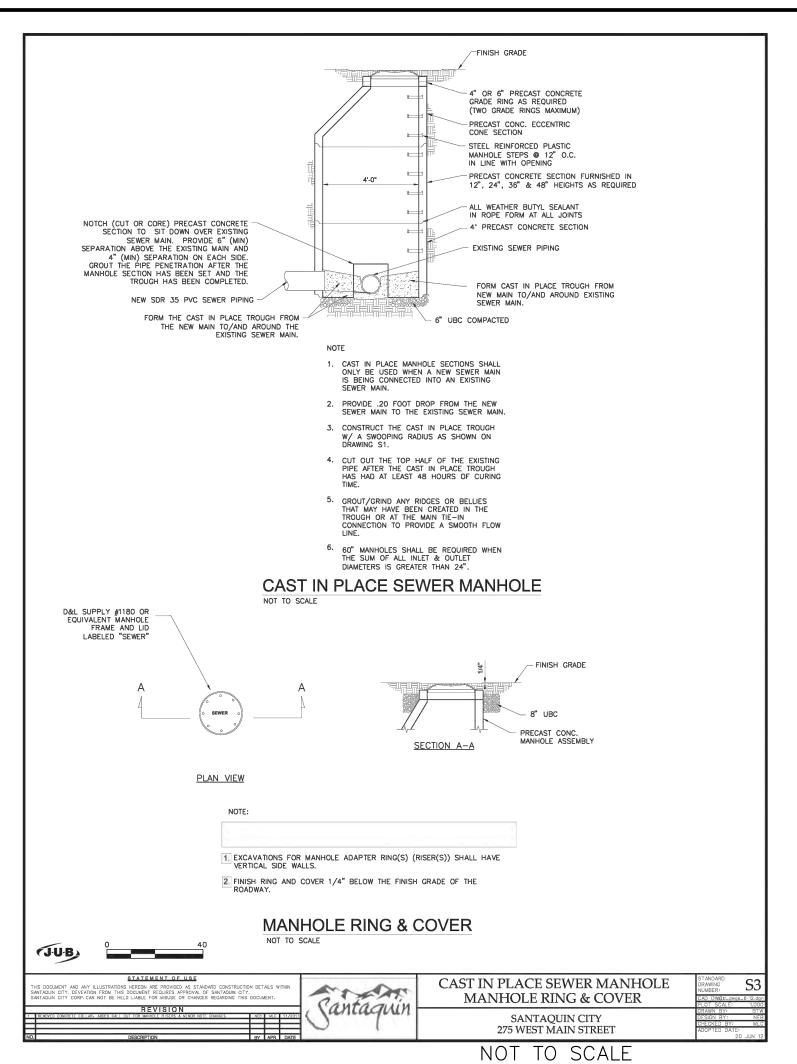
SANTAQUIN CITY

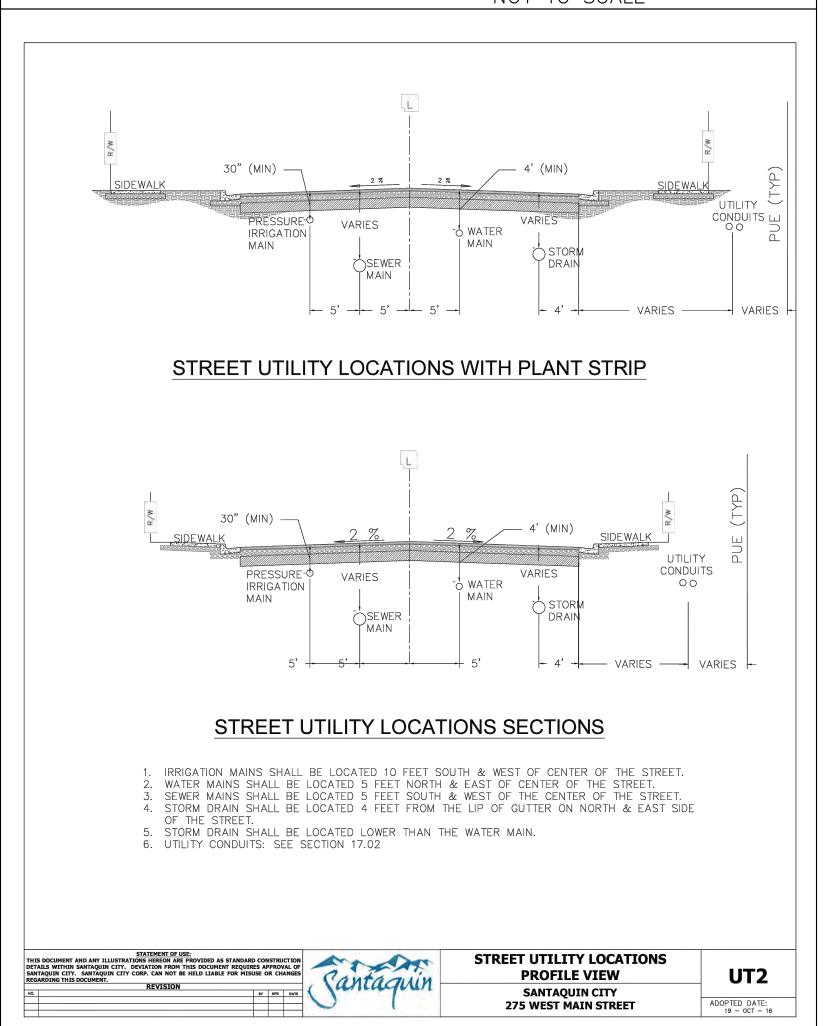


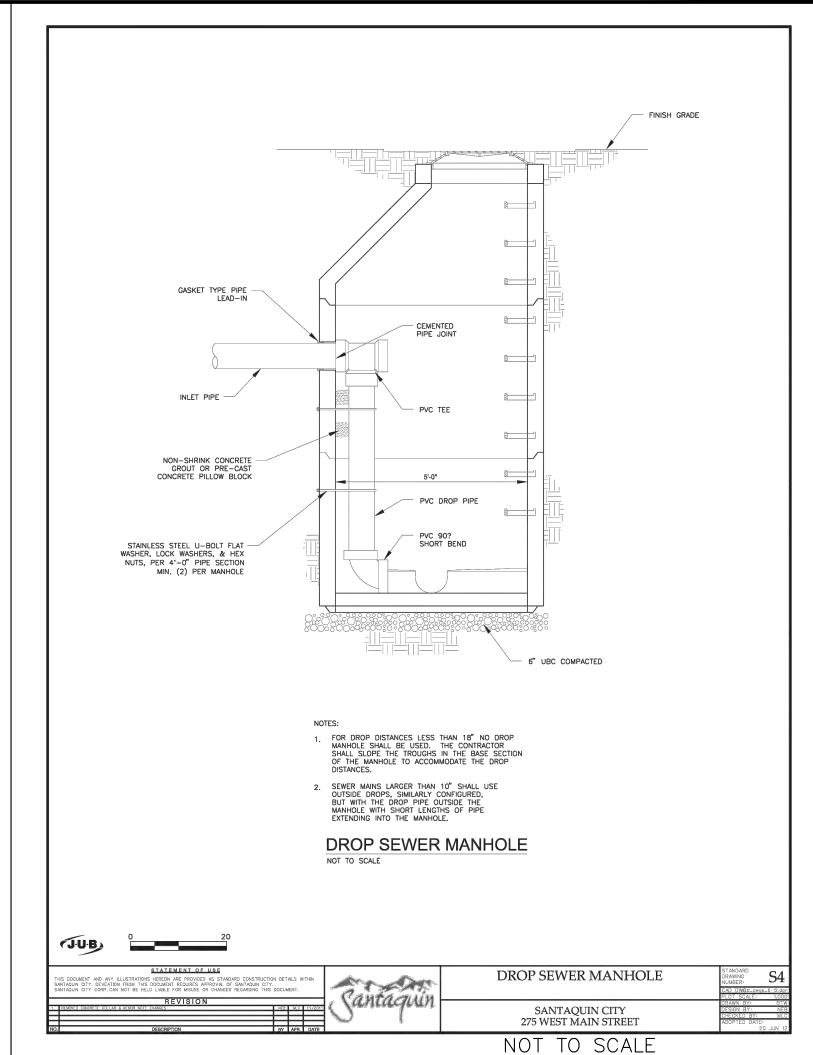
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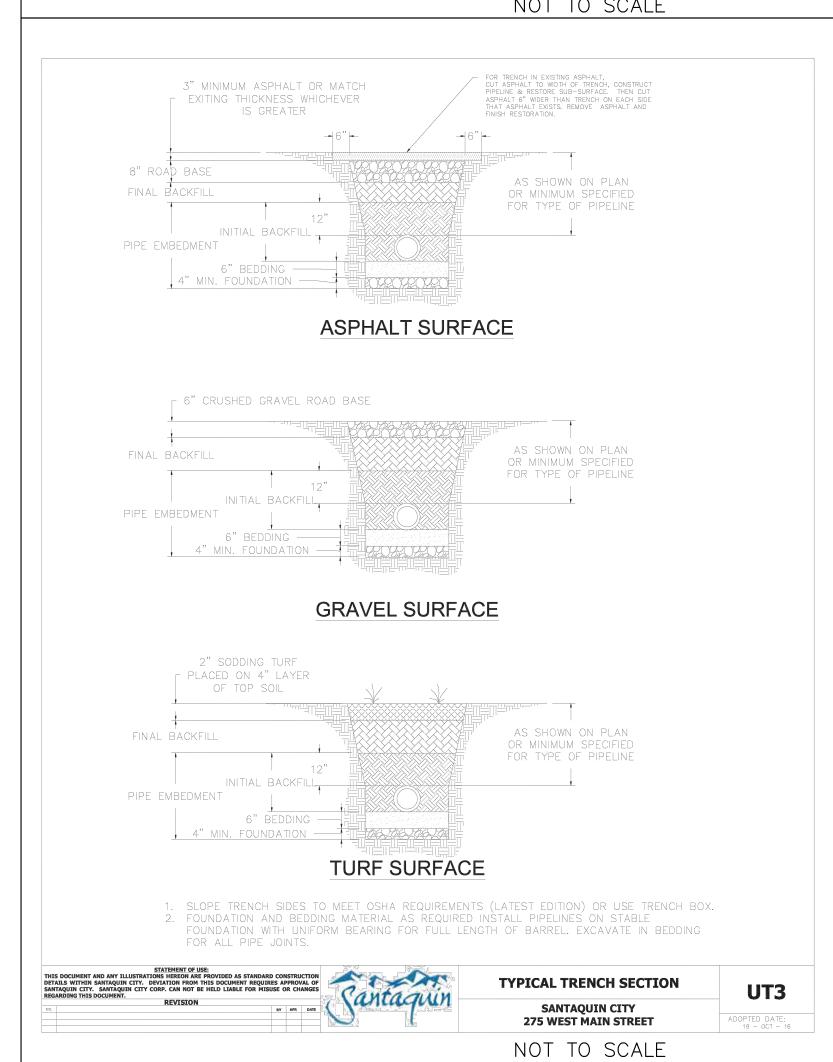


