

MEMO



To: Planning Commission

From: Ryan Harris, Staff Planner

Date: August 20, 2021

RE: **Summit Ridge Commercial Subdivision Preliminary Review**

Zone: PC
Size: 49.25 Acres
Lots: 8

The proposed Summit Ridge Commercial Subdivision is located at approximately Summit Ridge Parkway and South Frontage Road (Old HWY 191). The proposed commercial subdivision is subject to the Planned Community Zone with default land use regulations contained within the Interchange Commercial (C-1) ordinance. The proposed subdivision consists of 8 proposed commercial lots on approximately 49.25 acres. There are no minimum or maximum frontage or lot size requirements in the PC Zone or the C-1 land use regulations.

This project had a previous public hearing during the concept review, some concerns were expressed about the content of the notice. Therefore, the City decided to do an additional public hearing during the preliminary review.

The Development Review Committee reviewed the preliminary plans for the Summit Ridge Commercial Subdivision on August 10, 2021 and forwarded a positive recommendation to the Planning Commission. This review is for the Planning Commission to determine whether the proposed subdivision complies with Santaquin City Code and make a recommendation to the City Council.

After any preliminary approval by the City Council, the DRC would need to approve the final plat before lots could be recorded. The DRC may only approve a final plat submittal after finding that the development meets the standards of the City's subdivision and zoning codes, the laws of the State of Utah, and any other applicable ordinances, rules, and regulations have been or can be met prior to the recordation or construction beginning (Santaquin City Code 11.20.060(B)).

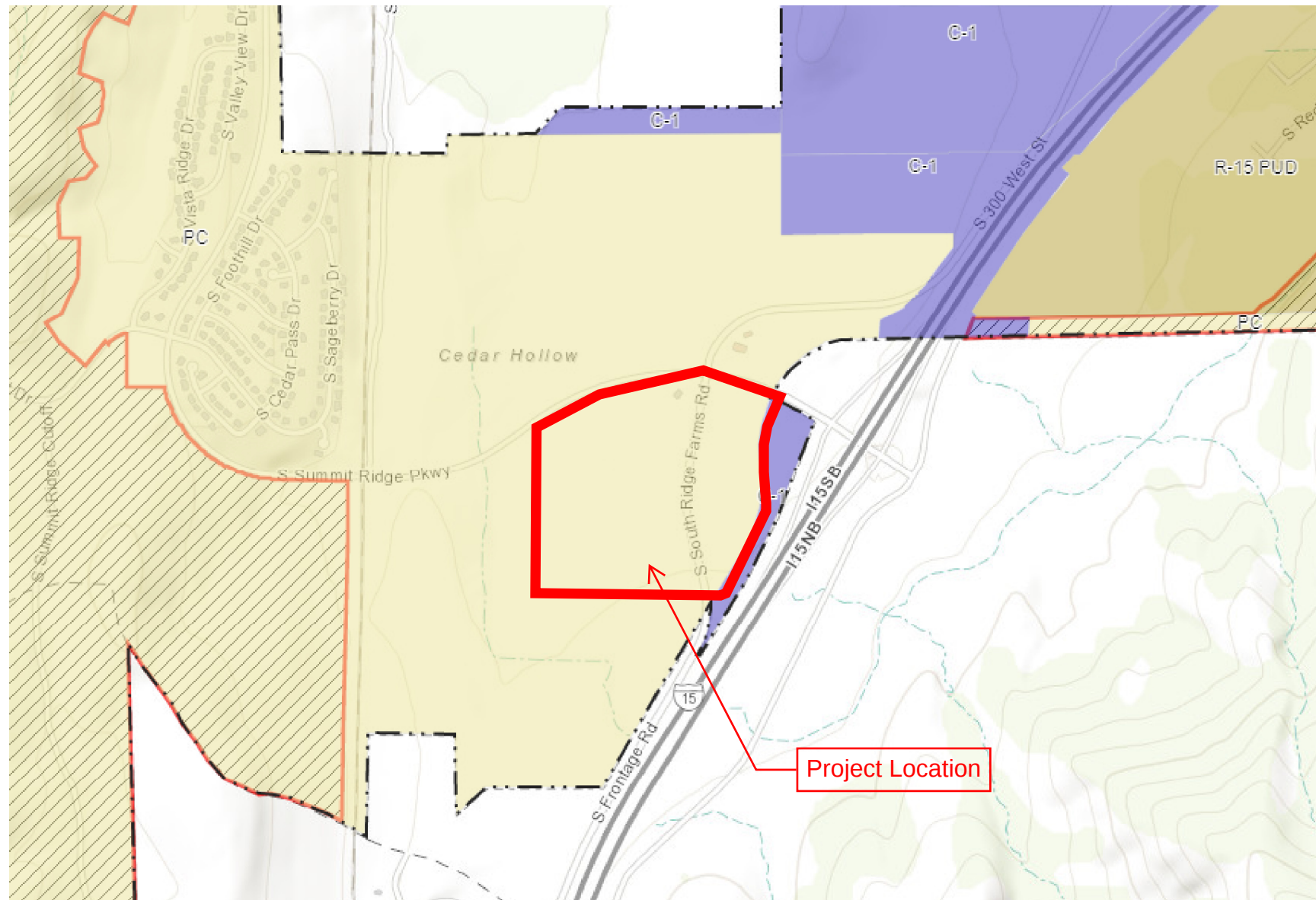
Recommended Motion: "Motion to recommend approval of the Summit Ridge Commercial Subdivision with the following conditions:

- All planning and engineering redlines be addressed.

Attachments:

1. Zoning and Location Map
2. Preliminary Plan

Attachment 1: Zoning and Location Map



**LOCATED IN THE NORTHEAST QUARTER OF SECTION 15 TOWNSHIP 10 SOUTH , RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN.**

BRASS CAP
MONUMENT 1957
"UTAH COUNTY"

3

I, JOSHUA F. MADSEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD LICENSE NO. 5152657 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY PER SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS; THAT THE REFERENCE MONUMENTS SHOWN ON THIS PLAN ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS PLAN; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY; HEREAFTER KNOWN AS SUMMIT RIDGE COMMERCIAL SUBDIVISION.

A circular professional seal for a land surveyor. The outer ring contains the text "PROFESSIONAL LAND SURVEYOR" at the top and "STATE OF UTAH" at the bottom, separated by two stars. The center of the seal contains the date "8-4-2021", the name "JOSH F. MADSEN", and the license number "No. 5152867". A handwritten signature, "Josh", is written across the bottom half of the seal.

A PORTION OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 10 SOUTH,
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY
DESCRIBED AS FOLLOWS:

CONTAINS 48.683 ACRES AND 8 LOTS

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

ACCEPTANCE BY LEGISLATIVE BODY

APPROVED BY MAYOR: _____

NOTARY PUBLIC SEAL	COUNTY ENGINEER SEAL	COUNTY RECORDER SEAL
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5' PUBLIC UTILITY
EASEMENT ON
ALL SIDE AND
REAR LOTS.
TYPICAL

CORPORATE ACKNOWLEDGMENT

NOTARY PUBLIC FULL NAME: _____
 COMMISSION NUMBER: _____
 My COMMISSION EXPIRES: _____
 A NOTARY PUBLIC COMMISSIONED IN UTAH

APPROVED THIS _____ DAY OF _____, 2021
A CENTRACOM COMPANY

BY: _____ TITLE: _____

APPROVED THIS _____ DAY OF _____, 2021
A LUMEN COMPANY

BY: _____, TITLE: _____

APPROVED THIS _____ DAY OF _____, 2021
A PACIFICORP COMPANY

BY: _____ TITLE: _____

DOMINION ENERGY UTAH APPROVES THIS PLAT FOR THE PURPOSE OF APPROXIMATING THE LOCATION, BOUNDARIES, COURSE AND DIMENSIONS OF THE RIGHT-OF-WAY AND EASEMENT GRANTS AND EXISTING UNDERGROUND FACILITIES. NOTHING HERE IN SHALL BE CONSTRUED TO WARRANT OR VERIFY THE PRECISE LOCATION OF SUCH ITEMS. THE RIGHT-OF-WAY AND EASEMENT GRANTS ARE SUBJECT TO THE EASEMENT GRANTS AND THE RIGHT-OF-WAY AND EASEMENT GRANT(S). DOMINION ENERGY UTAH ALSO APPROVES THIS PLAT FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS; HOWEVER, DOMINION ENERGY UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, ENDORSEMENT OR KNOWLEDGE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THESE SET FORTH IN THE OWNERS DEDICATION OR THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE IN OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE.

FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY UTAH'S EAST UTAH COUNTY, CONSTRUCTION SERVICES DEPARTMENT AT 801-853-6586

APPROVED THIS _____ DAY OF _____, 2021
A DOMINION ENERGY COMPANY

BY: _____, TITLE: _____

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	69.06'	1940.00'	2°02'23"	N83° 24' 11"W	69.06'
C2	60.15'	1940.00'	1°46'36"	N85° 18' 40"W	60.15'
C3	46.25'	1940.00'	1°21'57"	S73° 34' 10"W	46.25'
C4	46.41'	1940.00'	1°22'15"	S72° 12' 01"W	46.41'
C5	227.16'	1000.00'	13°00'56"	N10° 32' 55"W	226.68'
C6	220.28'	854.00'	14°47'27"	N86° 38' 43"W	219.85'
C7	531.28'	1200.00'	25°22'00"	S1° 55' 59"E	526.95'
C8	271.99'	800.00'	19°28'48"	N4° 52' 34"W	270.68'
C9	361.08'	757.00'	27°19'45"	N0° 57' 19"W	357.66'
C10	205.71'	843.00'	13°58'53"	N7° 37' 31"W	205.20'
C11	23.56'	15.00'	90°00'00"	N59° 37' 01"W	21.21'
C12	23.56'	15.00'	90°00'00"	N30° 22' 59"E	21.21'
C13	23.56'	15.00'	89°59'54"	S59° 37' 03"E	21.21'
C14	204.41'	1243.00'	9°25'21"	N9° 54' 19"W	204.18'
C15	345.91'	1243.00'	15°56'40"	N2° 46' 41"E	344.79'
C16	38.44'	1157.00'	1°54'13"	N13° 40' 05"W	38.44'
C17	473.68'	1157.00'	23°27'25"	N0° 59' 03"W	470.38'
C18	23.56'	15.00'	90°00'00"	N34° 15' 00"W	21.21'
C19	23.56'	15.00'	90°00'00"	S55° 45' 00"W	21.21'
C20	23.84'	64.00'	21°20'29"	S21° 25' 15"W	23.70'
C21	44.01'	111.00'	22°43'09"	S20° 46' 28"W	43.73'
C22	22.44'	15.00'	85°42'18"	S53° 36' 08"W	20.40'
C23	25.38'	15.00'	96°56'55"	S37° 43' 27"E	22.46'
C24	23.87'	15.00'	91°10'54"	N28° 40' 26"E	21.43'
C25	23.97'	15.00'	91°34'00"	S62° 41' 41"E	21.50'
C26	220.16'	969.00'	13°01'04"	S10° 32' 59"E	219.69'
C27	234.17'	1031.00'	13°00'48"	N10° 32' 51"W	233.66'
C28	23.56'	15.00'	90°00'00"	S40° 57' 33"W	21.21'
C29	23.56'	15.00'	90°00'00"	N49° 02' 27"W	21.21'
C30	23.56'	15.00'	90°00'00"	S40° 57' 33"W	21.21'
C31	212.46'	823.00'	14°47'27"	N86° 38' 44"W	211.87'
C32	228.25'	885.00'	14°46'38"	N86° 39' 08"W	227.62'
C33	503.48'	874.16'	33°00'00"	N14° 12' 18"E	496.55'
C34	503.48'	874.16'	33°00'00"	N14° 12' 18"E	496.55'
C35	481.80'	1940.00'	14°11'34"	N75° 16' 02"W	480.56'
C36	661.88'	1940.00'	19°32'52"	N84° 01' 38"E	658.67'
C37	602.79'	1940.00'	17°48'10"	S62° 36' 49"E	600.37'
C38	86.57'	469.00'	10°34'33"	N9° 19' 44"E	86.45'
C39	23.56'	15.00'	90°00'00"	N49° 02' 27"W	21.21'

BRASS CAP
MONUMENT
1933 GLO

Map of the Project Area showing the intersection of Summit Ridge Pkwy and 14600 South, near the City of Santaquin. The map includes labels for Main Street, Center Street, and Interstate 15. A black arrow points to the project area at the intersection of Summit Ridge Pkwy and 14600 South.

