

SANTAQUIN ESTATES

PRELIMINARY PLANS

SANTAQUIN, UTAH

prepared for:
FLAGSHIP HOMES
170 SOUTH INTERSTATE PLAZA SUITE 250
LEHI, UT 84043
PHONE: (801)766-2592

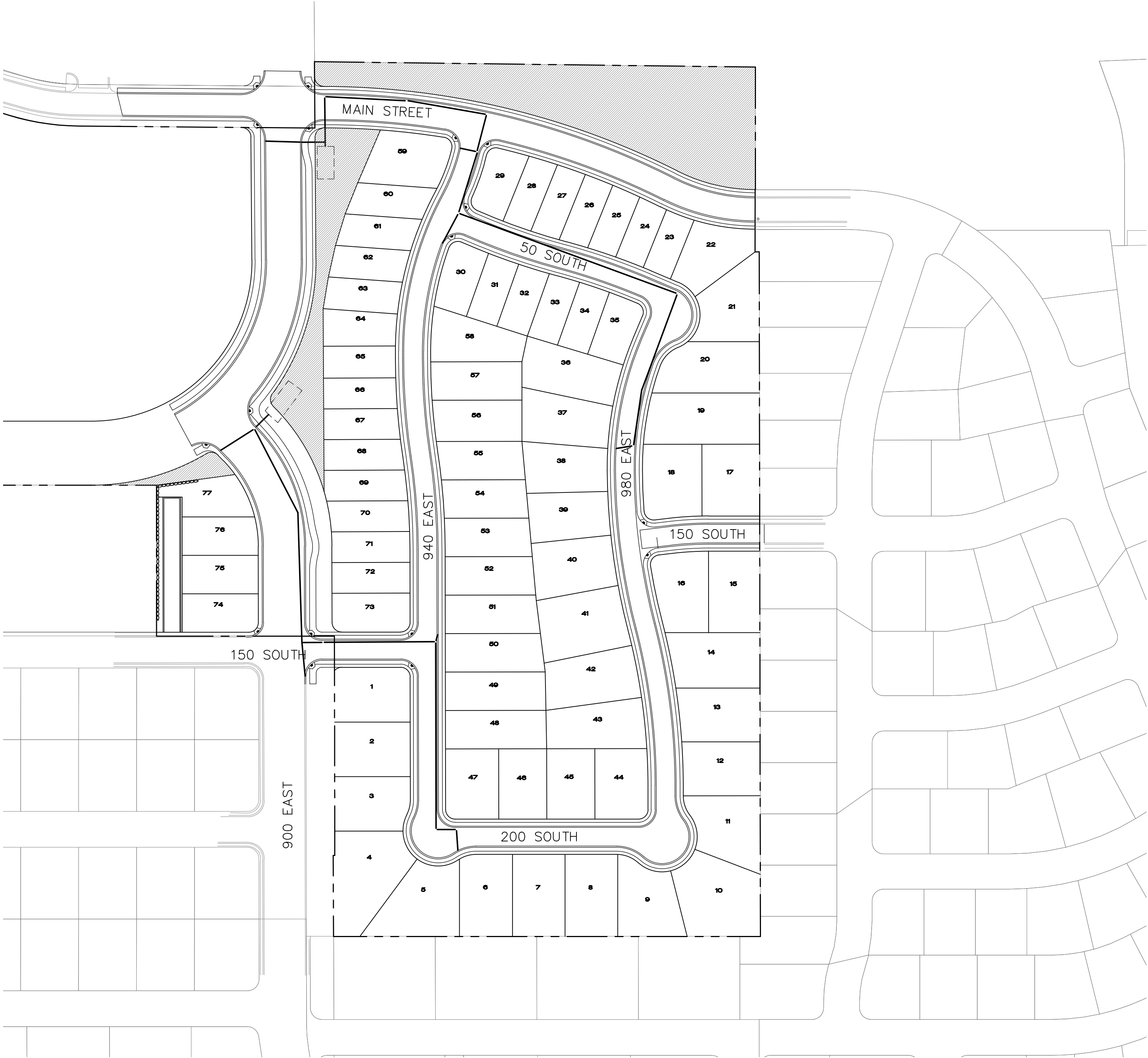
prepared by:
TRANE ENGINEERING
27 EAST MAIN STREET
LEHI, UT 84043
PHONE: (801) 768-4544

GENERAL NOTES:

- General Construction Notes:
1. All Mainline piping shall be placed with a minimum of 4'-0" cover over the top of the pipe. Gas lines shall be placed with a minimum of 2'-0" cover.
 2. All new culinary water and pressurized irrigation main line pipe shall be PVC C900 DR 18 class 150 unless otherwise approved by the city.
 3. All new culinary water and pressurized irrigation main line pipe shall be 8" in diameter.
 4. A minimum of 50 PSI static pressure shall be required at all points in the culinary water system within the boundaries of all new subdivisions.
 5. Culinary water service meter boxes shall be located within the 2' strip between the sidewalk and the property line. Meters shall be located only in landscaped areas.
 6. The minimum required fire flow at the fire hydrant locations shall be 1500 GPM.
 7. When required, pressure reducing valve vaults (PRV) shall be located as directed by the City or City Engineer. The City or City Engineer shall provide the contractor with the appropriate downstream pressure setting.
 8. Fire hydrants shall be located at all intersections. The maximum spacing between fire hydrants shall not exceed 500' measured along a public right-of-way.
 9. Air pressure testing dry culinary water or pressurized irrigation pipe lines shall be in accordance with manufacturers recommendations.
 10. Only City personnel shall open and close city water valves, unless otherwise approved in writing by the City.
 11. All water samples for culinary water testing shall be collected and delivered by City personnel. The contractor shall pay for the testing expense.
 12. Tapping into water lines shall not be allowed in groundwater or mud.
 13. All culinary water and pressurized irrigation mainline valves shall be located in line with corner lot property lines. The number of valves shall be as follows: 90° ELL -1 valve Tee -2 valves Cross -3 valves Additional valves may be required by the City.
 14. ELK RIDGE City shall reserve the right to require the developer to submit a soils investigation report that has been prepared by a registered professional engineer. If in the opinion of the City staff or the City Engineer, the development site contains questionable soils or high water table.
 15. All mainline sewer piping sizes 8" to 15" shall be PVC and shall be supplied in lengths no longer than 13'. Main line pipe sizes 18" and larger shall be reinforced concrete pipe.
 16. All sewer service laterals taps on existing lines shall be "insert-a-tee-type" connections.
 17. The maximum depth of any cul-de-sac shall be 400' measured from the start of the road to the beginning of the cul-de-sac. The radius of all cul-de-sacs shall be 50' measured from the center of the cul-de-sac to the top back of curb.
 18. The contractor shall provide, install, and maintain all road construction, barricades, channeling devices, and construction signs in accordance with the Manual of Uniform Traffic Control Devices (MUTCD) for road construction activities.
 19. Traffic access shall be maintained for local residents to properties along construction boundaries.
 20. Work performed with the State Highway rights-of-way shall conform to State of Utah specifications for excavation on State Highway prepared by the Department of Transportation.
 21. All debris resulting from work on the project shall be disposed of by the contractor. The contractor shall make appropriate arrangements for disposal sites at which debris may be lawfully disposed.
 22. No open burning of construction debris shall be allowed.
 23. The contractor shall provide mailboxes and posts according to US Postal Service standards and shall place them in the planter strips at locations designated by the City.
 24. Developers are required to install a minimum of half the right-of-way plus 12'.