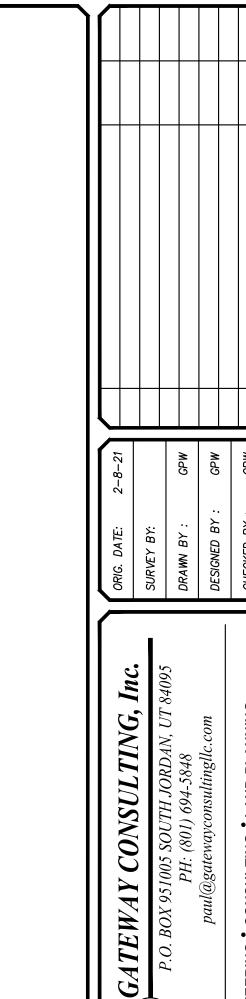








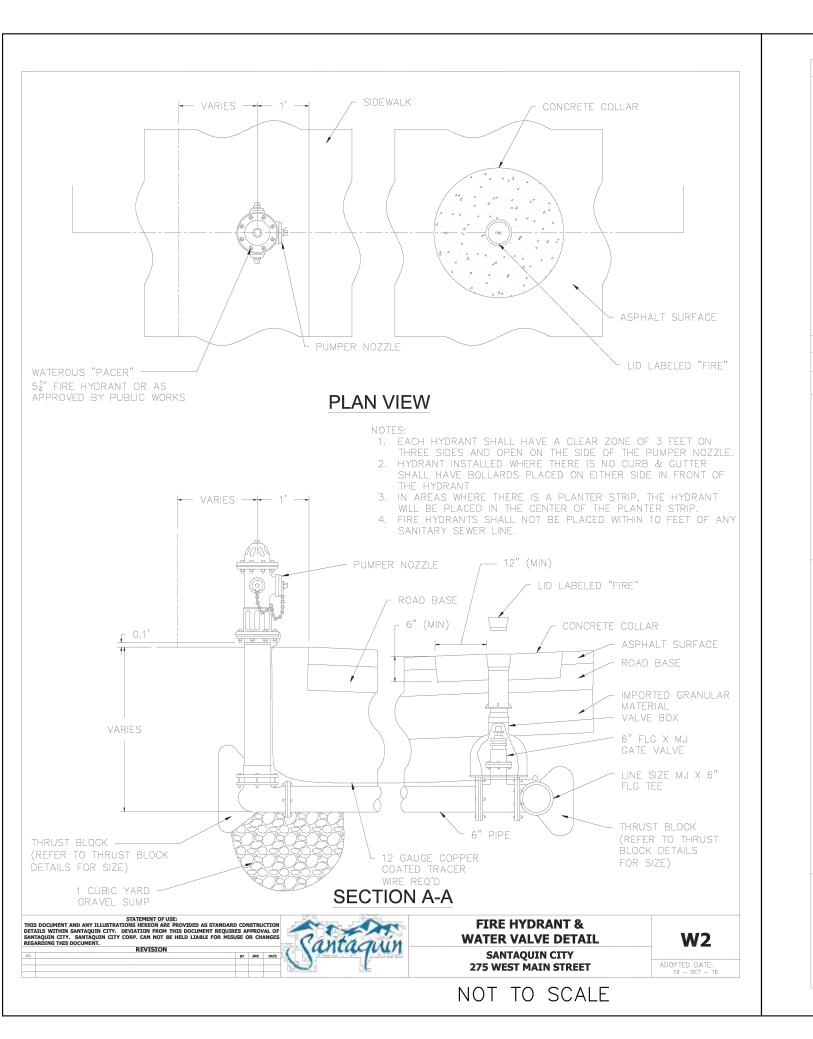


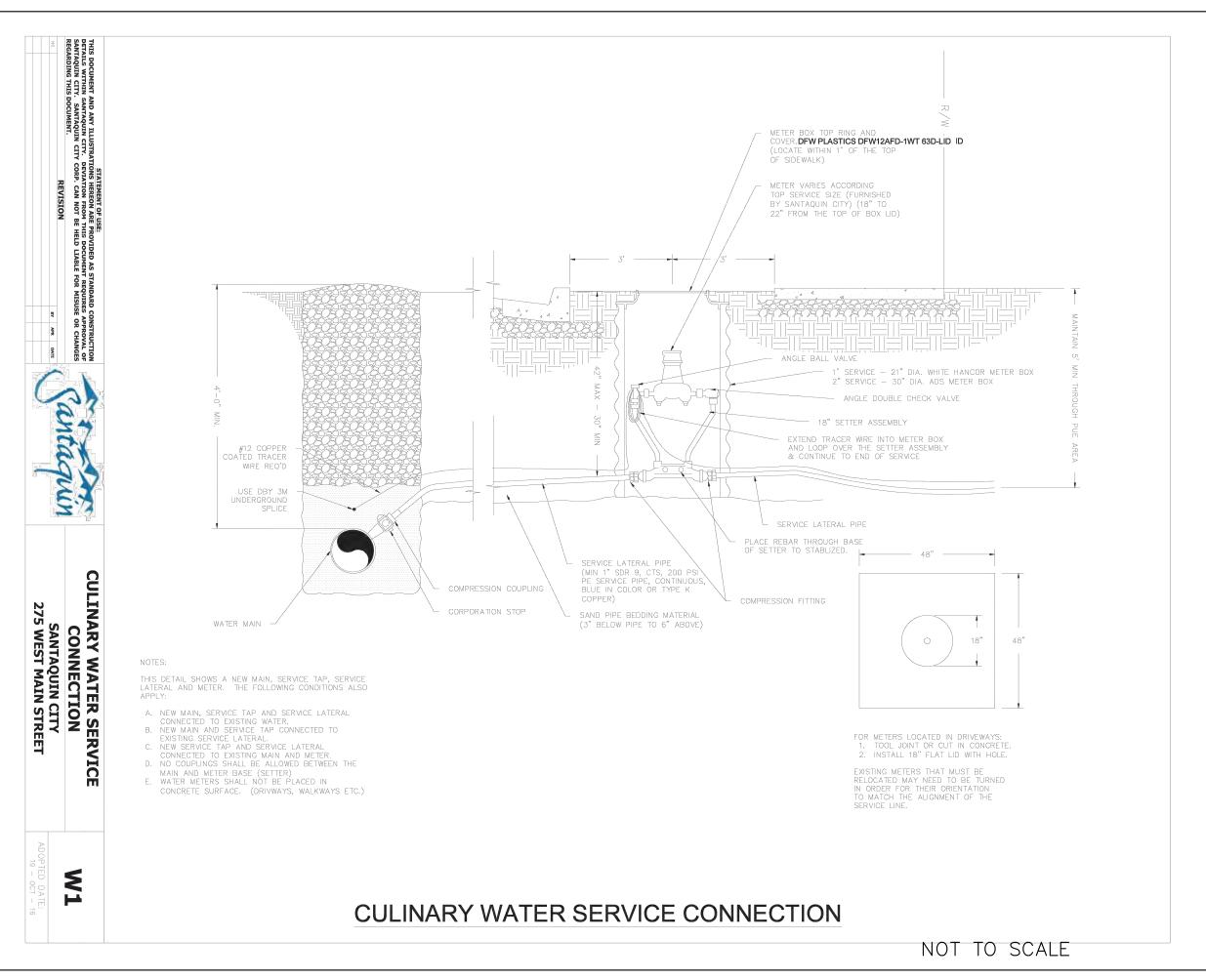


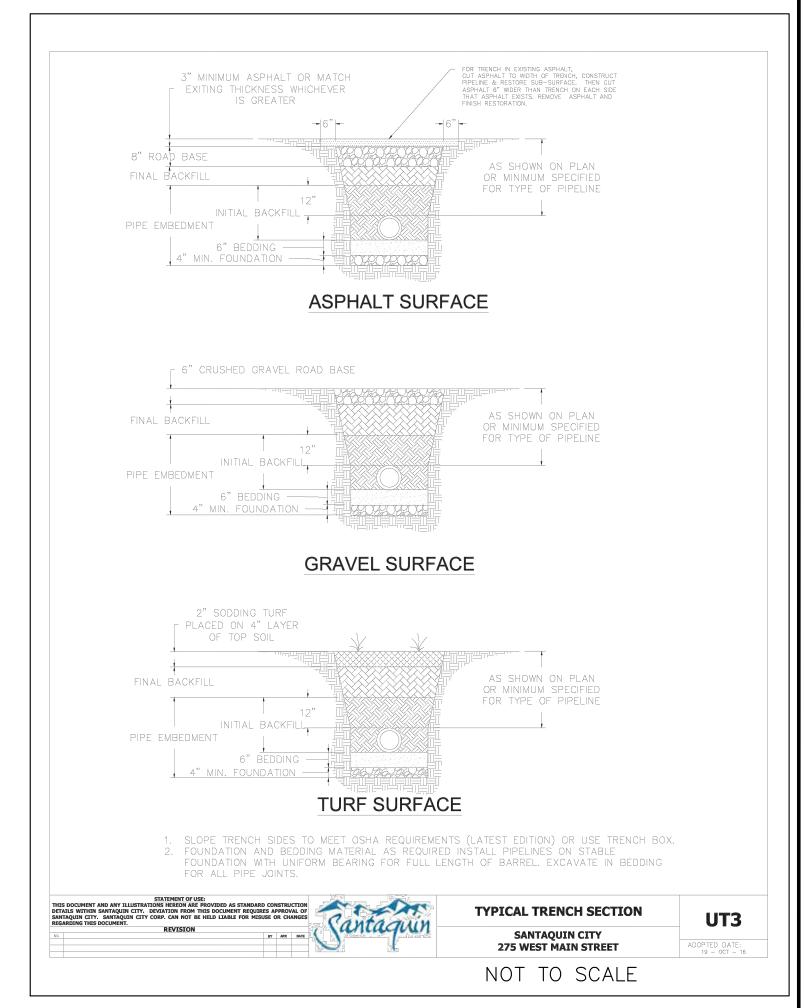


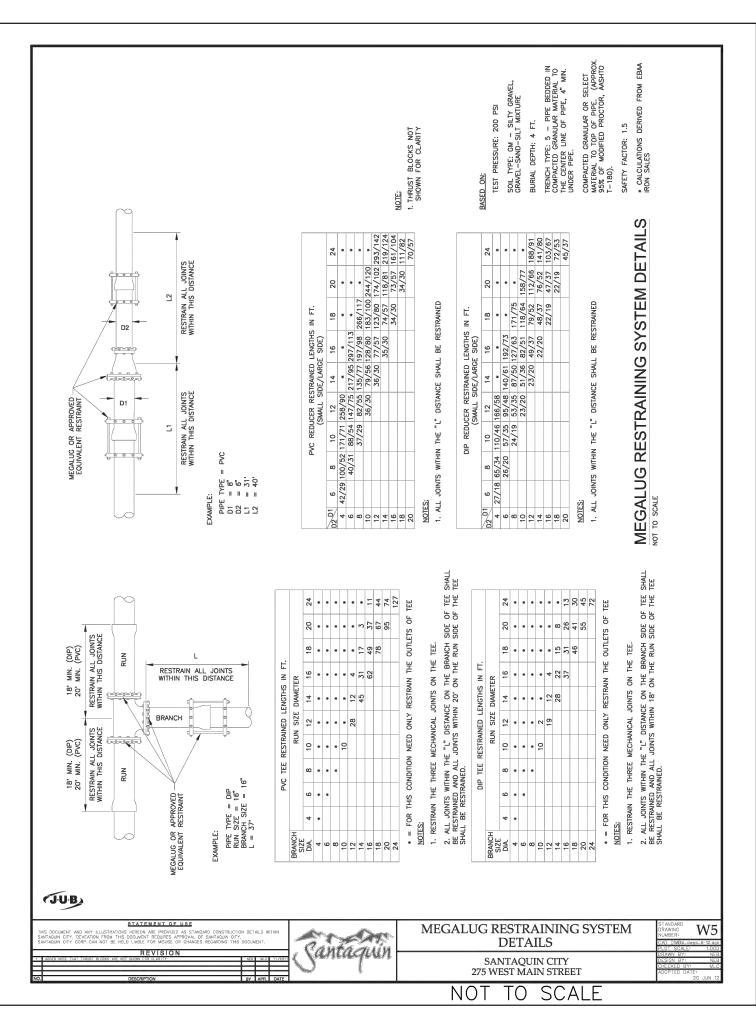


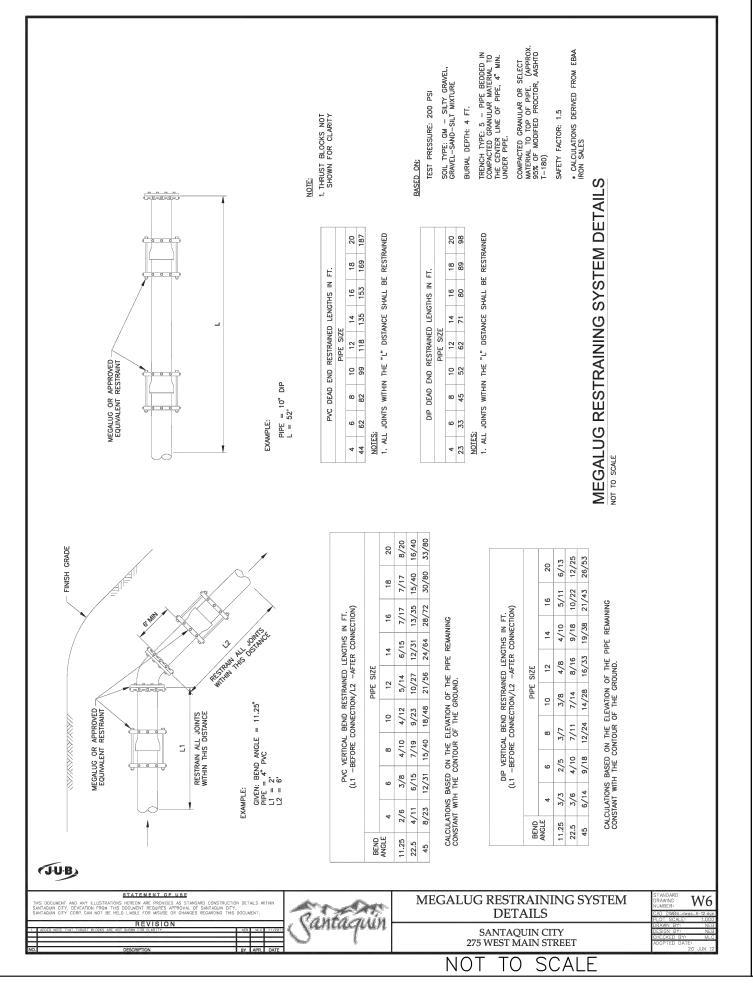


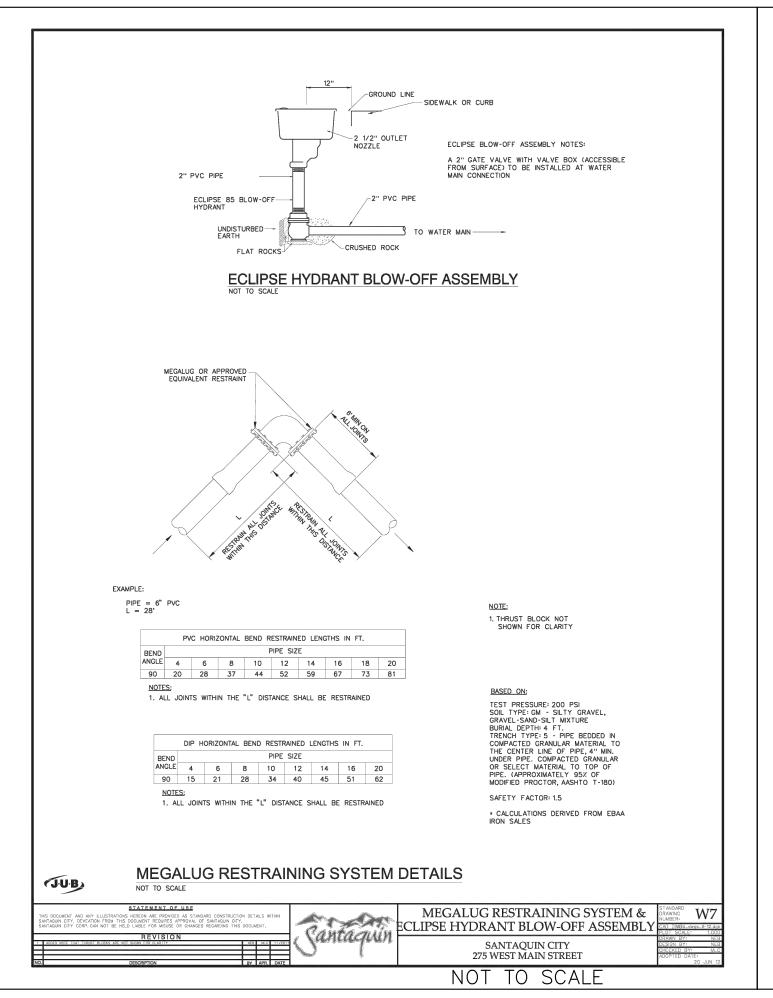


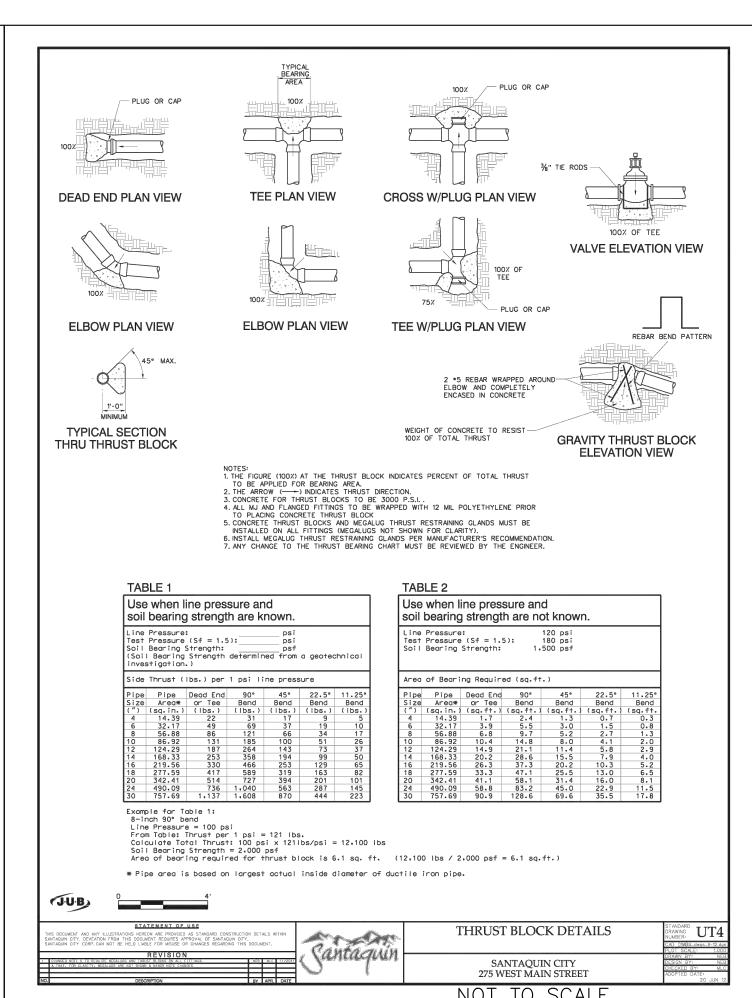


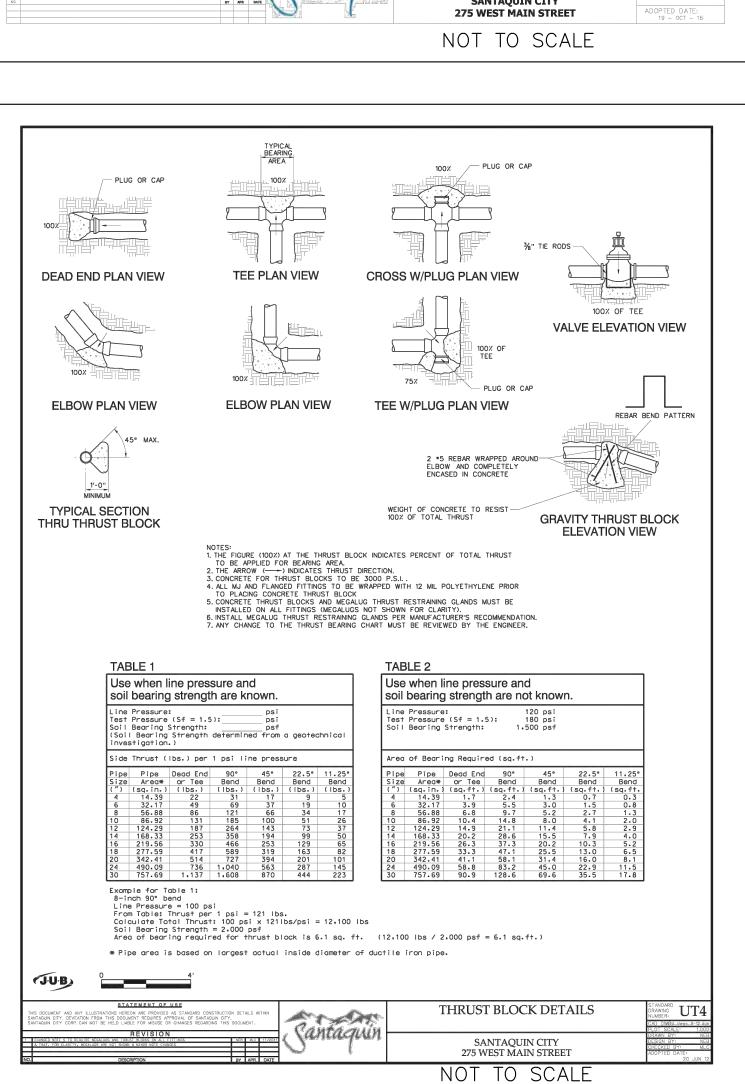


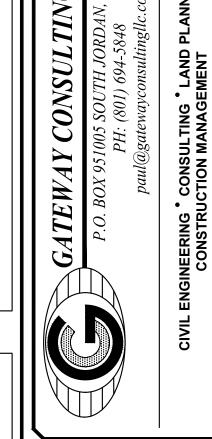


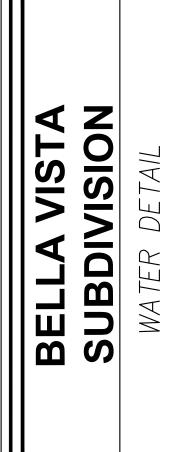












SANTAQUIN



SHEET NO.

### DESIGN CONSIDERATIONS

Many factors will influence the design of the R-Tank system. While this list is not intended to be all-inclusive, the following design considerations are worth highlighting:

#### 1. PRE-TREATMENT

Removing pollutants from runoff before they enter an underground detention system is the smart way to design and build a system. Trash Guard Plus® is a great tool for this. Be sure the system you select will remove heavy sediments, gross pollutants (trash) and biodegradable debris.

#### 2. BACKFILL MATERIALS

Backfill materials should be angular stone (<1.5" in diameter) or soil (GW, GP SW or SP per the Unified Soil Classification System). Material must be free from lumps, debris and sharp objects that could cut the geotextile. See the R-Tank narrative specification for additional information.