LEGEND

- SECTION CORNER (LOCATED)
- PROPOSED STREET MONUMENT
- REBAR AND CAP
- MONUMENT LINE
- BOUNDARY LINE
- CENTERLINE
- EASEMENT LINE
- POWER POLE

LOCATED IN THE CITY OF SANTAQUIN, UTAH 84655



SHEET INDEX	
SHEET NO.	NAME
	COVER SHEET
G.101	GENERAL NOTES
C.100	EXISTING SITE
C.101	PHASING PLAN
C.102	OVERALL SITE PLAN
C.201	OVERALL UTILITIES & GRADING PLAN
C.202	UTILITIES & GRADING PLAN
C.203	UTILITIES & GRADING PLAN
C.204	UTILITIES & GRADING PLAN
C.205	UTILITIES & GRADING PLAN
C.206	UTILITIES & GRADING PLAN
C.207	8" WATER LINE LOOP
C.208	8" WATER LINE LOOP
C.209	8" WATER LINE LOOP
C.210	8" WATER LINE LOOP
C.211	UTILITIES & GRADING PLAN
C.212	UTILITIES & GRADING PLAN

DENSITY TABLE	
ZONING CLASSIFICATION:	C-1
TOTAL NUMBER OF LOTS:	8
TOTAL ACREAGE DEVELOPMENT:	49.25 AC
TOTAL LOT ACREAGE:	42.747 AC
TOTAL ROW ACREAGE:	5.936 AC
TOTAL OPEN SPACE ACREAGE:	0

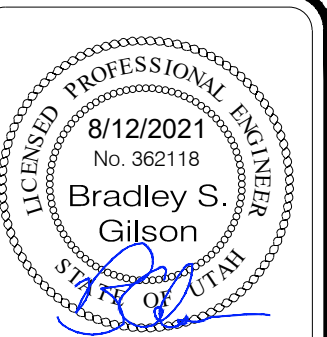
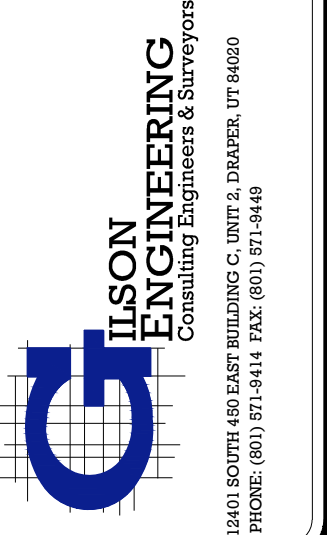
CONTACT: CHAD LILJENQUIST
6995 UNION PARK CENTER #440
MIDVALE, UT 84047
PHONE: (801) 566-6185

GILSON ENGINEERING, INC.
12401 SOUTH 450 EAST, UNIT C2
DRAPER, UTAH 84020-7937

CONTACT: BRAD GILSON
PHONE: (801) 571-9414

THE DEVELOPER AND THE CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

[illegible]

1" SCALE MEASURES 1" ON FULL SIZE SHEET
ADJUST FOR HALF SIZE SHEETS

Responsibility	Percentage
Current Government	75%
Opposition	25%

APPROVED:

CHECKED:

Y, UTAH

H COUNT

UTAI

10

R

ABBREVIATIONS

ADJ	ADJUST
ADS	ADVANCE DRAINAGE SYSTEM
ARV	AIR RELEASE VALVE
BC	BAR AND CAP
BOW	BACK OF WALK
BVCE	BEGINNING VERTICAL CURVE ELEV.
BVCS	BEGINNING VERTICAL CURVE STATION
CB	CATCH BASIN
CBL	CABLE
CH	CHORD BEARING
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CONC	CONCRETE
COR.	SECTION CORNER
D	DELTA ANGLE
DET	DETAIL
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DWG	DRAWING
EG	EXISTING GRADE
ELEV	ELEVATION
EOC	EDGE OF CONCRETE
EP	EDGE OF PAVEMENT
EVCE	END VERTICAL CURVE ELEV.
EVCS	END VERTICAL CURVE STATION
EW	EACH WAY
EX	EXISTING
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FO	FIBER OPTICS
FT	FOOT
GB	GRADE BREAK
HC	HANDICAP
HDPE	HIGH DENSITY POLY ETHYLENE
HP	HIGH POINT
INV.	INVERT
IRR	IRRIGATION
L.F.	LINEAR FEET
LIP	LIP OF CURB
LP	LOW POINT
LT	LEFT
MAX.	MAXIMUM
MH	MANHOLE
MIN.	MINIMUM
MON	MONUMENT
NTS	NOT TO SCALE
OC	ON CENTER
OHP	OVER HEAD POWER
PC	POINT OF CURVE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PP	POWER POLE
PRC	POINT OF REVERSE CURVE
PRV	PRESSURE REDUCING VALVE
PT	POINT OF TANGENCY
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
ROW	RIGHT OF WAY
RT.	RIGHT
S	SEWER
SD	STORM DRAIN
SER	SOUTH END RADIUS
SSMH	SEWER MANHOLE
STA	STATION
STD	STANDARD
SW	SECONDARY WATER
TBC	TOP BACK OF CURB
TOA	TOP OF ASPHALT
TOE	TOE OF SLOPE
TOP	TOP OF SLOPE
TOW	TOP OF WALL
TYP	TYPICAL
UG	UNDER GROUND POWER
VPC	VERTICAL POINT OF CURVE
VPI	VERTICAL POINT OF INTERSECTION
VPT	VERTICAL POINT OF TANGENCY
W	WATER
WM	WATER METER
WV	WATER VALVE

GENERAL NOTES

- THIS DESIGN IS AN ORIGINAL UNPUBLISHED WORK AND MAY NOT BE DUPLICATED, PUBLISHED AND/OR USED WITHOUT THE WRITTEN CONSENT OF GILSON ENGINEERING, INC.
- THESE SHEETS - LISTED BY DRAWING INDEX, ALL ACCOMPANYING SPECIFICATIONS FOR MATERIALS, WORKMANSHIP QUALITY, AND NOTES HAVE BEEN PREPARED SOLELY FOR THE CONSTRUCTION AND FINISH OF PROJECT IMPROVEMENTS, COMPLETE AND READY FOR USE.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH PERTINENT JURISDICTIONAL CODES, RESTRICTIONS, COVENANTS, AND/OR ORDINANCES. ANY CONFLICT BETWEEN DESIGN AND REQUIREMENT SHALL BE REPORTED TO GILSON ENGINEERING, INC. BEFORE PROCEEDING. FAILURE TO DO SO VOIDS THE DESIGN.
- ANY AND ALL PROPOSED CHANGE, MODIFICATIONS AND/OR SUBSTITUTION SHALL BE REPORTED TO GILSON ENGINEERING, INC. BEFORE PROCEEDING. ANY DEVIATION FROM THE CONTRACT DOCUMENTS, WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF GILSON ENGINEERING, INC. VOIDS THE DESIGN.
- IN THE EVENT OF CONFLICT BETWEEN THE DESIGN DOCUMENTS AND/OR JURISDICTIONAL REQUIREMENTS, THE MORE RESTRICTIVE FROM THE STANDPOINT OF SAFETY AND PHYSICAL SECURITY SHALL APPLY.
- ANY INSTALLATION OR WORK NECESSARY TO THE FUNCTIONING, SAFETY AND/OR PHYSICAL SECURITY OF DESIGN THAT IS TO BE ENCAPSULATED OR OTHERWISE PERMANENTLY OBSCURED FROM INSPECTION SHALL BE REPORTED TO GILSON ENGINEERING, INC. A MINIMUM OF TWO (2) WORKING DAYS BEFORE ENCLOSURE.
- DESIGN IS GENERALLY PREDICATED UPON PROVISIONS OF THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE AND/OR AMENDMENTS AS MAY HAVE BEEN LOCALLY ENACTED. THIS DESIGN AND ANY CONSEQUENT CONSTRUCTION SHALL ACCOMMODATE ALL REQUIREMENTS OF THE JURISDICTIONAL FIRE SAFETY/PREVENTION DISTRICT.
- ANY DAMAGE, DISRUPTION OR COMPROMISE OF AMBIENT RIGHTS-OF-WAY, UTILITIES, OR ENVIRONMENTAL QUALITY SHALL BE IMMEDIATELY RECTIFIED BY THE CONTRACTOR TO THE SATISFACTION OF GILSON ENGINEERING, INC. AT NO COST TO THE OWNER.
- THIS DESIGN PURPORTS TO PERMIT FULL ACCESS TO HANDICAPPED PERSONS AS PROVIDED FOR BY PROVISIONS OF FEDERAL LAW. ANY DEVIATION OR COMPROMISE SHALL BE REPORTED TO GILSON ENGINEERING, INC. FOR RESOLUTION.
- ALL WORK SHALL BE INSPECTED BY GOVERNING AGENCIES IN ACCORDANCE WITH THEIR REQUIREMENTS. JURISDICTIONAL APPROVAL SHALL BE SECURED BEFORE PROCEEDING WITH WORK.
- ANY WORK THAT IS OUTSIDE OF THE LIMIT OF WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
- CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFORE HAND.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 72 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGNS SHOWN ON PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
- CONTRACTOR IS RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAG MEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES, AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR ENGINEER.
- THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCHMARKS, CONTROL POINTS, REFERENCE POINTS, AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSE BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFELY OF ALL PERSONS ON THE PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT.
- ALL WORK WITHIN THE SITE TO CONFORM TO THE CURRENT CITY STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL OF THE REQUIREMENTS ESTABLISHED FOR SAFE TRENCHING. (SEE OSHA AND UOSHA REQUIREMENTS, LATEST EDITIONS).
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE LAYING PIPE WITHIN 200 FEET OF SAID UTILITIES WHICH MAY BE EXPOSED, DAMAGED OR CROSSED AS SHOWN ON THE DRAWINGS OR AS "BLUE STAKED". THE CONTRACTOR WILL MAKE ARRANGEMENTS WITH THE UTILITY COMPANY TO MOVE THE UTILITY IF NECESSARY OR OBTAIN PERMISSION FROM THE PROJECT ENGINEER TO MODIFY GRADES OF PROJECT LINES IN ORDER TO GO AROUND EXISTING UTILITIES.
- SEWER MAINS, WATER MAINS, GAS MAINS AND OTHER UTILITIES ARE SHOWN ON THE PLANS IN A GENERAL SCHEMATIC WAY ACCORDING TO INFORMATION RECEIVED FROM OTHERS AND SOMETIMES FROM FIELD MEASUREMENTS. THE ACCURACY OR COMPLETENESS OF THE LOCATIONS SHOWN IS APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE ACTUAL LOCATION OF EXISTING SERVICE CONNECTIONS AND UTILITIES, VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS AND TAKE THE NECESSARY STEPS TO AVOID THEM.
- SPECIFIC INFORMATION PROVIDED IN THE CONTRACT DOCUMENTS SHALL SUPERSEDE ITEMS COVERED IN THESE DRAWINGS.
- THE DEVELOPER AND THE CONTRACTOR UNDERSTAND THAT IS IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

UTILITY NOTES

- COORDINATE ALL UTILITY CONNECTIONS TO BUILDING WITH PLUMBING PLANS AND BUILDING CONTRACTOR.
- VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTING ANY NEW UTILITY LINES. NOTIFY CIVIL ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO ANY CONNECTIONS BEING MADE.
- WATER METERS ARE TO BE INSTALLED PER CURRENT CITY STANDARDS AND SPECIFICATIONS. IT WILL BE THE CONTRACTORS RESPONSIBILITY TO INSTALL ALL ITEMS REQUIRED.
- WATER LINES, VALVES, FIRE HYDRANTS, FITTINGS ETC. ARE TO BE CONSTRUCTED AS SHOWN. CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ANY VERTICAL ADJUSTMENTS NECESSARY TO CLEAR SEWER, STORM DRAIN OR OTHER UTILITIES AS NECESSARY INCLUDING VALVE BOXES AND HYDRANT SPOOLS TO PROPER GRADE.
- FIELD VERIFY ALL EXISTING AND/OR PROPOSED ROOF DRAIN/ROOF DRAIN DOWN SPOUT CONNECTIONS TO STORM WATER SYSTEM WITH CIVIL, PLUMBING & ARCHITECTURAL PLANS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- ALL CATCH BASINS AND INLET BOX GRATES ARE TO BE BICYCLE SAFE.
- UNLESS OTHERWISE NOTED FOR EXISTING UTILITIES, ALL DRY UTILITIES ARE ASSUMED TO BE 3' BELOW EXISTING GRADE TO TOP OF CONDUIT. ALL WATER LINES ARE ASSUMED TO BE 4' BELOW EXISTING GRADE TO TOP OF PIPE. ALL STORM AND SANITARY LINES ARE BASED ON SURVEYED INVERT DATA. CONTRACTOR TO POTHOLE ALL UTILITY CROSSINGS, VERIFY ELEVATIONS AND CONTACT ENGINEER IF ELEVATIONS ARE DIFFERENT FROM THOSE SHOWN IN THESE PLANS.
- ANY EXISTING VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE
- IF CONTRACTOR LOCATES ANY UNIDENTIFIED UTILITIES, CONTRACTOR SHALL CONTACT THE ENGINEER FOR VERIFICATION OF LOCATION BOTH HORIZONTAL AND VERTICAL.



