

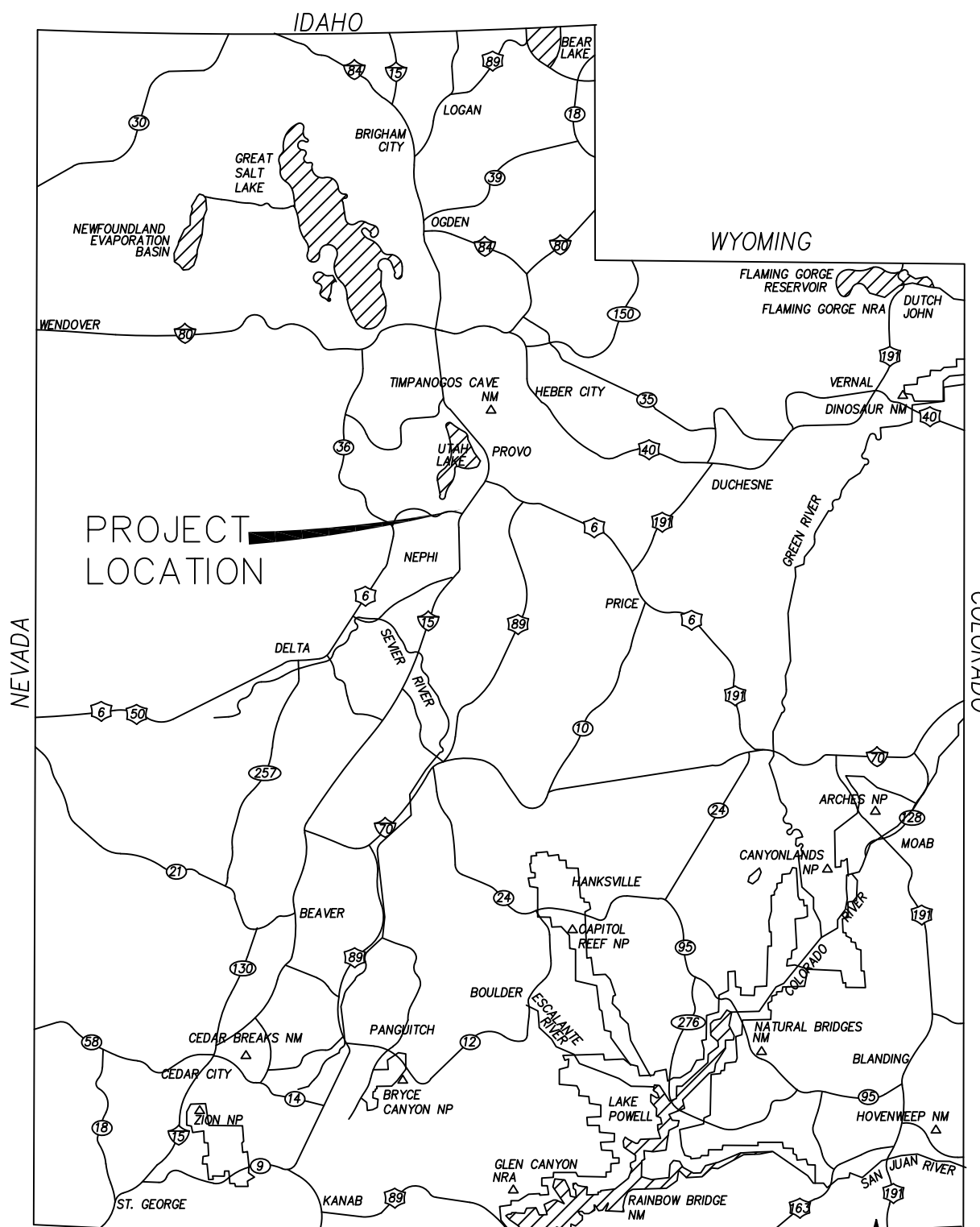
STRATTON MEADOW SUBDIVISION

LOCATION

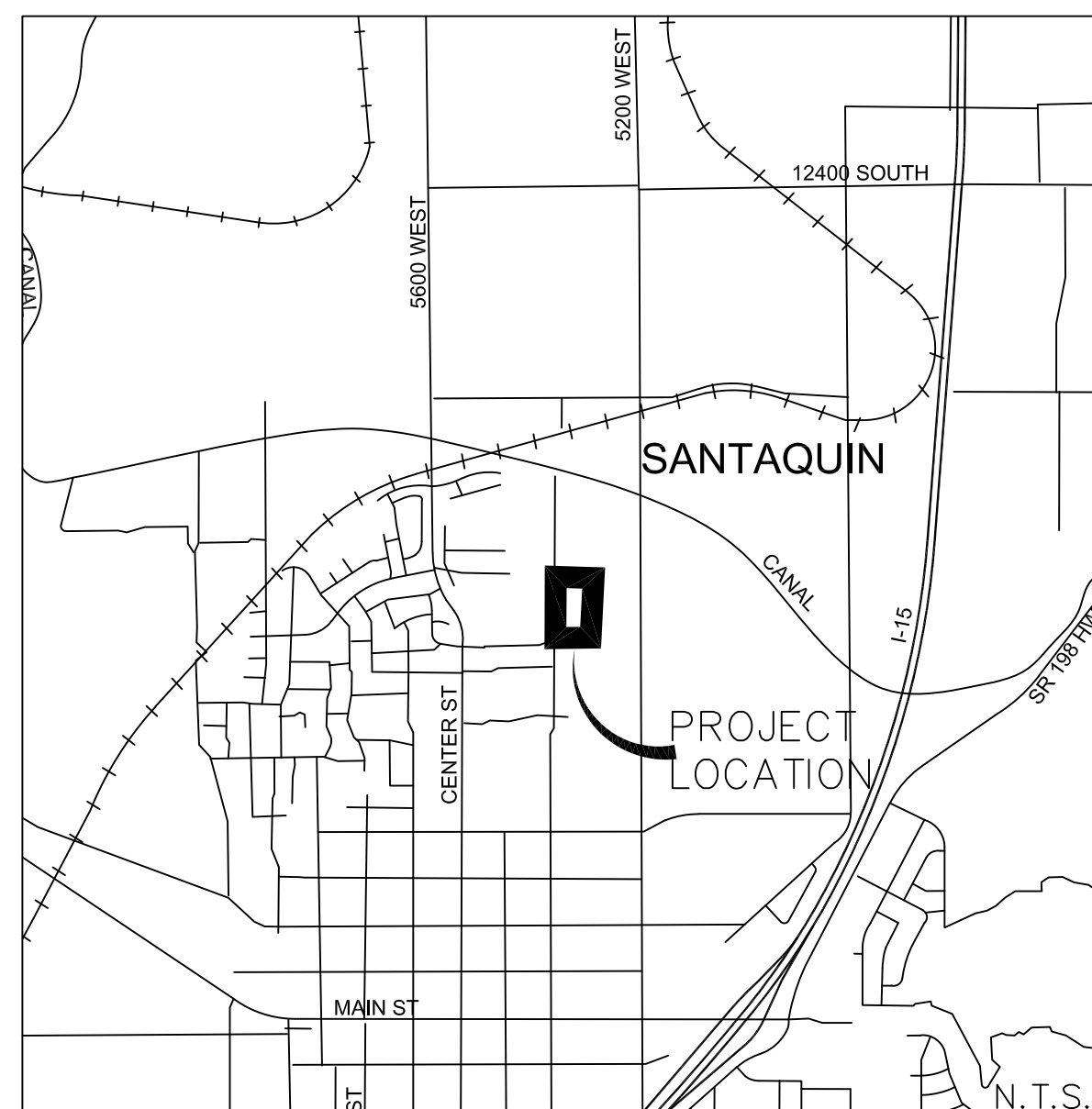
SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN SANTAQUIN, UTAH COUNTY, UTAH

