

SITE DEVELOPMENT CONSTRUCTION PLANS

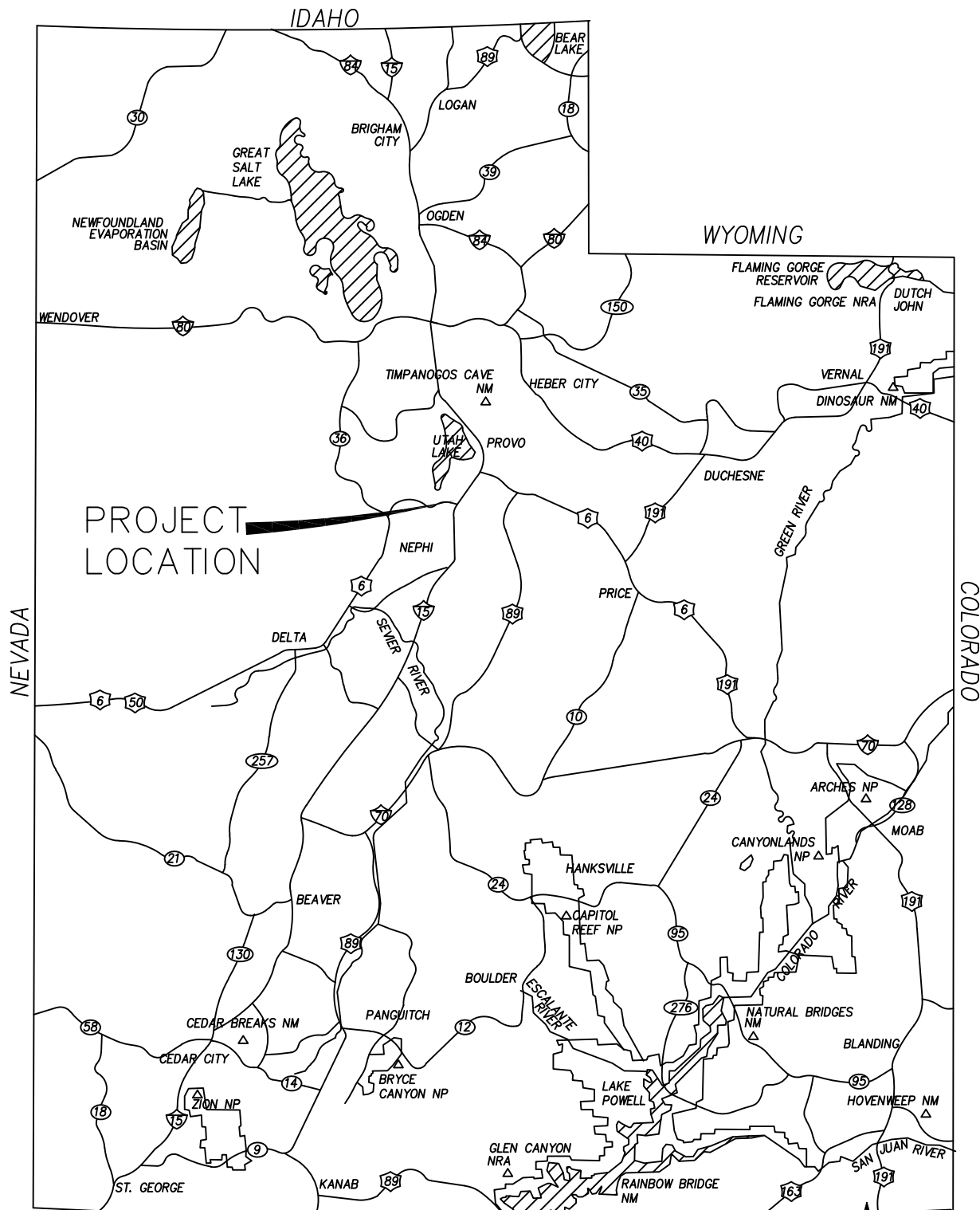
STRATTON ACRES

SUBDIVISION PHASE 2

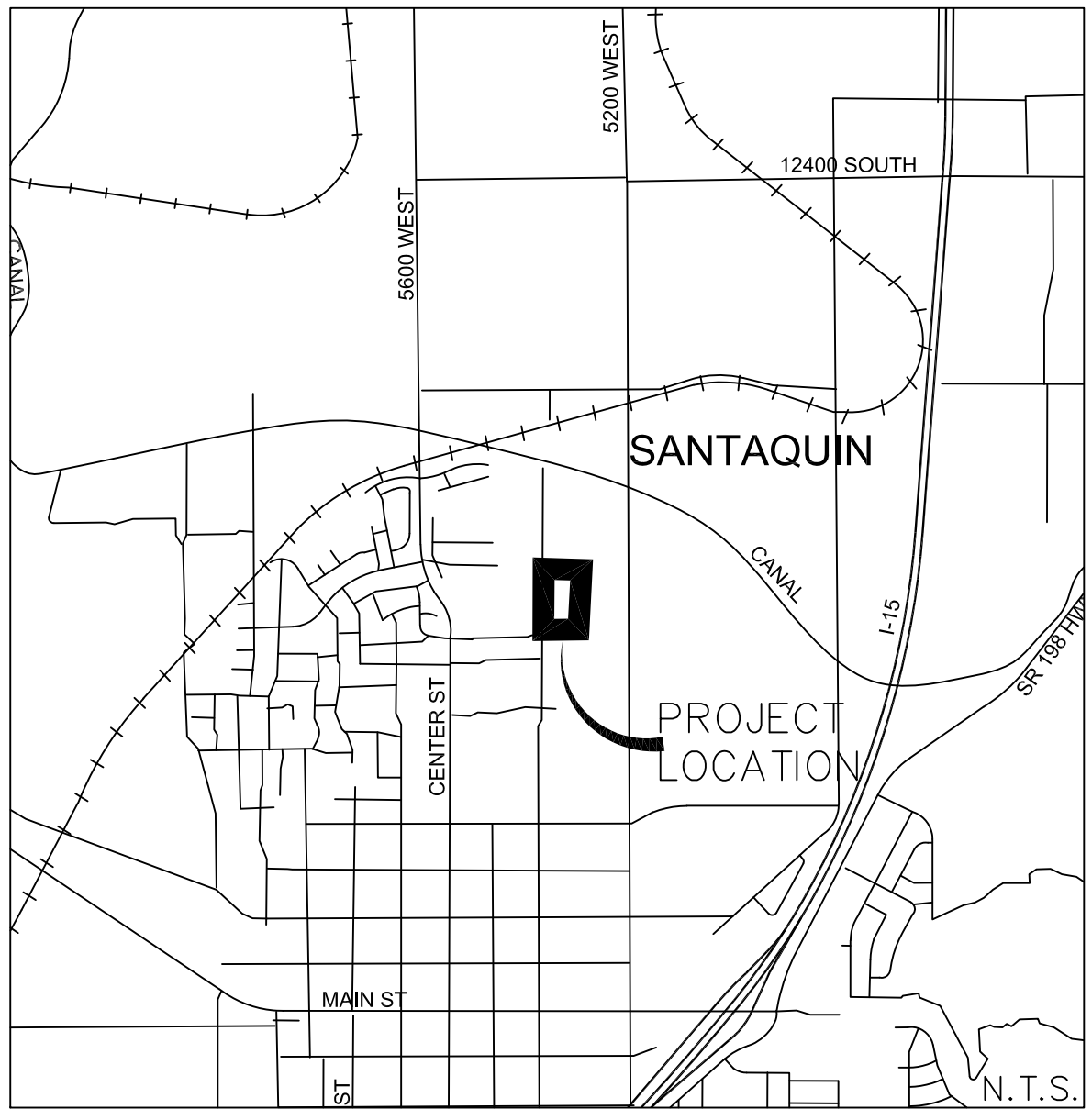
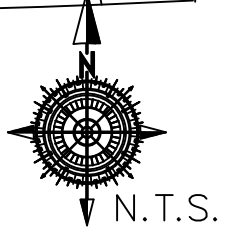
LOCATION

SOUTH HALF OF THE NORTHWEST QUARTER OF
SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SANTAQUIN, UTAH COUNTY, UTAH

PRELIMINARY
October 13, 2022

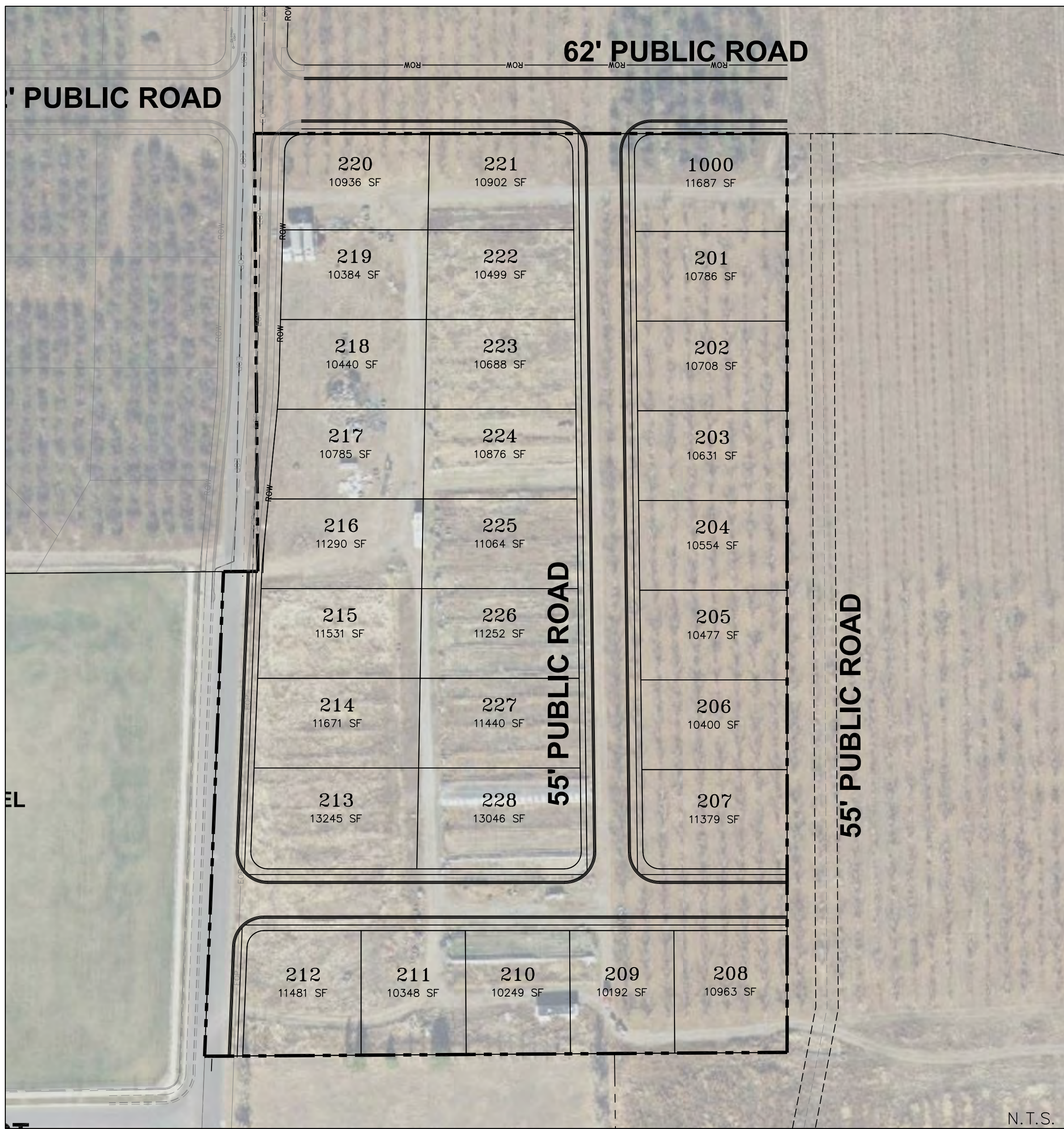


VICINITY MAP

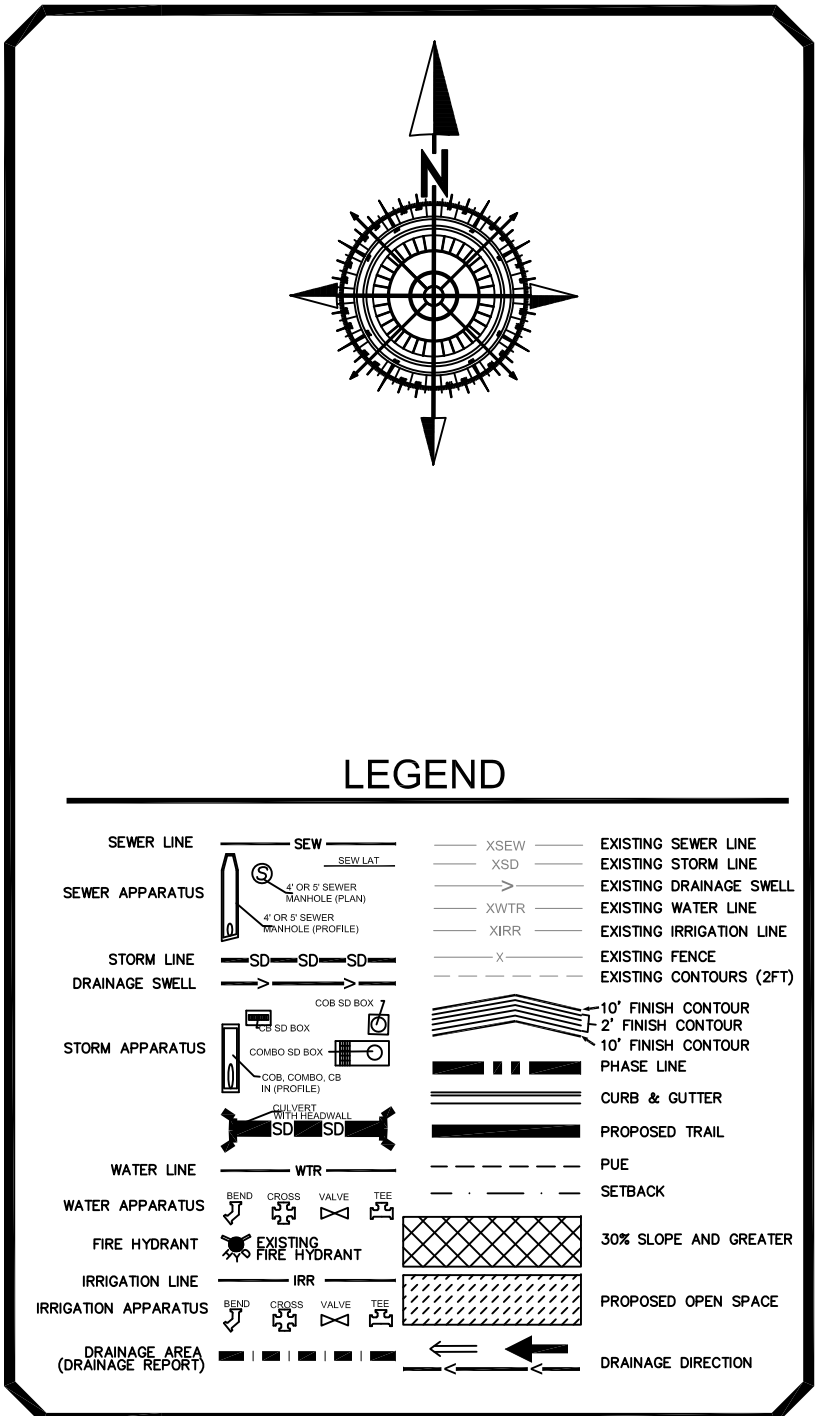


PROPERTY OWNER:
STRATTON ACRES LLC
KAMERON SPENCER
847 E DRAPER MEADOW LANE
DRAPER, UTAH 84020
801-330-0546

ENGINEER:
GATEWAY CONSULTING INC.
PAUL WATSON
PO BOX 951005
RIVERTON, UTAH 84095
801-694-5848



NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.



REVISIONS

#	DESCRIPTION	DATE	SHEETS AFFECTED

INDEX OF SHEETS

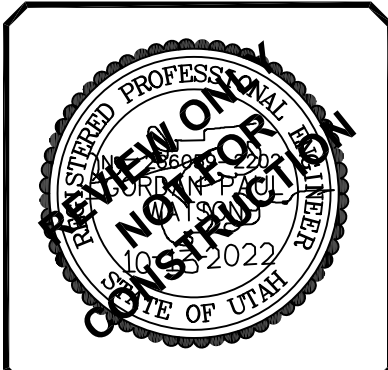
1	TITLE SHEET
1A	PROJECT NOTES
	BOUNDARY SURVEY
	PLAT
2	EXISTING CONDITIONS/DEMOLITION PLAN
3	OVERALL SITE PLAN
G1-G2	GRADING SHEETS (1"=30')
U1	CULINARY WATER UTILITY PLAN
U2	SANITARY SEWER UTILITY PLAN
U3	STORM WATER UTILITY PLAN
U4	IRRIGATION UTILITY PLAN
DRAIN	SITE DRAINAGE PLAN
SS1	LIGHTING / SIGNAGE /STRIPING PLAN
PP1	ROYAL LAND DRIVE
PP2	200 EAST
PP3	EAST ROAD
PP4	SOUTH ROAD
SWPPP	STORM WATER POLLUTION PREVENTION PLAN
ER1-ER2	EROSION CONTROL NOTES AND DETAILS
D1	STREET DETAILS
D2	SANITARY SEWER DETAILS
D3	CULINARY WATER DETAILS
D4	STORM WATER DETAILS
D5	PRESSURIZED IRRIGATION DETAILS
D6	STREET LIGHT AND SIGNAGE DETAILS

ZONE	R-10
LOTS	28
ACREAGE	9.3ac.
ACREAGE LOTS	7.08ac.
ACREAGE ROW	1.96ac.
DENSITY	3 lots to the ac.



GATEWAY CONSULTING, Inc.
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

CIVIL ENGINEERING • CONSULTING • LAND PLANNING
CONSTRUCTION MANAGEMENT



SHEET NO. 1

PARCEL 1:

ALSO that portion of land acquired by Boundary Line Agreement recorded March 19, 2007 as Entry No. 39584:2007.

Beginning at a point located North 89°32'33" East along the quarter section line 1, 136.25 feet from the West quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence North 01°41'33" East 17.18 feet; thence along the arc of a 790.00 foot radius curve (radius bears North 14°48'36" East) 80.27 feet through a central angle of 05°49'18" (Chord: South 78°06'03" East 80.23 feet) to said quarter section line; thence South 89°32'33" West along said quarter section line 79.02 feet to the point of beginning.

PARCEL 2:

PARCEL 3:

LESS AND EXCEPTING the following:

ALSO LESS AND EXCEPTING the following:

CHERRY ORCHARD ESTATES PLAT-G
ENTRY: 16468:2001 MAP #8952

APPLE VALLEY PLAT A
ENTRY: 46147:2018 MAP #16048

LOCATED IN PORTIONS OF THE NORTHWEST
AND SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 9 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN.

PARCELS LIE WITHIN FLOOD ZONE X,
AREA OF MINIMAL FLOOD HAZARD
COMMUNITY-PANEL NUMBER 49049C0975F,
EFFECTIVE DATE: JUNE 19, 2020

1.-15. {Not a survey matter}

NOTE: The legal description therein appears to contain an error.

18.-22. {Not a survey matter}

This Survey does not guarantee title to line, nor is it proof of ownership, nor is it a legal instrument of conveyance. Furthermore, any survey markers set in conjunction with this survey are not intended to represent evidence of ownership of the subject property or its ad joiners. The general intent of this survey is to portray where possible the record title lines of the subject property and to show their relationship to any evidence of use and/or possession.

Basis of Bearing is North 89°32'33" East between the East Quarter corner and the West Quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian as shown hereon.

beginning at the southeast corner of Lot 209 of The Orchards Plat G-1, Entry Number 102759/2019, Map Number 166746; said point being North 89°32'33" East, along the section line, 1146.15 feet and North, 317.94 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; said West Quarter Corner of Section 36 being South 89°32'33" East, along the section line, 3290.30 feet from the East Quarter Corner of Section 36 and running thence along the eastern boundary line of said The Orchards Plat G-1 the following two (2) calls; 1) North 01°38'35" E, 595.10 feet; 2) North 00°13'13" West, 139.06 feet to a point at the southeast corner of the Apple Hollow at The Orchards Plat A-11, Entry Number 12754/2019, Map Number 166860; thence North 00°13'13" West, along the easterly boundary line of said Apple Hollow at The Orchards Plat A-11, 258.32 feet; thence East, 411.19 feet; thence South 00°27'27" East, 409.77 feet; thence South 89°32'33" West, 16.49 feet; thence South 00°27'27" East, 506.49 feet; thence East, 475.18 feet; thence South 00°00'03" East, 819.47 feet; thence South 89°37'56" West, 519.60 feet; thence North 02°13'39" East, 432.44 feet to a point at the quarter section corner of Section 32'33" East, along the section line 120.88 feet and North, 100.00 feet to a point 100.00 feet radius curve to the right; thence 47.47 feet along said curve through a central angle of 05°45'50" (chord bears N78°07'37" West, 79.44 feet) to a point on the easterly boundary line of The Orchards Plat G-4, Entry Number 1311982/2021, Map Number 17824; thence North 01°38'35" East, along said easterly boundary line, 301.17 feet to the point of beginning.