CAUTION NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO THE NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

NOTE

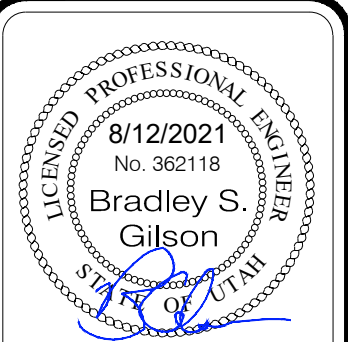
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GENERAL NOTES
LILJENQUEST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -

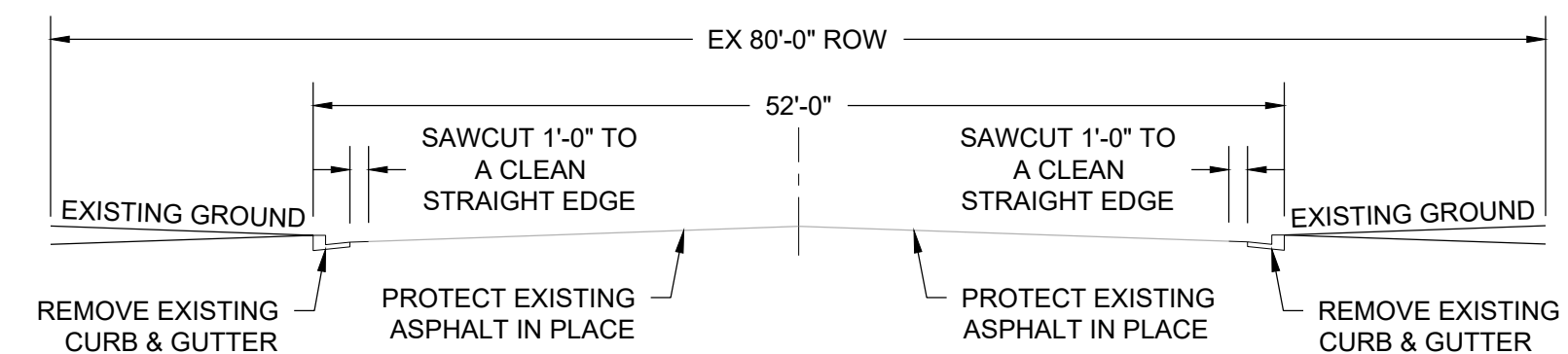
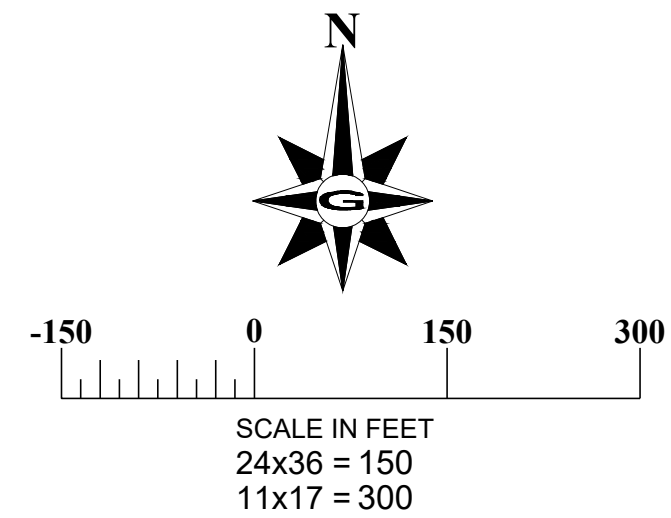
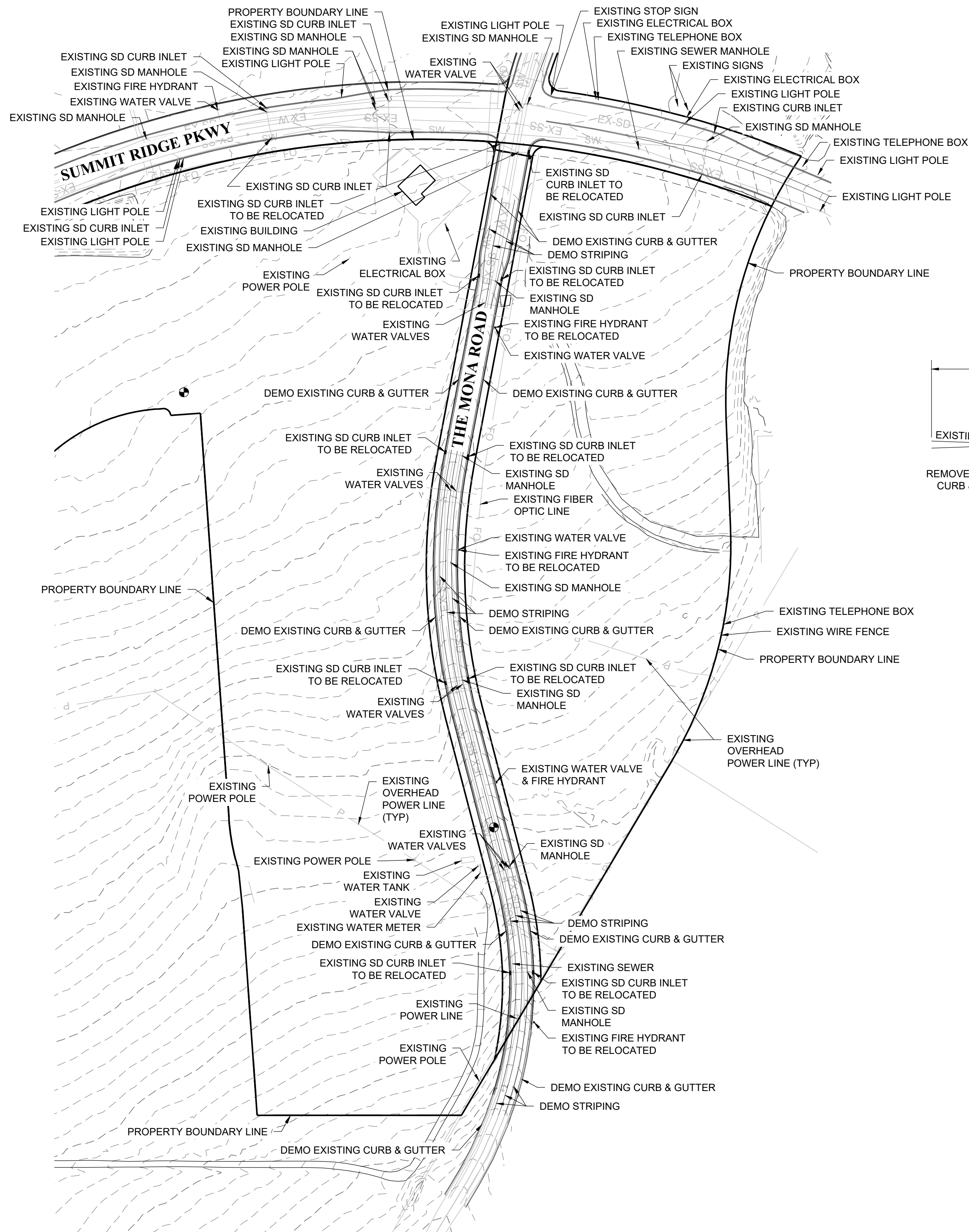
PROJ. # LIL.012

G.101



DATE	REVISIONS
AUGUST 2021	
DRAWING NAME	BY COMMENTS
G.101	
GENERAL NOTES	
DESIGNED/DRAWN BY	
BG/BP	
CHECKED	APPROVED

1" SCALE MEASURES 1" ON FULL SIZE SHEET
ADJUST FOR HALF SIZE SHEETS



EXISTING STREET SECTION DEMO DETAIL

SCALE: N.T.S.

NOTE

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DISCLAIMER NOTE

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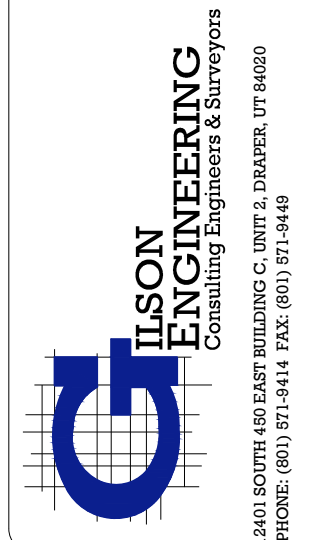
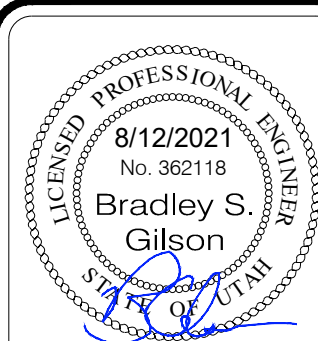


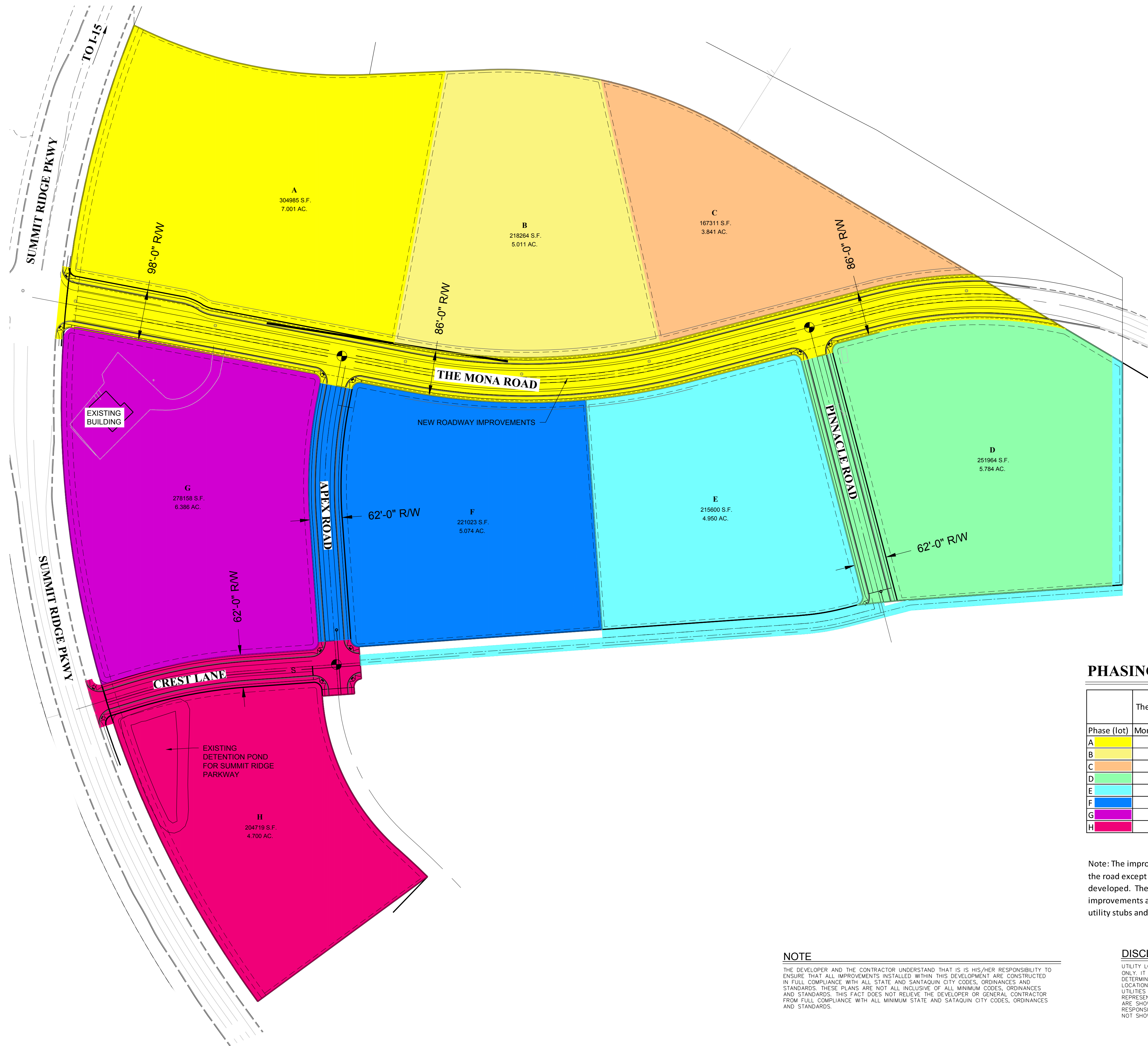
EXISTING SITE
LILJENQUIEST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -

PROJ. # LIL.012

C.100





PHASING PLAN

Phase (lot)	Improvements				
	The first Phase (lot) to develop will include the following improvements as part of the phase				
	Mona Road	Pinnacle Road	Apex Road	Crest Lane	Waterline Loop
A	✓				
B	✓				✓
C	✓				✓
D	✓	✓			✓
E	✓	✓			✓
F	✓		✓		✓
G	✓		✓		
H				✓	

Note: The improvements include full roadway improvements and utilities, both sides of the road except parkstrip and sidewalk on opposite side of the Phase (lot) being developed. The opposite parkstrip and sidewalk will be developed as a frontage improvements along the road with the corresponding phase. Mona Road will include utility stubs and radius 10 ft past property line on Apex and Pinnacle.