#### 3. RUNOFF REDUCTION

Most designs incorporate an outlet to drain the system at a controlled rate and/or an overflow to prevent flooding in extreme events. Any infiltration that can be achieved on the site should also be taken advantage of. Consider raising the invert of your outlet or creating a sump to capture and infiltrate the water quality volume whenever possible.

#### 4. WATER TAB

While installing R-Tank below the water table is manageable, a stable base must be created to support the system. Ground water can be allowed to enter and drain from the system, or a liner can be used to prevent ground water from entering the system if measures are taken to prevent the system from floating.

#### 5. CONSTRUCTION LOADS

Construction loads are often the heaviest loads the system will experience. Care must be taken during backfilling and compaction, and post-installation construction traffic should be routed around the system.

#### 6. LATERAL LOADS

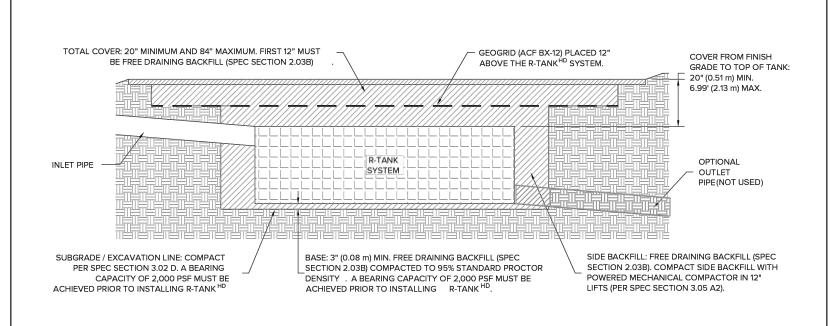
As systems get deeper, the loads acting on the sides of the tank increase. While vertical loads often control the design, lateral loads should also be considered.

