

2/2/2026
E:\3025 PROJECTS\SCENIC RIDGE PHASE 1\3-By Others\Scenic Ridge Lot 7 Plat Amendment.dwg



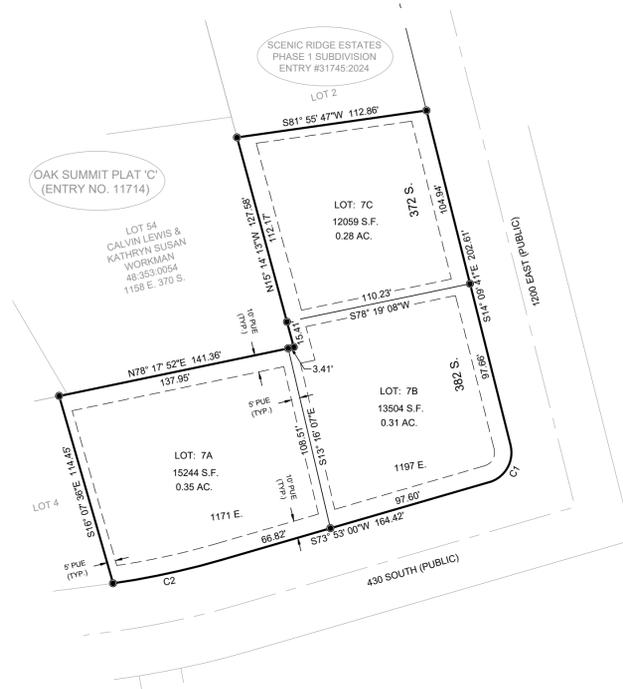
SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1 LOT 7 AMENDED AMENDING LOT 7 SCENIC RIDGE ESTATES PHASE 1 CREATING LOTS 7A, 7B & 7C

LOCATED IN THE:
SOUTHWEST QUARTER OF SECTION 6,
TOWNSHIP 10 SOUTH, RANGE 2 EAST
SALT LAKE BASE AND MERIDIAN,
SANTAQUIN CITY, UTAH COUNTY, UTAH

GENERAL PLAT NOTES

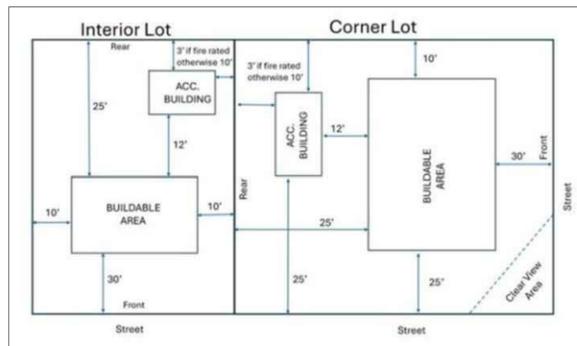
- A 10.00 FOOT WIDE PUBLIC UTILITY EASEMENT (P.U.E) IS CREATED ALONG THE FRONT OF EACH LOT AND 5.00 FOOT ALONG THE REAR AND INTERIOR SIDE YARD. PER THIS PLAT. EACH LOT ALONG A STREET REQUIRES A 10.00 FOOT WIDE FRONT AND SIDE YARD PUBLIC UTILITY EASEMENT.
- THE SCENIC RIDGE PHASE 1 SUBDIVISION ENTRY#31745:2024 BOUNDARY RECORDED IN THE UTAH COUNTY RECORDERS OFFICE. WAS ESTABLISHED FROM A COMPLETED RECORD OF SURVEY BY EPIC ENGINEERING, FILE NUMBER 22-003, AS FILED IN THE UTAH COUNTY SURVEYOR'S OFFICE. THIS PLAT AMENDMENT WAS ESTABLISHED USING THE SCENIC RIDGE PHASE 1 PLAT.
- ZONING: R-12 SETBACKS (BUILDABLE AREA) PER CODE 10.20.090: DETACHED SINGLE-FAMILY DEVELOPMENT STANDARDS: (TABLE)
- FRONT YARD- FRONT SETBACKS TO THE LIVING AREA FROM ALL STREET FRONTING PROPERTY LINES: 30.0 SIDE YARD - 10.0 FEET (25.0 FEET SIDE YARD) REAR YARD - 25.0 FEET. (SEE SHEET 2)
- AT THE TIME THAT THIS PLAT WAS PREPARED, THE PROPERTY OWNER WAS NJC DEVELOPMENT, LLC. PER WARRANTY DEED, ENTRY NUMBER 1477-2025, AS RECORDED IN THE UTAH COUNTY RECORDERS OFFICE, UTAH COUNTY PARCEL NUMBERS 32-040-0082, 32-040-0083.
- THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	27.66	18.00	88°02'41"	N29°51'39"E	25.02
C2	65.53	472.00	7°57'15"	N77°51'37"E	65.47



SUBDIVISION BOUNDARY DESCRIPTION

A PART OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 10 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, SANTAQUIN CITY, UTAH COUNTY, UTAH:
ALL OF LOT 7, SCENIC RIDGE ESTATES SUBDIVISION AS RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDERS OFFICE ENTRY NUMBER 31745-2024.



OWNER'S DEDICATION AND CONSENT TO RECORD

KNOWN ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER OF THE TRACT OF LAND SHOWN AND DESCRIBED ON THIS SUBDIVISION PLAT, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS AND EASEMENTS TO BE HEREAFTER KNOWN AS SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1 LOT 7 AMENDED AMENDING LOT 7 SCENIC RIDGE ESTATES PHASE 1, CREATING LOTS 7A, 7B & 7C. DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE.

AS WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND THIS ____ DAY OF _____, 20____, A.D.

BY: NJC DEVELOPMENT LLC. DATE
NEIL J. CRAIG

ACKNOWLEDGMENT

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 20____ BY _____ WHO REPRESENTED THAT (S)HE IS THE AUTHORIZED SIGNER FOR NJC DEVELOPMENT LLC. AND THE OWNER OF THE ABOVE DESCRIBED PROPERTY AND HAVE THE AUTHORITY TO EXECUTE THIS INSTRUMENT.

SIGNATURE OF NOTARY PUBLIC _____

PRINTED NAME OF NOTARY PUBLIC _____

RESIDING IN _____, UTAH
STATE OF UTAH } S.S.
COUNTY OF _____ }

MY COMMISSION EXPIRES: _____

MY COMMISSION NUMBER: _____ (NOTARY STAMP)

SURVEYOR'S CERTIFICATE

I, TRAVIS R. GOWER, EMPLOYED BY RIMROCK ENGINEERING AND DEVELOPMENT, CONTACT NUMBER, 801-837-0633, HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS LICENSING ACT AND THAT I HOLD CERTIFICATE NUMBER 6439364 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH AND BY THE AUTHORITY OF THE OWNER(S), I HAVE REVIEWED A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT, IN OCTOBER 2021, IN ACCORDANCE WITH A RECORD OF SURVEY PREPARED BY EPIC ENGINEERING, FILE NUMBER 22-003, AS FILED IN THE UTAH COUNTY SURVEYOR'S OFFICE AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND EASEMENTS, HEREAFTER TO BE KNOWN AS: SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1 LOT 7 AMENDED AMENDING LOT 7 SCENIC RIDGE ESTATES PHASE 1

PRELIMINARY

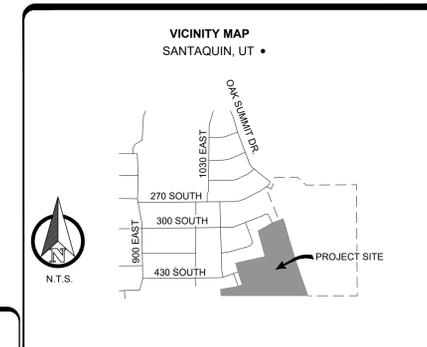
Travis R. Gower
TRAVIS R. GOWER
P.L.S. 6439364