NOTE

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PHASING PLAN

LILJENQUIST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -

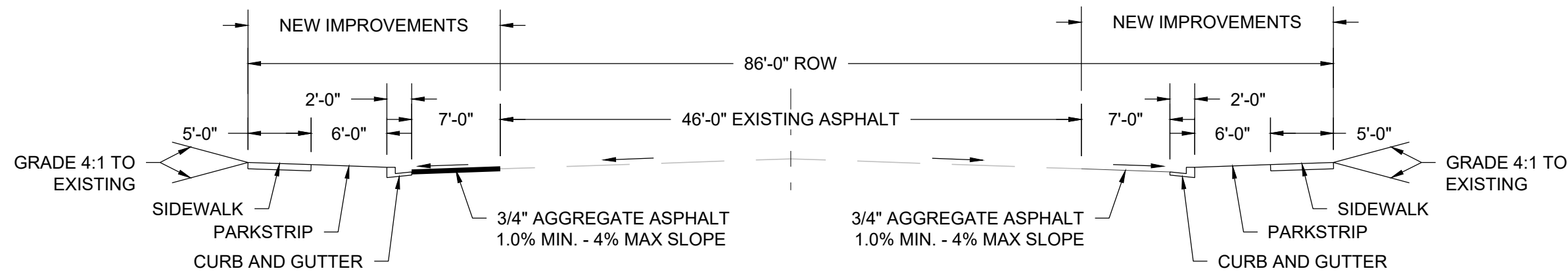
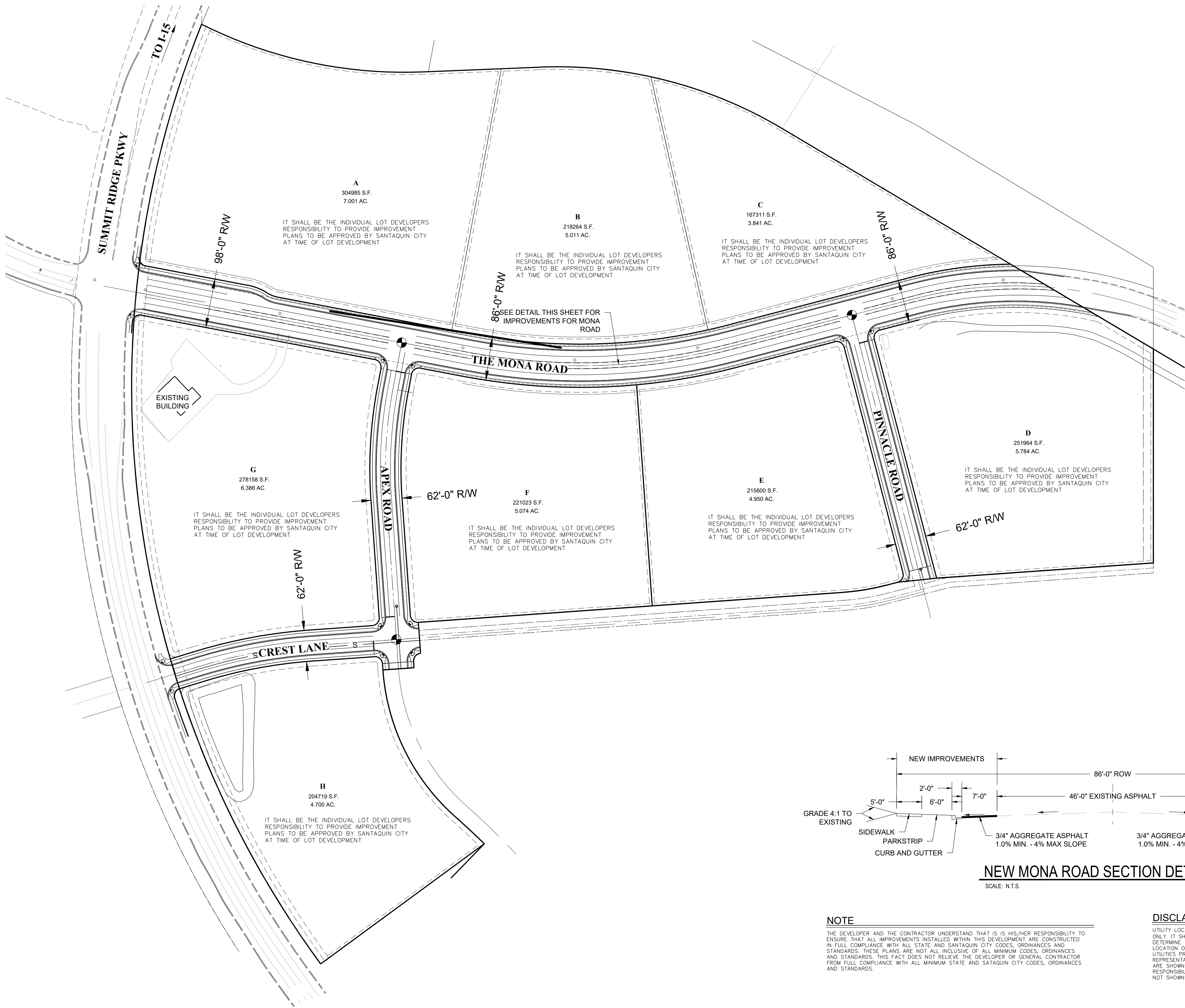
PROJ. # LIL.012

C.101

DATE	REV	DATE	BY	COMMENTS
AUGUST 2021				
DRAWING NAME:				
C.101 SITE PLAN OVERALL				
DESIGNED/DRAWN BY:				
BG/BP				
CHECKED:	APPROVED:			

1" SCALE MEASURES 1" ON FULL SIZE SHEET
ADJUST FOR HALF SIZE SHEETS

GILSON
ENGINEERING
Consulting Engineers & Surveyors
10415 S. STATE, 4TH FLOOR, SALT LAKE CITY, UTAH 84143
PHONE: (801) 873-8414 FAX: (801) 521-1449



NEW MONA ROAD SECTION DETAIL
SCALE: N.T.S.

NOTE
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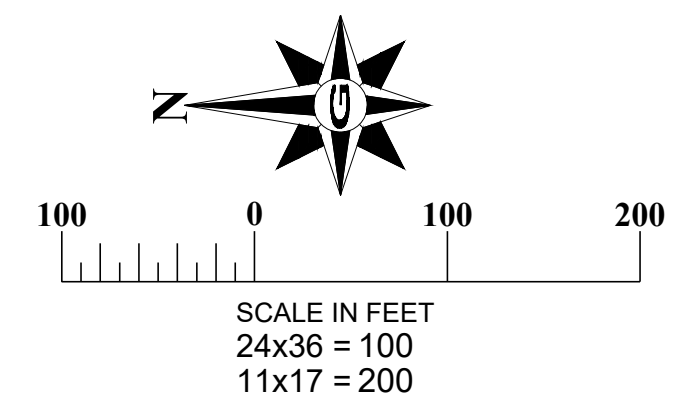
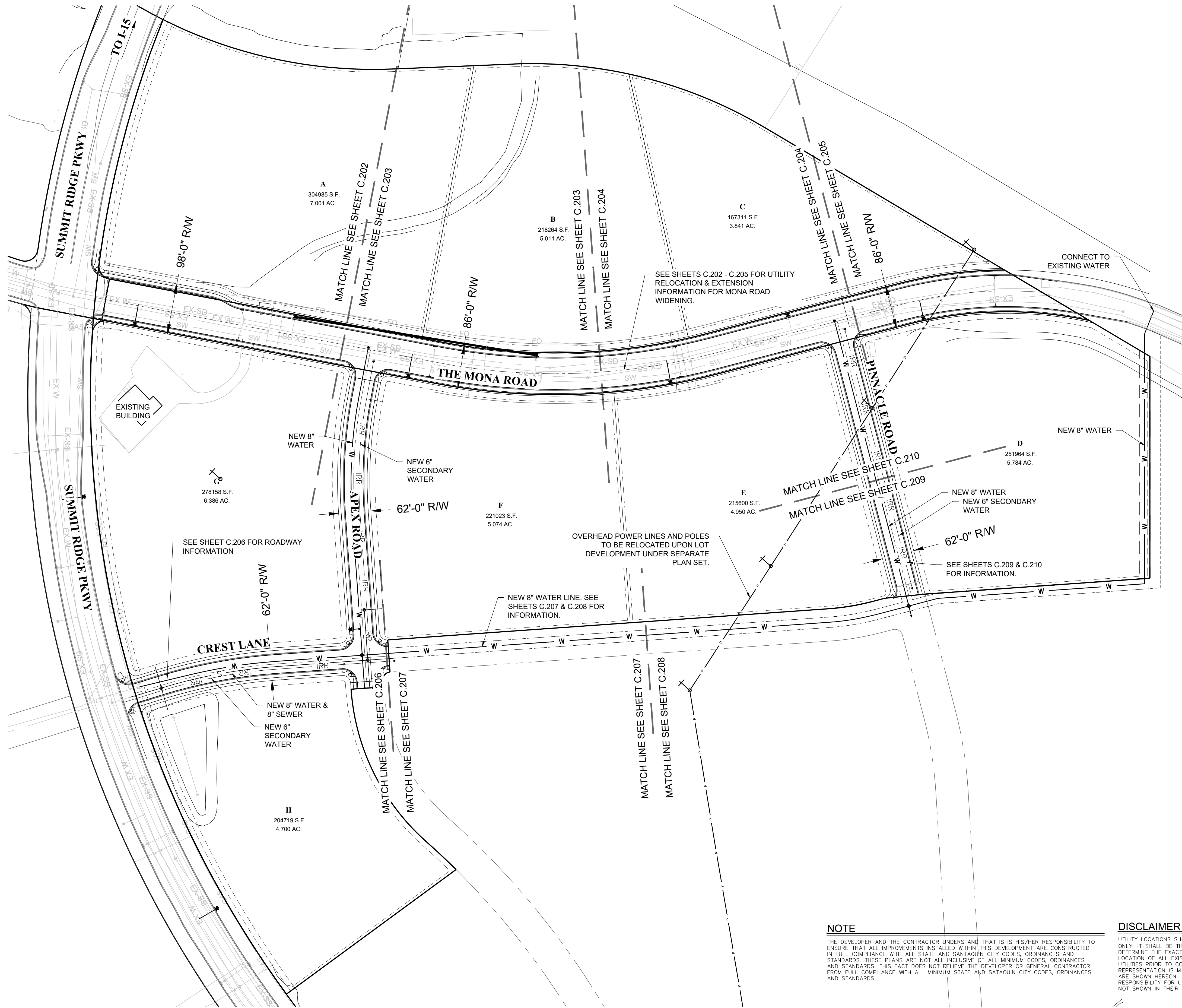
OVERALL SITE PLAN
LILJENQUEST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -
PROJ. # **LIL.012**
C.102

LILJENQUEST ENGINEERING
Civil Engineering, Surveying & Construction
1000 WEST 1000 SOUTH, SUITE 101
SALT LAKE CITY, UTAH 84143
PHONE: (801) 871-8414 FAX: (801) 871-1449

DATE	REVISIONS
AUGUST 2021	
DRAWING NAME	
C.102 SITE PLAN OVERALL	
DESIGNED/DRAWN BY	
BG/BP	
CHECKED	APPROVED

1" SCALE MEASURES 1" ON FULL SIZE SHEET
ADJUST FOR HALF SIZE SHEETS



NOTE

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OVERALL UTILITIES & GRADING PLAN

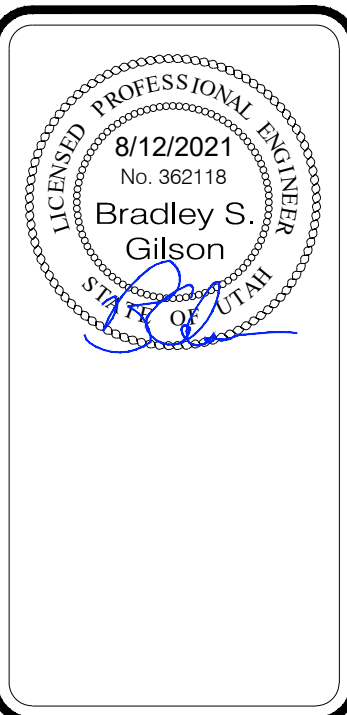
LILJENQUIST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