BENCHMARK

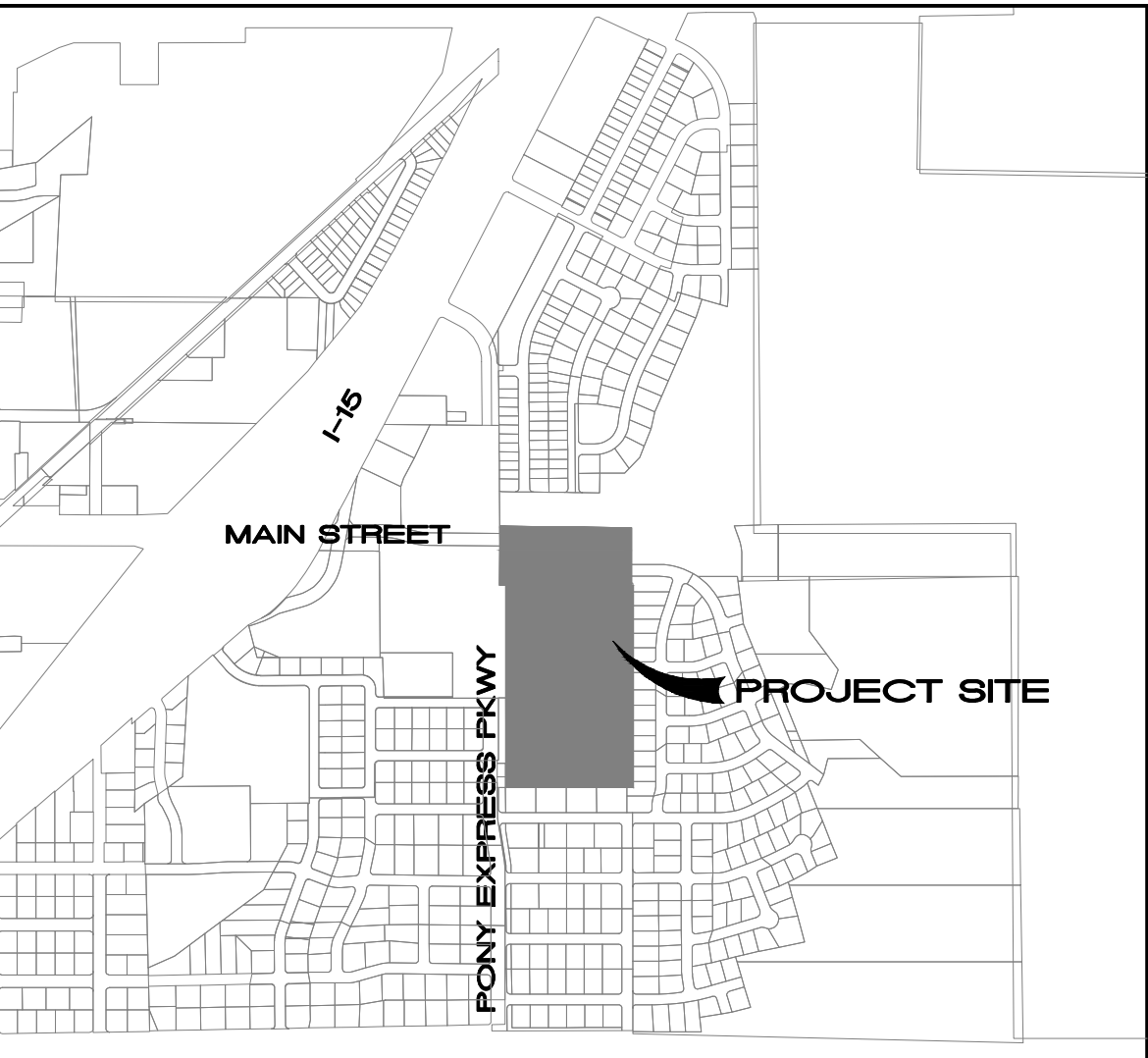
EAST QUARTER CORNER OF SECTION 2, TOWNSHIP 9S, RANGE 2E
ELEVATION = 4577.63



SHEET INDEX

SHEET NO.	SHEET NAME
1	COVER SHEET
2	PRELIMINARY UTILITY PLAN
3	PRELIMINARY GRADING & DRAINAGE PLAN
PLAT	PRELIMINARY PLAT

LAND USE:	
PLAT "A" =	30.86 ACRES
ZONING=	R-10 (PRD)
TOTAL LOTS=	77 LOTS
ACREAGE IN LOTS=	15.15 ACRES
ACREAGE IN ROW=	8.11 ACRES
ACREAGE OPEN SPACE=	2.18 ACRES
ACREAGE COMMERCIAL=	5.42 ACRES
DENSITY OVERALL =	2.43 LOTS/ACRE



VICINITY MAP



SITE MAP
NTS



REVISIONS				DESIGNED BY:	TGT
NO.	DATE	DESCRIPTION	BY	DRAWN BY:	TT
1				CHECK BY:	TGT
2				DATE:	7/16/21
3				CDGD FILE:	
4					