Contains: 21.69 Acres

To: Stratton Acres, LLC, a Utah limited liability company, Old Republic National Title Insurance Company, and Cottonwood Title Insurance Agency

Robert Law
PLS# 9679988

Date: 10-11-2022

[illegible]

ORIG. DATE:	09/2022
SURVEY BY:	PEPG CREW
DRAWN BY:	BCB
DESIGNED BY:	N/A
CHECKED BY:	RSL
SCALE:	1"=60'

CMT TECHNICAL SERVICES

9270 SOUTH 300 WEST • SANDY, UT 84070
PHONE: (801) 562-2521 • FAX: (801) 562-2551

MATERIALS TESTING • INSPECTION SERVICES • LAB TESTING • GEOTECHNICAL
ENVIRONMENTAL • CIVIL ENGINEERING • TRANSPORTATION ENGINEERING

STRATTON ACRES, LLC
ALTA/NSPS SURVEY

PARCELS: 29:042:0049,

29:042:0046, & 29:041:0176	1555 2210	QWG\ALTA-PH2
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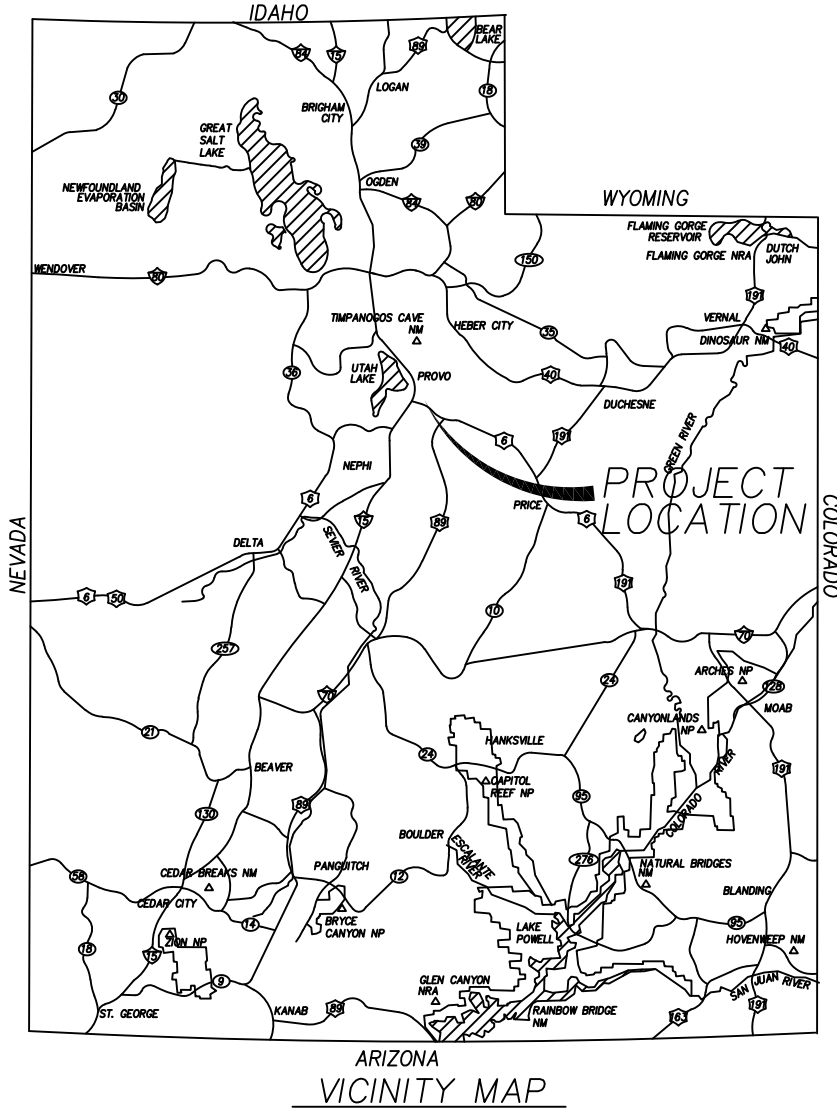
SANTAQUIN
CITY

SHEET NO. 172

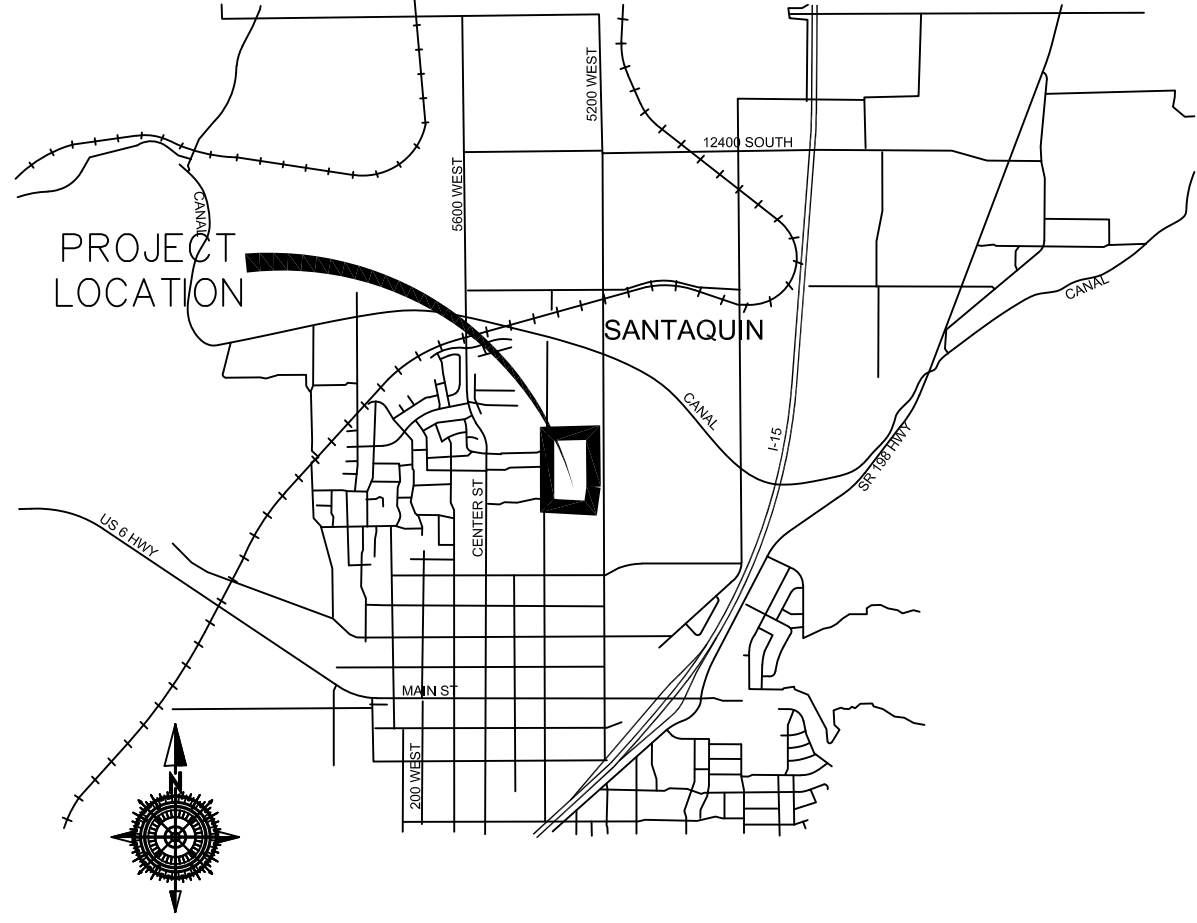
STRATTON ACRES SUBDIVISION PHASE 2

PROJECT LOCATED IN THE SOUTH HALF OR THE NORTHWEST CORNER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT



VICINITY MAP



VICINITY MAP

NOTES:

1. **TYPE II MONUMENT** (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
2. **NDCBU** - NEIGHBORHOOD DELIVERY BOX UNIT.
3. ALL FRONT AND SIDE YARD LANDSCAPING MUST BE BONDED OR INSTALLED PRIOR TO RECEIVING CERTIFICATE OF OCCUPANCY.
4. ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
5. THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
a. A RECORDED EASEMENT OR RIGHT-OF-WAY
b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
d. ANY OTHER PROVISION OF LAW

Approved this _____ day of _____, 20____

ROCKY MOUNTAIN POWER

DOMINION ENERGY QUESTAR CORPORATION

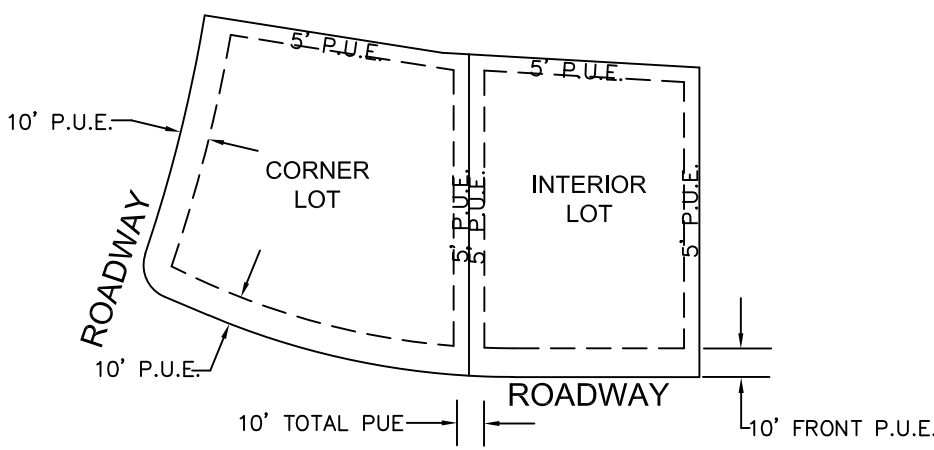
DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

Approved this _____ day of _____, 20____

By _____

Title _____

TYPICAL LOT P.U.E. DETAILS



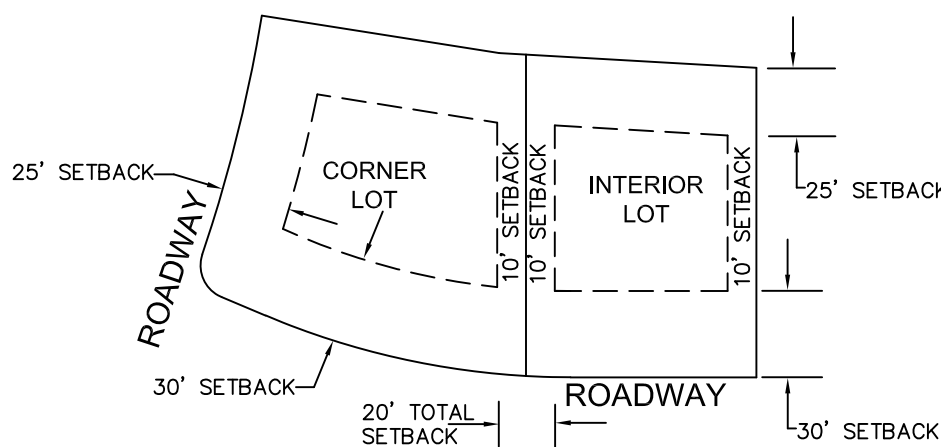
INTERIOR AND CORNER LOTS

UNLESS OTHERWISE NOTED ON PLAT

- NOTES:
1) 10 FEET PUE FRONT AND STREET SIDES.
2) 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES.

NOT TO SCALE

TYPICAL LOT SETBACK DETAILS



INTERIOR AND CORNER LOTS

UNLESS OTHERWISE NOTED ON PLAT

- NOTES:
1) 30FT FRONT SETBACK
2) 25FT REAR SETBACK
3) 10FT SIDE LOT SETBACK

NOT TO SCALE

SCHOOL BOARD ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.
ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____
FOR AND IN BEHALF OF _____
WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.
MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.
On the _____ day of _____ A.D., 20____, personally appeared before me, the undersigned Notary Public, in and for said County of _____, who after being in said State of Utah, _____ who after being duly sworn acknowledged to me that _____ a Limited Liability Company (), that He signed the owners dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein
MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

UTAH COUNTY RECORDER

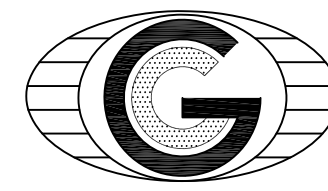
NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER

SURVEYOR OF RECORD:

SURVEYOR LOGO HERE

PROJECT ENGINEER:



GATEWAY CONSULTING, inc

P.O. BOX 951005 SOUTH JORDAN, UT 84095

PH: (801) 694-5848

paul@gatewayconsultingllc.com

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.
On the _____ day of _____ A.D., 20____, personally appeared before me, the undersigned Notary Public, in and for said County of _____, who after being in said State of Utah, _____ who after being duly sworn acknowledged to me that _____ a Limited Liability Company (), that He signed the owners dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein
MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

SURVEYOR'S CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH PEFG CONSULTING, LLC AND THAT I HOLD LICENSE NO. 9679988 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT. AND THE PLAT IS STRATTON ACRES SUBDIVISION PHASE 2. SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

BOUNDARY DESCRIPTION

BEGINNING AT A POINT THAT IS S 89°23'33" W 1,536.13 FEET ALONG THE ¼ SECTION LINE FROM THE WEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SAID POINT BEING THE SOUTHEAST CORNER OF SANTAQUIN ACRES PHASE 1, AND RUNNING THENCE ALONG SAID BOUNDARY THE FOLLOWING 2 CALLS: 1) THENCE N 89°32'33" E 30.71 FEET, 2) THENCE N 00°27'27" W 390.47 FEET, THENCE EAST 475.18 FEET, THENCE S 00°00'03" E 819.47 FEET, THENCE S 89°37'06" W 519.60 FEET, THENCE N 02°13'39" E 432.56 FEET TO THE POINT OF BEGINNING. PARCEL CONTAINS 28 LOTS AND 9.30 ACRES.

DATE:

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____

BOARD OF EDUCATION NEBO SCHOOL DISTRICT
_____ (MANAGER)

STRATTON ACRES LLC
XXXXXXX (MANAGER)

STRATTON ACRES LLC
KAMERON SPENCER (MANAGER)

STRATTON ACRES SUBDIVISION PHASE 2

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTH HALF OF
SOUTHWEST QUARTER OF SECTION 31,
TOWNSHIP 1 SOUTH, RANGE 5 EAST
SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY ADMINISTRATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC.
THIS _____ DAY OF _____, A.D. 20____

APPROVED BY MAYOR _____

APPROVED _____ ATTEST _____
ENGINEER (SEE SEAL BELOW) CLERK-RECORDER (SEE SEAL BELOW)

COUNTY RECORDER SEAL

CITY CLERK SEAL

SURVEYORS SEAL

CITY ENGINEER SEAL

SHEET NO

1
2

ADDRESSES	
LOT	ADDRESS
201	XXX NORTH XXX EAST
202	XXX NORTH XXX EAST
203	XXX NORTH XXX EAST
204	XXX NORTH XXX EAST
205	XXX NORTH XXX EAST
206	XXX NORTH XXX EAST
207	XXX NORTH XXX EAST
208	XXX EAST XXX NORTH
209	XXX EAST XXX NORTH
210	XXX EAST XXX NORTH
211	XXX EAST XXX NORTH
212	XXX EAST XXX NORTH
213	XXX NORTH 200 EAST
214	XXX NORTH 200 EAST
215	XXX NORTH 200 EAST
216	XXX NORTH 200 EAST
217	XXX NORTH 200 EAST
218	XXX NORTH 200 EAST
219	XXX NORTH 200 EAST
220	XXX NORTH 200 EAST
221	XXX NORTH XXX EAST
222	XXX NORTH XXX EAST
223	XXX NORTH XXX EAST
224	XXX NORTH XXX EAST
225	XXX NORTH XXX EAST
226	XXX NORTH XXX EAST
227	XXX NORTH XXX EAST
228	XXX NORTH XXX EAST

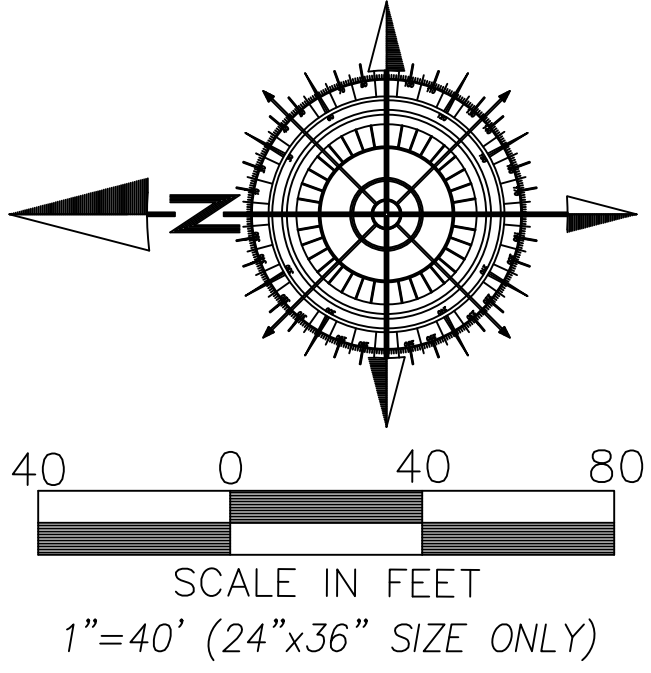
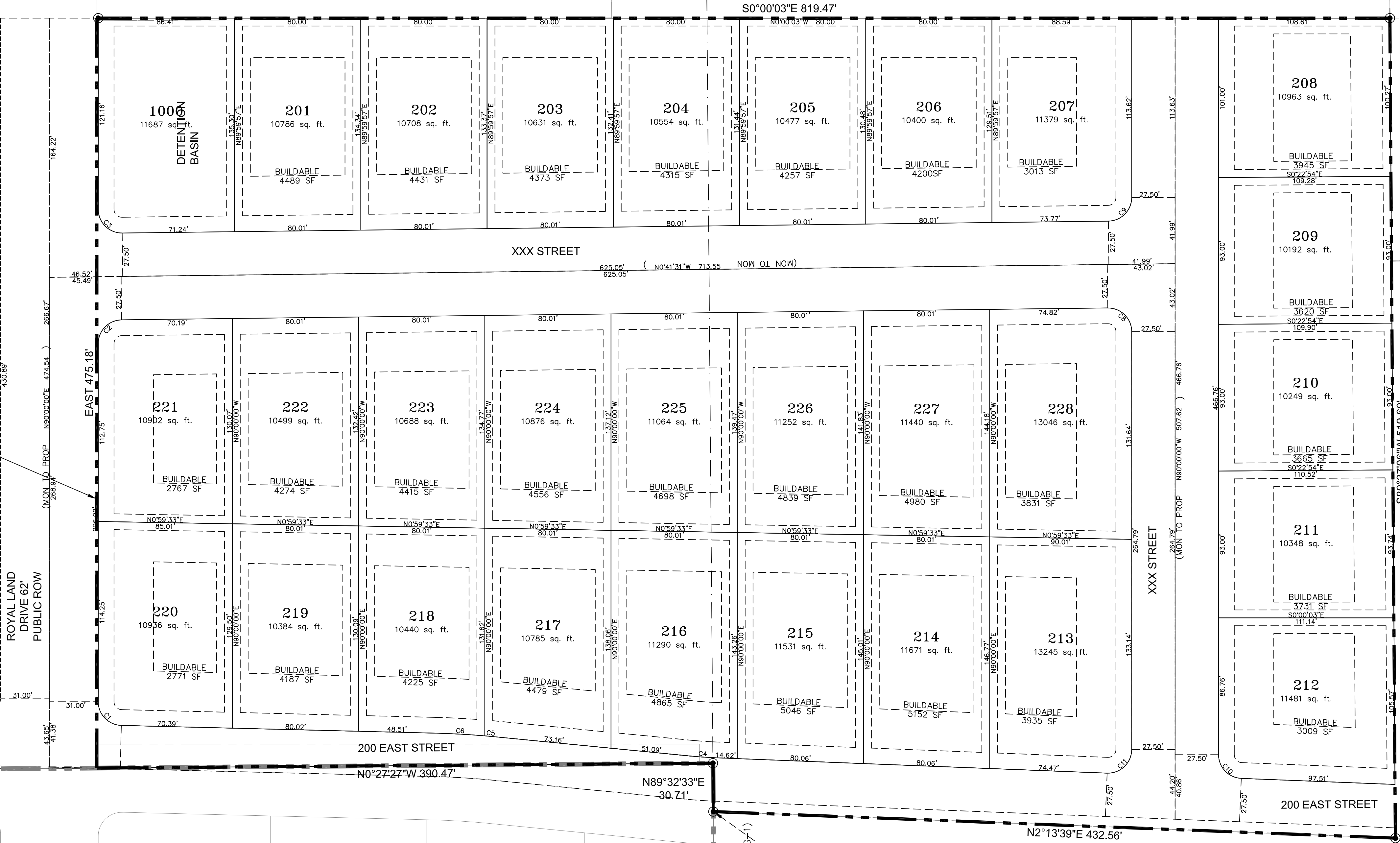
EAST QUARTER CORNER
SECTION 36
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN

STRATTON ACRES
SUBDIVISION PHASE 2
PROJECT LOCATED IN THE SOUTH HALF OR THE NORTHWEST CORNER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

KIMBALL STRATTON

ROADWAY DEDICATION
ENTRY#
BOOK
PAGE

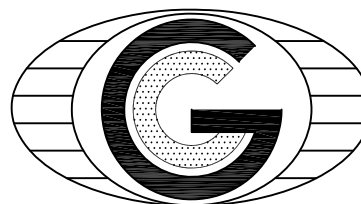
KIMBALL STRATTON



SURVEYOR OF RECORD:

SURVEYOR LOGO HERE

PROJECT ENGINEER:



GATEWAY CONSULTING, inc
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	23.19'	15.00'	20.95'	S45°42'21"W	88°35'18"
C2	23.38'	15.00'	21.08'	N45°20'46"W	89°18'29"
C3	23.74'	15.00'	21.34'	S44°39'14"W	90°41'31"
C4	14.58'	247.50'	14.58'	S3°56'11"W	3°22'30"
C5	7.22'	527.50'	7.22'	S5°13'55"W	0°47'04"
C6	31.56'	527.50'	31.55'	S3°07'32"W	3°25'40"
C8	23.74'	15.00'	21.34'	N44°39'14"E	90°41'31"
C9	23.38'	15.00'	21.08'	S45°20'46"E	89°18'29"
C10	22.97'	15.00'	20.79'	S46°07'28"W	87°45'04"
C11	24.15'	15.00'	21.63'	S43°52'32"E	92°14'56"

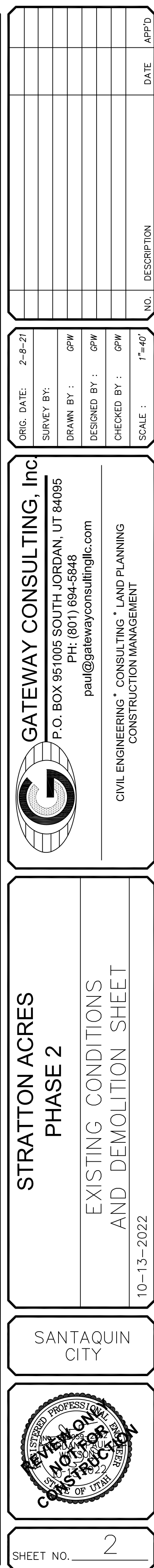
POINT OF BEGINNING:
S 89°32'33" W 1,536.13'
S 89°32'33" W 5292.30' (CALC)
S 89°32'33" W 5292.35' (PER THE ORCHARDS PLAT G-1)
BASIS OF BEARING

WEST QUARTER CORNER
SECTION 36
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN

- LEGEND
- PHASE BOUNDARY LINE
 - SECTION LINE
 - CENTER LINE
 - P.U.E. LINE
 - SETBACKS
 - EXISTING UDOT MONUMENT
 - SECTION CORNER
 - NEW ROAD MONUMENT
 - EXISTING REBAR AND CAP

SHEET NO
2
2

SANTAQUIN CITY RECORDER
NO. BOOK PAGE DATE
STATE OF UTAH, COUNTY OF WASATCH, TIME, FEE
RECORDED AND FILED AT THE REQUEST OF
COUNTY RECORDER



NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and SANTAQUIN City Codes, Ordinances and Standards'.

