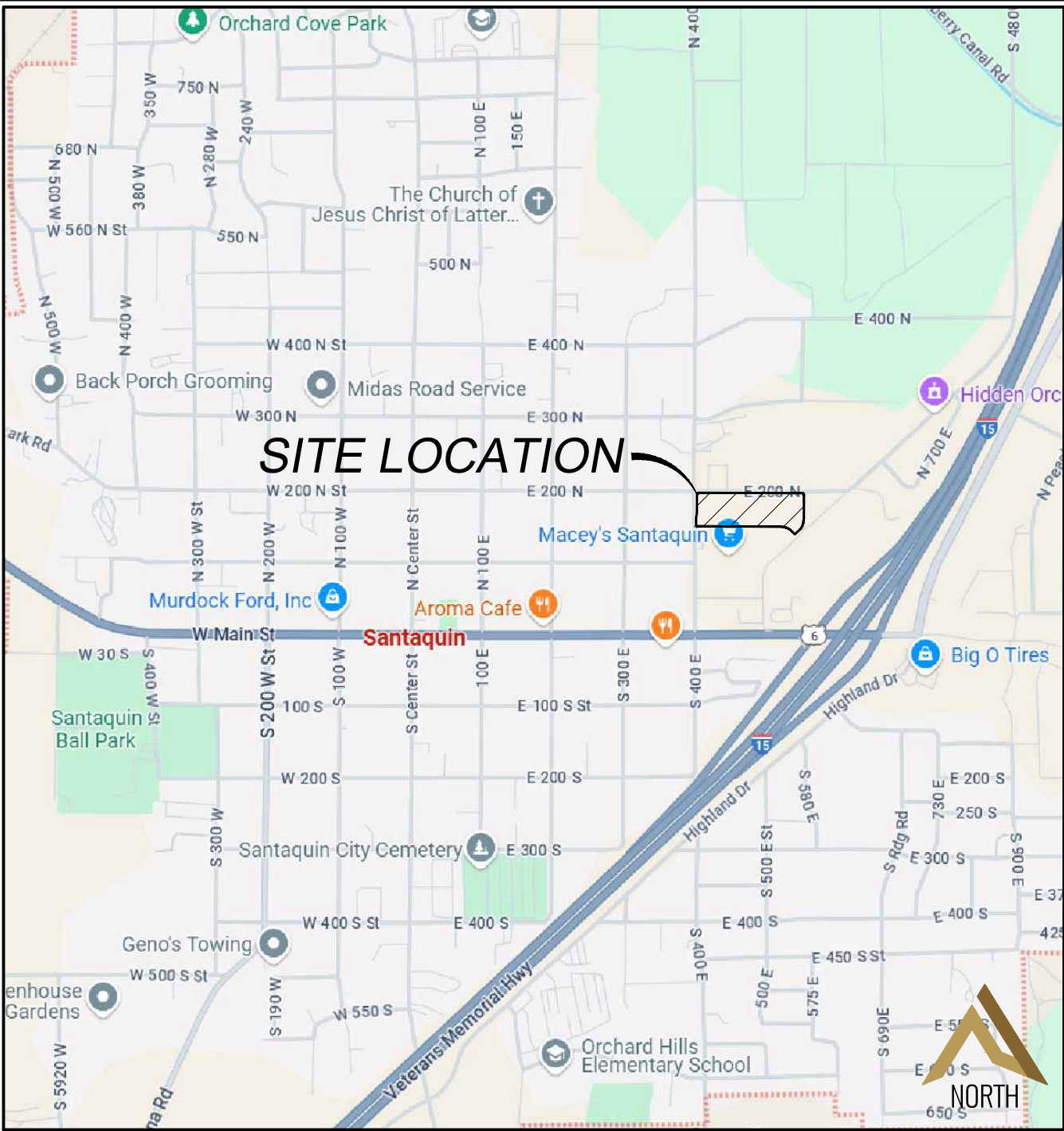


CORTLAND TOWNHOMES
A RESIDENTIAL SUBDIVISION
SANTAQUIN, UTAH COUNTY, UTAH
PRELIMINARY PLAN SET
MAY 2025

CONTRACTOR NOTE:
THE SIZE, ELEVATION, & LOCATIONS OF EXISTING IMPROVEMENTS AND UTILITIES SHOWN HEREON ARE ASSUMED AND APPROXIMATELY SHOWN BASED UPON THE FIELD DATA FROM THE SURVEY. ALL SIZES, LOCATIONS & ELEVATIONS ARE TO BE VERIFIED. IF THERE ARE DIFFERENCES OR DISCREPANCIES, ATLAS ENGINEERING, LLC NEEDS TO BE NOTIFIED BEFORE CONSTRUCTION. ATLAS ENGINEERING, LLC WILL NOT BE LIABLE OR RESPONSIBLE FOR REMOVAL, CONSTRUCTION, OR INSTALLATION OF IMPROVEMENTS THAT ARE NOT IN ACCORDANCE WITH THESE PLANS. ANY AND ALL CHANGES OR VARIATIONS IN THE REMOVAL, CONSTRUCTION OR INSTALLATION OF THE IMPROVEMENTS MADE WITHOUT THE APPROVAL OF THE DESIGNER WILL RESULT IN SOLE LIABILITY TO THE CONTRACTOR. IN ADDITION, ATLAS ENGINEERING, LLC ASSUMES NO RESPONSIBILITY FOR ANY AND ALL EXISTING UTILITIES NOT SHOWN ON THIS PLAN AND ASSUMES NO LIABILITY FOR FAILURE TO EXACTLY LOCATE ALL EXISTING UTILITIES, SHOULD THERE BE INCIDENT.

BOUNDARY DESCRIPTION:
BEGINNING AT A POINT ON THE EASTERLY LINE OF 400 EAST STREET LOCATED S00°30'42" E 1737.86 FEET ALONG THE QUARTER SECTION LINE AND S°89°29'04" 29.85 FEET FROM THE NORTH QUARTER CORNER OF SAID SECTION 1; AND RUNNING THENCE S89°29'04"E 666.49 FEET; THENCE SOUTHEASTERLY 94.95 FEET ALONG THE ARC OF A 115.00 FOOT RADIUS CURVE TO THE RIGHT THROUGH THE CENTRAL ANGLE OF 47°18'24", THE CHORD BEARS S65°49'52"E 92.28 FEET; THENCE S42°10'40"E 27.48 FEET; THENCE N47°49'42"E 67.30 FEET; THENCE ALONG THE FUTURE STREET RIGHT-OF-WAY LINES THE FOLLOWING NINE (9) COURSES TO WIT: (1) NORTHEASTERLY 85.97 FEET ALONG THE ARC OF A 171.00 FOOT RADIUS CURVE TO THE LEFT THROUGH THE CENTRAL ANGLE OF 28°48'16", THE CHORD BEARS N14°37'55"E 85.06 FEET, (2) N00°13'47"E 181.28 FEET, (3) ALONG THE ARC OF A NORTHWESTERLY 18.65 FEET ALONG THE ARC OF A 12.00 FOOT RADIUS CURVE TO THE LEFT THROUGH THE CENTRAL ANGLE OF 90°00'00", THE CHORD BEARS N44°46'13"W 16.97 FEET, (4) N89°46'13"W 432.01 FEET, (5) N89°51'46"W 376.98 FEET, (6) SOUTHWESTERLY 18.77 FEET ALONG THE ARC OF A 12:00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 89°37'17", THE CHORD BEARS S45°19'35"W 16.91 FEET, (7) S00°30'56"W 139.43 FEET, (8) S06°47'35"W 54.87 FEET, (9) S00°30'56"W 53.50 FEET TO THE POINT OF BEGINNING. CONTAINING 5.10 ACRES.



VICINITY MAP
-NTS-

-SHEET INDEX-

SHEET	SHEET NAME
1	COVER & INDEX
2	SITE PLAN
3	GRADING PLAN
4	FINAL PLAT
5	EXISTING TOPOGRAPHY PLAN
6	FIRE ACCESS/ OPEN SPACE PLAN
7	PHASING PLAN
DT-01	DETAIL SHEET

ENGINEER/SURVEYOR CONTACT INFO:
ATLAS ENGINEERING LLC
(801) 655-0566
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