#### 7. R-TANK MODULES

Selecting the right module for your application is critical. See page 3 and the specs on the back of this brochure for details. Our team is also here to help!

#### 8. LOAD MODELING

A safety factor of >1.75 is required when designing an R-Tank System using the AASHTO LRFD Bridge Design Specifications. It is also necessary to run your own loading model with site specific requirements.



NOT TO SCALE

# DESIGNING AN R-TANK SYSTEM WITH LONGEVITY & MAINTENANCE IN MIND IS A THREE-STEP PROCESS:

#### 1. PRE-TREAT

filter drain inserts.

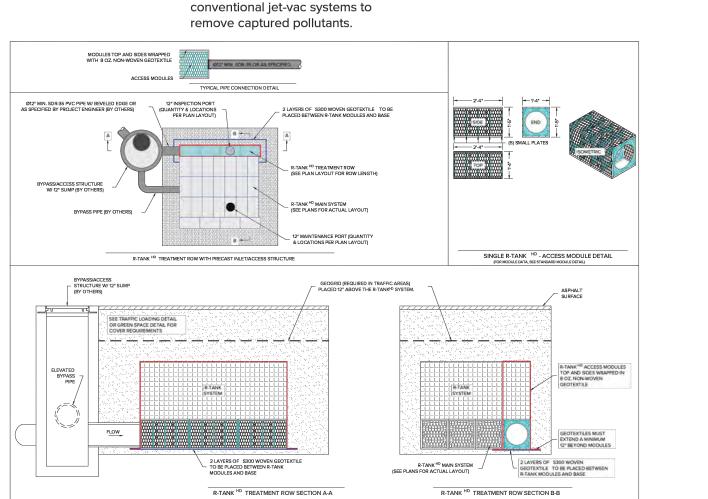
Keep debris out of the system
using decentralized filters and
screens. Ferguson offers a complete
range of options from perforated
screen devices to high flow
geotextile bag and cartridge based

#### 2. ISOLATE

Trap solid pollutants inside the treatment row (see treatment row drawing below) where they can be easily removed using the acess modules (available in LD, HD, and UD only). These modules are wrapped in geotextile to retain solids and are fully accessible by

# 3. PROTECT Ensure a long sy

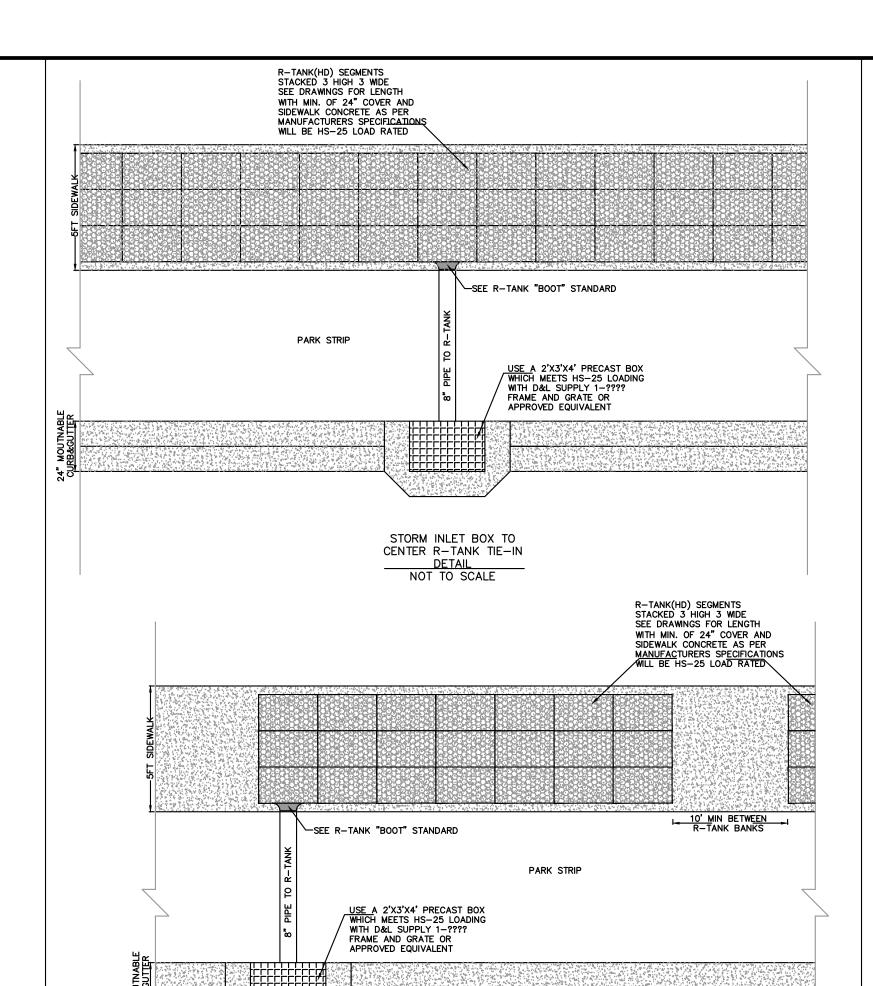
Ensure a long system life by including maintenance ports to remove any pollutants that evade the pretreatment system and treatment row. Maintenance ports should be specified within 10' of inlet and outlet connections, and roughly 50' on center.