J:\FLAGSHIP\HARMONY\dwg\01_COVER.dwg

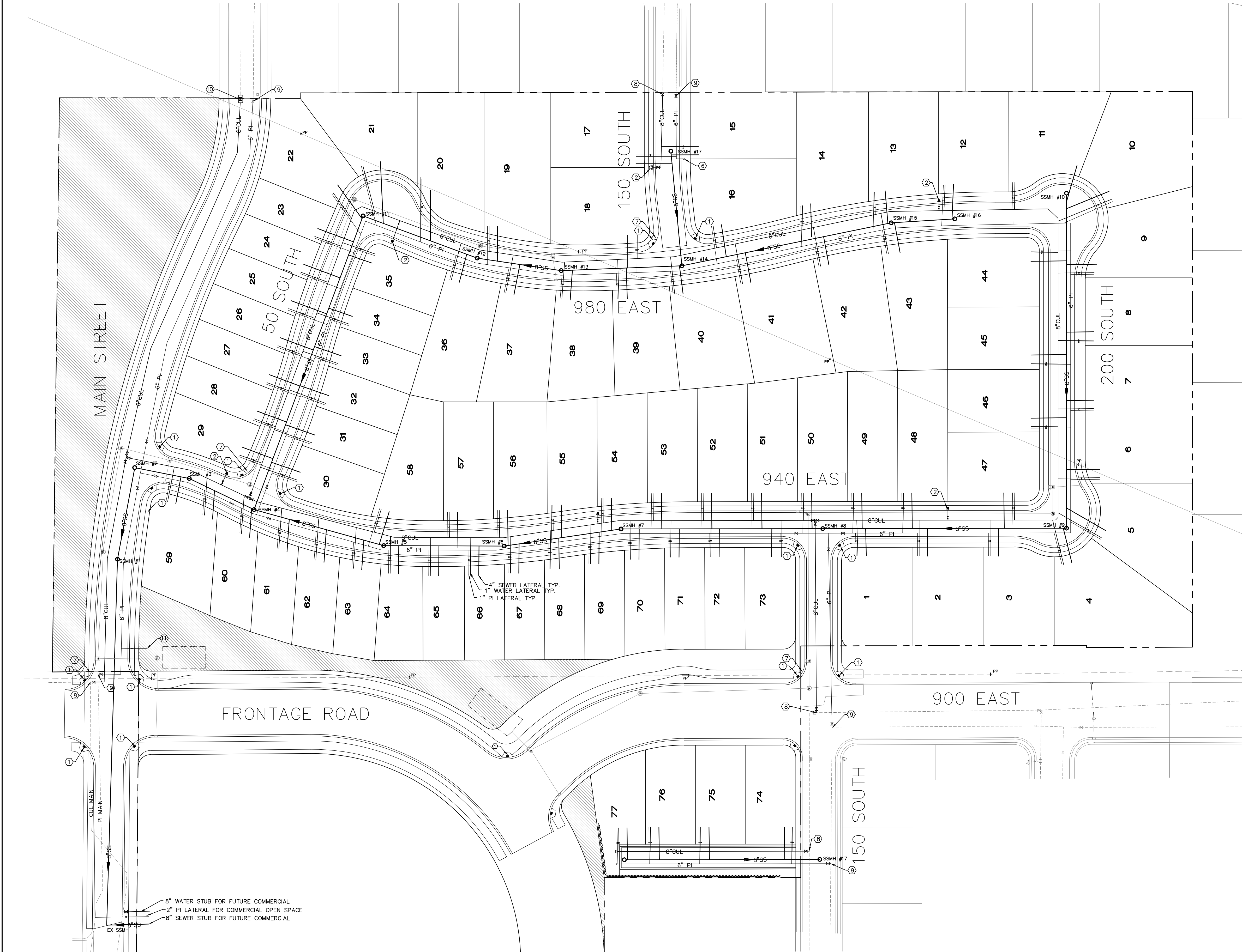
TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