ROYAL LAND DR

ROYAL LAND DRIVE

200 EAST

1000
11687 SF
RETENTION POND

SEE PAGE G2

GATEWAY CONSULTING, Inc

P.O. BOX 951005 SOUTH JORDAN, UT 84095

PH: (801) 694-5848

paul@gatewayconsultingllc.com

CIVIL ENGINEERING * CONSULTING * LAND PLANNING
CONSTRUCTION MANAGEMENT

STRATTON ACRES
PHASE 2

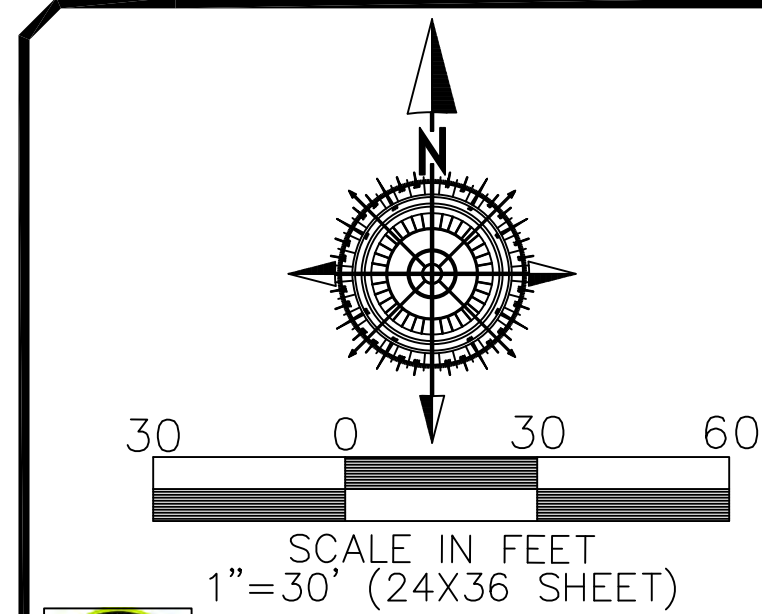
GRADING

10-13-2022

SANTAQUIN
CITY

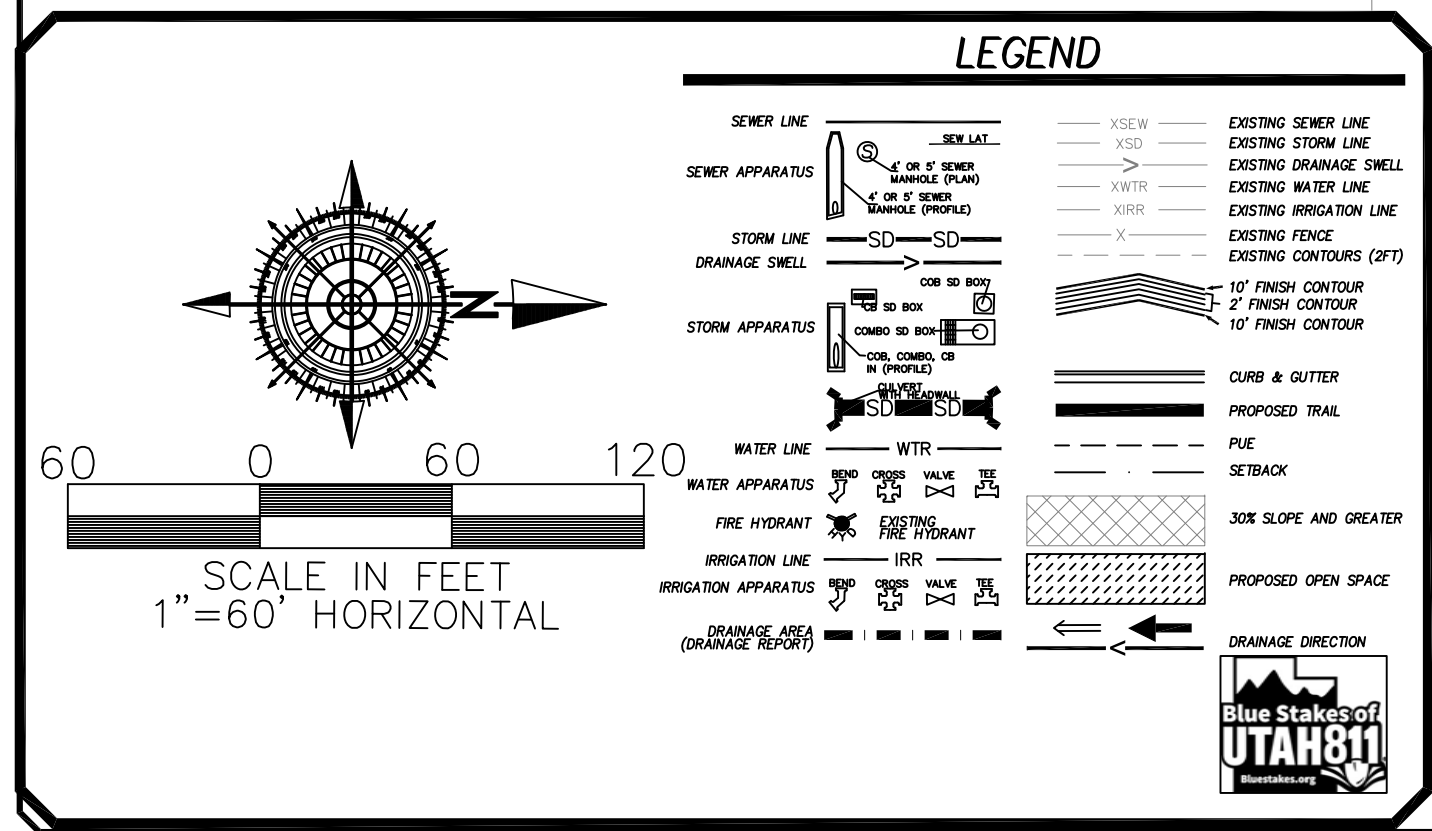


SHEET NO. G1



LEGEND


SEWER LINE	SEW	EXISTING SEWER LINE	SEW
SEWER APPARATUS	SEW	EXISTING STORM LINE	STW
STORM LINE	STW	EXISTING DRAINAGE SHELL	DS
DRAINAGE SHELL	DS	EXISTING WATER LINE	WTR
STORM APPARATUS	STW	EXISTING IRRIGATION LINE	IRR
WATER LINE	WTR	EXISTING FENCE	F
WATER APPARATUS	WTR	EXISTING CONTOURS (2 FT)	2'
FIRE HYDRANT	FH	10' FINISH CONTOUR	10'
IRRIGATION APPARATUS	IRR	2' FINISH CONTOUR	2'
IRRIGATION APPARATUS	IRR	10' FINISH CONTOUR	10'
DRAINAGE AREA (DRAINAGE REPORT)	DA	PHASE LINE	PL
		CURB & OUTLET	CO
		PROPOSED TRAIL	PT
		SETBACK	SB
		30% SLOPE AND GREATER	30%
		PROPOSED OPEN SPACE	POS
		PROPOSED DRAINAGE DIRECTION	DD



NOTE: The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and SANTAQUIN City Codes, Ordinances and Standards*.

[illegible]

ORIG. DATE: 2-8-21
SURVEY BY:
DRAWN BY : GPW
DESIGNED BY : GPW
CHECKED BY : GPW
SCALE : 1"=60'



GATEWAY CONSULTING, Inc.

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mail@gatewayconsultingllc.com

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CONSTRUCTION MANAGEMENT**

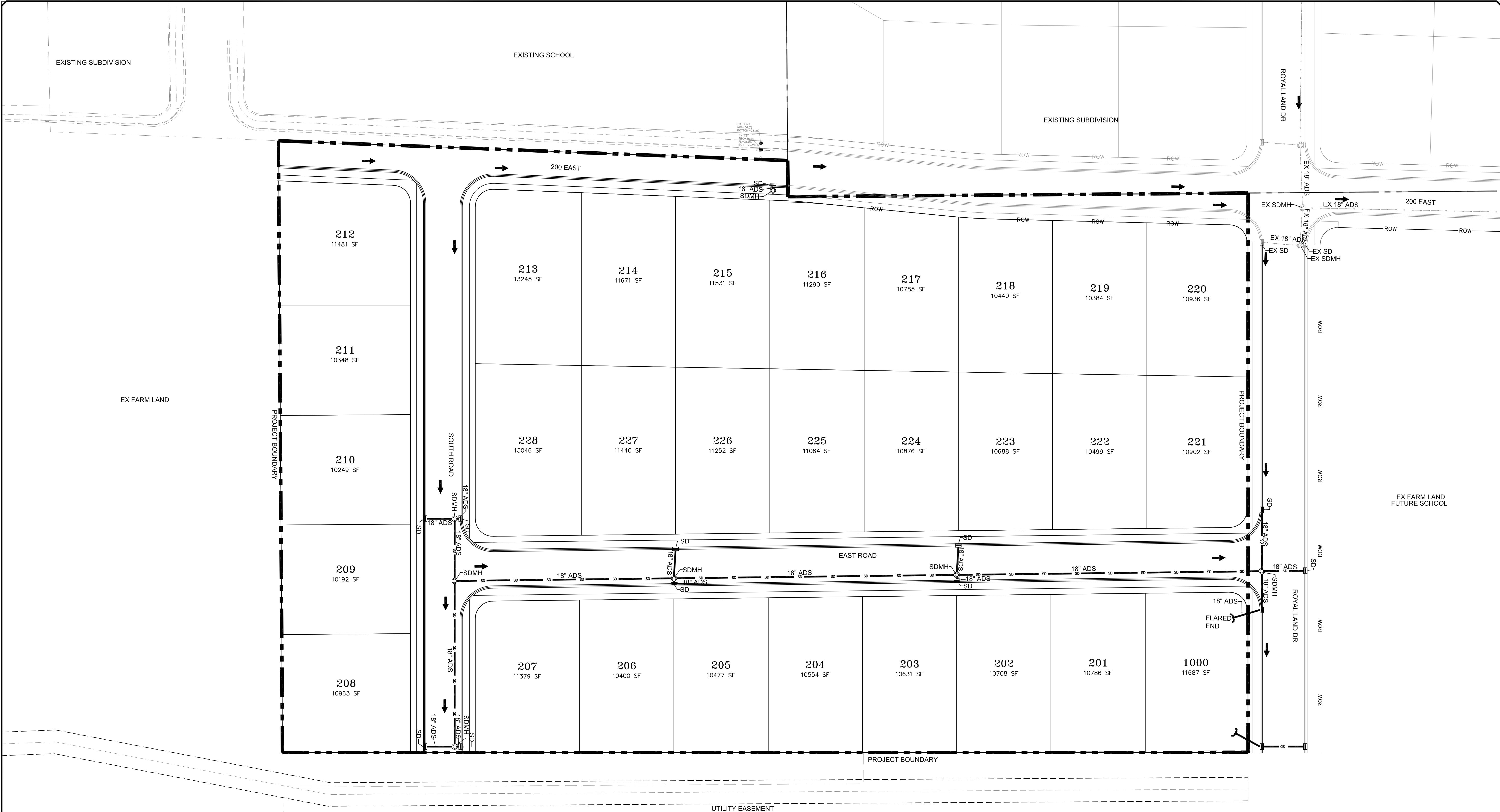
**STRATTON ACRES
PHASE 2**

WATER UTILITY SHEET

PRINT DATE: 10-13-2022

SANTAQUIN
CITY

SHEET NO. U1



SCALE IN FEET
1"=60' HORIZONTAL

LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SHELL
DRAINAGE SHELL	EXISTING WATER LINE
WATER LINE	EXISTING IRRIGATION LINE
WATER APPARATUS	EXISTING FENCE
FIRE HYDRANT	EXISTING CONTOURS (FT)
IRRIGATION APPARATUS	15' FINISH CONTOUR
DRAINAGE AREA	2' FINISH CONTOUR
	10' FINISH CONTOUR
	CURB & GUTTER
	PROPOSED TRAIL
	FLARE
	SETBACK
	SOIL SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and SANTAQUIN City Codes, Ordinances and Standards.

NO.	DESCRIPTION	DATE	APP'D

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DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=60'

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PH: (801) 694-5848
paul@gatewayconsultingllc.com

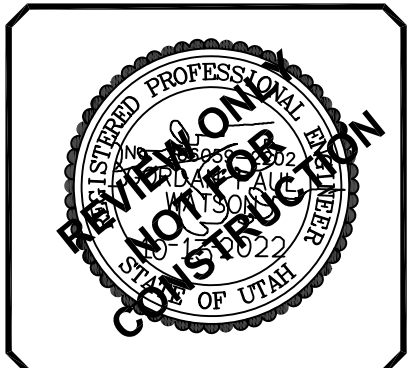
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CONSTRUCTION MANAGEMENT

**STRATTON ACRES
PHASE 2**

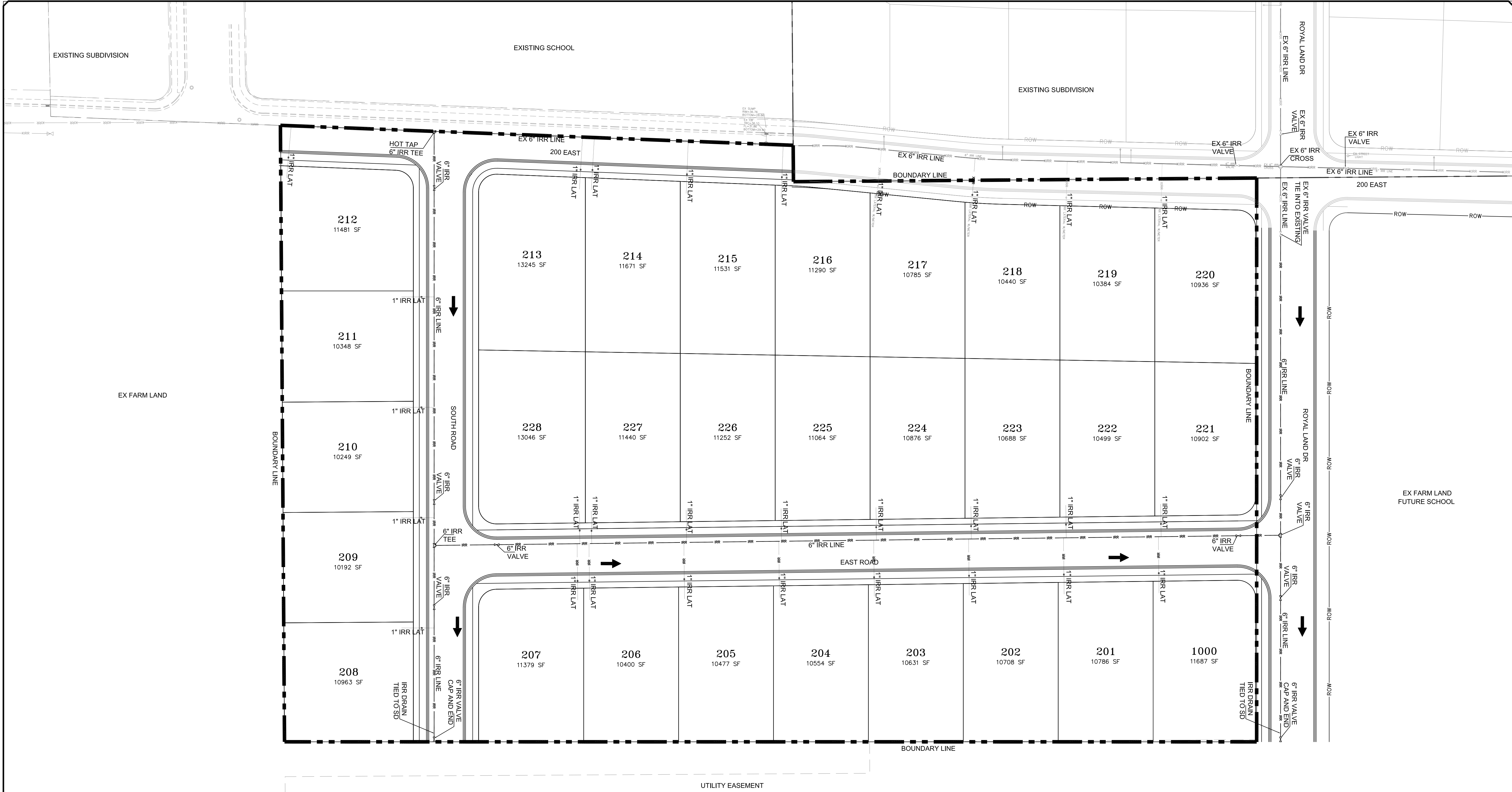
STORM UTILITY SHEET

PRINT DATE: 10-13-2022

SANTAQUIN
CITY



SHEET NO. U3



LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SHELL
DRAINAGE SHELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
FIRE HYDRANT	EXISTING CONTOURS (FT)
IRRIGATION APPARATUS	10' FINISH CONTOUR
DRAINAGE AREA	2' FINISH CONTOUR
	10' FINISH CONTOUR
	CURB & GUTTER
	PROPOSED TRAIL
	PAVE
	SETBACK
	30% SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

Blue Stakes of UTAH 811

NOTE:
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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=60'

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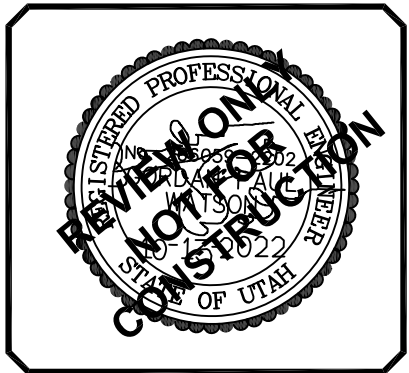
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**STRATTON ACRES
PHASE 2**

IRRIGATION UTILITY SHEET

PRINT DATE: 10-13-2022

SANTAQUIN CITY



SHEET NO. **U4**




ORIG. DATE: 2-8-21
SURVEY BY:
DRAWN BY : GPW
DESIGNED BY : GPW
CHECKED BY : GPW
SCALE : 1"=60'