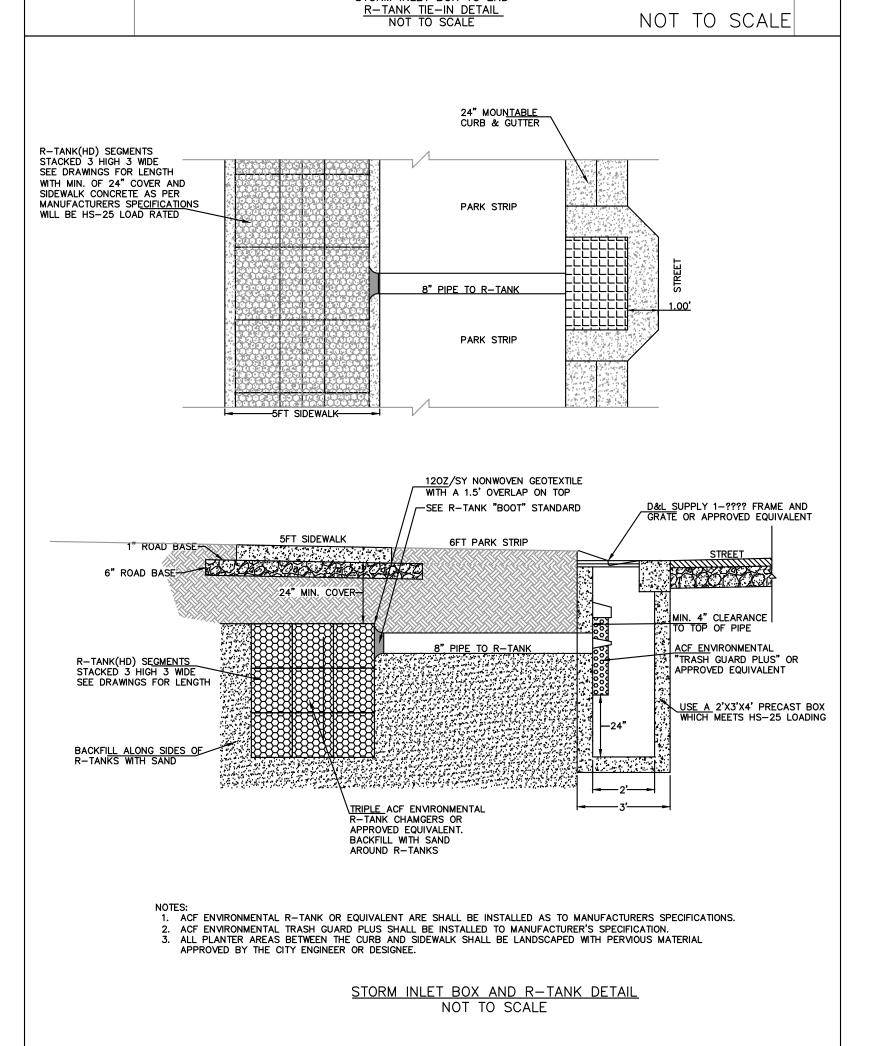


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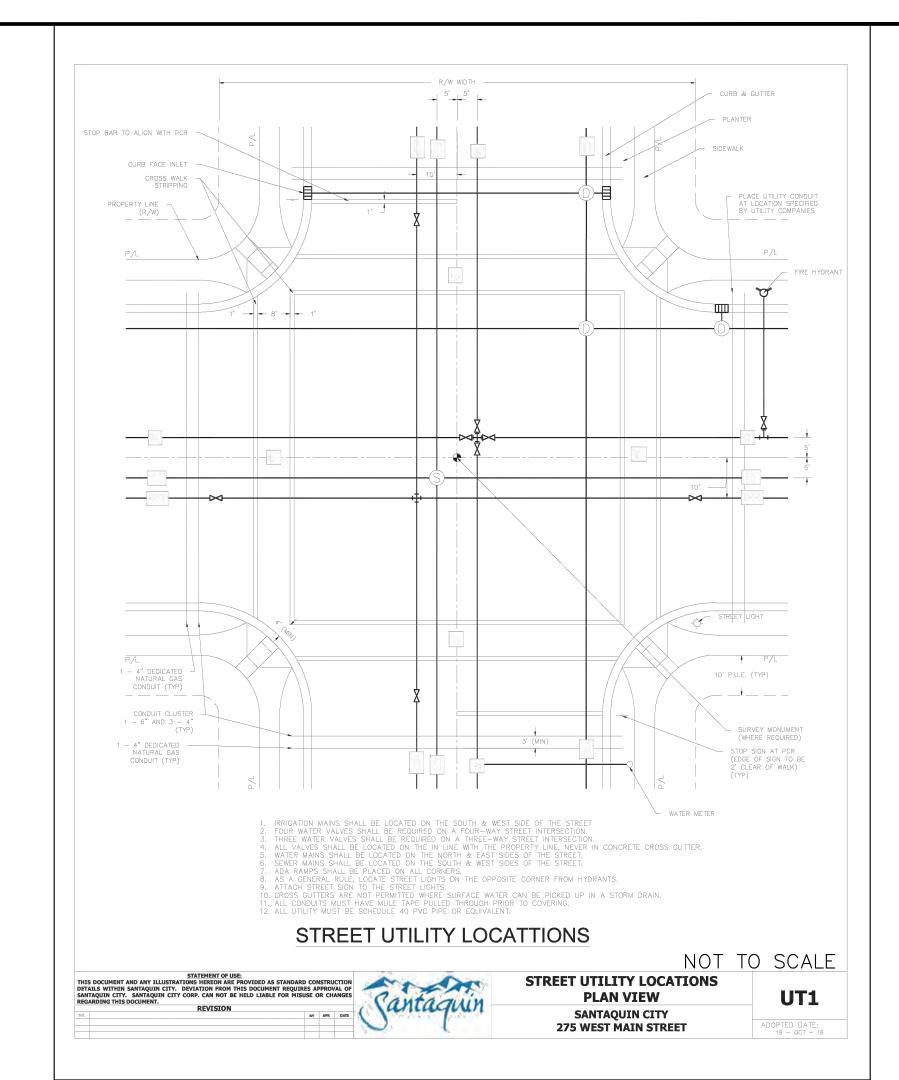
24"MIN. COV <u>ER</u> (HS-25 STANDARD)									
SPECIFICATIONS			HD	SD	UD	KD			
Item	Description	Value	Value	Value	Value	Value			
Void Area	Volume available for water storage	95%	95%	95%	95%	90%			
Surface Area Void	% of exterior available for infiltration	90%	90%	90%	90%	90%			
Compressive Strength	ASTM D 2412/ASTM F 2318	30.0 psi	33.4 psi	42.9 psi	134.2 psi	320 psi			
Unit Weight	Weight of plastic per cubic foot of tank	3.29 lbs/cf	3.62 lbs/cf	3.96 lbs/cf	4.33 lbs/cf	7.55 lbs/cf			
Rib Thickness	Thickness of load-bearing members	0.18"	0.18"	0.18"	-	-			
Service Temperature	Safe temperature range for use	-14–167° F	-14-167° F	-14-167° F	-14-167° F	-14-167° F			
Recycled Content	Use of recycled polypropylene	100%	100%	100%	100%	100%			
Minimum Cover	Cover required for HS 20 loading	Not traffic rated	20"	18"	12"-14"	6"			
	Cover required for HS-25 loading	Not traffic rated	24"	18"	15"-17"	6"			
Maximum Cover	Maximum allowable cover depth	36"	6.99'	9.99'	5.0'	16.7'			

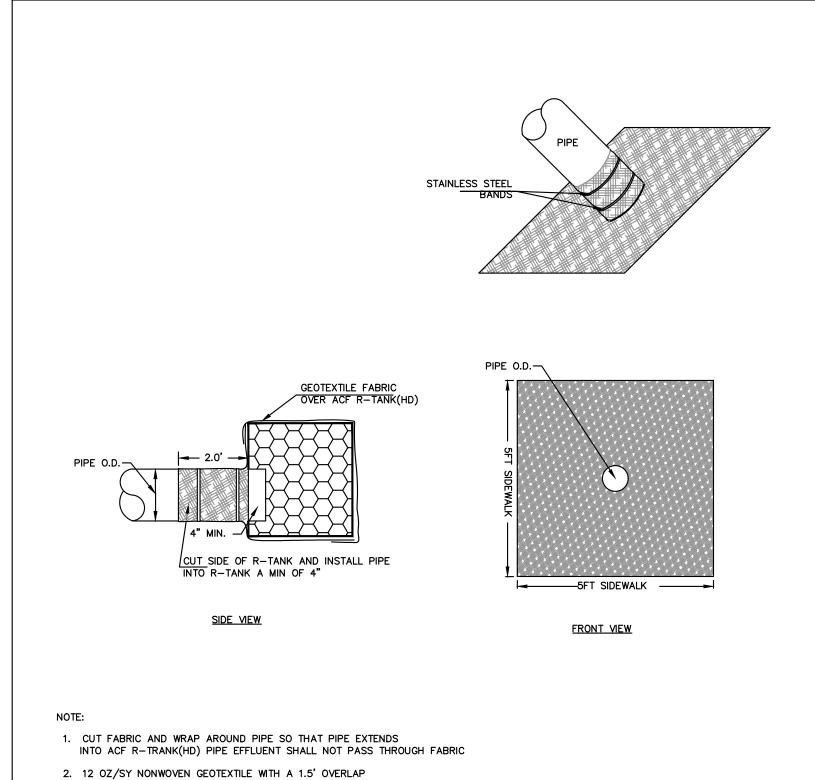
R-TANK(HD)