February 2, 2026
DATE

PROPERTY OWNER/DEVELOPER
NJC DEVELOPMENT
978 E 430 S, SANTAQUIN
UTAH 84655

LEGEND	
SECTION CORNER (FOUND)	◆
SECTION LINE	— — — — —
BOUNDARY LINE	— — — — —
PARCEL LINE	— — — — —
SET MONUMENT (AS NOTED)	●
FOUND MONUMENT	⊙
CHAIN LINK FENCE	— o — o — o —
WIRE FENCE	— x — x — x —
EDGE OF ASPHALT	— — — — —



SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1
LOT 7 AMENDED, AMENDING LOT 7 SCENIC RIDGE ESTATES PHASE 1
SW 1/4 OF SEC 6, T10S, R2E, SLB&M
SANTAQUIN CITY, UTAH COUNTY, UTAH

PROJECT #:
RGC2413-07-01
DATE:
02/02/2026
DRAWN: AP
CHECKED: TG
SHEET NO.: 1 OF 1

ACCEPTANCE BY LEGISLATIVE BODY
THE CITY COUNCIL OF SANTAQUIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS ____ DAY OF _____, 2026.
APPROVED MAYOR OF SANTAQUIN _____ ENGINEER (SEE SEAL) _____
ATTEST - CLERK RECORDER (SEE SEAL) _____

CITY ENGINEER _____ (SEAL)
CLERK - RECORDER _____ (SEAL)

UTILITY APPROVAL
UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES, AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WHICH INTERFERES WITH THE USE OF THE PUE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.
ROCKY MOUNTAIN POWER: _____ DATE: _____
CETRACOM: _____ DATE: _____
CENTURY LINK: _____ DATE: _____

DOMINION ENERGY
DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES, AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WHICH INTERFERES WITH THE USE OF THE PUE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.
APPROVED THIS ____ DAY OF _____, 20____
DOMINION ENERGY
BY: _____
TITLE: _____

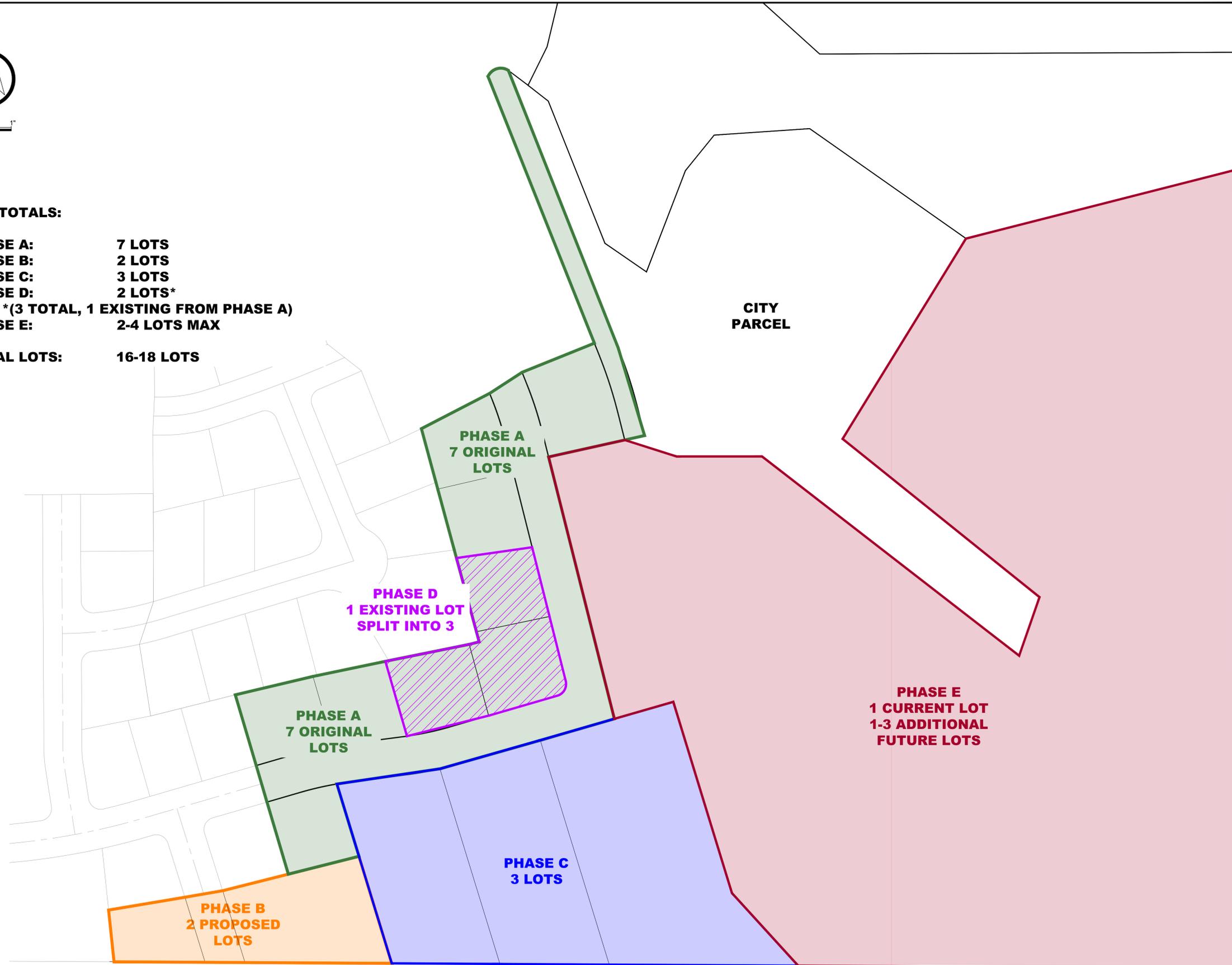
2/2/2026



0 1" = 70' 1"

LOT TOTALS:

PHASE A: 7 LOTS
PHASE B: 2 LOTS
PHASE C: 3 LOTS
PHASE D: 2 LOTS*
 *(3 TOTAL, 1 EXISTING FROM PHASE A)
PHASE E: 2-4 LOTS MAX
TOTAL LOTS: 16-18 LOTS



SHEET NOTES

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

SHEET LEGEND

PLAN REVISIONS



CAD TECH: CRS
 DESIGNER: CRS
 Q&A: JC

CALL BLUE STAKES PRIOR TO DIGGING

PROJECT NAME
SCENIC RIDGE ESTATES PHASE D

SHEET NAME
PHASING PLAN

PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26
 SHEET NUMBER 3

D:\TDP\1440\JOHN\Scenic_Ridge_Estates\Final\2025\WORK\AS\CD\PHASING_PLAN\PHASING_PLAN.dwg

2/2/2026



DENSITY TABLE		
ZONE	R-12	
LOTS	3 RESIDENTIAL	
TOTAL ACREAGE	0.94 +/-	100%
LOT ACREAGE	0.94 +/-	100%

NOTE:
SEE SHEET 2 FOR ROADWAY AND
RESIDENTIAL LOT INFORMATION



SHEET NOTES

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

SHEET LEGEND

PLAN REVISIONS

RIMROCK ENGINEERING & DEVELOPMENT

CAD TECH: CRS	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER: CRS	
Q&A: JC	