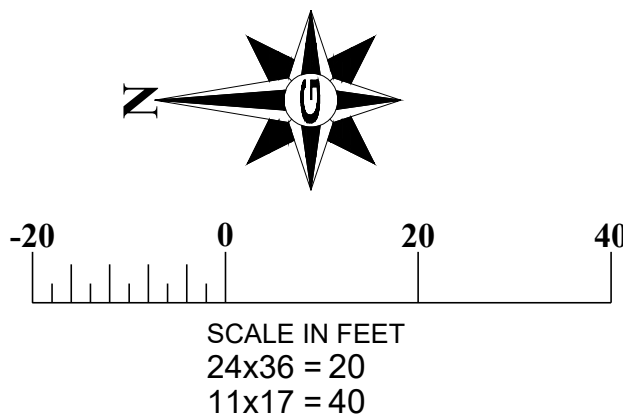
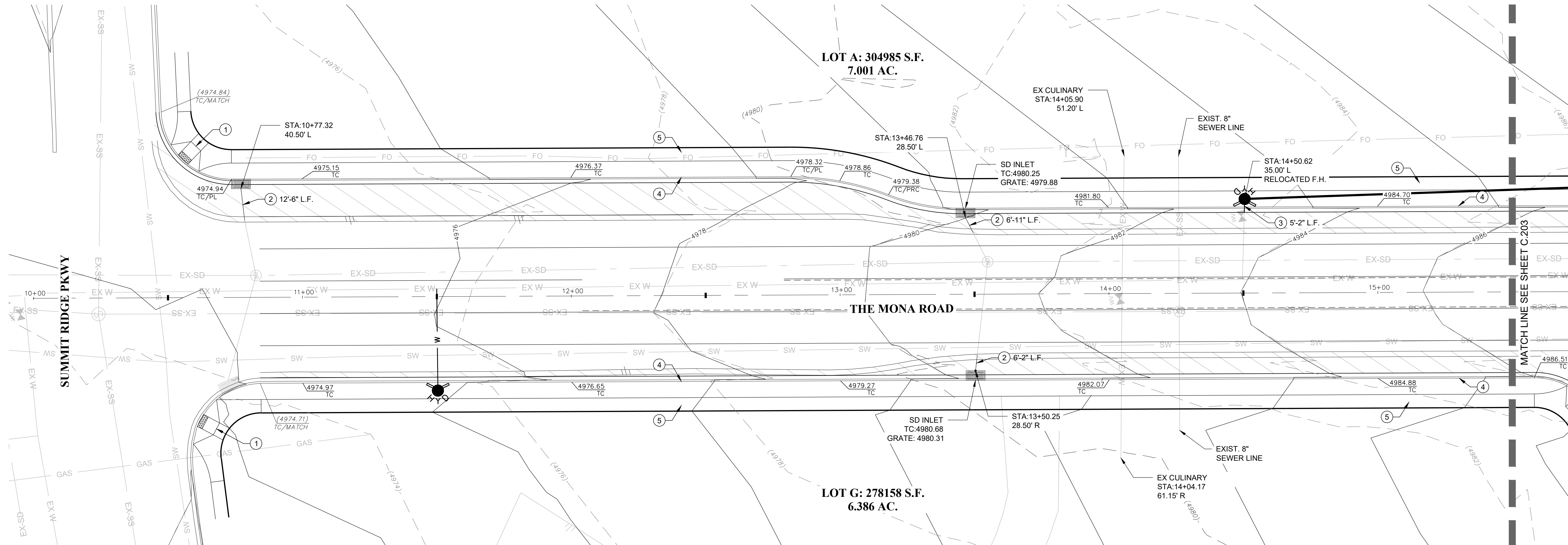
DATE	REV	DATE	BY	COMMENTS
AUGUST 2021				
DRAWING NAME: C.201 OVERALL UTILITIES PLAN				
DESIGNED/DRAWN BY: BG/BP				
CHECKED: T APPROVED: ---				

REVISION: -

PROJ. # **LIL.012**

C.201





NOTE

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UTILITY LEGEND

---	EX-SD	EXISTING STORM DRAIN
---	EX-SW	EXISTING SECONDARY WATER
---	EX-W	EXISTING WATER
---	EX-S	EXISTING SANITARY SEWER
---	W	NEW WATER MAIN
---	SW	NEW SECONDARY WATER MAIN
---	S	NEW SEWER MAIN
(SD)		EXISTING STORM MANHOLE
(S)		EXISTING SEWER MANHOLE
[Hatched Box]		STORM DRAIN INLET
(S)		SEWER MANHOLE
[Diagonal Lines Box]		AREA OF NEW AC PAVEMENT

CONSTRUCTION KEY NOTES

1. CONSTRUCT CURB RAMP PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG2A SHEET C.301.
2. EXTEND STORM DRAIN PIPE AT EXISITNG GRADE TO RELOCATED INLET
3. EXTEND WATER LINE TO RELOCATED F.H.
4. CONSTRUCT HIGHBACK CURB & GUTTER PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG4 SHEET C.301.
5. CONSTRUCT CONCRETE SIDEWALK PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG5 SHEET C.301.
6. INSTALL STOP SIGN PER SANTAQUIN CITY STD. DWG SEE DETAIL S77 SHEET C.301.
7. EXTEND WATER LINE & IRRIGATION LINE FROM STUB BEYOND NEW SIDEWALK.
8. INSTALL 6" SECONDARY WATER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301 MAINTAIN 48" MIN. COVER
9. INSTALL 1" CBR 2 CTS. 300 GCS. SERVICE PIPE CONTINUOUS

DISCLAIMER NOTE

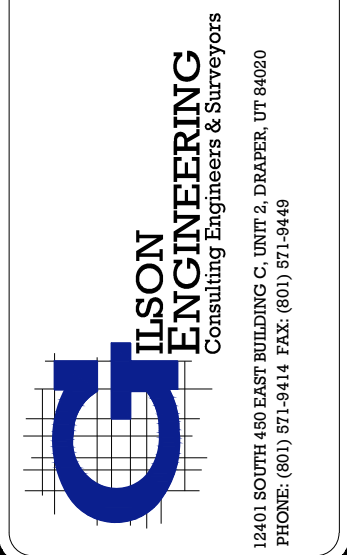
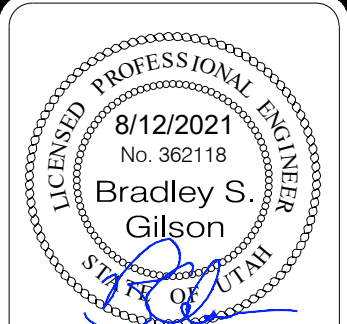
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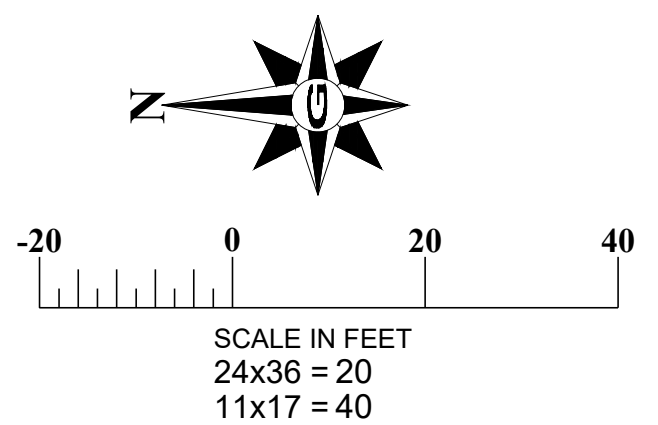
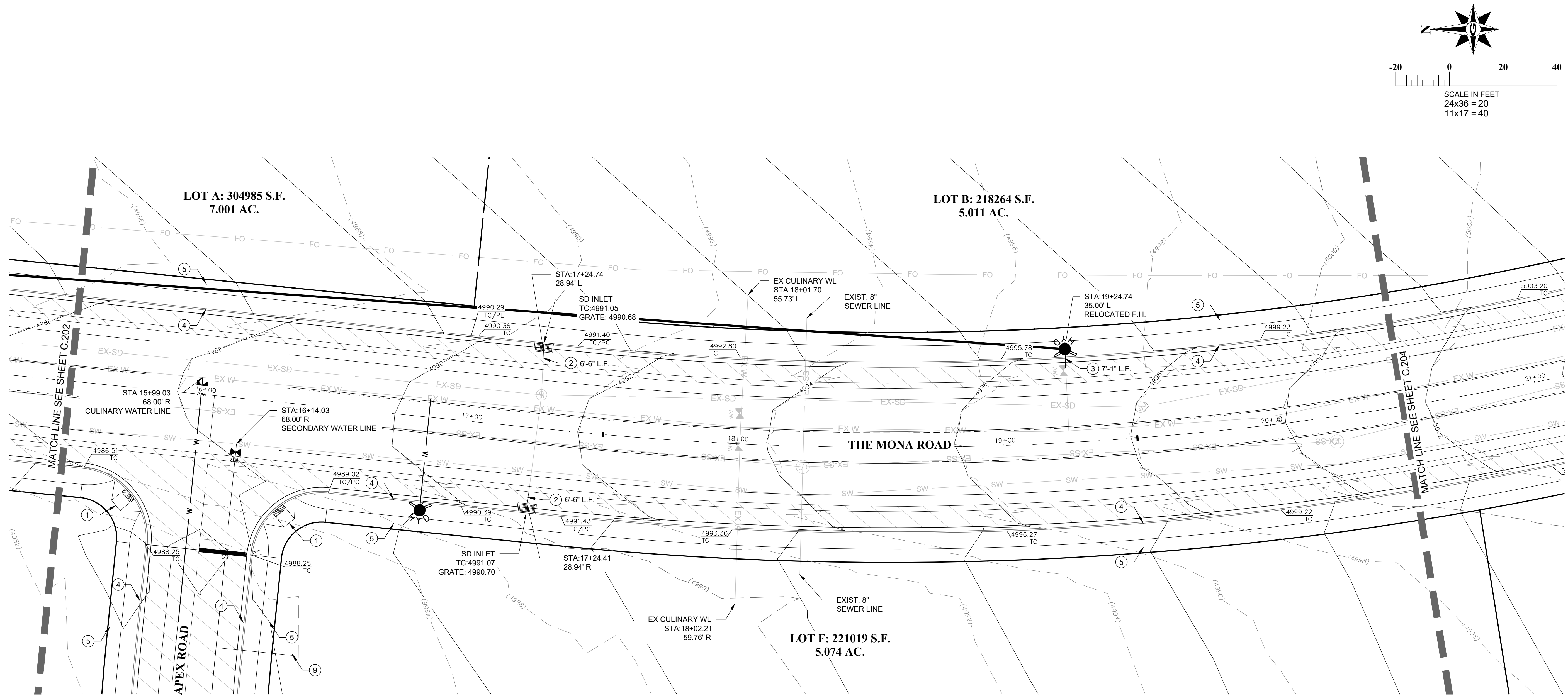


UTILITIES & GRADING PLAN

LILJENQUIST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -
PROJ. # **LIL.012**
C.202





NOTE

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UTILITY LEGEND

---	EXSD	EXISTING STORM DRAIN
---	EX-SW	EXISTING SECONDARY WATER
---	EX-W	EXISTING WATER
---	EX-S	EXISTING SANITARY SEWER
---	NEW WATER MAIN	
---	NEW SECONDARY WATER MAIN	
---	NEW SEWER MAIN	
(SD)	EXISTING STORM MANHOLE	
(S)	EXISTING SEWER MANHOLE	
(SD)	STORM DRAIN INLET	
(S)	SEWER MANHOLE	
(Hatched Area)	AREA OF NEW AC PAVEMENT	

CONSTRUCTION KEY NOTES

1. CONSTRUCT CURB RAMP PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG2A SHEET C.301.
2. EXTEND STORM DRAIN PIPE AT EXISTING GRADE TO RELOCATED INLET.
3. EXTEND WATER LINE TO RELOCATED F.H.
4. CONSTRUCT HIGHBACK CURB & GUTTER PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG4 SHEET C.301.
5. CONSTRUCT CONCRETE SIDEWALK PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG5 SHEET C.301.
6. INSTALL STOP SIGN PER SANTAQUIN CITY STD. DWG SEE DETAIL ST7 SHEET C.301.
7. EXTEND WATER LINE & IRRIGATION LINE FROM STUB BEYOND NEW SIDEWALK.
8. INSTALL 6" SECONDARY WATER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301 MAINTAIN 48" MIN. COVER
9. INSTALL 1" SDR 9 CTS, 200 PSI PE SERVICE PIPE CONTINUOUS, PURPLE IN COLOR SECONDARY WATER PER SANTAQUIN CITY STD. DWG PI2.