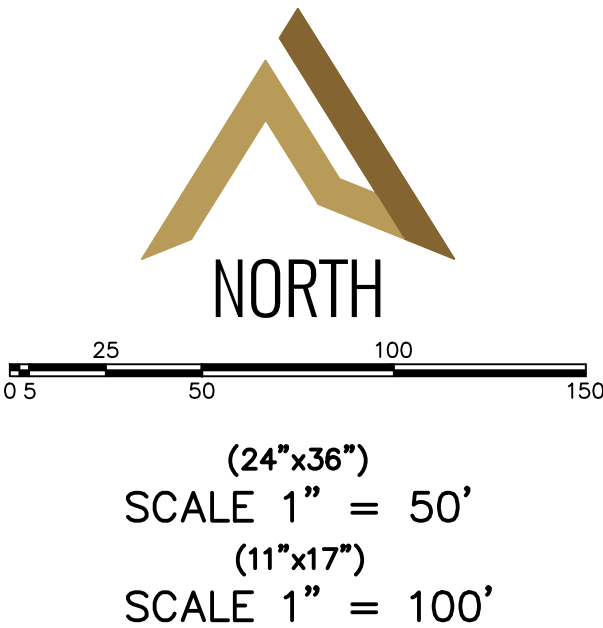
OWNER/DEVELOPER
JIMMY DEGRAFFENRIED
WOODLAND HILLS, UTAH
801-830-5490

DATA TABLE
ZONING CLASSIFICATION=MSR
NUMBER OF UNITS=92
ACREAGE=5.10 ACRES
ACREAGE TO BE DEDICATED FOR STREET ROW=0 SF
PARCEL SIZE SF=220
PARKING UNITS 1-5 REQUIRED=15
PARKING UNITS 6-10 REQUIRED=13.75
PARKING UNITS 11-15 REQUIRED=12.5
PARKING UNITS 16-92 REQUIRED=173.25
TOTAL PARKING REQUIRED=215
PARKING PROVIDED=218
BUILDING AREA SF=92x509.33=46,859
PARKING LOT AREA SF=84,000
LANDSCAPE AREA IN SF=91,297 (41%)

LEGEND

(APPLIES TO ALL SHEETS)

+	EXISTING POWER POLE
*	PROPOSED STREET LIGHT
⊕	EXISTING FIRE HYDRANT
⊗	EXISTING WATER VALVE
☆	EXISTING STREET LIGHT
⬇	EXISTING SIGN
⬆	PROPOSED FIRE HYDRANT
⊗	PROPOSED WATER VALVE
---	PROPERTY BOUNDARY
- - -	CENTERLINE
---	RIGHT-OF-WAY LINE
---	LOT LINE
---	SECTION LINE
---	EASEMENT
---	EXISTING DEED LINE
---	EDGE OF PAVEMENT
---	EXISTING OVER HEAD POWER
---	EXISTING FENCE LINE
---	EXISTING SANITARY SEWER W/MANHOLE
---	EXISTING STORM DRAIN W/MH
---	EXISTING WATER
---	EXISTING PRESSURIZED IRRIGATION
---	PROPOSED SEWER
---	PROPOSED STORM DRAIN
---	PROPOSED CULINARY WATER
---	PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
---	PROPOSED ASPHALT
---	PROPOSED CONCRETE/CURB & GUTTER
---	REVERSE LIP CURB



CORTLAND TOWNHOMES

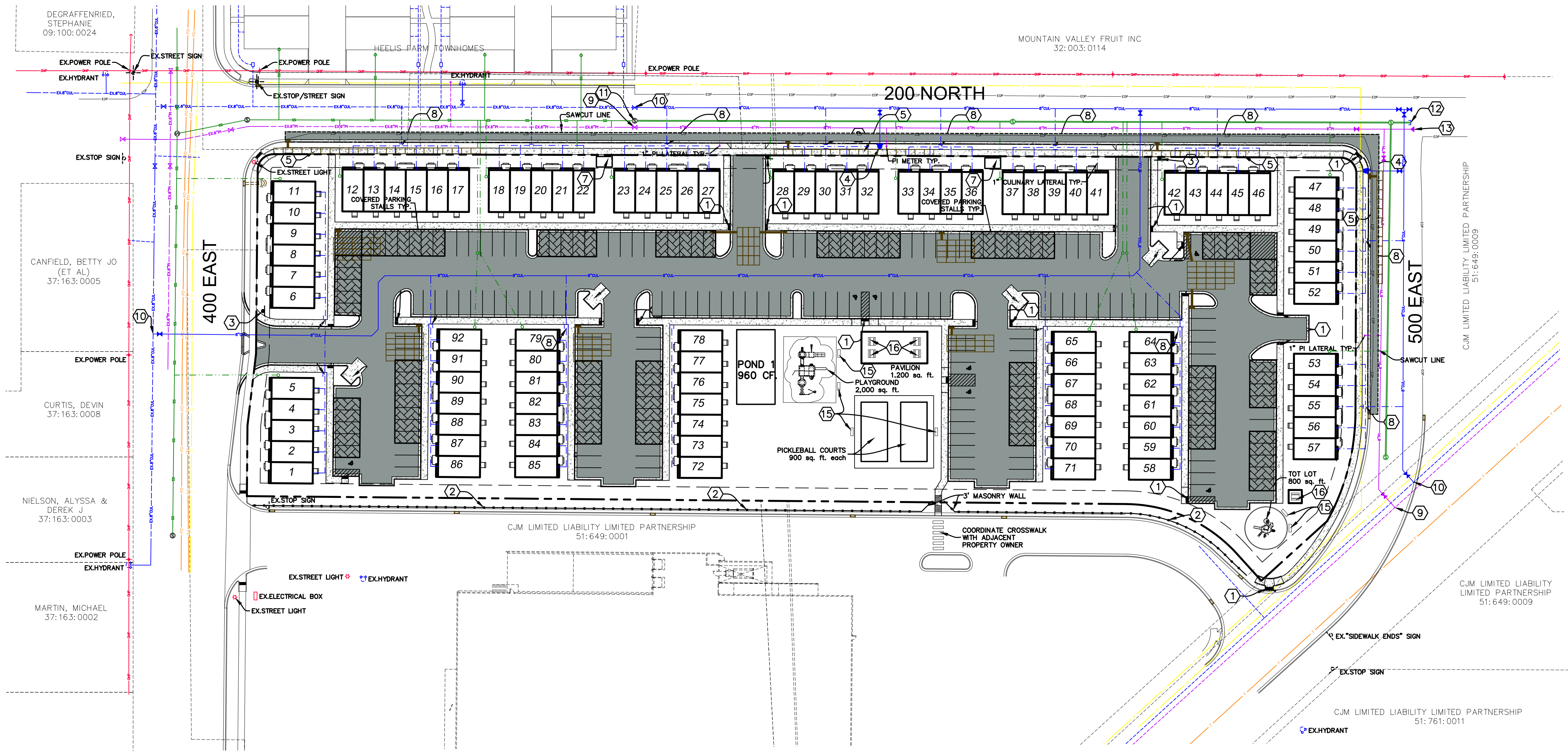


ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY

PHONE: 801-655-0566
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

GENERAL NOTES:

1. ALL RECOMMENDATIONS MADE IN THE GEOTECHNICAL REPORT/ STUDY BY GSH GEOTECHNICAL, INC., JOB NUMBER 2588-001-18, DATED APRIL 26, 2018 SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
2. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCE AND STANDARDS.



CONSTRUCTION NOTES

1. INSTALL ADA RAMP PER SANTAQUIN CITY STANDARDS.
2. INSTALL 6" MASONRY WALL.
3. INSTALL STOP SIGN PER SANTAQUIN CITY STANDARDS.
4. INSTALL FIRE HYDRANT ASSEMBLY PER SANTAQUIN CITY STANDARDS.
5. INSTALL SC-740 STORMTECH CHAMBERS (OR EQUIVALENT).
6. TRASH ENCLOSURE LOCATION.
7. MAIL BOX LOCATION.
8. INSTALL 1.5" CULINARY WATER METER.
9. LOCATE AND TIE TO EXISTING PRESSURIZED IRRIGATION.
10. LOCATE AND TIE TO EXISTING CULINARY WATER.
11. LOCATE AND TIE TO EXISTING SEWER LINE.
12. STUB/ CAP AND MARK TO SURFACE.
13. INSTALL TEMPORARY BLOW-OFF VALVE PER SANTAQUIN CITY STANDARDS.
14. INSTALL 45° BEND.
15. INSTALL BENCH.
16. BOLT DOWN TABLE.

NOTES

1. IRRIGATION PIPE SIZE TO BE APPROVED BY SCIC.
2. PIPE MATERIALS TO BE C900.

LEGEND

	EXISTING POWER POLE
	PROPOSED STREET LIGHT
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING STREET LIGHT
	EXISTING SIGN
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPERTY BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY LINE
	LOT LINE
	SECTION LINE
	EASEMENT
	EXISTING DEED LINE
	EDGE OF PAVEMENT
	EXISTING OVER HEAD POWER
	EXISTING FENCE LINE
	EXISTING SANITARY SEWER W/MANHOLE
	EXISTING STORM DRAIN W/MH
	EXISTING WATER
	EXISTING PRESSURIZED IRRIGATION
	PROPOSED SEWER
	PROPOSED STORM DRAIN
	PROPOSED CULINARY WATER
	PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
	PROPOSED ASPHALT
	PROPOSED CONCRETE/CURB & GUTTER
	REVERSE LIP CURB



SCALE 1" = 50'
(11"x17")
SCALE 1" = 100'

SHEET NO.