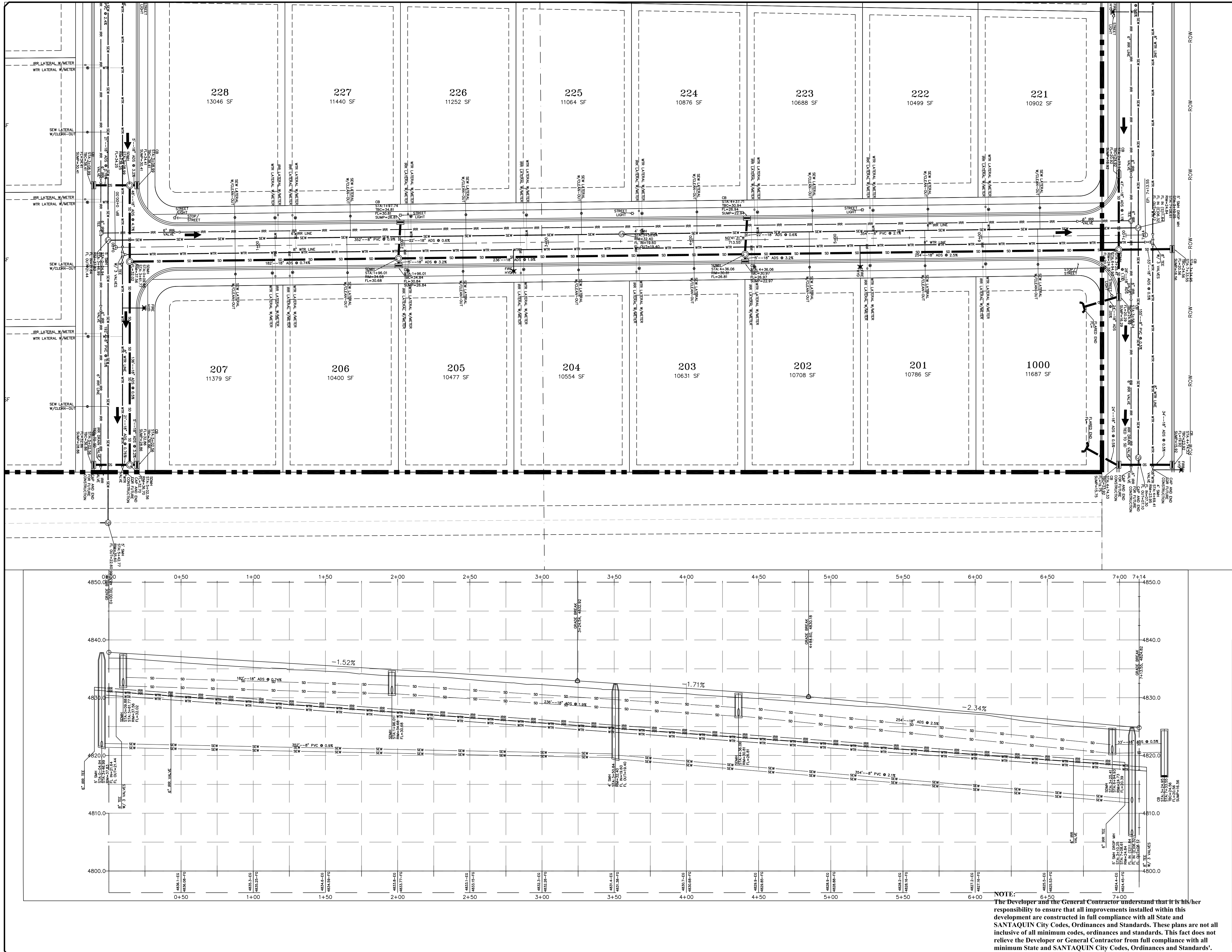
STRATTON ACRES PHASE 2

LIGHT AND SIGN PLAN

PRINT DATE: 10-13-2022



SHEET NO. SS1



VICINITY MAP
NOT TO SCALE

801
SANTAQUIN CITY

SEWER LINE
EXISTING SEWER LINE
NEW SEWER LINE
SEWER APPARATUS
STORM LINE
EXISTING STORM LINE
NEW STORM LINE
STORM APPARATUS
WATER LINE
EXISTING WATER LINE
NEW WATER LINE
WATER APPARATUS
FIRE HYDRANT
REGULATED APPARATUS
PROPOSED OPEN SPACE
DRAINAGE DIRECTION

SCALE IN FEET
1"=30' HORIZONTAL
1"=7.5' VERTICAL

NOTE:
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STRATTON ACRES
PHASE 2
PLAN AND PROFILE
EAST ROAD

10-13-2022

SANTAQUIN CITY

SHEET NO. PP3

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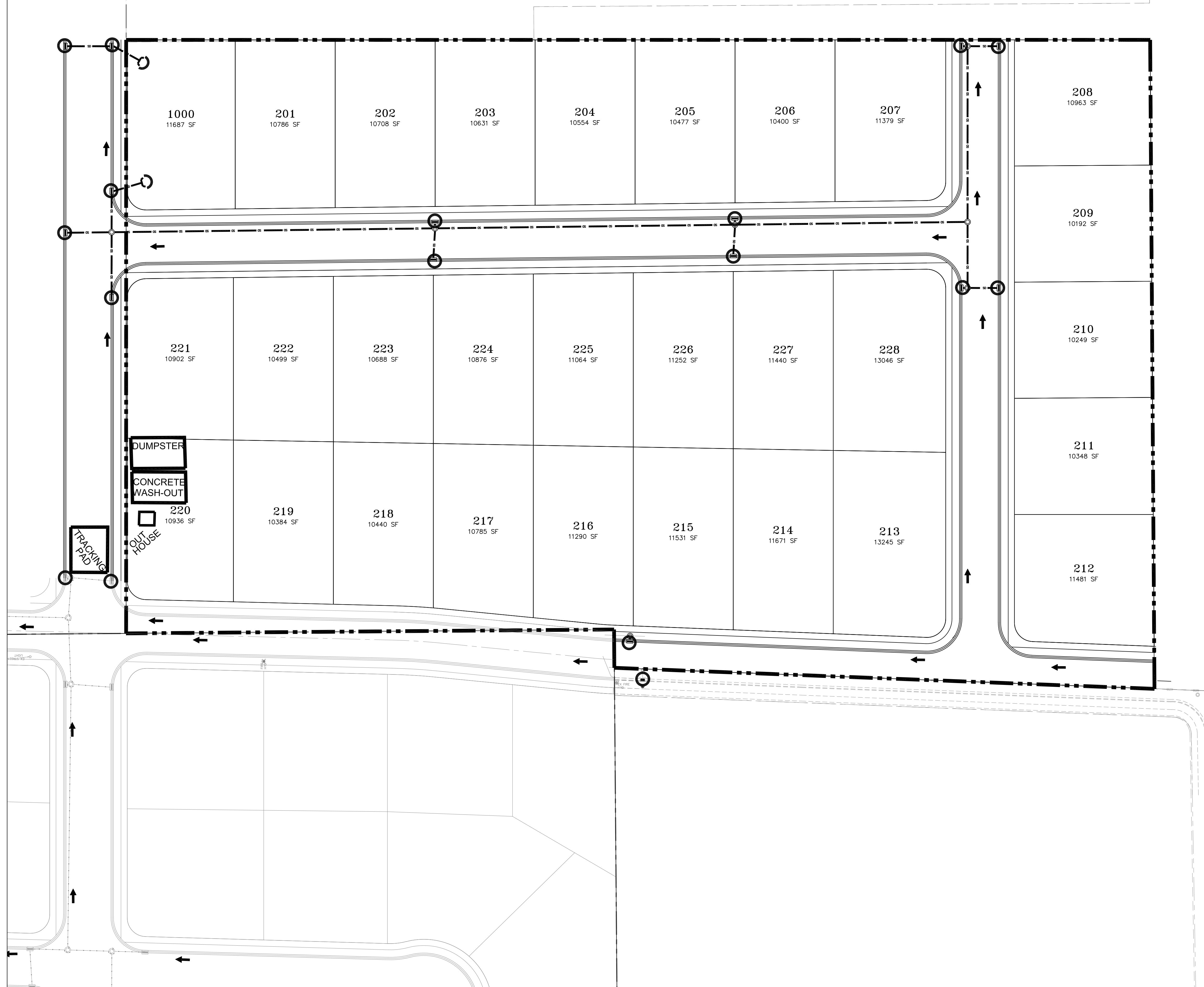
CIVIL ENGINEERING * CONSULTING * LAND PLANNING
CONSTRUCTION MANAGEMENT

NO.	DESCRIPTION	DATE
1	2-6-21	
2		
3		
4		
5		
6		
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8		
9		
10		

ORIG. DATE: 2-6-21
SURVEY BY: GPM
DRAWN BY: GPM
DESIGNED BY: GPM
CHECKED BY: GPM
SCALE: 1"=30'



NOTE: The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Sanquinn City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Sanquinn City Codes, Ordinances and Standards'.

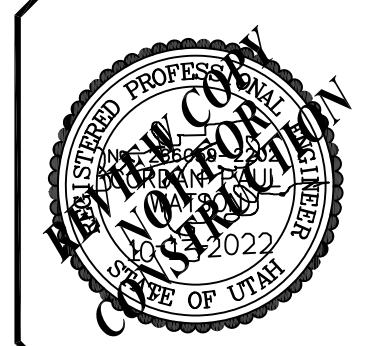


STRATTON ACRES PHASE 2

STORM WATER POLLUTION PREVENTION PLAN

PRINT DATE: 10-13-2022

SANTAQUIN
CITY



SHEET NO. SWPPF

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FH: (801) 094-3676

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CONSTRUCTION MANAGEMENT

ORIG. DATE: 2-8-21

SURVEY BY:

DRAWN BY :

DESIGNED BY :

DESIGNED BY : _____

CHECKED BY : _____

SCALE :	1"=100'
---------	---------

DURING CONSTRUCTION

1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF, THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.

3. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREETS CLEAN AND FREE FROM DEBRIS FROM TRAFFIC FROM THE SITE.

5. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED, SEEDED WITH NATIVE VEGETATION, OR LANDSCAPED. REFER TO LANDSCAPE PLANS FOR SEED MIX. AND PLANTING SPECIFICATIONS.

7. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY AND REMOVED WHEN THE SITE IS PAVED.

9. BLOWING DUST MUST BE CONTROLLED AT ALL TIMES. INSTALLATION OF A SILT SCREEN AND SITE WATERING SHALL BE USED TO CONTROL DUST, THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.

12. ALL MEASURES CONTAINED IN THIS PLAN MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT. ANY NEEDED CLEANING AND REPAIRS NEED TO BE DONE IMMEDIATELY UPON DISCOVERY.

POST CONSTRUCTION

4. CONTRACTOR SHALL ABIDE BY EROSION CONTROL REQUIREMENTS AS SET FORTH HEREIN.

7. NO BRUSH OR TOPSOIL SHALL BE STOCKPILED WITHIN THE ROADWAY RIGHT OF WAYS.

NATIVE GRASSES	
% Pure	Grass Type
20.00	Hard fescue
15.00	Pubescent wheat grass
15.00	Orchard grass (sod forming)
15.00	smooth brom grass
20.00	Stream bank wheat grass (sod forming)
15.00	Western wheat grass

- UNIFORM BUILDING CODE, 1997 EDITION, APPENDIX CHAPTER A33, EXCAVATING AND GRADING
- UNIFORM FIRE CODE



CITY

STRATTON ACRES PHASE 2

EROSION CONTROL DETAILS and NOTES

10-13-2022

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CONSTRUCTION MANAGEMENT**

ORIG. DATE: 2-8-21

SURVEY BY:

DRAWN BY : CPW

DESIGNED BY : GPW

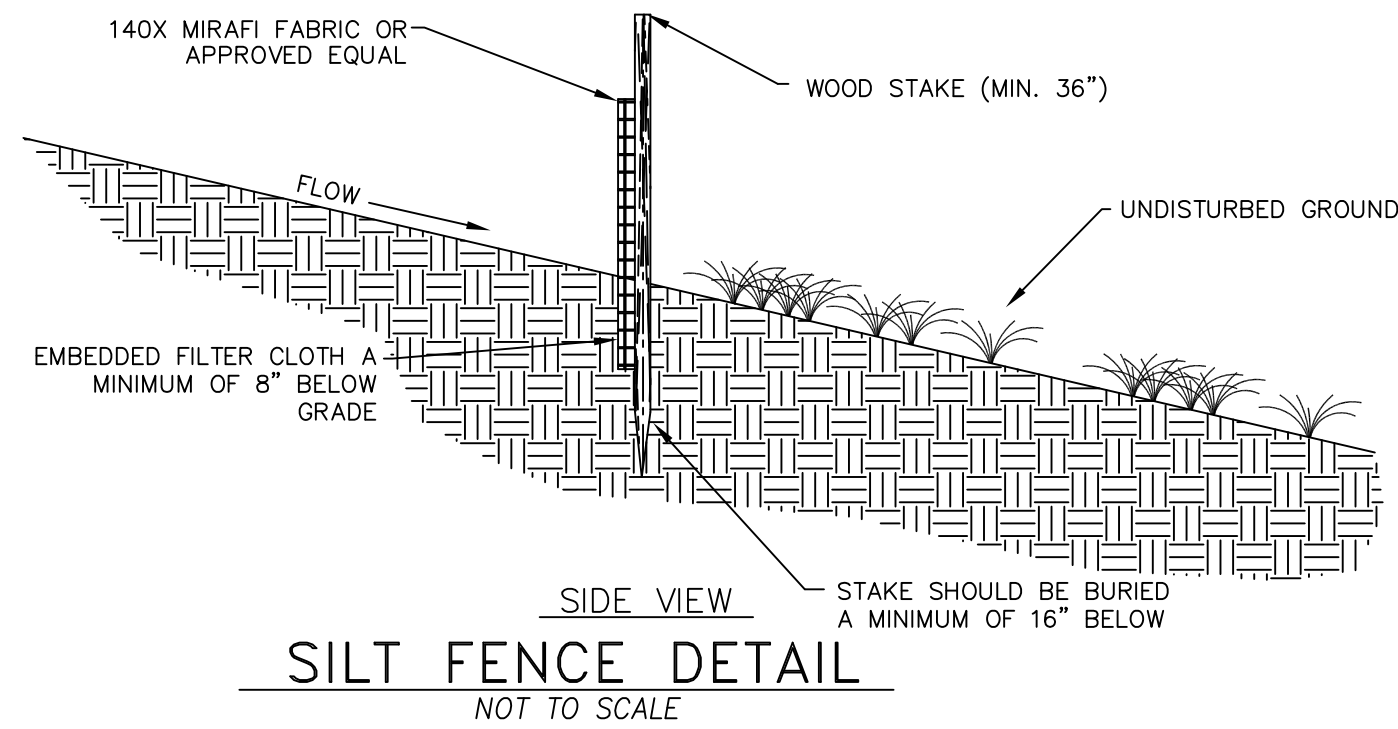
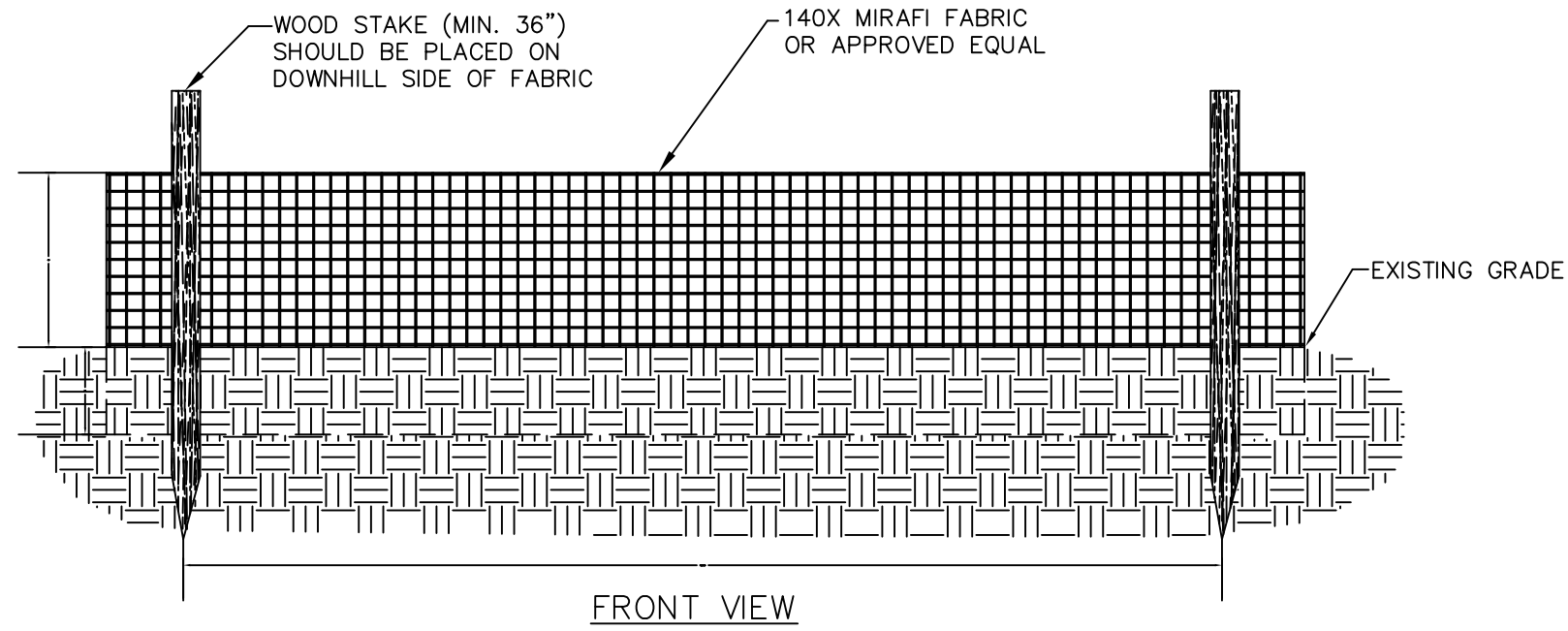
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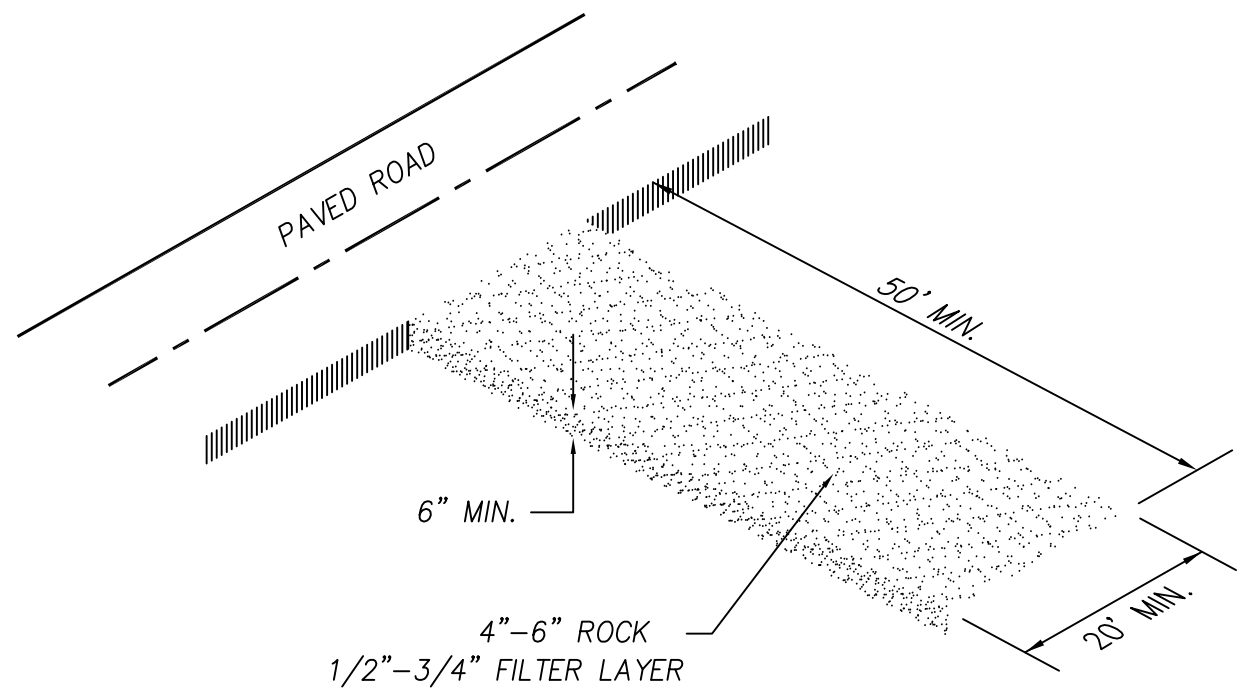
NO.	DESCRIPTION
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DATE _____

SHEET NO. ER-1



SILT FENCE DETAIL
NOT TO SCALE



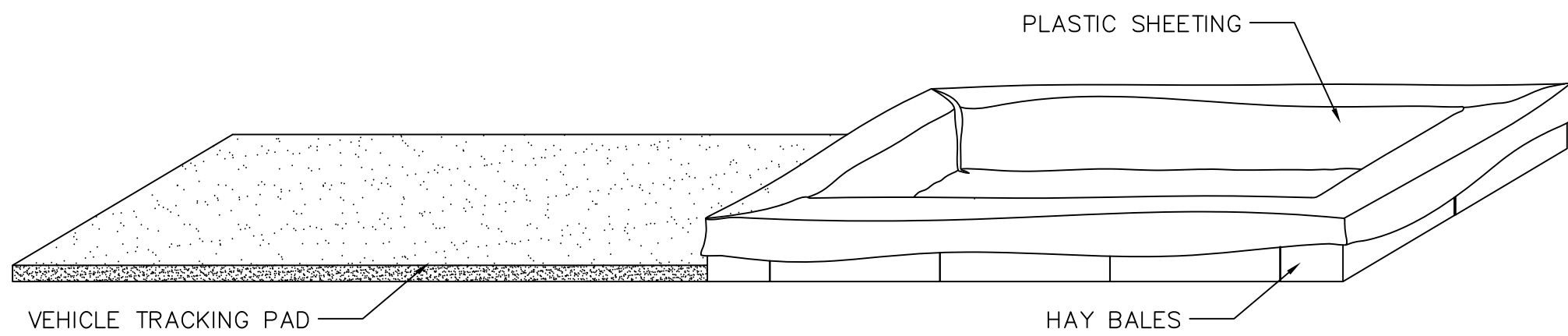
- NOTES:
- 1-CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%
 - 2-PERFORM CONCRETE TRUCK WASHOUT OFF SITE OR IN DESIGNATED AREA
 - 3-DO NOT WASHOUT CONCRETE TRUCKS INTO STORM DRAIN, OPEN DITCHES, STREETS OR STREAMS
 - 4-LOCATE ONSITE WASHOUT AREA MORE THAN 50 FT AWAY FROM NEAREST STORM INLET.
 - 5-WASHOUT CONCRETE WASTE INTO WASHOUT PIT OR COMMERCIAL WASHOUT BIN ONLY.