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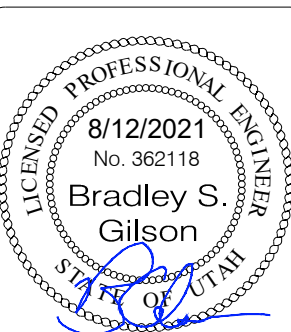


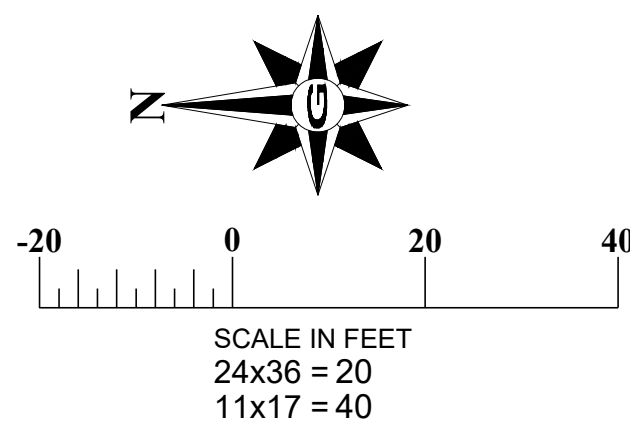
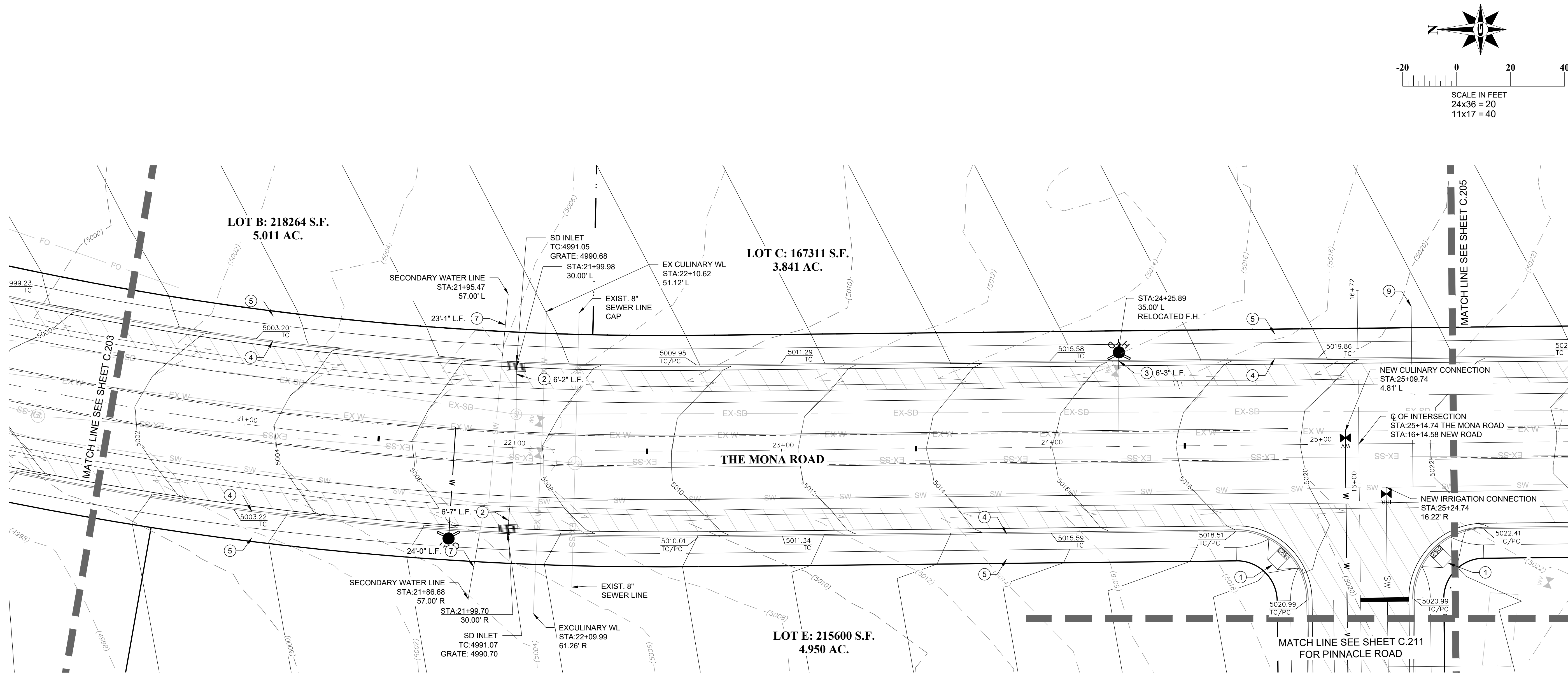
UTILITIES & GRADING PLAN

LILJENQUIST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -
PROJ. # **LIL.012**

C.203





NOTE

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UTILITY LEGEND

---	EXSD	EXISTING STORM DRAIN
---	EX-SW	EXISTING SECONDARY WATER
---	EX-W	EXISTING WATER
---	EX-S	EXISTING SANITARY SEWER
---	NEW W	NEW WATER MAIN
---	NEW SW	NEW SECONDARY WATER MAIN
---	NEW S	NEW SEWER MAIN
(SD)		EXISTING STORM MANHOLE
(S)		EXISTING SEWER MANHOLE
[Hatched Box]		STORM DRAIN INLET
(S)		SEWER MANHOLE
[Diagonal Lines Box]		AREA OF NEW AC PAVEMENT

CONSTRUCTION KEY NOTES

1. CONSTRUCT CURB RAMP PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG2A SHEET C.301.
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3. EXTEND WATER LINE TO RELOCATED F.H.
4. CONSTRUCT HIGHBACK CURB & GUTTER PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG4 SHEET C.301.
5. CONSTRUCT CONCRETE SIDEWALK PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG5 SHEET C.301.
6. INSTALL STOP SIGN PER SANTAQUIN CITY STD. DWG SEE DETAIL S17 SHEET C.301.
7. EXTEND WATER LINE & IRRIGATION LINE FROM STUB BEYOND NEW SIDEWALK.
8. INSTALL 6" SECONDARY WATER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301 MAINTAIN 48" MIN. COVER
9. INSTALL 1" SDR 9 CTS, 200 PSI PE SERVICE PIPE CONTINUOUS, PURPLE IN COLOR SECONDARY WATER PER SANTAQUIN CITY STD. DWG PI2.

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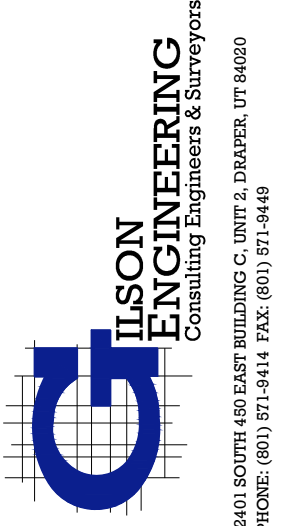
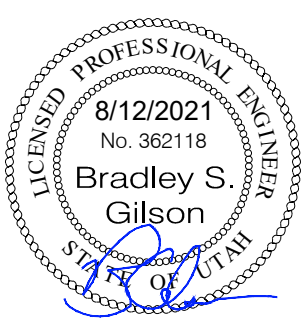
UTILITIES & GRADING PLAN

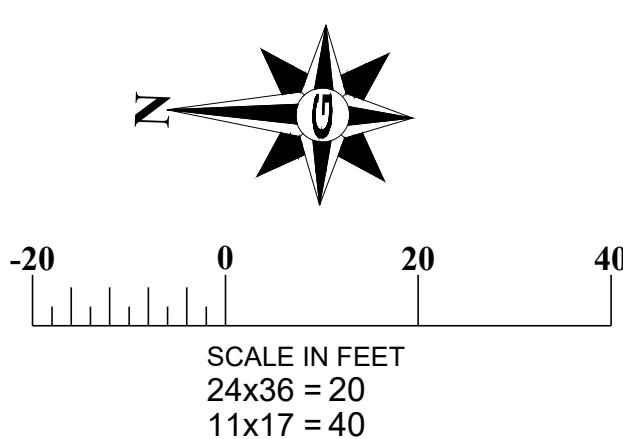
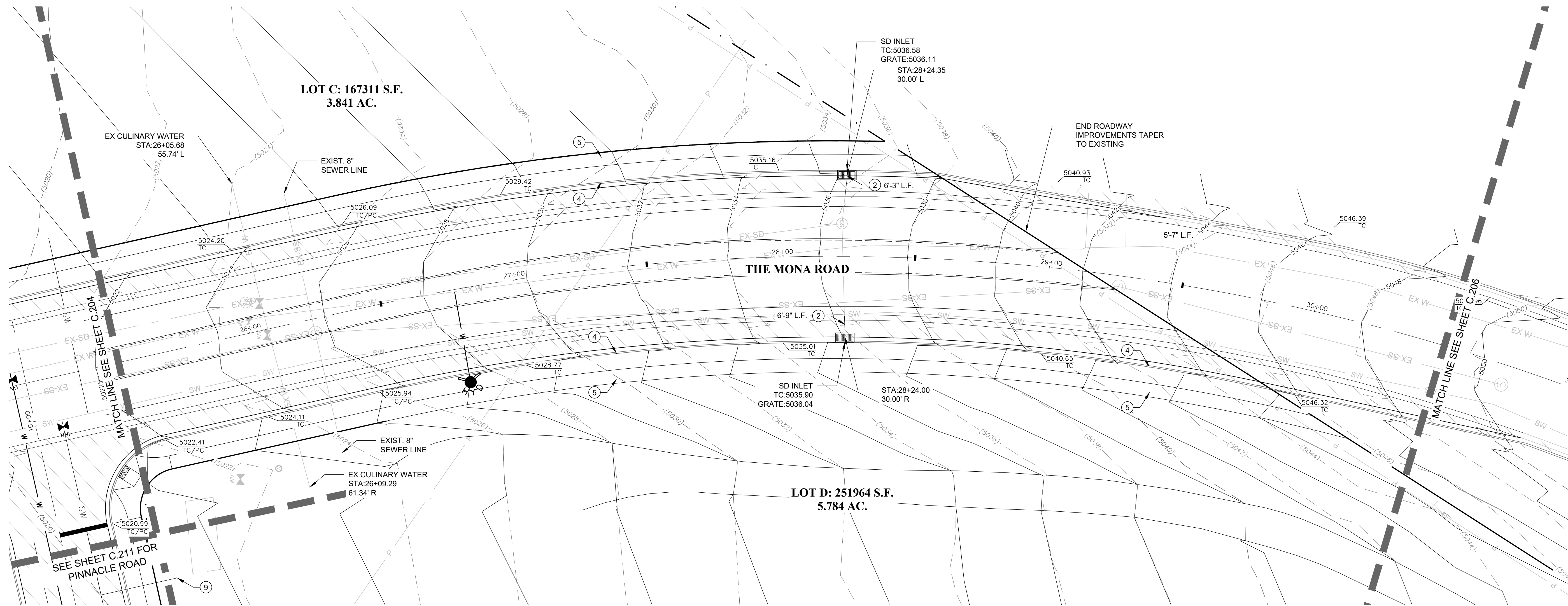
LILJENQUIST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -

PROJ. # LIL.012

C.204





LOT C: 167311 S.F.
3.841 AC.

LOT D: 251964 S.F.
5.784 AC.

THE MONA ROAD

NOTE
THE DEVELOPER AND THE CONTRACTOR UNDERSTAND THAT IS IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SATAQUIN CITY CODES, ORDINANCES AND STANDARDS.

UTILITY LEGEND	
	EXISTING STORM DRAIN
	EXISTING SECONDARY WATER
	EXISTING WATER
	EXISTING SANITARY SEWER
	NEW WATER MAIN
	NEW SECONDARY WATER MAIN
	NEW SEWER MAIN
	EXISTING STORM MANHOLE
	EXISTING SEWER MANHOLE
	STORM DRAIN INLET
	SEWER MANHOLE
	AREA OF NEW AC PAVEMENT

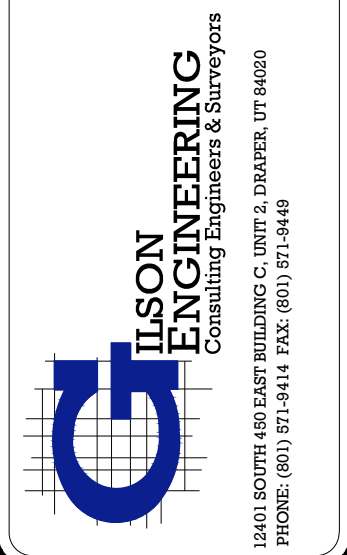
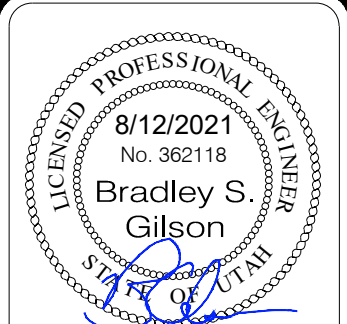
- CONSTRUCTION KEY NOTES**
1. CONSTRUCT CURB RAMP PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG2A SHEET C.301.
 2. EXTEND STORM DRAIN PIPE AT EXISITNG GRADE TO RELOCATED INLET
 3. EXTEND WATER LINE TO RELOCATED F.H.
 4. CONSTRUCT HIGHBACK CURB & GUTTER PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG4 SHEET C.301.
 5. CONSTRUCT CONCRETE SIDEWALK PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG5 SHEET C.301.
 6. INSTALL STOP SIGN PER SANTAQUIN CITY STD. DWG SEE DETAIL ST7 SHEET C.301.
 7. EXTEND WATER LINE & IRRIGATION LINE FROM STUB BEYOND NEW SIDEWALK.
 8. INSTALL 6" SECONDARY WATER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301 MAINTAIN 48" MIN. COVER
 9. INSTALL 1" SDR 9 CTS, 200 PSI PE SERVICE PIPE CONTINUOUS, PURPLE IN COLOR SECONDARY WATER PER SANTAQUIN CITY STD. DWG P12.