PRELIMINARY
October 15, 2024

REVISIONS			
#	DESCRIPTION	DATE	SHEETS AFFECTED



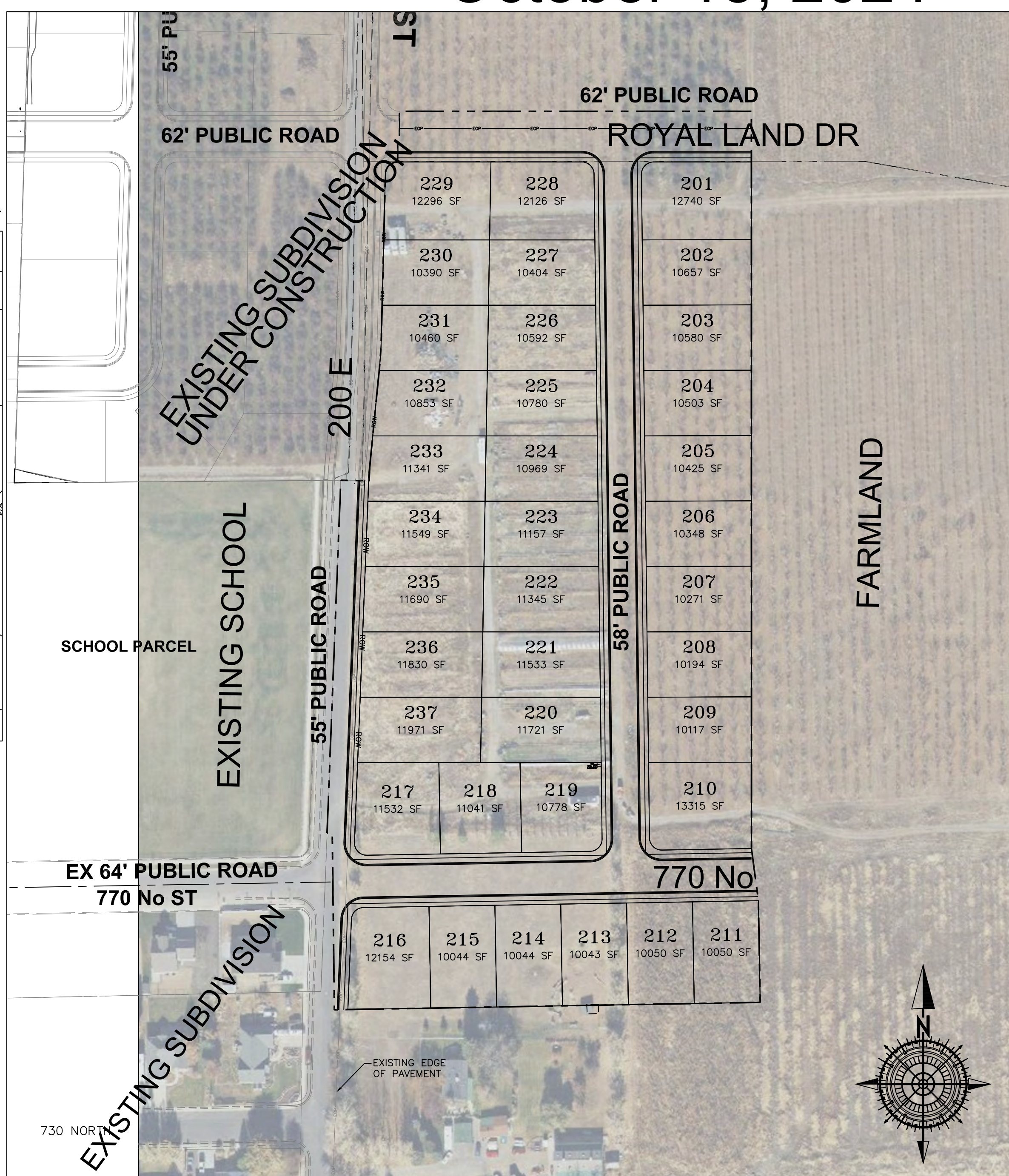
VICINITY MAP



SANTAQUIN

PROPERTY OWNER:
STRATTON ACRES LLC
KAMERON SPENCER
847 E DRAPER MEADOW LANE
DRAPER, UTAH 84020
801-330-0546

ENGINEER:
GATEWAY CONSULTING INC.
PAUL WATSON
PO BOX 951005
RIVERTON, UTAH 84095
801-694-5848



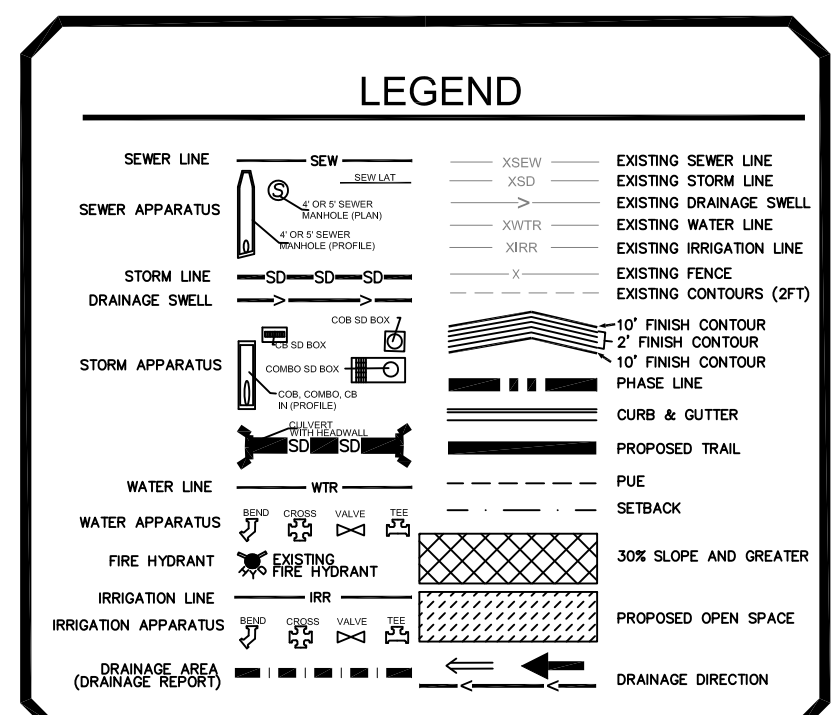
N.T.S.

INDEX OF SHEETS	
1	TITLE SHEET
1A	PROJECT NOTES
	BOUNDARY SURVEY PLAT
2	EXISTING CONDITIONS/DEMOLITION PLAN
3	OVERALL SITE PLAN
G1-G2	GRADING SHEETS (1"=30')
U1	CULINARY WATER UTILITY PLAN
U2	SANITARY SEWER UTILITY PLAN
U3	STORM WATER UTILITY PLAN
U4	IRRIGATION UTILITY PLAN
DRAIN	SITE DRAINAGE PLAN
SS1	LIGHTING / SIGNAGE /STRIPING PLAN
PP1	ROYAL LAND DRIVE
PP2	200 EAST STREET
PP3	260 EAST STREET
PP4	800 NORTH STREET
SWPPP	STORM WATER POLLUTION PREVENTION PLAN
ER1-ER2	EROSION CONTROL NOTES AND DETAILS
D1	STREET DETAILS
D2	SANITARY SEWER DETAILS
D3	CULINARY WATER DETAILS
D4	STORM WATER DETAILS
D5	PRESSURIZED IRRIGATION DETAILS
D6	STREET LIGHT AND SIGNAGE DETAILS

NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.

NOTE:
All recommendations made in a pertinent geotechnical report/study shall be followed explicitly during construction of buildings and site improvements.

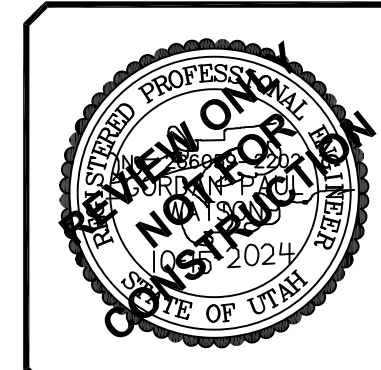
NOTE:
PLSS Certificate needs to be completed with the County and submitted to the city.