2

SITE PLAN

SANTAQUIN, UTAH

CORTLAND TOWNHOMES

ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY

PHONE: 801-655-6565
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

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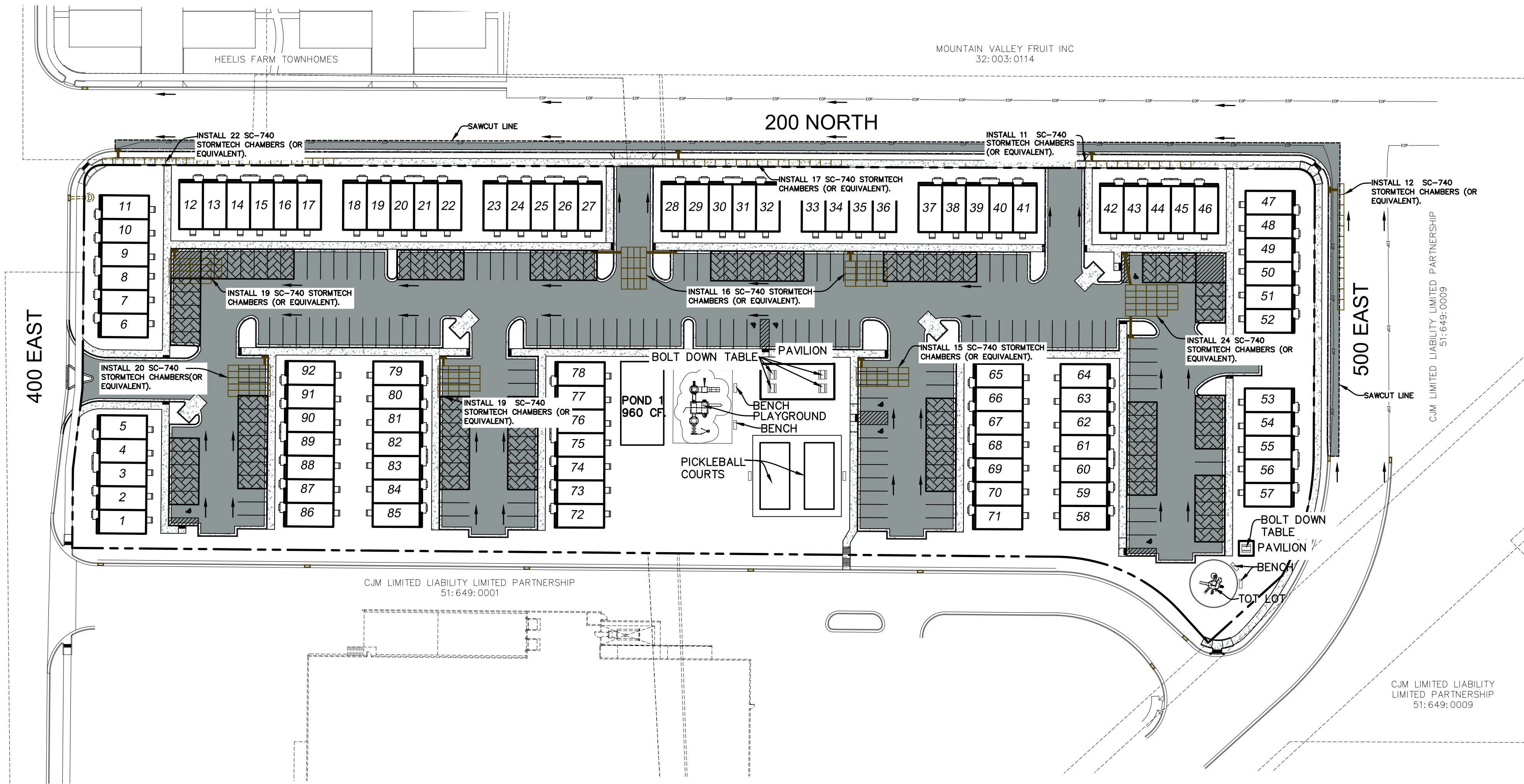
DEGRAFFENRIED, STEPHANIE
09:100:0024

CANFIELD, BETTY JO
(ET AL)
37:163:0005

CURTIS, DEVIN
37:163:0008

NIELSON, ALYSSA &
DEREK J
37:163:0003

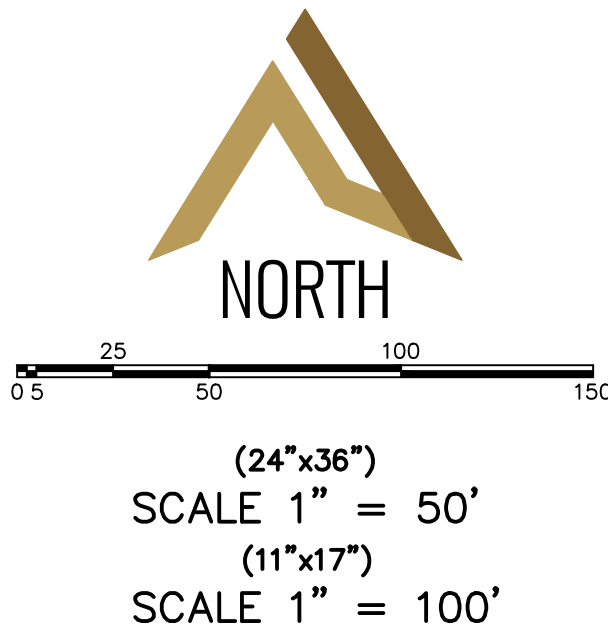
MARTIN, MICHAEL
37:163:0002



- GENERAL NOTES:**
1. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/ STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
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LEGEND

	EXISTING POWER POLE
	PROPOSED STREET LIGHT
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING STREET LIGHT
	EXISTING SIGN
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPERTY BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY LINE
	LOT LINE
	SECTION LINE
	EASEMENT
	EXISTING DEED LINE
	EDGE OF PAVEMENT
	EXISTING OVER HEAD POWER
	EXISTING FENCE LINE
	EXISTING SANITARY SEWER W/MANHOLE
	EXISTING STORM DRAIN W/MH
	EXISTING WATER
	EXISTING PRESSURIZED IRRIGATION
	PROPOSED SEWER
	PROPOSED STORM DRAIN
	PROPOSED CULINARY WATER
	PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
	PROPOSED ASPHALT
	PROPOSED CONCRETE/CURB & GUTTER
	REVERSE LIP CURB



CORTLAND TOWNHOMES

ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY

PHONE: 801-655-6565
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

GRADING PLAN

SANTAQUIN, UTAH

SHEET NO.

3

NO.	REVISIONS	BY	DATE
12			
11			
10			
9			
8			
7			
6			
5			
4			
3			
2			
1			

C:\USERS\GAVIN\ATLAS ENGINEERING\COMMUNICATION SITE - DOCUMENTS\1.0 OPERATIONS\1.1 - CIVIL\2025\25-002 CORTLAND TOWNHOMES\CADD\PRELIMINARY\03- GRADING PLANDWG

	UTAH COUNTY MONUMENT
	FOUND MONUMENT
	SET 5/8" REBAR AND CAP
	SET CURB PLUG
	PROPERTY BOUNDARY
	RIGHT-OF-WAY LINE
	LOT LINE
	SECTION LINE
	SETBACK
	EASEMENT
	CENTERLINE
	ADDRESSES
	PROPOSED LOT NUMBERS
	BEARING
	COMMON AREA/OPEN SPACE
	LIMITED COMMON OWNERSHIP
	PRIVATE OWNERSHIP

