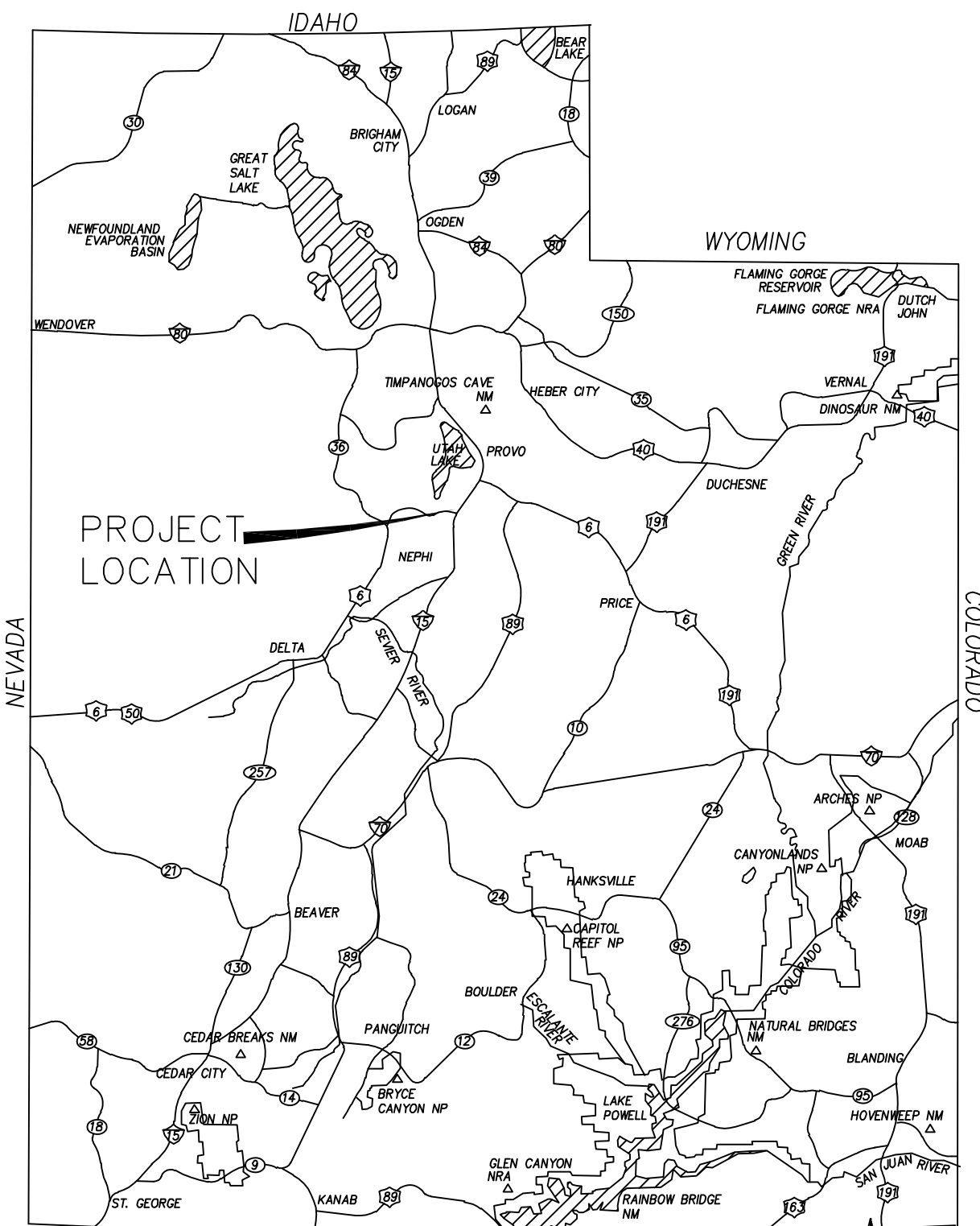


STRATTON MEADOW SUBDIVISION

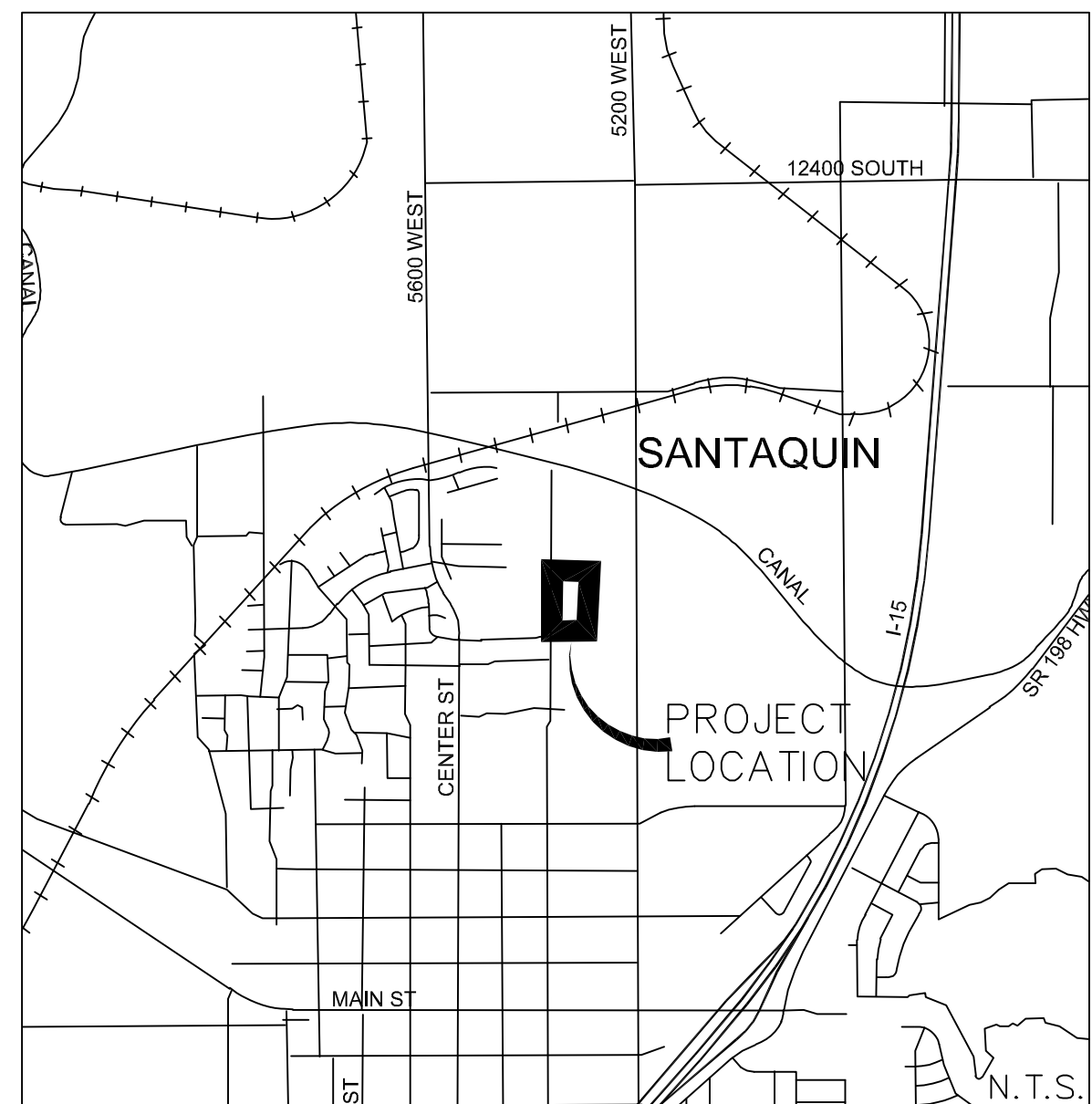
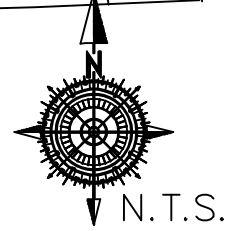
LOCATION

SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN SANTAQUIN, UTAH COUNTY, UTAH

PRELIMINARY
Sept 6, 2023

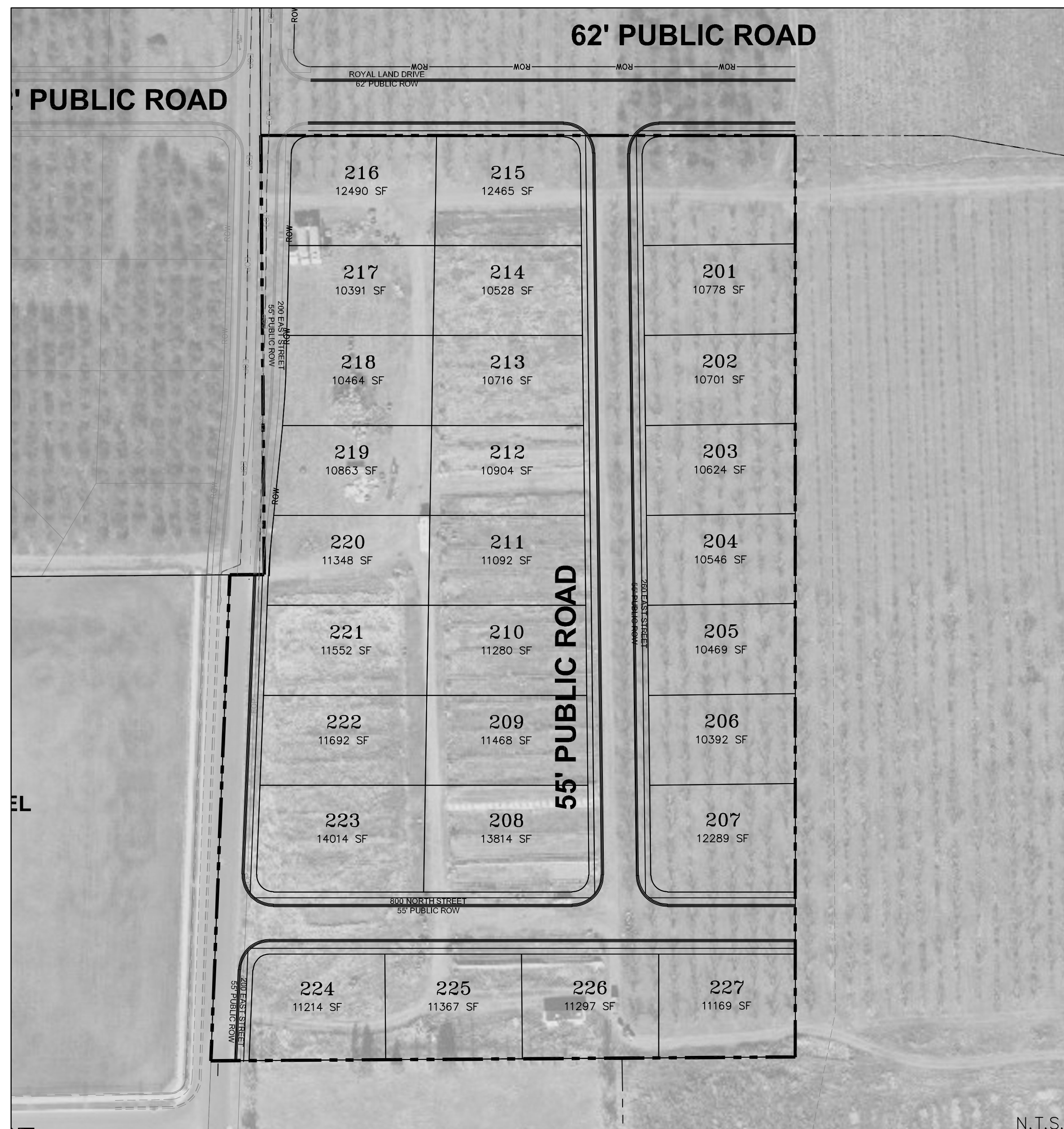


VICINITY MAP

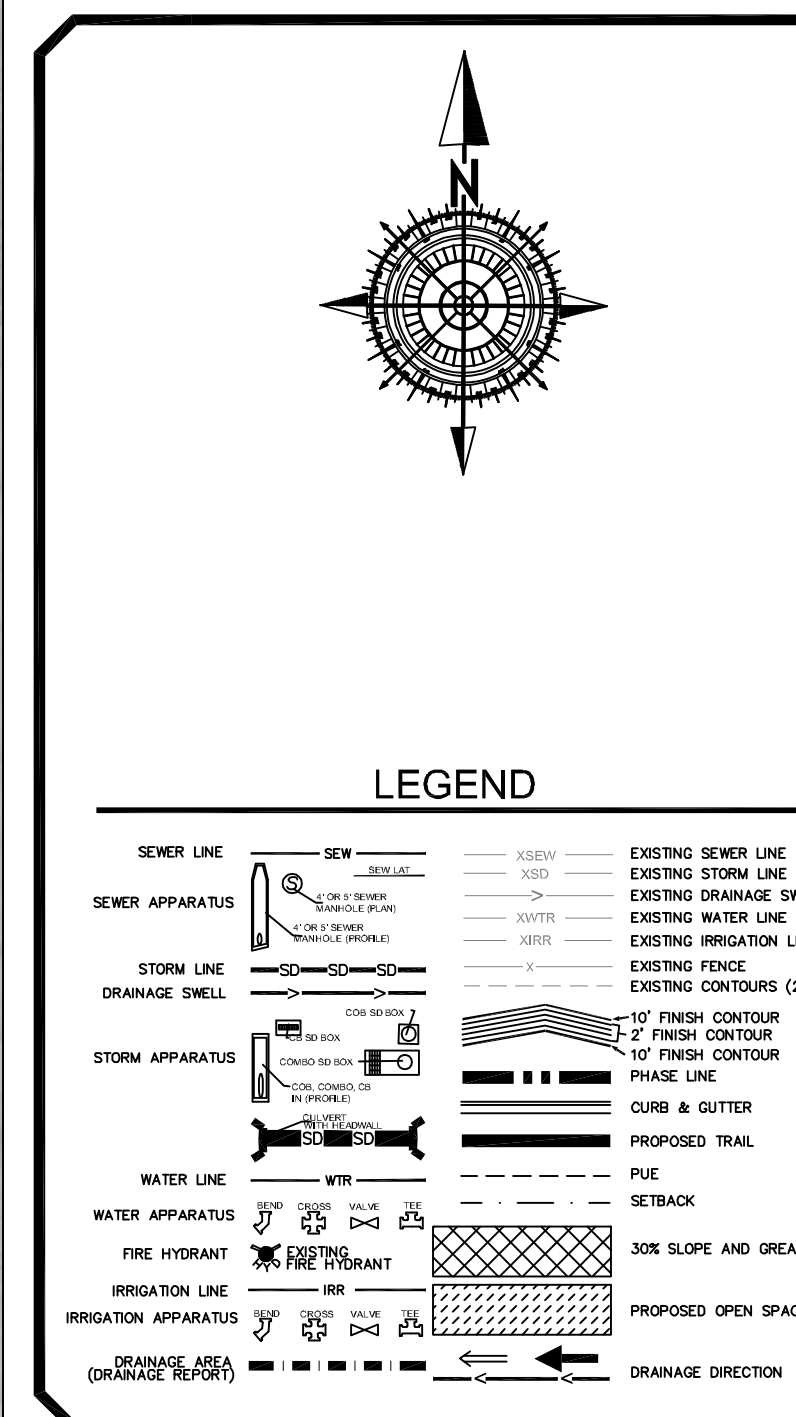


PROPERTY OWNER:
STRATTON ACRES LLC
KAMERON SPENCER
847 E DRAPER MEADOW LANE
DRAPER, UTAH 84020
801-330-0546

ENGINEER:
GATEWAY CONSULTING INC.
PAUL WATSON
PO BOX 951005
RIVERTON, UTAH 84095
801-694-5848



NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.



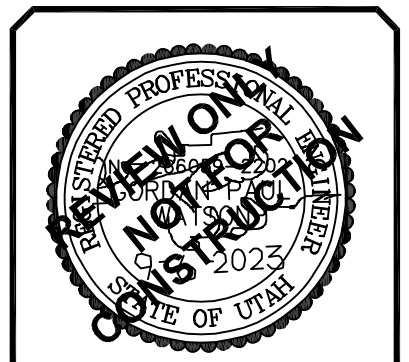
REVISIONS			
#	DESCRIPTION	DATE	SHEETS AFFECTED

INDEX OF SHEETS	
1	TITLE SHEET
1A	PROJECT NOTES
	BOUNDARY SURVEY
	PLAT
2	EXISTING CONDITIONS/DEMOLITION PLAN
3	OVERALL SITE PLAN
G1-G2	GRADING SHEETS (1"=30')
U1	CULINARY WATER UTILITY PLAN
U2	SANITARY SEWER UTILITY PLAN
U3	STORM WATER UTILITY PLAN
U4	IRRIGATION UTILITY PLAN
DRAIN	SITE DRAINAGE PLAN
SS1	LIGHTING / SIGNAGE /STRIPING PLAN
PP1	ROYAL LAND DRIVE
PP2	200 EAST STREET
PP3	260 EAST STREET
PP4	800 NORTH STREET
SWPPP	STORM WATER POLLUTION PREVENTION PLAN
ER1-ER2	EROSION CONTROL NOTES AND DETAILS
D1	STREET DETAILS
D2	SANITARY SEWER DETAILS
D3	CULINARY WATER DETAILS
D4	STORM WATER DETAILS
D5	PRESSURIZED IRRIGATION DETAILS
D6	STREET LIGHT AND SIGNAGE DETAILS

ZONE	R-10
LOTS	27
ACREAGE	9.3ac.
ACREAGE LOTS	7.08ac.
ACREAGE ROW	1.96ac.
DENSITY	3 lots to the ac.

GATEWAY CONSULTING, Inc.
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

CIVIL ENGINEERING • CONSULTING • LAND PLANNING
CONSTRUCTION MANAGEMENT



SHEET NO. 1

CONSTRUCTION NOTES

Construction Notes

- 1. All work to be done in conformity to SATAQUIN CITY standards and specification and as directed by the SATAQUIN CITY engineer or his representatives.
2. All sewer and water system construction shall be in accordance with SATAQUIN CITY standards and specifications.
3. Contractor shall contact blue stakes prior to beginning construction, to facilitate the location and identification of existing underground utilities.
4. Contractor responsible for protection of all utilities shown or not shown.
5. Contractor shall be responsible to obtain and pay for necessary permits.
6. Contractors shall attend all pre-construction conferences.
7. Contractor shall be responsible for all public safety and OSHA standards.
8. Contractor shall field verify locations and invert elevations of all existing sewer facilities and other utilities prior to building or staking any new sewer lines.
9. Location and installation of gas, power, telephone, and cable lines to be done in accordance with SATAQUIN CITY standards.
10. All culinary water lines shall be per SATAQUIN CITY standards.
11. Minimum depth for culinary waterlines from the final grade to the top of the pipe is 4 feet, unless otherwise noted on the plan and profile sheets.
12. Minimum spacing between waterlines and sewer lines is 10 feet horizontally or 12 inches vertically (in times of crossing the waterline shall be above the sewer line).
13. All ductile iron valves, hydrants, and buried fittings shall be wrapped with 8 mil thick polyethylene film tube or sheet.
14. Sanitary sewer laterals shall extend into each lot 15' and be marked with a 2" by 4" board with the top 12" painted green.
15. All sewer laterals will be marked with a "S" stamped into the curb above.
16. Culinary water laterals shall extend into each lot 15' and be marked with a 2" by 4" board with the top 12" painted blue.
17. All culinary water laterals will be marked with a "W" on the curb above.
18. Contractor to verify as build sewer laterals for building FF design. Existing sewer lateral to govern.

MISC CONSTRUCTION NOTES

THE CONTRACTOR SHALL CAREFULLY READ ALL OF THE NOTES AND SPECIFICATIONS, THE CONTRACTOR SHALL BE SATISFIED AS TO THEIR TRUE MEANING AND INTENT AND SHALL BE RESPONSIBLE FOR COMPLYING WITH EACH.

GENERAL NOTES:

- 1) ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING: SATAQUIN CITY STANDARD SPECIFICATIONS, LATEST EDITION, AND ALL AMENDMENTS THERETO UNLESS OTHERWISE STATED.
2) PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL CONTACT SATAQUIN CITY FOR A PRE-CONSTRUCTION CONFERENCE.
3) IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.
4) WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
5) THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS.
6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT.
7) CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHTS-OF-WAY OR EASEMENTS FROM SATAQUIN CITY AND UDOT.
8) THE CONTRACTOR SHALL, AT THE TIME OF BIDDING, AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDBLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS.
9) CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK.

IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.

THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.

THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.

THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.

THE CONTRACTOR AGREES THAT:

- A. THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.
B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
C. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
D. THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF RIGHTS-OF-WAY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
E. THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.
F. UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE, WITH A WATER TRUCK.

CONSTRUCTION STAKING FOR LIMITS OF DISTURBANCE INCLUDING CONSTRUCTION AND SILT FENCES, GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER, AND ELECTRICITY MAY BE DONE BY AWARDED SURVEYOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF THE NEED FOR STAKING.

FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS.

IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE.

WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT, PIPING AND CONDUITS, STRUCTURES AND OTHER FACILITIES.

WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.

BENCHMARK: ELEVATION: 4759.858 DESCRIPTION: NORTHEAST CORN SEC 36, T9S, R1E, S1B&M FOUND 3" BRASS CAP

CLEARING AND GRADING NOTES:

- 1) CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH SATAQUIN CITY STANDARD SPECIFICATIONS.
2) THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON A TOPO SURVEY SUPPLIED BY THE OWNER.
3) THE OWNER SHALL PROVIDE A TEMPORARY EROSION CONTROL PLAN AND OBTAIN ALL PERMITS REQUIRED BY SATAQUIN CITY, UTAH AND THE STATE OF UTAH FOR TEMPORARY EROSION CONTROL.
4) SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK.

DEWATERING NOTES:

- 1) THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION.
2) THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS.
3) SLUMPS SHALL BE AT THE LOW POINT OF EXCAVATION.
4) THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOILS," DOES NOT OCCUR.

UNDERGROUND UTILITIES:

- 1) THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION.
2) PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATED IN THE FIELD, THEIR MAIN AND SERVICE LINES.
3) THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE.
4) PRIOR TO OPENING AN EXCAVATION, CONTRACTOR SHALL ENDEAVOR TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS, I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS OF SATAQUIN CITY FOR H-20 LOAD REQUIREMENTS.

ALL CONSTRUCTION AND MATERIALS FOR THE SEWER MAIN AND LATERALS MUST COMPLY WITH THE SATAQUIN CITY DISTRICT. THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO THE SEWER MAIN.

ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF SATAQUIN CITY PUBLIC WORKS DEPARTMENT PERSONNEL ONLY.

WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. CONTRACTOR RESPONSIBLE FOR ALL NECESSARY FITTINGS AND THRUST BLOCKS.

THE CONTRACTOR SHALL NOTIFY ENGINEER AT LEAST 48 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION.

ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER AND STREET PAVING.

SURFACE IMPROVEMENTS:

- 1) SUB GRADE PREPARATION: EARTHWORK FOR ROADWAY SECTIONS SHOULD BE CONDUCTED PER THE LATEST GEOTECH REPORT.
2) ALL MANHOLE RIMS, VALVES AND MONUMENT BOXES, ETC. SHALL BE ADJUSTED TO FINISH GRADE AFTER STREET PAVING.
3) PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON THE PLANS.
4) INSTALLATION OF STREET LIGHTS SHALL BE IN ACCORDANCE WITH SATAQUIN CITY DEVELOPMENT GUIDELINES.
5) PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS BUILT TO THESE PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, CITY OF SATAQUIN, AND POWER CO.
6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING.

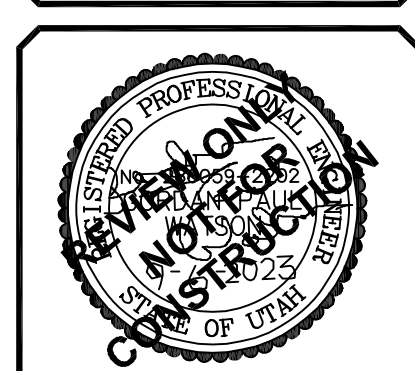
Table with 4 columns: NO., DESCRIPTION, N/S, DATE. Rows 1-10.

Table with 4 columns: ORIG. DATE: 2-8-21, SURVEY BY: GPW, DRAWN BY: GPW, DESIGNED BY: GPW, CHECKED BY: GPW, SCALE: N/A.

GATEWAY CONSULTING, Inc. P.O. BOX 951005 SOUTH JORDAN, UT 84095 PH: (801) 694-5948 paul@gatewayconsultingllc.com CIVIL ENGINEERING * CONSULTING * LAND PLANNING CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION PROJECT NOTES AND CONTACT INFORMATION 9-6-2023 (PLOT DATE)

SANTAQUIN CITY



SHEET NO. 1A

NOTE: The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santiquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.

LEGAL DESCRIPTIONS

PARCEL 1:
Commencing 17.76 chains East of the Southwest corner of the Northwest quarter of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence East 5.98 chains; thence North 13.59 chains; thence East 25 links; thence North 6.45 chains to a point 20 chains North of the South line of said Northwest quarter; thence West 5.78 chains; thence South 6.45 chains; thence West 50 links; thence South 13.59 chains to the beginning.

ALSO that portion of land acquired by Boundary Line Agreement recorded March 19, 2007 as Entry No. 39584:2007.

LESS AND EXCEPTING THEREFROM the following:

Beginning at a point located North 89°32'33" East along the quarter section line 1,136.25 feet from the West quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence North 01°41'33" East 17.18 feet; thence along the arc of a 790.00 foot radius curve (radius bears North 14°48'36" East) 80.27 feet through a central angle of 05°49'18" (Chord: South 78°06'03" East 80.23 feet) to said quarter section line; thence South 89°32'33" West along said quarter section line 79.02 feet to the point of beginning.

ALSO LESS AND EXCEPTING that portion of land deeded to Kenyon L. Farley and Irene Farley aka Irene L. Farley by Boundary Line Agreement recorded March 19, 2007 as Entry No. 39584:2007.

PARCEL 2:

Commencing North 1323.92 feet and East 1184.86 feet from the West quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence South 423.05 feet; thence West 22.17 feet; thence North 01°41'33" East 21.06 feet; thence North 00°13'13" West 402 feet; thence East 23.09 feet to the beginning.

PARCEL 3:

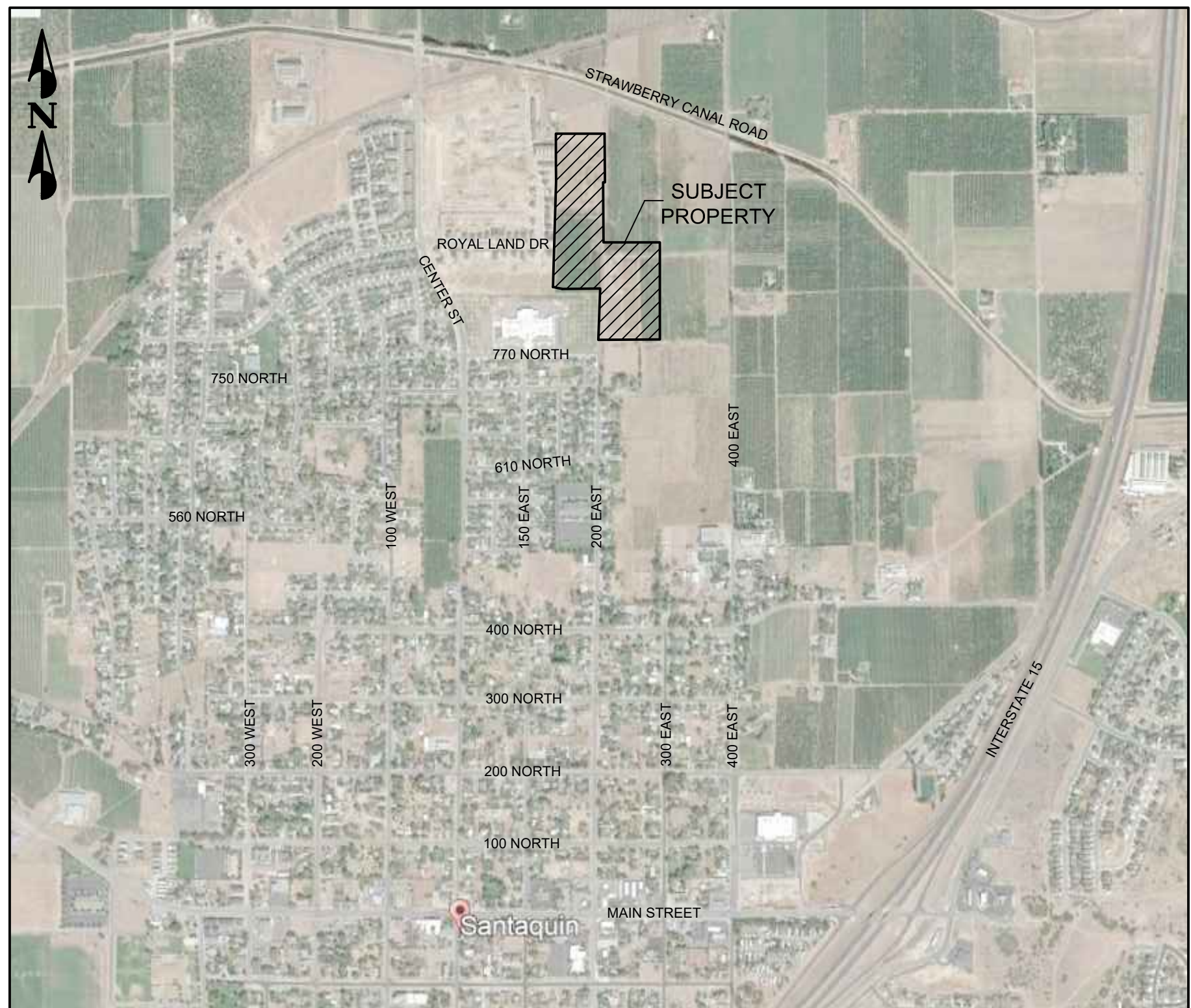
Commencing 9.20 chains West of the Southeast Corner of the Northwest Quarter of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence South 6.72 chains; thence West 8.04 chains; thence North 6.72 chains; thence East 1.07 chains; thence North 16.99 chains; thence East 25 links; thence North 1.47 chains; thence East 6.72 chains; thence South 18.46 chains to beginning.

LESS AND EXCEPTING the following:

Beginning at the intersection of the North boundary line of Plat "B", Alpine View Subdivision and the Easterly right-of-way line of Center Street (a 99' wide public road) as dedicated on Plat "E", The Orchards Subdivision official plat. Said intersection lies 2,050.41 feet N. 00°16'52" W. along the section line and 407.76 feet East of the Southwest corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence N. 00°12'34" E. 123.48 feet along said right-of-way, thence continuing along said right-of-way along a curve turning to the left with an arc length of 538.70 feet, a radius of 1,054.00 feet and a chord bearing and distance of N. 14°25'59" W. 532.85 feet to the ¼ section line, thence N. 89°32'36" E. 1,257.59 feet along the ¼ section line, thence S. 02°13'39" W. 626.31 feet to the Northeast corner of said Plat "B", Alpine View Subdivision, thence S. 88°46'00" W. 1,101.10 feet along said subdivision to the point of beginning.

ALSO LESS AND EXCEPTING the following:

Beginning at a point that lies S 00°20'15" E 1371.20 feet along the Quarter Section Line and 27.63 feet West from the North Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian, thence S. 00°33'21" E. 156.60 feet along the West line of a Warranty Deed as recorded in the Utah County Recorder's Office as Entry Number 56278, thence N. 89°24'42" E. 10.35 feet along the South line of said Warranty Deed to the West line of 5200 West Street, thence along said West line of said 5200 West Street the following 2 courses (1) S. 00°24'57" E. 500.88 feet, (2) S. 00°19'44" E. 155.45 feet, thence S. 89°40'02" W. 181.50 feet, thence S. 00°19'44" E. 127.73 feet, thence N. 80°00'00" W. 274.06 feet, thence West 613.10 feet to the Southeast corner of a Quit Claim Deed as recorded in the Utah County Recorder's Office as Entry Number 93946:2017, thence N. 00°27'24" W. 506.49 feet along the East line of said Quit Claim Deed, thence N. 89°32'36" E. 33.00 feet to the East line of a 2 rod street as platted in Map 34-E (a Subdivision of the West half of said Section 36 filed June 3, 1908 in the office of the Utah County Recorder), thence N. 00°27'24" W. 551.60 feet along said East line, thence N. 89°32'36" E. 49.50 feet along Lot 3 of said Subdivision, thence N. 00°27'24" W. 203.58 feet along Lot 3 of said Subdivision to the South Line of Strawberry High-line Canal Easement, thence S. 69°35'24" E. 16.70 feet along said South line to the Northeast Corner of a less and excepting parcel of land as recorded in the Utah County Recorder's Office as Entry Number 55820:2008, thence S. 00°33'00" E. 4.67 feet along the West line of said Parcel of Land, thence S. 69°32'40" E. 1023.79 feet to the point of beginning.



VICINITY MAP
(NOT TO SCALE)

REFERENCE DOCUMENTS

- CHERRY ORCHARD ESTATES PLAT-G
ENTRY: 16468:2001 MAP #8952
- THE ORCHARDS PLAT "G-4"
ENTRY: 131982:2021 MAP #17824
- APPLE VALLEY PLAT A
ENTRY: 46147:2018 MAP #16048

BENCHMARK

EAST 1/4 CORNER SECTION 36,
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN
NAD83 ELEVATION=4793.24

LOCATION

LOCATED IN PORTIONS OF THE NORTHWEST
AND SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 9 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN.

FLOOD ZONE

PARCELS LIE WITHIN FLOOD ZONE X,
AREA OF MINIMAL FLOOD HAZARD
COMMUNITY-PANEL NUMBER 49049C0975F,
EFFECTIVE DATE: JUNE 19, 2020

TITLE REPORT EXCEPTIONS

Republic National Title Insurance Company
Cottonwood Title Insurance Agency
File Number: 155143-RCM
Commitment Date: August 18, 2022 at 7:30AM

1.-15. {Not a survey matter}

16. Easement Agreement in favor of Qwest Corporation d/b/a CenturyLink QC, its successors, assigns, lessees, licensees, agents and affiliates to construct, operate, maintain, repair, expand, replace and remove a communication system and incidental purposes, by instrument recorded October 7, 2020, as Entry No. 156593:2020. {Does not affect Subject Property as shown hereon}

NOTE: The legal description therein appears to contain an error.

17. Rights of the public, and others entitled thereto, to use for street and incidental purposes any portion of the Land lying within 200 East Street. {Affects Subject Property as shown hereon}

18.-22. {Not a survey matter}

NARRATIVE

The purpose of this survey is to show the relationship of Survey Parcel with surrounding parcels and improvements, as well as to provide those named in the Surveyors Certificate a ALTA/NSPS survey for their use in evaluating the site.

This Survey does not guarantee title to line, nor is it proof of ownership, nor is it a legal instrument of conveyance. Furthermore, any survey markers set in conjunction with this survey are not intended to represent evidence of ownership of the subject property or its adjoiners. The general intent of this survey is to portray where possible the record title lines of the subject property and to show their relationship to any evidence of use and/or possession.

This survey represents opinions based on facts and evidence. As the evidence changes or if new evidence is discovered or recovered, then the surveyor reserves the right to modify or alter his opinions pertaining to this survey according to this new evidence.

This survey shows all easements of record as disclosed by the title report as shown hereon. The surveyor has made no independent search for record easements or encumbrances. This survey depicts all observable improvements or other indications of easements and utilities. Utilities shown hereon are based on a combination of visual inspection by survey crews and drawings provided by local utility companies during the course of the survey. It is the contractor's responsibility to seek blue stake information and verify utility locations prior to any excavation.

Basis of Bearing is North 89°32'33" East between the East Quarter corner and the West Quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian as shown hereon.

SURVEY DESCRIPTION

Beginning at the southeast corner of Lot 209 of The Orchards Plat G-1, Entry Number 102759:2019, Map Number 16746; said point being North 89°32'33" East, along the section line, 1146.15 feet and North, 317.94 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; said West Quarter Corner of Section 36 being South 89°32'33" West, along the section line, 5292.30 feet from the East Quarter Corner of said Section 36; and running thence along the easterly boundary line of said The Orchards Plat G-1 the following two (2) calls: 1) North 01°38'35" E, 595.10 feet; 2) North 00°13'13" West, 139.06 feet to a point at the southeast corner of the Apple Hollow at The Orchards Plat A-11, Entry Number 12754:2019, Map Number 16860; thence North 00°13'13" West, along the easterly boundary line of said Apple Hollow at The Orchards Plat A-11, 258.32 feet; thence East, 411.19 feet; thence South 00°27'27" East, 409.77 feet; thence South 89°32'33" West, 16.49 feet; thence South 00°27'27" East, 506.49 feet; thence East, 475.18 feet; thence South 00°00'03" East, 819.47 feet; thence South 89°37'56" West, 519.80 feet; thence North 02°13'39" East, 432.44 feet to a point the quarter section line; thence South 89°32'33" West, along said quarter section line, 320.88 feet to a point on a non-tangent 790.00 foot radius curve to the right; thence 79.47 feet along said curve through a central angle of 05°45'50" (chord bears North 78°07'37" West, 79.44 feet) to a point on the easterly boundary line of The Orchards Plat G-4, Entry Number 131982:2021, Map Number 17824; thence North 01°38'35" East, along said easterly boundary line, 301.17 feet to the point of beginning.

Contains: 21.69 Acres

SURVEYORS CERTIFICATE

To: Stratton Acres, LLC, a Utah limited liability company, Old Republic National Title Insurance Company, and Cottonwood Title Insurance Agency

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. The field work was completed on: September 23, 2022.

Robert Law
PLS# 9679988

10-11-2022
Date:

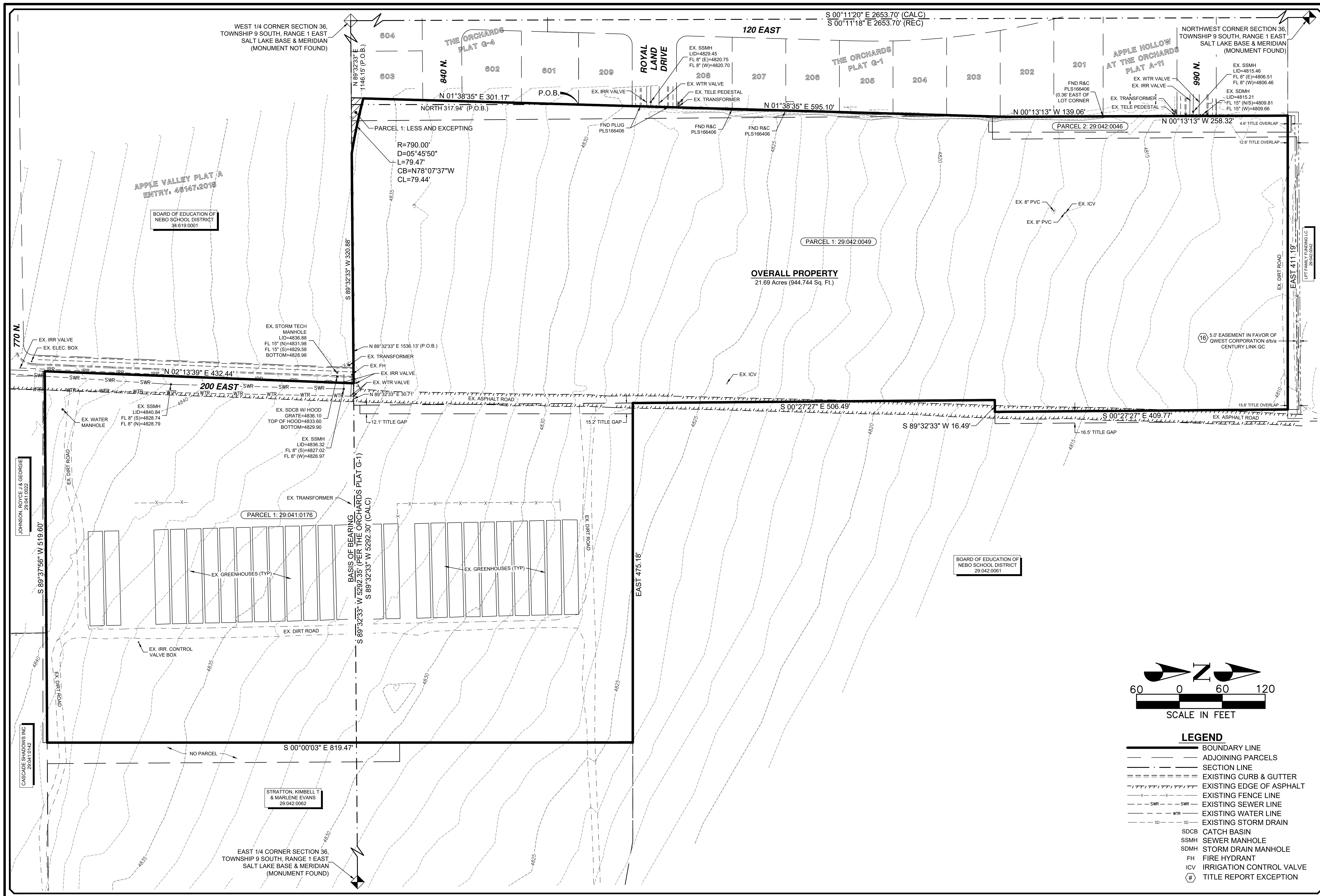
NO.	DESCRIPTION	DATE	APP'D.