SANTAQUIN, UTAH

SANTAQUIN ESTATES
A RESIDENTIAL SUBDIVISION

COVER SHEET

JOB
FS HARMONY
SHEET NO.
1

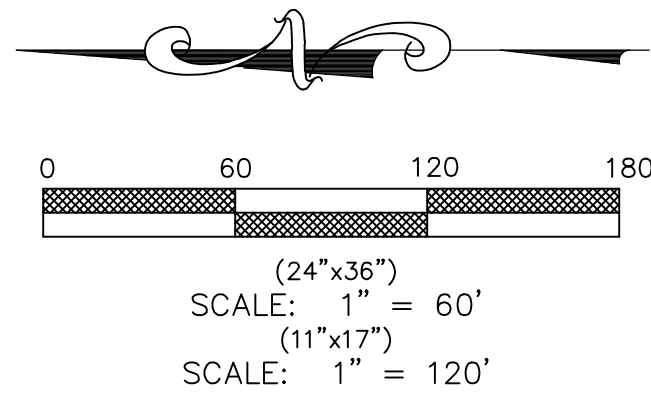


KEYED NOTES

- 1 CONSTRUCT ADA RAMP AS PER SANTAQUIN CITY STANDARDS
- 2 INSTALL FIRE HYDRANT AS PER SANTAQUIN CITY STANDARDS
- 3 CONSTRUCT 5' CONCRETE SIDEWALK
- 4 CONNECT INTO EXISTING SEWER. CONTRACTOR TO VERIFY SIZE, INVERT ELEVATION AND LOCATION.
- 5 END AND CAP WATERLINE FOR FUTURE CONSTRUCTION WITH 2" TEMPORARY BLOWOFF
- 6 INSTALL BLOWOFF AT END OF WATER MAIN
- 7 STREET AND/OR STOP SIGNS AS PER SANTAQUIN CITY STANDARDS
- 8 CONNECT INTO EXISTING CULINARY LINE WITH CONSTRUCTION VALVE
- 9 CONNECT INTO EXISTING PRESSURE IRRIGATION LINE WITH CONSTRUCTION VALVE
- 10 INSTALL PRV ON CULINARY LINE FOR ZONE SEPARATION AS PER SANTAQUIN CITY STANDARDS.
- 11 2" PI LATERAL FOR OPEN SPACE

UTILITY NOTES

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO SANTAQUIN CITY STANDARDS AND SPECIFICATIONS.
2. ALL ADA REQUIREMENTS TO BE CONSTRUCTED IN ACCORDANCE WITH SANTAQUIN CITY STANDARDS AND SPECIFICATIONS.
3. CULINARY WATER ~ 48" MIN. DEPTH TO TOP OF PIPE C900 PVC..
4. SEWER 8" SDR-35 PVC PIPE WITH MANHOLES AS NOTED.
5. WATER TEES, ELBOWS, PIPE BEDDING AND TRENCHES SHALL BE INSTALLED AS PER SANTAQUIN CITY STANDARDS.
6. ALL VALVES ARE TO BE FLANGED TO THE TEE.



REVISIONS				
NO.	DATE	DESCRIPTION	BY	DESIGNED BY:
1	2/22/21	RED LINES	TT	TGT
2				DRAWN BY: TT
3				CHECK BY: TGT
4				DATE: 10/16/21
				CGO FILE:

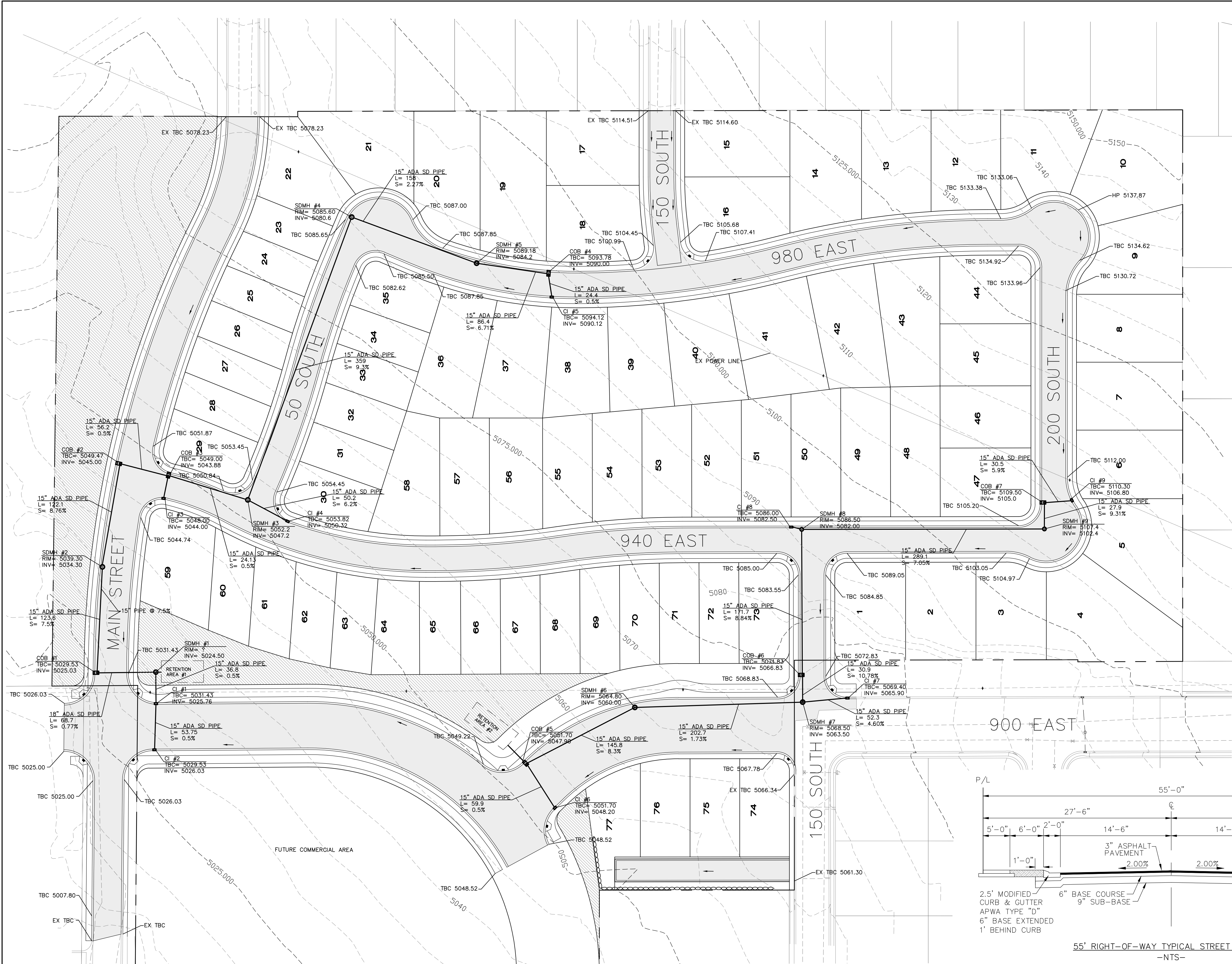
TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