ZONING CLASSIFICATION=MSR
NUMBER OF UNITS=92
ACREAGE=5.10 ACRES
ACREAGE TO BE DEDICATED FOR STREET ROW=0 SF
PARCEL SIZE SF=220
PARKING UNITS 1-5 REQUIRED=15
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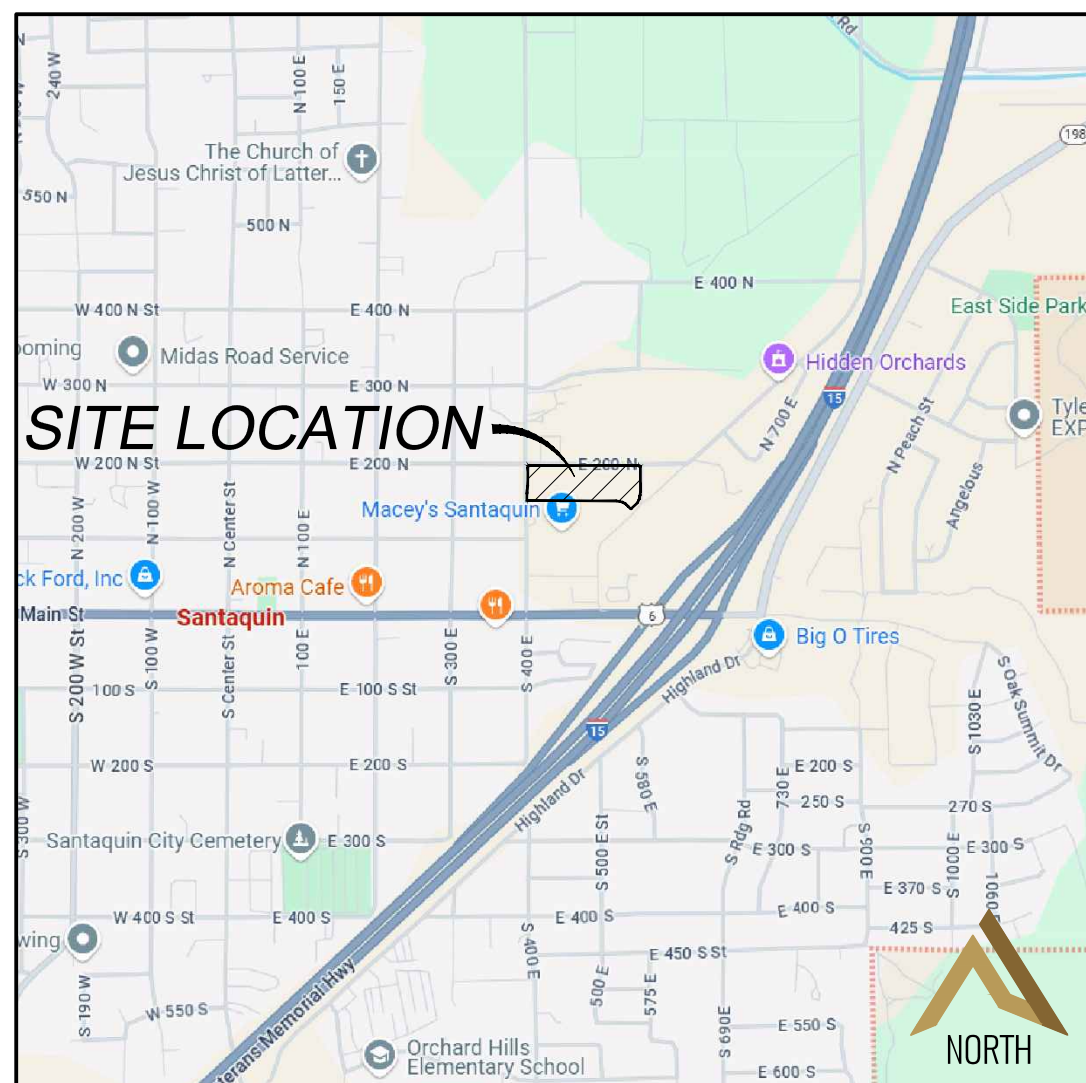
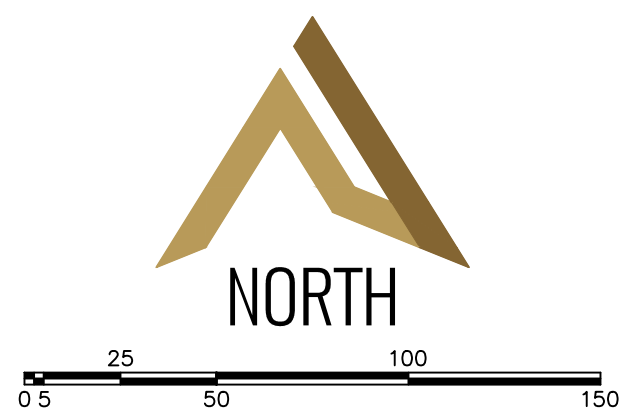
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CONTAINING 5.10 ACRES.

1. VERTICAL DATA BASED ON NAVD 88.
2. COORDINATE SYSTEM = NAD83

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S42°10'40"E	27.48'
L2	N47°49'42"E	67.30'
L3	S0°30'56"W	139.43'
L4	S6°47'35"W	54.87'
L5	S0°30'56"W	53.50'

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	94.95'	115.00'	92.28'	S65°49'52"E	47°18'24"
C2	85.97'	171.00'	85.06'	N14°37'55"E	28°48'16"
C3	18.85'	12.00'	16.97'	N44°46'13"W	90°00'00"
C4	18.77'	12.00'	16.91'	S45°19'35"W	89°37'17"



-NTS-

I, GORDON M. HAIGHT III DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 12653677 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

SEE LEFT

(I)WE, _____, _____ BEING THE
UNDERSIGNED OWNER(S) OF ALL THE PROPERTY DESCRIBED IN THE
SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED
THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO
HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED
HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HAND(S) THIS _____
DAY OF _____, A.D. 2025.

MEMBER:

MEMBER:

MEMBER: _____

STATE OF UTAH → S.S.
COUNTY OF UTAH →

ON THE _____ DAY OF _____, A.D. 2025 PERSONALLY APPEARED
BEFORE ME _____ WHOSE IDENTITY IS
PERSONALLY KNOWN TO ME OR PROVEN IN THE BASIS OF SATISFACTORY
EVIDENCE AND WHO BY ME DULY SWORN/AFFIRED, DID SAY THAT THEY ARE
THE _____ OF _____ AND THAT SAID DOCUMENT
WAS SIGNED BY THEM IN BEHALF OF SAID _____ BY AUTHORITY OF ITS
BYLAWS, OR RESOLUTION OF ITS BOARD OF DIRECTORS, AND SAID _____
ACKNOWLEDGED TO ME THAT SAID _____ EXECUTED THE SAME.

A NOTARY PUBLIC COMMISSIONED IN THE STATE OF UTAH

COMMISSION NUMBER / EXPIRES PRINTED FULL NAME OF NOTARY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____ A.D. 2025.

APPROVED _____ APPROVED _____
CITY MANAGER CITY ATTORNEY

APPROVED _____ ATTEST _____
ENGINEER (SEE SEAL) CLERK-RECORDER

APPROVED
COMMUNITY DEVELOPMENT DIRECTOR

A RESIDENTIAL SUBDIVISION IN
SANTAQUIN CITY, UTAH COUNTY, UTAH

LOCATED IN THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 10 SOUTH,
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH.