ORIG. DATE: 09/2022	DATE:
SURVEY BY: PEPG CREW	DATE:
DRAWN BY: BCB	DATE:
DESIGNED BY: N/A	DATE:
CHECKED BY: RSL	DATE:
SCALE: 1"=60'	DATE:

CMT TECHNICAL SERVICES
9270 SOUTH 300 WEST • SANDY, UT 84070
PHONE: (801) 562-2621 • FAX: (801) 562-2551
MATERIALS TESTING • INSPECTION SERVICES • LAB TESTING • GEOTECHNICAL
ENVIRONMENTAL • CIVIL ENGINEERING • TRANSPORTATION ENGINEERING
SURVEYING • CONSTRUCTION MANAGEMENT • SPECIALTY LAB

STRATTON ACRES, LLC
ALTA/NSPS SURVEY
PARCELS: 29:042:0049,
29:042:0046, & 29:041:0176
OCTOBER 11, 2022
LAST REVISED: _____
PROJECT NUMBER: 1555:2210
DRAWING FILE: DWG\ALTA-PH2

SANTAQUIN
CITY



APPLE VALLEY PLAT A
ENTRY: 461472018

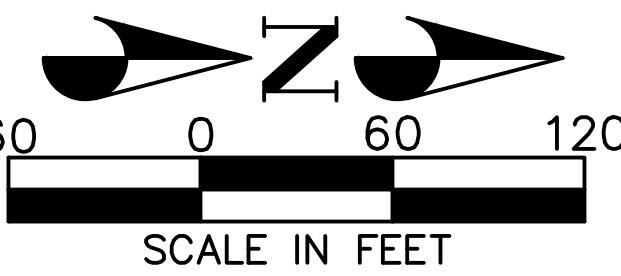
BOARD OF EDUCATION OF
NEBO SCHOOL DISTRICT
34-619-0001

OVERALL PROPERTY
21.69 Acres (944,744 Sq. Ft.)

PARCEL 1: 29-041-0176

PARCEL 1: 29-042-0049

PARCEL 2: 29-042-0046



LEGEND

	BOUNDARY LINE
	ADJOINING PARCELS
	SECTION LINE
	EXISTING CURB & GUTTER
	EXISTING EDGE OF ASPHALT
	EXISTING FENCE LINE
	EXISTING SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM DRAIN
	SDCB CATCH BASIN
	SSMH SEWER MANHOLE
	SDMH STORM DRAIN MANHOLE
	FH FIRE HYDRANT
	ICV IRRIGATION CONTROL VALVE
	TITLE REPORT EXCEPTION

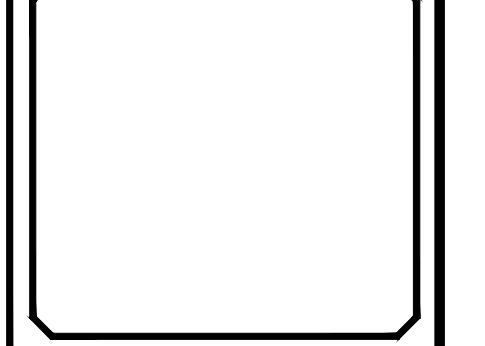
NO.	DESCRIPTION	DATE	APP'D.

ORIG. DATE:	09/2022
SURVEY BY:	REFG CREW
DRAWN BY:	BCB
DESIGNED BY:	N/A
CHECKED BY:	RSB
SCALE:	1"=60'

CMT TECHNICAL SERVICES
 9270 SOUTH 900 WEST • SANDY, UT 84070
 PHONE: (801) 562-2521 • FAX: (801) 562-2551
 MATERIALS TESTING • INSPECTION SERVICES • LAB TESTING • GEOTECHNICAL
 ENVIRONMENTAL • CIVIL ENGINEERING • TRANSPORTATION ENGINEERING
 SURVEYING • CONSTRUCTION MANAGEMENT • SPECIALTY LAB

STRATTON ACRES, LLC
ALTA/NSPS SURVEY
 PARCELS: 29:042:0049,
 29:042:0046, & 29:041:0176
 OCTOBER 11, 2022
 PROJECT NUMBER: 1555.2210
 DRAWING FILE: DWG\ALTA-PH2

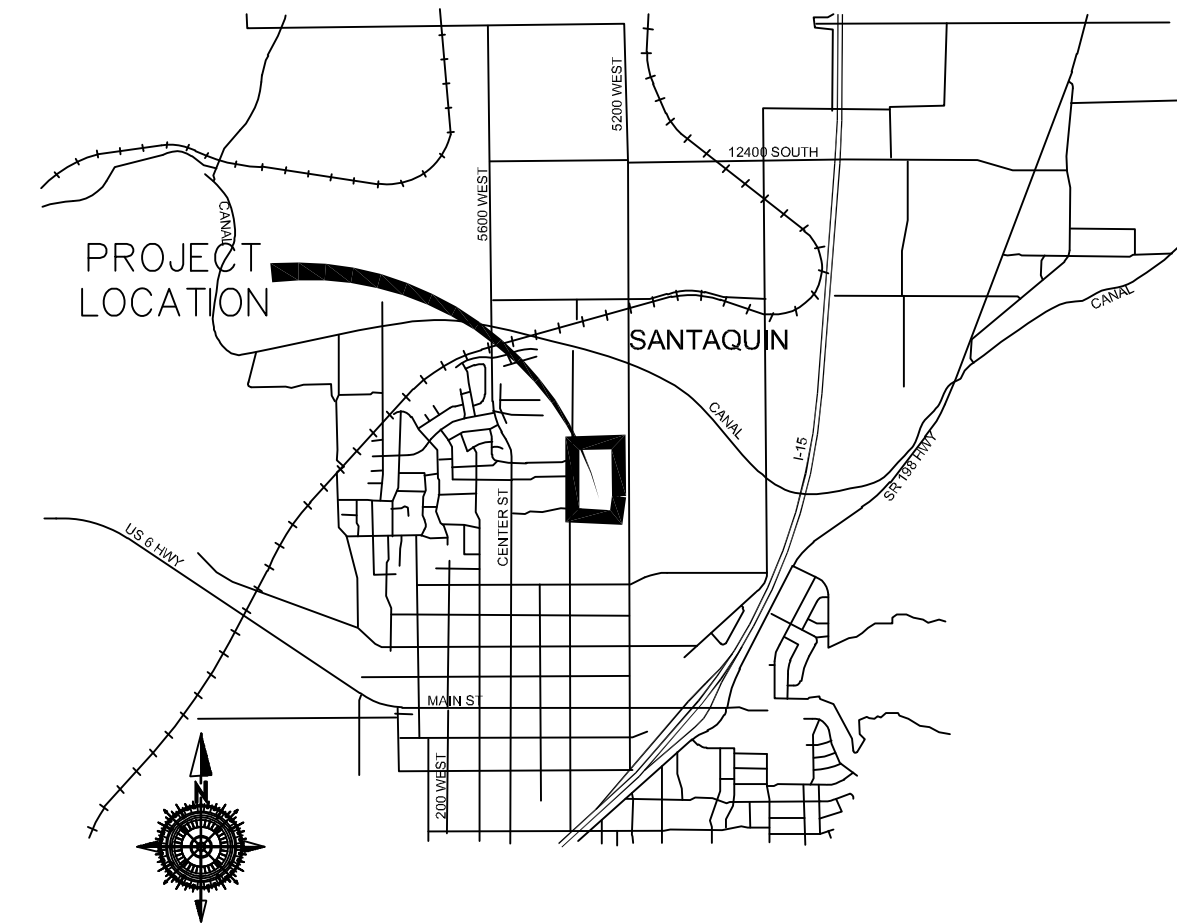
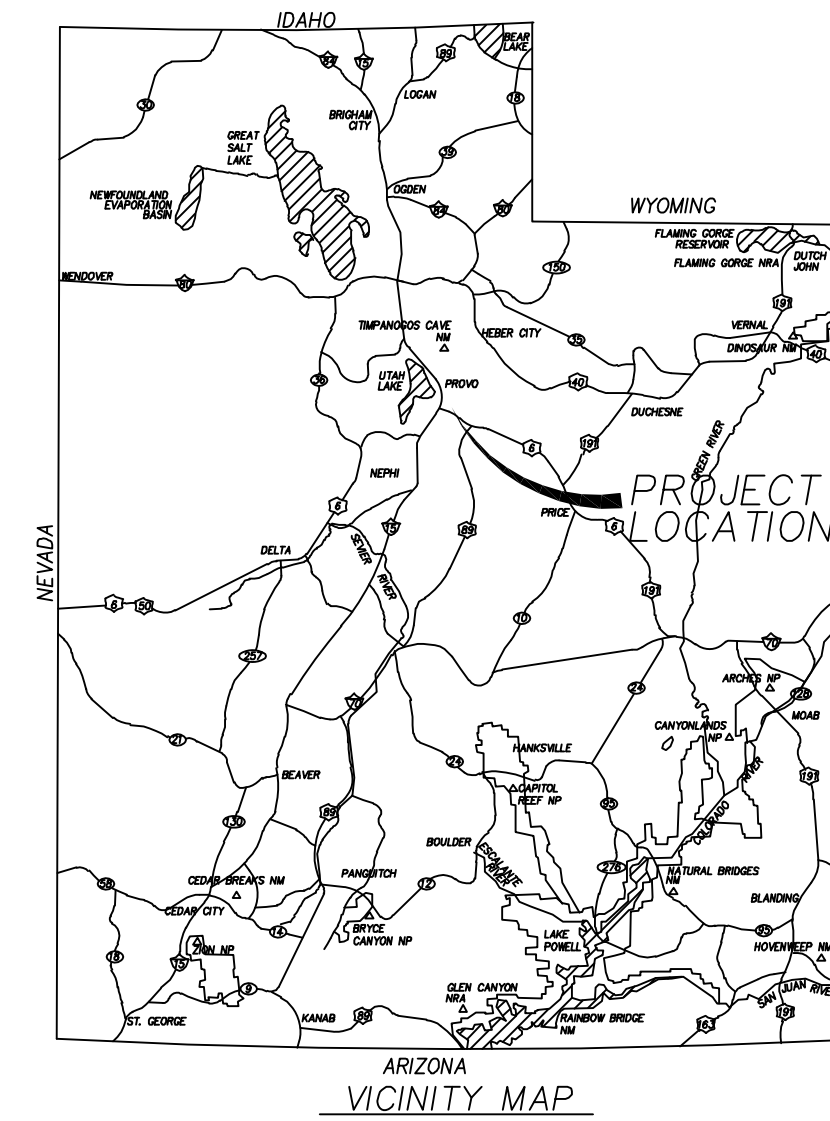
SANTAQUIN CITY



STRATTON MEADOW SUBDIVISION

PROJECT LOCATED IN THE SOUTH HALF OR THE NORTHWEST CORNER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT



SURVEYOR'S CERTIFICATE

I, _____ DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH PEPG CONSULTING, LLC AND THAT I HOLD LICENSE NO. 9679988 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT. AND THE PLAT IS STRATTON MEADOW SUBDIVISION, SANTAQUIN, UTAH. HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

BOUNDARY DESCRIPTION

BEGINNING AT A POINT THAT IS S 89°23'33" W 1,536.13 FEET ALONG THE 1/4 SECTION LINE FROM THE WEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SAID POINT BEING THE SOUTHEAST CORNER OF SANTAQUIN ACRES PHASE 1, AND RUNNING THENCE ALONG SAID BOUNDARY THE FOLLOWING 2 CALLS; 1) THENCE N 89°32'33" E 30.71 FEET, 2) THENCE N 00°27'27" W 390.47 FEET, THENCE EAST 475.18 FEET, THENCE S 00°00'03" E 819.47 FEET, THENCE S 89°37'06" W 519.60 FEET, THENCE N 02°13'39" E 432.56 FEET TO THE POINT OF BEGINNING. PARCEL CONTAINS 28 LOTS AND 9.30 ACRES.

DATE: _____

NOTES:

- TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
- NDCBU - NEIGHBORHOOD DELIVERY BOX UNIT.
- ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
- AGRICULTURE PROTECTION AREA
THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20_____

BOARD OF EDUCATION NEBO SCHOOL DISTRICT
(MANAGER)

STRATTON ACRES LLC
XXXXXX (MANAGER)

STRATTON ACRES LLC
KAMERON SPENCER (MANAGER)

STRATTON MEADOW SUBDIVISION

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTH HALF OF
SOUTHWEST QUARTER OF SECTION 31,
TOWNSHIP 1 SOUTH, RANGE 5 EAST
SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY ADMINISTRATIVE BODY

THE _____ OF
COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS
THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF
LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE
PUBLIC.
THIS _____ DAY OF _____, A.D. 20_____

APPROVED BY MAYOR _____

APPROVED _____ ATTEST _____
ENGINEER (SEE SEAL BELOW) CLERK-RECORDER (SEE SEAL BELOW)

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNERS(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. 17-27a-903(4)(c)(i) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE P.U.E. AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
a. A RECORDED EASEMENT OR RIGHT-OF-WAY
b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
c. TITLE 54, CHAPTER 96, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
d. ANY OTHER PROVISION OF LAW

Approved this _____ day of _____, 20_____

ROCKY MOUNTAIN POWER

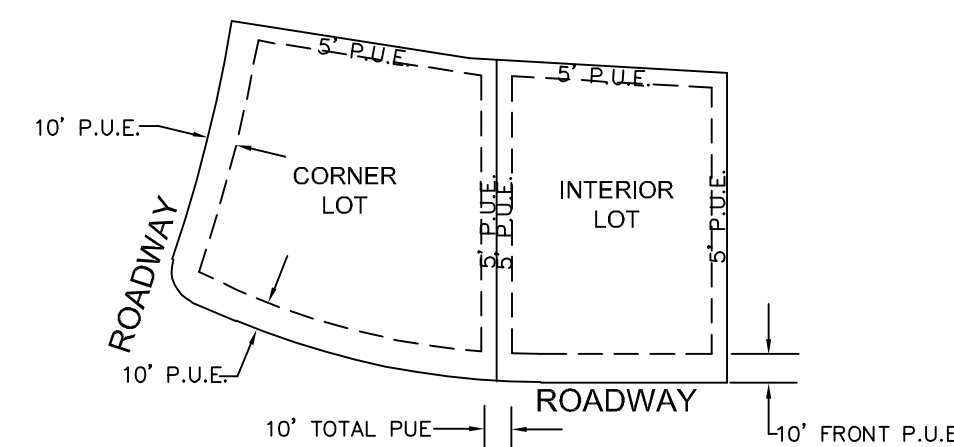
DOMINION ENERGY QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.
Approved this _____ day of _____, 20_____

QUESTAR GAS COMPANY

By: _____
Title: _____

TYPICAL LOT P.U.E. DETAILS



INTERIOR AND CORNER LOTS UNLESS OTHERWISE NOTED ON PLAT

- NOTES:
1) 10 FEET PUE FRONT AND STREET SIDES.
2) 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES.

NOT TO SCALE

SCHOOL BOARD ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF _____ S.S.
ON THE _____ DAY OF _____, 20_____, PERSONALLY APPEARED BEFORE ME _____ FOR AND IN BEHALF OF _____ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF _____ S.S.
On the _____ day of _____, A.D., 20_____, personally appeared before me, the undersigned Notary Public, in and for said County of _____ in said State of Utah, _____ who after being duly sworn acknowledged to me that _____ a Limited Liability Company (), that He signed the owners dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

UTAH COUNTY RECORDER

NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER

SURVEYOR OF RECORD:

SURVEYOR LOGO HERE

PROJECT ENGINEER:



LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF _____ S.S.
On the _____ day of _____, A.D., 20_____, personally appeared before me, the undersigned Notary Public, in and for said County of _____ in said State of Utah, _____ who after being duly sworn acknowledged to me that _____ a Limited Liability Company (), that He signed the owners dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

COUNTY RECORDER SEAL

CITY CLERK SEAL

SURVEYORS SEAL

CITY ENGINEER SEAL

SHEET NO

1
2

CENTRACOM ACCEPTANCE

APPROVED THIS _____ DAY OF _____, A.D. 20_____

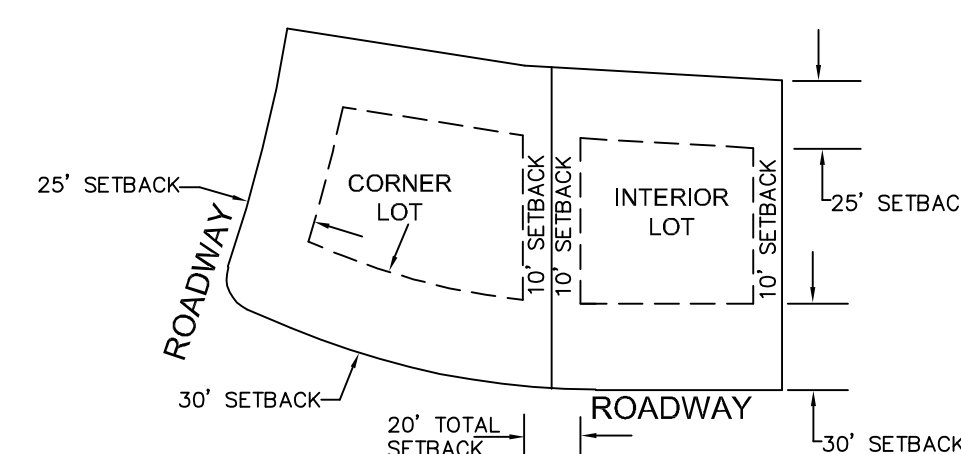
BY: _____ TITLE _____

CENTURY LINK ACCEPTANCE

APPROVED THIS _____ DAY OF _____, A.D. 20_____

BY: _____ TITLE _____

TYPICAL LOT SETBACK DETAILS



INTERIOR AND CORNER LOTS UNLESS OTHERWISE NOTED ON PLAT

- NOTES:
1) 30FT FRONT SETBACK
2) 25FT REAR SETBACK
3) 10FT SIDE LOT SETBACK

NOT TO SCALE

ADDRESSES	
LOT	ADDRESS
201	884 NORTH 260 EAST
202	872 NORTH 260 EAST
203	860 NORTH 260 EAST
204	848 NORTH 260 EAST
205	836 NORTH 260 EAST
206	824 NORTH 260 EAST
207	812 NORTH 260 EAST
208	800 NORTH 260 EAST
209	788 NORTH 260 EAST
210	776 NORTH 260 EAST
211	764 NORTH 260 EAST
212	752 NORTH 260 EAST
213	740 NORTH 260 EAST
214	728 NORTH 260 EAST
215	716 NORTH 260 EAST
216	704 NORTH 260 EAST
217	692 NORTH 260 EAST
218	680 NORTH 260 EAST
219	668 NORTH 260 EAST
220	656 NORTH 260 EAST
221	644 NORTH 260 EAST
222	632 NORTH 260 EAST
223	620 NORTH 260 EAST
224	608 NORTH 260 EAST
225	596 NORTH 260 EAST
226	584 NORTH 260 EAST
227	572 NORTH 260 EAST

EAST QUARTER CORNER
SECTION 36
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN

STRATTON MEADOWS SUBDIVISION

PROJECT LOCATED IN THE SOUTH HALF OR THE NORTHWEST CORNER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

KIMBALL STRATTON
29:042:0062

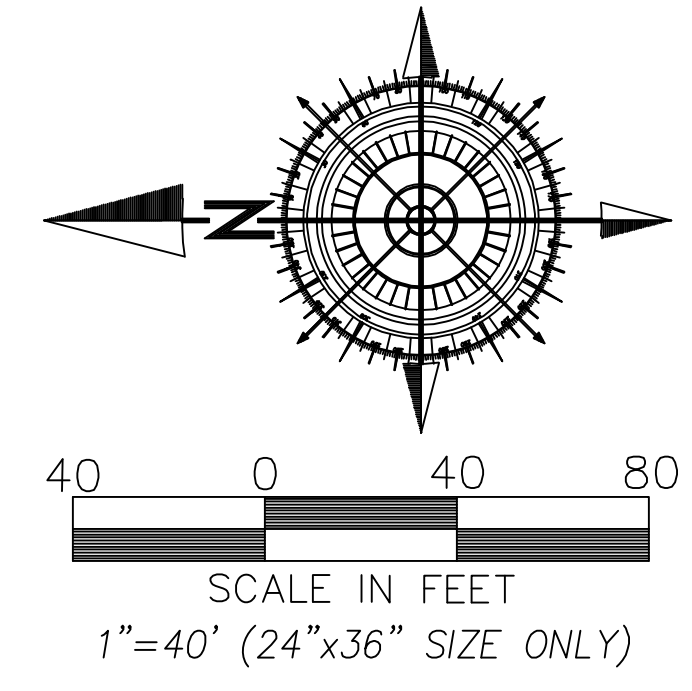
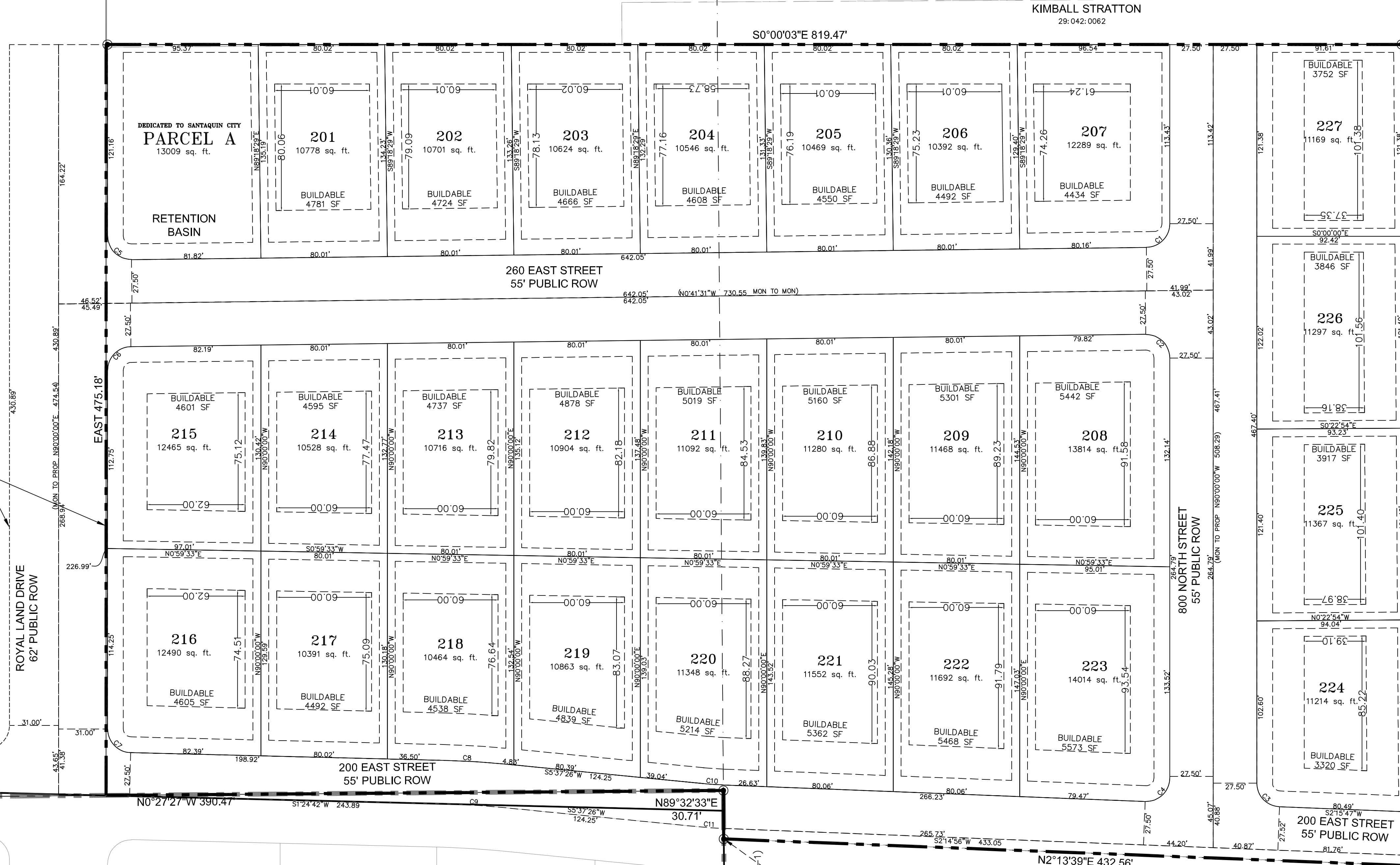
KIMBALL STRATTON
29:042:0062

CASCADE SHADOWS INC
29:041:0142

JOHNSON
29:041:0022

BOARD OF
EDUCATION
29:042:0061

ROADWAY DEDICATION
ENTRY#
BOOK
PAGE



SURVEYOR OF RECORD:

SURVEYOR LOGO HERE

PROJECT ENGINEER:

GATEWAY CONSULTING, inc
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

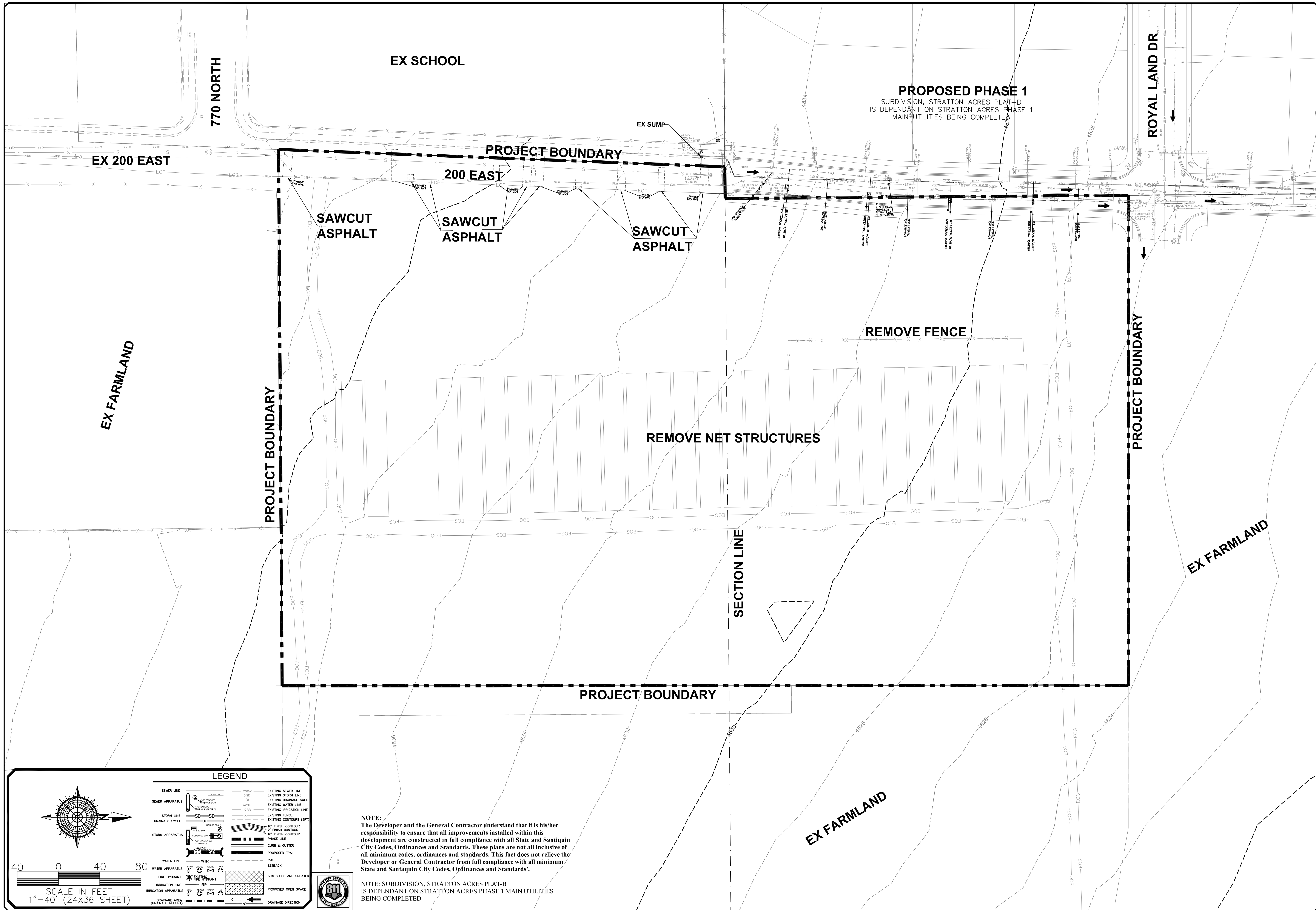
CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	23.38'	15.00'	21.08'	S45°20'46"E	89°18'29"
C2	23.74'	15.00'	21.34'	N44°39'14"E	90°41'31"
C3	22.98'	15.00'	20.80'	S46°06'48"W	87°45'04"
C4	24.15'	15.00'	21.63'	S43°52'32"E	92°14'56"
C5	23.74'	15.00'	21.34'	S44°39'14"W	90°41'31"
C6	23.38'	15.00'	21.08'	N45°20'46"W	89°18'29"
C7	23.19'	15.00'	20.95'	S45°42'21"W	88°35'18"
C8	38.78'	527.50'	38.77'	S3°31'04"W	4°12'44"
C9	36.76'	500.00'	36.75'	S3°31'04"W	4°12'44"
C10	14.58'	247.50'	14.58'	S3°56'11"W	3°22'30"
C11	16.20'	275.00'	16.20'	S3°56'11"W	3°22'30"

POINT OF BEGINNING
WEST QUARTER CORNER
SECTION 36
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN

- LEGEND**
- PHASE BOUNDARY LINE
 - - - SECTION LINE
 - CENTER LINE
 - - - P.U.E. LINE
 - - - SETBACKS
 - EXISTING UDOT MONUMENT
 - ◆ SECTION CORNER
 - NEW ROAD MONUMENT
 - EXISTING REBAR AND CAP

SHEET NO
2
2

SANTAQUIN CITY RECORDER
NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____
COUNTY RECORDER



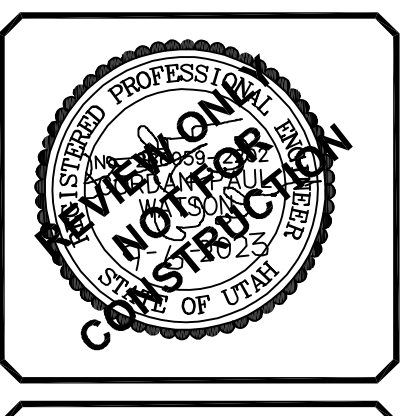
NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=40'

GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
 paul@gatewayconsultingllc.com
 CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

STRATTON MEADOW
 SUBDIVISION
 EXISTING CONDITIONS
 AND DEMOLITION SHEET
 9-6-23

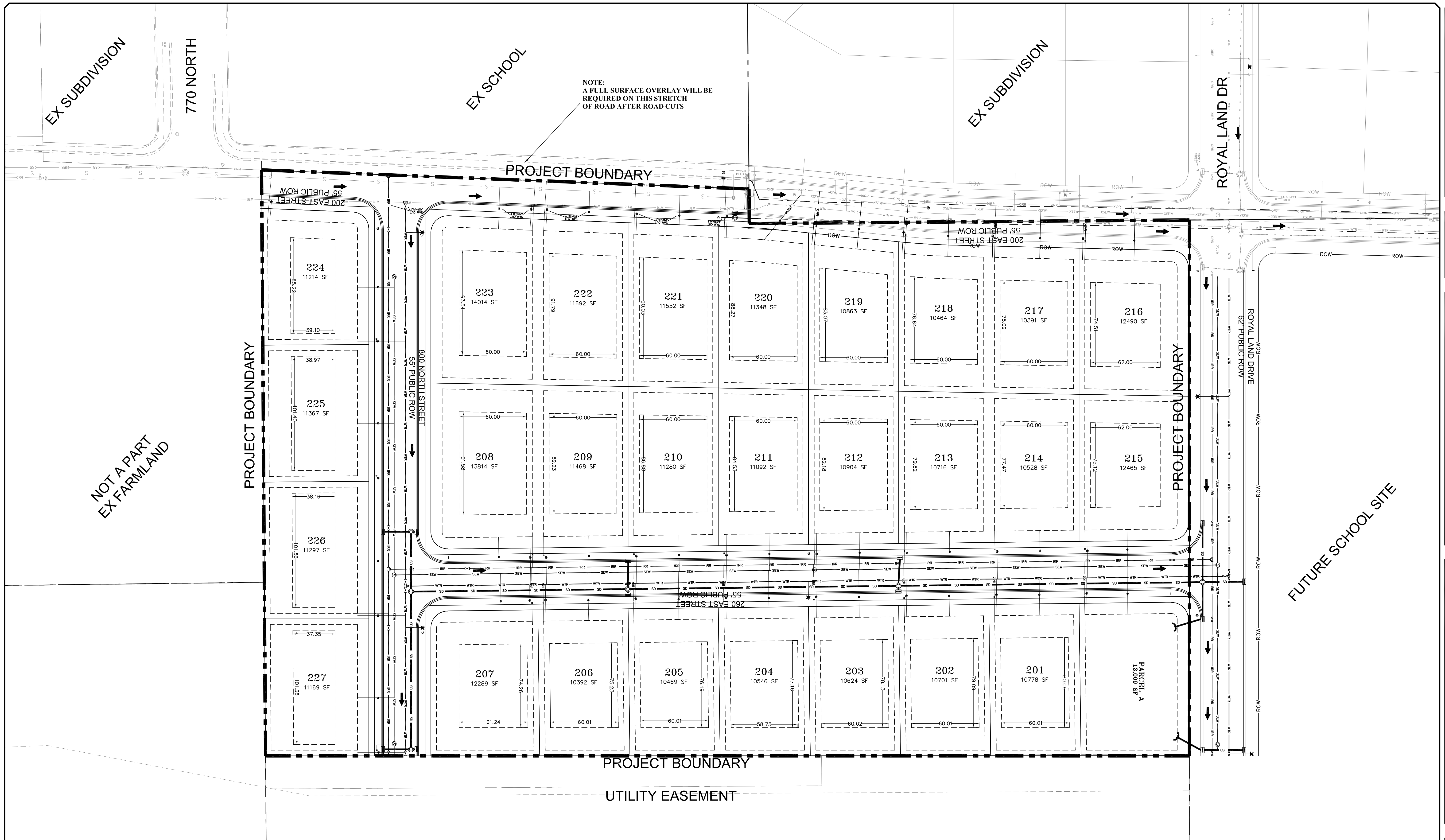
SANTAQUIN CITY



SHEET NO. 2

NOTE:
 The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards.

NOTE: SUBDIVISION, STRATTON ACRES PLAT-B IS DEPENDANT ON STRATTON ACRES PHASE 1 MAIN UTILITIES BEING COMPLETED



NOTE:
A FULL SURFACE OVERLAY WILL BE
REQUIRED ON THIS STRETCH
OF ROAD AFTER ROAD CUTS

NOT A PART
EX FARMLAND

NOT A PART
EX FARMLAND

LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SWELL
DRAINAGE SWELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (2FT)
FIRE HYDRANT	10' FINISH CONTOUR
IRRIGATION LINE	5' FINISH CONTOUR
IRRIGATION APPARATUS	10' FINISH CONTOUR
DRAINAGE AREA	PHASE LINE
STREET LIGHT	BOUNDARY LINE
	CURB & OUTER
	PIKE
	SETBACK
	SOE SLOPE AND GRADATION
	PROPOSED OPEN SPACE
	STOP OR STREET SIGN
	DRAINAGE DIRECTION

SCALE IN FEET
1" = 40' (24x36 SHEET)

NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards.