PROJECT NAME
SCENIC RIDGE ESTATES PHASE D

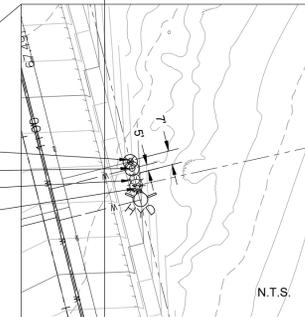
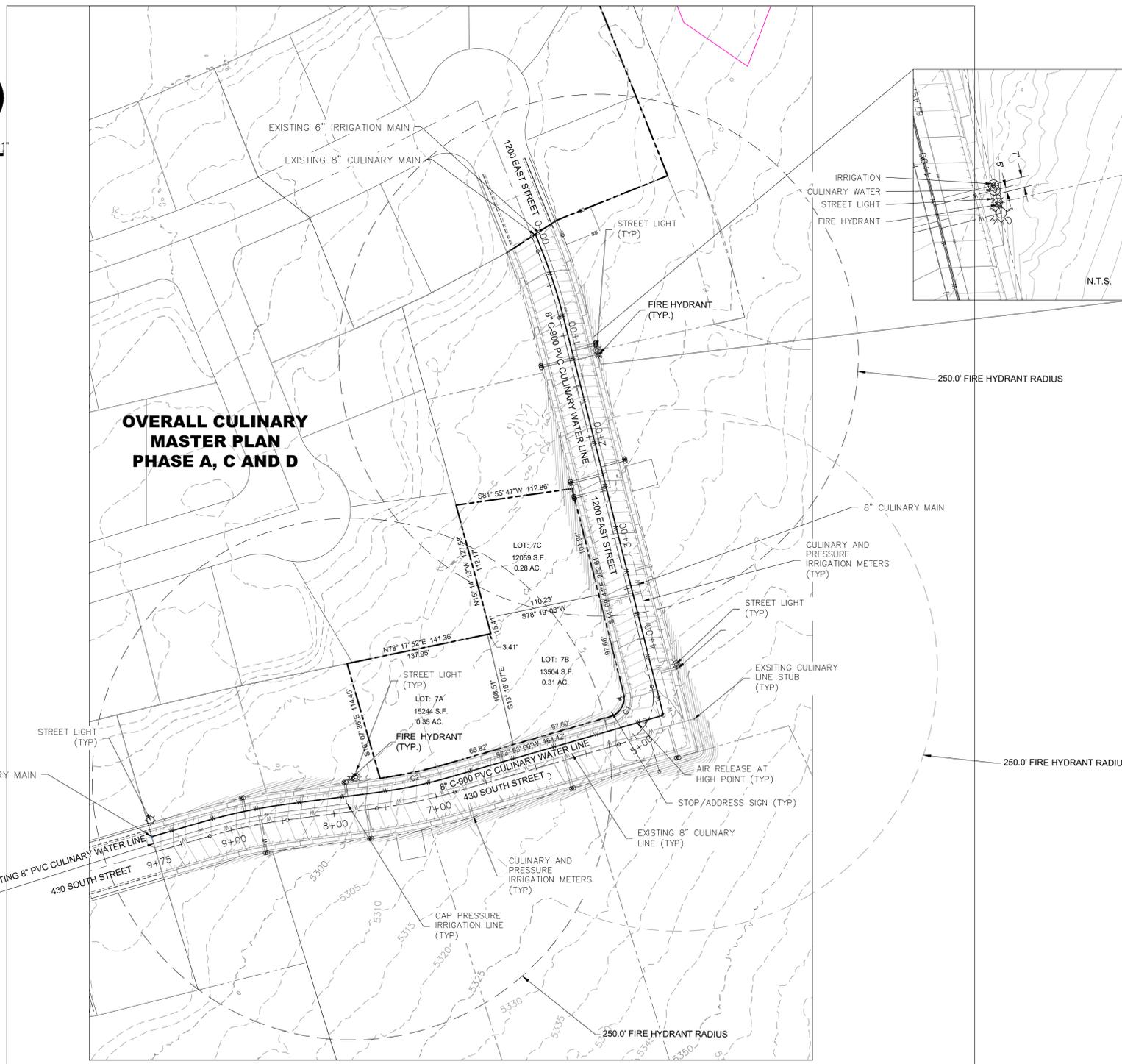
SHEET NAME
LOT LAYOUT

PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26 SHEET NUMBER **4**

C:\TEMP\4480_0816\Scenic_Ridge_Estates\Phase D\SCENIC RIDGE ESTATES PHASE D\SCENIC RIDGE ESTATES PHASE D.dwg

2/2/2026



OVERALL CULINARY MASTER PLAN PHASE A, C AND D

SHEET NOTES

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

SHEET LEGEND

- NEW CULINARY WATER — W — W —
- NEW PI WATER — — — — —
- FUTURE CULINARY WATER — W — W —

PLAN REVISIONS

NO.	DESCRIPTION



CAD TECH: CRS	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER: CRS	
Q&A: JC	

PROJECT NAME
SCENIC RIDGE ESTATES D

SHEET NAME
OVERALL CULINARY MASTER PLAN

PLAN SUBMITTAL: FINAL

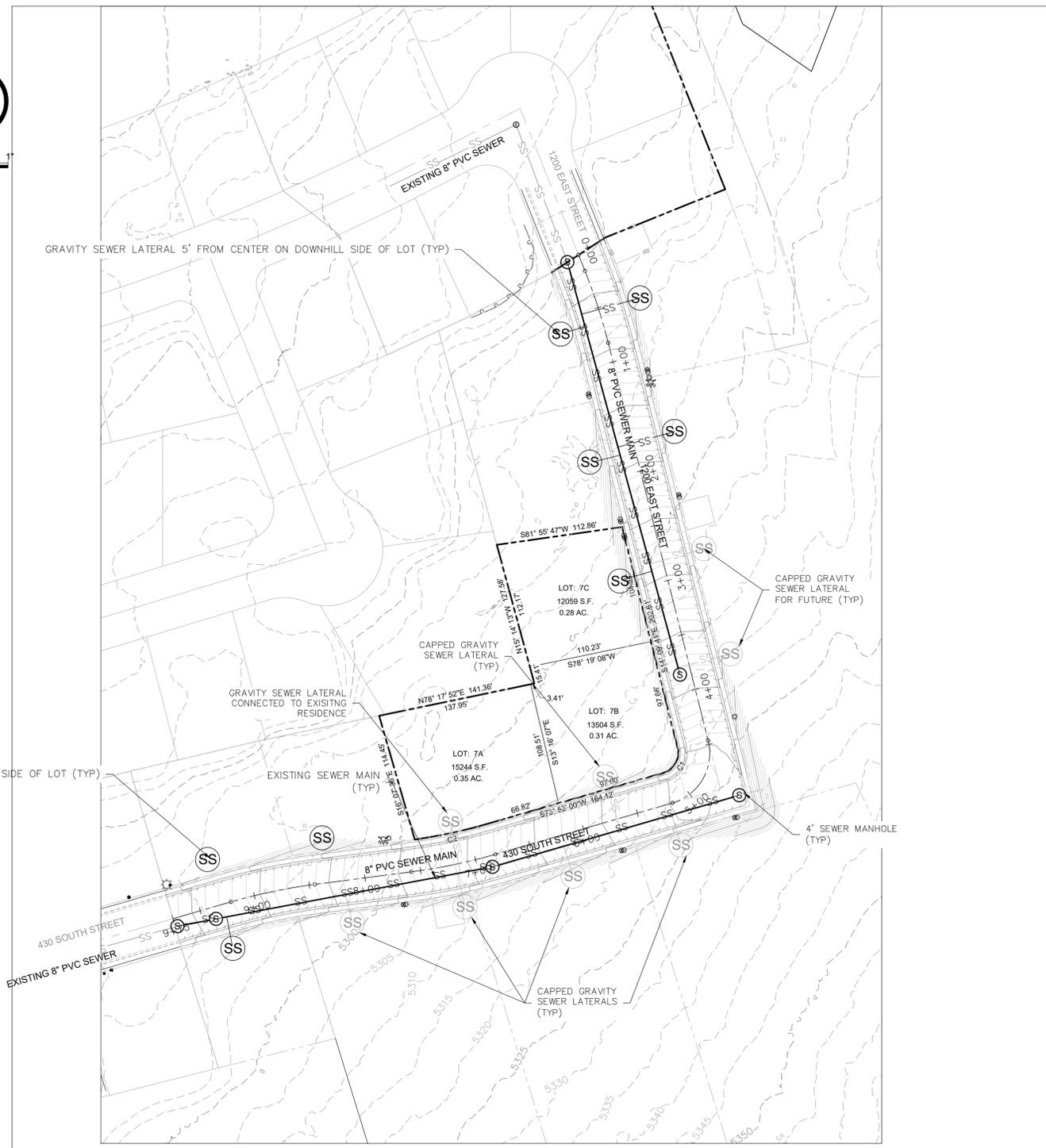
PERMIT SET 2/2/26 SHEET NUMBER **5**

LEGEND:

- EXISTING SINGLE WATER METER
- ⊗ EXISTING PRESSURE IRRIGATION METER
- ⊗ EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE

D:\TEMP\4480_0816\SCENIC RIDGE ESTATES D\SCENIC RIDGE PHASE D\DWG\SCENIC RIDGE PHASE D.dwg

2/2/2026



LEGEND:

- EXISTING GRAVITY SEWER SERVICE LATERAL
- GRAVITY SEWER SERVICE LATERAL CAPPED

SHEET NOTES

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

SHEET LEGEND

PLAN REVISIONS

RIMROCK ENGINEERING & DEVELOPMENT

CAD TECH: CRS	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER: CRS	
Q&A: JC	

PROJECT NAME
SCENIC RIDGE ESTATES D

SHEET NAME
SEWER MASTER PLAN

PLAN SUBMITTAL: FINAL

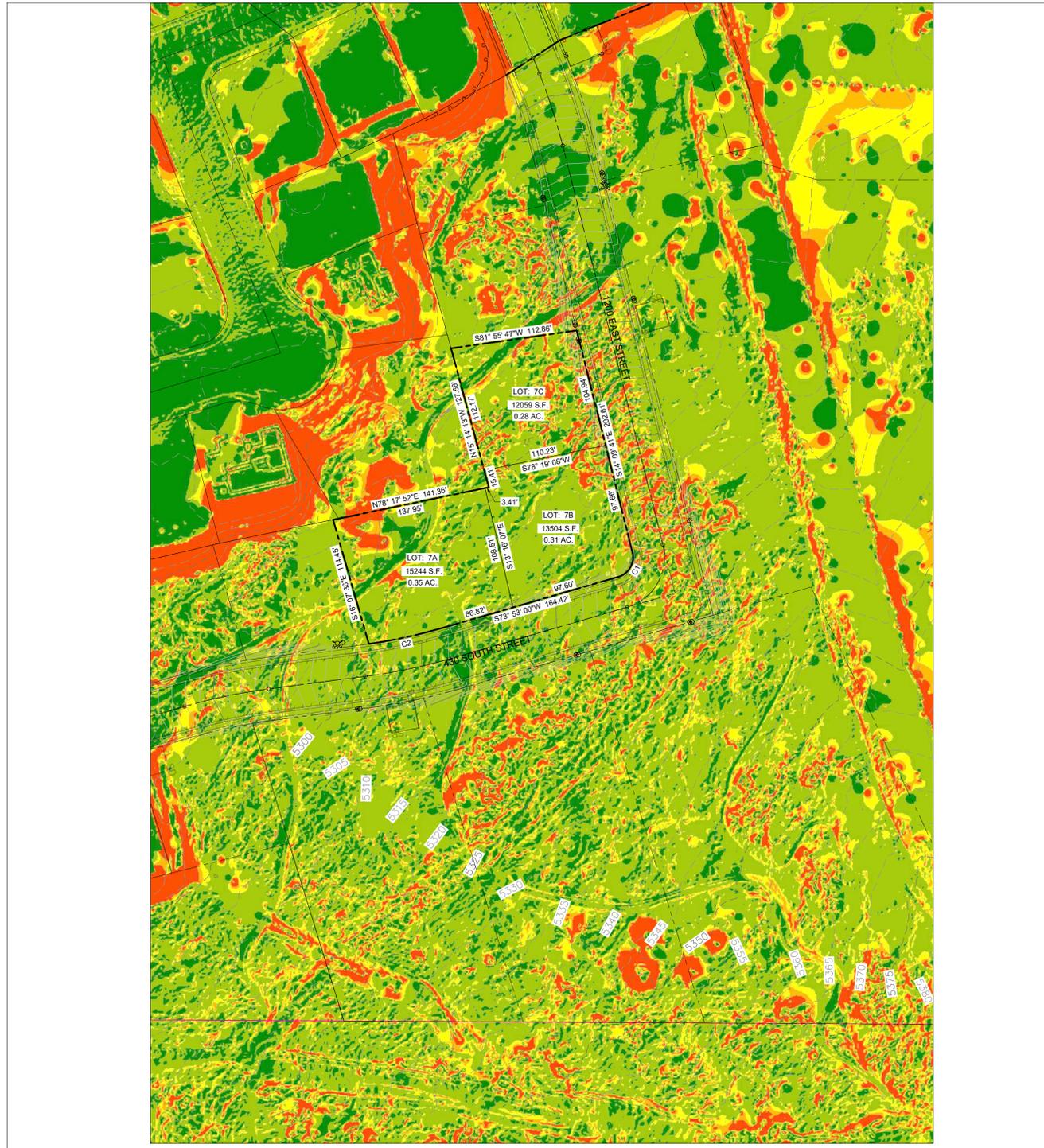
PERMIT SET 2/2/26 SHEET NUMBER **6**

D:\TEMP\4480_0816\Scenic_Ridge_EstatesD\Final\2025_WORK\M.C. SCENIC RIDGE PHASE D\DWG\Scenic_Ridge_Phase D.dwg



SLOPE TABLE

	0 - 10
	10 - 20
	20 - 25
	25 - 30
	30+



SHEET NOTES

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

SHEET LEGEND

PLAN REVISIONS

RIMROCK ENGINEERING & DEVELOPMENT

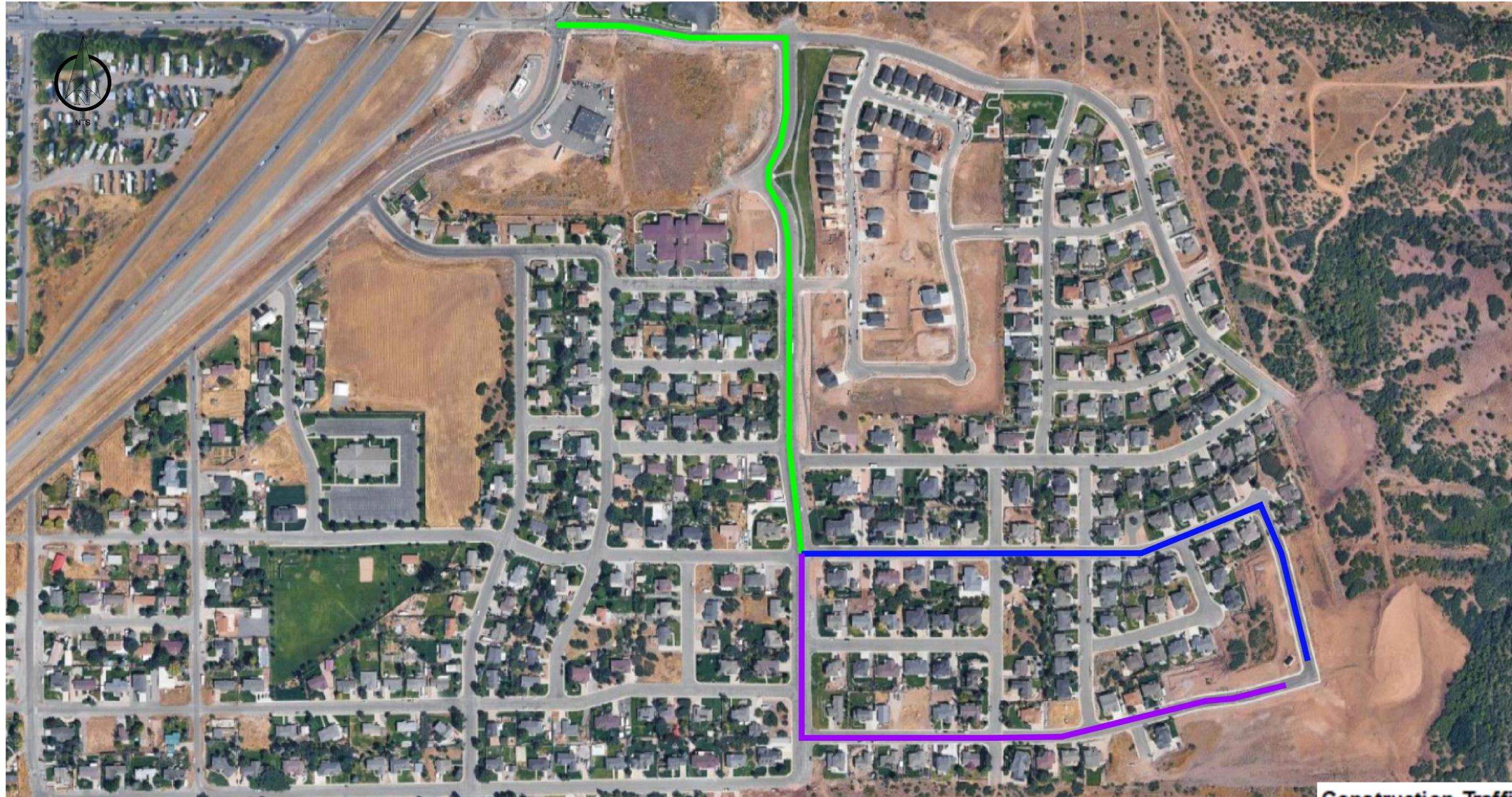
CAD TECH: CRS	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER: CRS	
Q&A: JC	