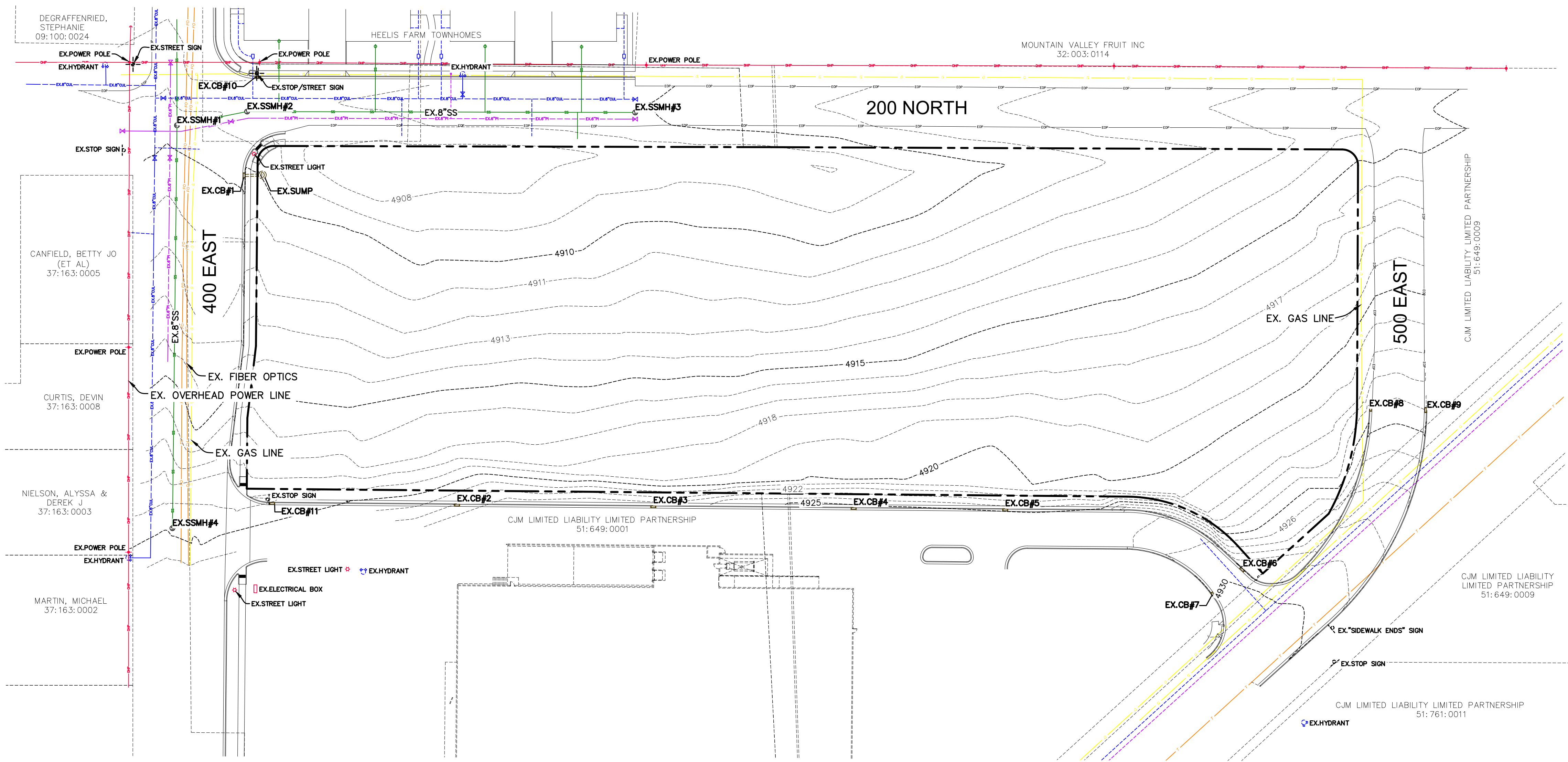
CLERK-RECORDS
SEAL

SURVEYOR'S SEAL

NOTARY PUBLIC
SEAL

CITY ENGINEER
SEAL

COUNTY
RECORDER SEAL



LEGEND

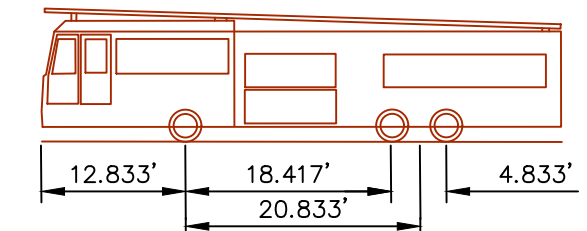
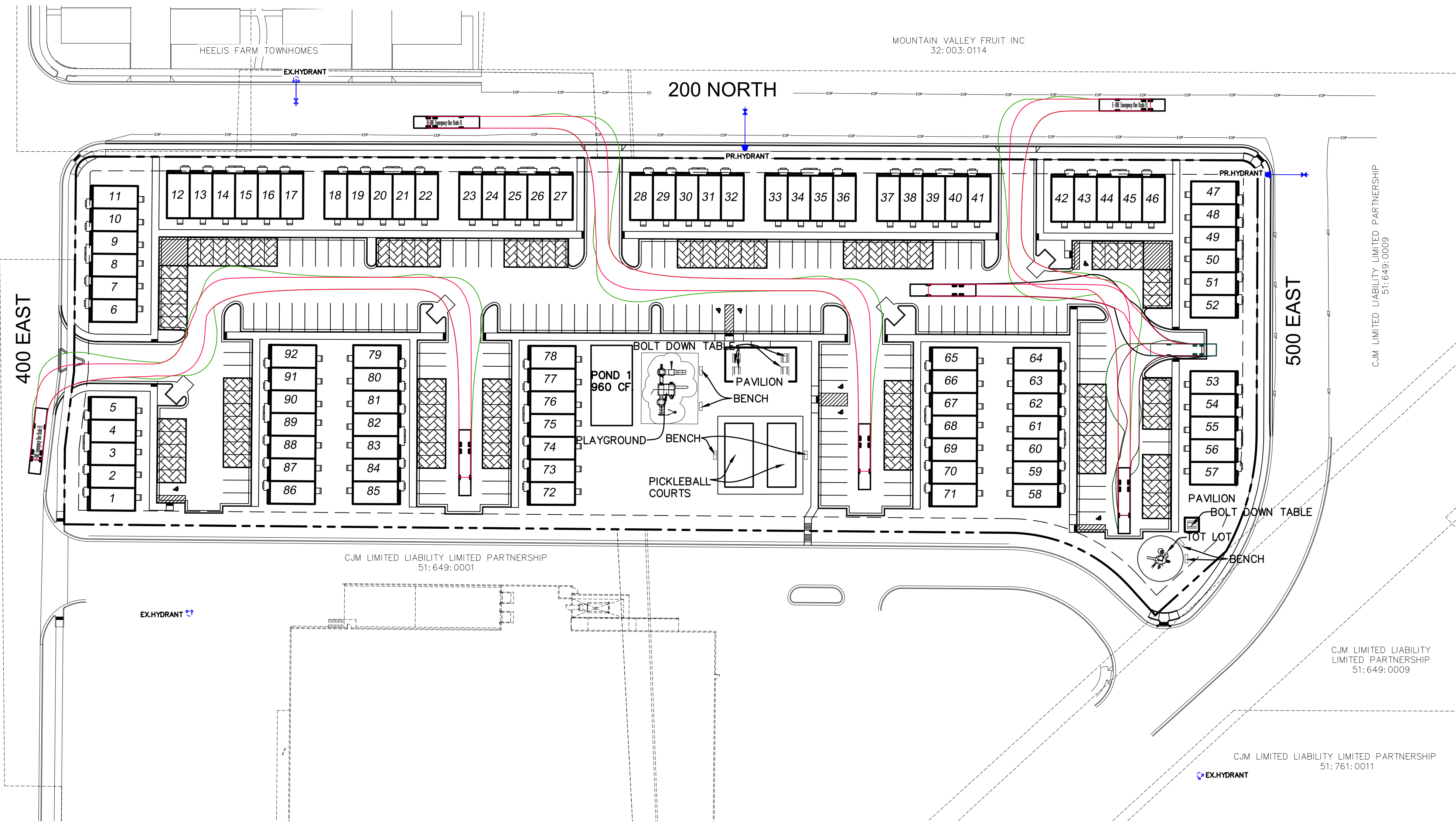
EXISTING POWER POLE	PROPOSED STREET LIGHT
EXISTING FIRE HYDRANT	EXISTING WATER VALVE
EXISTING STREET LIGHT	EXISTING SIGN
PROPOSED FIRE HYDRANT	PROPOSED WATER VALVE
PROPERTY BOUNDARY	CENTERLINE
RIGHT-OF-WAY LINE	LOT LINE
SECTION LINE	EASEMENT
EXISTING DEED LINE	EDGE OF PAVEMENT
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PROPOSED CULINARY WATER	PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
PROPOSED ASPHALT	PROPOSED CONCRETE/CURB & GUTTER
REVERSE LIP CURB	

NORTH

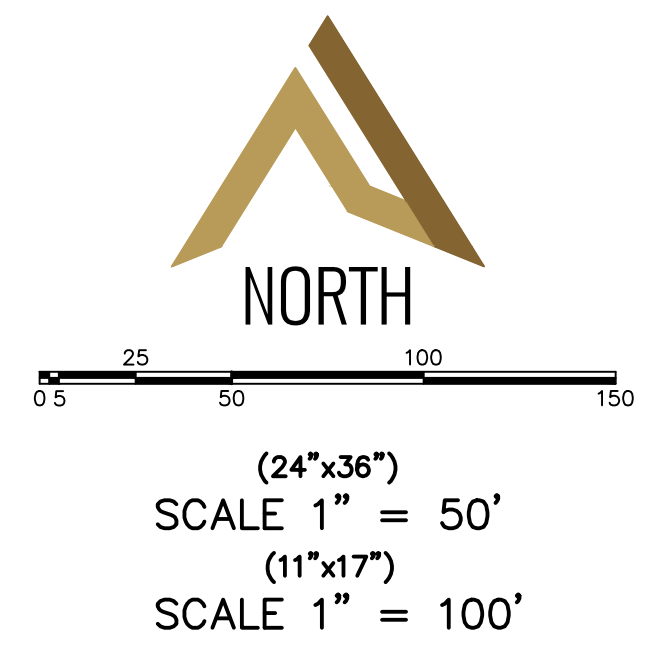
0 50 100 150

(24"x36")
SCALE 1" = 50'
(11"x17")
SCALE 1" = 100'

CORTLAND TOWNHOMES	EXISTING TOPOGRAPHY	SANTAQUIN, UTAH	SANTAQUIN, UTAH PHONE: 801-655-1665 946 E. 800 N. SUITE A SPANISH FORK, UT 84660	C:\USERS\GAVIN\ATLAS ENGINEERING\COMMUNICATION SITE - DOCUMENTS\1.0 OPERATIONS\1.1 - CIVIL\2025\25-002_CORTLAND_TOWNHOMES\CADD\PRELIMINARY\05- EXISTING TOPOGRAPHY.DWG	
					SHEET NO.
					5
					12
					11
					10
					9
					8
					7
					6
					5
					4
3					
2					
1					
NO.					
REVISIONS					
BY					
DATE					



E-ONE Emergency one ocals FL
Overall length - 46.333ft
Overall width - 8.333ft
Overall body height - 11.833ft
Min body ground clearance - 1.393ft
Track width - 8.333ft
Lock-to-lock time - 6.00 sec.
Max wheel angle - 45°



DEGRAFFENRIED, STEPHANIE
09:100:0024
EX-HYDRANT

CANFIELD, BETTY JO
(ET AL)
37:163:0005

CURTIS, DEVIN
37:163:0008

NIELSON, ALYSSA &
DEREK J
37:163:0003
EX-HYDRANT

MARTIN, MICHAEL
37:163:0002
EX-HYDRANT

CJM LIMITED LIABILITY LIMITED PARTNERSHIP
51:649:0001

MOUNTAIN VALLEY FRUIT INC
32:003:0114

CJM LIMITED LIABILITY LIMITED PARTNERSHIP
51:649:0009

CJM LIMITED LIABILITY LIMITED PARTNERSHIP
51:649:0009

CJM LIMITED LIABILITY LIMITED PARTNERSHIP
51:761:0011
EX-HYDRANT

CORTLAND TOWNHOMES

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CIVIL · STRUCTURAL · SURVEY
PHONE: 801-655-1665
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SPANISH FORK, UT 84660