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=40'

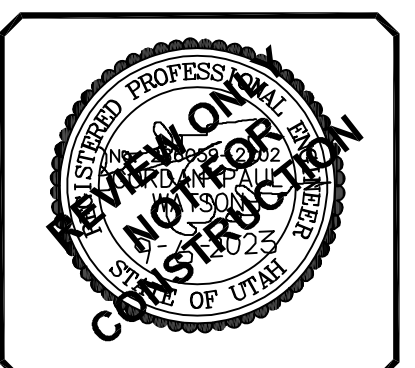
GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
 paul@gatewayconsultingllc.com

CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

STRATTON MEADOW
 SUBDIVISION
 SITE PLAN

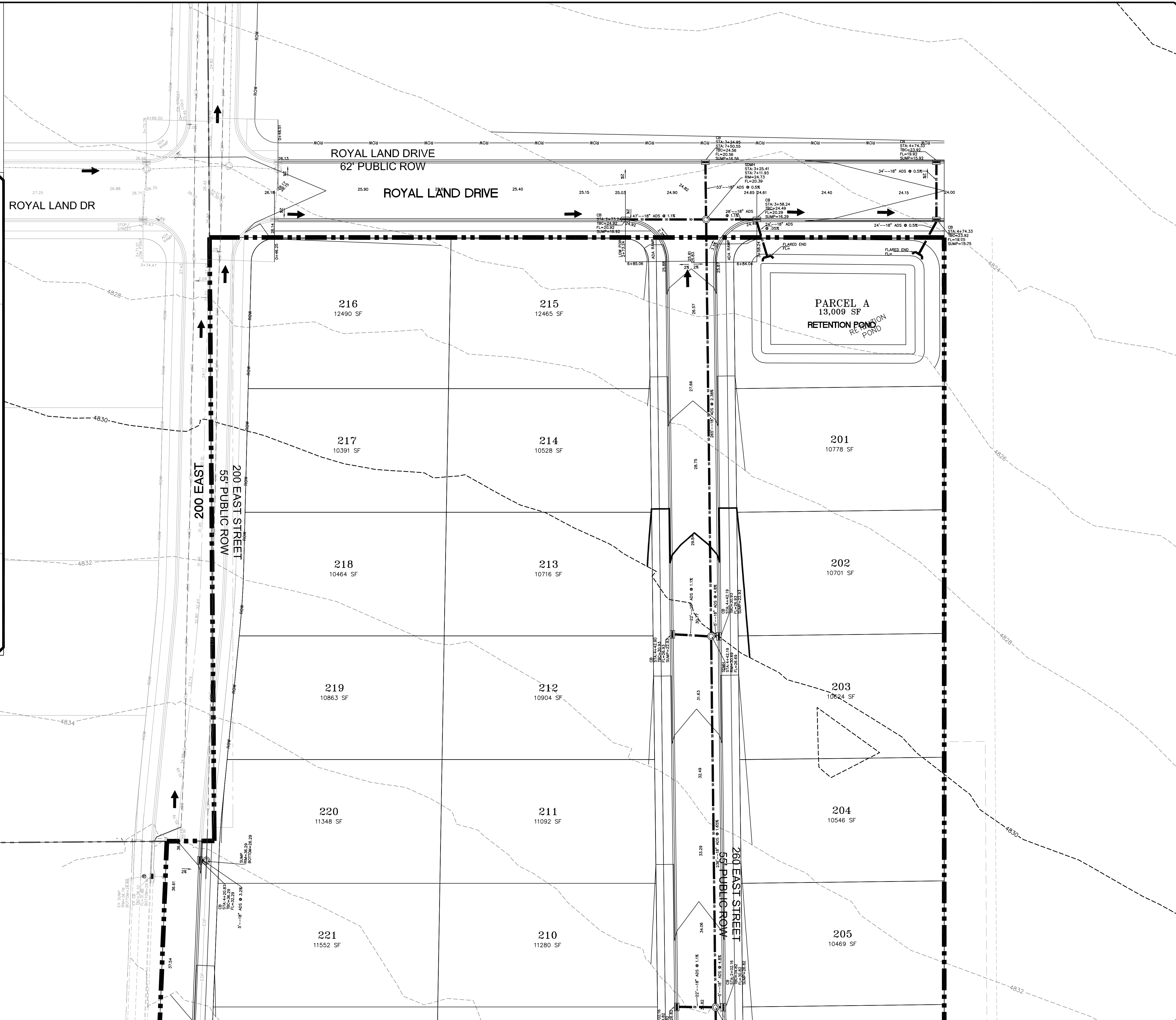
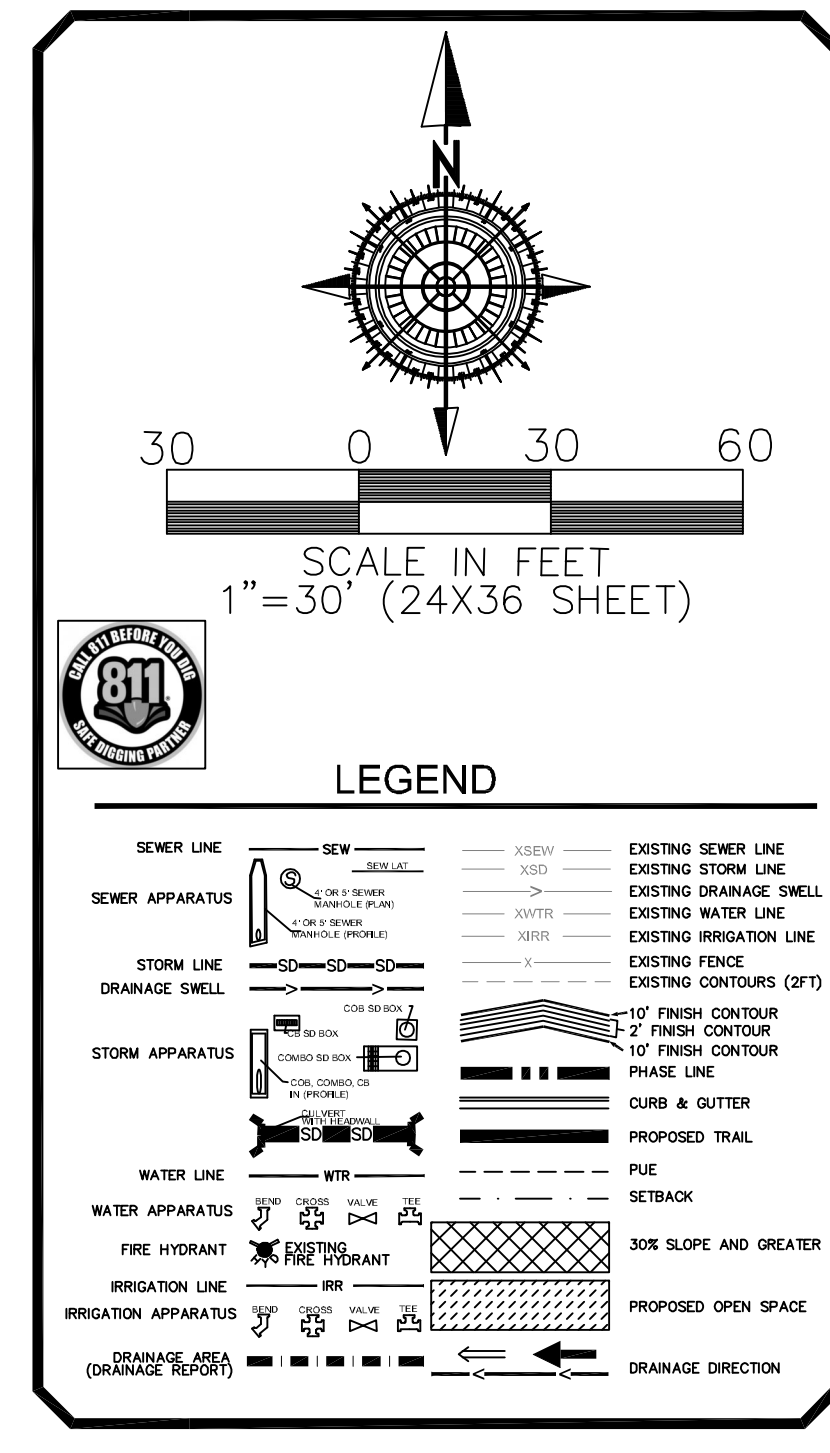
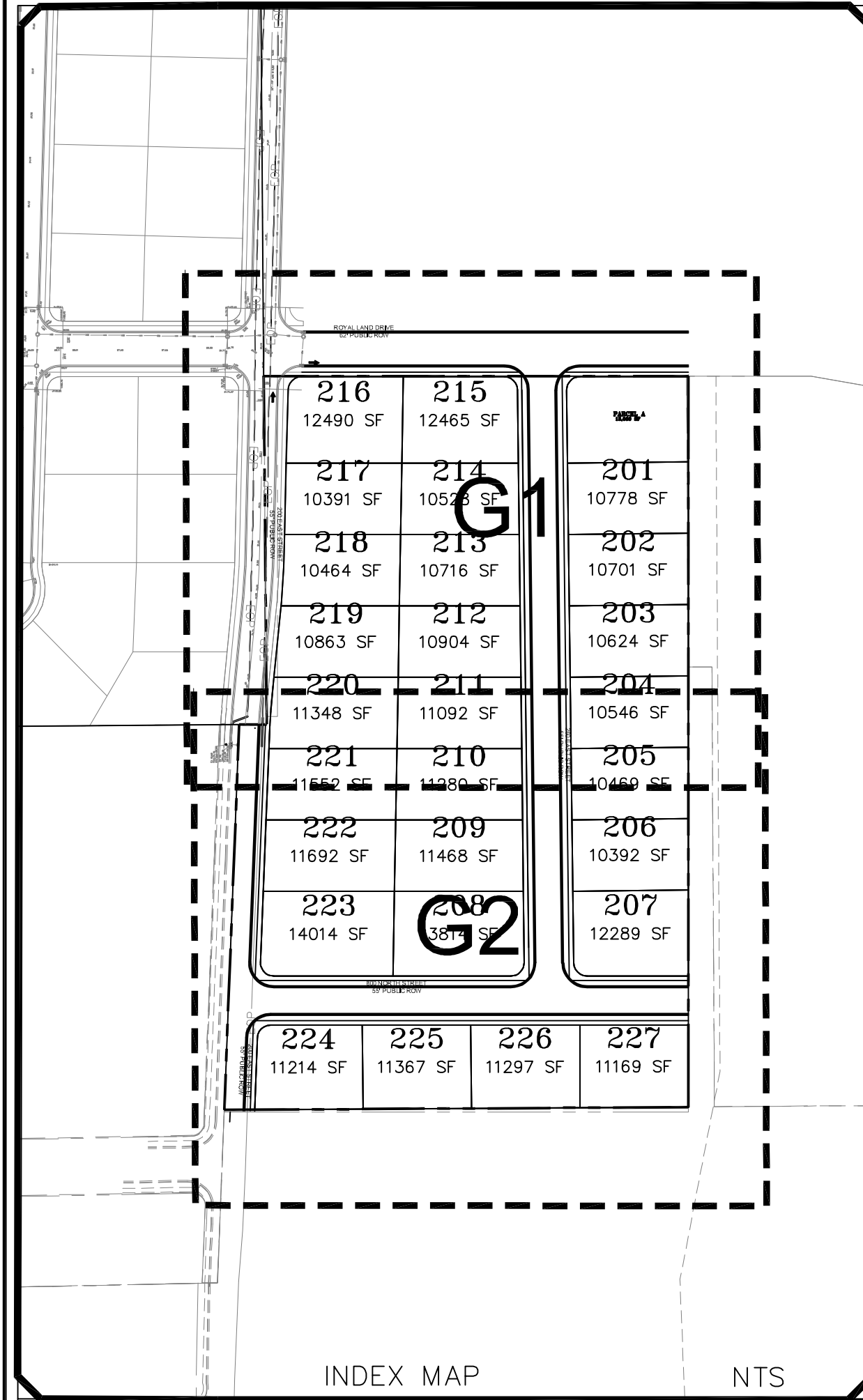
9-6-2023

SANTAQUIN
 CITY



SHEET NO. 3

NOTE:
 The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and SANTAQUIN City Codes, Ordinances and Standards'.



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
 paul@gatewayconsultingllc.com

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 CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION
 GRADING

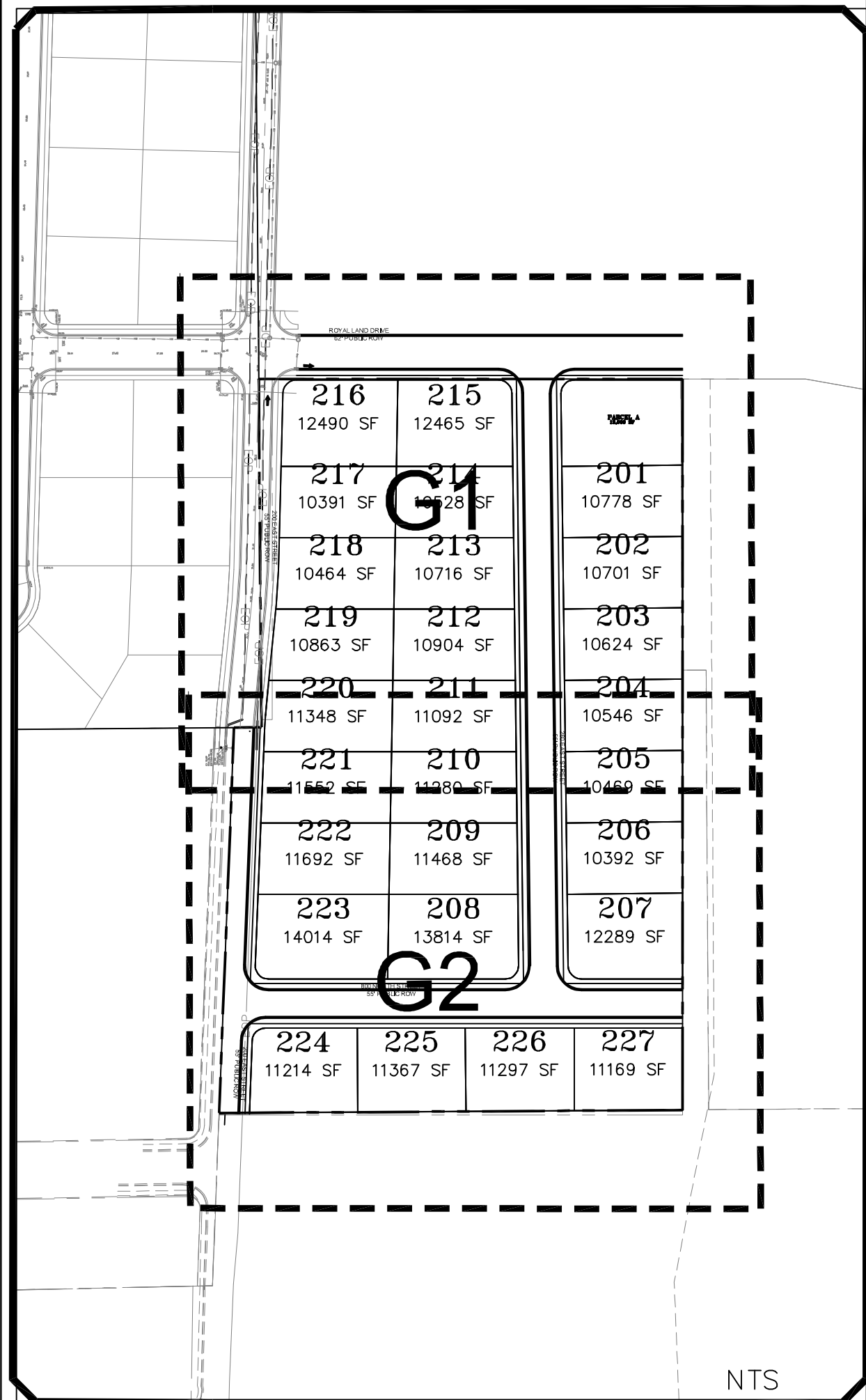
9-6-2023

SANTAQUIN CITY

Professional Engineer Seal
 PAUL J. GIBSON
 LICENSE NO. 100000001
 STATE OF UTAH

SHEET NO. **G1**

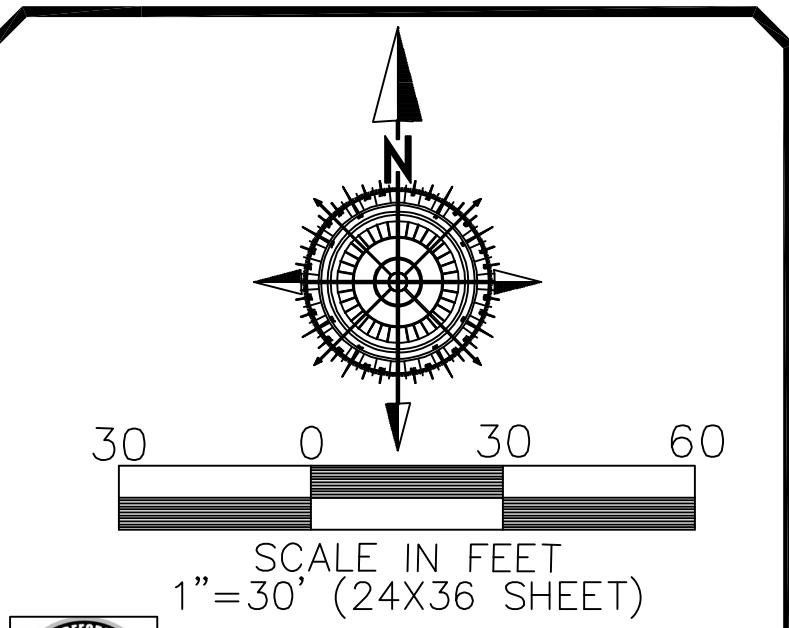
PHASE I UNDER CONSTRUCTION



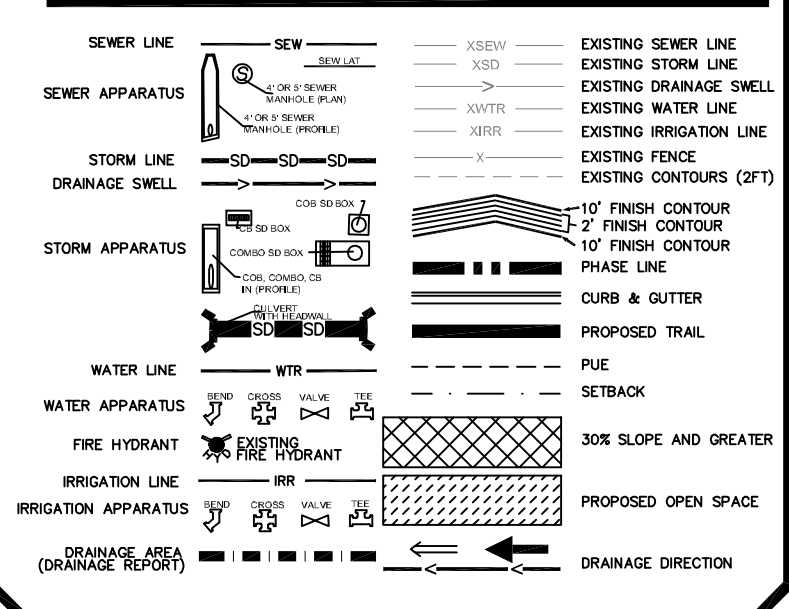
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217 10391 SF	214 10728 SF	202 10701 SF
218 10484 SF	213 10716 SF	203 10624 SF
219 10863 SF	212 10904 SF	204 10546 SF
220 11348 SF	211 11092 SF	205 10469 SF
221 11548 SF	210 11280 SF	206 10392 SF
222 11692 SF	209 11468 SF	207 12289 SF
223 14014 SF	208 13814 SF	
224 11214 SF	225 11367 SF	226 11297 SF
		227 11169 SF

NTS

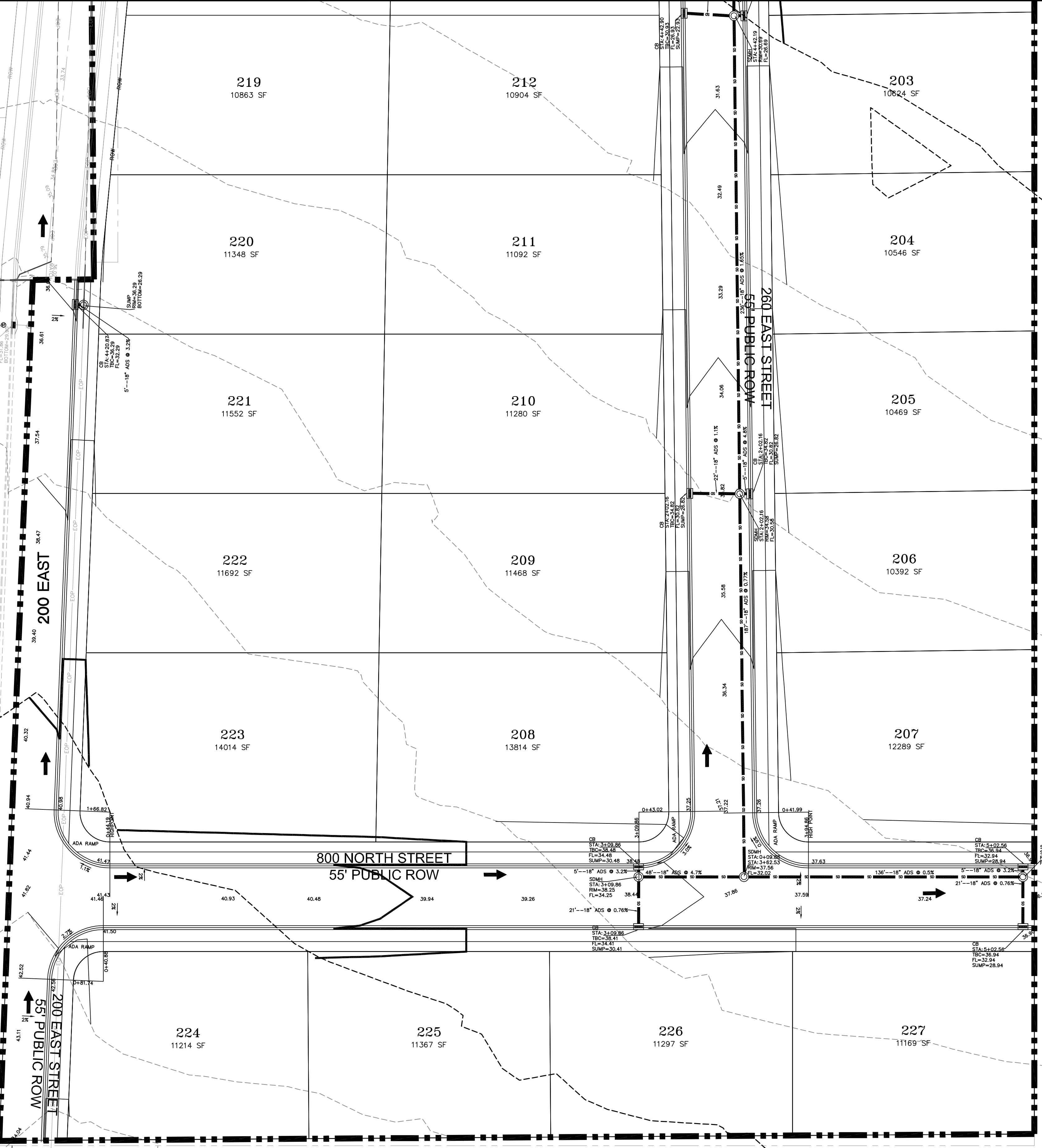
INDEX MAP



LEGEND



770 NORTH



NOTE: The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and SANTAQUIN City Codes, Ordinances and Standards.

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

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 9-6-2023

SANTAQUIN CITY



SHEET NO. G2



LEGEND

SEWER LINE	SEWER APPARATUS	STORM LINE	STORM APPARATUS	WATER LINE	FIRE HYDRANT	IRRIGATION LINE	IRRIGATION APPARATUS	DRAINAGE LINE (DRAINAGE SWALE)	EXISTING SEWER LINE	EXISTING STORM LINE	EXISTING DRAINAGE SWALE	EXISTING WATER LINE	EXISTING IRRIGATION LINE	EXISTING FENCE	EXISTING CONTOURS (DT)	10' FINISH CONTOUR	2' FINISH CONTOUR	10' FINISH CONTOUR	CURB & GUTTER	PROPOSED TRAIL	FILE	SETBACK	5% SLOPE AND GREATER	PROPOSED OPEN SPACE	SEWER APPARATUS	STORM APPARATUS	WATER APPARATUS	IRRIGATION APPARATUS	DRAINAGE APPARATUS	DRAINAGE DIRECTION
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SCALE IN FEET
1" = 40' HORIZONTAL

Blue Stakes of UTAH811

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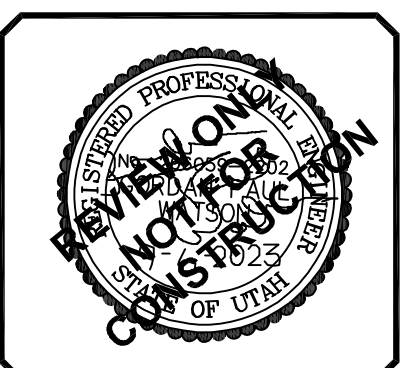
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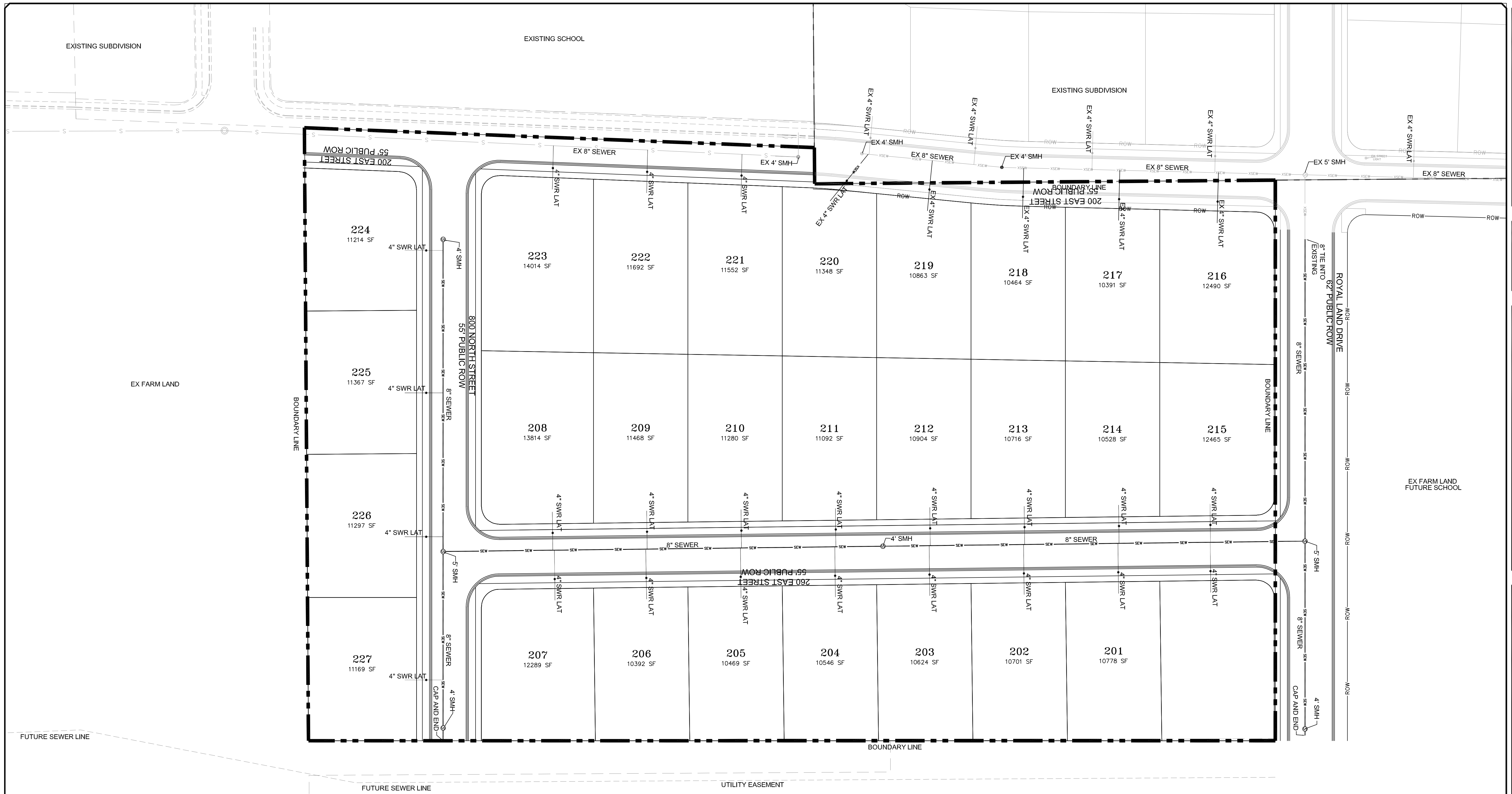
WATER UTILITY SHEET

PRINT DATE: 9-6-2023

SANTAQUIN CITY



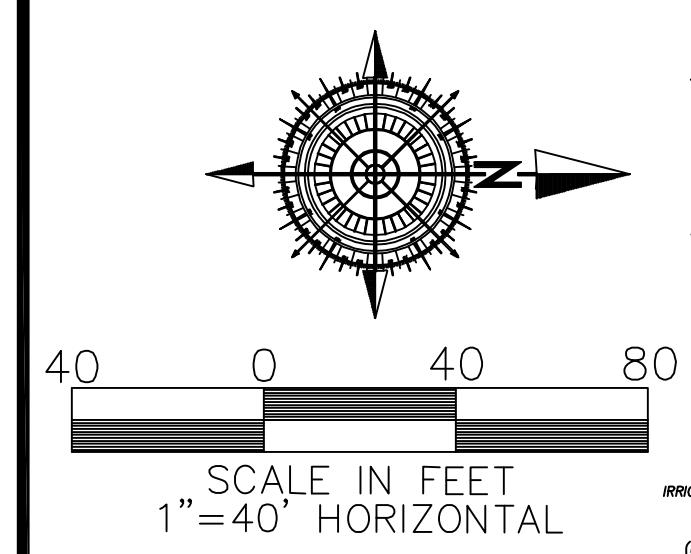
SHEET NO. **U1**



LEGEND

	SEWER LINE		4" SWR LAT		EXISTING SEWER LINE
	SEWER APPARATUS		STORM LINE		EXISTING STORM LINE
	STORM LINE		STORM APPARATUS		EXISTING DRAINAGE SHELL
	STORM APPARATUS		WATER LINE		EXISTING WATER LINE
	WATER LINE		FIRE HYDRANT		EXISTING IRRIGATION LINE
	FIRE HYDRANT		IRRIGATION LINE		EXISTING FENCE
	IRRIGATION LINE		15' FINISH CONTOUR		EXISTING CONTOURS (PRT)
	2' FINISH CONTOUR		15' FINISH CONTOUR		CURB & GUTTER
	15' FINISH CONTOUR		PROPOSED TRAIL		2' FINISH CONTOUR
	PROPOSED TRAIL		PROPOSED OPEN SPACE		15' FINISH CONTOUR
	PROPOSED OPEN SPACE		DRAINAGE DIRECTION		2' FINISH CONTOUR

NOTE:
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SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=40'

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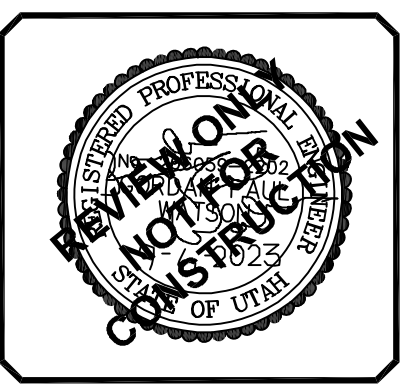
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**STRATTON MEADOW
 SUBDIVISION**

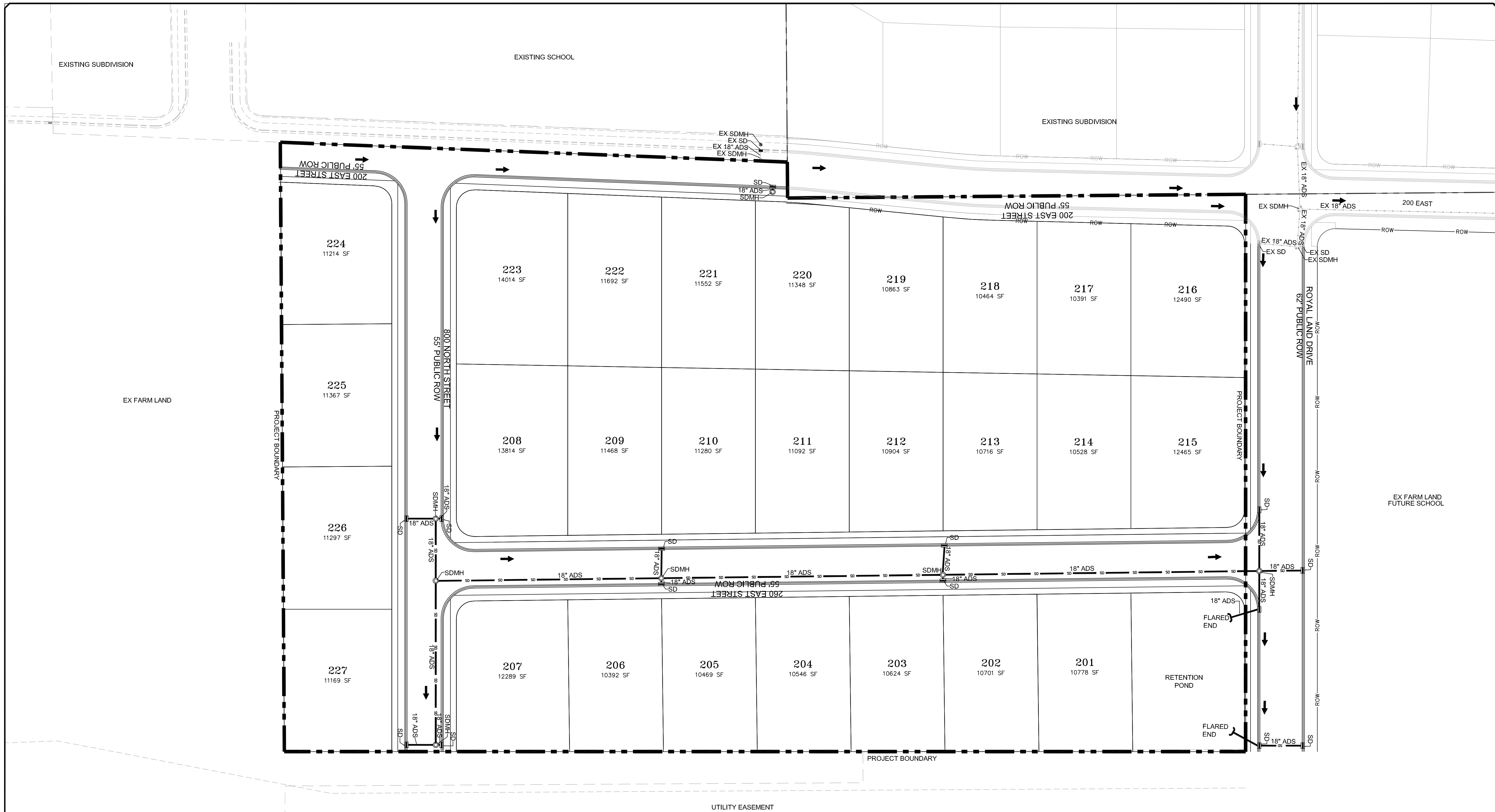
SEWER UTILITY SHEET

PRINT DATE: 9-6-2023

SANTAQUIN CITY



SHEET NO. U2



LEGEND

	SEWER LINE		EXISTING SEWER LINE
	SEWER APPARATUS		EXISTING STORM LINE
	STORM LINE		EXISTING DRAINAGE SHELL
	DRAINAGE SHELL		EXISTING WATER LINE
	STORM APPARATUS		EXISTING IRRIGATION LINE
	WATER LINE		EXISTING FENCE
	FIRE HYDRANT		EXISTING CONTOURS (2 FT)
	IRRIGATION LINE		10' FINISH CONTOUR
	DRAINAGE LINE (DRAINAGE SHELL)		2' FINISH CONTOUR
	10' FINISH CONTOUR		10' FINISH CONTOUR
	2' FINISH CONTOUR		CURBS & GUTTERS
	CURBS & GUTTERS		PROPOSED TRAIL
	PROPOSED TRAIL		FILE
	FILE		SETBACK
	SETBACK		SLOPE AND GREATER
	SLOPE AND GREATER		PROPOSED OPEN SPACE
	PROPOSED OPEN SPACE		DRAINAGE DIRECTION

Blue Stakes of UTAH 811

NOTE:
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 PH: (801) 694-5848
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 CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION

STORM UTILITY SHEET

PRINT DATE: 9-6-2023

SANTAQUIN CITY



SHEET NO. **U3**



LEGEND

SEWER LINE SEWER APPARATUS STORM LINE STORM APPARATUS WATER LINE FIRE HYDRANT IRRIGATION LINE DRAINAGE LINE		<p>EXISTING SEWER LINE EXISTING STORM LINE EXISTING DRAINAGE SHELL EXISTING WATER LINE EXISTING IRRIGATION LINE EXISTING FENCE EXISTING CONTOURS (DT) 10' FINISH CONTOUR 2' FINISH CONTOUR 10' FINISH CONTOUR CURB & GUTTER PROPOSED TRAIL FILE SETBACK SLOPE AND GREATER PROPOSED OPEN SPACE</p>	<p>EXISTING SEWER LINE EXISTING STORM LINE EXISTING DRAINAGE SHELL EXISTING WATER LINE EXISTING IRRIGATION LINE EXISTING FENCE EXISTING CONTOURS (DT) 10' FINISH CONTOUR 2' FINISH CONTOUR 10' FINISH CONTOUR CURB & GUTTER PROPOSED TRAIL FILE SETBACK SLOPE AND GREATER PROPOSED OPEN SPACE</p>
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SCALE IN FEET
1" = 40' HORIZONTAL

Blue Stakes of UTAH 831

NOTE:
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NO.	DESCRIPTION	DATE	APP'D

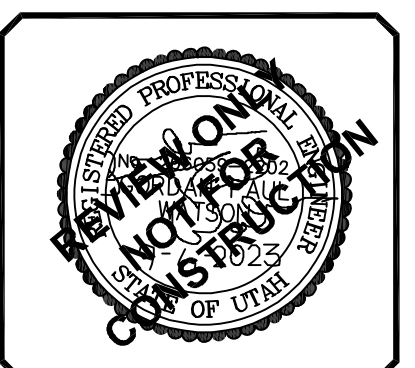
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 SURVEY BY: GPW
 DRAWN BY: GPW
 DESIGNED BY: GPW
 CHECKED BY: GPW
 SCALE: 1"=40'

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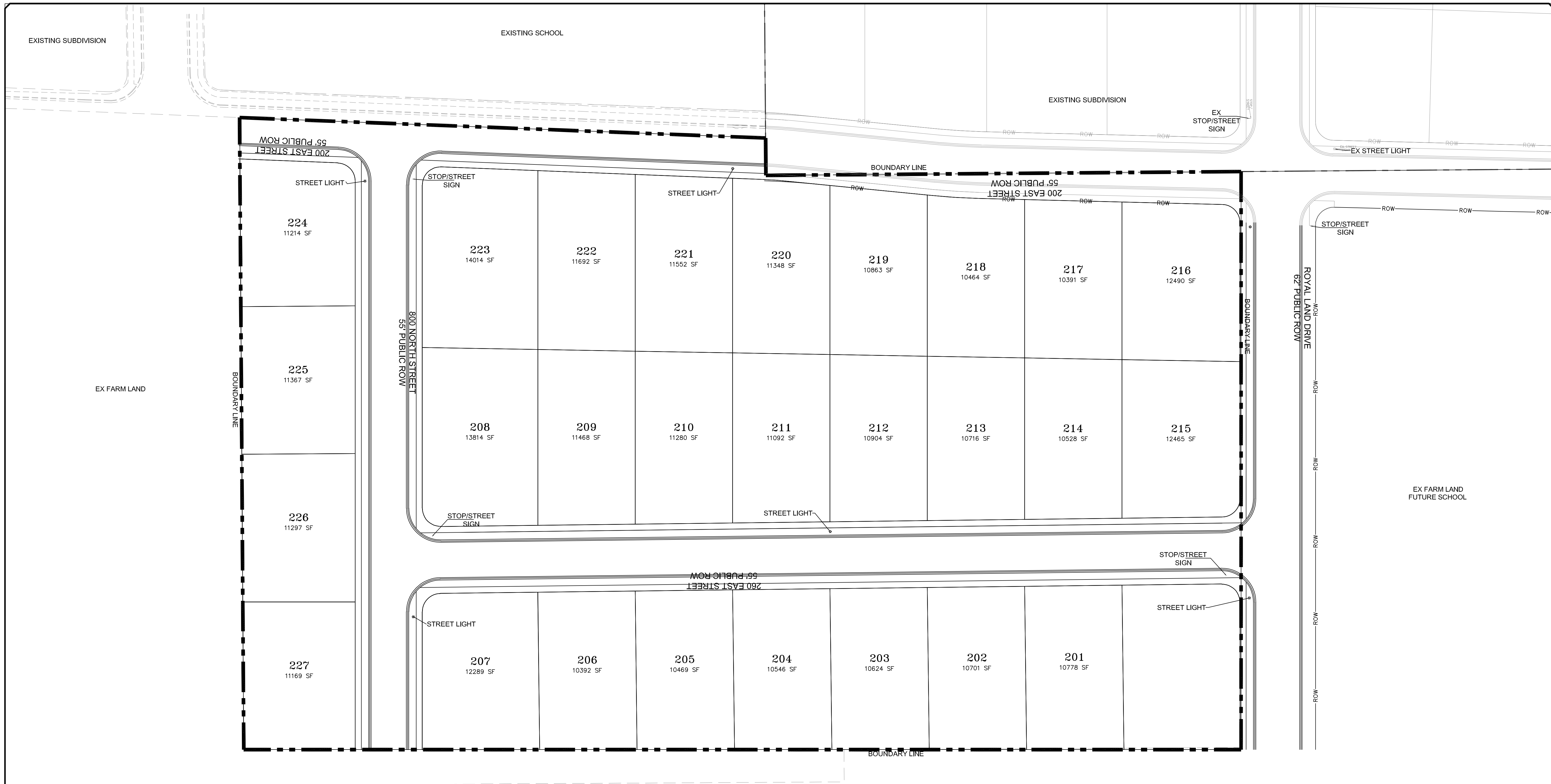
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STRATTON MEADOW SUBDIVISION
 IRRIGATION UTILITY SHEET
 PRINT DATE: 9-6-2023