ZONE	R-10
LOTS	37
ACREAGE	11.84 ac.
ACREAGE LOTS	8.08 ac.
ACREAGE ROW	3.76 ac.
DENSITY	3.12 lots to the ac.

GATEWAY CONSULTING, Inc.
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

CIVIL ENGINEERING • CONSULTING • LAND PLANNING
CONSTRUCTION MANAGEMENT



SHEET NO. 1

STRATTON MEADOW SUBDIVISION
10-15-2024

LEGAL DESCRIPTIONS

PARCEL 1:
 Commencing 17.76 chains East of the Southwest corner of the Northwest quarter of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence East 5.98 chains; thence North 13.59 chains; thence East 25 links; thence North 6.45 chains to a point 20 chains North of the South line of said Northwest quarter; thence West 5.78 chains; thence South 6.45 chains; thence West 50 links; thence South 13.59 chains to the beginning.

ALSO that portion of land acquired by Boundary Line Agreement recorded March 19, 2007 as Entry No. 39584:2007.

LESS AND EXCEPTING THEREFROM the following:

Beginning at a point located North 89°32'33" East along the quarter section line 1,136.25 feet from the West quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence North 01°41'33" East 17.18 feet; thence along the arc of a 790.00 foot radius curve (radius bears North 14°48'36" East) 80.27 feet through a central angle of 05°49'18" (Chord: South 78°06'03" East 80.23 feet) to said quarter section line; thence South 89°32'33" West along said quarter section line 79.02 feet to the point of beginning.