SANTAQUIN, UTAH

SANTAQUIN ESTATES
A RESIDENTIAL SUBDIVISION

UTILITY PLAN

JOB
FS H6
SHEET NO.
2



GENERAL NOTES

- 1. ALL CONSTRUCTION TO BE DONE ACCORDING TO SANTAQUIN CITY STANDARDS AND SPECIFICATIONS.
- 2. CONTRACTOR TO MEET ALL ADA REQUIREMENTS FOR THE SITE.
- 3. DRAINAGE FOR EACH LOT IS TO BE DIRECTED TO THE STREET. IF LOT GRADING DOES NOT ALLOW THE DRAINAGE TO FLOW TO THE STREET THEN THE PROPERTY OWNER IS RESPONSIBLE TO RETAIN RUNOFF ON OWN LOT.
- 4. RETENTION AREAS 1 AND 2 TO INCLUDE MC-4500 STORMTECH CHAMBERS OR EQUIVALENT OPEN VOLUME BASED ON PERCOLATION RATES AT THOSE LOCATIONS.

SANTAQUIN ESTATES (AREA NORTH)					
Storm Water Calculations (rational method)					
10/18/2021					
Contributing Area = 14.42 Acres					
Weighted C Value For Contributing Area					
	C	Area (Acres)	Weighted Value		
Hard Surface	0.9	5.32	0.33		
Lot Area	0.1	9.1	0.06		
Total C Value		14.42	0.40		
Intensities for the 6-hr storm event					
25-yr storm event		in/hr	0.265		
Percolation Rate					
At Northern Area		0.5 in/min			
Area of Percolation		1600 sq ft			
Retention Calculations for North Area					
Lapsed Time (min)	Rainfall Intensity (in/hr)	Total Rainfall (in)	Rainfall Volume (cf)	Percolation Volume (cf)	Required Storage (cf)
A	B	C	D	E	F
360	0.27	1.59	33291	24000	9291
Required Retention Storage = 9291 cf					
Equivalent to 56 MC-4500 Stormtech Chambers					
Notes:					
A, B, & C are based on the NOAA Study for the 230-year Intensity Duration Curve					
D = C/(12 inches/foot) x total acreage of site x 43,560 s/acre x run-off coefficient, where Q=CIA and V=CiA					
E = an allowable release rate (0.2 cfs/acre) x total acreage of site x A x 60 sec.					
F = D - E to determine storage volume					

SANTAQUIN ESTATES (AREA SOUTH)					
Storm Water Calculations (rational method)					
10/18/2021					
Contributing Area = 8.47 Acres					
Weighted C Value For Contributing Area					
	C	Area (Acres)	Weighted Value		
Hard Surface	0.9	3.15	0.33		
Lot Area	0.1	5.32	0.06		
Total C Value		8.47	0.40		
Intensities for the 6-hr storm event					
25-yr storm event		in/hr			
		0.265			
Percolation Rate					
At Northern Area		0.5 in/min			
Area of Percolation		1000 sq ft			
Retention Calculations for North Area					
Lapsed Time (min)	Rainfall Intensity (in/hr)	Total Rainfall (in)	Rainfall Volume (cf)	Percolation Volume (cf)	Required Storage (cf)
A	B	C	D	E	F
360	0.27	1.59	19555	15000	4555
Required Retention Storage = 4555 cf					
Equivalent to 28 MC-4500 Stormtech Chambers					
Notes:					
A, B, & C are based on the NOAA Study for the 25-year Intensity Duration Curve					
$D = C / (12 \text{ inches/foot}) \times \text{total acreage of site} \times 43,560 \text{ s/acre} \times \text{run-off coefficient}$, where $Q = CIA$ and $V = CiA$					
E = an allowable release rate (0.2 cfs/acre) x total acreage of site x A x 60 sec.					
F = D - E to determine storage volume					