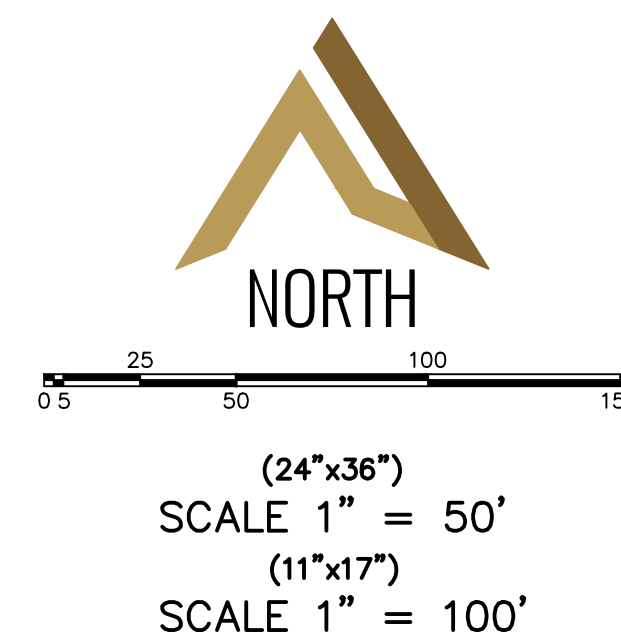
FIRE ACCESS/ OPEN
SPACE PLAN

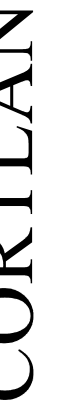
SANTAQUIN, UTAH

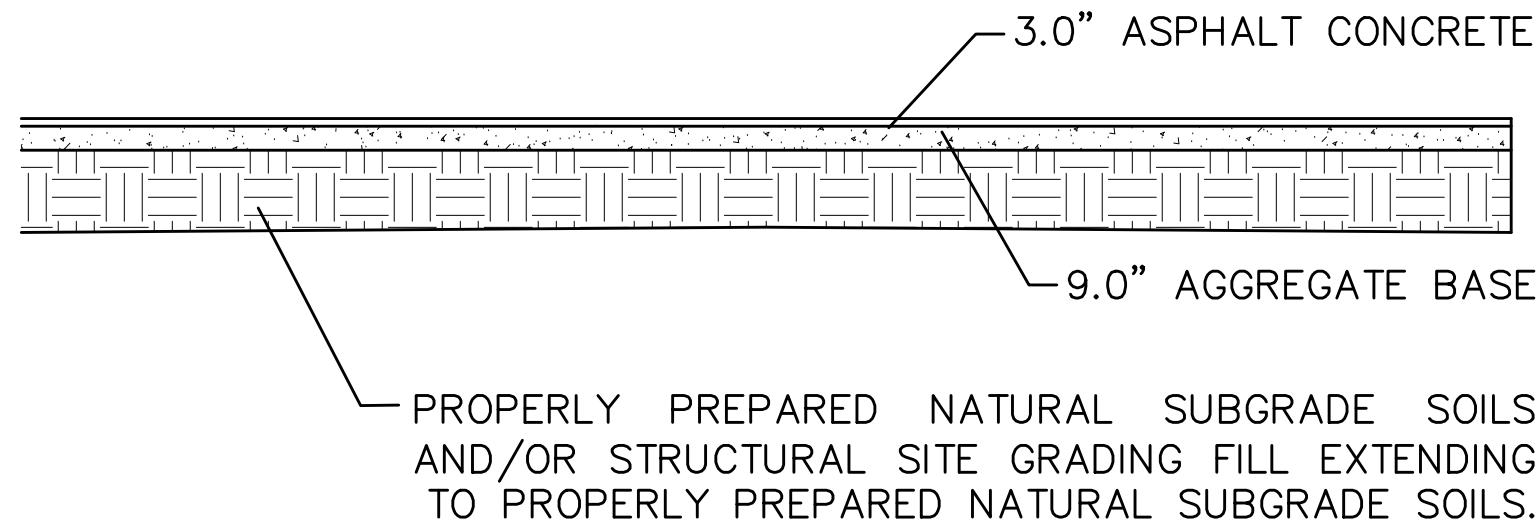
SHEET NO.

6

NO.	REVISIONS	BY	DATE
12			
11			
10			
9			
8			
7			
6			
5			
4			
3			
2			
1			

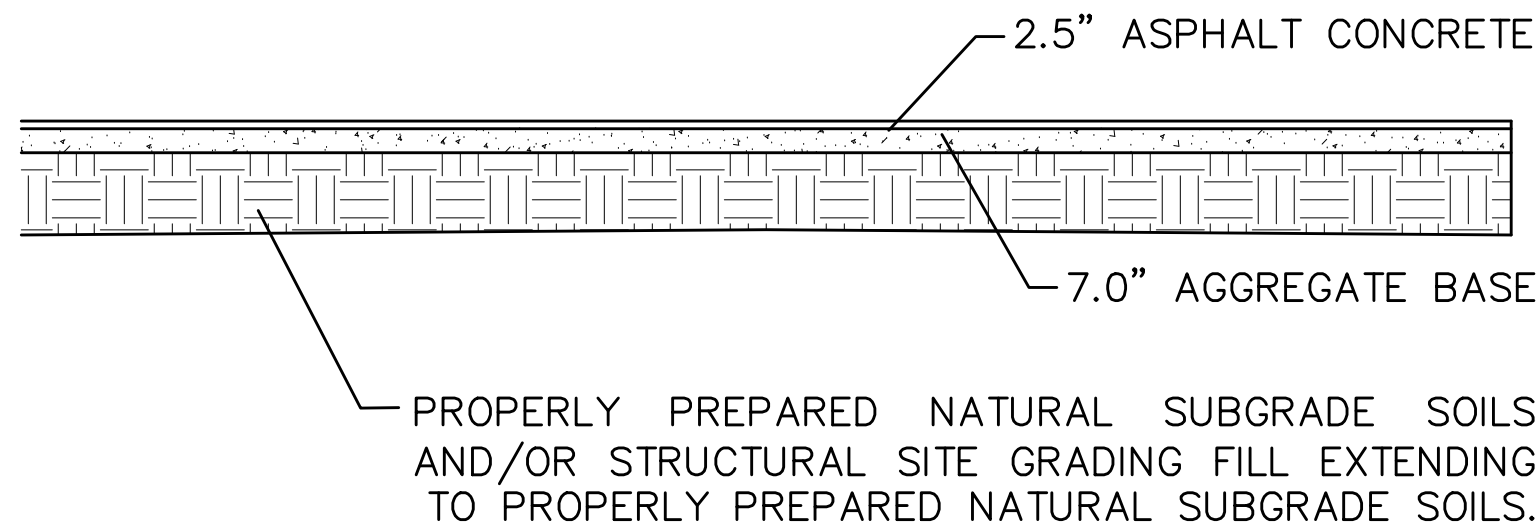


 CORTLAND AND TOWNHOMES ATLAS ENGINEERING CIVIL · STRUCTURAL · SURVEY PHONE 801-655-0566 946 E. 800 N. SUITE A SPANISH FORK, UT 84660	PHASING PLAN		12			SHEET NO. 7
			11			
	SANTAQUIN, UTAH		10			
			9			
			8			
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NO. _____			REVISIONS _____		BY _____	DATE _____
UNIVERSITY OF UTAH ENGINEERING COMMUNICATION SITE — DOCUMENTS 1.0 OPERATIONS 1.1 — CIVIL 2024 25-002 CORTLAND AND TOWNHOMES/CARDIFF MINIAPV 07 — PHASING PLAN DWG						