VEHICLE TRACKING DETAIL
NOT TO SCALE

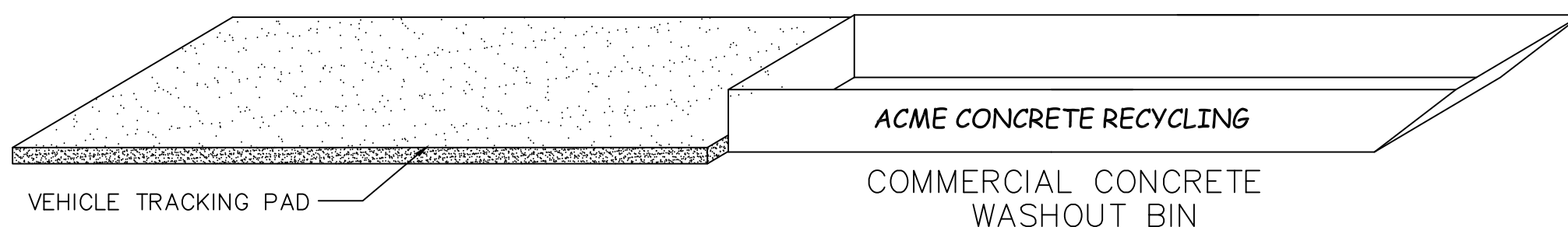
- BMP
- 1-AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON SITE.
 - 2-PERFORM CONCRETE TRUCK WASHOUT OFF SITE OR IN DESIGNATED AREA
 - 3-DO NOT WASHOUT CONCRETE TRUCKS INTO STORM DRAIN, OPEN DITCHES, STREETS OR STREAMS
 - 4-LOCATE ONSITE WASHOUT AREA MORE THAN 50 FT AWAY FROM NEAREST STORM INLET.
 - 5-WASHOUT CONCRETE WASTE INTO WASHOUT PIT OR COMMERCIAL WASHOUT BIN ONLY.

- USE OF CONCRETE WASHOUT
- 1-IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE CONCRETE WASHOUT AREA.
 - 2-WASHOUT CONCRETE WASTE INTO PIT OR CONTAINER WHERE IT CAN SET AND LATER BE BROKEN UP AND DISPOSED OF PROPERLY
 - 3-NO WASTE OR LITTER IS TO BE PERMITTED TO ACCUMULATE IN THE WASHOUT AREA. AREA SHOULD BE CLEAN AT THE END OF EACH WORK DAY.
 - 4-INSTALL PROPER WASTE WATER PROTECTION AT ALL EFFECTED DOWNHILL STORM DRAINS AND INLETS
 - 5-INSTALL A VEHICLE TRACKING PAD TO PROTECT THE STREETS FROM MUD AND OTHER DEBRIS FROM TRUCKS. MAKE SURE ALL TRUCKS ARE CLEAR OF MUD AND ROCK THAT CAN FALL FROM TRUCK WHILE TRAVELING ON STREETS.

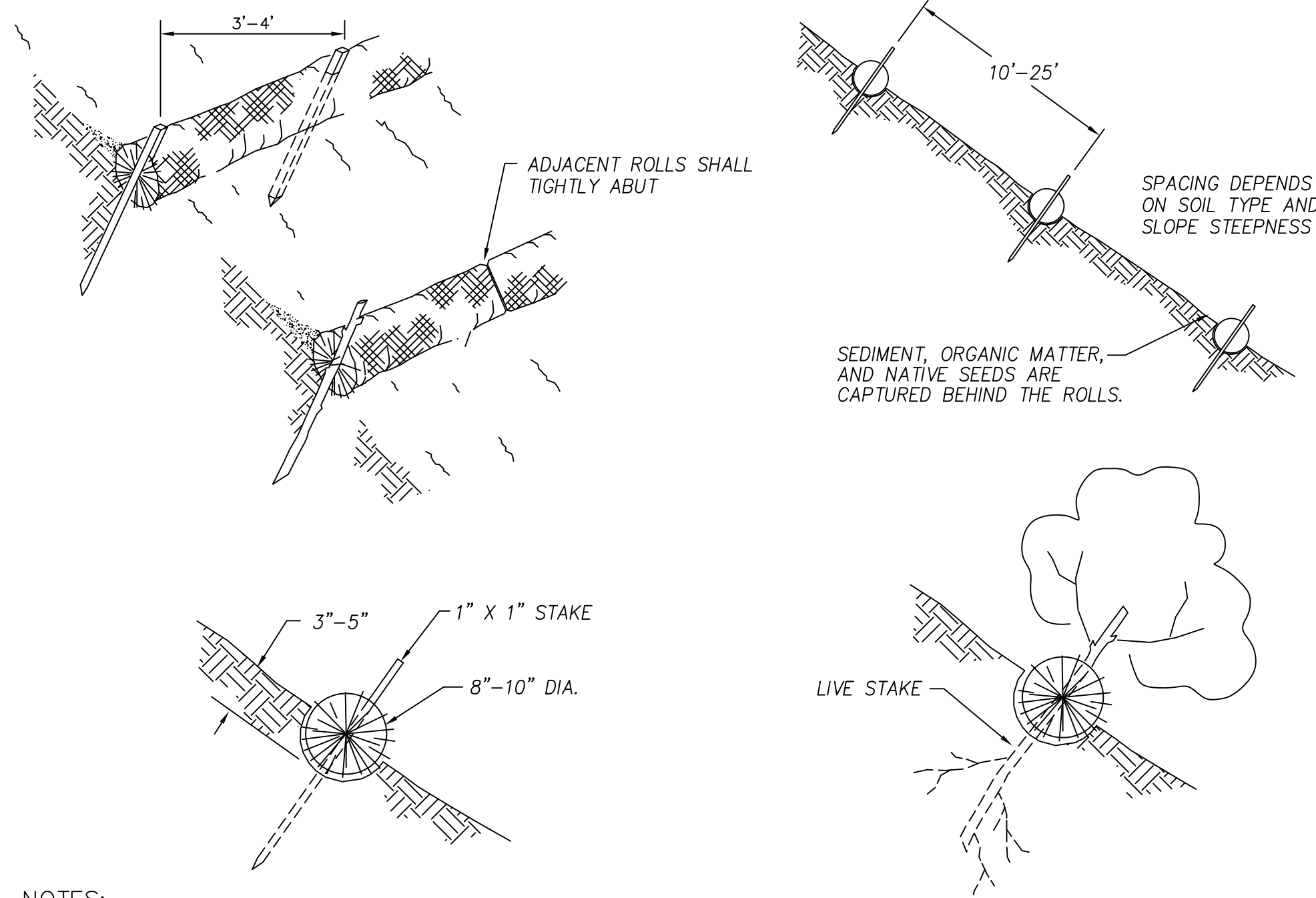
CONCRETE WASHOUT AREA
NOT TO SCALE



CONCRETE WASHOUT PIT
OPTION 1



ACME CONCRETE RECYCLING
COMMERCIAL CONCRETE
WASHOUT BIN
OPTION 2



NOTES:

Straw wattles shall be installed as soon as construction will allow or when designated by the Engineer. Straw wattles shall be placed in shallow trenches and staked along the contour of disturbed or newly constructed slopes, in accordance with the Plans, perpendicular to the flow direction and parallel to the slope contour.

The wattles shall be installed at the intervals designated by the Engineer.

Trench construction and wattle installation shall begin from the base of the slope and work uphill. Excavated material shall be spread evenly along the uphill slope and compacted using hand tamping or other method approved by the Engineer. On gradually sloped or clay-type soils trenches shall be 2 to 3 inches deep. On loose soils, in high rainfall areas, or on steep slopes, trenches shall be 3 to 5 inches deep, or half the thickness of the wattle.

The wattle shall be install snugly into the trench, abutting adjacent wattles tightly, end to end, without overlapping the ends. Wattles shall be staked at each end and at 4 foot centers along their entire length. When trench conditions require, pilot holes for the stakes shall be driven through the wattle and into the soil using a straight bar. Stakes shall be driven through the middle of the wattle, leaving 2 to 3 inches of the stake protruding above the wattle.

Wattles shall be inspected regularly to ensure they remain thoroughly entrenched and in contact with the soil, and immediately after a runoff producing rainfall.

STRAW WATTLE (SILT FENCE ALTERNATIVE)
NOT TO SCALE

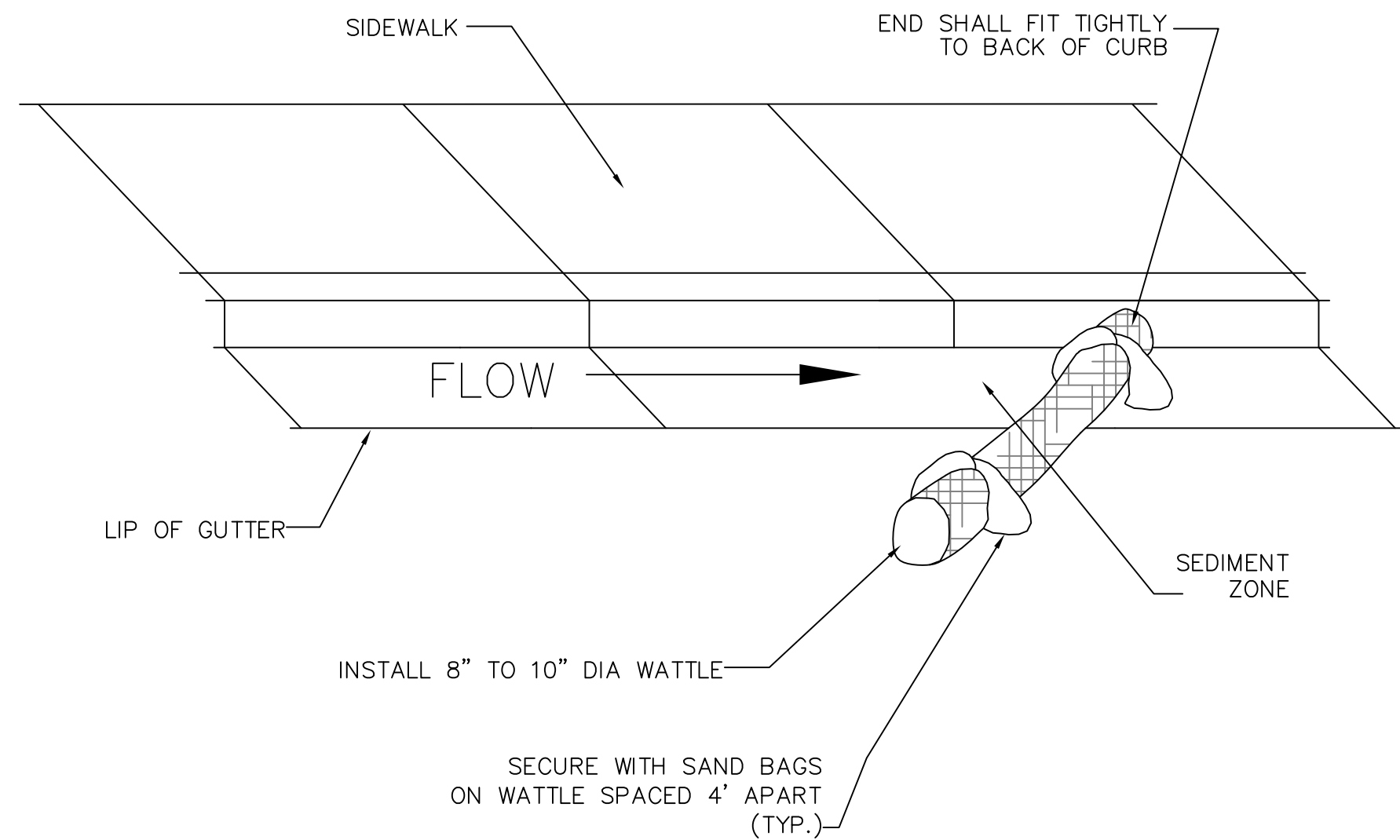
NOTE:

TYPICALLY STRAW BALES ARE NOT RECOMMENDED FOR INLET PROTECTION BARRIERS.

PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.

SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC TO BE USED TO WEIGH DOWN WATTLE IN AREAS WHERE THE WATER FLOW MAY MOVE THE WATTLE.

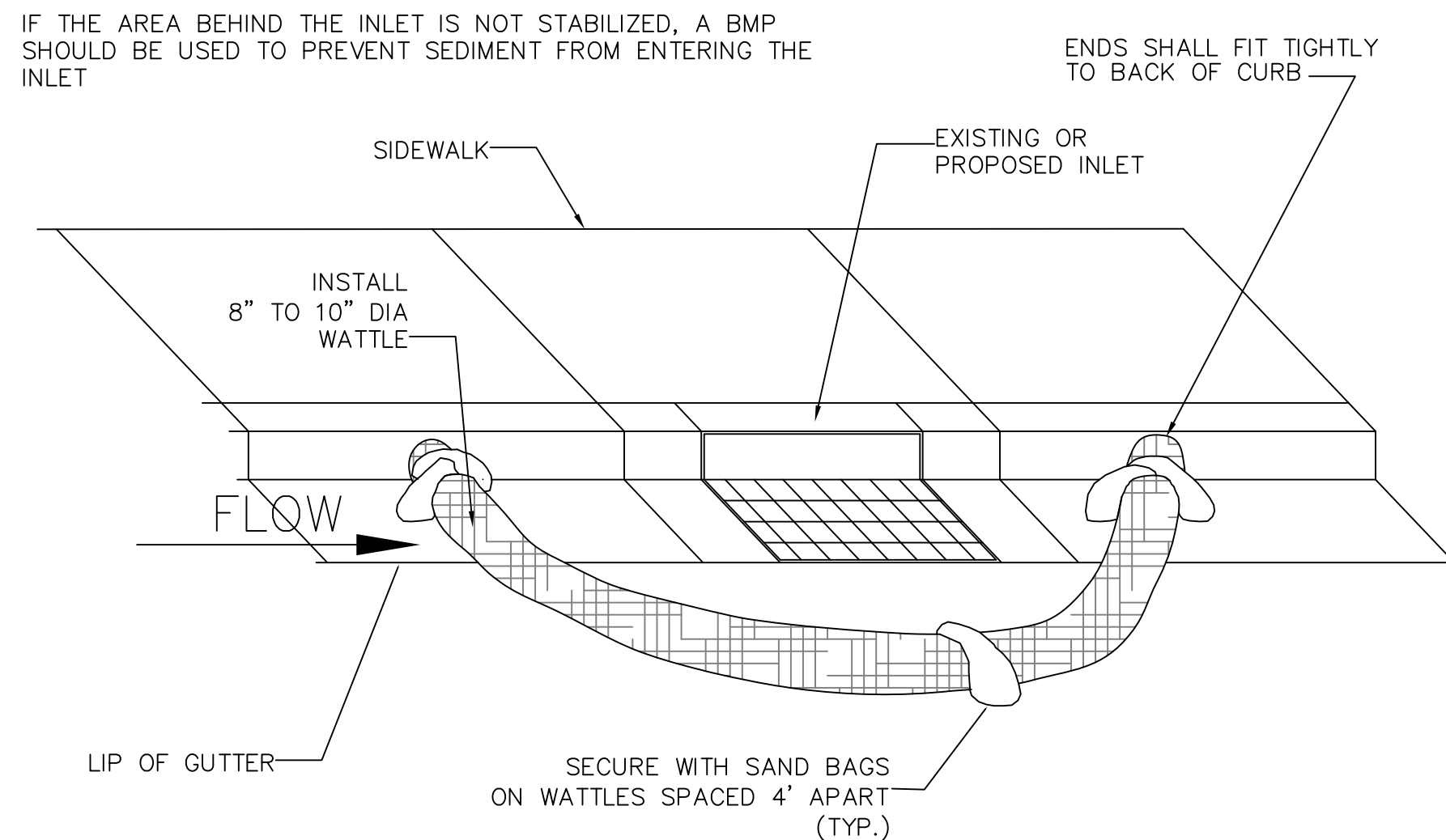
INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.



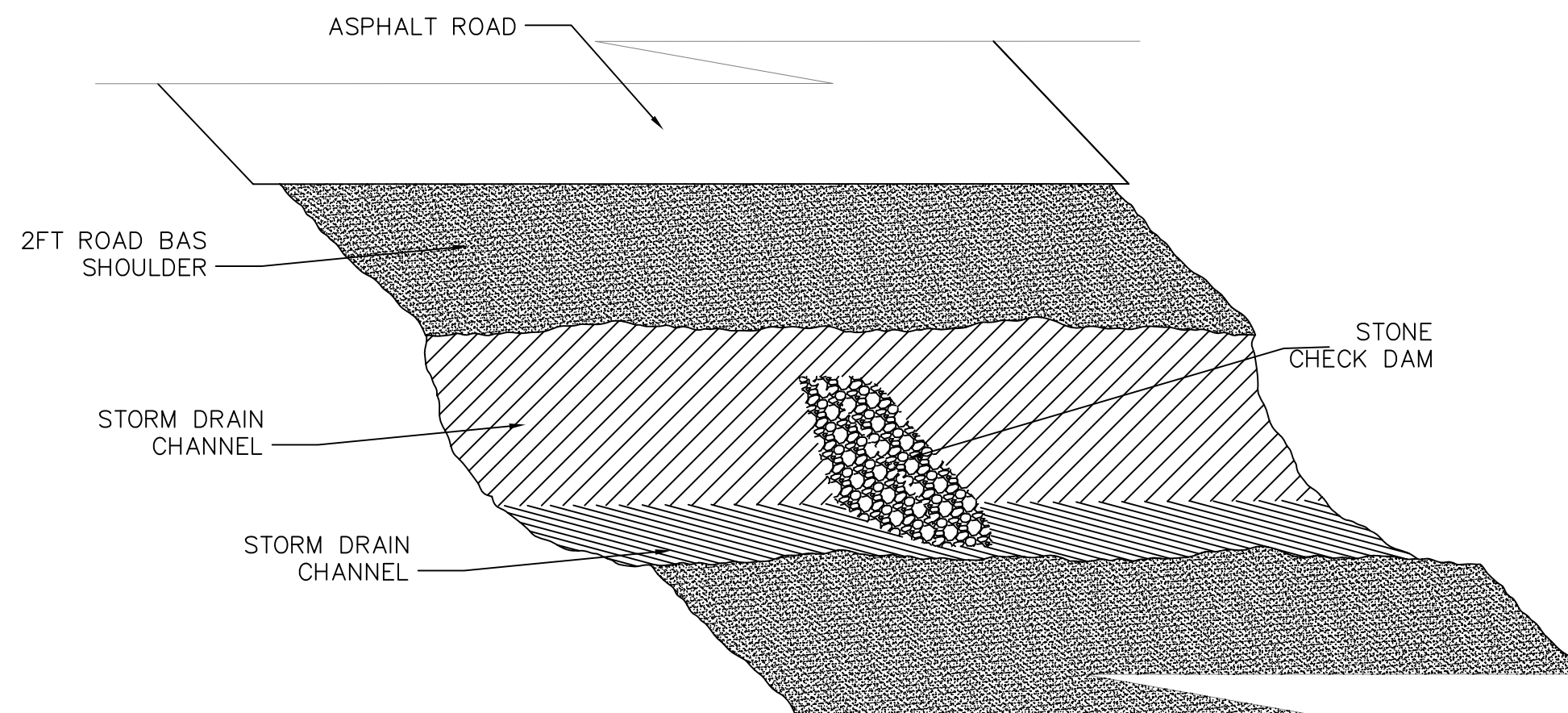
NOTE:

INSTALL GUTTER WATTLE MIDWAY BETWEEN IMPACTED INLETS AND CONSTRUCTION DISTURBANCE.

GUTTER PROTECTION SETUP



INLET PROTECTION BARRIERS
NOT TO SCALE



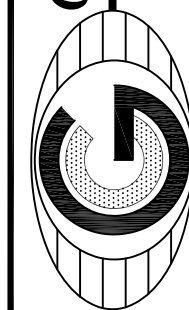
DRAINAGE CHANNEL
PROTECTION
NOT TO SCALE

- NOTE:
1. PLACE A CHECK DAM AT EVERY 100 LINER FEET OF DRAIN CHANNEL.
 2. PLACE CHECK DAMS PERPENDICULAR TO THE FLOW LINE OF THE CHANNEL.
 3. CONSTRUCT CHECK DAMS SO THAT WATER DOES NOT FLOW AROUND THE ENDS OF THE DAM.
 4. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.

See SATAQUIN CITY specifications for further information.