PROJECT NAME
SCENIC RIDGE ESTATES D

SHEET NAME
OVERALL SLOPE MAP

PLAN SUBMITAL: FINAL

PERMIT SET 2/2/26 SHEET NUMBER **8**



Construction Traffic

- Main Flow
- 50% of Traffic
- 50% of Traffic

SHEET NOTES

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

SHEET LEGEND

PLAN REVISIONS

RIMROCK ENGINEERING & DEVELOPMENT

CAD TECH: CRS	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER: CRS	
Q&A: JC	

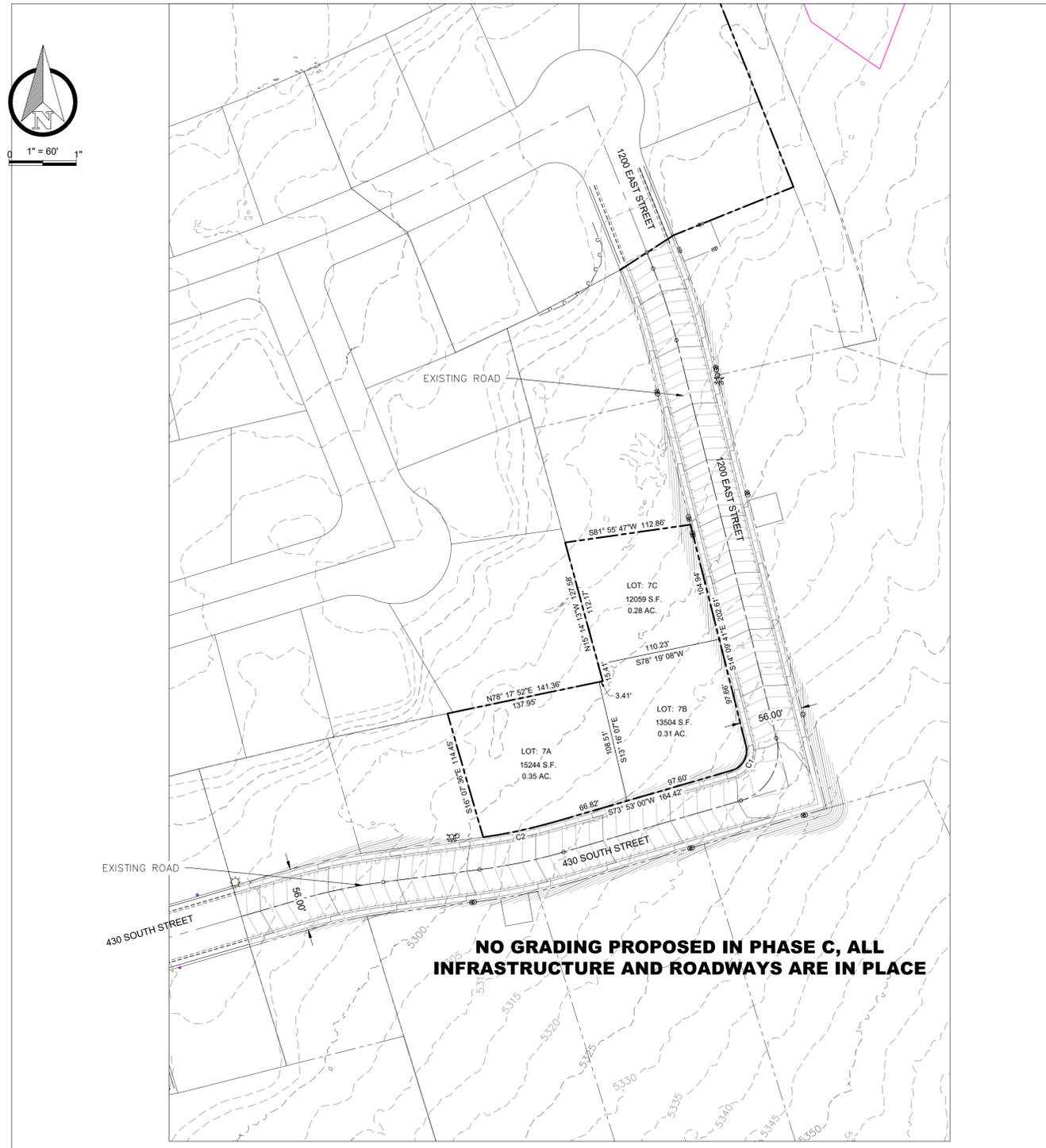
PROJECT NAME
SCENIC RIDGE ESTATES D

SHEET NAME
CONSTRUCTION TRAFFIC MAP

PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26	SHEET NUMBER 9
----------------------	--------------------------

2/2/2026



SHEET NOTES

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

SHEET LEGEND

PLAN REVISIONS

CAD TECH:	CRS	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER:	CRS	
Q&A:	JC	

PROJECT NAME
SCENIC RIDGE ESTATES D

SHEET NAME
OVERALL GRADING PLAN

PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26 SHEET NUMBER **10**

C:\TEMP\4480_0816\Scenic_Ridge_Estates\Phase_D\SCENIC RIDGE PHASE D\DWG\Scenic_Ridge_Phase_D.dwg