DRIVE AREA PAVEMENT SECTION

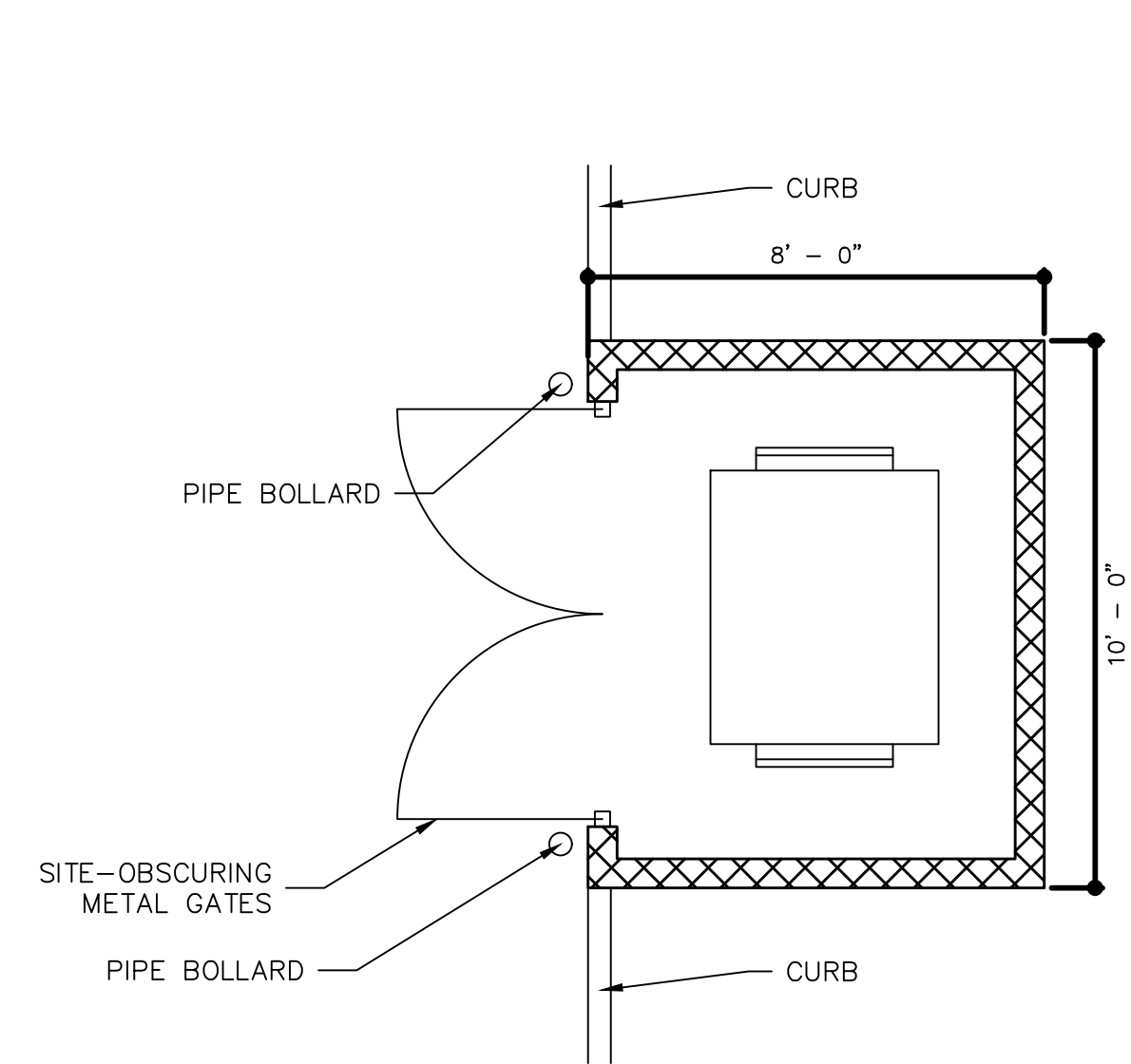
-NTS-



PARKING AREA PAVEMENT SECTION

-NTS-

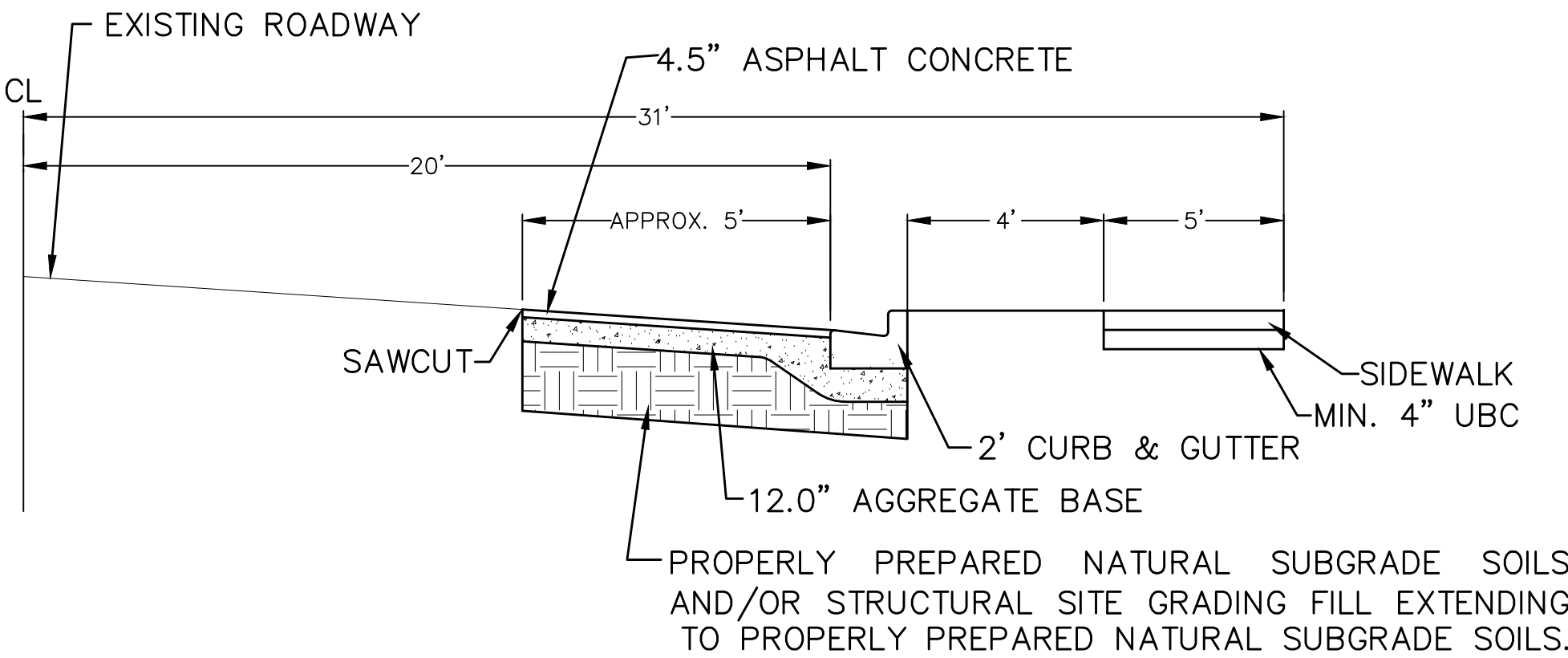
NOTE:
FOLLOW RECOMMENDATIONS FROM GEOTECHNICAL INVESTIGATION FOR PROPOSED RIDLEY'S FAMILY MARKET DEVELOPMENT DATED APRIL 26, 2018 PERFORMED BY GSH GEOTECHNICAL, INC., JOB NO.2588-001-18



DUMPSTER ENCLOSURE

-NTS-

NOTE:
SCREENED ON THREE (3) SIDES WITH A MASONRY WALL HAVING A HEIGHT OF AT LEAST ONE (1') FOOT ABOVE RECEPTACLE. A STEEL SITE-OBSCURING GATE AT LEAST SIX (6') FEET HIGH IS REQUIRED.



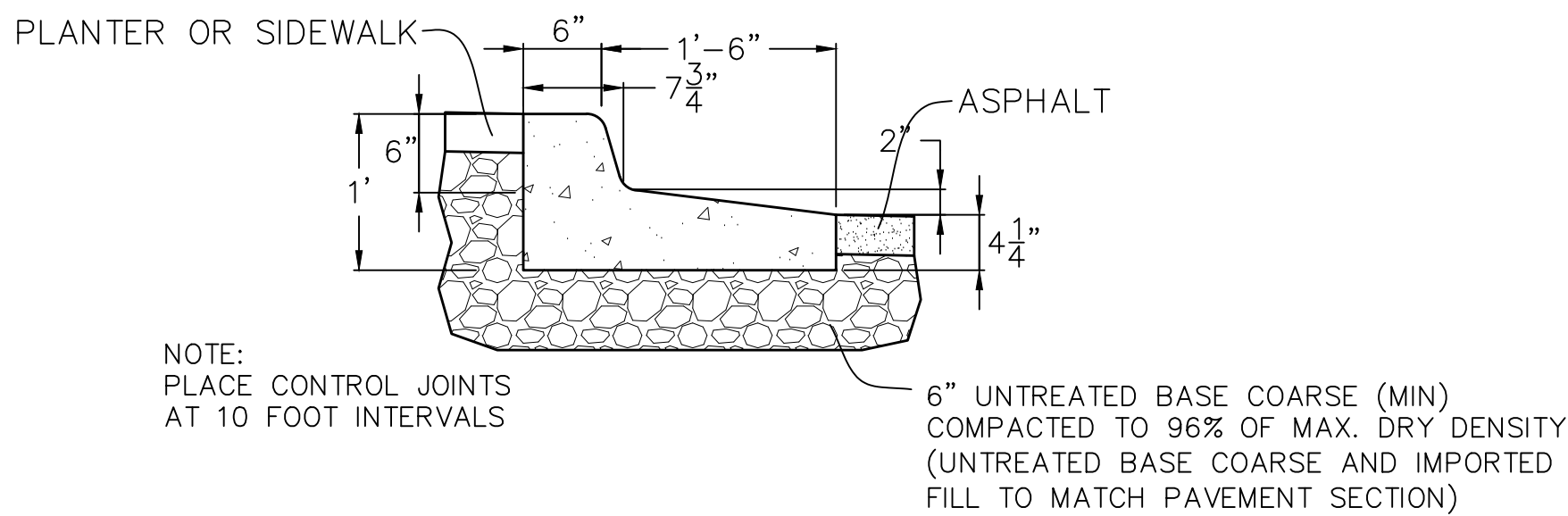
200 NORTH DETAIL

-NTS-

*2" THICK OVERLAY REQUIRED ON 200 NORTH TO 25' IN EACH DIRECTION PAST THE LAST TRENCH CUT

NOTES:

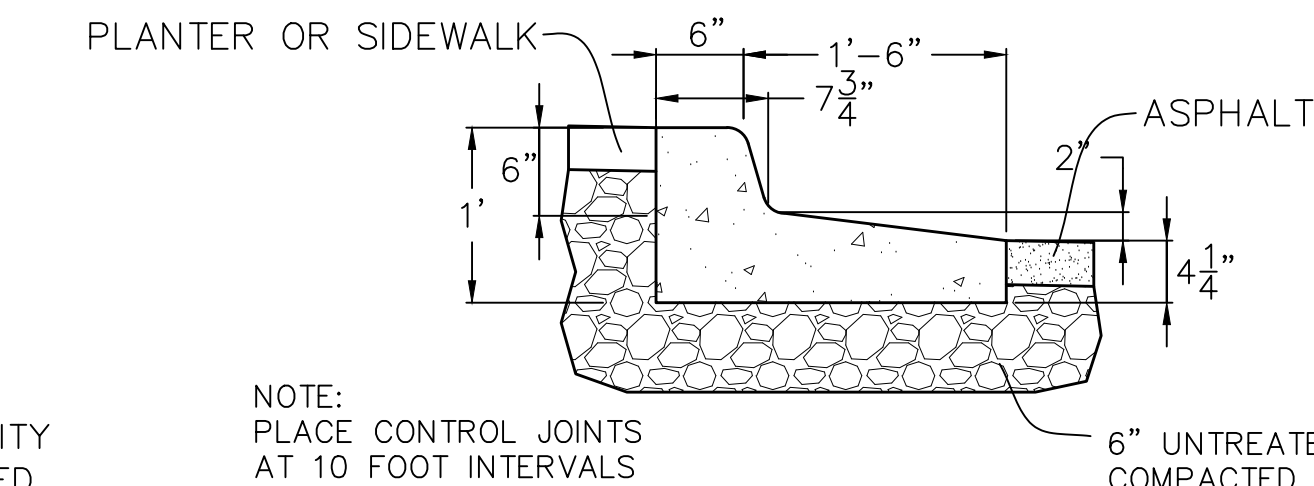
1. 100-YEAR WATER ELEVATION MAY NOT ENCROACH WITHIN 6" VERTICALLY OF ANY HABITABLE STRUCTURE OR EXCEED THE EDGE OF RIGHT-OF-WAY.
2. 100-YEAR WATER ELEVATION MAY NOT RISE ABOVE AN ELEVATION OF 3" BELOW THE TOP OF ANY BERM OR EDGE OF RIGHT-OF-WAY IF ADJACENT EXISTING BUILDINGS ARE BELOW STREET LEVEL.
3. THE CROWN OF THE ROAD SHALL BE HELD TO EXISTING GRADE, UNLESS PERMITTED OTHERWISE BY THE CITY ENGINEER WHERE NEEDED TO ENABLE CONTAINMENT OF 100-YEAR STORM, TO MATCH GRADE AT ADJACENT PREVIOUSLY DEVELOPED PROPERTIES, OR TO MEET GRADE AT INTERSECTIONS



24" REVERSE LIP CURB & GUTTER

FOR USE IN PRIVATE STREETS

-NTS-



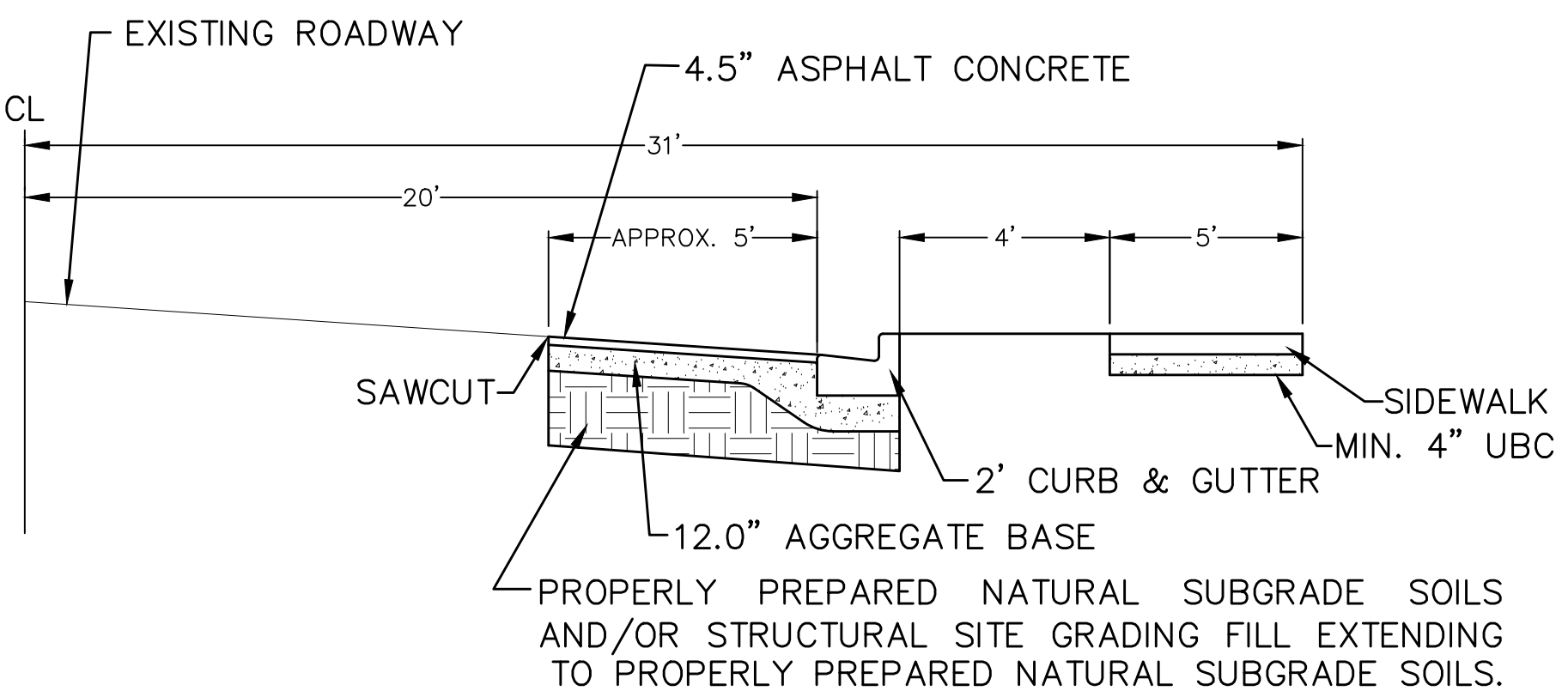
24" STANDARD CURB & GUTTER

FOR USE IN PRIVATE STREETS

-NTS-

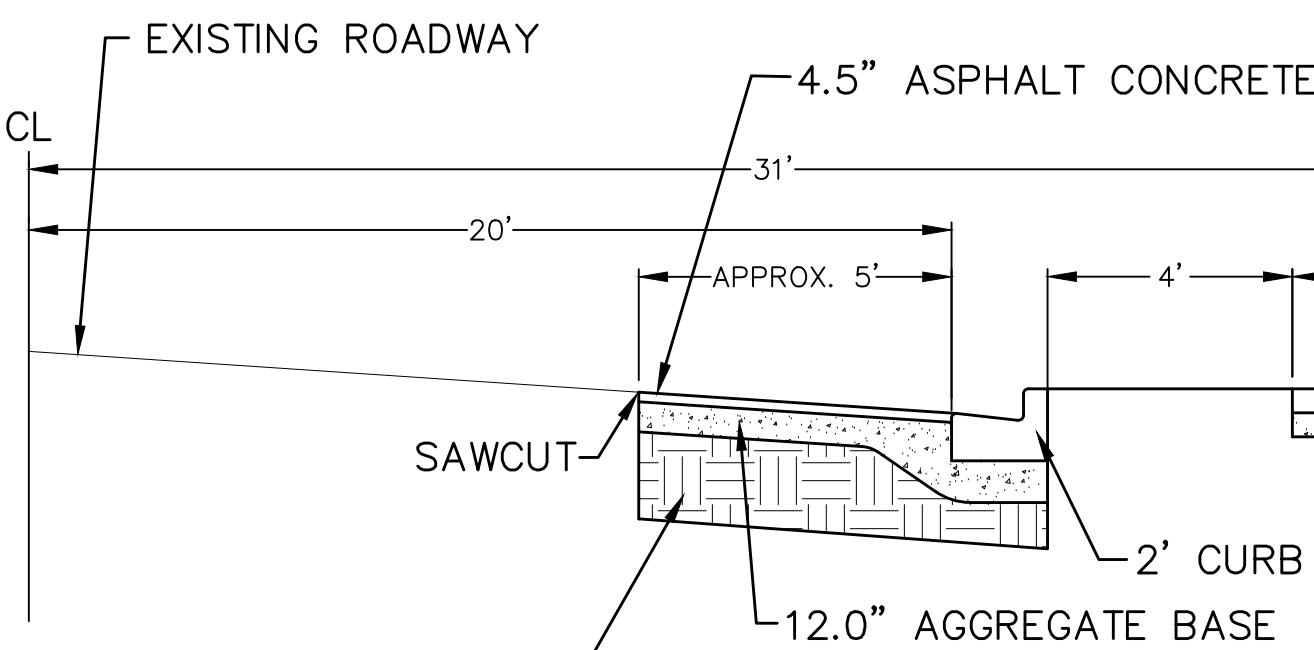
NOTE:
PLACE CONTROL JOINTS AT 10 FOOT INTERVALS

NOTE:
PLACE CONTROL JOINTS AT 10 FOOT INTERVALS



500 EAST DETAIL

-NTS-



SHEET NO.

DT-01

DETAIL SHEET

SANTAQUIN, UTAH

CORTLAND TOWNHOMES

ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY



PHONE 801-655-6565
946 E. 800 N. SUITE A
SPRINGFIELD, UT 84660

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