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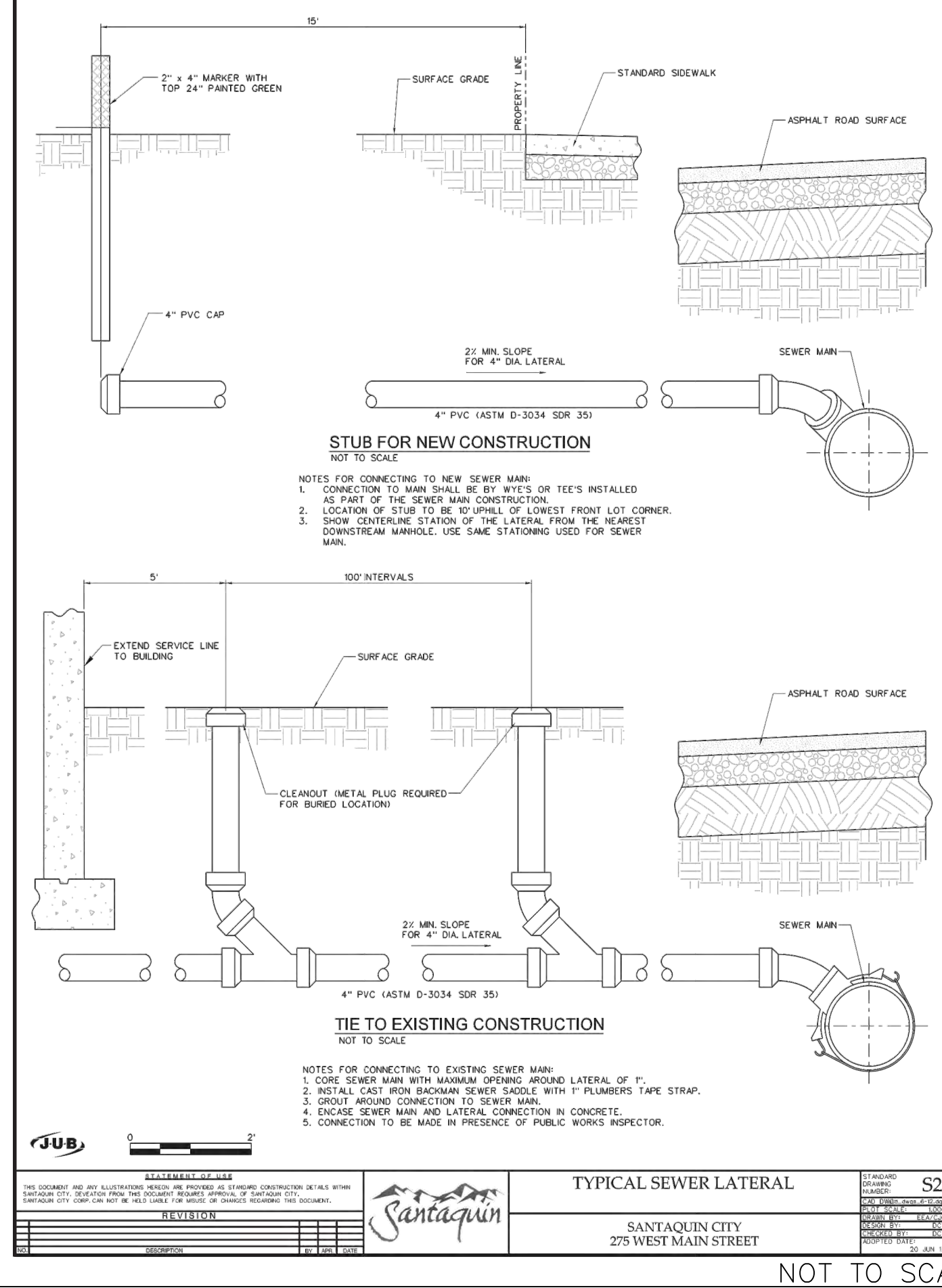
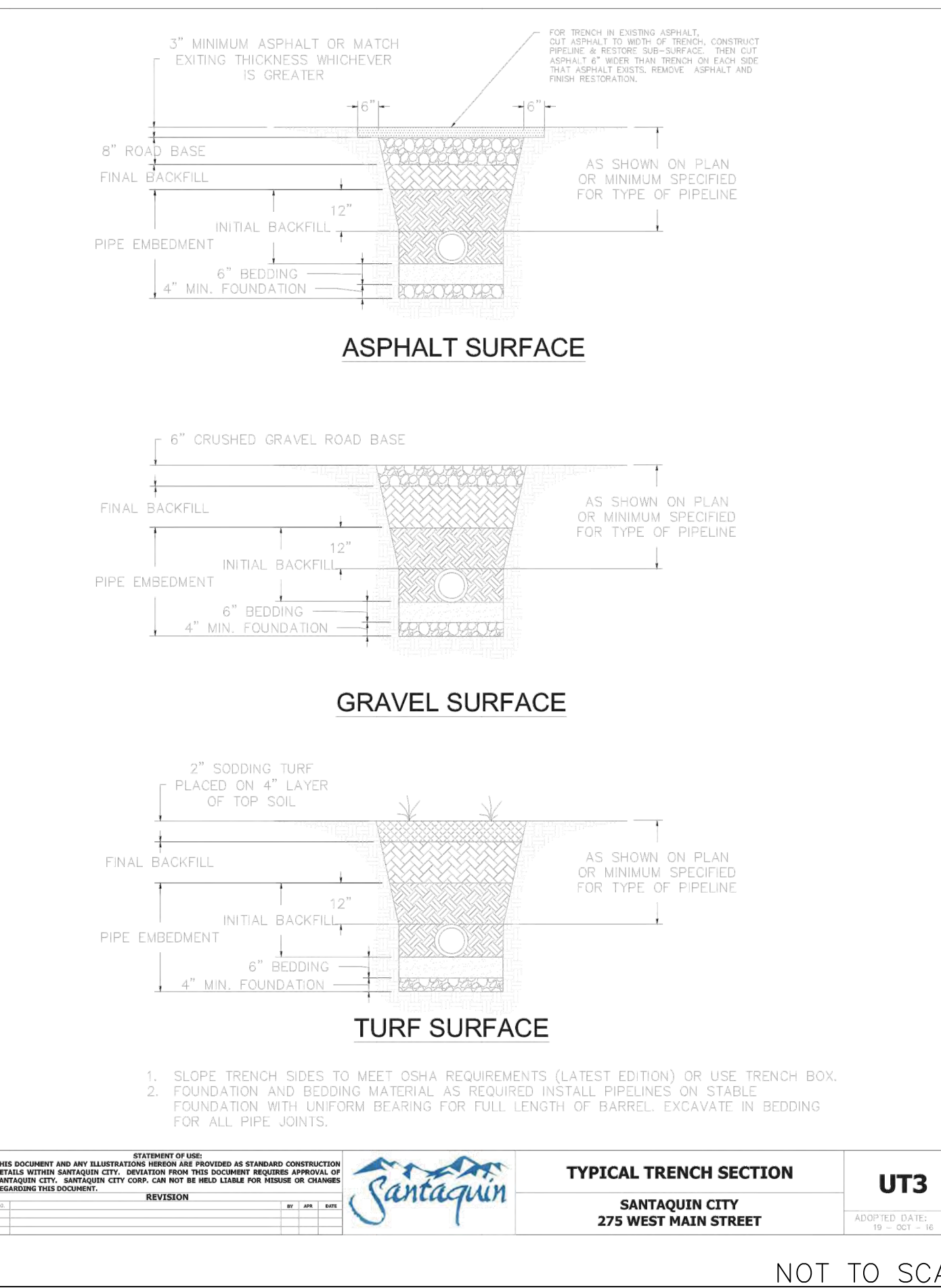
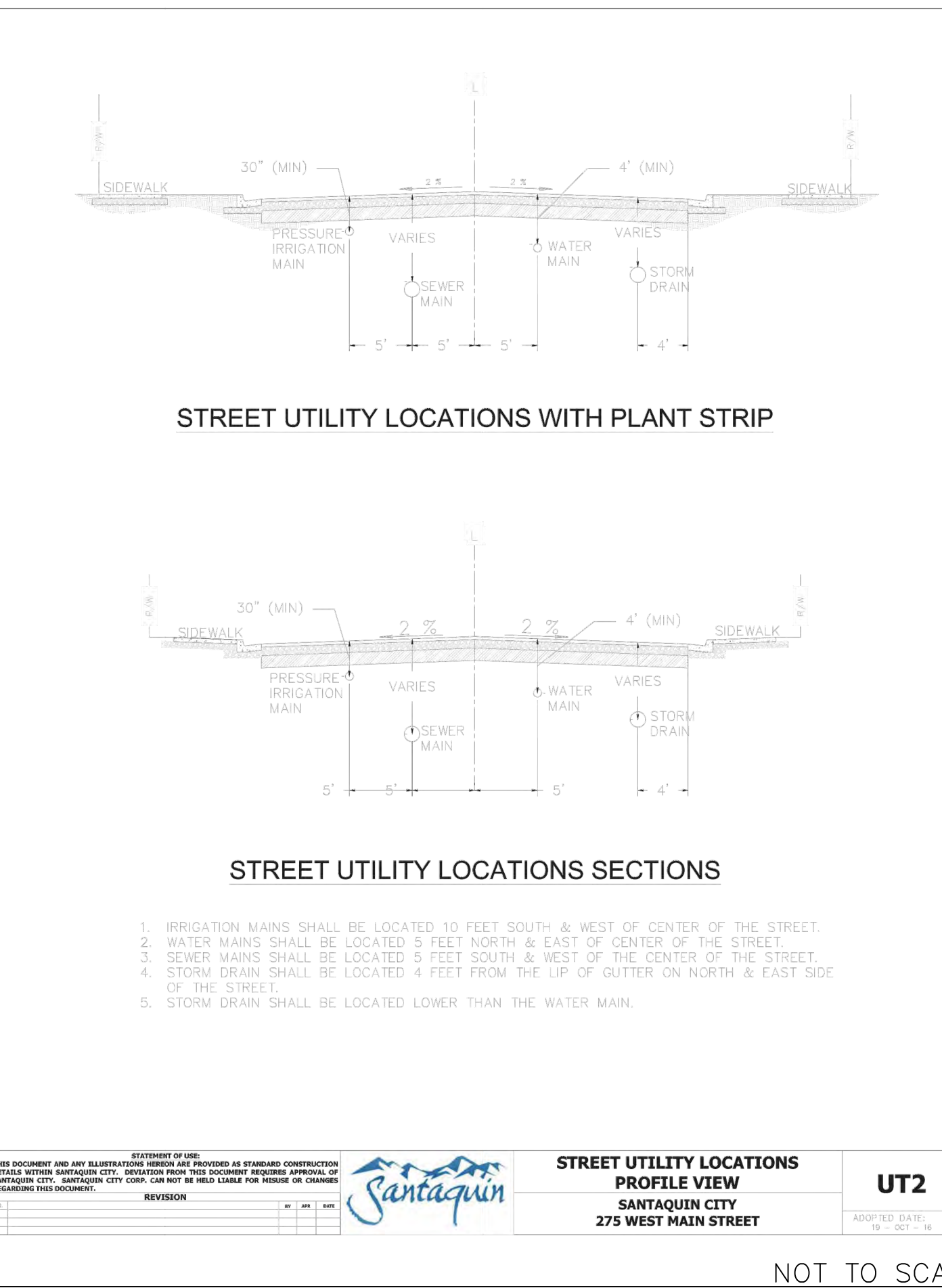
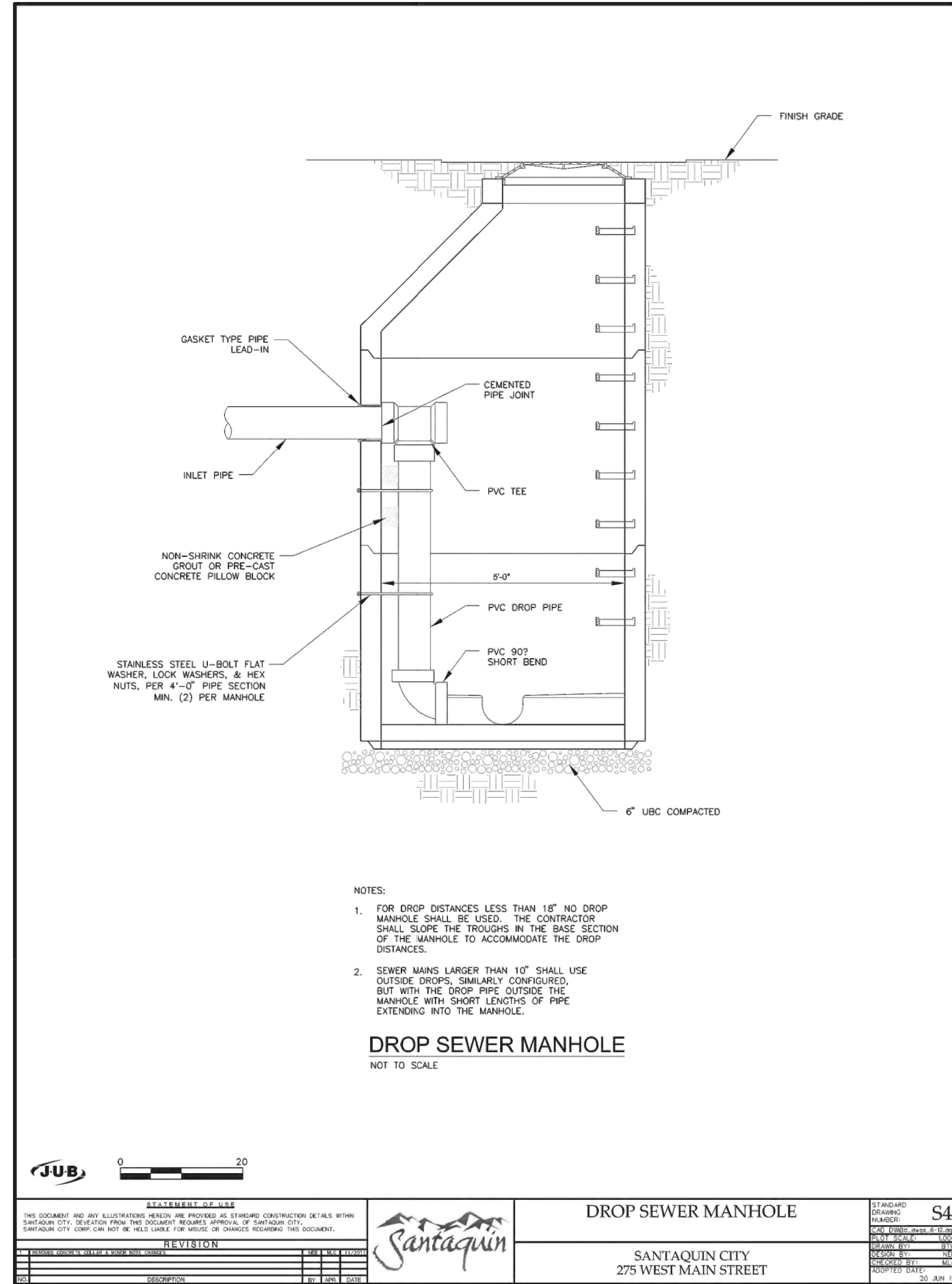
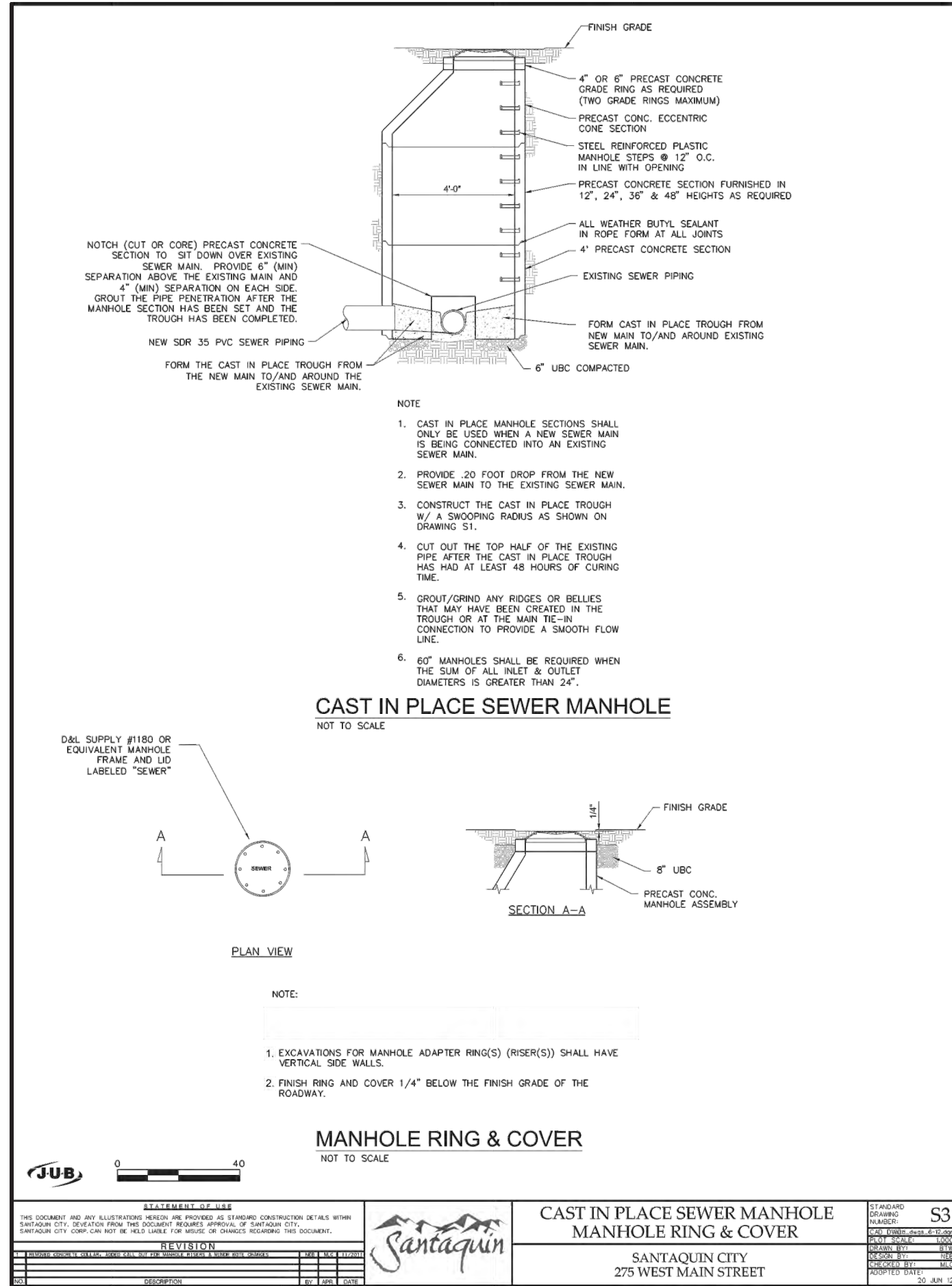
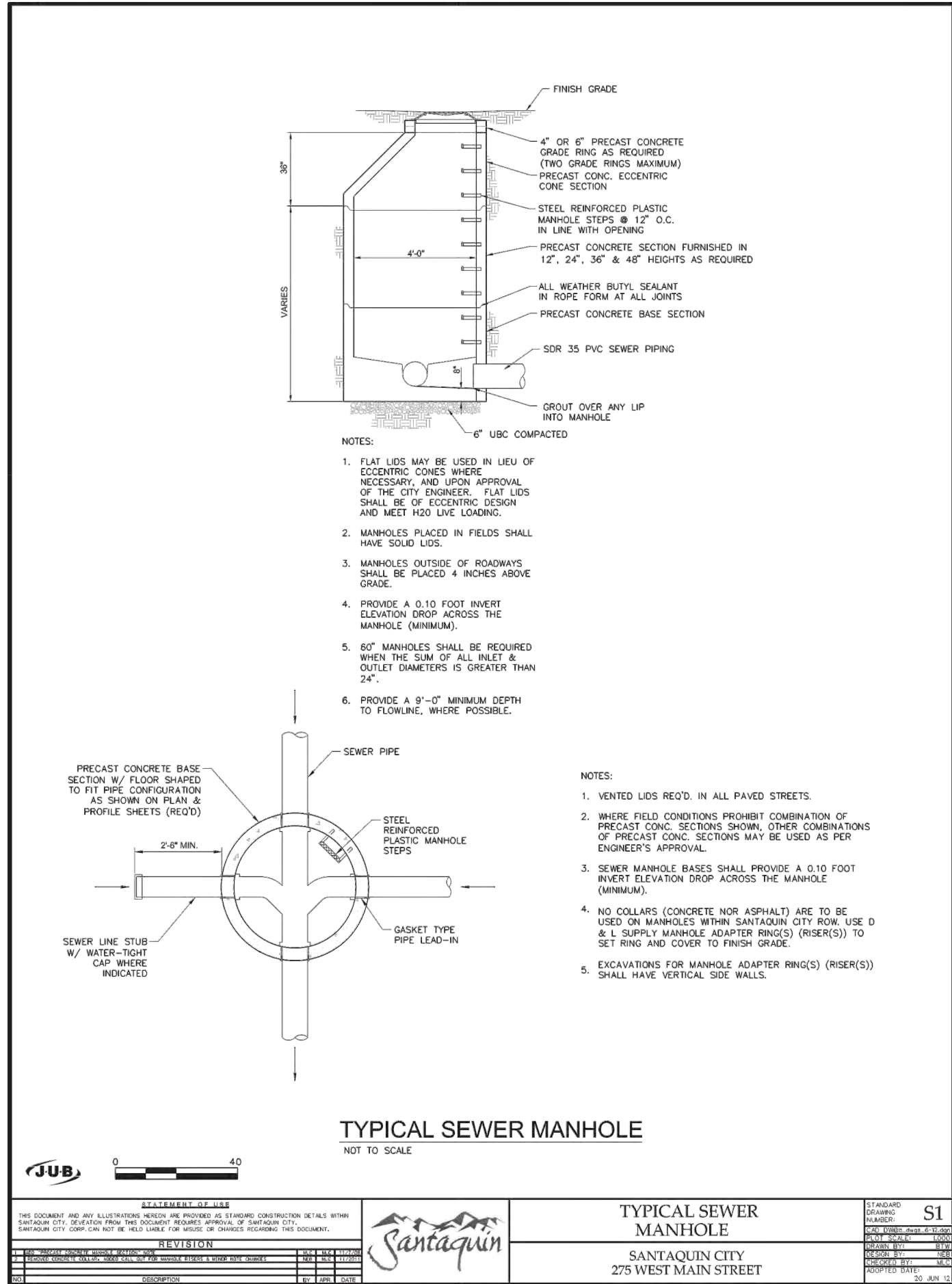
STRATTON ACRES
PHASE 2
EROSION CONTROL
DETAILS and NOTES