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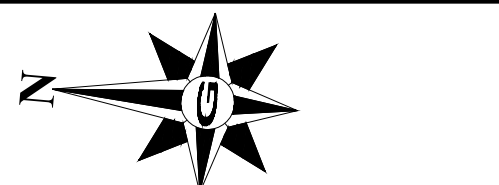
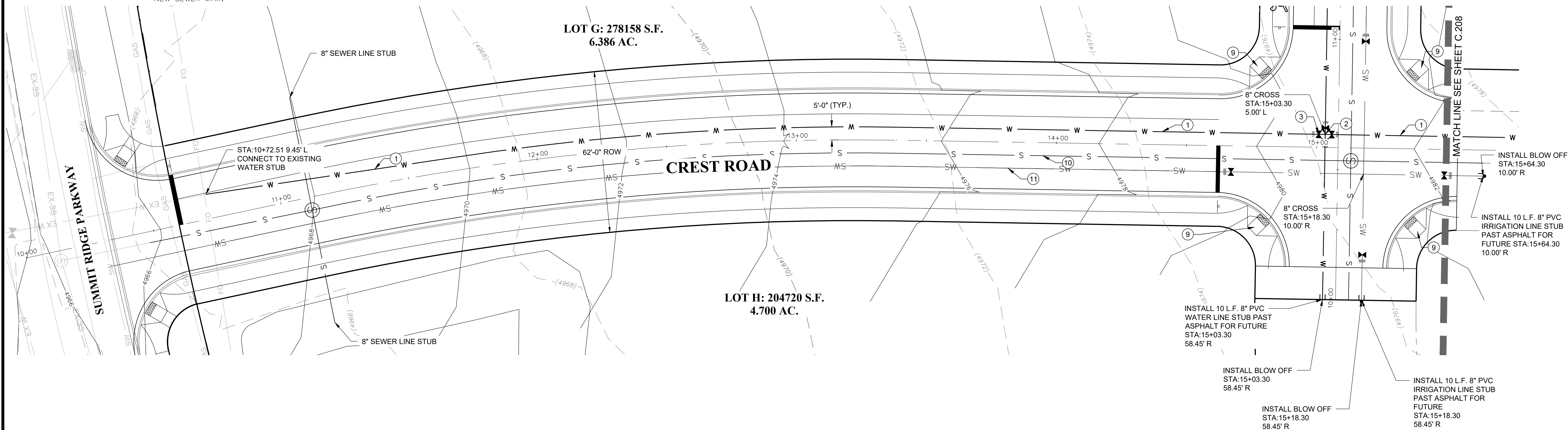
UTILITIES & GRADING PLAN
LILJENQUIST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -
PROJ. # **LIL.012**
C.205



UTILITY LEGEND

	EXISTING STORM DRAIN		EXISTING STORM MANHOLE
	EXISTING SECONDARY WATER		EXISTING SEWER MANHOLE
	EXISTING WATER		STORM DRAIN INLET
	EXISTING SANITARY SEWER		SEWER MANHOLE
	NEW WATER MAIN		
	NEW SECONDARY WATER MAIN		
	NEW SEWER MAIN		



SCALE IN FEET

24x36 = 20

11x17 = 40

APEX ROAD

CREST ROAD

LOT G: 278158 S.F.
6.386 AC.LOT H: 204720 S.F.
4.700 AC.

CONSTRUCTION KEY NOTES

1. INSTALL 8" WATER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.
2. INSTALL 8" CROSS WITH THRUST BLOCKS PER SANTAQUIN CITY STD. DWG UT4 SEE SHEET C.301.
3. INSTALL 8" GATE VALVE EACH LEG. EAST & WEST LEGS TO BE INSTALLED IN THE CLOSED POSITION FOR FUTURE IMPROVEMENTS.
4. INSTALL 8" TEE WITH 8" GATE VALVE EACH LEG. INSTALL GATE VALVE WEST LEG IN CLOSED POSITION FOR FUTURE IMPROVEMENTS.
5. CONSTRUCT CONCRETE SIDEWALK PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG5 SHEET C.301.
6. CONSTRUCT HIGHBACK CURB & GUTTER PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG4 SHEET C.301.
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9. CONSTRUCT CURB RAMP PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG2A SHEET C.301.
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NOTE

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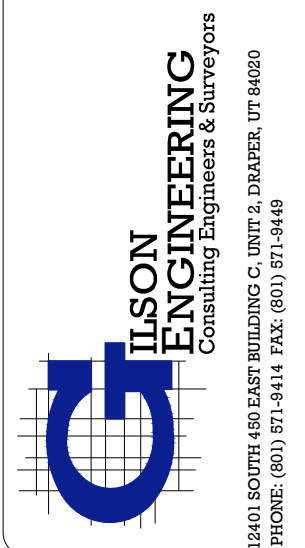
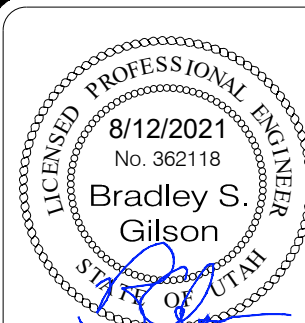
UTILITY AND GRADING PLAN

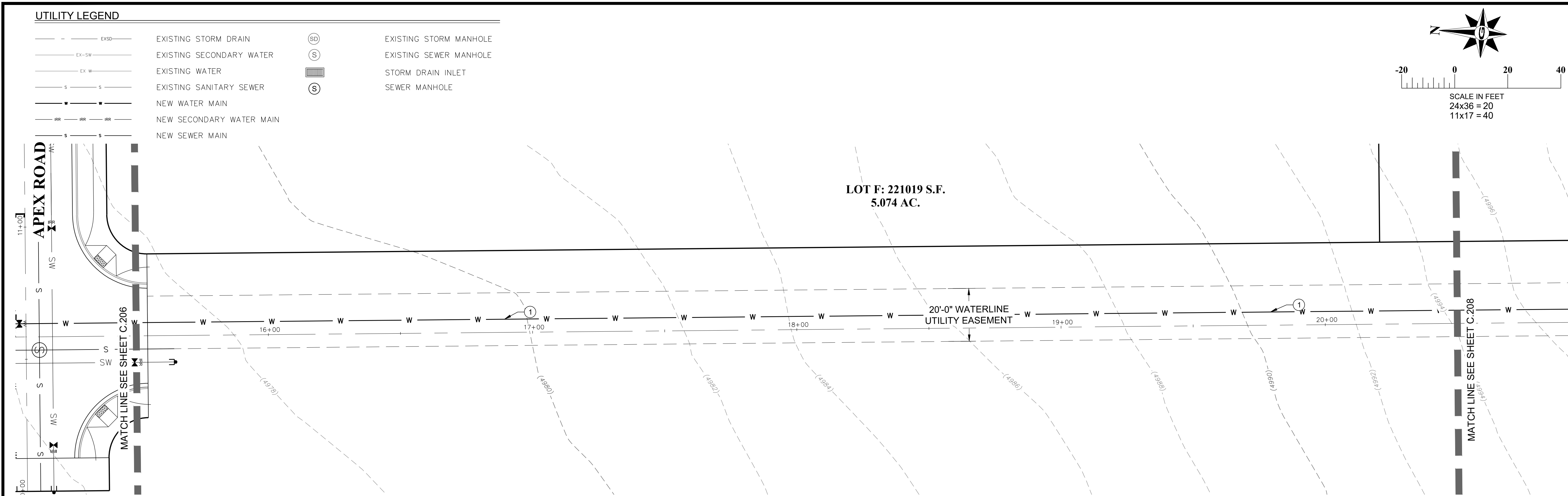
LILJENQUIST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -

PROJ. # LIL.012

C.206





WATER LINE EASEMENT

Describing the Centerline of 20' wide (10' on either side) Water Line Easement #1:

Beginning at a point located on the current termination line of Crest Lane N85°57'33"E 5.00' from the centerline of Crest Lane, which is coincident with the boundary of the Summit Ridge Commercial Subdivision. Said point is further described as S1°04'18"E 1011.27' along the section line and S88°55'42"W 1324.55' from the Northeast Corner of Section 15, Township 10 South Range 1 East, Salt Lake Base and Meridian

Thence:

- 1) S4°02'27"E 847.20';
- 2) Along the arc of a 495.00' radius curve, concave to the east 91.37', through a central angle of 10° 34'33" (chord: S9°19'44" E, 91.24')
- 3) S14°37'00"E 65.23 to the point of beginning of 20' wide Water Line Easement #2,
- 4) S14°37'00" 57.86'
- 5) S04°02'27" 407.76' to a point on the southerly boundary Utah County Parcel 32:021:0059

Describing the Centerline of 20' wide (10' on either side) Water Line Easement #2:

Beginning at a point located on which is coincident with southerly end of course 3 as above described. Said point is further described as S1°04'18"E 2011.04' along the section line and S88°55'42"W 1252.29' from the Northeast Corner of Section 15, Township 10 South Range 1 East, Salt Lake Base and Meridian

Thence:

N75°23'00"E 19.75' to a point on the southerly boundary of the Summit Ridge Commercial Subdivision

CONSTRUCTION KEY NOTES

- 1) INSTALL 8" WATER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.
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UTILITY 8" WATER LINE LOOP

LILJENQUIEST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

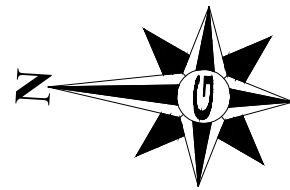
REVISION: -
PROJ. # LIL.012
C.207

UTILITY LEGEND

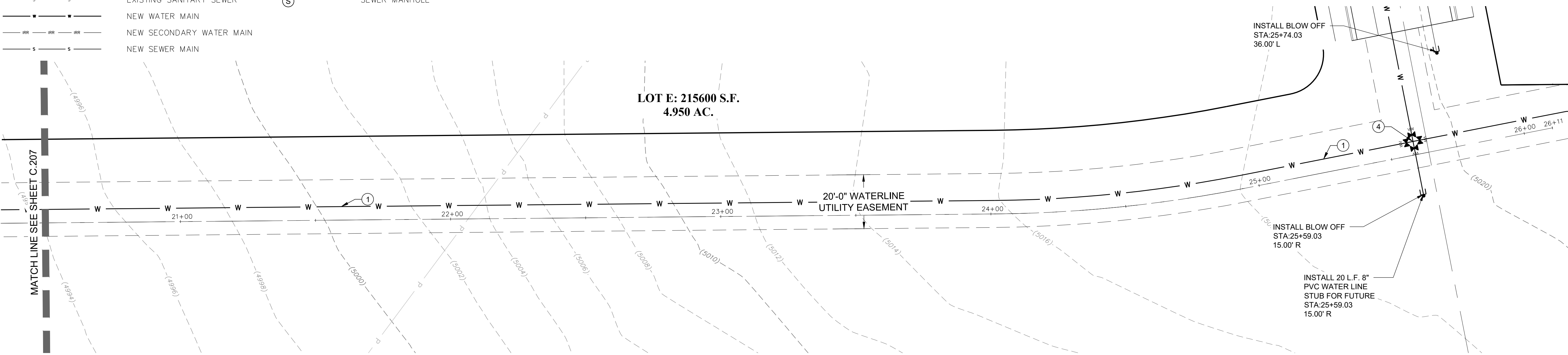
	EXISTING STORM DRAIN		EXISTING STORM MANHOLE
	EXISTING SECONDARY WATER		EXISTING SEWER MANHOLE
	EXISTING WATER		STORM DRAIN INLET
	EXISTING SANITARY SEWER		SEWER MANHOLE
	NEW WATER MAIN		
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SCALE IN FEET
24x36 = 20
11x17 = 40



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DISCLAIMER NOTE

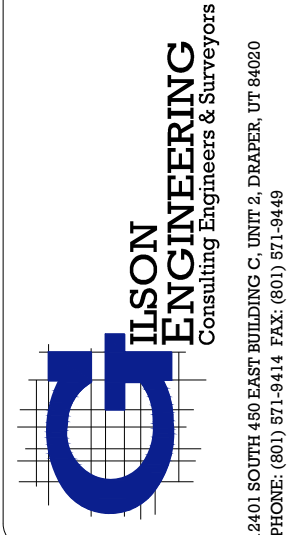
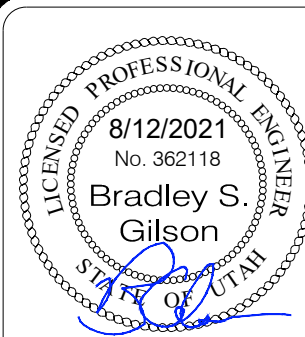
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UTILITY 8" WATER LINE LOOP

LILJENQUIEST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -
PROJ. # LIL.012
C.208