SANTAQUIN CITY



SHEET NO. U4



LEGEND

SEWER LINE	SEWER APPARATUS	STORM LINE	STORM APPARATUS	WATER LINE	FIRE HYDRANT	IRRIGATION LINE	IRRIGATION APPARATUS	DRAINAGE LINE (DRAINAGE SHOULDER)	EXISTING SEWER LINE	EXISTING STORM LINE	EXISTING DRAINAGE SHOULDER	EXISTING WATER LINE	EXISTING IRRIGATION LINE	EXISTING FENCE	EXISTING CONTOURS (2 FT)	10' FINISH CONTOUR	2' FINISH CONTOUR	10' FINISH CONTOUR	CLUB & GUTTER	PROPOSED TRAIL	FILE	SETBACK	30% SLOPE AND GREATER	PROPOSED OPEN SPACE	DRAINAGE DIRECTION
---	○	---	○	---	○	---	○	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---

SCALE IN FEET
1" = 40' HORIZONTAL

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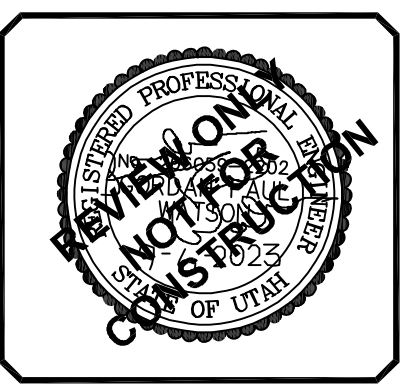
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 SURVEY BY: GPW
 DRAWN BY: GPW
 DESIGNED BY: GPW
 CHECKED BY: GPW
 SCALE: 1"=40'

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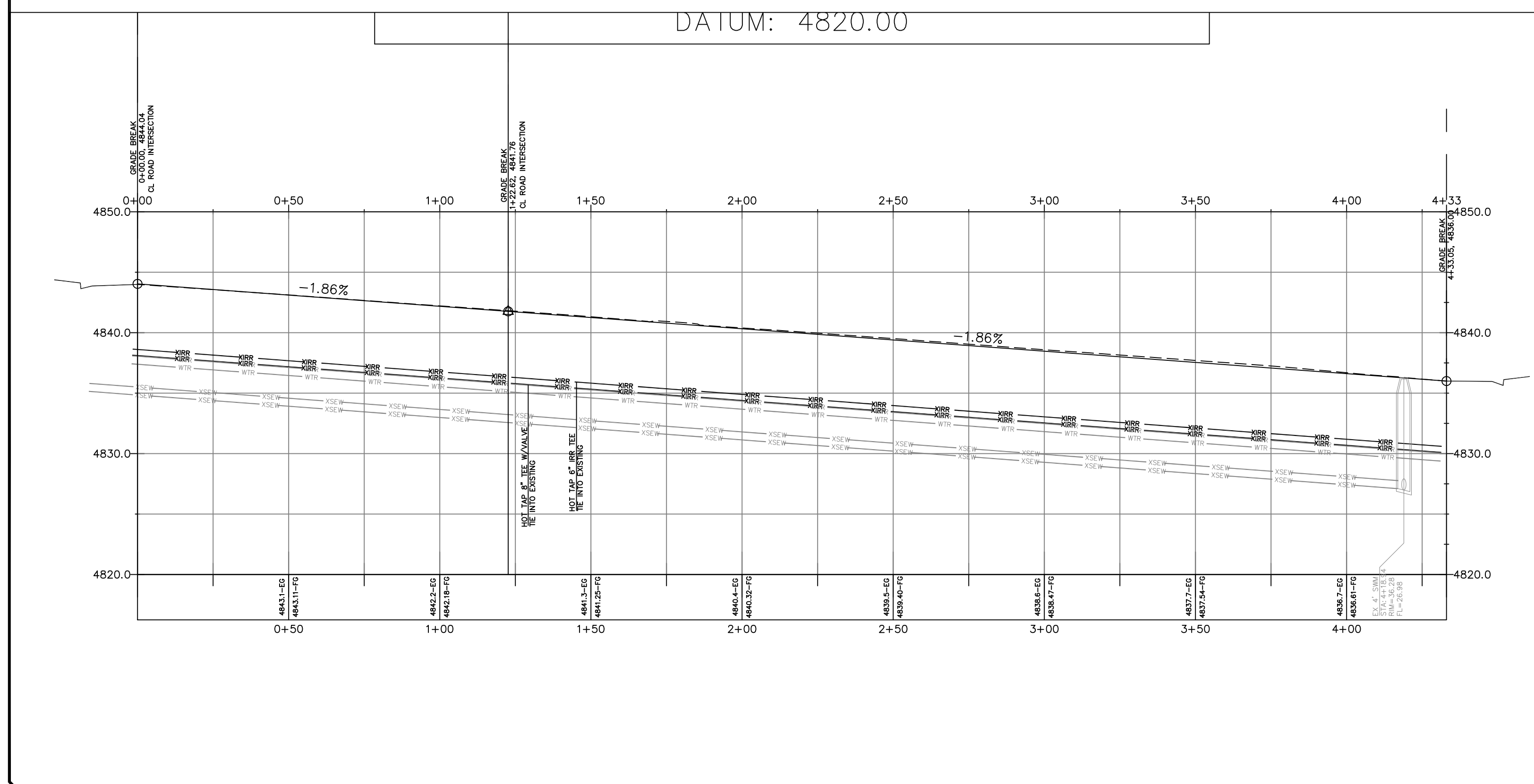
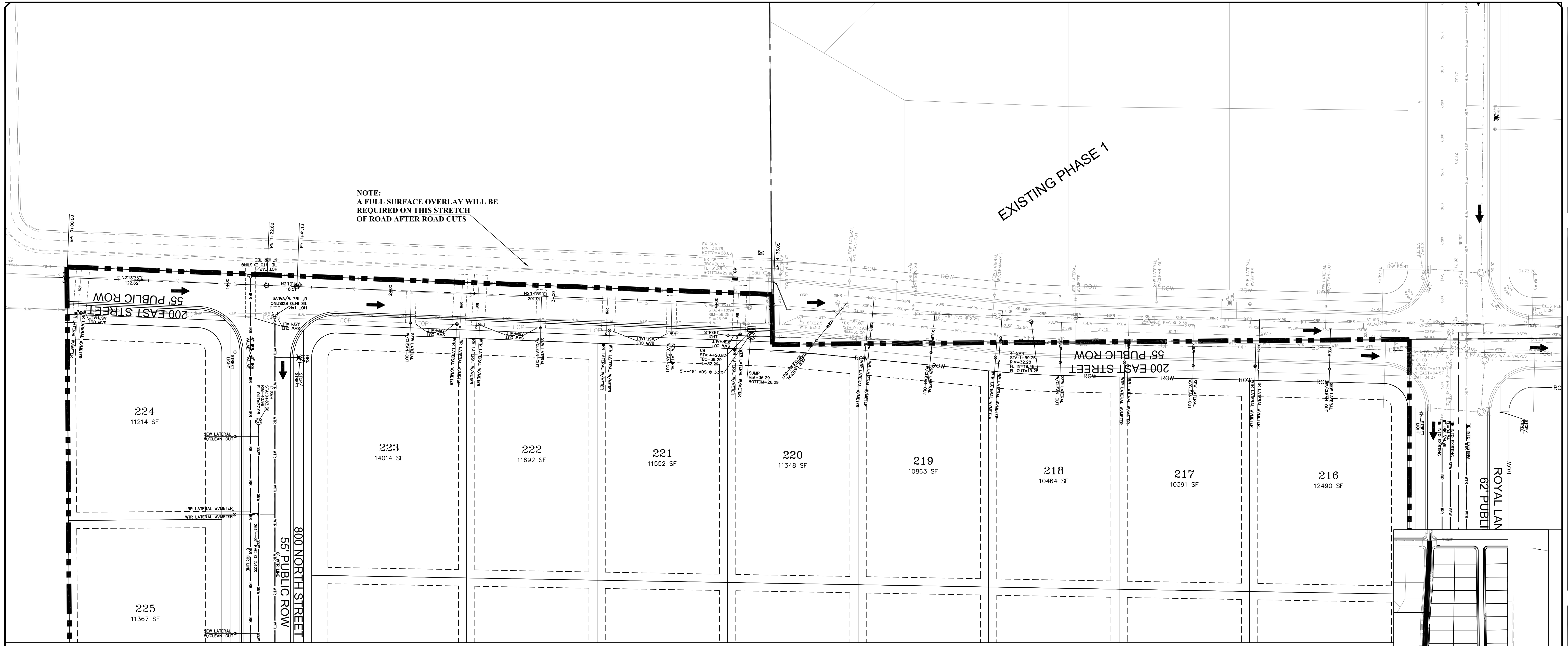
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STRATTON MEADOW SUBDIVISION
 LIGHT AND SIGN PLAN
 PRINT DATE: 9-6-2023

SANTAQUIN CITY



SHEET NO. SS1

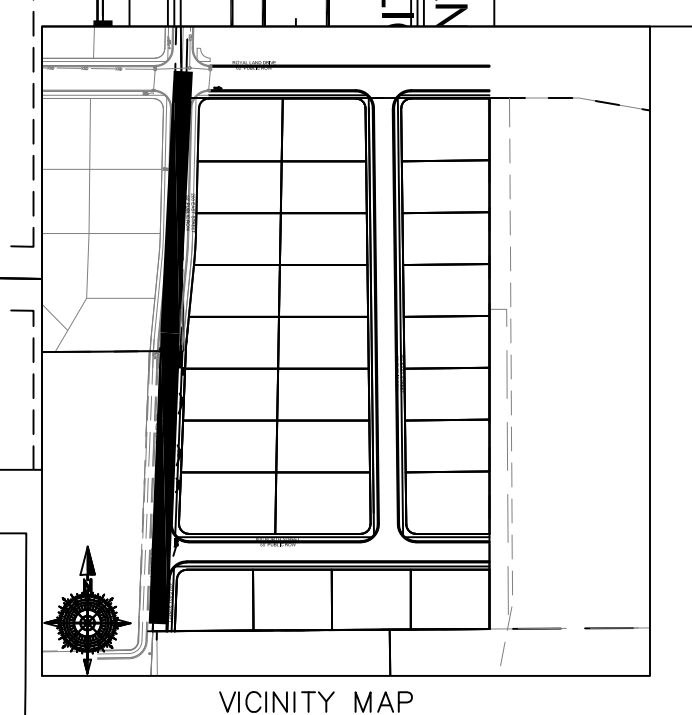


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LEGEND

- SEWER LINE
- SEWER APPURTENANCES
- STORM LINE
- STORM APPURTENANCES
- WATER LINE
- WATER APPURTENANCES
- PROPOSED DRAINAGE SWALE
- PROPOSED OPEN SPACE

SCALE IN FEET
1" = 30' HORIZONTAL
1" = 7.5' VERTICAL



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1" = 30'

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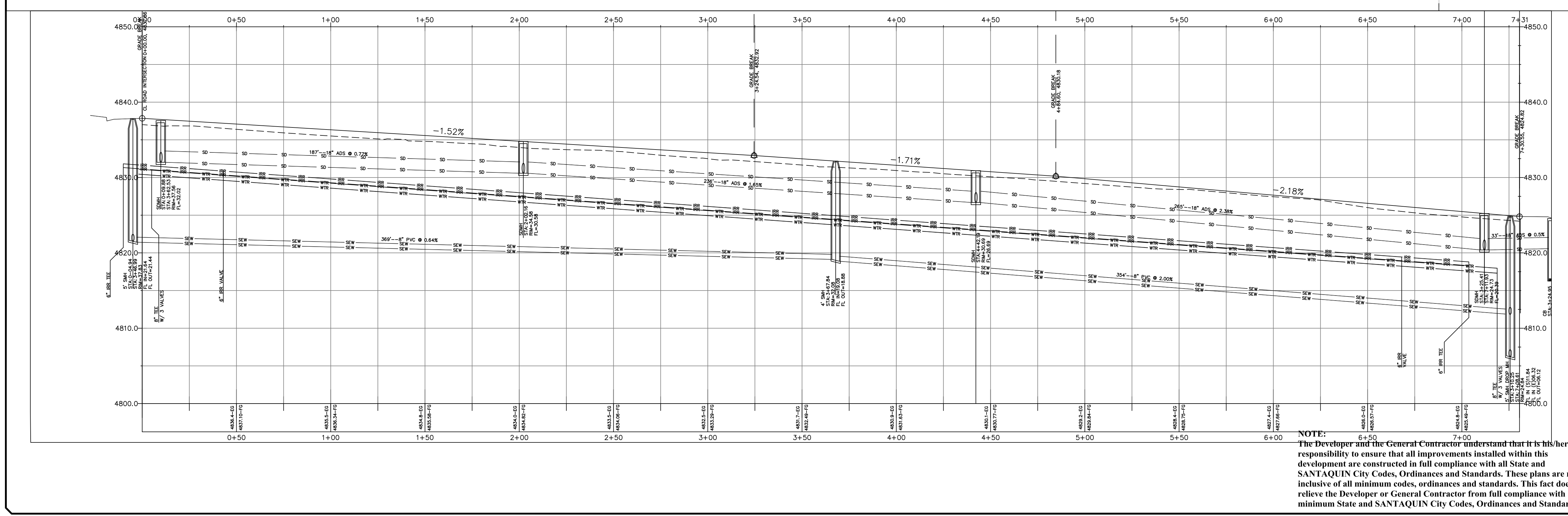
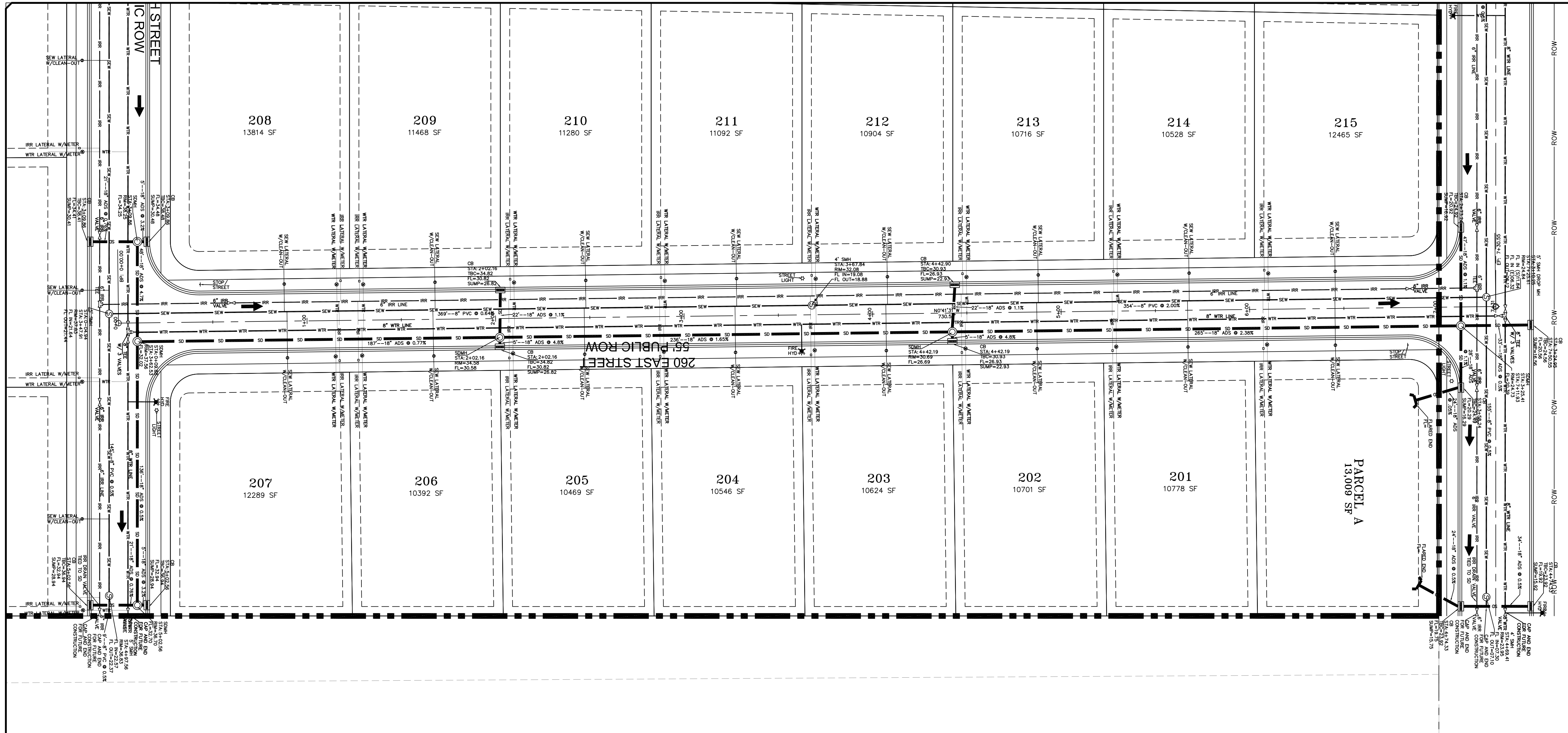
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**STRATTON MEADOWS
 SUBDIVISION
 PLAN AND PROFILE
 200 EAST**

9-6-2023

SANTAQUIN CITY

SHEET NO. PP2



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811 CITY OF UTAH

SCALE IN FEET
1" = 30' HORIZONTAL
1" = 7.5' VERTICAL

SEWER APPARATUS: 18" ADS, 24" ADS, 10" WTR, 12" WTR, 36" PVC @ 0.54%, 18" ADS @ 0.72%, 24" ADS @ 1.1%, 30" ADS @ 1.65%, 36" ADS @ 2.33%, 42" ADS @ 3.00%

STORM APPARATUS: 18" ADS, 24" ADS, 30" ADS, 36" ADS, 42" ADS

WATER APPARATUS: 10" WTR, 12" WTR

FIRE HYDRANT: 4" FIRE HYDRANT

RAISED WALKWAY: 18" WALKWAY, 24" WALKWAY, 30" WALKWAY, 36" WALKWAY, 42" WALKWAY

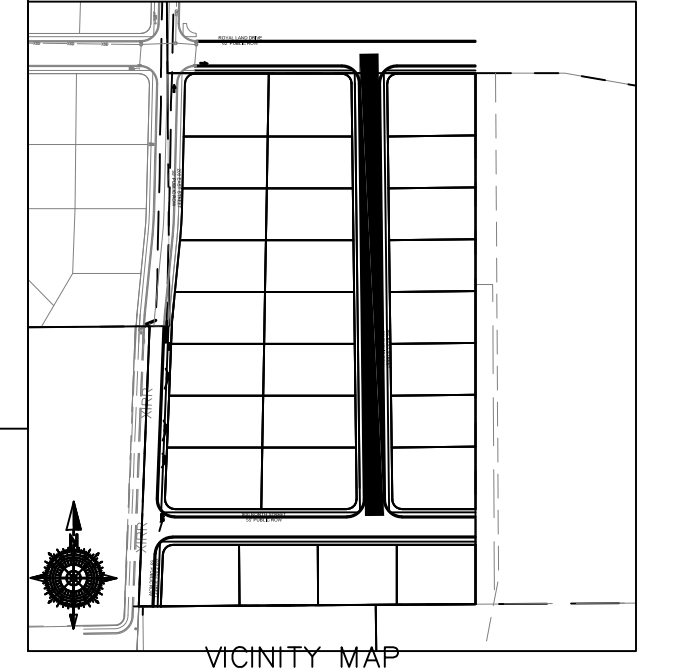
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STORM APPARATUS: 18" ADS, 24" ADS, 30" ADS, 36" ADS, 42" ADS

WATER APPARATUS: 10" WTR, 12" WTR

FIRE HYDRANT: 4" FIRE HYDRANT

RAISED WALKWAY: 18" WALKWAY, 24" WALKWAY, 30" WALKWAY, 36" WALKWAY, 42" WALKWAY



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DESIGNED BY:	OPW
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SCALE:	1"=30'

NO.	DESCRIPTION	DATE	APP'D

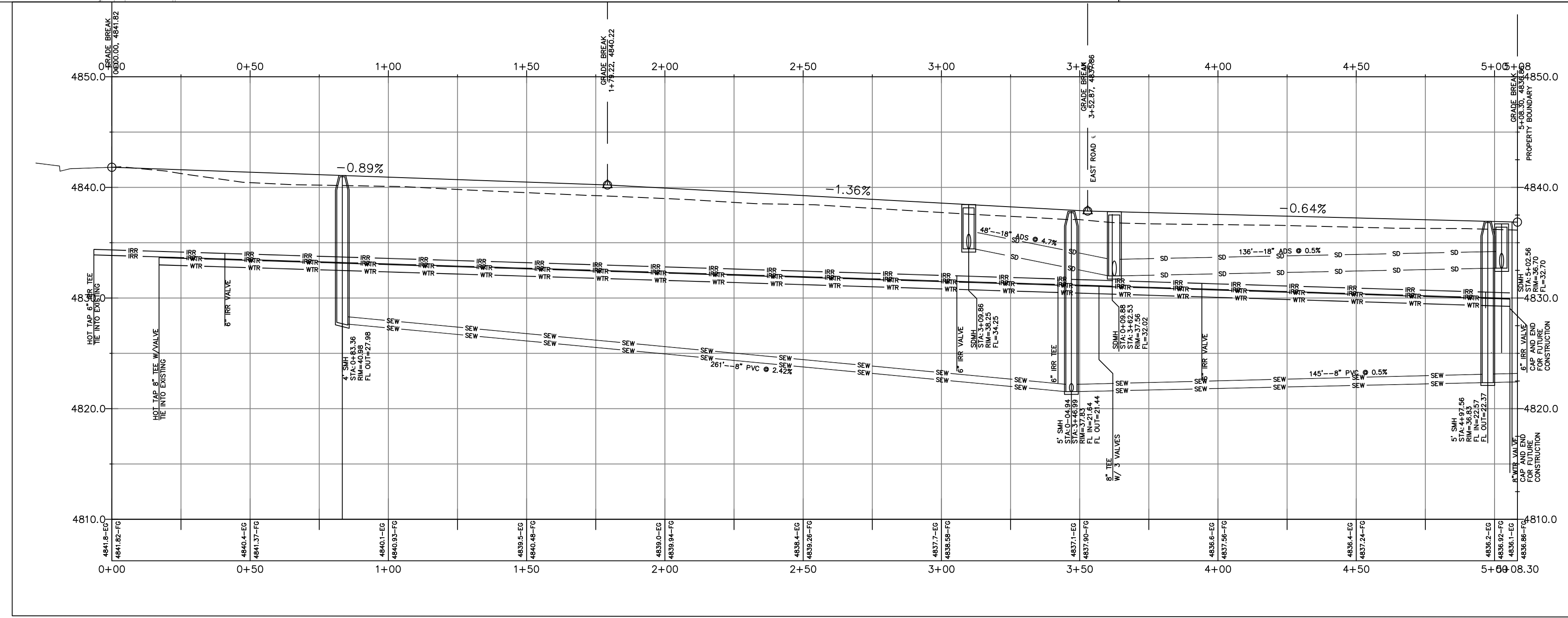
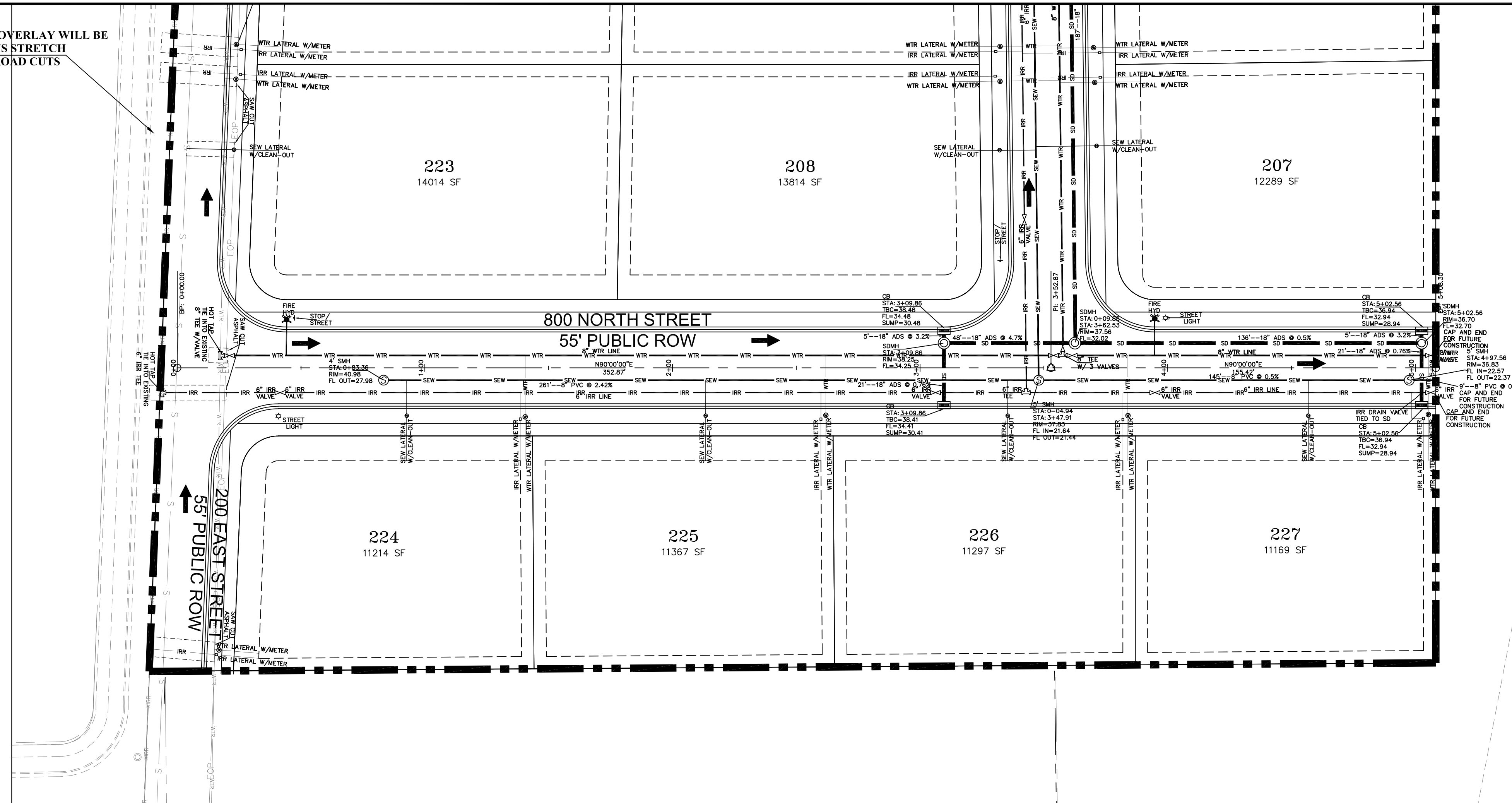
STRATTON MEADOWS
SUBDIVISION
PLAN AND PROFILE
EAST ROAD

SANTAQUIN CITY

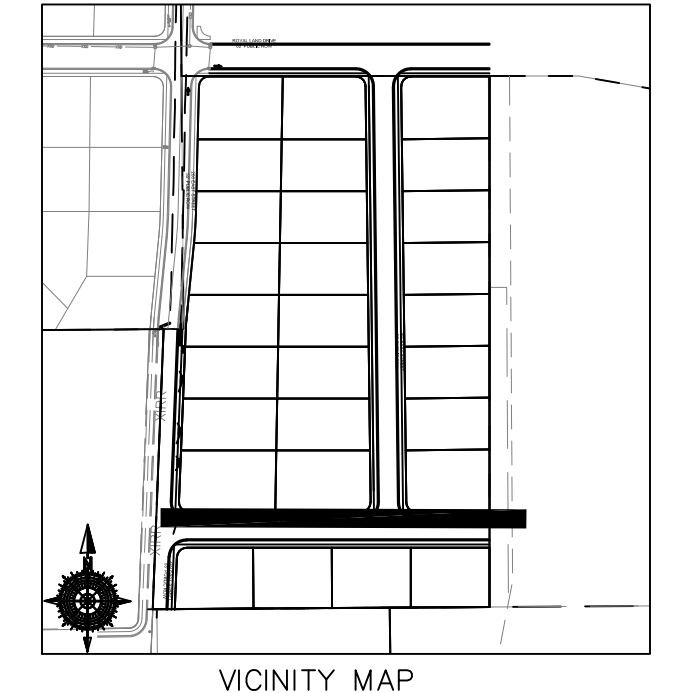
9-6-2023

SHEET NO. **PP3**

NOTE:
A FULL SURFACE OVERLAY WILL BE
REQUIRED ON THIS STRETCH
OF ROAD AFTER ROAD CUTS



NOTE:
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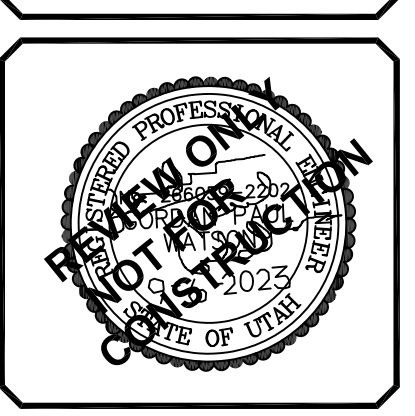
NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

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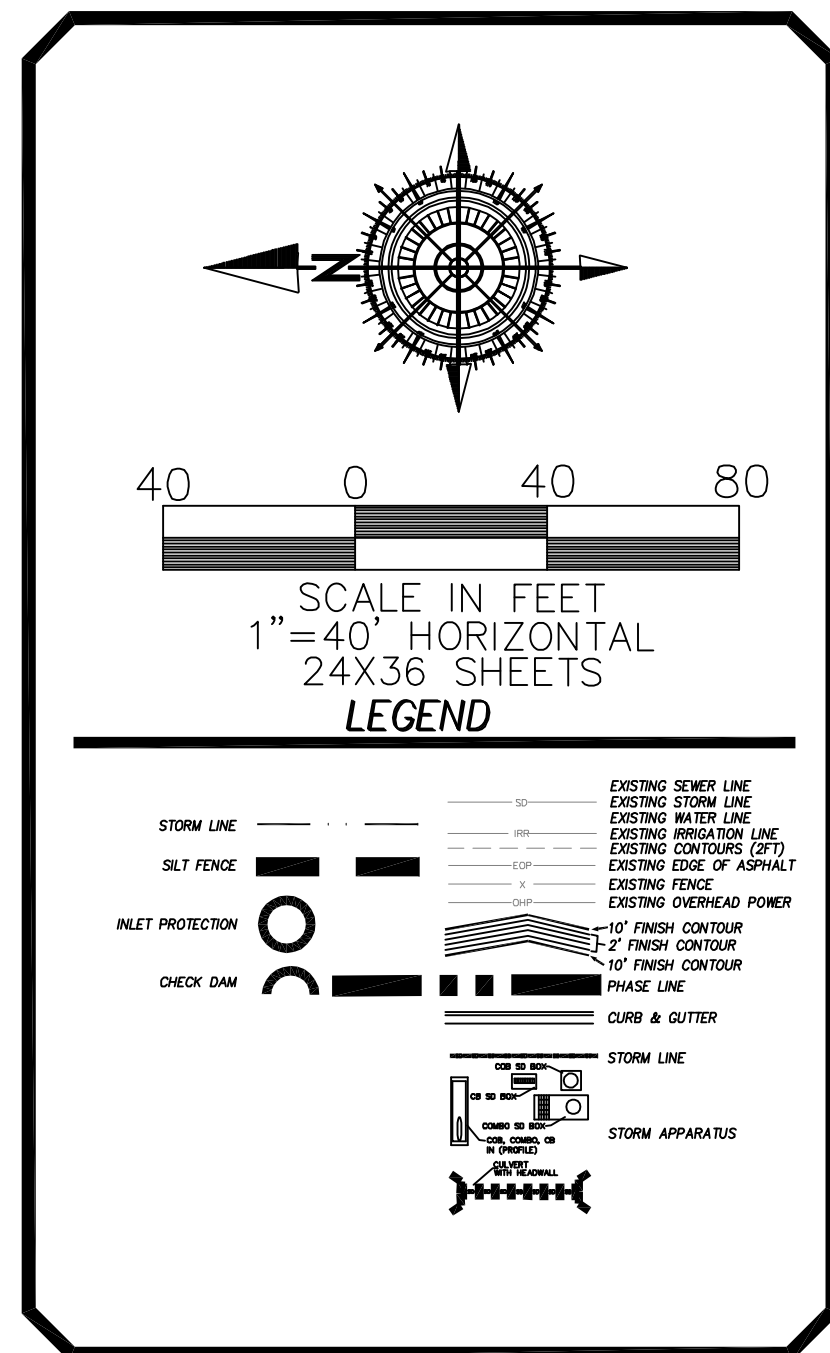
**STRATTON MEADOWS
 SUBDIVISION
 PLAN AND PROFILE
 SOUTH ROAD**

9-6-2023

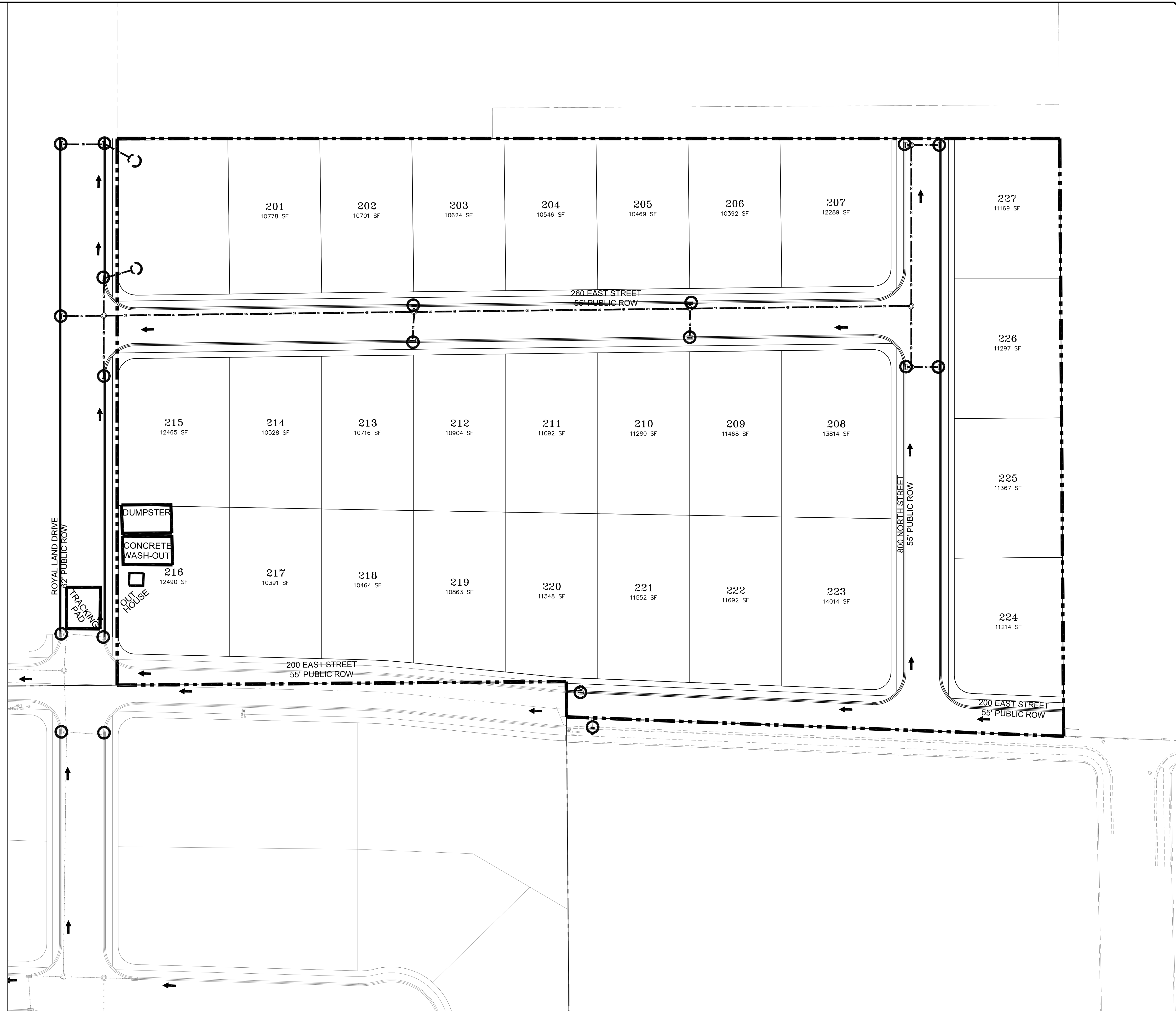


SANTAQUIN CITY

SHEET NO. PP4



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NO.	DESCRIPTION	DATE	APPD.

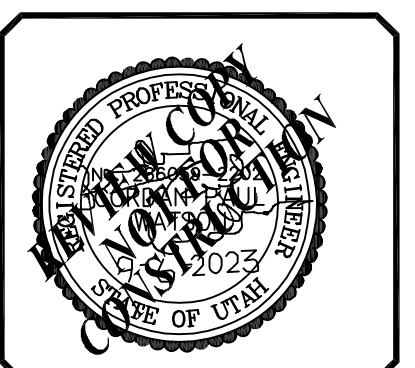
ORIG. DATE: 2-8-21	SCALE: 1"=40'
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DRAWN BY: GPM	DESIGNED BY: GPM

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 P.O. BOX 951005 SOUTH JORDAN, UT 84095
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STRATTON MEADOW SUBDIVISION
 STORM WATER POLLUTION PREVENTION PLAN
 PRINT DATE: 9-6-2023

SANTAQUIN CITY



SHEET NO. SWPPP

GENERAL EROSION CONTROL NOTES

DURING CONSTRUCTION

GENERAL EROSION CONTROL NOTES:

1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF, THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.

2. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF THE SATAQUIN CITY PUBLIC WORKS DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL DEVICES UPON INSPECTION OF PROPOSED FACILITIES.

3. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREETS CLEAN AND FREE FROM DEBRIS FROM TRAFFIC FROM THE SITE.

4. ALL STORM DRAIN FACILITIES ON SITE AND ADJACENT TO THE SITE NEED TO BE PROTECTED FROM SITE RUNOFF. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY UPON INDIVIDUAL INLETS BECOMING FUNCTIONAL.

5. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED, SEEDED WITH NATIVE VEGETATION, OR LANDSCAPED. REFER TO LANDSCAPE PLANS FOR SEED MIX. AND PLANTING SPECIFICATIONS.

6. EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING ARE IN PLACE. EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATIONS. EROSION CONTROL IN PROPOSED PAVEMENT AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE.

7. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY AND REMOVED WHEN THE SITE IS PAVED.

8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE.

9. BLOWING DUST MUST BE CONTROLLED AT ALL TIMES. INSTALLATION OF A SILT SCREEN AND SITE WATERING SHALL BE USED TO CONTROL DUST, THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT.

11. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

12. ALL MEASURES CONTAINED IN THIS PLAN MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT. ANY NEEDED CLEANING AND REPAIRS NEED TO BE DONE IMMEDIATELY UPON DISCOVERY.

13. ALL UTILITY LINES SHALL BE CLEANED OF DIRT AND DEBRIS PRIOR TO BEING PUT IN TO SERVICE. DOWNGRADE LINES MUST BE PROTECTED FROM WASH-WATER DURING THE CLEANING TO AVOID CONTAMINATION AND COMPROMISING OUTFALL CLEANLINESS.

ADDITIONAL EROSION CONTROL NOTES

POST CONSTRUCTION

1. THE CUT SLOPES ARE PROGRAMMED AS SHOWN. TOPS OF 3:1 & 2:1 CUTS THAT OCCUR IN TOP SOIL WILL BE ROUNDED TO BLEND INTO NATURAL TERRAIN.

2. EXCAVATED MATERIAL TO BE STOCKPILED IN AREAS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR, COUNTY REVIEW ENGINEER AND COUNTY INSPECTOR.

3. CONTRACTOR SHALL CONFINE CONSTRUCTION ACTIVITY TO AREAS WITHIN THE FLAGGED LIMITS OF DISTURBANCE AND AS SHOWN ON THE PLANS AND WITHIN FIELD DESIGNATED STORAGE, STAGING ACCESS. CONSTRUCTION AND MATERIAL WASTE AREAS AS APPROVED BY THE CITY ENGINEER.

4. CONTRACTOR SHALL ABIDE BY EROSION CONTROL REQUIREMENTS AS SET FORTH HEREIN.

5. ORGANIC MATERIALS WILL BE SEPARATED, REMOVED FROM THE ROAD BEDS AND STOCKPILED IN LOCATIONS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR AND COUNTY INSPECTOR. NO ORGANIC MATERIAL WILL BE PLACED IN THE STRUCTURAL FILLS AREA.

6. AFTER CLEARING AND GRUBBING OPERATIONS, TOPSOIL IS TO BE STOCKPILED IN AREAS TO BE DETERMINED IN FIELD BY THE ENGINEER, CONTRACTOR, COUNTY REVIEW ENGINEER AND COUNTY INSPECTOR. NO ORGANIC MATERIAL OR ROCK LARGER THAN 24" WILL BE PLACED IN ROADWAY FILLS. 12" MINUS IN TOP 1' OF ROADWAY.

7. NO BRUSH OR TOPSOIL SHALL BE STOCKPILED WITHIN THE ROADWAY RIGHT OF WAYS.

8. ALL FILL SLOPES WILL BE GRADED AS SHOWN OR AS DETERMINED BY A GEOTECHNICAL ENGINEER. COMPACTION OF EMBANKMENT FILLS WILL BE CONSTRUCTED TO SATAQUIN CITY ROADWAY STANDARDS. FILL AREAS SHALL BE CLEARED, GRUBBED, STRIPPED OF SOIL AND SCARIFIED PRIOR TO PLACEMENT OF SUITABLE EMBANKMENT MATERIAL.

9. ALL DISTURBED AREAS WILL BE REVEGETATED ACCORDING TO REVEGETATION / EROSION CONTROL NOTES WITH A GRASS MIXTURE AS FOLLOWS APPLIED AT A MINIMUM RATE OF 50 LBS. PLS (PURE LIVE SEED PER ACRE WITH MIX)

Table with 2 columns: % Pure, Grass Type. Rows include Hard fescue, Pubescent wheat grass, Orchard grass (sod forming), smooth brom grass, Stream bank wheat grass (sod forming), Western wheat grass.

TOPSOIL SHALL BE PLACED TO A DEPTH OF 6" ON ALL CUT AND FILL SLOPES 3:1 OR FLATTER. REVEGETATION AREAS WILL BE SEEDED AND MULCHED AS SOON AS POSSIBLE AFTER CONSTRUCTION COMPLETION.

10. SILT FENCING WILL BE HELD IN PLACE WITH 2 X 2 STAKES AND WILL BE PLACED ON THE DOWNHILL SIDES OF ALL DISTURBED AREAS AND AREAS USED FOR STOCKPILING AND TRENCHED INTO GROUND.

11. THE SILT FENCING SHALL BE INSTALLED BEFORE CLEARING AND GRUBBING AT THE TOE OF THE DISTURBED DOWNHILL SLOPE. NO GRUBBED AREA SHALL BE WITHOUT SILT FENCE PROTECTION FOR LONGER THAN 24 HOURS. THE SILT FENCE SHALL BE MONITORED AND REPLACED IF NECESSARY.

12. ALL SITE DRAINAGE SHALL BE ADEQUATELY PROVIDED FOR DURING CONSTRUCTION.

13. NATURAL VEGETATION WILL BE PRESERVED AND PROTECTED AS MUCH AS POSSIBLE AND VEGETATION REMOVAL WILL BE MINIMIZED.

14. DRAINAGE WAYS AND OUTLETS WILL BE PROTECTED FROM INCREASED FLOWS AND EROSION.

15. THE CONTRACTOR SHALL NOTIFY ALL OWNERS OF UTILITIES INCLUDING BUT NOT LIMITED TO WATER, SANITARY SEWER, TELEPHONE, ELECTRICAL, NATURAL GAS AND CABLE TELEVISION, OF THE PROPOSED CONSTRUCTION WITHIN THE UTILITIES AREA OF OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR MEETING WITH AND COORDINATING CONSTRUCTION ACTIVITIES WITH THOSE OF THE UTILITY COMPANIES INVOLVED WITH FIELD LOCATION OF ALL EXISTING UTILITIES WITHIN THE AREA OF OPERATIONS. SHOULD THE CONTRACTOR EXPERIENCE A FAILURE BY THE UTILITY COMPANIES TO COMPLY WITH THEIR RESPONSIBILITY OF RELOCATING OR ADJUSTING THEIR FACILITIES, IF ANY, THE OWNER MUST BE NOTIFIED IN WRITING. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

16. THE CONTRACTOR SHALL FOLLOW AS APPLICABLE, UNLESS STANDARDS HAVE BEEN WAIVED OR MODIFIED:
- UNIFORM BUILDING CODE, 1997 EDITION, APPENDIX CHAPTER A33, EXCAVATING AND GRADING
- UNIFORM FIRE CODE

17. FINISH GRADES ARE AT ROADWAY CENTERLINE, UNLESS OTHERWISE SPECIFICALLY NOTED.

18. NATIVE MATERIAL CAN BE CRUSHED AND PROCESSED ON SITE FOR ROAD BASE MATERIAL.

19. TEMP. DEBRIS PILES WILL BE LOCATED EVERY 200' AS NEEDED.

20. ALL ROADWAYS, TRENCHES, DETENTION PONDS AND/OR EXCAVATIONS OF ANY KIND REQUIRING FILL MATERIAL WILL BE INSPECTED AND APPROVED BY THE OWNERS QUALITY CONTROL FIRM PRIOR TO THE PLACEMENT OF ANY FILL MATERIAL.

21. ALL FILL OR BACK FILL, WHETHER IMPORT OR NATIVE SOILS, WILL BE TESTED FOR DENSITY, MOISTURE AND BEARING AT REGULAR INTERVALS THROUGH THE COURSE OF THE FILL PLACEMENT. ALL FILLS WILL BE PLACED IN LIFTS AS PER THE PLANS AND SATAQUIN CITY SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE TO NOTIFY THE GEOTECH 24 HOURS IN ADVANCE OF SCHEDULED FILL PLACEMENT.

22. IN THE EVENT OF DISCREPANCIES BETWEEN BID DOCUMENTS AND EXISTING ONSITE CONDITIONS, CONTRACTOR WILL 1) IMMEDIATELY HALT WORK ACTIVITY AND NOTIFY DESIGN ENGINEER OF ANY SUCH DISCREPANCIES 2) UPON RESOLUTION OF DISCREPANCIES, CONTRACTOR WILL SUBMIT COST OF CHANGED CONDITION, IF ANY. 3) PROCEED WITH WORK AFTER RECEIPT OF WRITTEN NOTICE TO COMMENCE WORK.

23. CONTRACTOR WILL, PRIOR TO INSTALLATION PREPARE AND SUBMIT PRODUCT DATA AND DETAILS FOR MATERIAL USED IN CONJUNCTION WITH THIS PRODUCT IE. OVERFLOW STRUCTURES, DRAINAGE PIPE, FILTER FABRICS, EROSION BLANKETS, GROUT, GUARDRAILS, ROAD SIGNS, ETC.

24. CUT AND FILL SLOPES MATTING TO BE SEEDED AND TOPSOILED PRIOR TO PLACEMENT OF EROSION BLANKETS.

25. STAPLE PATTERNS ON EROSION MATS PER SUPPLIERS SPECS

EROSION CONTROL BLANKET - ALL REQUIRED GRADING AND SEEDING IN AREAS TO RECEIVE EROSION CONTROL BLANKET SHOULD BE COMPLETED AND APPROVED BEFORE PLACING THE PRODUCT. APPLY THE BLANKET WITHIN 24 HOURS AFTER SEEDING OR BEFORE PRECIPITATION FALLS. IF THE BLANKET IS NOT INSTALLED AND A PRECIPITATION EVENT OCCURS, CREATING SOIL EROSION, REPLACE ERODED MATERIAL, REWORK THE SOIL, AND RESEED BEFORE INSTALLING THE BLANKET. INSTALL THE EROSION CONTROL BLANKET OR CHANNEL LINER STRICTLY FOLLOWING MANUFACTURER'S SPECIFICATIONS. ALLOW THE BLANKET OR LINER TO LAY LOOSELY ON THE SOIL TO ACHIEVE MAXIMUM SOIL CONTACT. REMOVE ROOTS, BRANCHES, OR OTHER LOOSE OBJECTS THAT CAUSE THE BLANKET OR CHANNEL LINER TO "TENT". PLACE ROOTS AND BRANCHES ON AREAS ALREADY BLANKETED. DO NOT STRETCH THE BLANKET DURING INSTALLATION. STAPLE THE BLANKET OR LINER USING MANUFACTURER'S SPECIFICATIONS. STAPLE REQUIREMENTS VARY ACCORDING TO THE STEEPNESS AND LENGTH OF THE SLOPE. PLACE ADDITIONAL STAPLES IN AREAS SUCH AS: SWALES, BASE OF HUMPS, AGAINST ROCK OUTCROPS AND AS REQUIRED TO ACHIEVE MAXIMUM CONTACT BETWEEN THE BLANKET AND THE SOIL.

TOPSOIL - PLACE TOPSOIL JUST BEFORE SEEDING TO ELIMINATE COMPETITION FROM WEEDS, COORDINATE TOPSOIL PLACEMENT WITH THE SEEDING WINDOW.

SEEDING WINDOW - COMPLETE ALL GENERAL DISTURBED AREA SEEDING WITHIN THE APPROPRIATE SEEDING WINDOW. IF THE SEEDING IS NOT COMPLETED WITHIN THE GIVEN WINDOW, POSTPONE SEEDING UNTIL THE FOLLOWING YEAR. UNDER CERTAIN CONDITIONS, AN EXCEPTION TO THIS WINDOW MAY BE OBTAINED THROUGH THE REGION LANDSCAPE ARCHITECT. THE ENGINEER APPROVES EXCEPTIONS.

Table with 2 columns: ELEVATION, SEEDING WINDOW. Rows show elevation ranges and corresponding seeding windows.

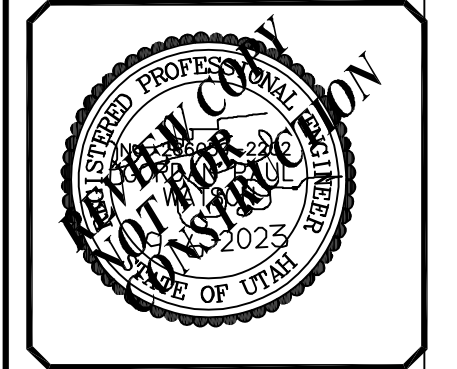
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Table with columns: ORIG. DATE, SURVEY BY, DRAWN BY, DESIGNED BY, CHECKED BY, SCALE.

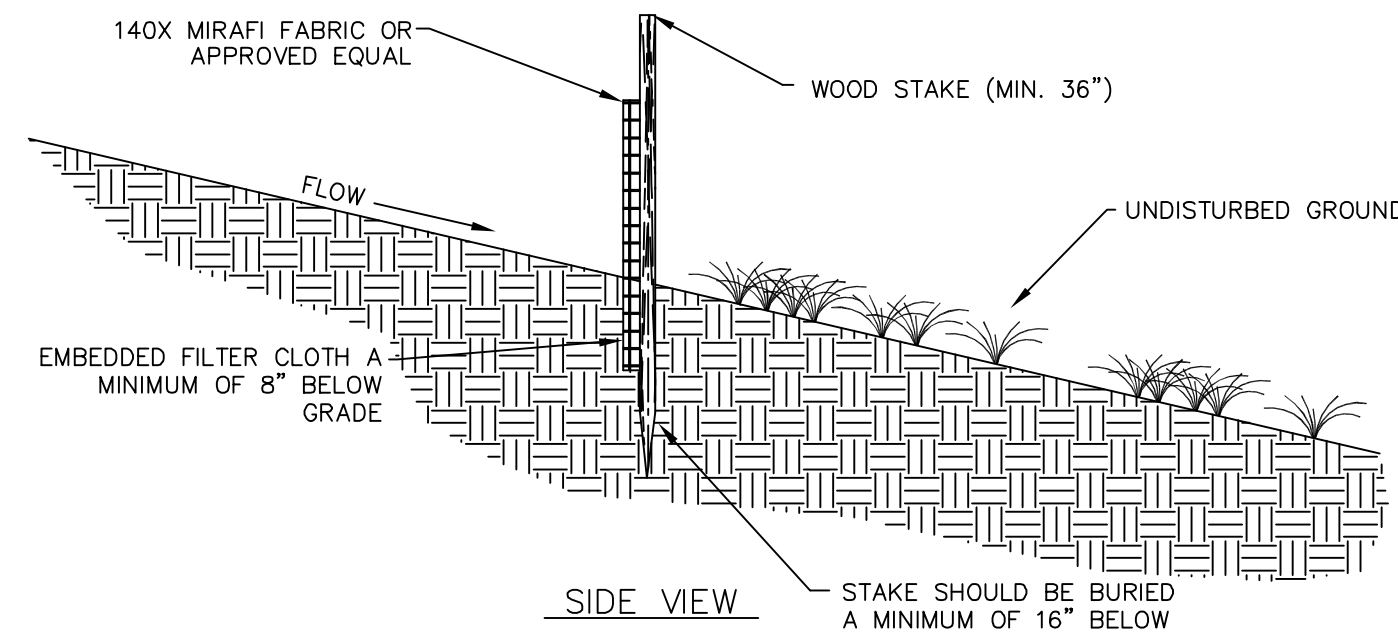
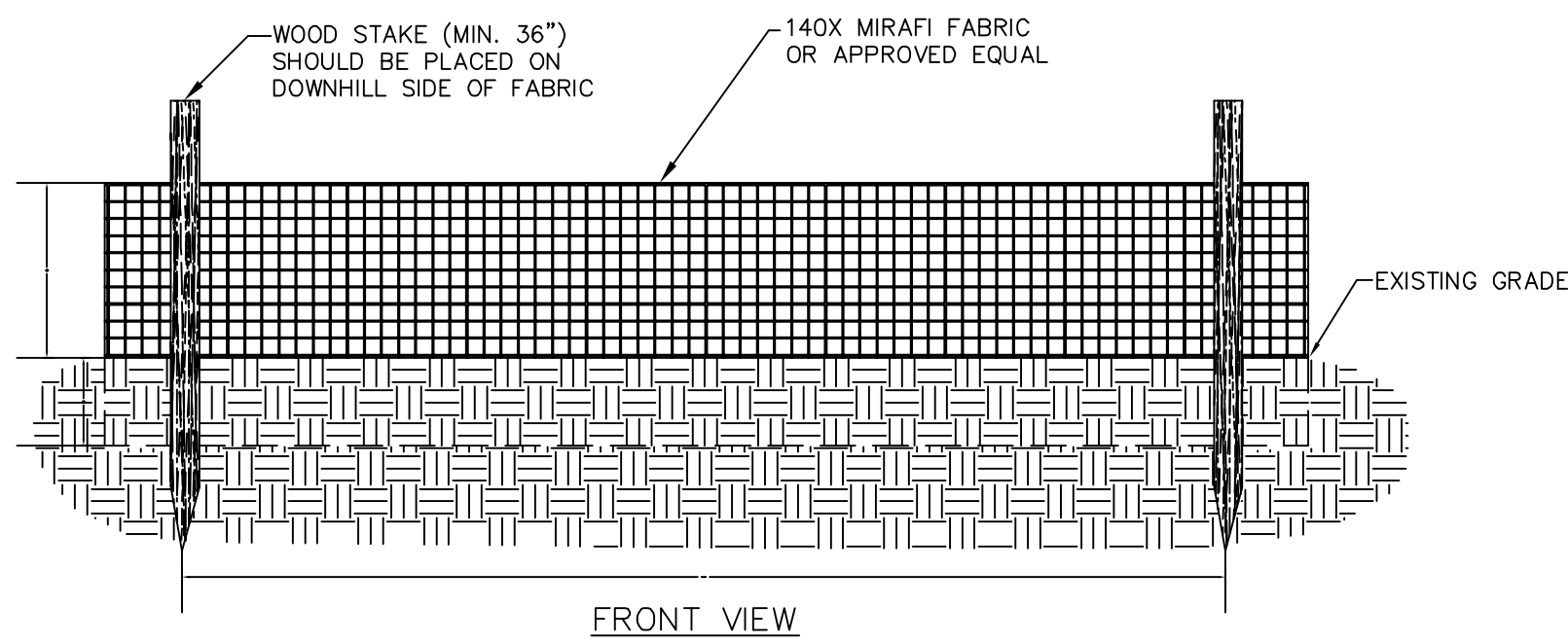
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Project title: STRATTON MEADOW SUBDIVISION. Subtitle: EROSION CONTROL DETAILS and NOTES. Vertical text on the right: 9-6-2023.

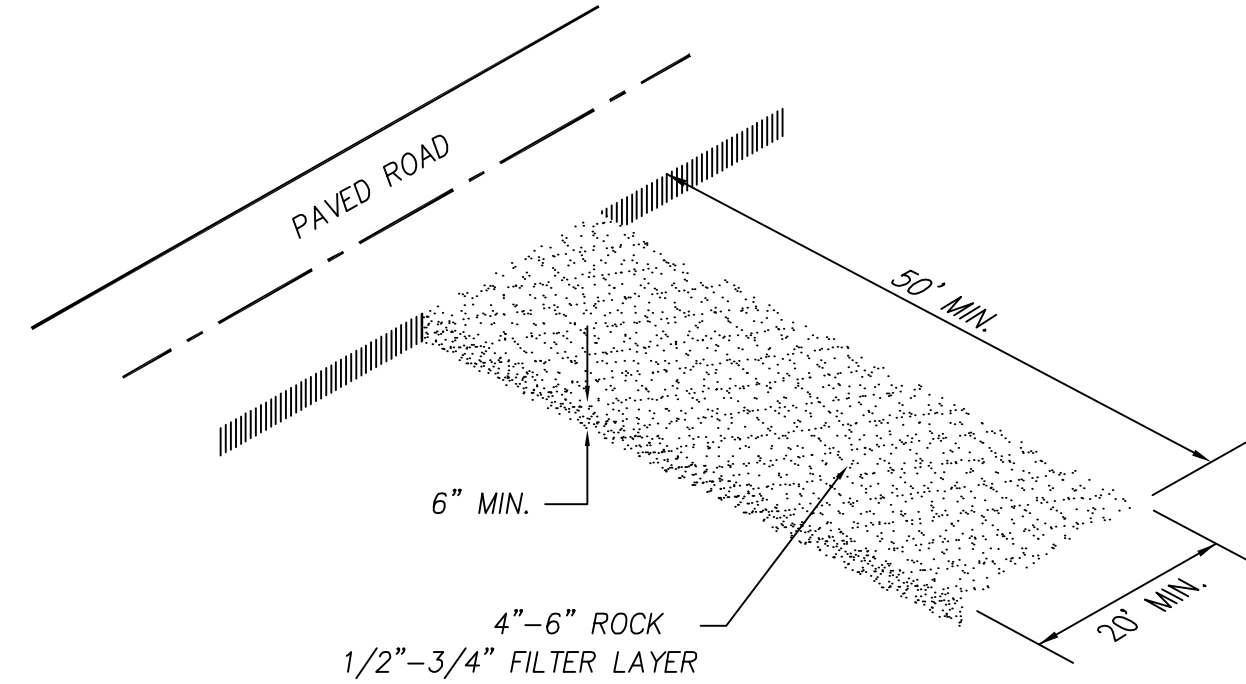
SATAQUIN CITY



SHEET NO. ER-1



SILT FENCE DETAIL
NOT TO SCALE



- NOTES:**
- 1-CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%
 - 2-COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN IN USE FOR MORE THEN 3 MONTHS)
 - 3-PLACE COURSE AGGREGATE 1 TO 2-1/2 INCHES SIZE, TO A MINIMUM DEPTH OF 8 INCHES
 - 4-LOCATE ONSITE WASHOUT AREA MORE THEN 50 FT AWAY FROM NEAREST STORM INLET.
 - 5-WASHOUT CONCRETE WASTE INTO WASHOUT PIT OR COMMERCIAL WASHOUT BIN ONLY.

VEHICLE TRACKING DETAIL
NOT TO SCALE

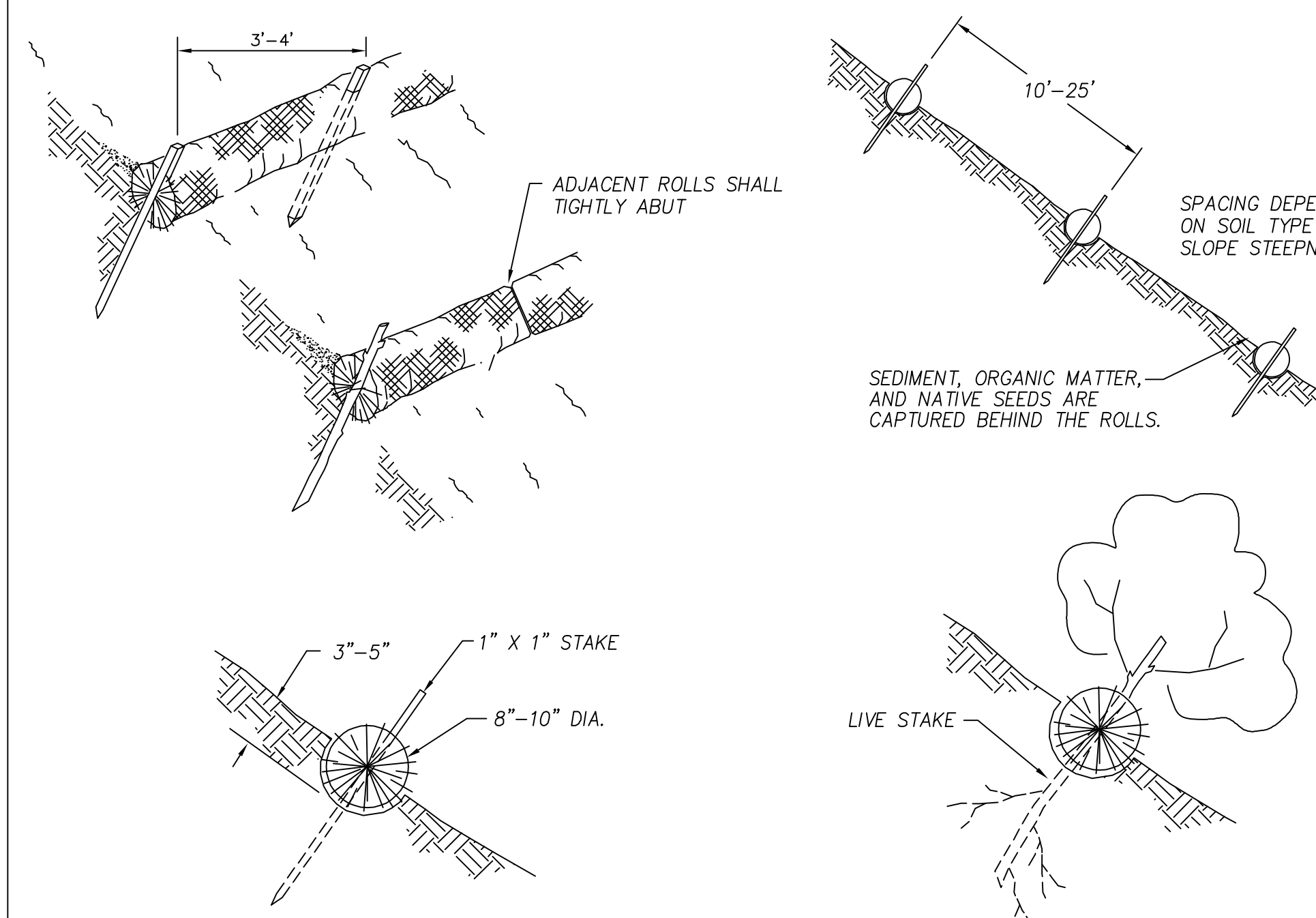
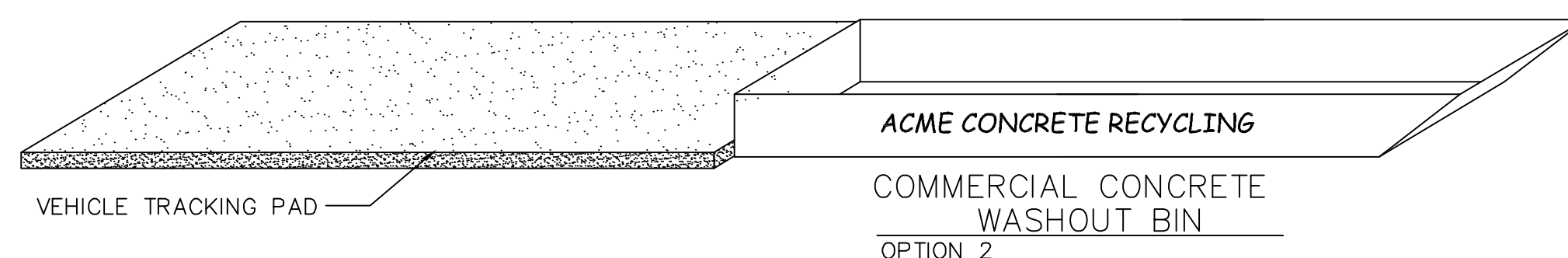
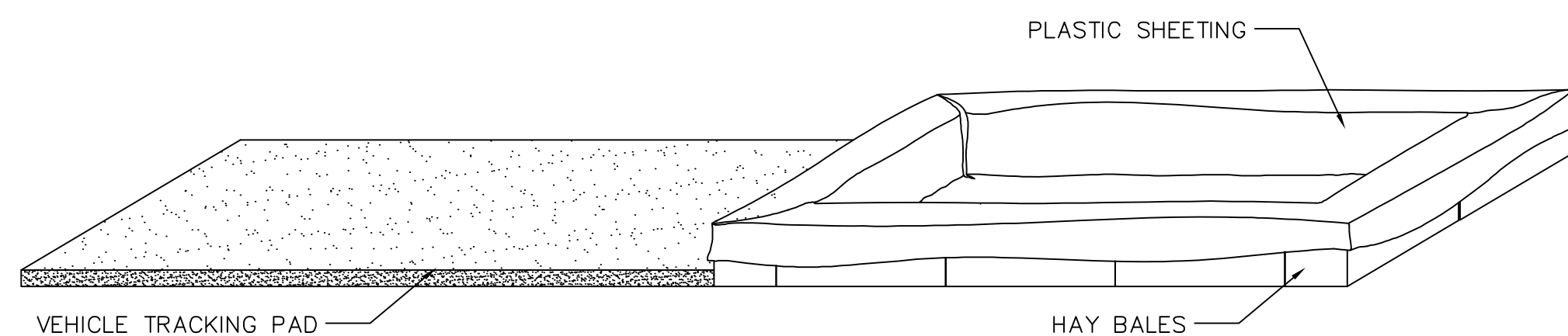
BMP

- 1-AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON SITE.
- 2-PERFORM CONCRETE TRUCK WASHOUT OFF SITE OR IN DESIGNATED AREA
- 3-DO NOT WASHOUT CONCRETE TRUCKS INTO STORM DRAIN, OPEN DITCHES, STREETS OR STREAMS
- 4-LOCATE ONSITE WASHOUT AREA MORE THEN 50 FT AWAY FROM NEAREST STORM INLET.
- 5-WASHOUT CONCRETE WASTE INTO WASHOUT PIT OR COMMERCIAL WASHOUT BIN ONLY.

USE OF CONCRETE WASHOUT

- 1-IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE CONCRETE WASHOUT AREA.
- 2-WASHOUT CONCRETE WASTE INTO PIT OR CONTAINER WHERE IT CAN SET AND LATER BE BROKEN UP AND DISPOSED OF PROPERLY
- 3-NO WASTE OR LITTER IS TO BE PERMITTED TO ACCUMULATE IN THE WASHOUT AREA. AREA SHOULD BE CLEAN AT THE
- END OF EACH WORK DAY.
- 4-INSTALL PROPER WASTE WATER PROTECTION AT ALL EFFECTED DOWNHILL STORM DRAINS AND INLETS
- 5-INSTALL A VEHICLE TRACKING PAD TO PROTECT THE STREETS FROM MUD AND OTHER DEBRIS FROM TRUCKS. MAKE SURE ALL TRUCKS ARE CLEAR OF MUD AND ROCK THAT CAN FALL FROM TRUCK WHILE TRAVELING ON STREETS.

CONCRETE WASHOUT AREA
NOT TO SCALE



NOTES:

Straw wattles shall be installed as soon as construction will allow or when designated by the Engineer. Straw wattles shall be placed in shallow trenches and staked along the contour of disturbed or newly constructed slopes, in accordance with the Plans, perpendicular to the flow direction and parallel to the slope contour.

The wattles shall be installed at the intervals designated by the Engineer.

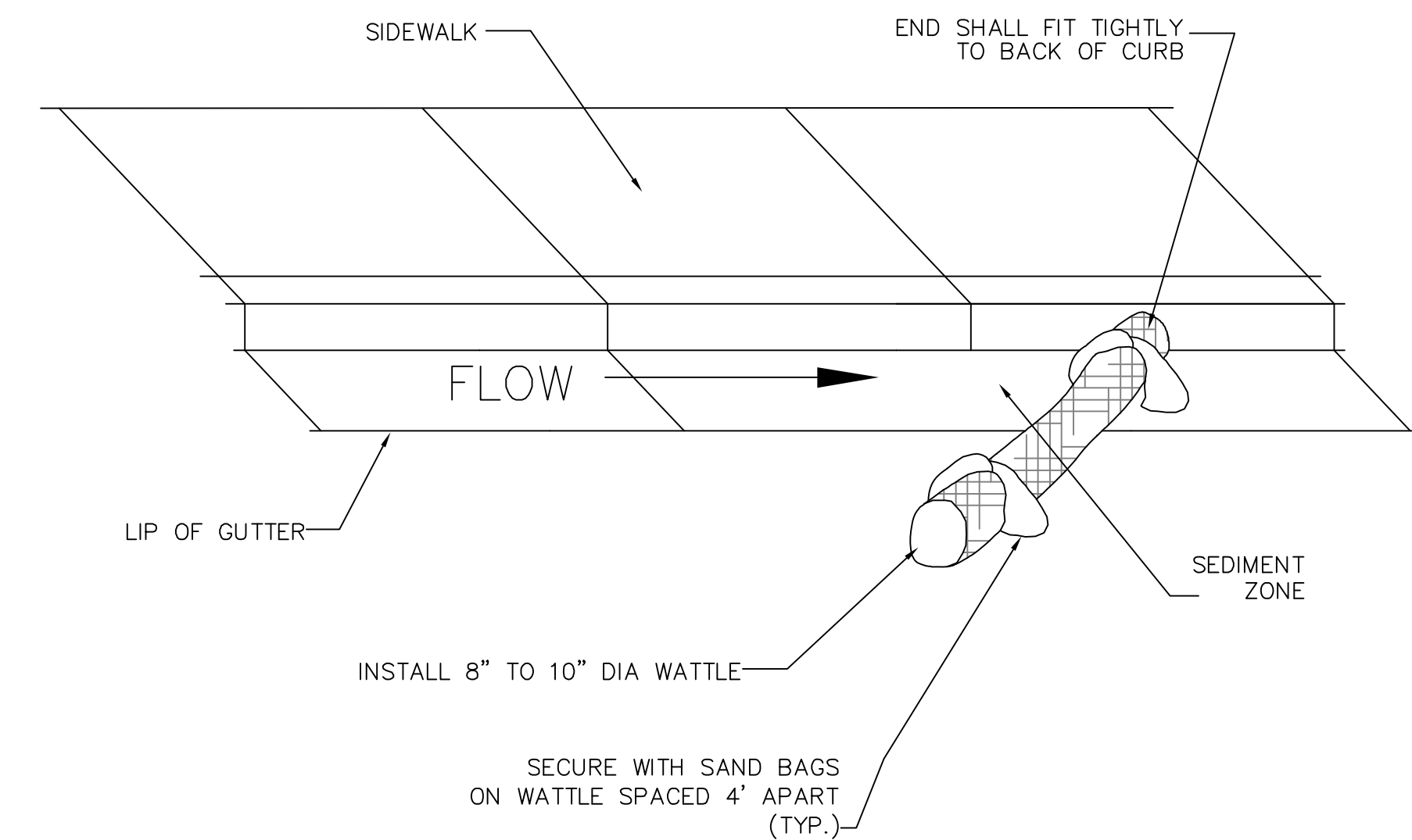
Trench construction and wattle installation shall begin from the base of the slope and work uphill. Excavated material shall be spread evenly along the uphill slope and compacted using hand tamping or other method approved by the Engineer. On gradually sloped or clay-type soils trenches shall be 2 to 3 inches deep. On loose soils, in high rainfall areas, or on steep slopes, trenches shall be 3 to 5 inches deep, or half the thickness of the wattle.

The wattle shall be install snugly into the trench, abutting adjacent wattles tightly, end to end, without overlapping the ends. Wattles shall be staked at each end and at 4 foot centers along their entire length. When trench conditions require, pilot holes for the stakes shall be driven through the wattle and into the soil using a straight bar. Stakes shall be driven through the middle of the wattle, leaving 2 to 3 inches of the stake protruding above the wattle.

Wattles shall be inspected regularly to ensure they remain thoroughly entrenched and in contact with the soil, and immediately after a runoff producing rainfall.

STRAW WATTLE (SILT FENCE ALTERNATIVE)
NOT TO SCALE

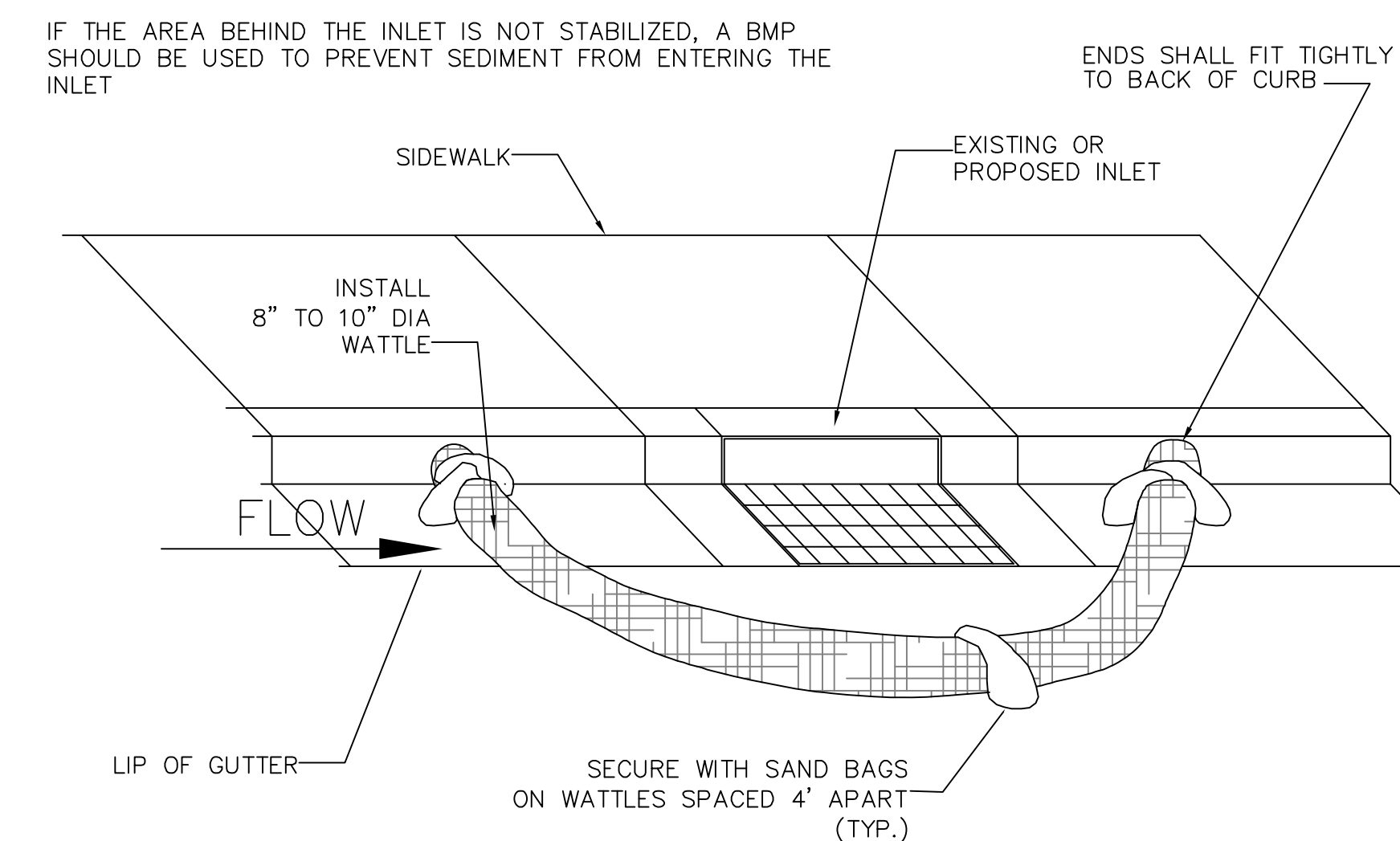
- NOTE:**
- TYPICALLY STRAW BALES ARE NOT RECOMMENDED FOR INLET PROTECTION BARRIERS.
- PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
- SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC TO BE USED TO WEIGH DOWN WATTLE IN AREAS WHERE THE WATER FLOW MAY MOVE THE WATTLE.
- INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.