ALSO LESS AND EXCEPTING that portion of land deeded to Kenyon L. Farley and Irene Farley aka Irene L. Farley by Boundary Line Agreement recorded March 19, 2007 as Entry No. 39584:2007.

PARCEL 2:

Commencing North 1323.92 feet and East 1184.86 feet from the West quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence South 423.05 feet; thence West 22.17 feet; thence North 01°41'33" East 21.06 feet; thence North 00°13'13" West 402 feet; thence East 23.09 feet to the beginning.

PARCEL 3:

Commencing 9.20 chains West of the Southeast Corner of the Northwest Quarter of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence South 6.72 chains; thence West 8.04 chains; thence North 6.72 chains; thence East 1.07 chains; thence North 16.99 chains; thence East 25 links; thence North 1.47 chains; thence East 6.72 chains; thence South 18.46 chains to beginning.

LESS AND EXCEPTING the following:

Beginning at the intersection of the North boundary line of Plat "B", Alpine View Subdivision and the Easterly right-of-way line of Center Street (a 99' wide public road) as dedicated on Plat "E", The Orchards Subdivision official plat. Said intersection lies 2,050.41 feet N. 00°16'52" W. along the section line and 407.76 feet East of the Southwest corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence N. 00°12'34" E. 123.48 feet along said right-of-way, thence continuing along said right-of-way along a curve turning to the left with an arc length of 538.70 feet, a radius of 1,054.00 feet and a chord bearing and distance of N. 14°25'59" W. 532.85 feet to the ¼ section line, thence N. 89°32'36" E. 1,257.59 feet along the ¼ section line, thence S. 02°13'39" W. 626.31 feet to the Northeast corner of said Plat "B", Alpine View Subdivision, thence S. 88°46'00" W. 1,101.10 feet along said subdivision to the point of beginning.

ALSO LESS AND EXCEPTING the following:

Beginning at a point that lies S 00°20'15" E 1371.20 feet along the Quarter Section Line and 27.63 feet West from the North Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian, thence S. 00°33'21" E. 156.60 feet along the West line of a Warranty Deed as recorded in the Utah County Recorder's office as Entry Number 56278, thence N. 89°24'42" E. 10.35 feet along the South line of said Warranty Deed to the West line of 5200 West Street, thence along said West line of said 5200 West Street the following 2 courses (1) S. 00°24'57" E. 500.88 feet, (2) S. 00°19'44" E. 155.45 feet, thence S. 89°40'02" W. 181.50 feet, thence S. 00°19'44" E. 127.73 feet, thence N. 80°00'00" W. 274.06 feet, thence West 613.10 feet to the Southeast corner of a Quit Claim Deed as recorded in the Utah County Recorder's Office as Entry Number 93946:2017, thence N. 00°27'24" W. 506.49 feet along the East line of said Quit Claim Deed, thence N. 89°32'36" E. 33.00 feet to the East line of a 2 rod street as platted in Map 34-E (a Subdivision of the West half of said Section 36 filed June 3, 1908 in the office of the Utah County Recorder), thence N. 00°27'24" W. 551.60 feet along said East line, thence N. 89°32'36" E. 49.50 feet along Lot 3 of said Subdivision, thence N. 00°27'24" W. 203.58 feet along Lot 3 of said Subdivision to the South Line of Strawberry High-line Canal Easement, thence S. 69°35'24" E. 16.70 feet along said South line to the Northeast Corner of a less and excepting parcel of land as recorded in the Utah County Recorder's Office as Entry Number 55820:2008, thence S. 00°33'00" E. 4.67 feet along the West line of said Parcel of Land, thence S. 69°32'40" E. 1023.79 feet to the point of beginning.



VICINITY MAP
(NOT TO SCALE)

TITLE REPORT EXCEPTIONS

Republic National Title Insurance Company
 Cottonwood Title Insurance Agency
 File Number: 155143-RCM
 Commitment Date: August 18, 2022 at 7:30AM

1.-15. {Not a survey matter}

16. Easement Agreement in favor of Qwest Corporation d/b/a CenturyLink QC, its successors, assigns, lessees, licensees, agents and affiliates to construct, operate, maintain, repair, expand, replace and remove a communication system and incidental purposes, by instrument recorded October 7, 2020, as Entry No. 156593:2020. {Does not affect Subject Property as shown hereon}

NOTE: The legal description therein appears to contain an error.