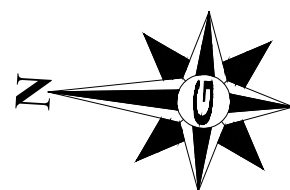


UTILITY LEGEND

NEW WATER MAIN

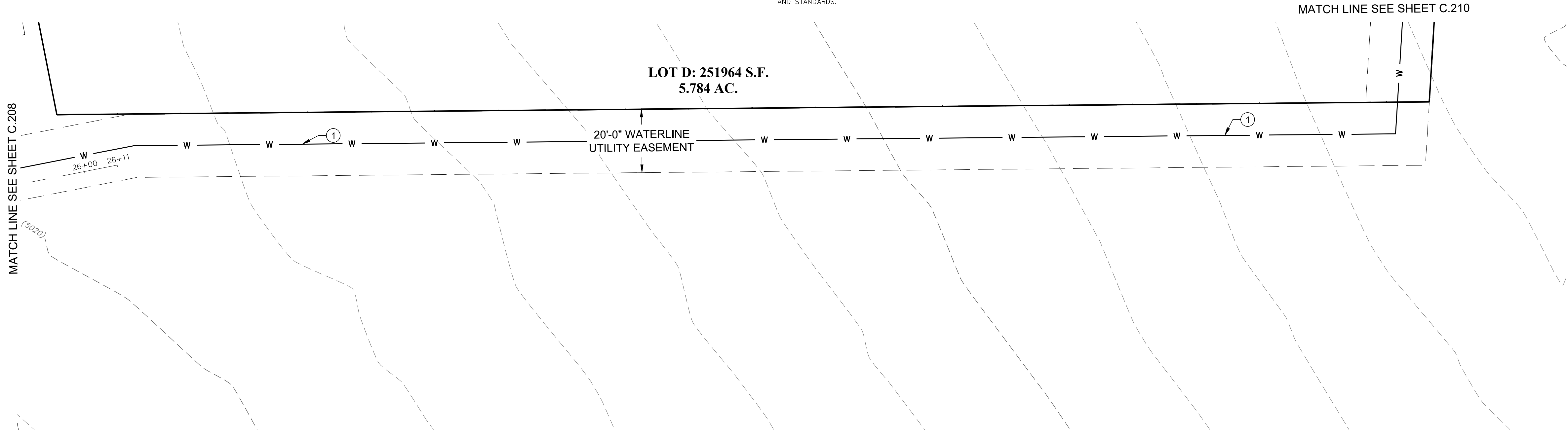
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-20 0 20 40

SCALE IN FEET
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11x17 = 40



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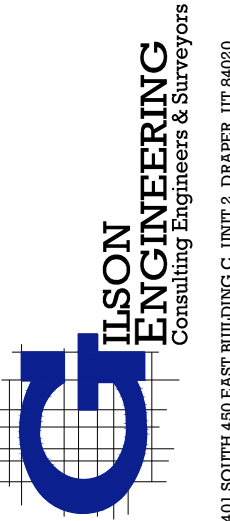
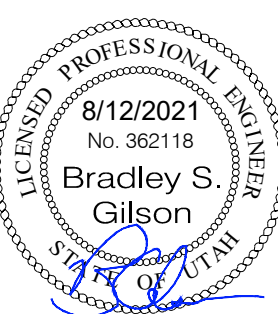
UTILITY 8" WATER LINE LOOP

LILJENQUIEST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -

PROJ. # LIL.012

C.208

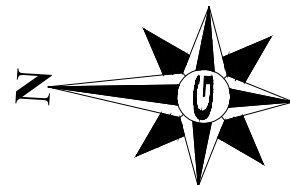


UTILITY LEGEND

NEW 8" WATER MAIN

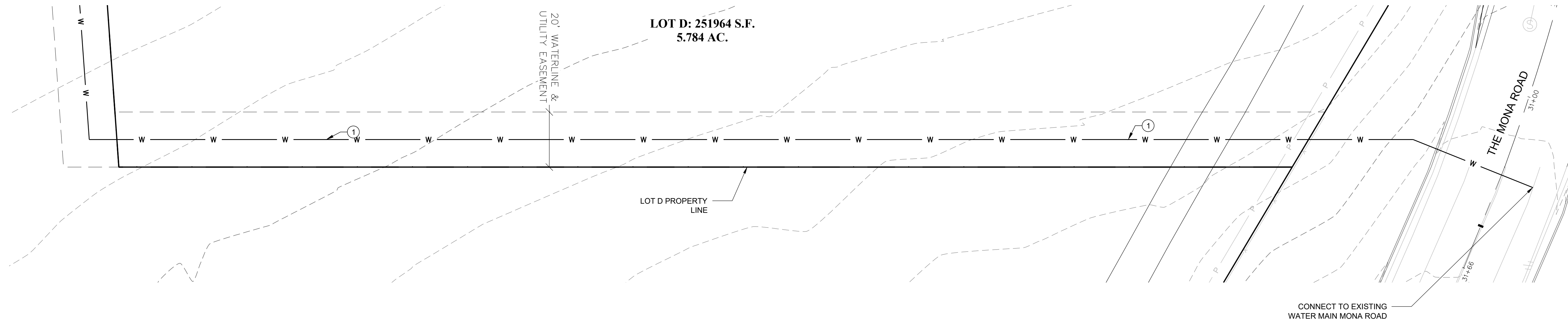
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SCALE IN FEET
24x36 = 20
11x17 = 40

MATCH LINE SEE SHEET C.209



CONSTRUCTION KEY NOTES

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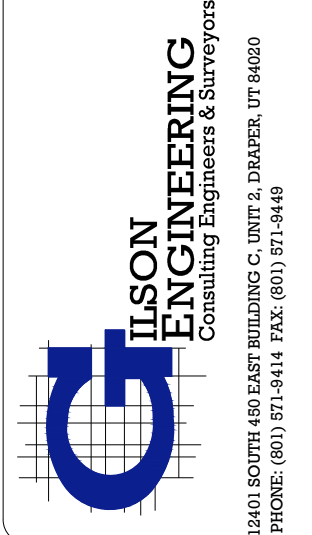
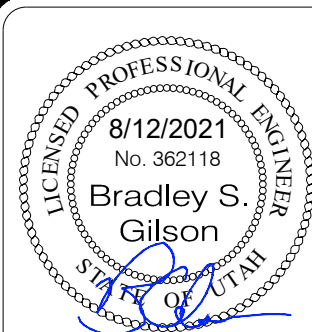
UTILITY 8" WATER LINE LOOP

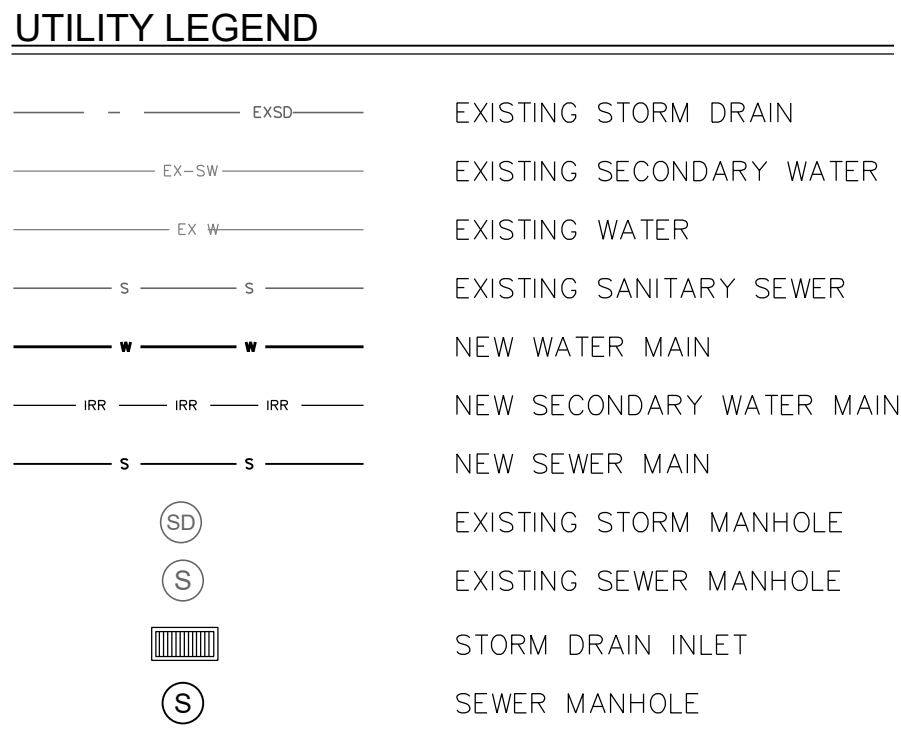
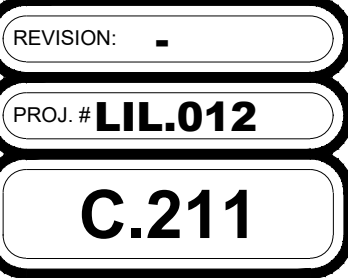
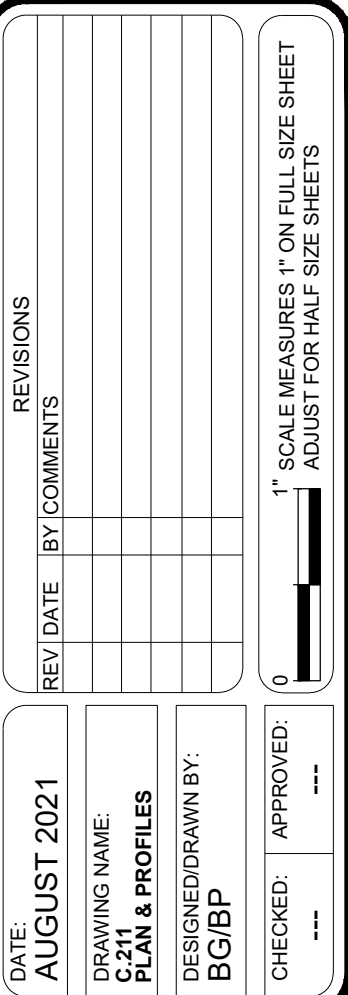
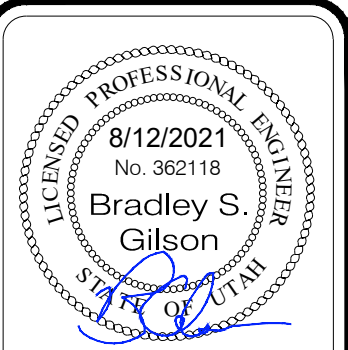
LILJENQUIEST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -

PROJ. # LIL.012

C.210



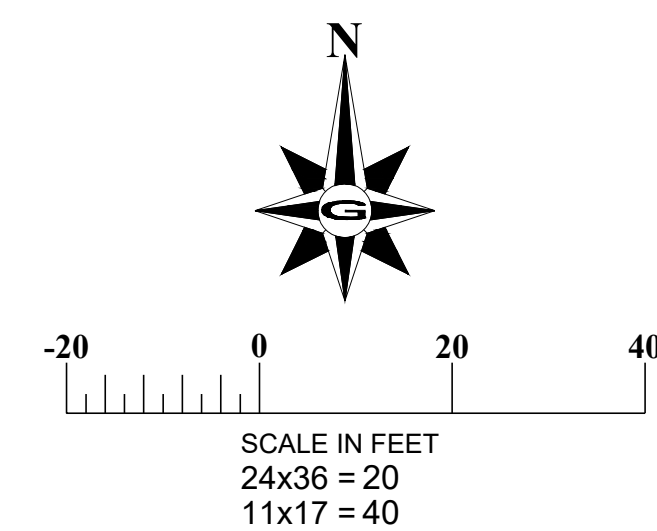


NOTE

THE DEVELOPER AND THE CONTRACTOR UNDERSTAND THAT IS IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS.

- ① INSTALL 8" WATER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.
- ② INSTALL 8" CROSS WITH THRUST BLOCKS PER SANTAQUIN CITY STD. DWG UT4 SEE SHEET C.301.
- ③ INSTALL 8" GATE VALVE EACH LEG. EAST & WEST LEGS TO BE INSTALLED IN THE CLOSED POSITION FOR FUTURE IMPROVEMENTS.
- ④ INSTALL 8" TEE WITH 8" GATE VALVE EACH LEG. INSTALL GATE VALVE WEST LEG IN CLOSED POSITION FOR FUTURE IMPROVEMENTS.

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| <p>5 CONSTRUCT CONCRETE SIDEWALK PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG5 SHEET C.301.</p> <p>6 CONSTRUCT HIGHBACK CURB & GUTTER PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG4 SHEET C.301.</p> <p>7 CONSTRUCT 62' ROW ROADWAY IMPROVEMENTS PER SANTAQUIN CITY STD. DWG SEE DETAIL ST1 SHEET C.302.</p> <p>8 INSTALL STOP SIGN PER SANTAQUIN CITY STD. DWG SEE DETAIL ST7 SHEET C.301.</p> | <p>9 CONSTRUCT CURB RAMP PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG2A SHEET C.301.</p> <p>10 INSTALL 8" SEWER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.</p> <p>11 INSTALL 6" IRRIGATION LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.</p> <p>12 INSTALL 1" SDR 9 CTS, 200 PSI PE SERVICE PIPE CONTINUOUS, PURPLE IN COLOR SECONDARY WATER PER SANTAQUIN CITY STD. DWG PI2.</p> |
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- 9) CONSTRUCT CURB RAMP PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG2A SHEET C.301.
- 10) INSTALL 8" SEWER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.
- 11) INSTALL 6" IRRIGATION LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.
- 12) INSTALL 1" SDR 9 CTS, 200 PSI PE SERVICE PIPE CONTINUOUS, PURPLE IN COLOR SECONDARY WATER PER SANTAQUIN CITY STD. DWG PI2.

	EXISTING STORM DRAIN
	EXISTING SECONDARY WATER
	EXISTING WATER
	EXISTING SANITARY SEWER
	NEW WATER MAIN
	NEW SECONDARY WATER MAIN
	NEW SEWER MAIN
	EXISTING STORM MANHOLE
	EXISTING SEWER MANHOLE
	STORM DRAIN INLET
	SEWER MANHOLE

THE DEVELOPER AND THE CONTRACTOR UNDERSTAND THAT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SATABUEN CITY CODES, ORDINANCES AND STANDARDS.

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.



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