2/2/2026

ROADWAY AND INFRASTRUCTURE INSTALLED DURING PHASE A

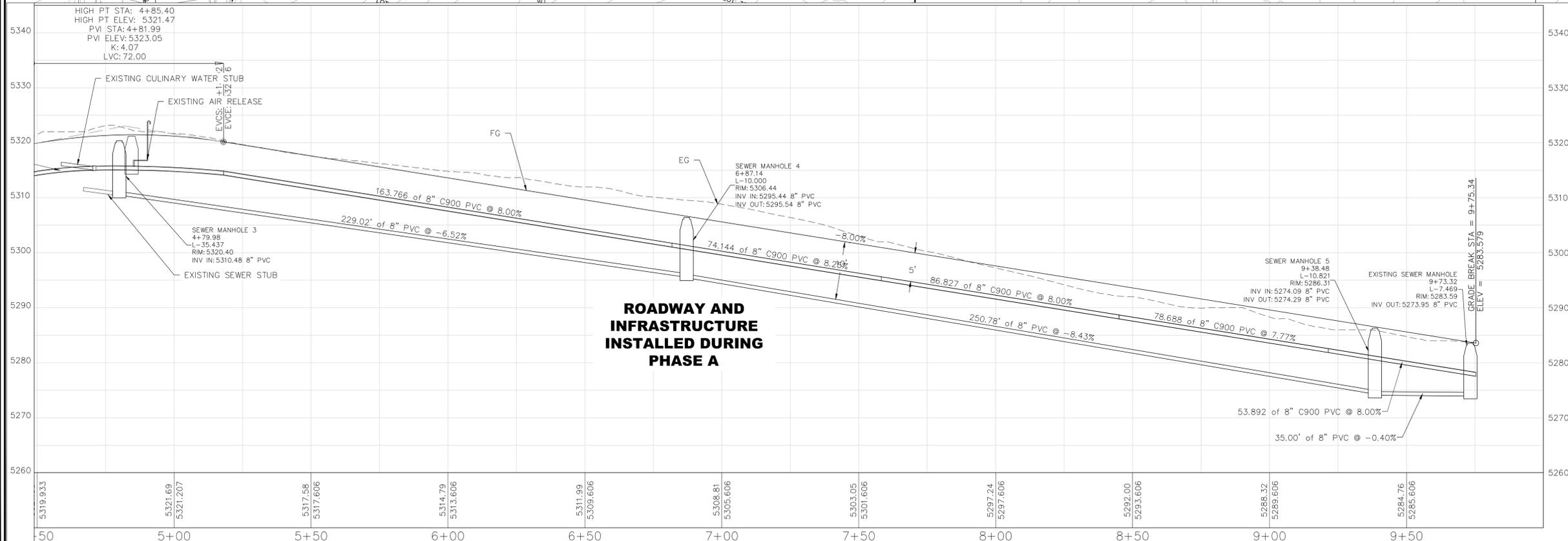
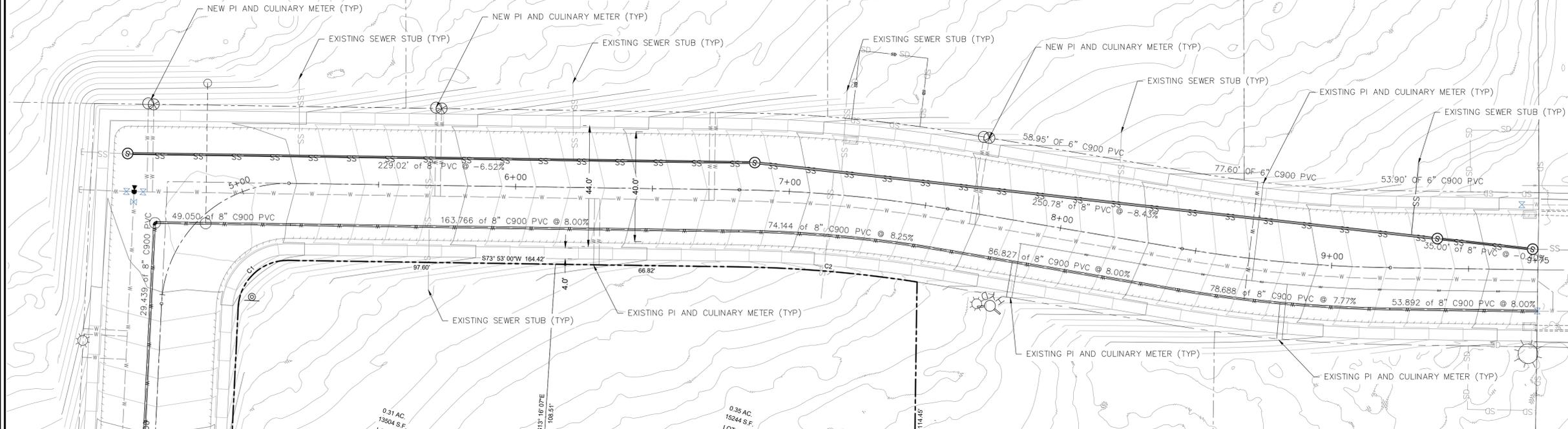


SHEET NOTES

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

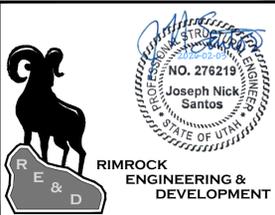
SHEET LEGEND

NEW CULINARY WATER	— W — W —
FUTURE CULINARY WATER	— W — W —
NEW PI WATER	— W — W —
EXISTING PI WATER	— W — W —
NEW SEWER LINE	— SS — SS —
EXISTING SEWER LINE	— SS — SS —



ROADWAY AND INFRASTRUCTURE INSTALLED DURING PHASE A

PLAN REVISIONS



CAD TECH: CRS
 DESIGNER: CRS
 Q&A: JC

CALL BLUE STAKES PRIOR TO DIGGING

PROJECT NAME
SCENIC RIDGE ESTATES D

SHEET NAME
PLAN AND PROFILE

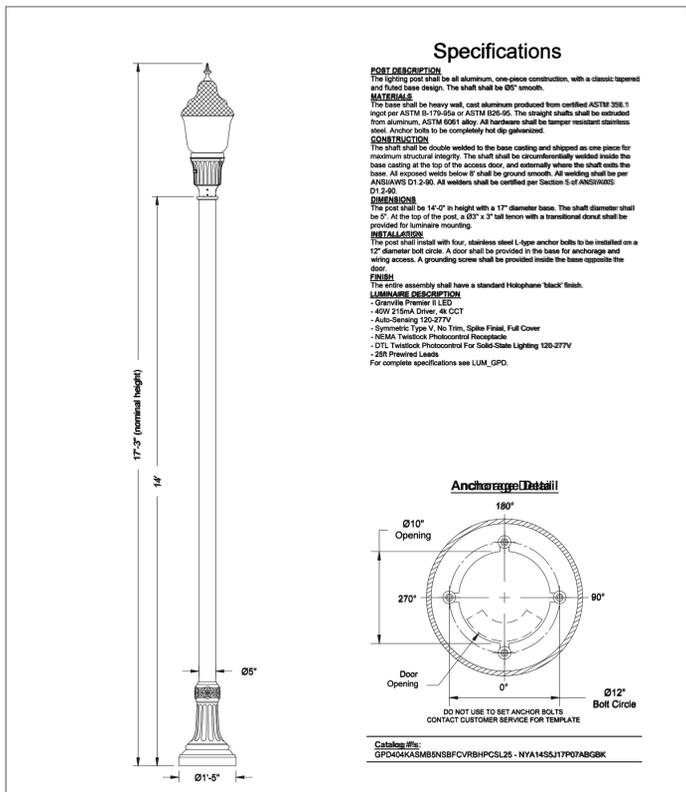
PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26

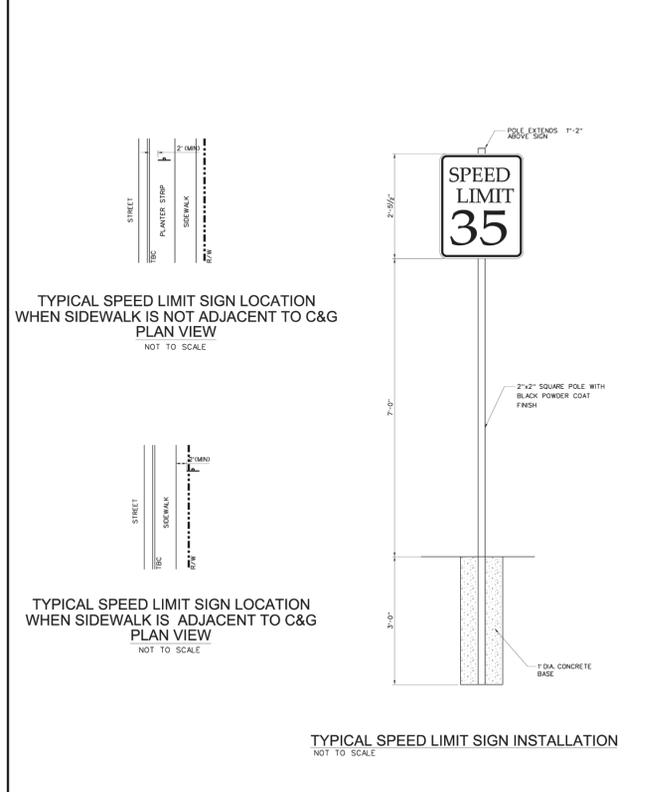
SHEET NUMBER
12

© 2026 H&B, ENGINEERS, PLLC. RIMROCK ENGINEERING & DEVELOPMENT, INC. ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF H&B, ENGINEERS, PLLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF H&B, ENGINEERS, PLLC IS STRICTLY PROHIBITED.