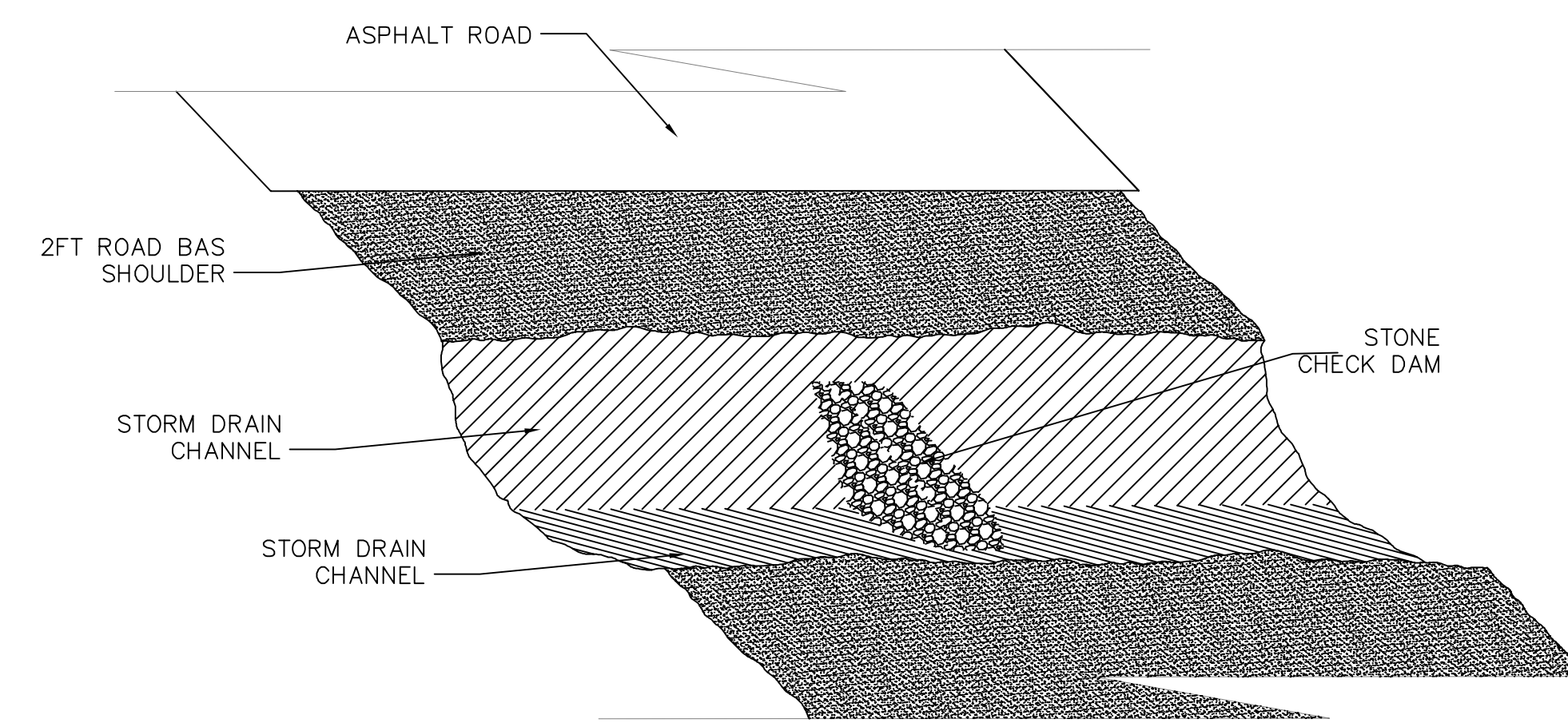
NOTE:

INSTALL GUTTER WATTLE MIDWAY BETWEEN IMPACTED INLETS AND CONSTRUCTION DISTURBANCE.

GUTTER PROTECTION SETUP



INLET PROTECTION BARRIERS
NOT TO SCALE



- NOTES:**
1. PLACE A CHECK DAM AT EVERY 100 LINIER FEET OF DRAIN CHANNEL
 2. PLACE CHECK DAMS PERPENDICULAR TO THE FLOW LINE OF THE CHANNEL
 3. CONSTRUCT CHECK DAMS SO THAT WATER DOES NOT FLOW AROUND THE ENDS OF THE DAM
 4. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.

DRAINAGE CHANNEL PROTECTION
NOT TO SCALE



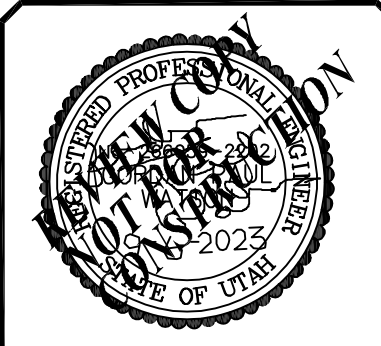
GATEWAY CONSULTING, Inc.
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

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CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION
EROSION CONTROL DETAILS and NOTES

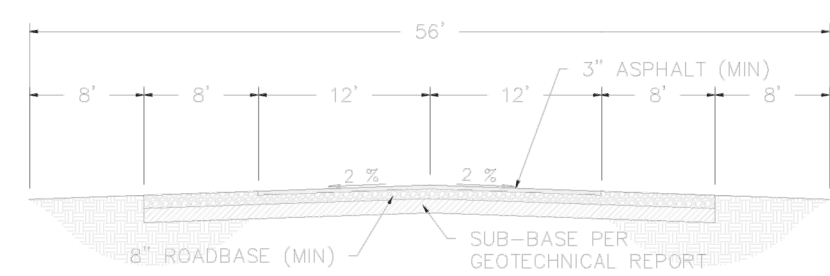
9-6-2023

SATAQUIN CITY



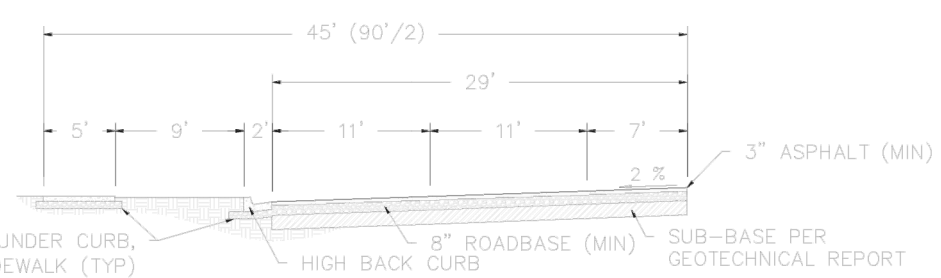
SHEET NO. ER-2

See SATAQUIN CITY specifications for further information.



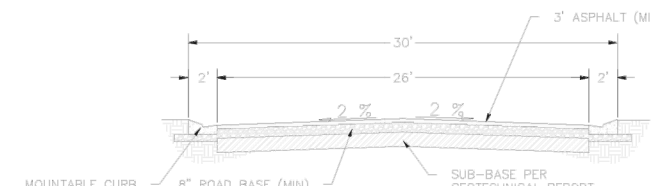
NOTES:
1. THE TURN-A-ROUND TO MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE APPENDIX D (LATEST ADOPTED VERSION).

55' RURAL LOCAL ROAD CROSS SECTION



NOTES:
1. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY REQUIRE THE ADDITION OF RIGHT TURN LANES AT INTERSECTIONS.
2. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY MODIFY THIS SECTION FOR DEVELOPMENTS WITH AVERAGE BUILDABLE SLOPE > 10%.

5-LANE/NO PARKING 90' ARTERIAL



NOTES:
1. THE TURN-A-ROUND TO MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE APPENDIX D (LATEST ADOPTED VERSION).

26' PRIVATE STREET CROSS SECTION

NOTES:
STANDARD ROAD CROSS SECTIONS MAY BE MODIFIED IN HILLSIDE DEVELOPMENT ZONES ACCORDING TO A DEVELOPMENT AGREEMENT.

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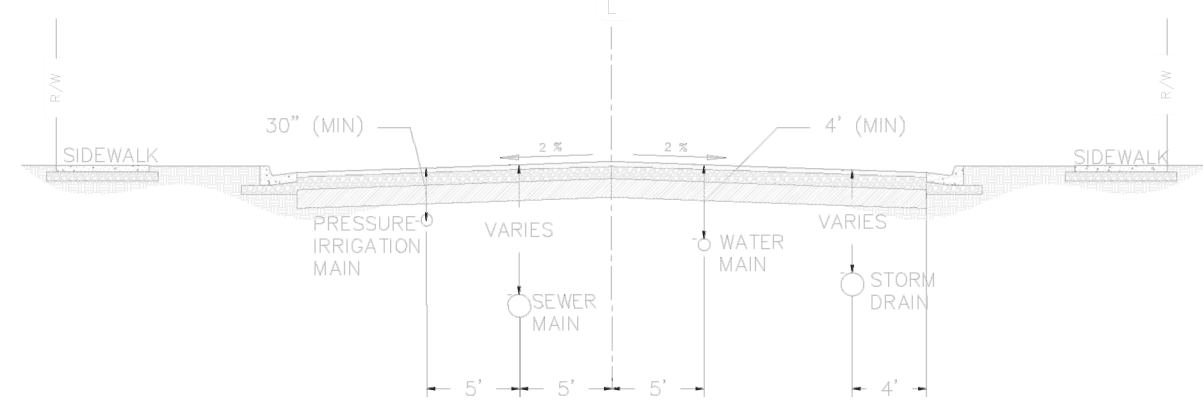
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STANDARD STREET CROSS SECTION
SANTAQUIN CITY
275 WEST MAIN STREET

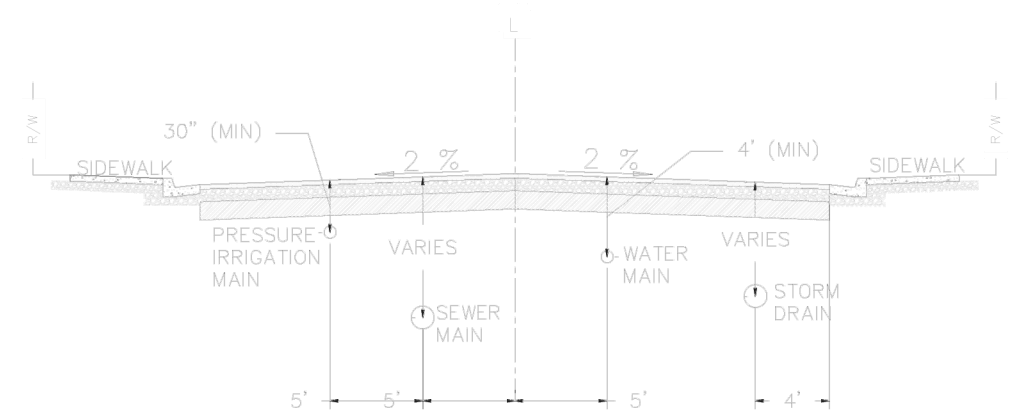
ST2

ADOPTED DATE: 10-2023

NOT TO SCALE



STREET UTILITY LOCATIONS WITH PLANT STRIP



STREET UTILITY LOCATIONS SECTIONS

- IRRIGATION MAINS SHALL BE LOCATED TO FEET SOUTH & WEST OF CENTER OF THE STREET.
- WATER MAINS SHALL BE LOCATED 5 FEET NORTH & EAST OF CENTER OF THE STREET.
- SEWER MAINS SHALL BE LOCATED 5 FEET SOUTH & WEST OF THE CENTER OF THE STREET.
- STORM DRAIN SHALL BE LOCATED 4 FEET FROM THE LIP OF GUTTER ON NORTH & EAST SIDE OF THE STREET.
- STORM DRAIN SHALL BE LOCATED LOWER THAN THE WATER MAIN.

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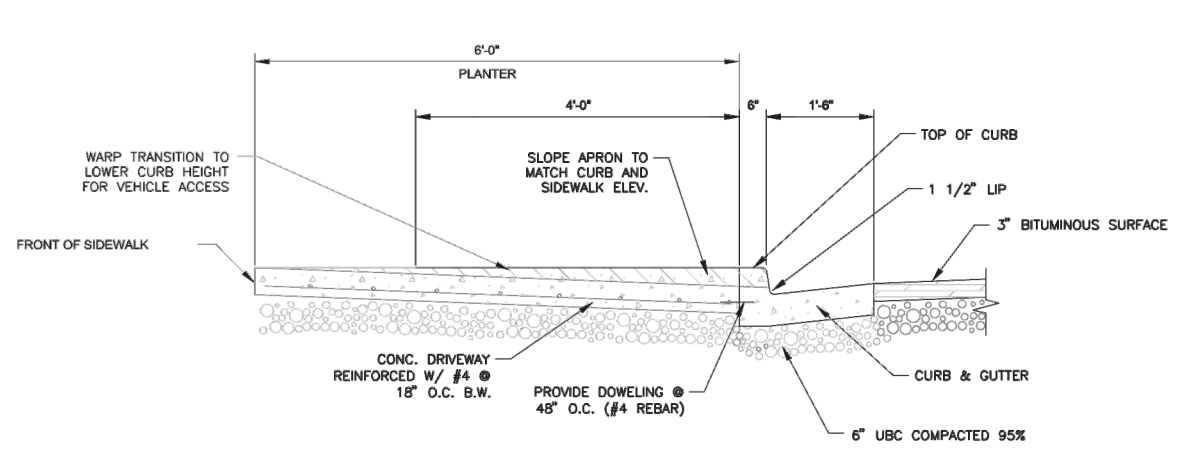
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STREET UTILITY LOCATIONS PROFILE VIEW
SANTAQUIN CITY
275 WEST MAIN STREET

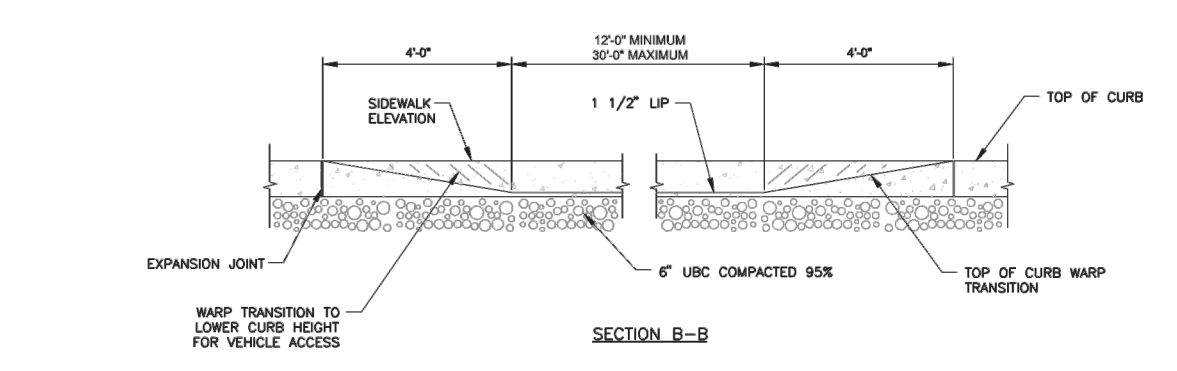
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ADOPTED DATE: 10-2023

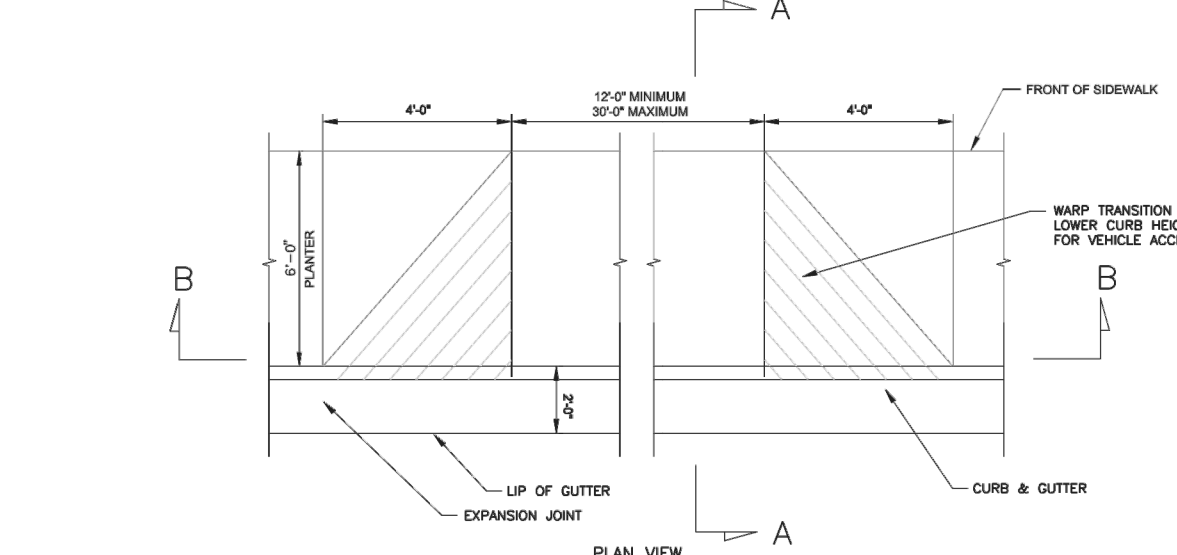
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SECTION A-A



SECTION B-B



DRIVEWAY APPROACH WITH PARK STRIP
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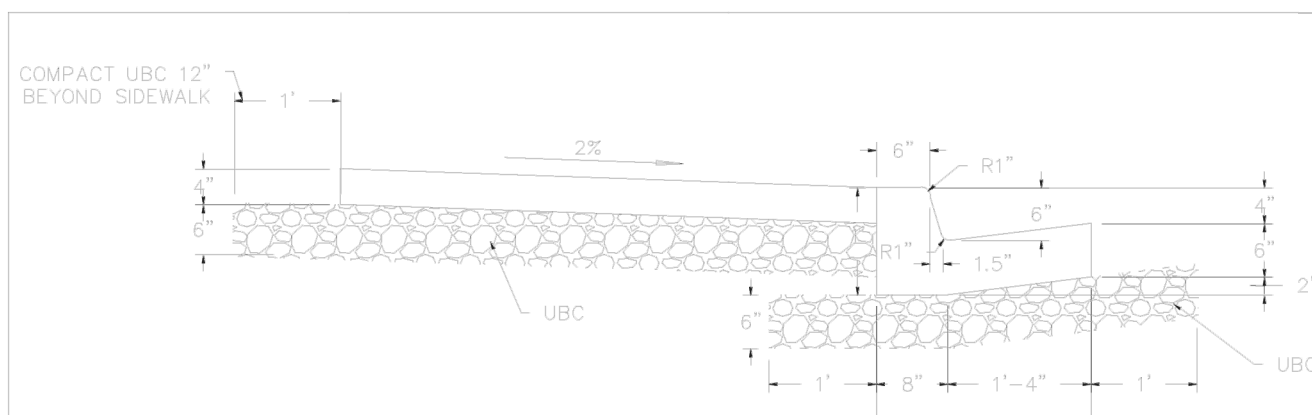
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DRIVEWAY APPROACH WITH PARK STRIP
SANTAQUIN CITY
275 WEST MAIN STREET

CG3

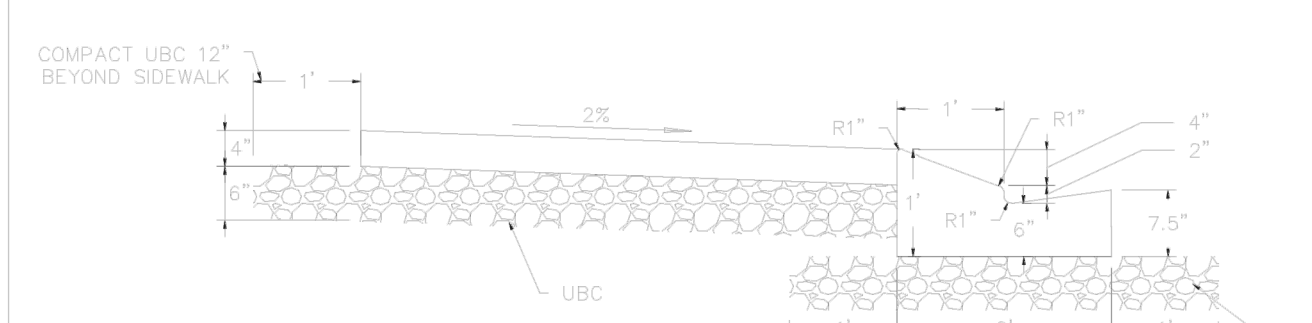
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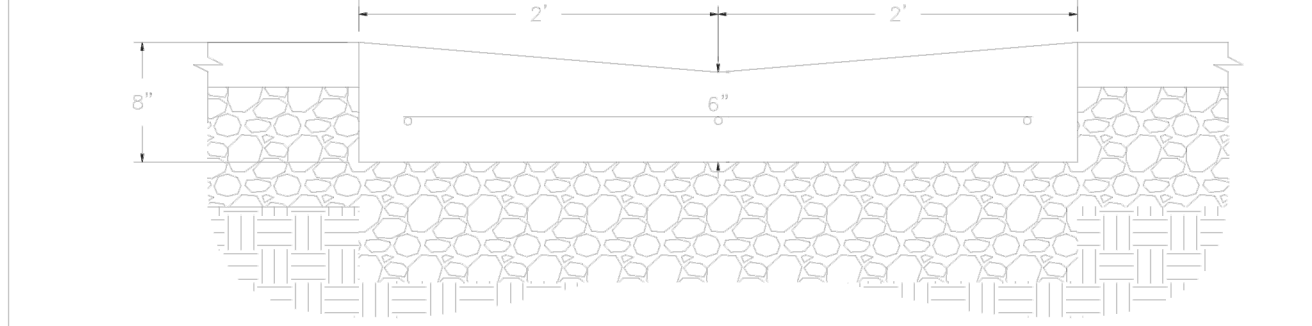
NOTES:
1. PROVIDE A TOOLED JOINT EVERY 10' IN CURB & GUTTER, & EVERY 5' IN SIDEWALK.
2. PROVIDE AN EXPANSION JOINT EVERY 30' IN SIDEWALK.

TYPICAL HIGH BACK CURB AND GUTTER



NOTES:
1. 24" MOUNTABLE CURB IS APPROVED ONLY ON A CASE BY CASE BASIS. (FACTORS FOR APPROVAL INCLUDE SUBDIVISION SIZE, STORM WATER DRAINAGE ISSUES, STREET WIDTH, AND SURROUNDING SUBDIVISIONS)
2. TRANSITIONS TO HIGH BACK CURB SHALL BE ACCOMPLISHED IN A MINIMUM OF 4' (FOR CURB INLET TROWS, ETC.).

MODIFIED CURB AND GUTTER



CROSS GUTTER

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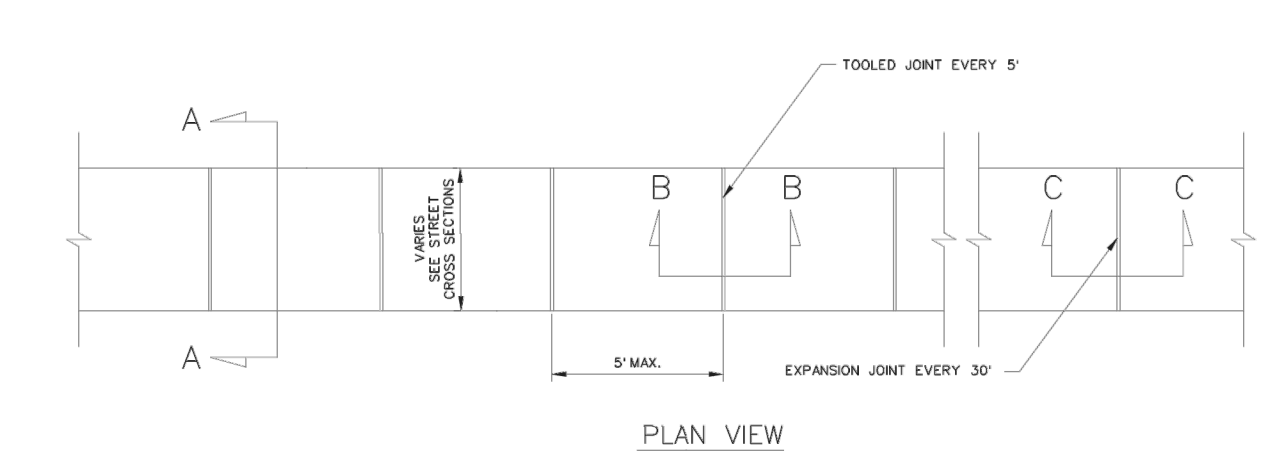
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CURB & GUTTER AND CROSS GUTTER DETAILS
SANTAQUIN CITY
275 WEST MAIN STREET

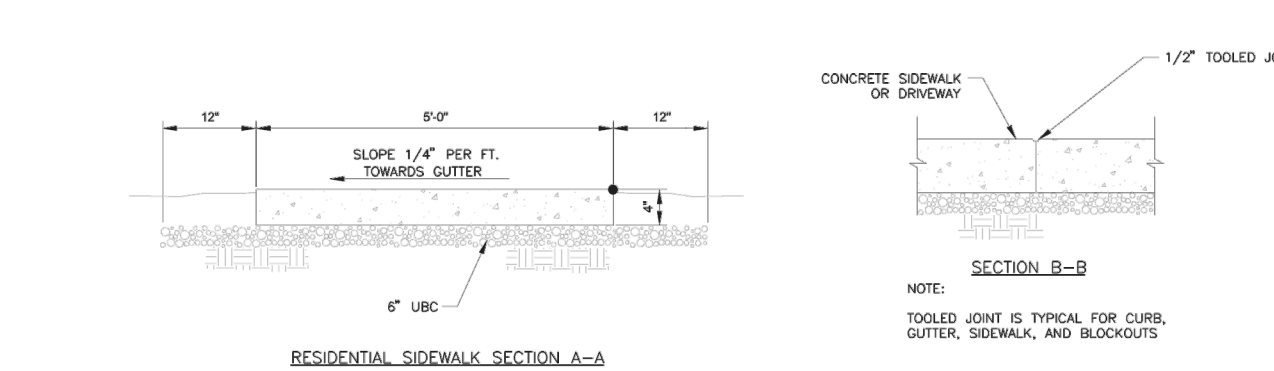
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ADOPTED DATE: 10-2023

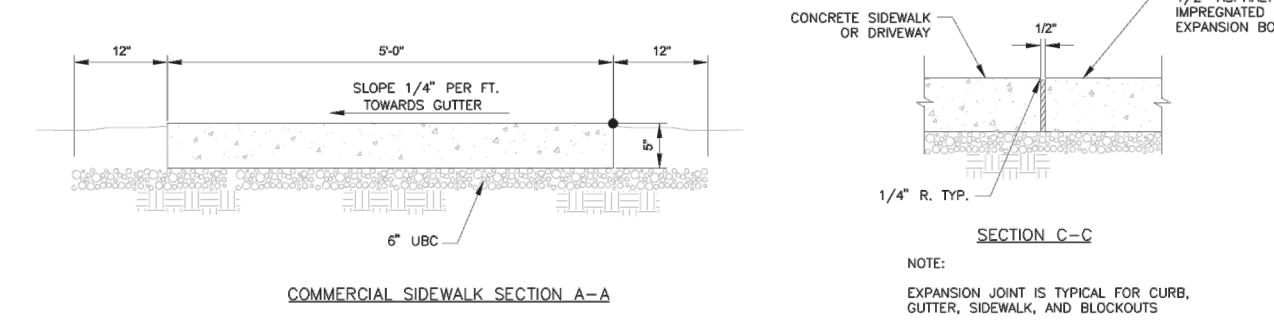
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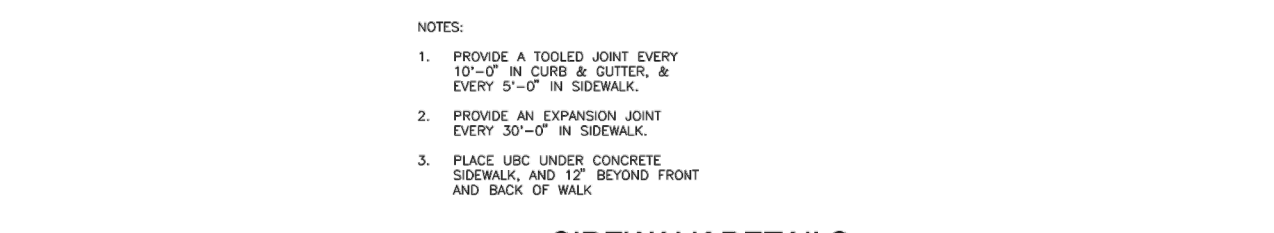
PLAN VIEW



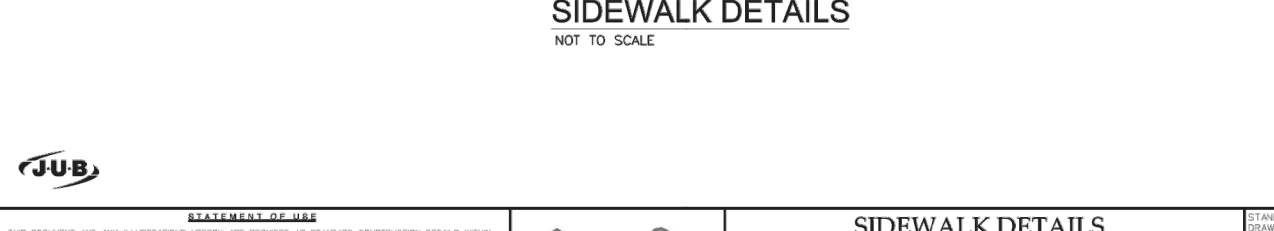
RESIDENTIAL SIDEWALK SECTION A-A



COMMERCIAL SIDEWALK SECTION A-A



SECTION B-B



SECTION C-C

NOTES:
1. PROVIDE A TOOLED JOINT EVERY 10'-0\"/>

SIDEWALK DETAILS

STATEMENT OF WORK: THIS DOCUMENT AND ANY ILLUSTRATIONS HEREIN ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN SANTAQUIN CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL BY THE DEVELOPMENT REVIEW COMMITTEE (DRC). STANDARD CITY CODES MAY BE HELD LIABLE FOR ERRORS OR OMISSIONS. REVISION: []

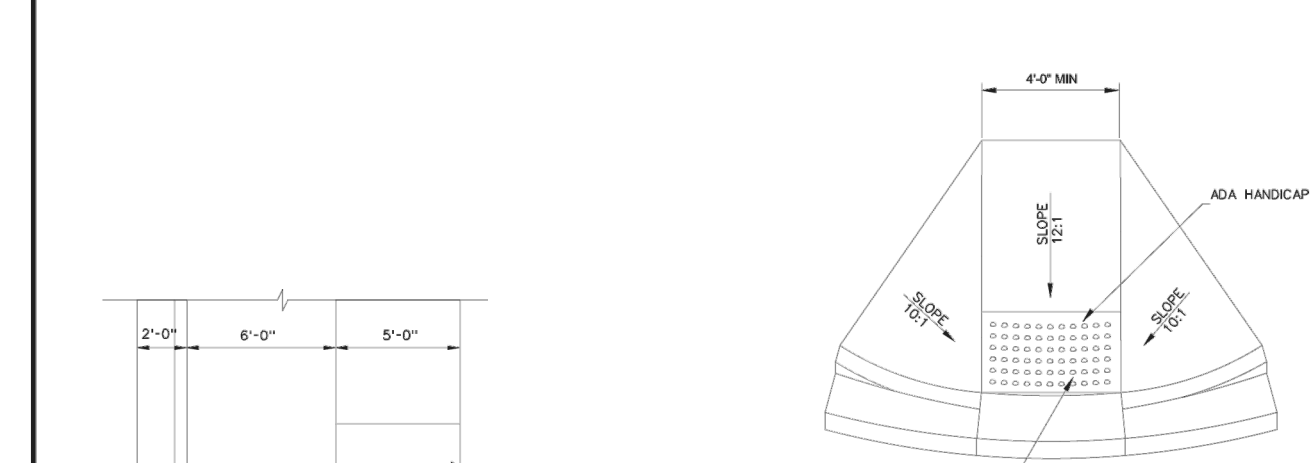
Santaquin

SIDEWALK DETAILS
SANTAQUIN CITY
275 WEST MAIN STREET

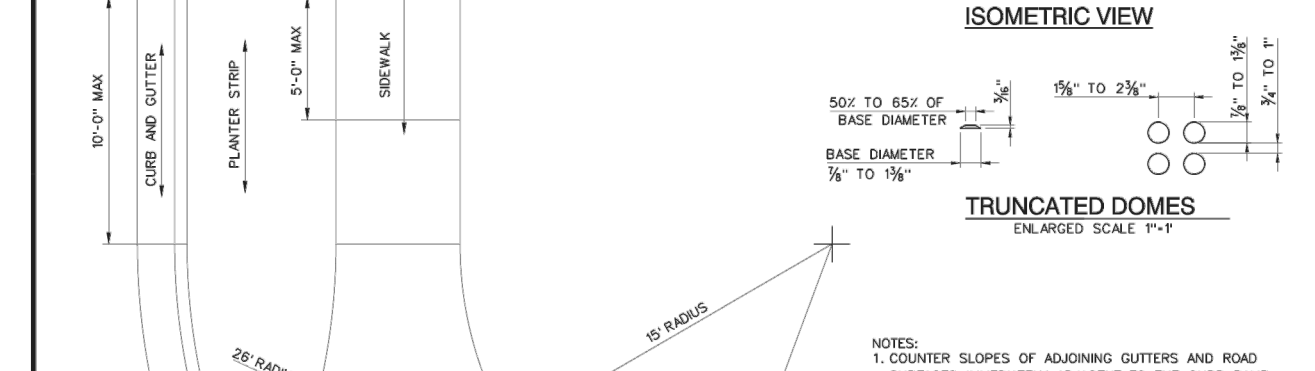
CG5

ADOPTED DATE: 10-2023

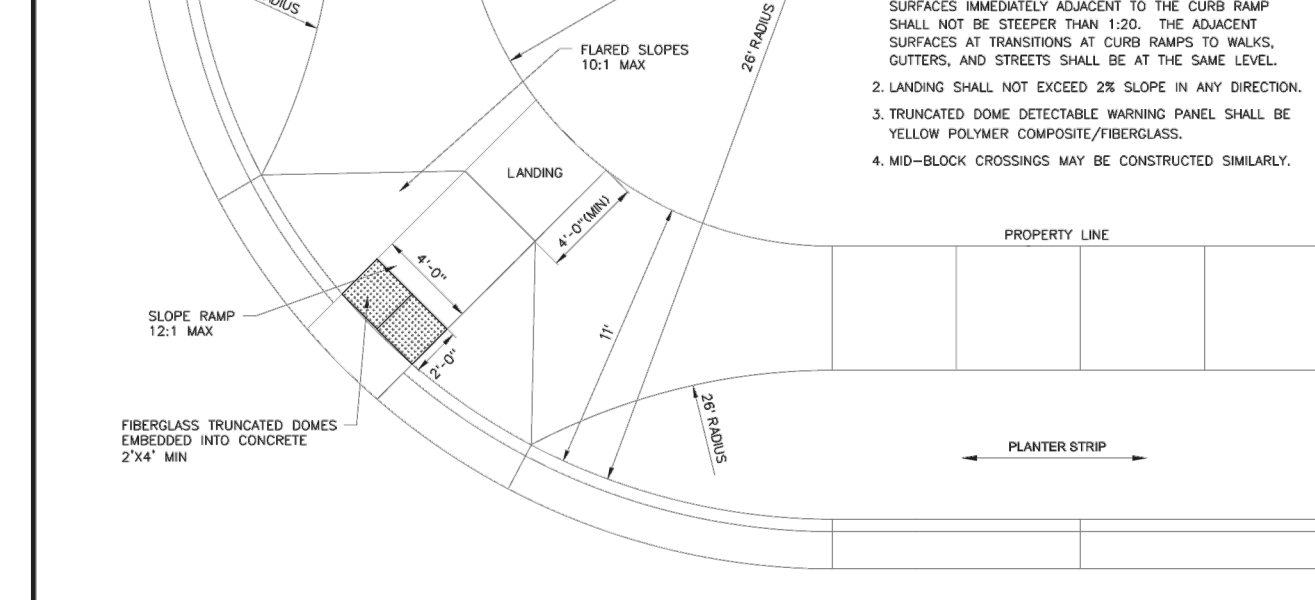
NOT TO SCALE



ISOMETRIC VIEW



TRUNCATED DOMES



ELEVATION VIEW

NOTES:
1. COVER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 1:50. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMP TO MANHOLE, GUTTERS, AND STREETS SHALL BE AT THE SAME LEVEL.
2. LANDING SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
3. TRUNCATED DOME DETECTABLE WARNING PANEL SHALL BE YELLOW PAVEMENT COMPOSITE/FIBERGLASS.
4. MED-BLOCK CROSSINGS MAY BE CONSTRUCTED SIMILARLY.

Santaquin

RESIDENTIAL CURB RAMP AT INTERSECTION
SANTAQUIN CITY
275 WEST MAIN STREET

CG2A

ADOPTED DATE: 10-2023

NOT TO SCALE

NO.	DESCRIPTION	DATE	APPD.