STORM INLET BOX TO END





3. FABRIC COLLAR TO FIT OUTSIDE DIAMETER OF INLET/OUTLET PIPE

R-TANK "BOOT" STANDARD NOT TO SCALE

						DATE APP'D
						NO. DESCRIPTION
-21	7		ЭРМ	Mαξ	ЭРМ	N/A

						NO	
	GP W	МďЭ	:	GP W	***	W/W	
SURVEY BY:	DRAWN BY:	DESIGNED BY		CHECKED BY:	. 1.400	SCALE:	
l						_	

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PH: (801) 694-5848

paul@gatewayconsultingllc.com

CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING

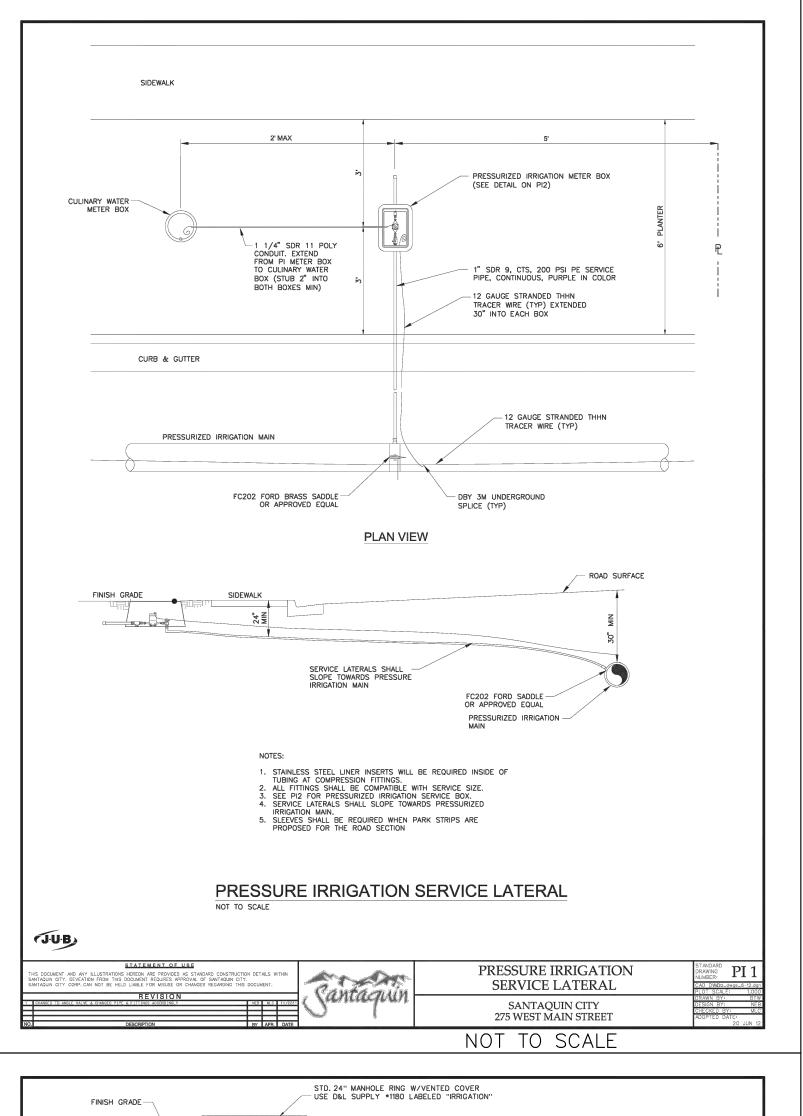
CONSTRUCTION MANAGEMENT

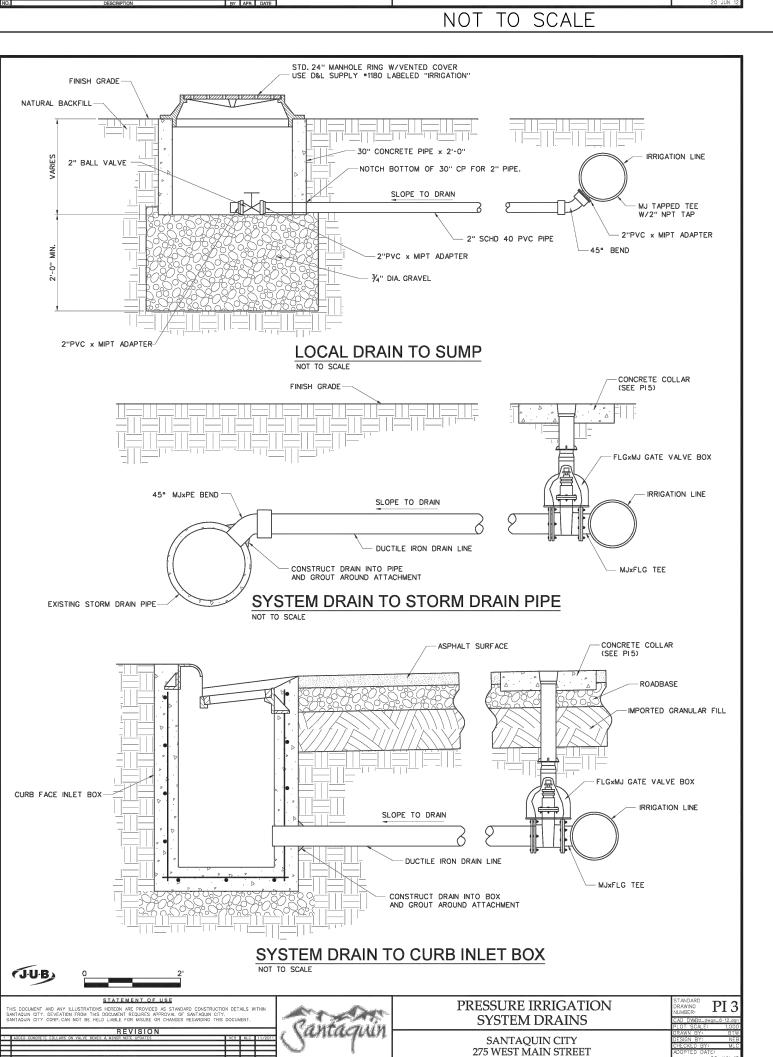
BELLA VISTA SUBDIVISION
STORM DETAIL

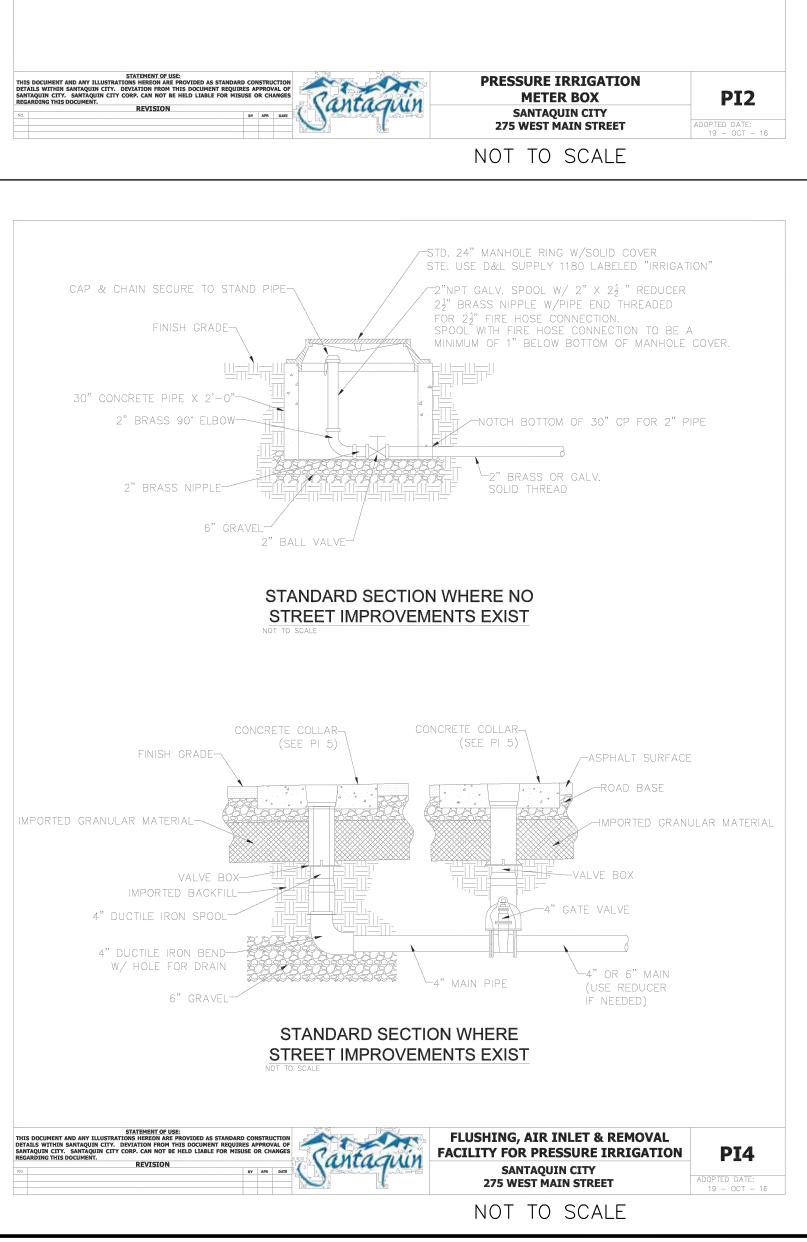
SANTAQUIN

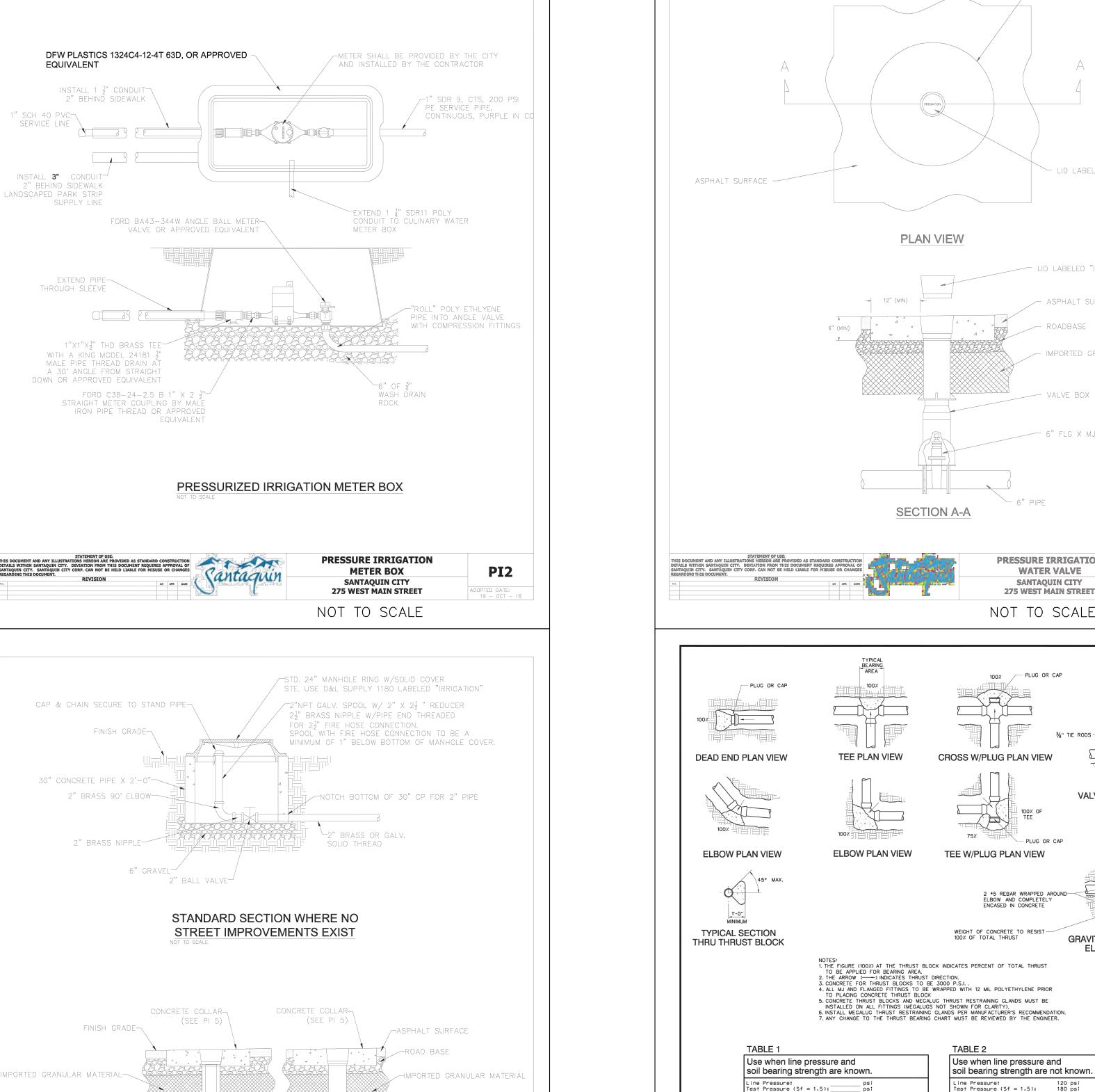


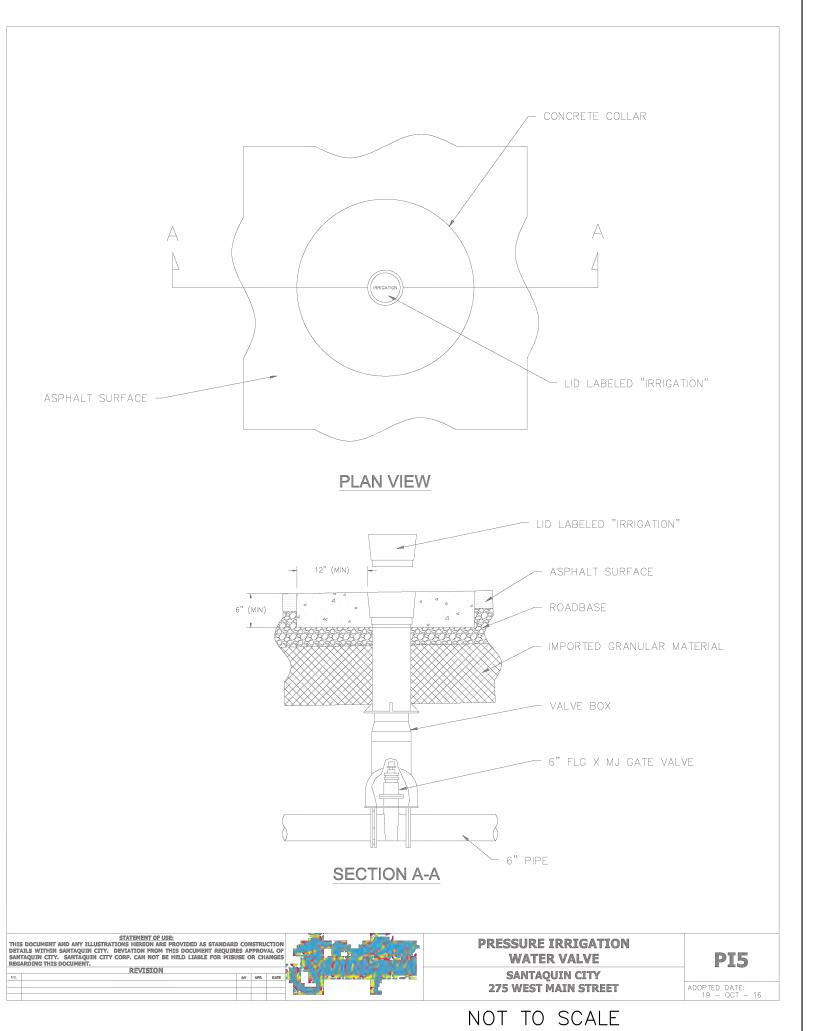