REVISIONS					
NO.	DATE	DESCRIPTION	BY	DESIGNED BY:	TGT
1	2/22/21	RED LINES	TT	DRAWN BY:	TT
2				CHECK BY:	TGT
3				DATE:	7/16/21
4				COGO FILE:	

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

SANTAQUIN, UTAH	SANTAQUIN ESTATES A RESIDENTIAL SUBDIVISION	GRADING/DRAINAGE	JOB FS HARMONY
			SHEET NO. 3

SITUATED IN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST,
AND THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 10 SOUTH, RANGE 2 EAST,
SALT LAKE BASE AND MERIDIAN, SANTAQUIN, UTAH

Domination Energy approves this plat solely for the purpose of confirming that the plat contains public utility easements. Domination Energy may require other easements in order to serve this development, this approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the Owners Dedication and the Notes and does not constitute a guarantee of particular terms of natural gas service. For further information please contact Domination Energy's right-of-way department at 1-800-366-8532

Dominion Energy

By: _____ Title: _____

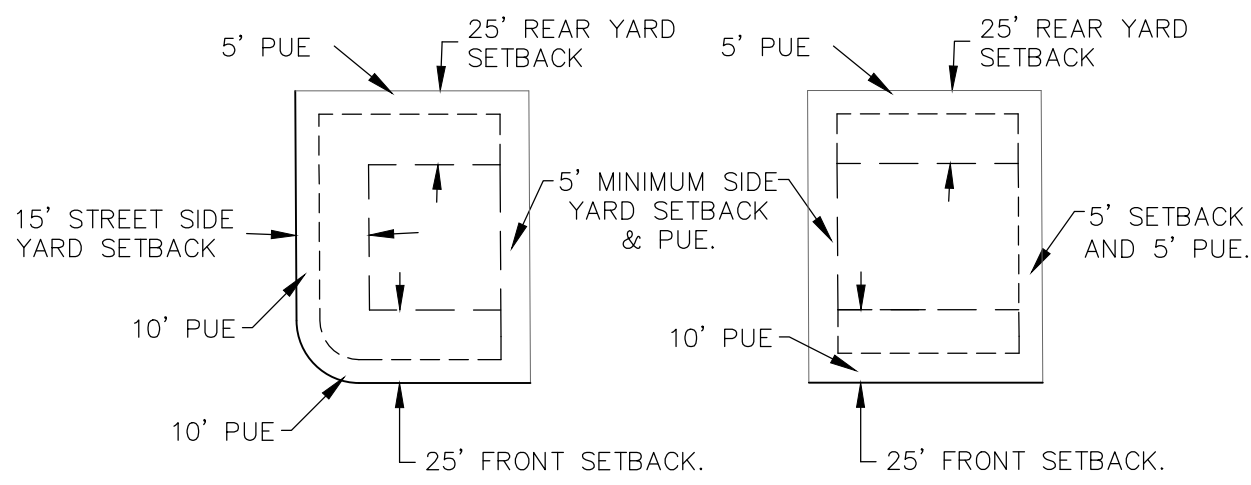
Pursuant to Utah Code Ann 54-3-27 this plat conveys to the owner(s) or operators of utility facilities a public utility easement along with all the rights and duties described therein.

Pursuant to Utah Code Ann 17-27a-603(4)(c)(ii) Rocky Mountain Power accepts delivery of the PUE as described in this plat and approves this plat solely for the purpose of confirming that the plat is consistent with the utility easements and approximately the location of public utility easements, but does not warrant their precise location. Rocky Mountain Power may require other easements in order to serve this development. This approval does not affect any right that Rocky Mountain Power has under.

- (1). A recorded easement of right of way
- (2). The law applicable to prescriptive rights
- (3). Title 54, Chapter 8a, Damage to Underground Utility Facilities
- (4). Any other provision of law

A horizontal number line is shown with tick marks at 0, 80, 140, and 220. The segment from 0 to 80 is shaded with a cross-hatch pattern. The segment from 80 to 140 is unshaded. The segment from 140 to 220 is shaded with a cross-hatch pattern.