10-13-2022

SATAQUIN
CITY



SHEET NO. ER-2



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	N/A

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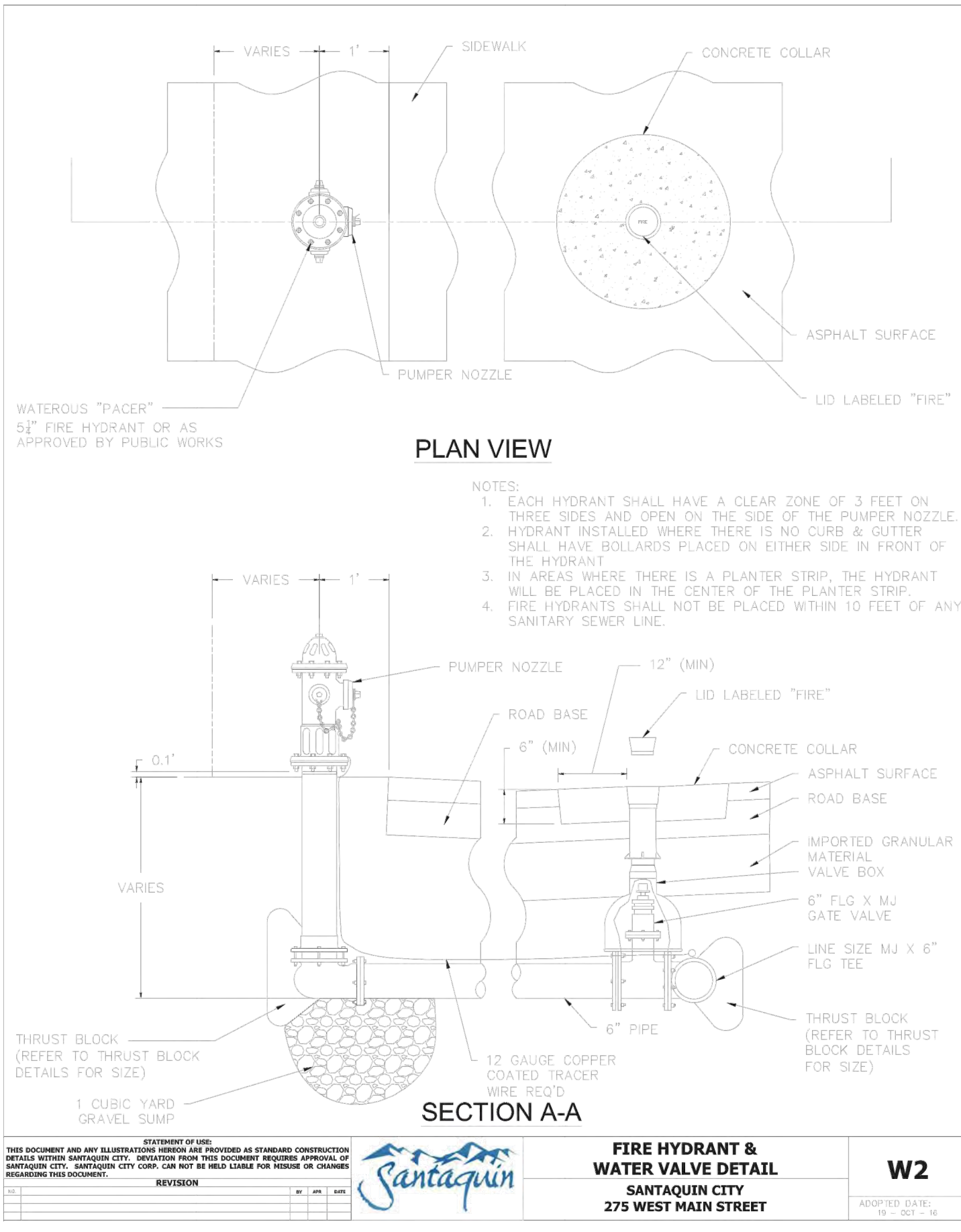
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CONSTRUCTION MANAGEMENT

STRATTON ACRES
PHASE 2
SEWER DETAILS

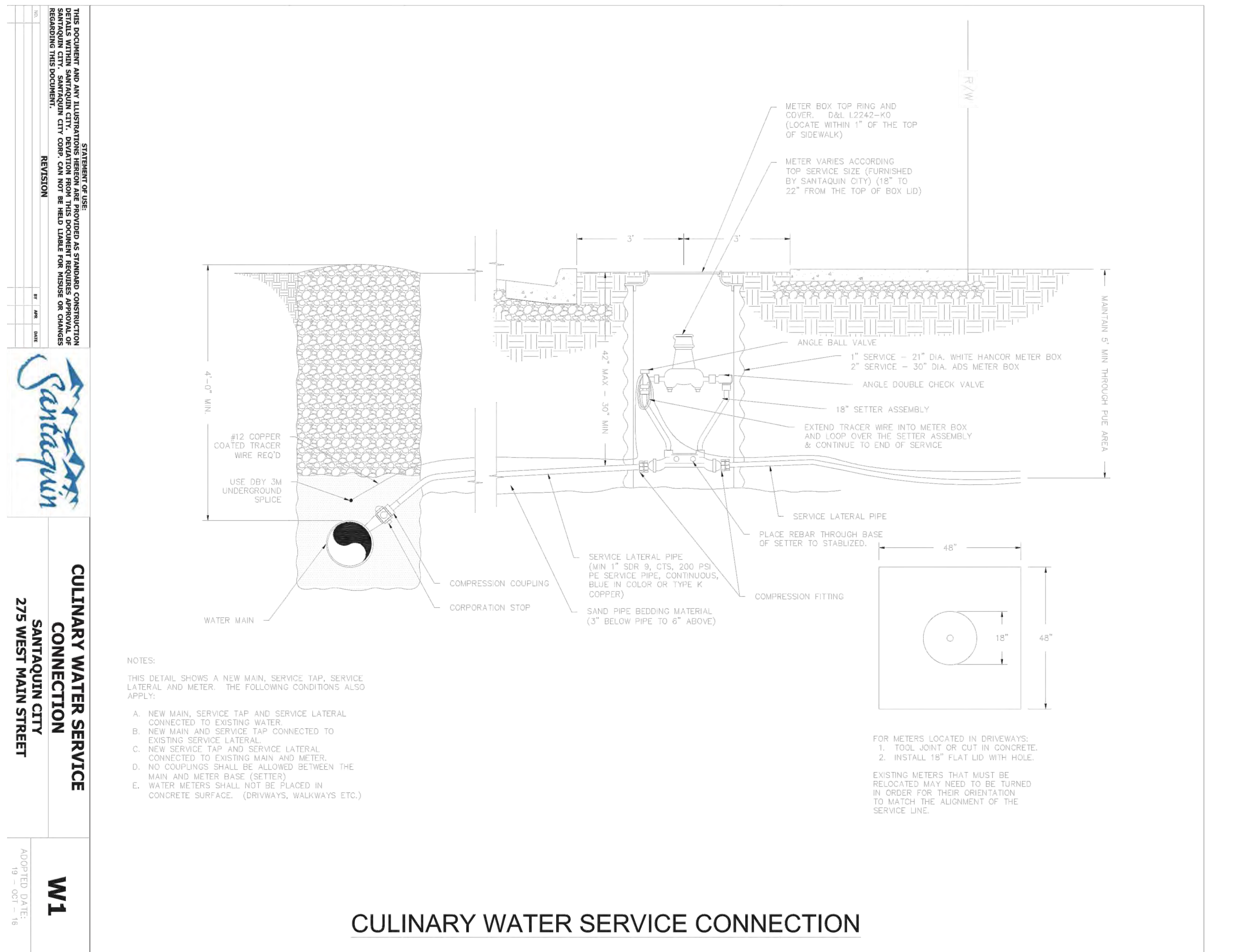
10-13-2022

SANTAQUIN
CITY

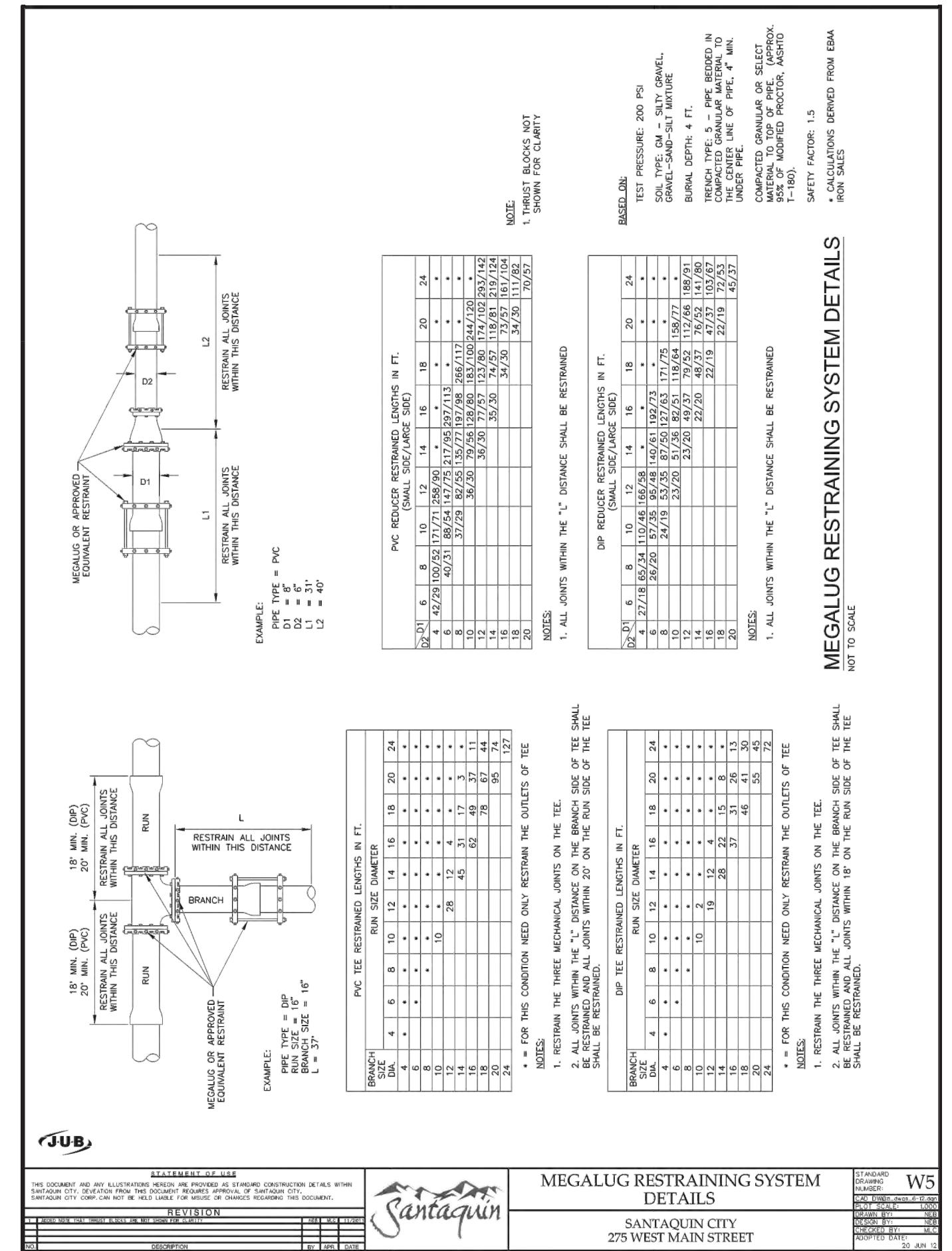
REGISTERED PROFESSIONAL ENGINEER
PAUL J. GATEWAY
10-13-2022



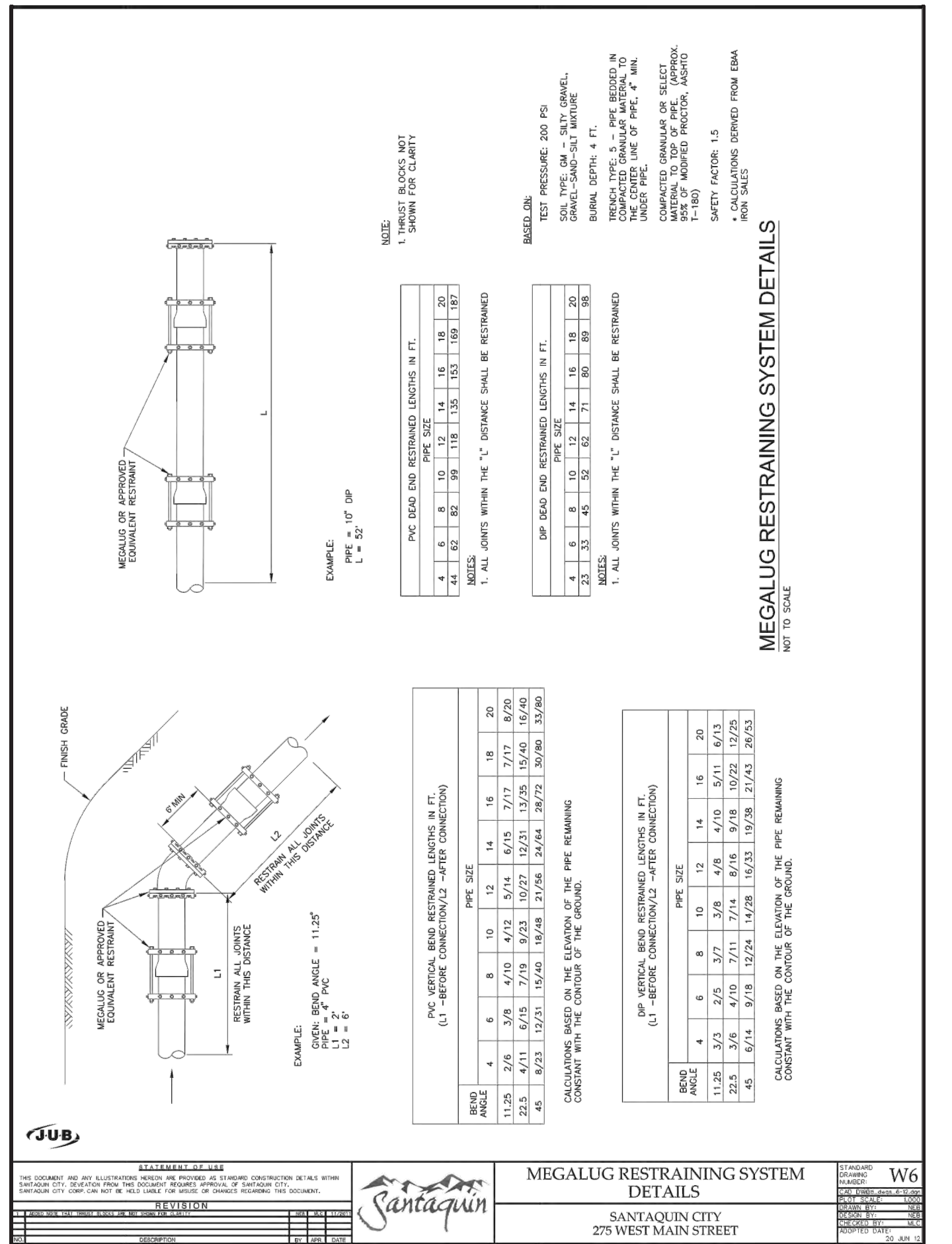
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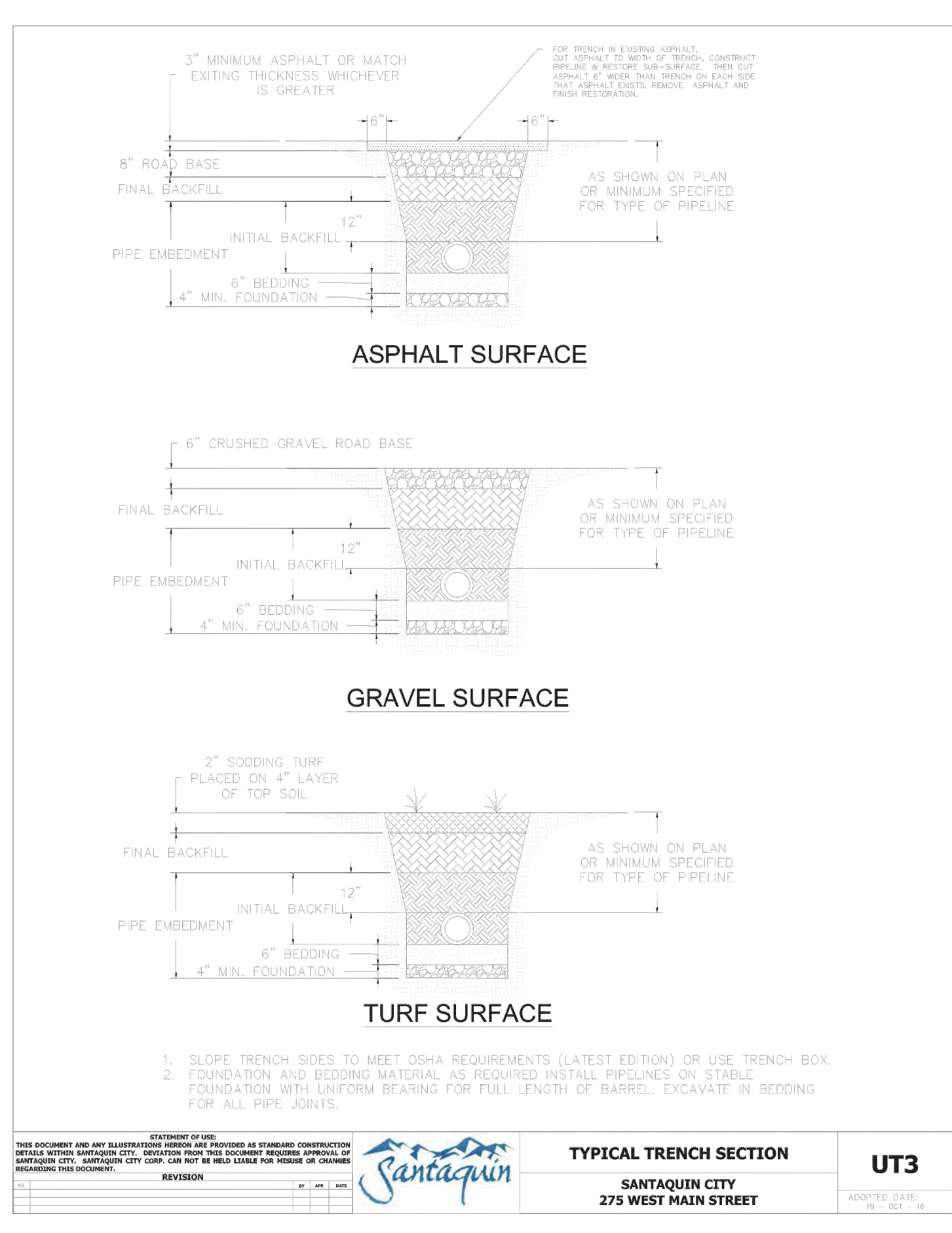
CULINARY WATER SERVICE CONNECTION



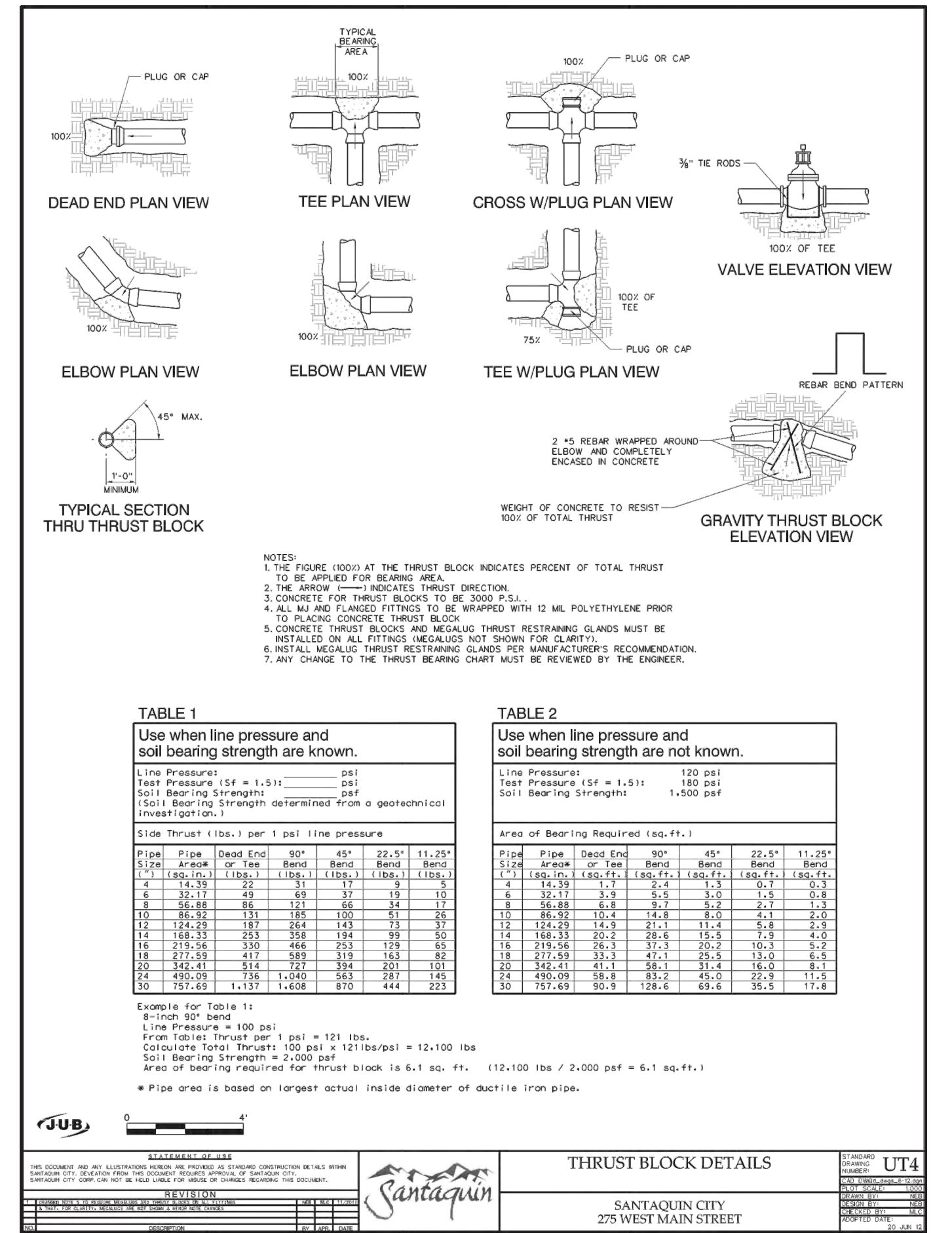
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NOT TO SCALE