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	N/A

GATEWAY CONSULTING, Inc.
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

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CONSTRUCTION MANAGEMENT

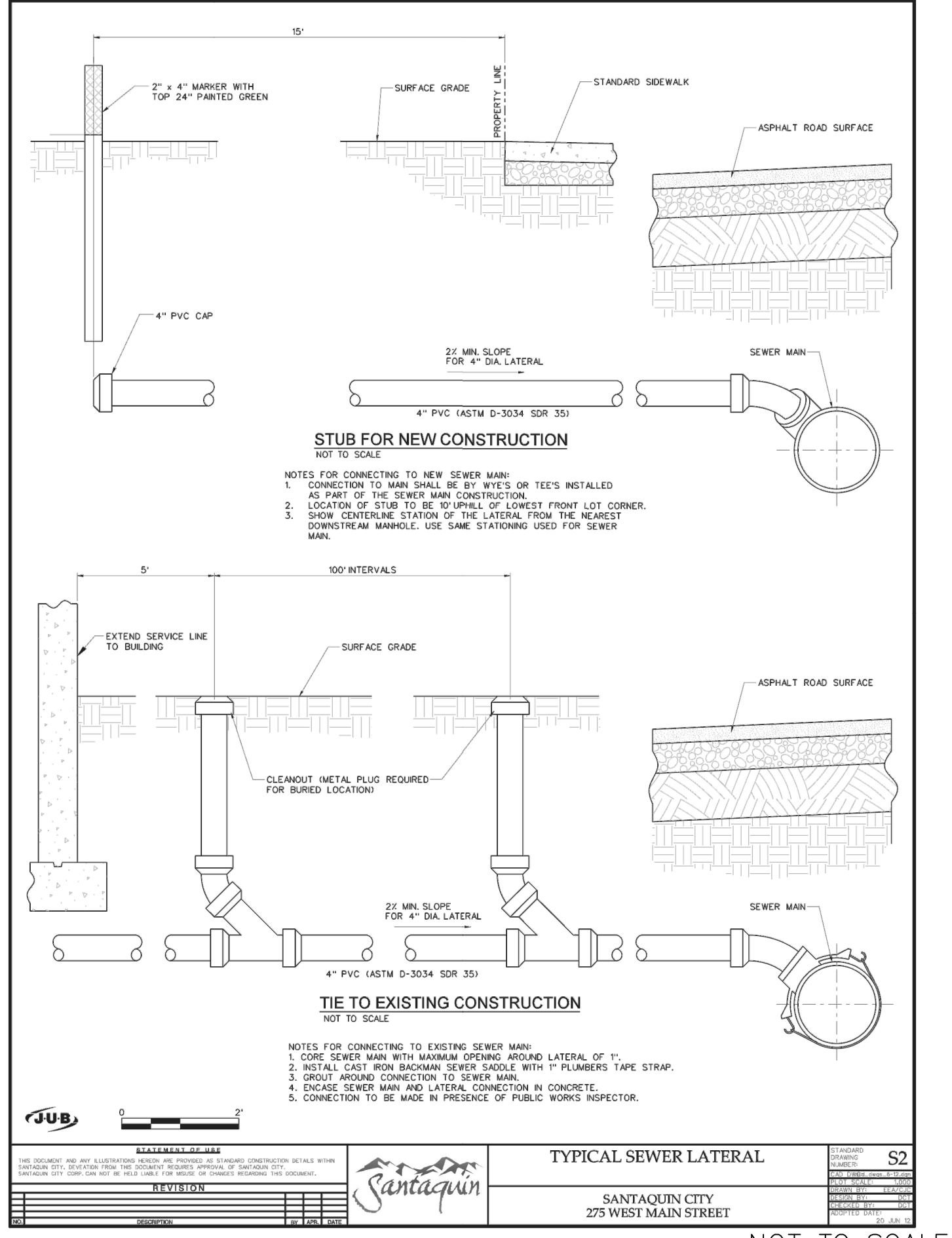
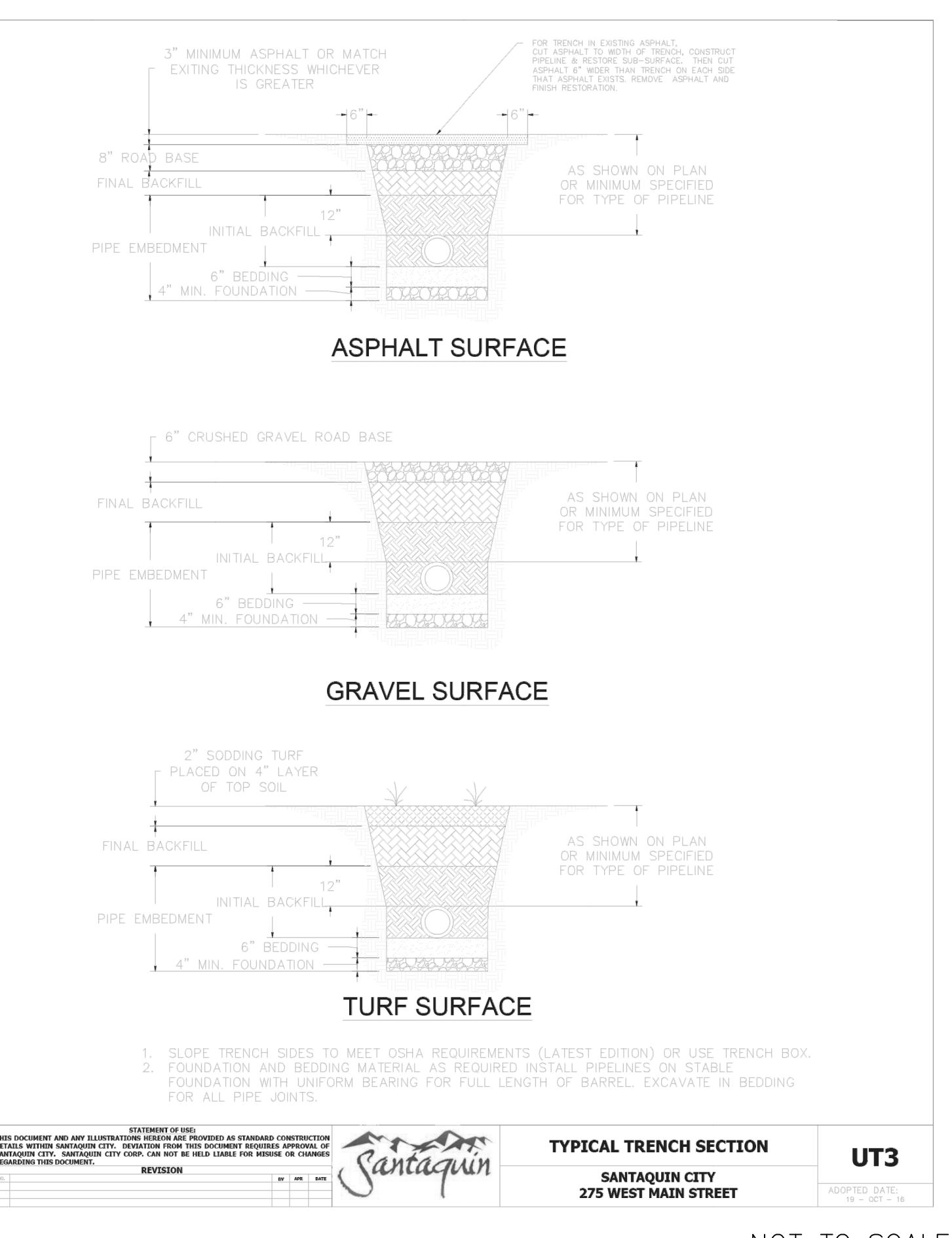
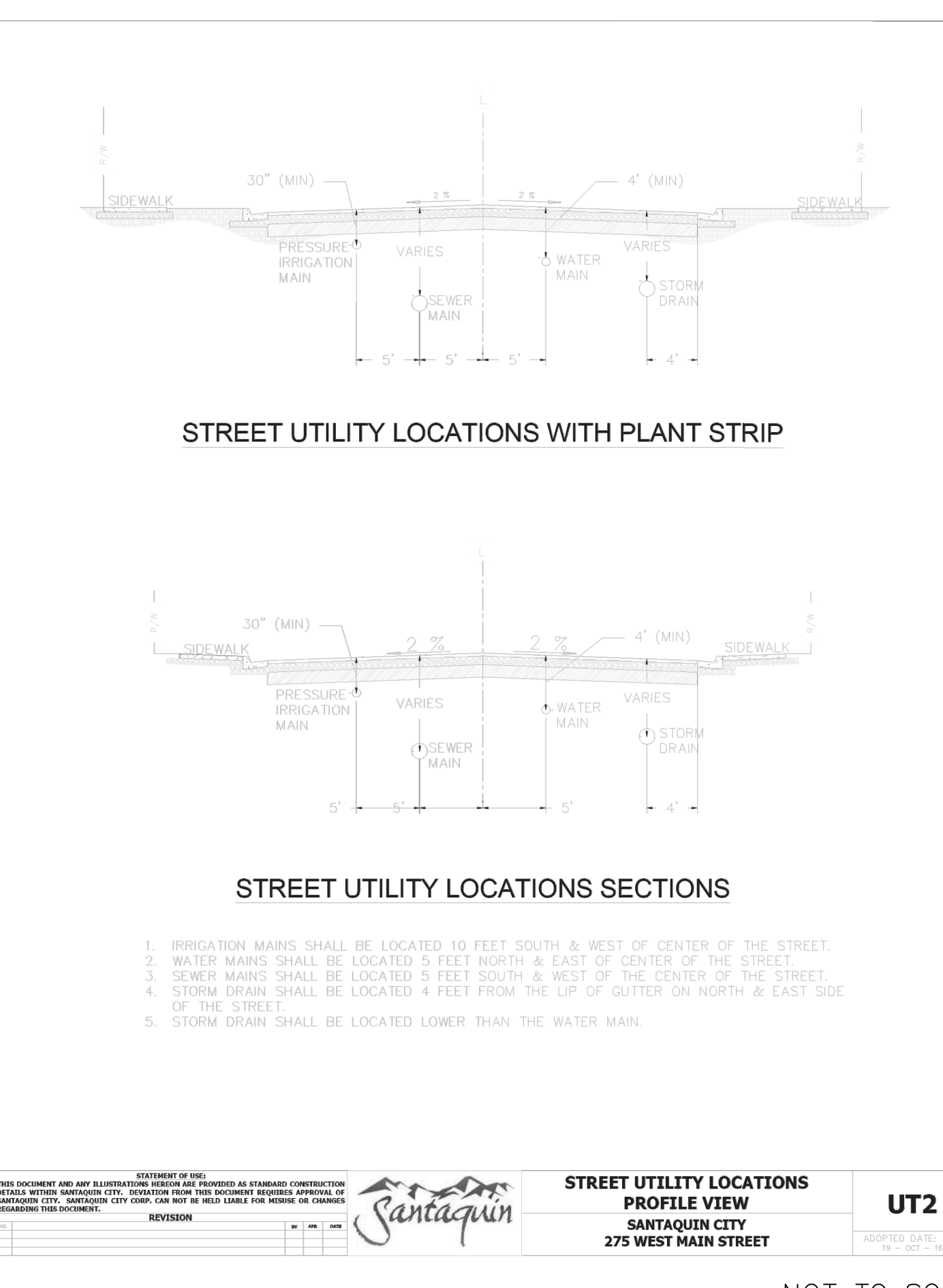
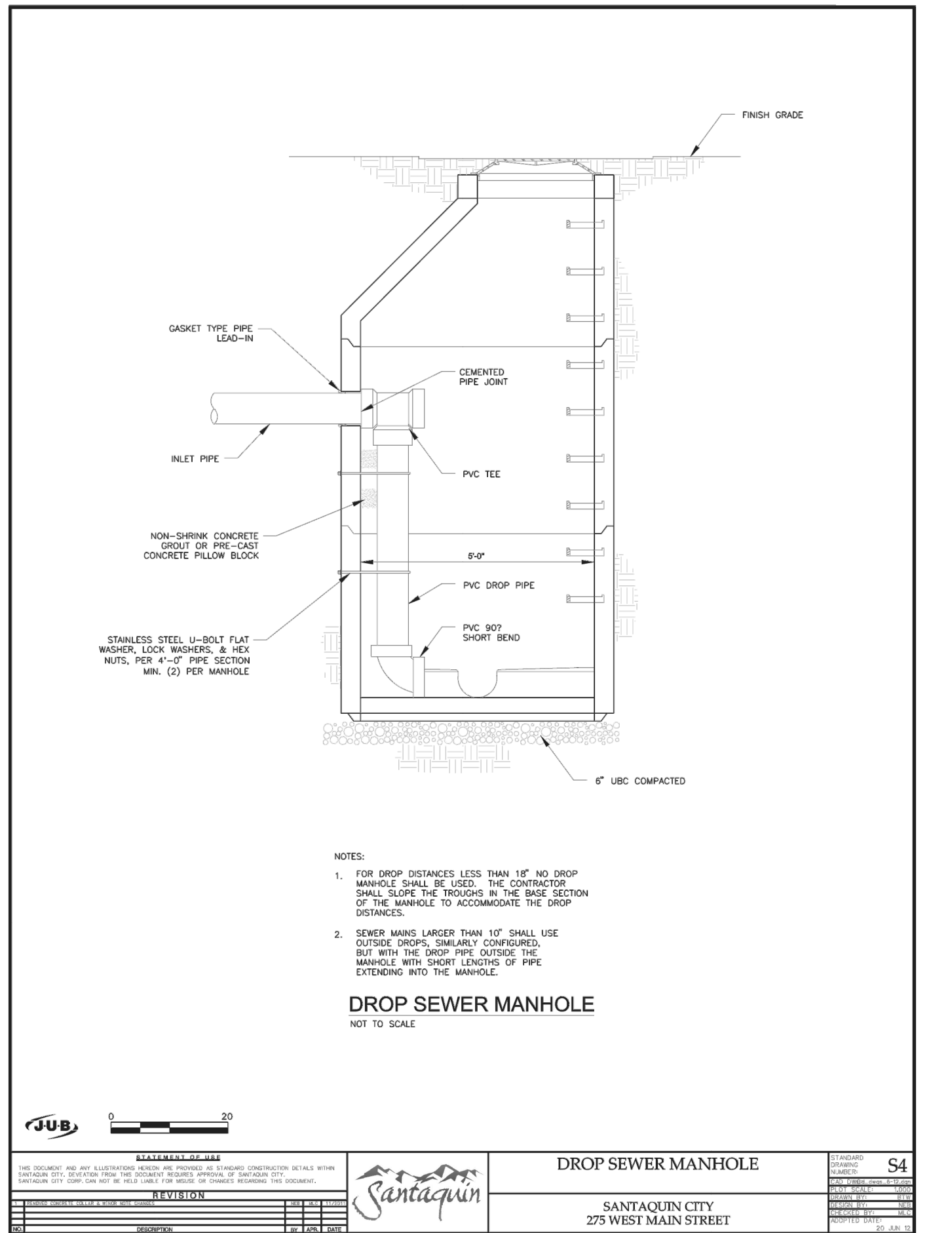
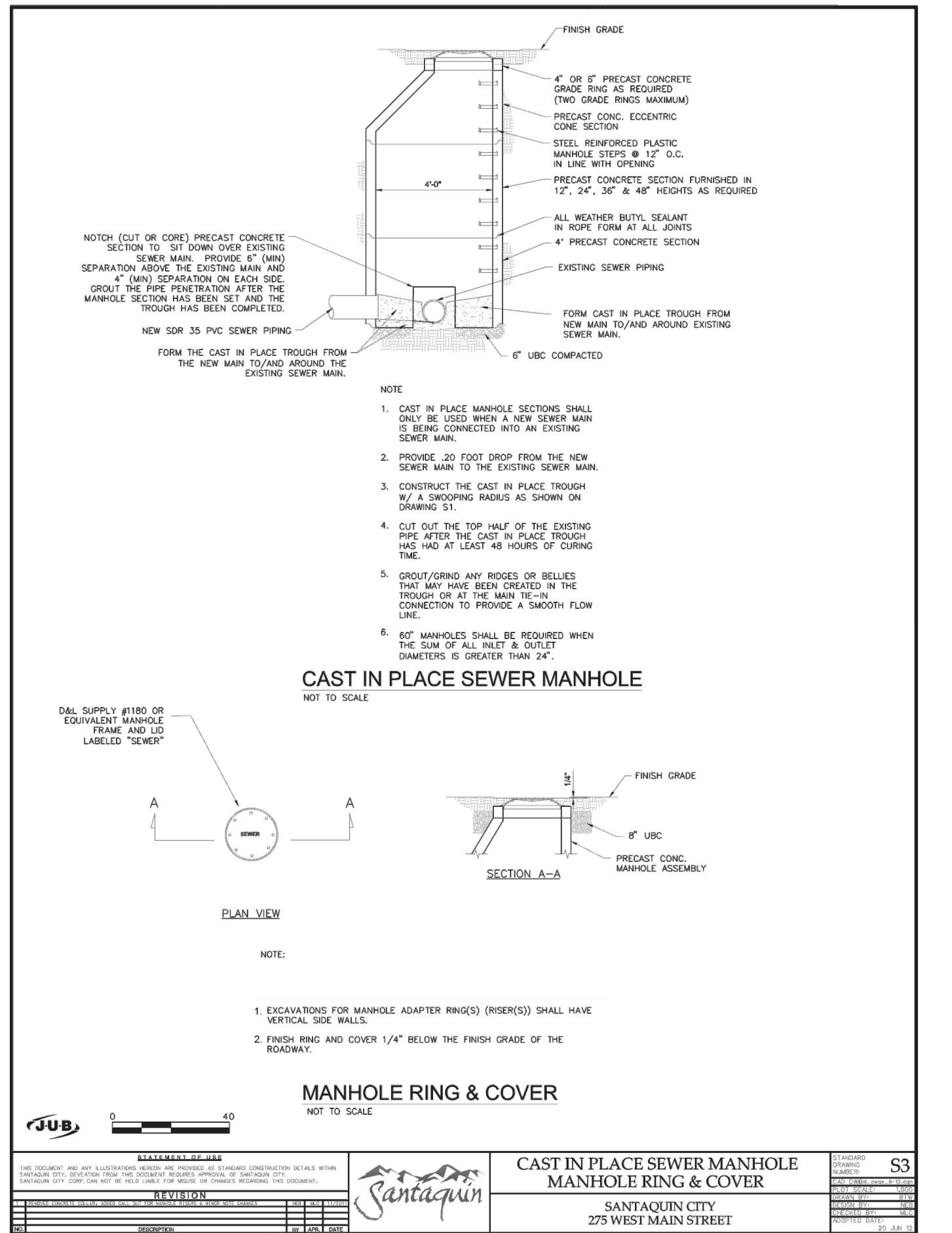
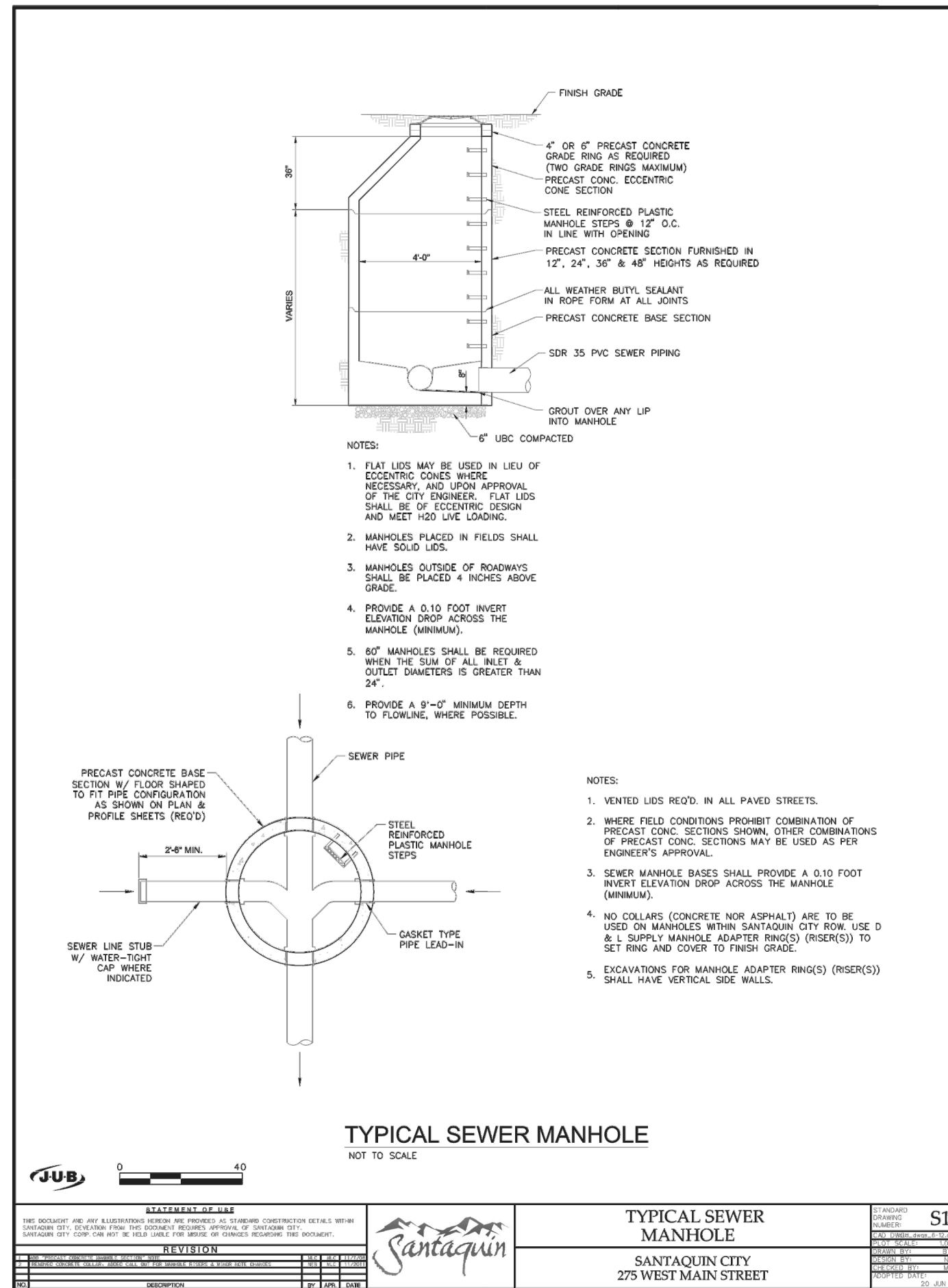
STRATTON MEADOW SUBDIVISION

STREET DETAILS

PRINT DATE: 9-6-2023

SANTAQUIN CITY

REGISTERED PROFESSIONAL ENGINEER
PAUL J. GIBSON
UTAH



NO.	DESCRIPTION	DATE

DATE: 2-8-21	ORIG. DATE:
DESIGNED BY: GPW	DRAWN BY: GPW
CHECKED BY: GPW	SCALE: N/A

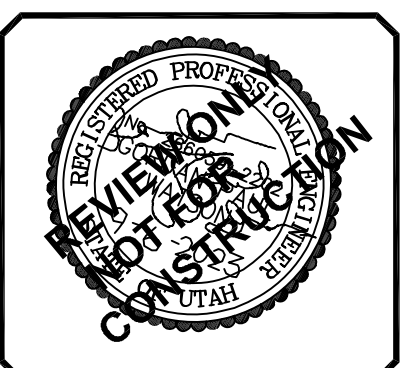
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PH: (801) 694-5848 FAX: (801) 432-7050
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CONSTRUCTION MANAGEMENT

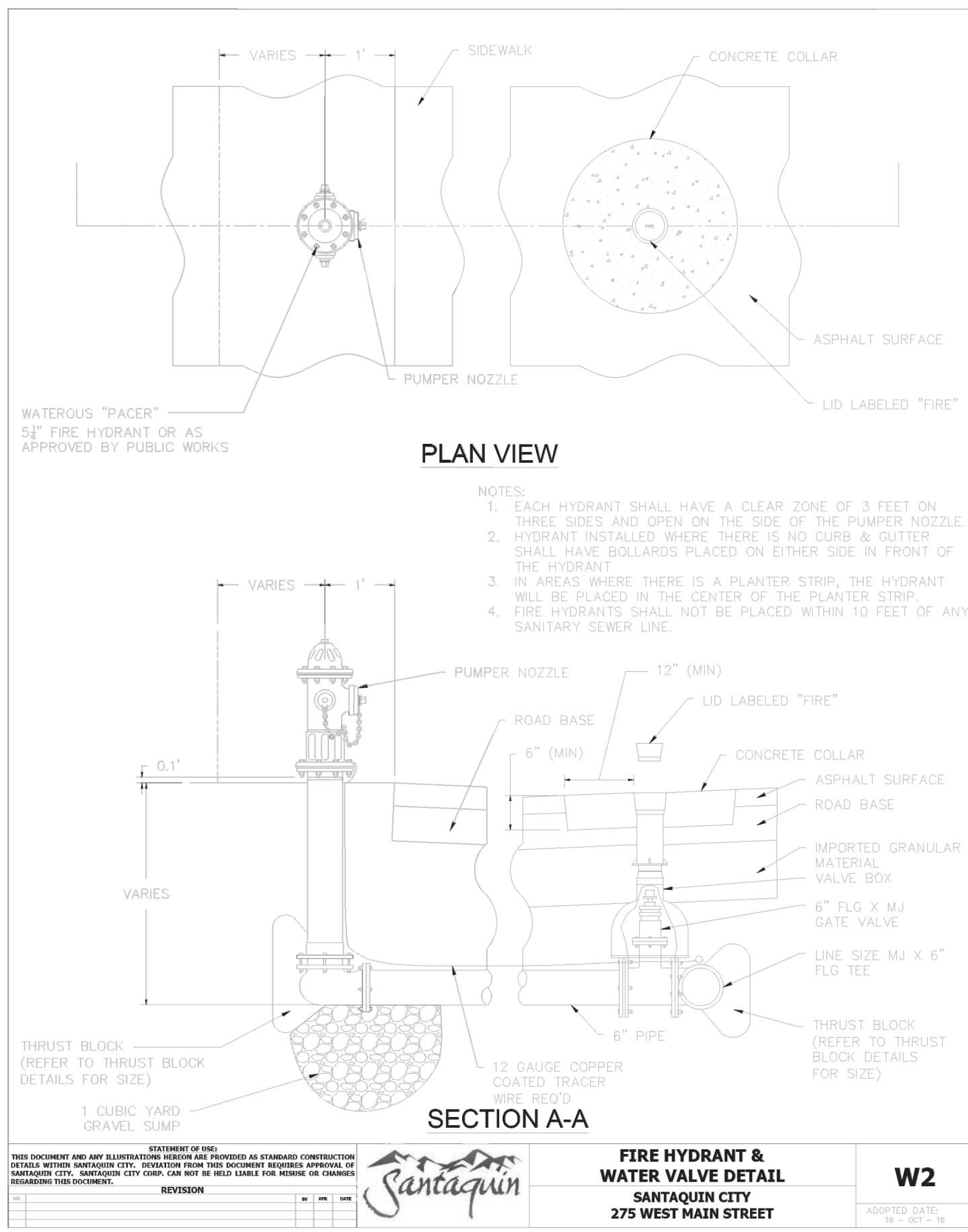
STRATTON MEADOW SUBDIVISION
SEWER DETAILS

9-6-2023

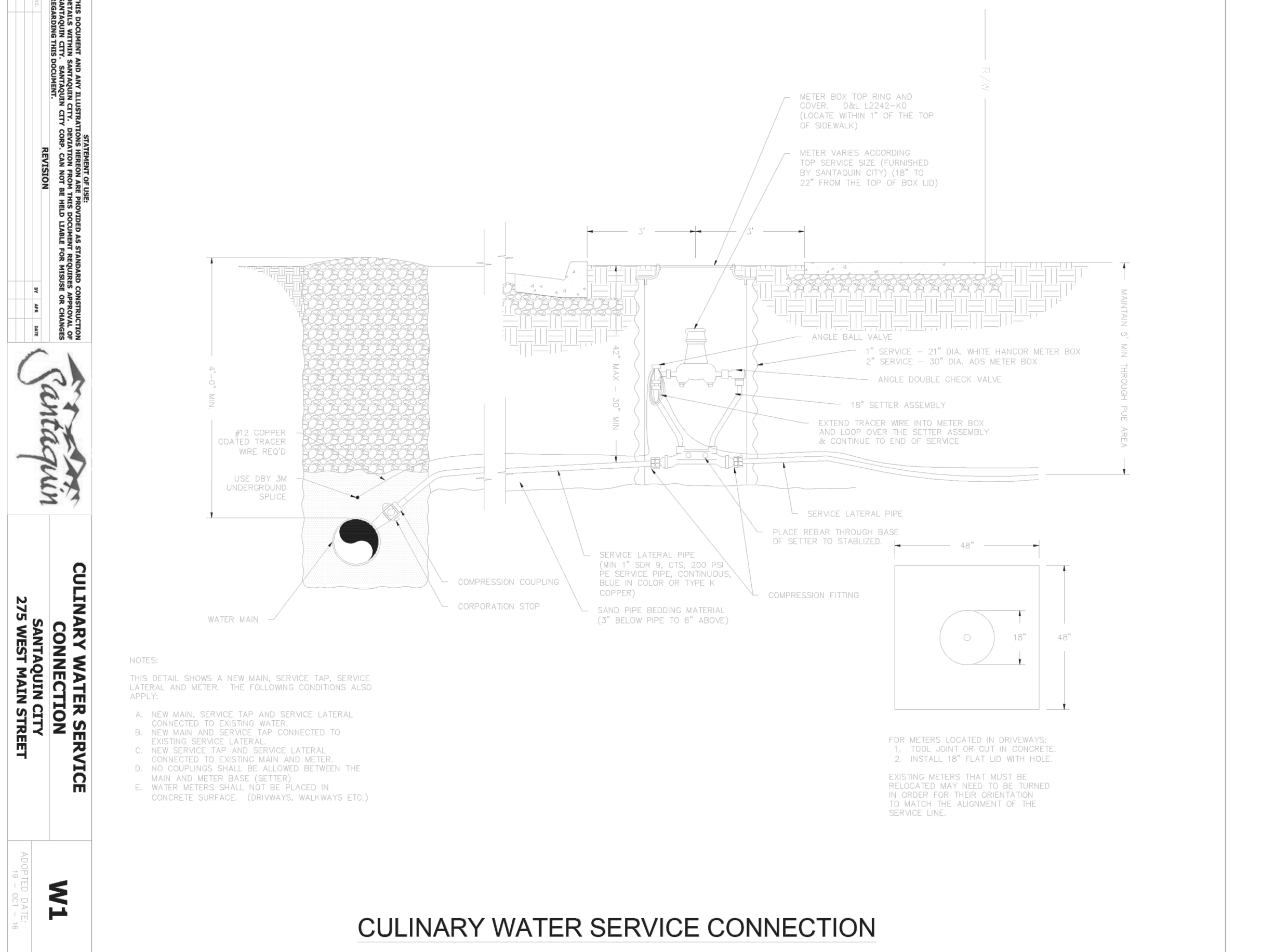
SANTAQUIN CITY



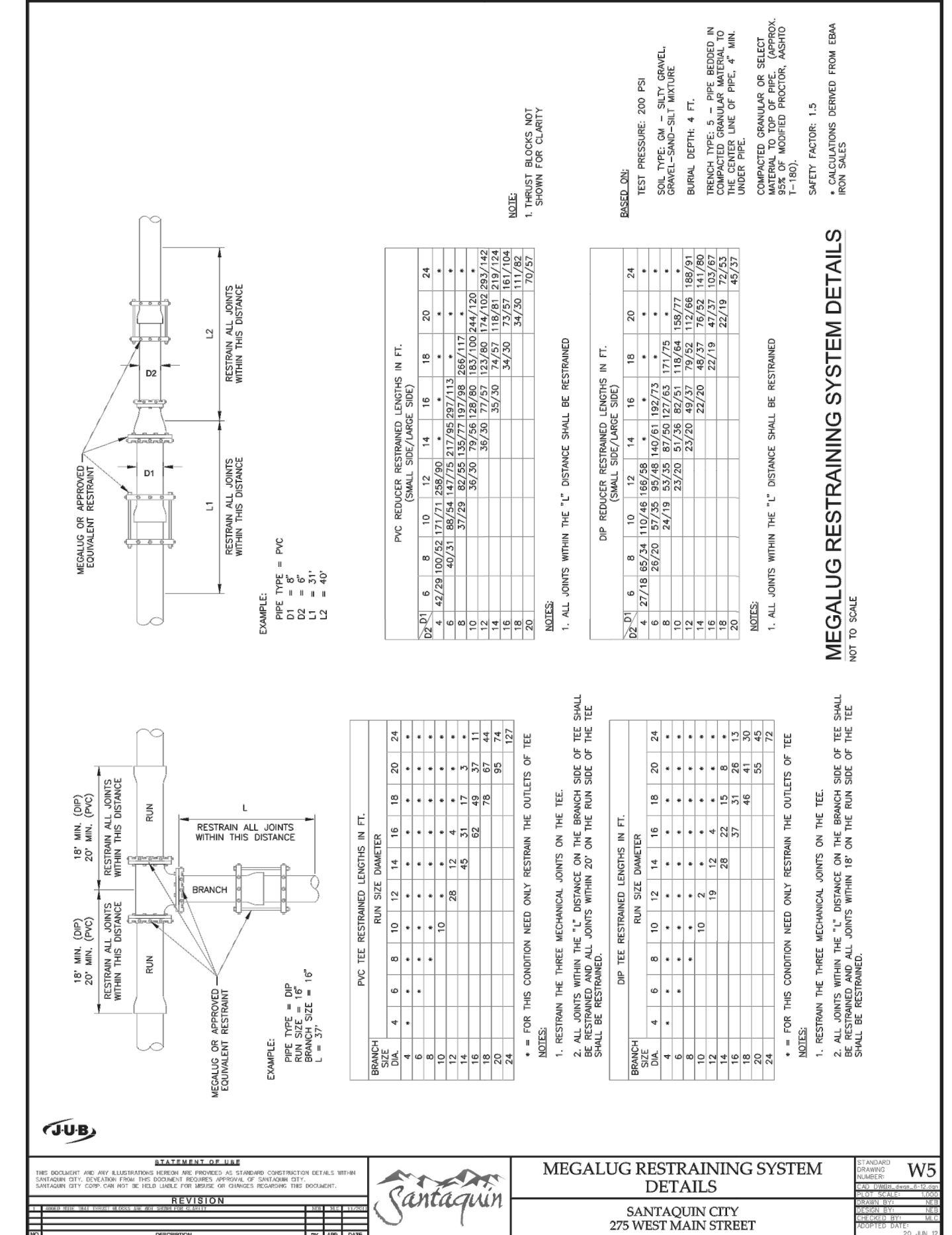
SHEET NO. D2



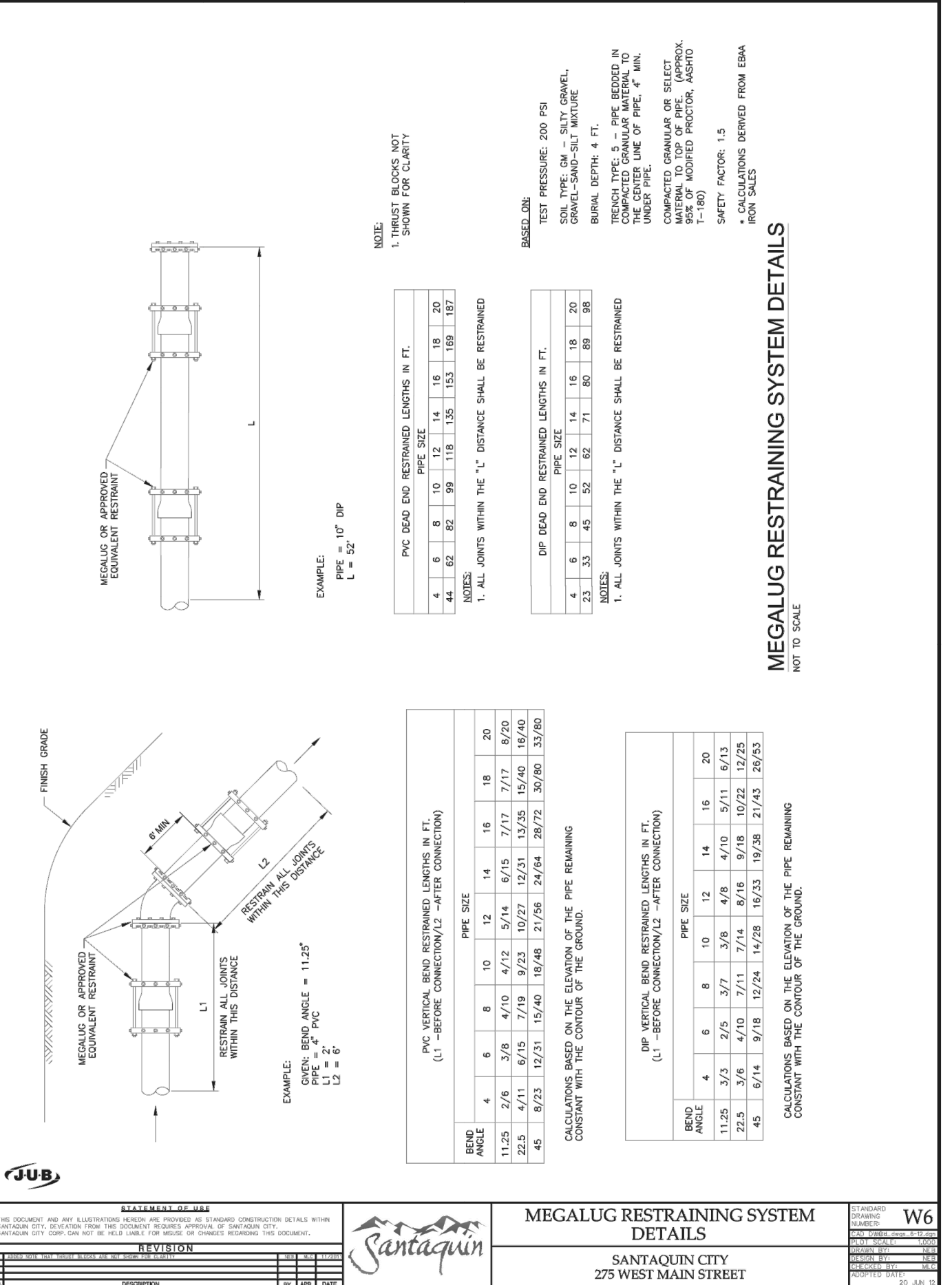
FIRE HYDRANT & WATER VALVE DETAIL
SANTAQUIN CITY
275 WEST MAIN STREET
W2



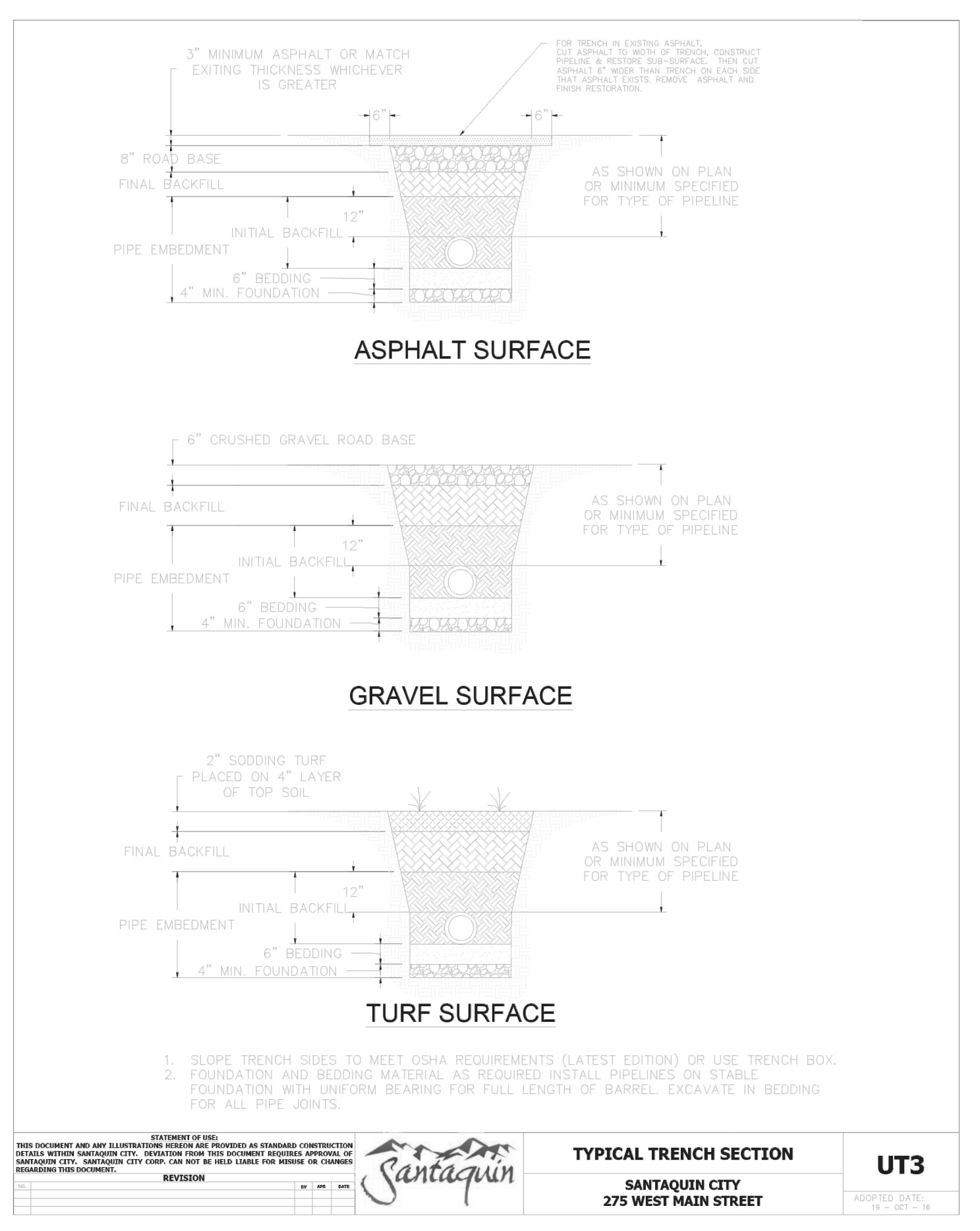
CULINARY WATER SERVICE CONNECTION
SANTAQUIN CITY
275 WEST MAIN STREET
W1



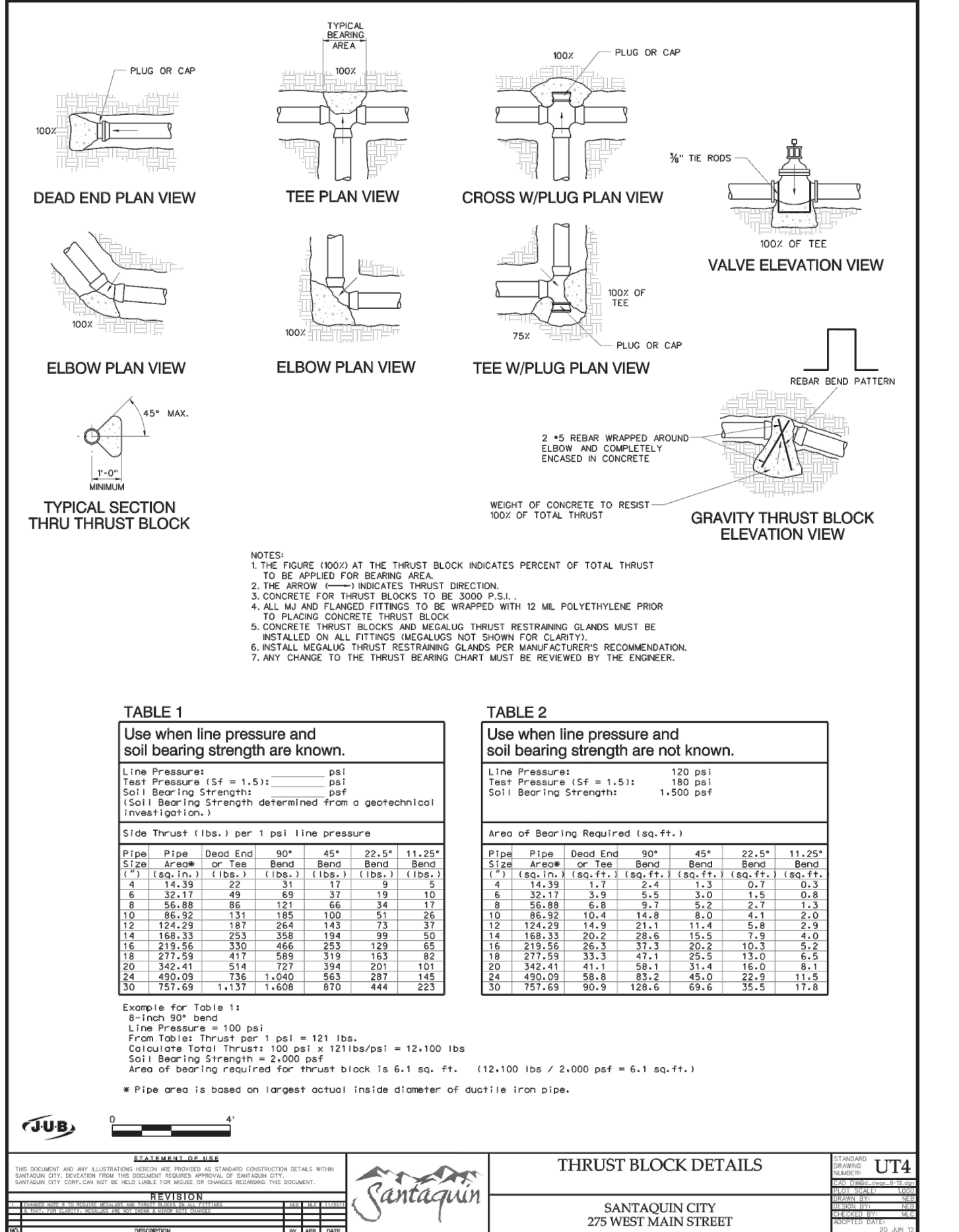
MEGALOG RESTRAINING SYSTEM DETAILS
SANTAQUIN CITY
275 WEST MAIN STREET
W5



MEGALOG RESTRAINING SYSTEM DETAILS
SANTAQUIN CITY
275 WEST MAIN STREET
W6



TYPICAL TRENCH SECTION
SANTAQUIN CITY
275 WEST MAIN STREET
UT3



THRUST BLOCK DETAILS
SANTAQUIN CITY
275 WEST MAIN STREET
UT4

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	N/A

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PH: (801) 694-5848
paul@gatewayconsultingllc.com