SCALE: 1" = 80'



SETBACK AND EASEMENT DETAIL
-NTS-

FLAGSHIP HOMES
170 SOUTH INTERSTATE PLAZA SUITE 250
LEHI, UT 84043

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

I, TRAVIS TRANE, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD LICENSE NO. 5152741, IN ACCORDANCE WITH TITLE 58, CHAPTER 22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, A SURVEY WAS COMPLETED IN ACCORDANCE WITH SECTION 17-23-17. I FURTHER CERTIFY THAT I HAVE VERIFIED ALL MEASUREMENTS AND THAT MONUMENTS HAVE BEEN PLACED AS SHOWN ON THIS PLAT. I HEREBY STATE THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION, BELIEF AND IN MY PROFESSIONAL OPINION.

(SURVEYOR), P.L.S.

DATE _____

beginning at the West Quarter Corner of Section 6, Township 10 South, Range 2 East, Salt Lake Base and Meridian; thence South 89°18'00" East 658.47 feet to a rebar and cap #166405; thence South 00°02'31" East 288.75 feet; thence North 89°02'42" East 6.49 feet; thence South 00°05'50" East 1068.29 feet; thence West 666.47 feet; thence North 00°12'00" East 126.64 feet; thence East 2.50 feet; thence North 00°05'50" East 342.27 feet; thence South 89°59'56" West 277.32 feet; thence North 00°02'00" West 235.37 feet; thence West 378.10 feet; thence North 00°26'12" West 529.99 feet; thence North 89°15'34" West 1.46 feet; thence North 89°22'32" West 73.48 feet; thence South 89°14'32" East 2.95 feet; thence Southeasterly 91.79 feet along the arc of a 315 foot radius curve to the right, through a central angle of 16°41'45" the chord of which bears South 81°22'43" West 91.47 feet; thence South 73°01'51" East 42.07 feet; thence Southeasterly 110.72 feet along the arc of a 385 foot radius curve to the left, through a central angle of 16°28'39" the chord of which bears South 81°16'11" East 110.34 feet; thence South 89°30'30" East 368.24 feet; thence North 00°25'42" West 103.60 feet; thence South 89°18'00" East 29.48 feet to the point of beginning.

Parcel contains: 30.86 acres

Basis of Bearing: the line between the West Quarter Corner and the Southwest Corner of Section 6, Township 10 South, Range 2 East, Salt Lake Base and Meridian which bears South 00°05'50" East (NAD 27).

We, the undersigned owners of all the real property depicted on this plat and described in the surveyors certificate on this plat, have caused the land described on this plat to be divided into lots, streets, parks, open spaces, easements and other public uses as designated on the plat and now do hereby dedicate under the provisions of 10-9a-607, Utah Code, without condition, restriction or reservation to Santaquin City, Utah, all streets, water, sewer and utility easements, parks, open spaces, easements, parks and all other places of public use and enjoyment to Santaquin City, Utah together with all improvements required by the Development Agreement between the undersigned and Santaquin City for the benefit of the City on the inhabitants thereof.

OWNER(S):
PRINTED:

PRINTED

AUTHORIZED SIGNATURES

On the _____ day of _____, 20____, personally appeared before me the persons signing the foregoing Owners Dedication known to me to be authorized to execute the foregoing Owners Dedication for and on behalf of the owners who duly acknowledge to me that the Owners Dedication was executed by them on behalf of the Owners.

My Commission Expires

NOTARY PUBLIC SIGNATURE

COMMISSION NUMBER

PRINTED NAME OF NOTARY

The _____ of _____,
County of Utah, Approves this subdivision on hereby accepts the dedication of all
streets, easements, and other parcels of land intended for public purposes for the
perpetual use of the public this _____ day of _____, 20_____.

APPROVED MAYOR OF SANTAQUIN CITY

CITY ENGINEER
(See Seal Below)

(See Seal Below)

ATTEST BY CITY CLERK-RECORDER
(See Seal Below)

(See Seal Below)

PRELIMINARY PLAT

SANTAQUIN ESTATES

A RESIDENTIAL SUBDIVISION

SANTAQUIN _____ UTAH COUNTY, UTAH

SURVEYOR SEAL

NOTARY PUBLIC SEAL

CITY-COUNTY ENGINEER SEAL

CLERK-RECORDED SEAL