NOT TO SCALE



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
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SCALE:	N/A

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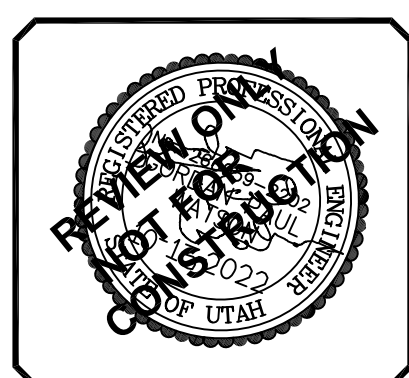
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CONSTRUCTION MANAGEMENT

**STRATTON ACRES
PHASE 2**

WATER DETAIL

10-13-2022

SANTAQUIN CITY



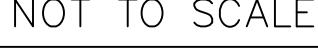
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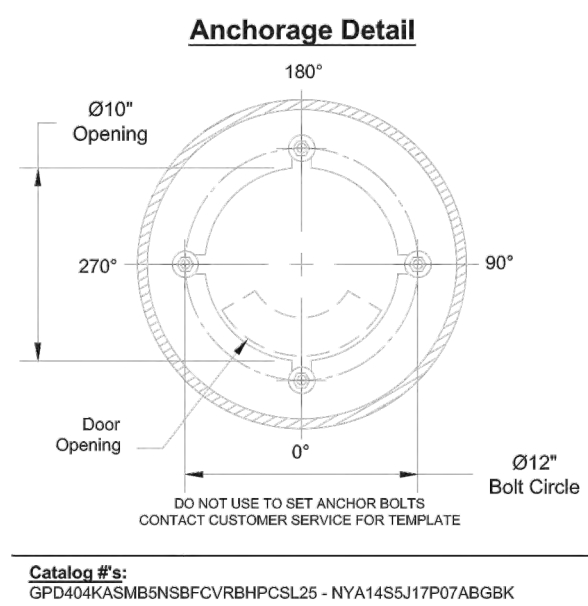


ORIG. DATE:	2-8-21
SURVEY BY:	
DRAWN BY :	GPW
DESIGNED BY :	GPW
CHECKED BY :	GPW
SCALE :	N/A

STRATTON ACRES
 PHASE 2
STORM DETAIL
 10-13-2022

SHEET NO. D4

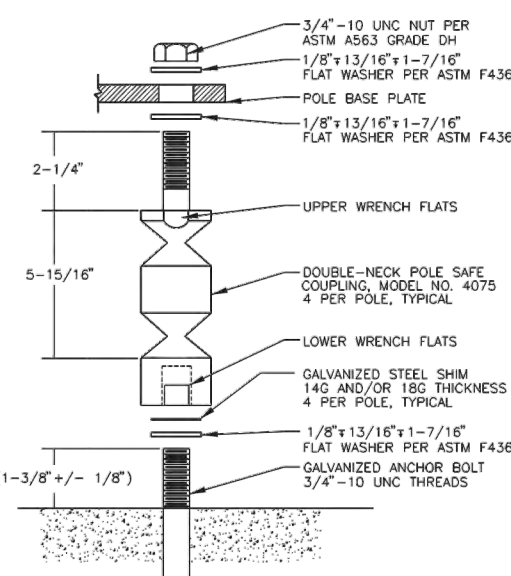




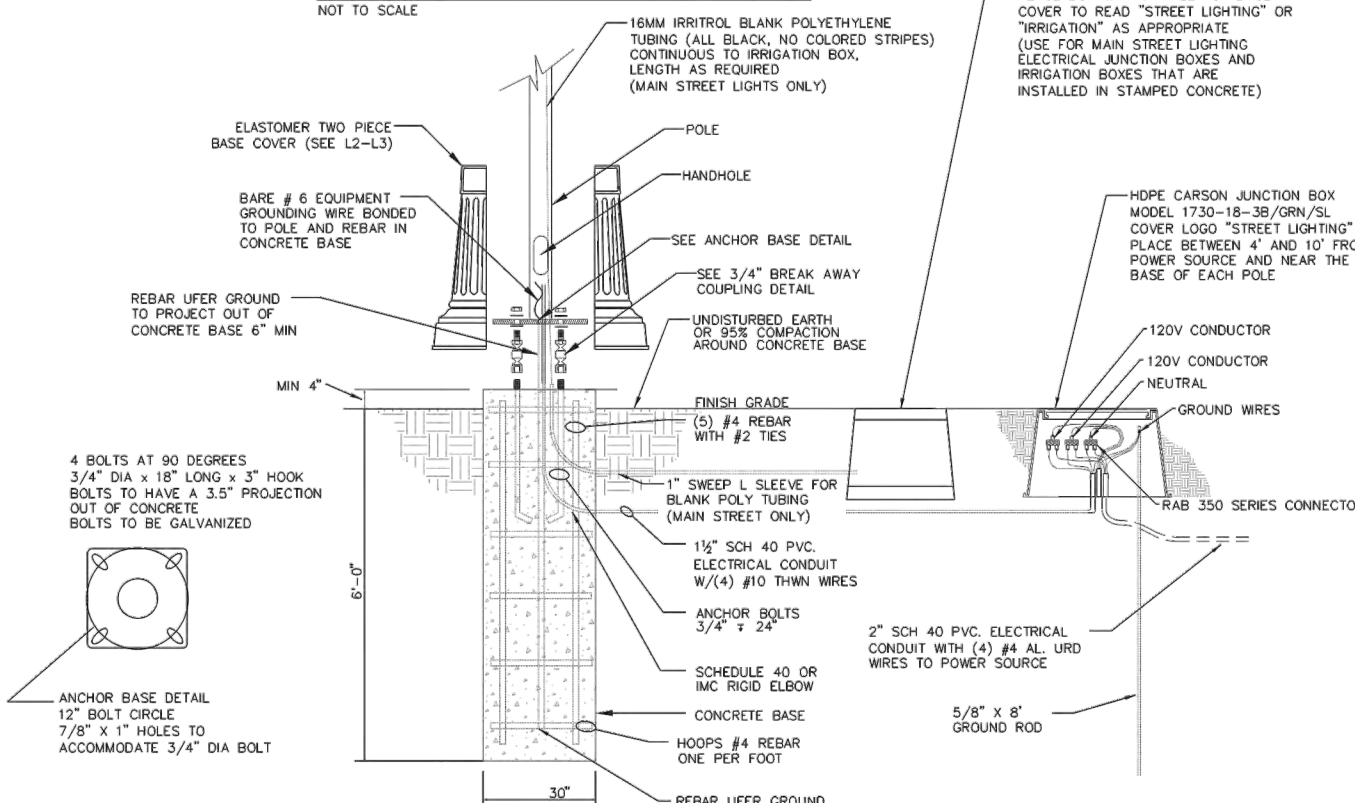
Santaguin

**LOCAL AND COLLECTOR STREET
LIGHTING DETAILS**
SANTAQUIN CITY
275 WEST MAIN STREET

L1



BREAK AWAY COUPLING DETAIL



ANCHOR BASE DETAIL

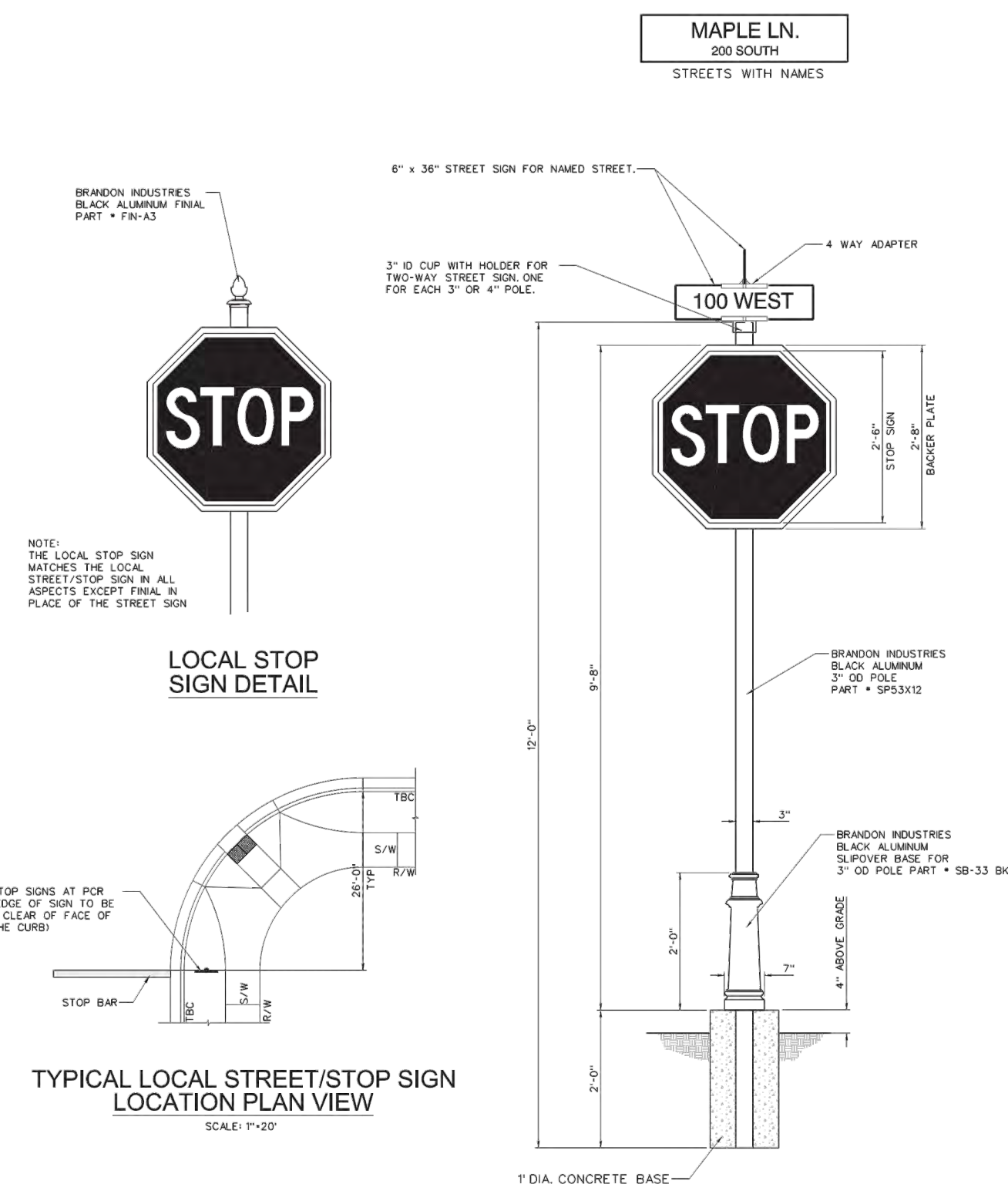


Santaquin

ANCHOR BASE & BREAK
AWAY COUPLING

SANTAQUIN CITY
275 WEST MAIN STREET

STANDARD DRAWING NUMBER:	L
DATE: 11/11/2011	
DRAWN BY: J. J. J.	
CHECKED BY: J. J. J.	
APPROVED BY: J. J. J.	
ADOPTED DATE:	11/11/2011



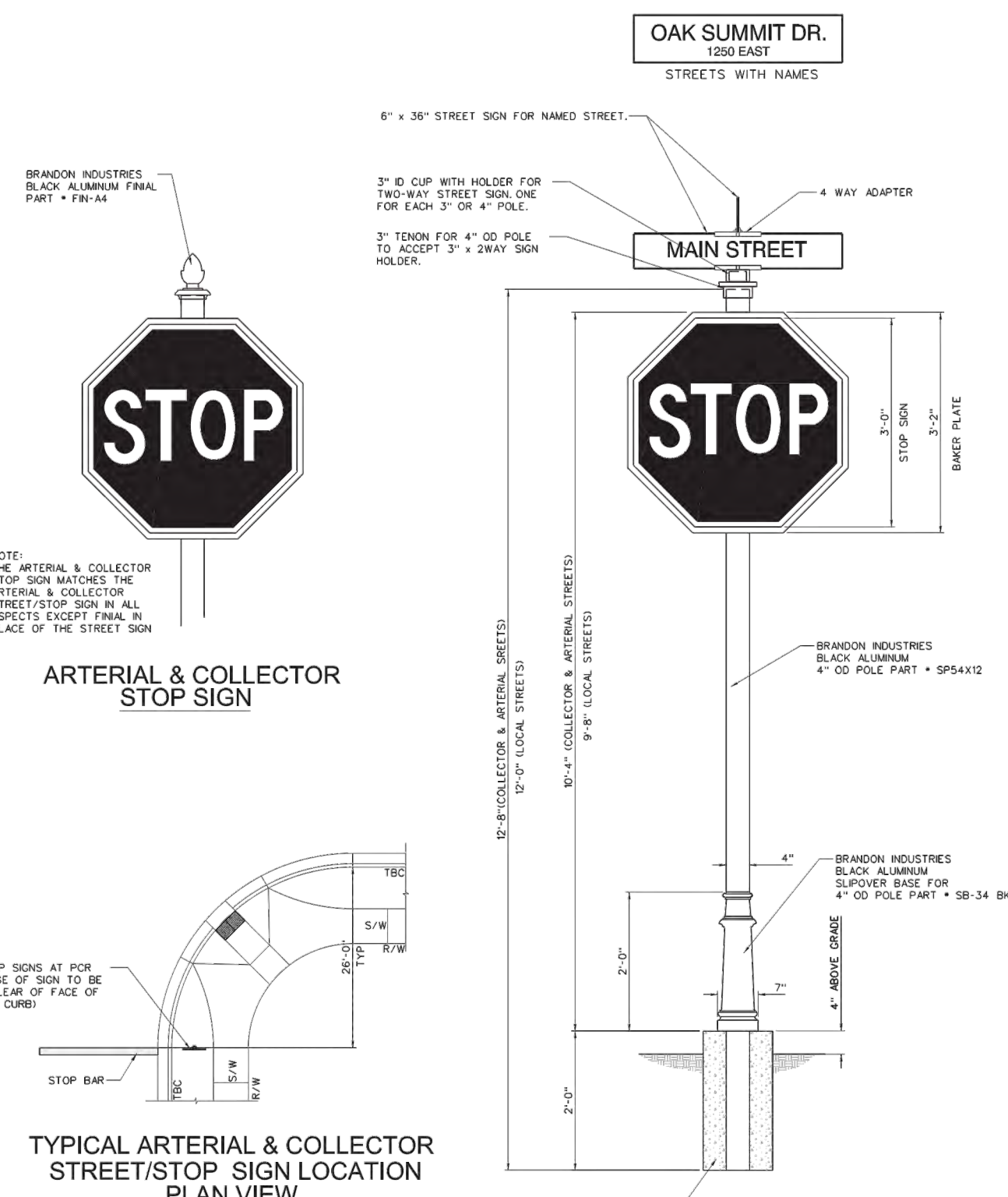
LOCAL STREET/STOP SIGN DETAIL



LOCAL STREET / STOP
SIGN DETAIL

SANTAQUIN CITY
275 WEST MAIN STREET

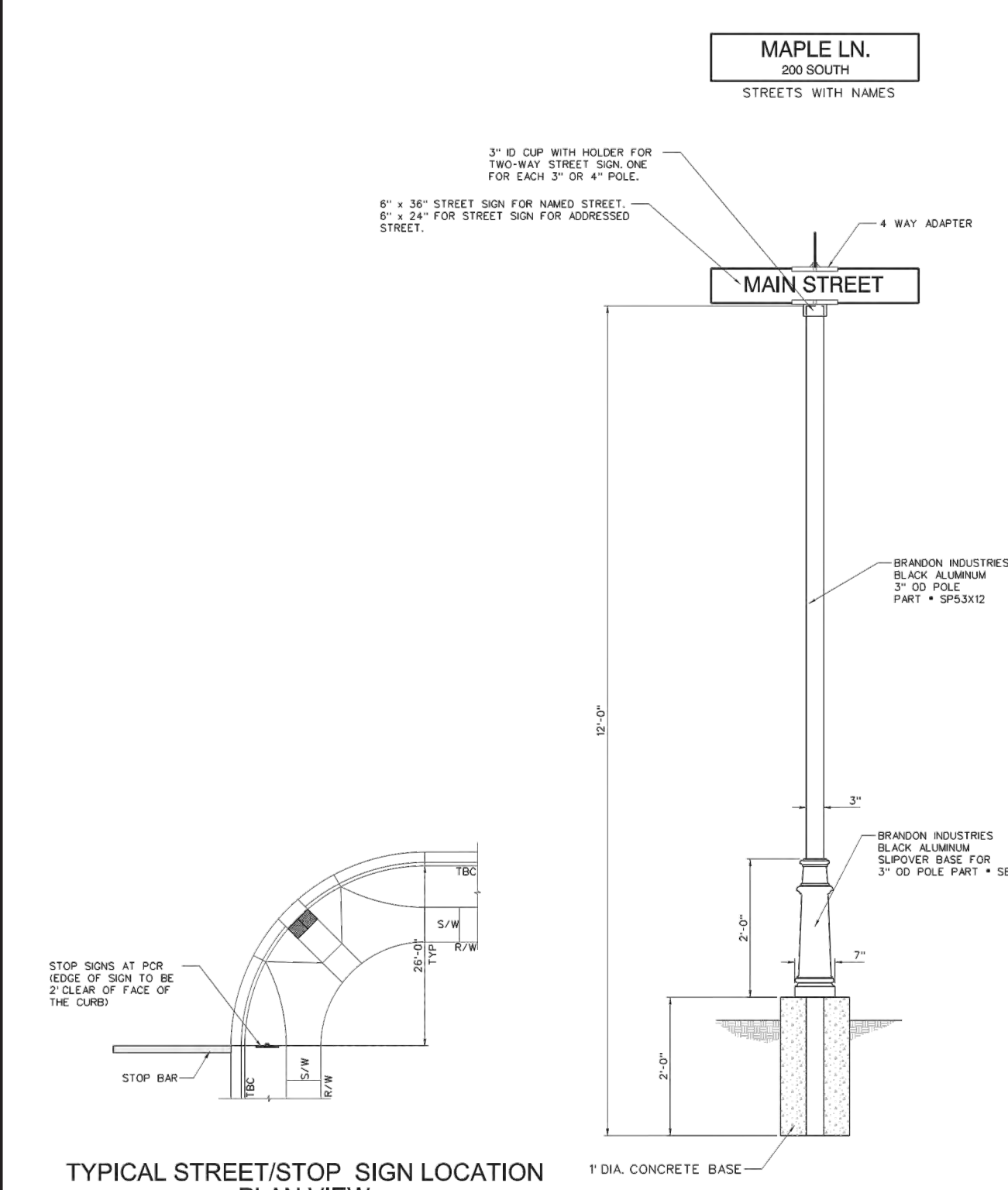
S.



ARTERIAL & COLLECTOR ST
SIGN DETAIL

SANTAQUIN CITY
275 WEST MAIN STREET

P	STANDARD DRAWING NUMBER:	ST
	DATE: (month, day, year)	4-10
	PROJECT: (name)	3
	DRAWN BY:	SEAD
	CHECKED BY:	
	APPROVED BY:	
	ADOPTED DATE:	20 JUN



TYPICAL STREET SIGN INSTALLATION

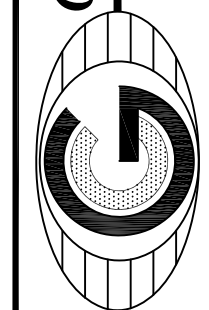


TYPICAL STREET SIGN D
(NO STOP SIGN)
SANTAQUIN CITY
275 WEST MAIN STREET

STANDARD	ST9
DRAWING	
NUMBER	
SAC NUMBER	6-17-00
SALES ORDER	1000
ORDER NO.	11111111
QUANTITY	00
UNIT PRICE	00
TOTAL AMT	20.00

ORIG. DATE:	2-8-21
SURVEY BY:	
DRAWN BY :	GPW
DESIGNED BY :	GPW
CHECKED BY :	GPW
SCALE :	N/A

4TEWAY CONSULTING, Inc.
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848



CIVIL ENGINEERING * CONSULTING * LAND PLANNING
CONSTRUCTION MANAGEMENT

STRATTON ACRES PHASE 2

LIGHT AND SIGN DETAILS

PRINT DATE: 10-13-2022

SANTAQUIN
CITY



SHEET NO. D6