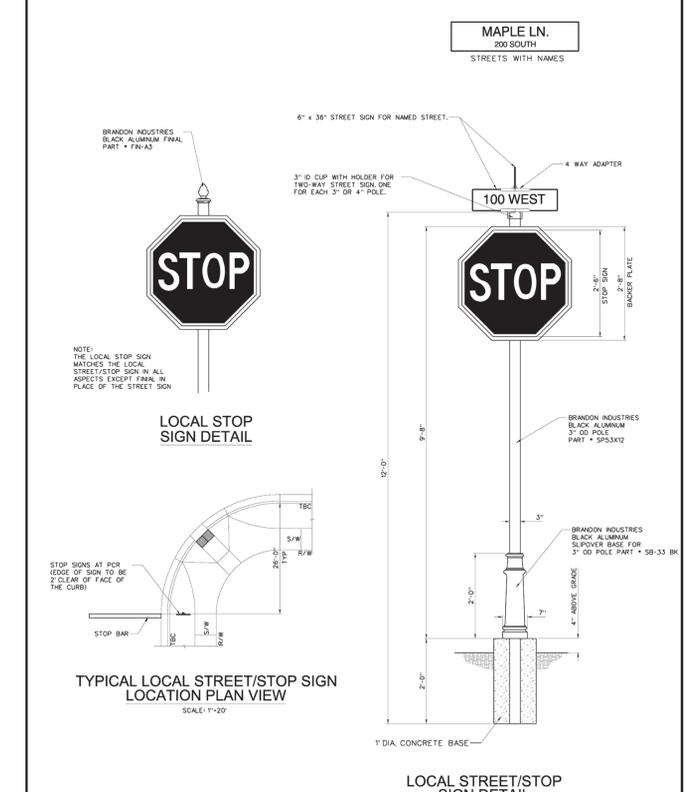
12/2/2021



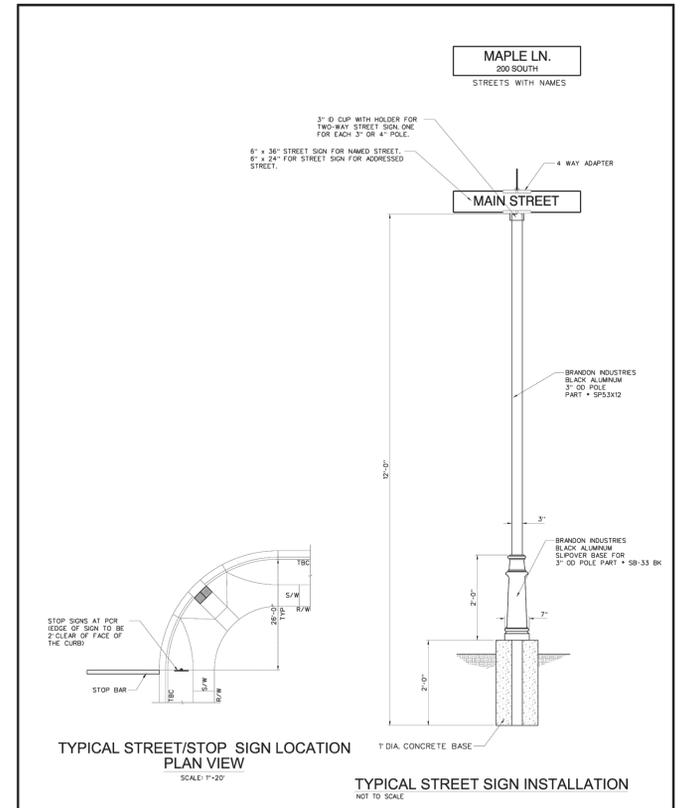
STATEMENT OF WORK	LOCAL AND COLLECTOR STREET LIGHTING DETAILS	ST1
REVISION	SANTAQUIN CITY 275 WEST MAIN STREET	ADOPTED DATE: 19 - OCT - 15



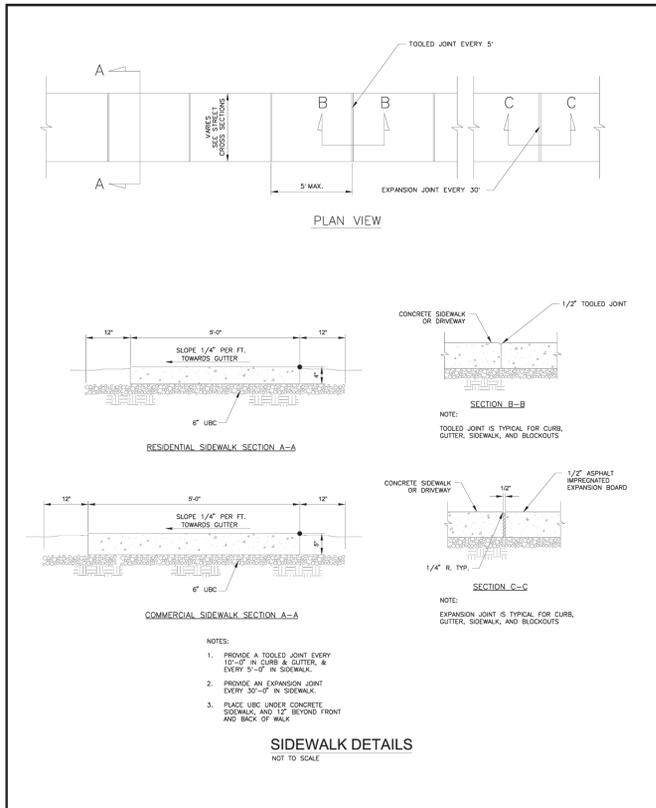
STATEMENT OF WORK	TYPICAL SPEED LIMIT SIGN DETAIL	ST10
REVISION	SANTAQUIN CITY 275 WEST MAIN STREET	ADOPTED DATE: 19 - OCT - 15



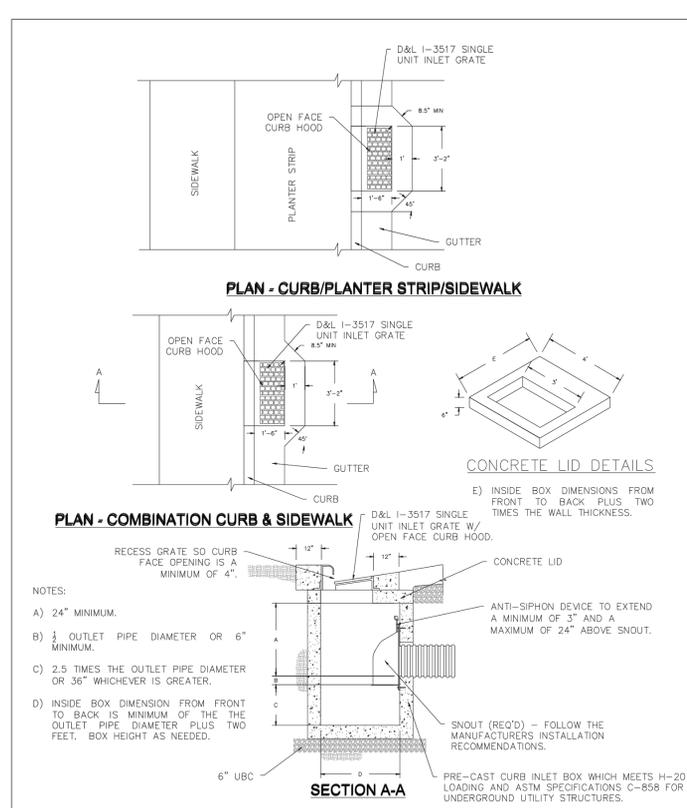
STATEMENT OF WORK	LOCAL STREET/STOP SIGN DETAIL	ST17
REVISION	SANTAQUIN CITY 275 WEST MAIN STREET	ADOPTED DATE: 19 - OCT - 15