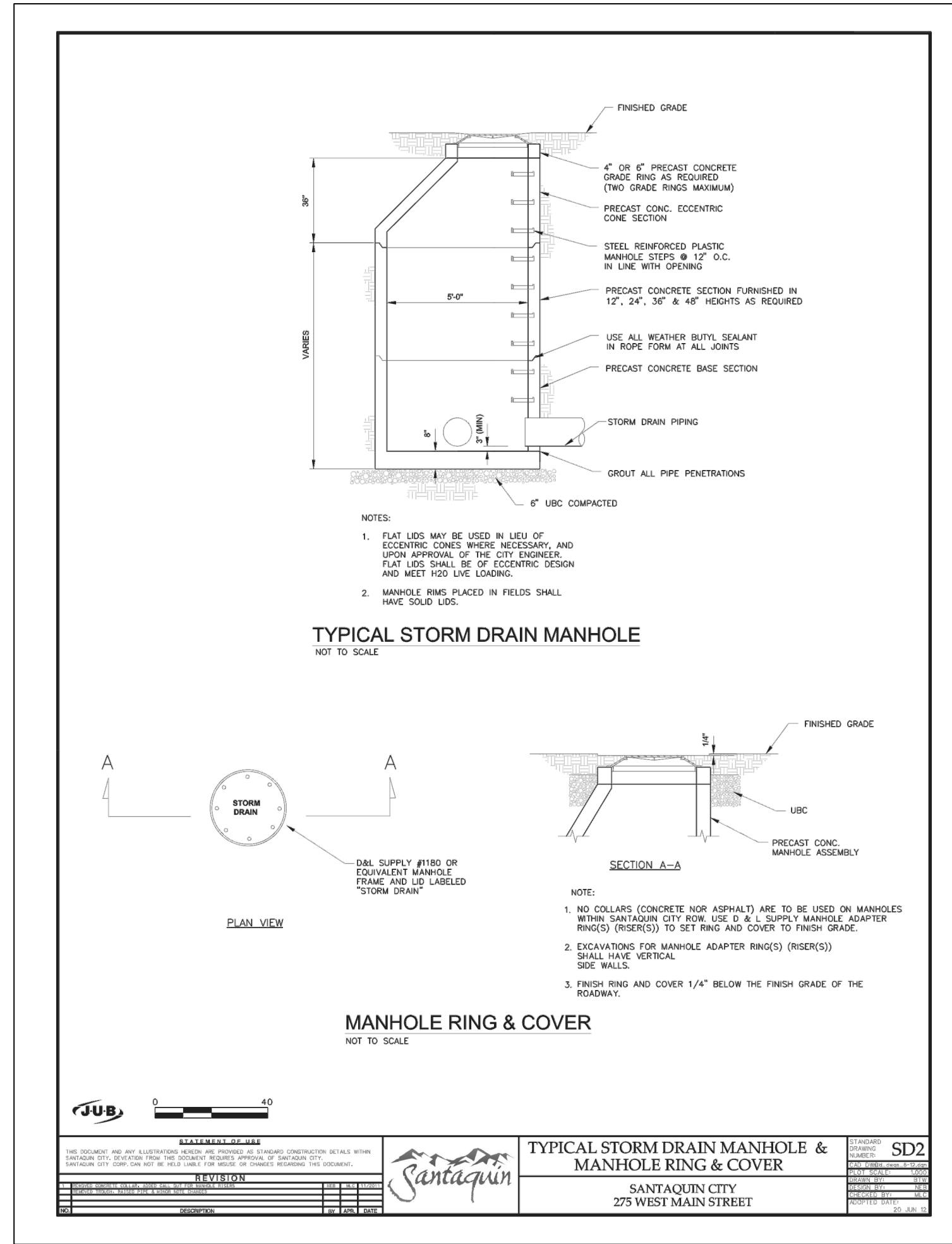
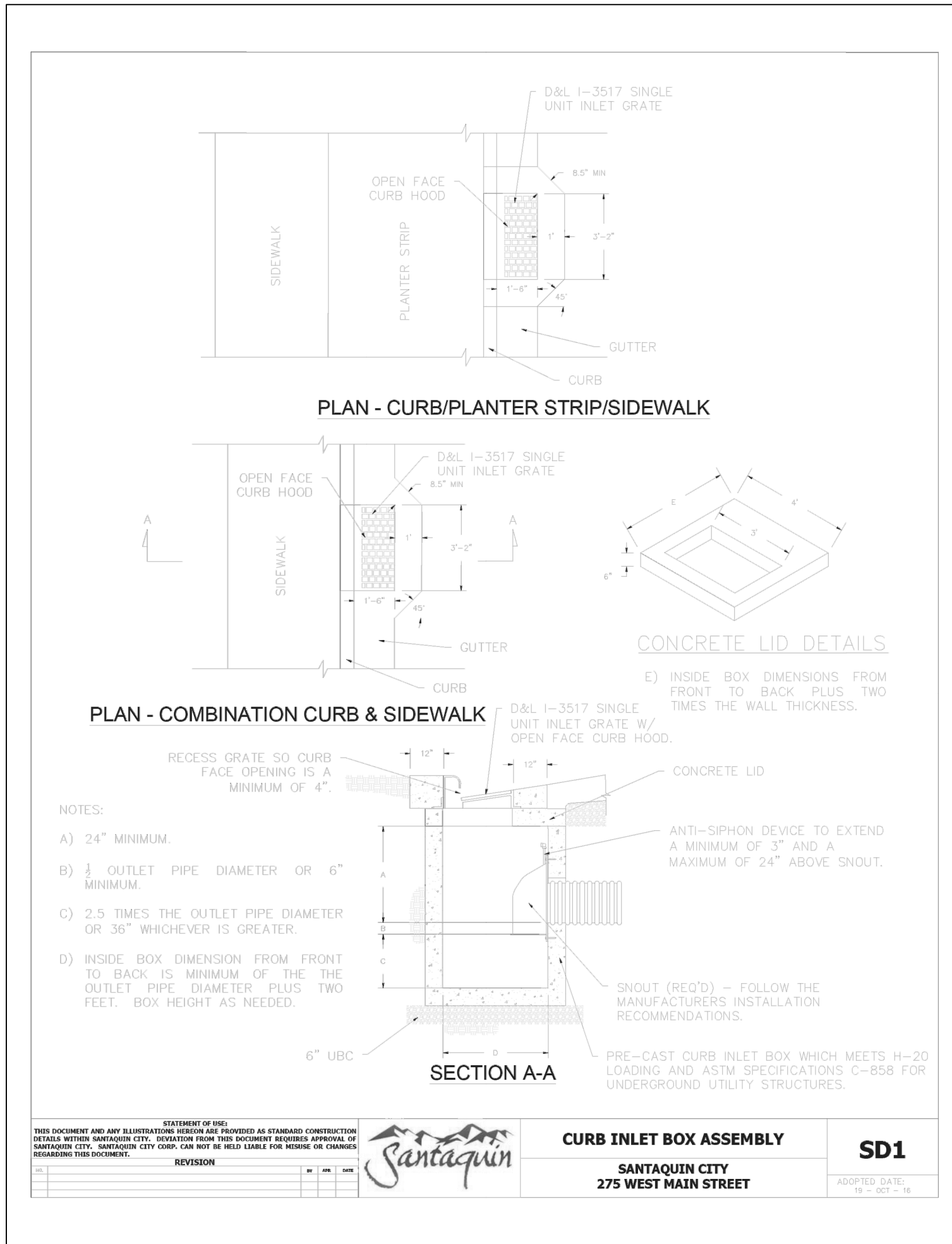
**CIVIL ENGINEERING • CONSULTING • LAND PLANNING
CONSTRUCTION MANAGEMENT**

**STRATTON MEADOW
SUBDIVISION
WATER DETAIL**

9-6-2023

SANTAQUIN CITY

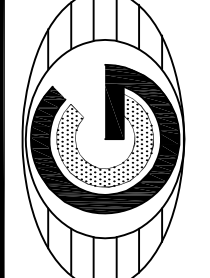
**REVIEW OF
PROJECT
COMPLETED
2023**



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	CPW
DRAWN BY:	CPW
DESIGNED BY:	CPW
CHECKED BY:	CPW
SCALE:	N/A

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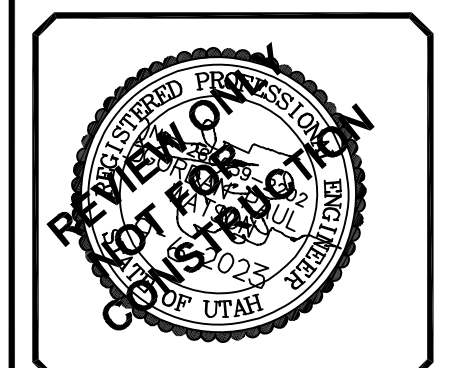
CIVIL ENGINEERING • CONSULTING • LAND PLANNING
CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION

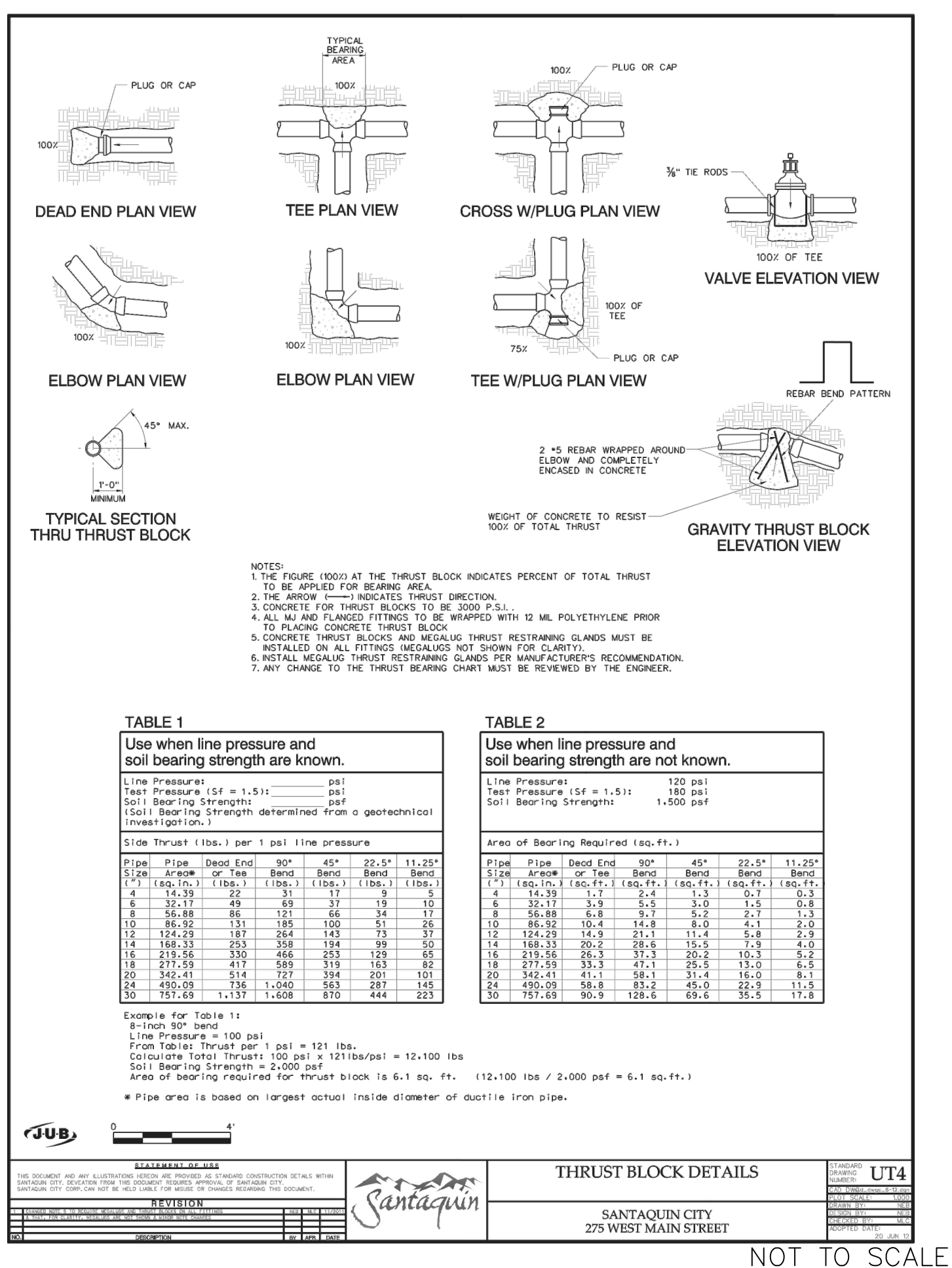
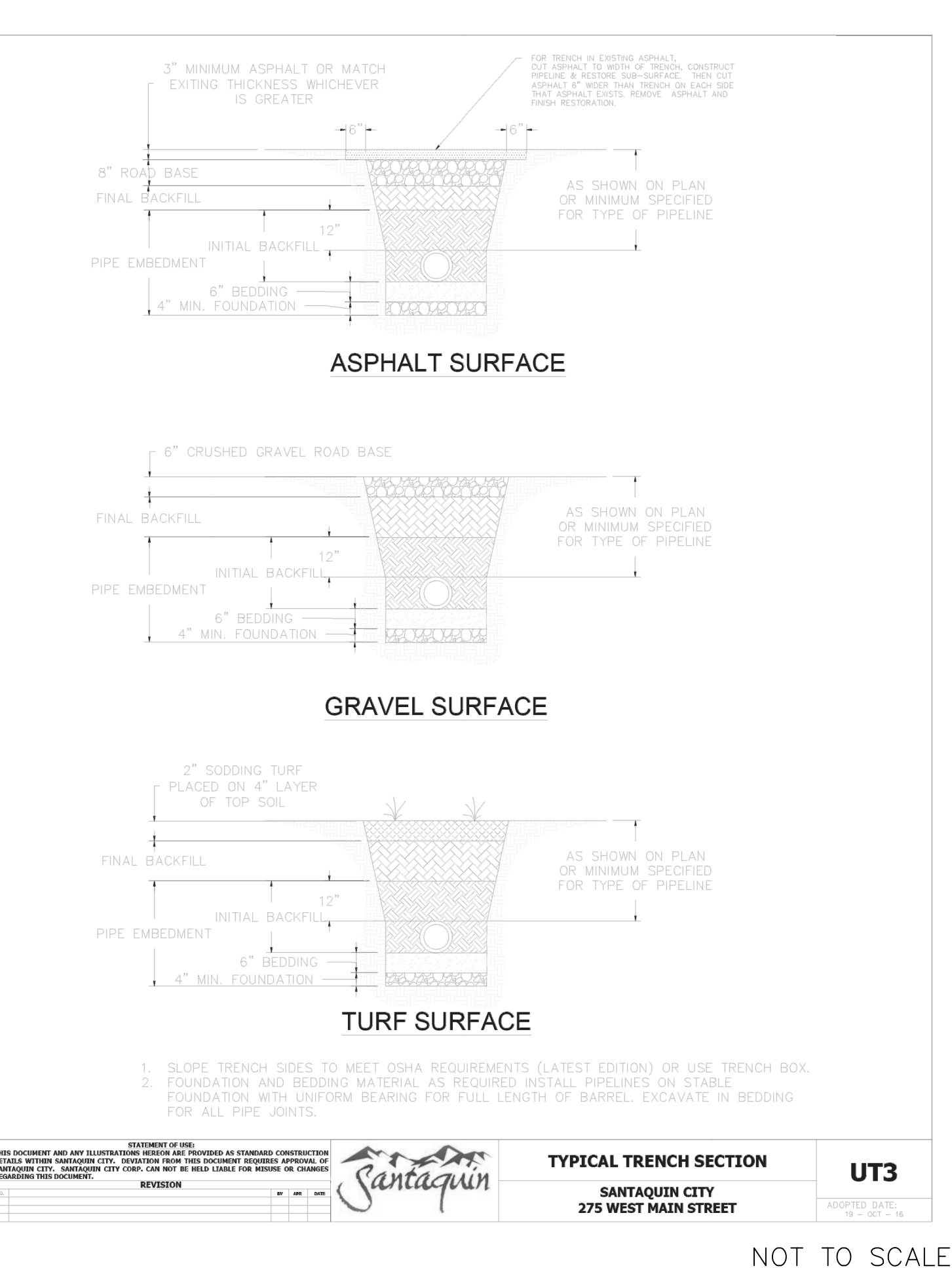
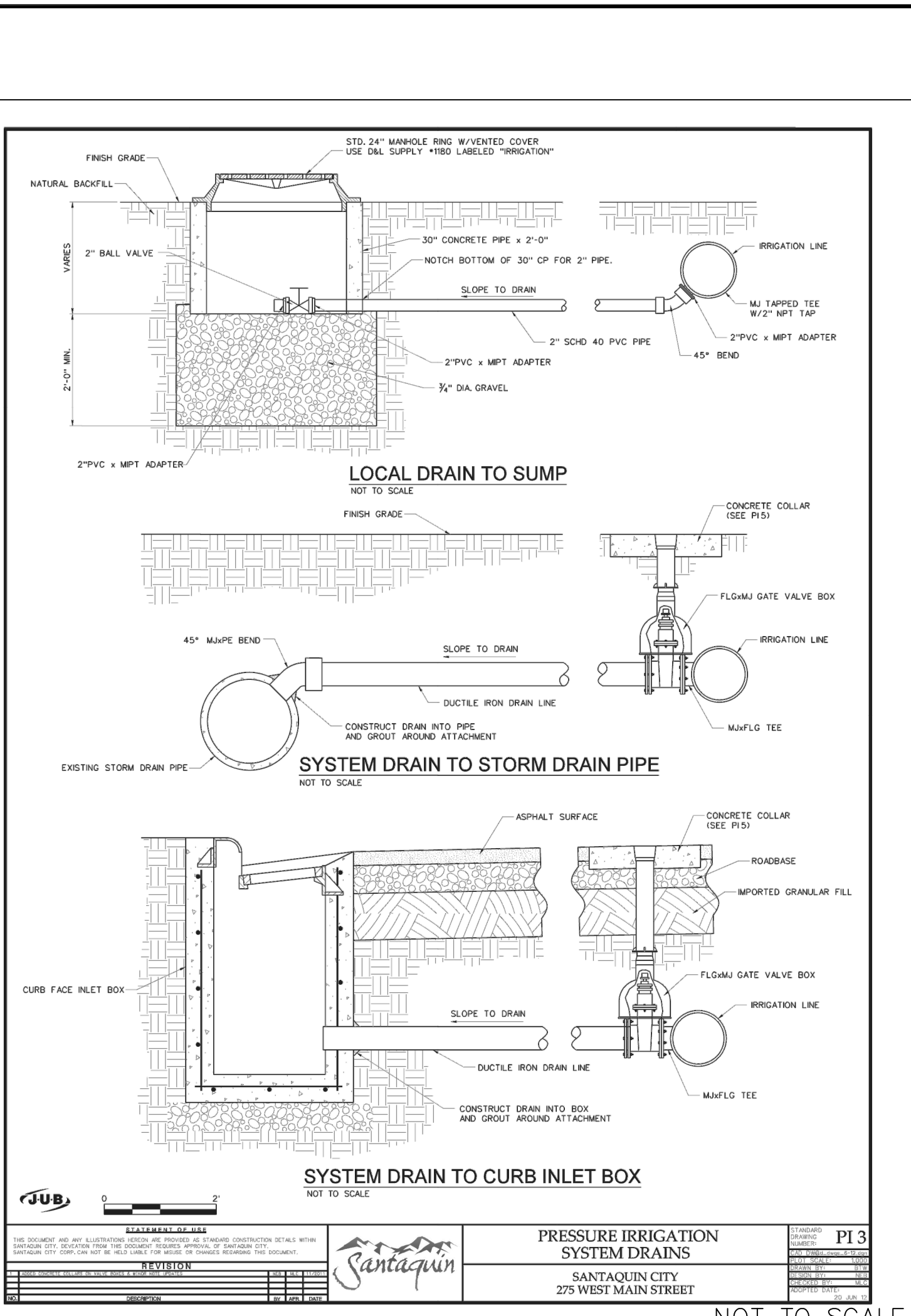
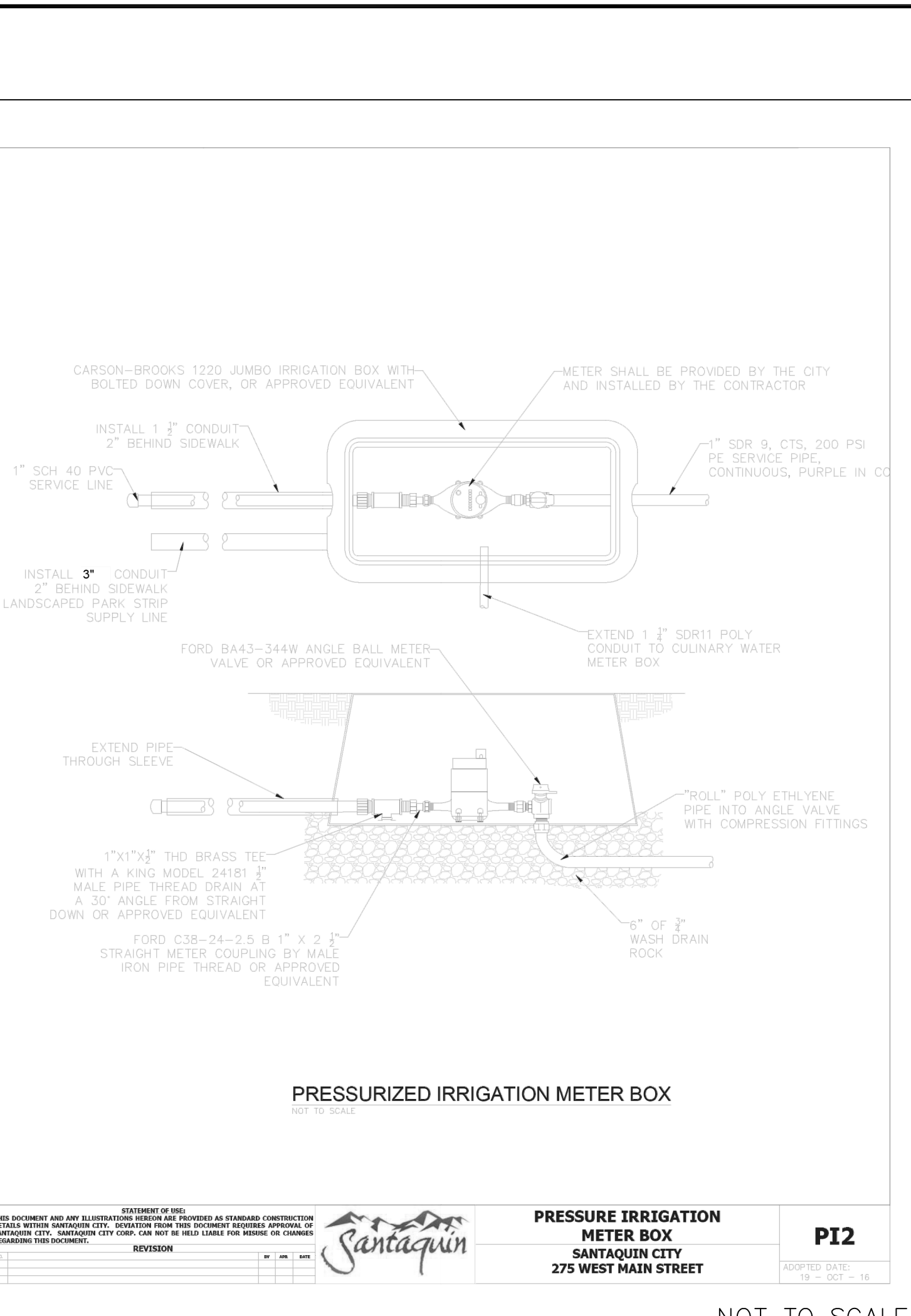
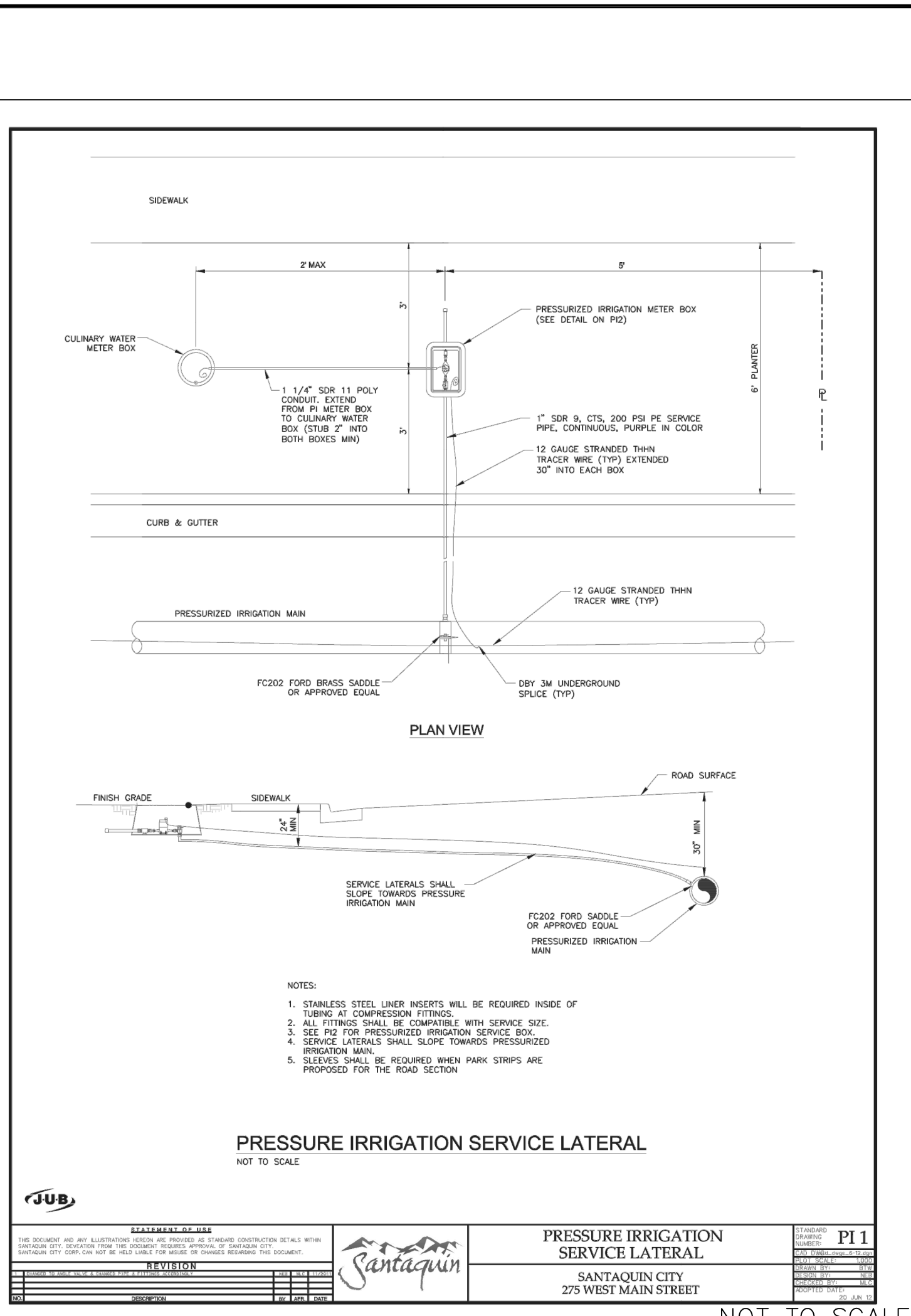
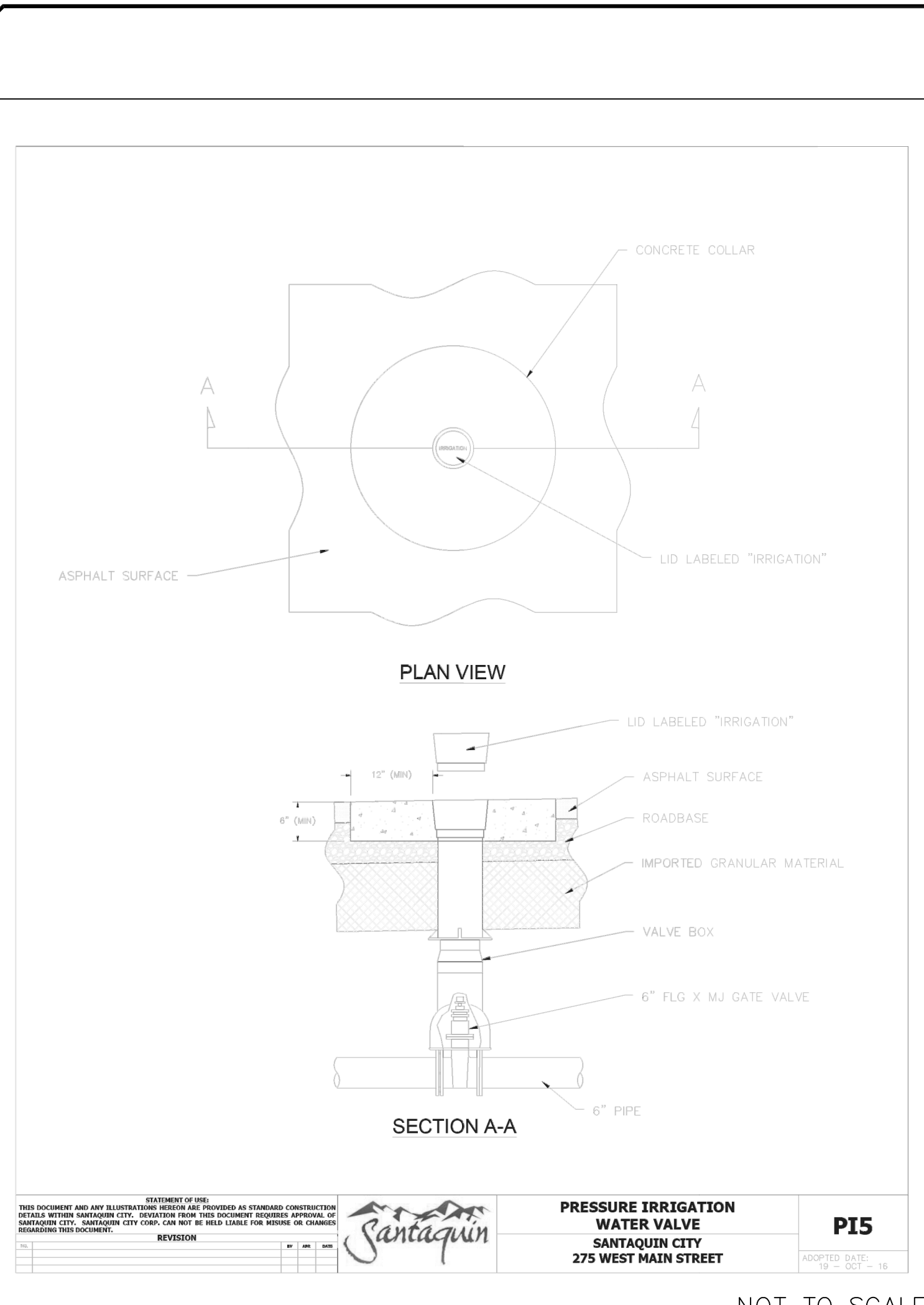
STORM DETAIL

9-6-2023

SANTAQUIN CITY



SHEET NO. **D4**



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P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 994-5848
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CONSTRUCTION MANAGEMENT**

**STRATTON MEADOW
SUBDIVISION
IRRIGATION WATER DETAILS**

**SANTAQUIN
CITY**

**FLUSHING, AIR INLET & REMOVAL
FACILITY FOR PRESSURE IRRIGATION**

**SANTAQUIN CITY
275 WEST MAIN STREET**

PI4

NOT TO SCALE

UT4

REVISION

DATE

DESCRIPTION

NO.

DATE

APPD.

ORIG. DATE: 2-8-21

SURVEY BY: GPW

DRAWN BY: GPW

DESIGNED BY: GPW

CHECKED BY: GPW

SCALE: N/A

SHEET NO. D5

9-6-2023

Specifications

POST DESCRIPTION
The utility post shall be all aluminum, one-piece construction, with a classic tapered and fluted base design. The shaft shall be 60° smooth.

MATERIALS
The base shall be heavy wall, cast aluminum produced from certified ASTM 356.1 ingot per ASTM B179-05 or A970-02-05. The upright shaft shall be extruded from aluminum, ASTM 6061 alloy. All hardware shall be temper resistant stainless steel. Anchor bolts to be completely hot dip galvanized.

CONSTRUCTION
The shaft shall be double-vented to the base casting and shipped as one piece for maximum structural integrity. The shaft shall be circumferentially vented inside the base casting at the top of the access door, and externally where the shaft meets the base. All exposed vents below 8" shall be ground smooth. All welding shall be per ANSI/AWS D1.5-05. All welds shall be certified per Section 5 of AWS/D15.1-05.

INSTALLATION
The post shall be installed with four stainless steel L-type anchor bolts to be installed on a 12" diameter notched area. A door shall be provided in the base for anchorage and wiring access. A grounding screw shall be provided inside the base opposite the door.

FINISH
The entire assembly shall have a standard Holographic "black" finish.

LUMINAIRE DESCRIPTION
- Ceramic Fluorescent LED
- 40W 215mA Driver, 4x CCT
- Auto-Dimming 120-277V
- Symmetric Type V, No Trim, Splice Free, Full Cover
- HEMA Tealight Photocell/Photocell
- DTL T-Model Photocell For 5046-Style Lighting 120-277V
- 258 Threaded Leads
For complete specifications see LUM_GFD.

Anchorage Detail

LOCAL AND COLLECTOR STREET LIGHTING DETAILS
SANTAQUIN CITY
275 WEST MAIN STREET

L1

NOT TO SCALE

BREAK AWAY COUPLING DETAIL
NOT TO SCALE

ANCHOR BASE DETAIL
NOT TO SCALE

ANCHOR BASE & BREAK AWAY COUPLING
SANTAQUIN CITY
275 WEST MAIN STREET

L4

NOT TO SCALE

MAPLE LN.
200 SOUTH
STREETS WITH NAMES

LOCAL STREET/STOP SIGN DETAIL

TYPICAL LOCAL STREET/STOP SIGN LOCATION PLAN VIEW
SCALE: 1"=20'

LOCAL STREET/STOP SIGN DETAIL
NOT TO SCALE

LOCAL STREET/STOP SIGN DETAIL
SANTAQUIN CITY
275 WEST MAIN STREET

S17

NOT TO SCALE

OAK SUMMIT DR.
1250 EAST
STREETS WITH NAMES

ARTERIAL & COLLECTOR STREET/STOP SIGN DETAIL

TYPICAL ARTERIAL & COLLECTOR STREET/STOP SIGN LOCATION PLAN VIEW
SCALE: 1"=20'

ARTERIAL & COLLECTOR STREET/STOP SIGN DETAIL
NOT TO SCALE

ARTERIAL & COLLECTOR STREET/STOP SIGN DETAIL
SANTAQUIN CITY
275 WEST MAIN STREET

S18

NOT TO SCALE

MAPLE LN.
200 SOUTH
STREETS WITH NAMES

TYPICAL STREET SIGN DETAIL
NOT TO SCALE

TYPICAL STREET SIGN DETAIL (NO STOP SIGN)
SANTAQUIN CITY
275 WEST MAIN STREET

S19

NOT TO SCALE

NO.	DESCRIPTION	DATE	APPD.

ORIG. DATE:	2-6-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	N/A

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CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION

LIGHT AND SIGN DETAILS

PRINT DATE: 9-6-2023

SANTAQUIN CITY