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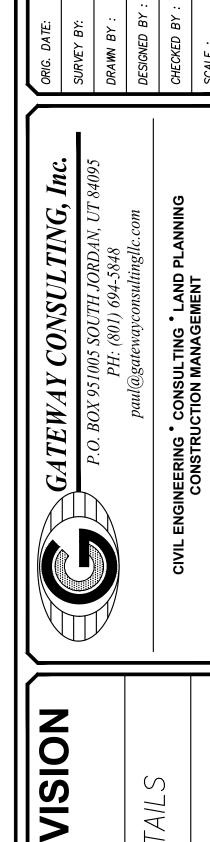














100% OF TEE VALVE ELEVATION VIEW

GRAVITY THRUST BLOCK

**ELEVATION VIEW** 

Soil Bearing Strength:

Area of Bearing Required (sq.ft.)

THRUST BLOCK DETAILS

SANTAQUIN CITY

275 WEST MAIN STREET

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(Soil Bearing Strength determined from a geotechnica investigation.)

8-inch 90° bend
Line Pressure = 100 psi
From Table: Thrust per 1 psi = 121 lbs.
Calculate Total Thrust: 100 psi x 121lbs/psi = 12,100 lbs
Soil Beoring Strength = 2,000 psf
Area of bearing required for thrust block is 6.1 sq. ft. (12,100 lbs / 2,000 psf = 6.1 sq.ft.)

AT AM

Cantaguin

\* Pipe area is based on largest actual inside diameter of ductile iron pipe.