STATEMENT OF WORK	TYPICAL STREET SIGN DETAIL (NO STOP SIGN)	ST9
REVISION	SANTAQUIN CITY 275 WEST MAIN STREET	ADOPTED DATE: 19 - OCT - 15



STATEMENT OF WORK	SIDEWALK DETAILS	CG5
REVISION	SANTAQUIN CITY 275 WEST MAIN STREET	ADOPTED DATE: 19 - OCT - 15



STATEMENT OF WORK	CURB INLET BOX ASSEMBLY	SD1
REVISION	SANTAQUIN CITY 275 WEST MAIN STREET	ADOPTED DATE: 19 - OCT - 15

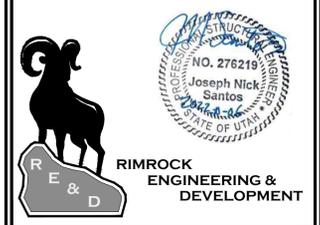
SHEET NOTES

1.

SHEET LEGEND

PLAN REVISIONS

A.	
----	--



CAD TECH:	JRC	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER:	JRC	
Q&A:	DSE	

PROJECT NAME
SCENIC RIDGE ESTATES

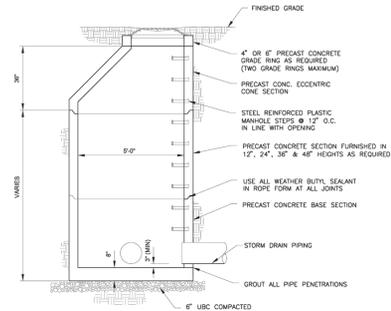
SHEET NAME
DETAILS

PLAN SUBMITTAL: FINAL

REVIEW SET
10/5/2022

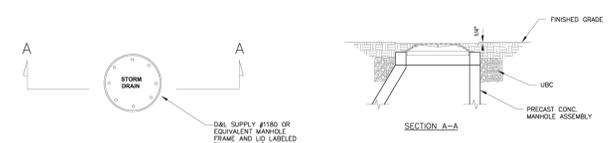
SHEET NUMBER
14

10/5/2022



- NOTES:
1. FLAT LIDS MAY BE USED IN LIEU OF ECCENTRIC CONES WHERE NECESSARY, AND UPON APPROVAL OF THE CITY ENGINEER. FLAT LIDS SHALL BE OF ECCENTRIC DESIGN AND MEET FHD LIVE LOADING.
 2. MANHOLE RIMS PLACED IN FIELDS SHALL HAVE SOLID LIDS.

TYPICAL STORM DRAIN MANHOLE
NOT TO SCALE

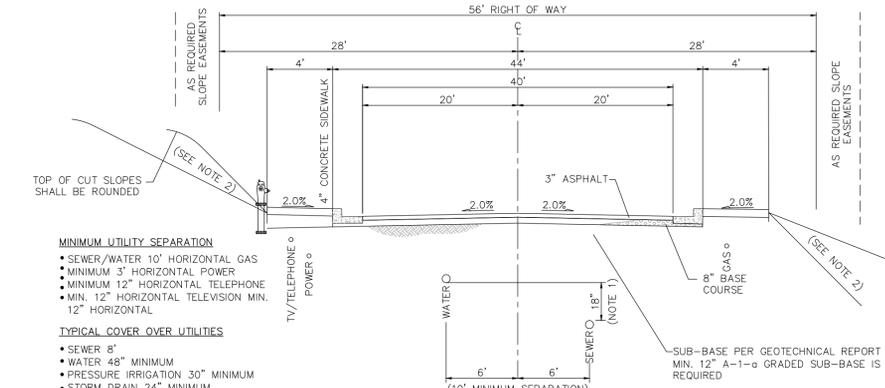


- NOTE:
1. NO COLLARS (CONCRETE NOR ASPHALT) ARE TO BE USED ON MANHOLES WITH SANTAQUIN CITY FROM USE OF D & L SUPPLY MANHOLE ADAPTER RINGS (ORSEKRS) TO SET RING AND COVER TO FINISH GRADE.
 2. EXCAVATIONS FOR MANHOLE ADAPTER RINGS (ORSEKRS) SHALL HAVE VERTICAL SIDE WALLS.
 3. FINISH RING AND COVER 1/4\"/>

MANHOLE RING & COVER
NOT TO SCALE



STATEMENT OF WORK		SD2	
TYPICAL STORM DRAIN MANHOLE & MANHOLE RING & COVER		SANTAQUIN CITY	
SANTAQUIN CITY		275 WEST MAIN STREET	
DATE:	10/5/2022	SCALE:	AS SHOWN
DESIGNED BY:	JRC	CHECKED BY:	JRC
DRAWN BY:	JRC	DATE:	10/5/2022



- MINIMUM UTILITY SEPARATION**
- SEWER/WATER 10' HORIZONTAL GAS
 - MINIMUM 3' HORIZONTAL POWER
 - MINIMUM 12" HORIZONTAL TELEPHONE
 - MIN. 12" HORIZONTAL TELEVISION MIN. 12" HORIZONTAL
- TYPICAL COVER OVER UTILITIES**
- SEWER 8"
 - WATER 48" MINIMUM
 - PRESSURE IRRIGATION 30" MINIMUM
 - STORM DRAIN 24" MINIMUM
 - GAS 30"
 - POWER 40"
 - TELEPHONE 24"
 - TELEVISION 24"

- GENERAL NOTES**
- 1) 18" MINIMUM VERTICAL CLEARANCE, 10' SEPERATION REQUIRED EXCEPT AT CROSSING LOCATIONS.
 - 2) CUT/FILL SLOPES ARE 3(H):1(V) BELOW A HEIGHT OF 5 FEET AND 2(H):1(V) ABOVE A HEIGHT OF 5 FEET AND SHALL BE PROTECTED WITH AMERICAN GREEN C-350 MATTING, OR APPROVED EQUAL.

ROADWAY CROSS SECTION DETAIL TO MATCH EXISTING AT TIE-IN LOCATIONS

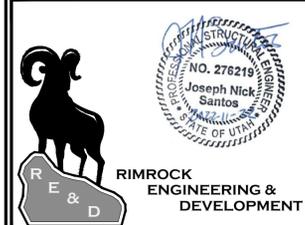
SHEET NOTES

1.

SHEET LEGEND

PLAN REVISIONS

A.	



CAD TECH:	JRC	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER:	JRC	
Q&A:	DSE	

PROJECT NAME
SCENIC RIDGE ESTATES

SHEET NAME
DETAILS

PLAN SUBMITTAL: FINAL

REVIEW SET 10/5/2022	SHEET NUMBER 15
-------------------------	--------------------

2/2/2026



SHEET NOTES

- 1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS.
- 2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

SHEET LEGEND

PLAN REVISIONS

RIMROCK ENGINEERING & DEVELOPMENT

CAD TECH:	CRS	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER:	CRS	
Q&A:	JC	

PROJECT NAME
SCENIC RIDGE ESTATES D

SHEET NAME
EROSION CONTROL PLAN

PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26	SHEET NUMBER 16
----------------------	---------------------------

C:\TEMP\4480_0816\Scenic_Ridge_Estates\Plan\2025\WORK\M.C. SCENIC RIDGE PHASE D\DWG\Scenic_Ridge_Phase D.dwg