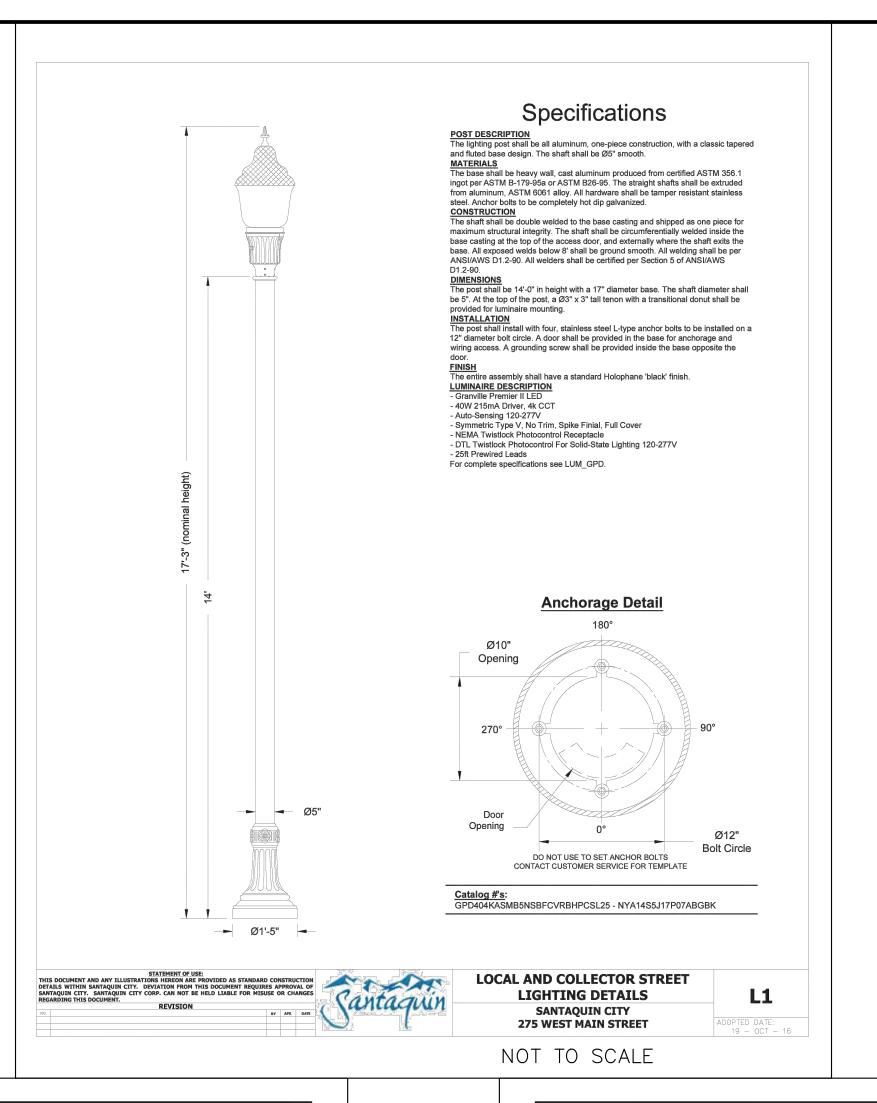
Example for Table 1: 8-inch 90° bend

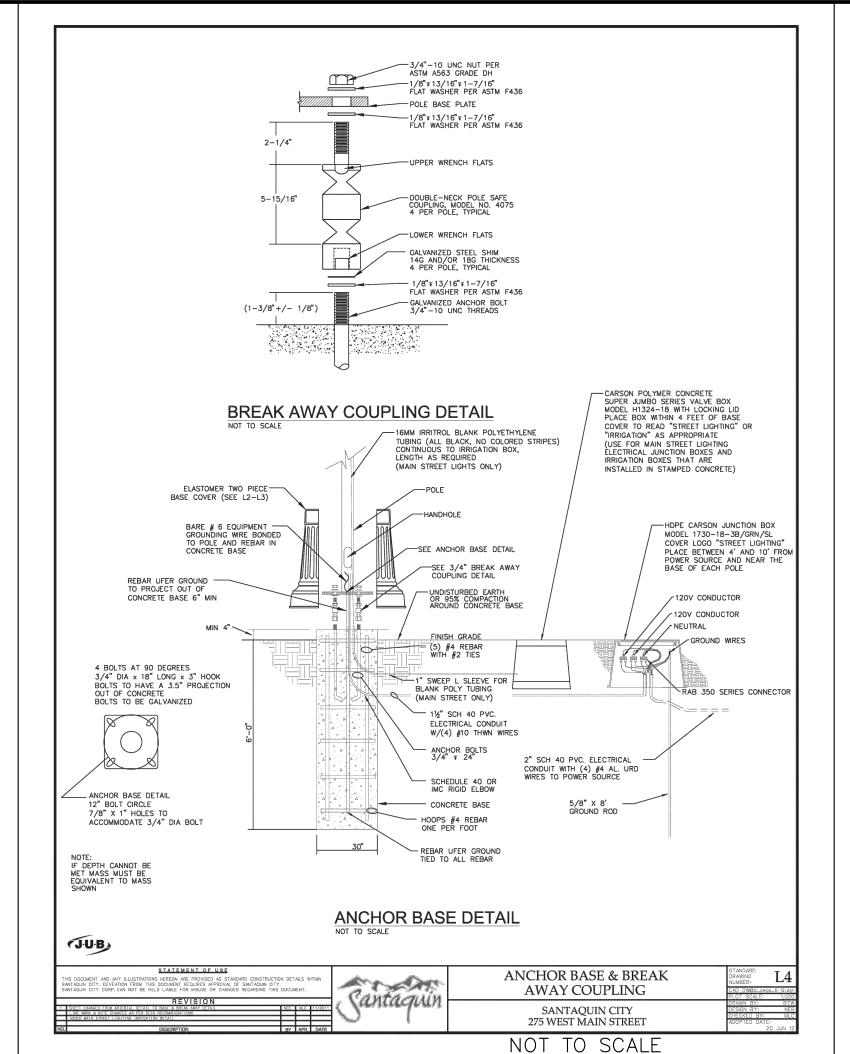
(J·U·B)

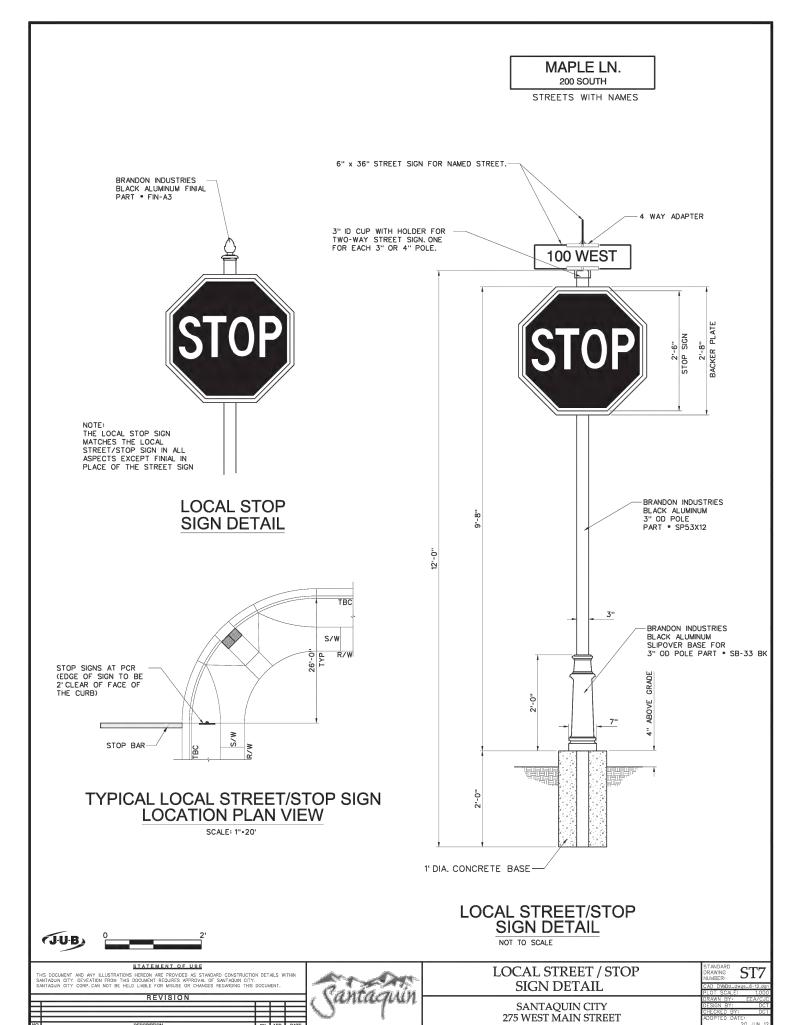
REBAR BEND PATTERN

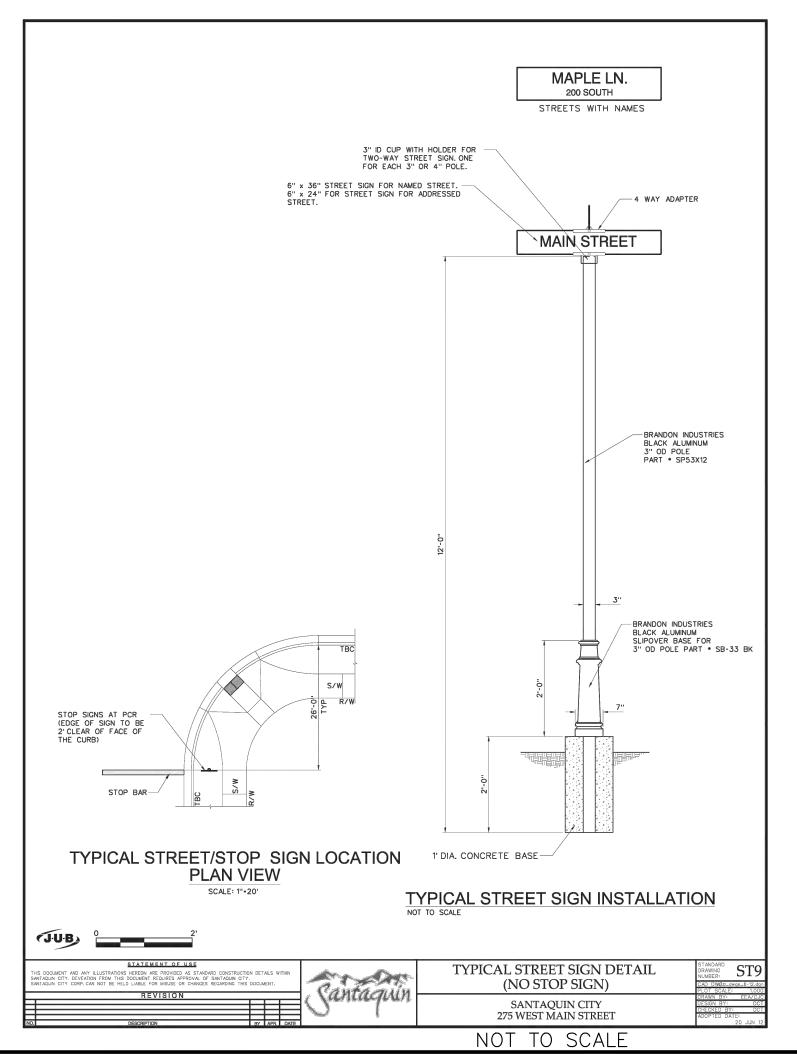
IG UT4

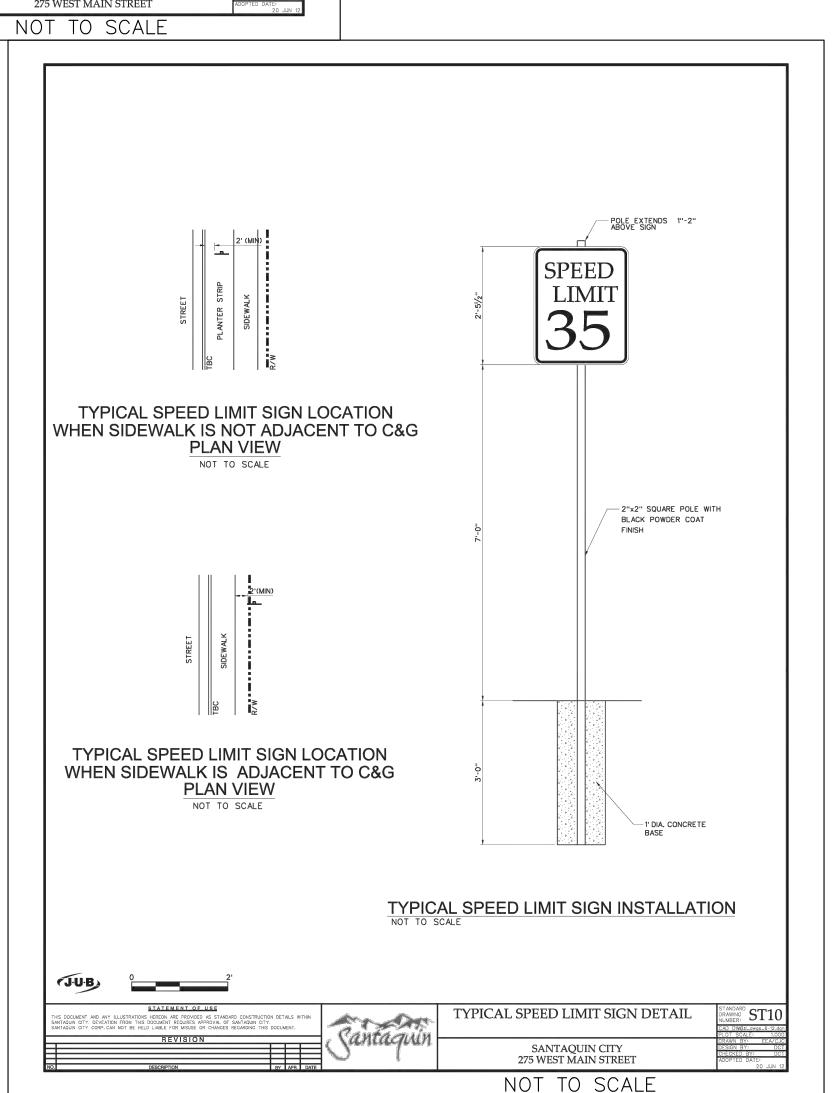


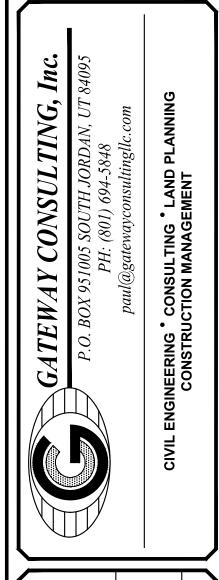
















SANTAQUIN