17. Rights of the public, and others entitled thereto, to use for street and incidental purposes any portion of the Land lying within 200 East Street. {Affects Subject Property as shown hereon}

18.-22. {Not a survey matter}

NARRATIVE

The purpose of this survey is to show the relationship of Survey Parcel with surrounding parcels and improvements, as well as to provide those named in the Surveyors Certificate a ALTA/NSPS survey for their use in evaluating the site.

This Survey does not guarantee title to line, nor is it proof of ownership, nor is it a legal instrument of conveyance. Furthermore, any survey markers set in conjunction with this survey are not intended to represent evidence of ownership of the subject property or its adjoiners. The general intent of this survey is to portray where possible the record title lines of the subject property and to show their relationship to any evidence of use and/or possession.

This survey represents opinions based on facts and evidence. As the evidence changes or if new evidence is discovered or recovered, then the surveyor reserves the right to modify or alter his opinions pertaining to this survey according to this new evidence.

This survey shows all easements of record as disclosed by the title report as shown hereon. The surveyor has made no independent search for record easements or encumbrances. This survey depicts all observable improvements or other indications of easements and utilities. Utilities shown hereon are based on a combination of visual inspection by survey crews and drawings provided by local utility companies during the course of the survey. It is the contractor's responsibility to seek blue stake information and verify utility locations prior to any excavation.

Basis of Bearing is North 89°32'33" East between the East Quarter corner and the West Quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian as shown hereon.

SURVEY DESCRIPTION

Beginning at the southeast corner of Lot 209 of The Orchards Plat G-1, Entry Number 102759:2019, Map Number 16746; said point being North 89°32'33" East, along the section line, 1146.15 feet and North, 317.94 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; said West Quarter Corner of Section 36 being South 89°32'33" West, along the section line, 5292.30 feet from the East Quarter Corner of said Section 36; and running thence along the easterly boundary line of said The Orchards Plat G-1 the following two (2) calls: 1) North 01°38'35" E. 595.10 feet; 2) North 00°13'13" West, 139.06 feet to a point at the southeast corner of the Apple Hollow at The Orchards Plat A-11, Entry Number 12754:2019, Map Number 16860; thence North 00°13'13" West, along the easterly boundary line of said Apple Hollow at The Orchards Plat A-11, 258.32 feet; thence East, 411.19 feet; thence South 00°27'27" East, 409.77 feet; thence South 89°32'33" West, 16.49 feet; thence South 00°27'27" East, 506.49 feet; thence East, 475.18 feet; thence South 00°00'03" East, 819.47 feet; thence South 89°37'56" West, 519.80 feet; thence North 02°13'39" East, 432.44 feet to a point the quarter section line; thence South 89°32'33" West, along said quarter section line, 320.88 feet to a point on a non-tangent 790.00 foot radius curve to the right; thence 79.47 feet along said curve through a central angle of 05°45'50" (chord bears North 78°07'37" West, 79.44 feet) to a point on the easterly boundary line of The Orchards Plat G-4, Entry Number 131982:2021, Map Number 17824; thence North 01°38'35" East, along said easterly boundary line, 301.17 feet to the point of beginning.

Contains: 21.69 Acres

SURVEYORS CERTIFICATE

To: Stratton Acres, LLC, a Utah limited liability company, Old Republic National Title Insurance Company, and Cottonwood Title Insurance Agency

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. The field work was completed on: September 23, 2022.

Robert Law
 PLS# 9679988

Date: 10-11-2022

REFERENCE DOCUMENTS

CHERRY ORCHARD ESTATES PLAT-G
 ENTRY: 16468:2001 MAP #8952

 THE ORCHARDS PLAT "G-4"
 ENTRY: 131982:2021 MAP #17824

 APPLE VALLEY PLAT A
 ENTRY: 46147:2018 MAP #16048

LOCATION

LOCATED IN PORTIONS OF THE NORTHWEST AND SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.

FLOOD ZONE

PARCELS LIE WITHIN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD COMMUNITY-PANEL NUMBER 49049C0975F, EFFECTIVE DATE: JUNE 19, 2020

BENCHMARK

EAST 1/4 CORNER SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE & MERIDIAN NAD83 ELEVATION=4793.24

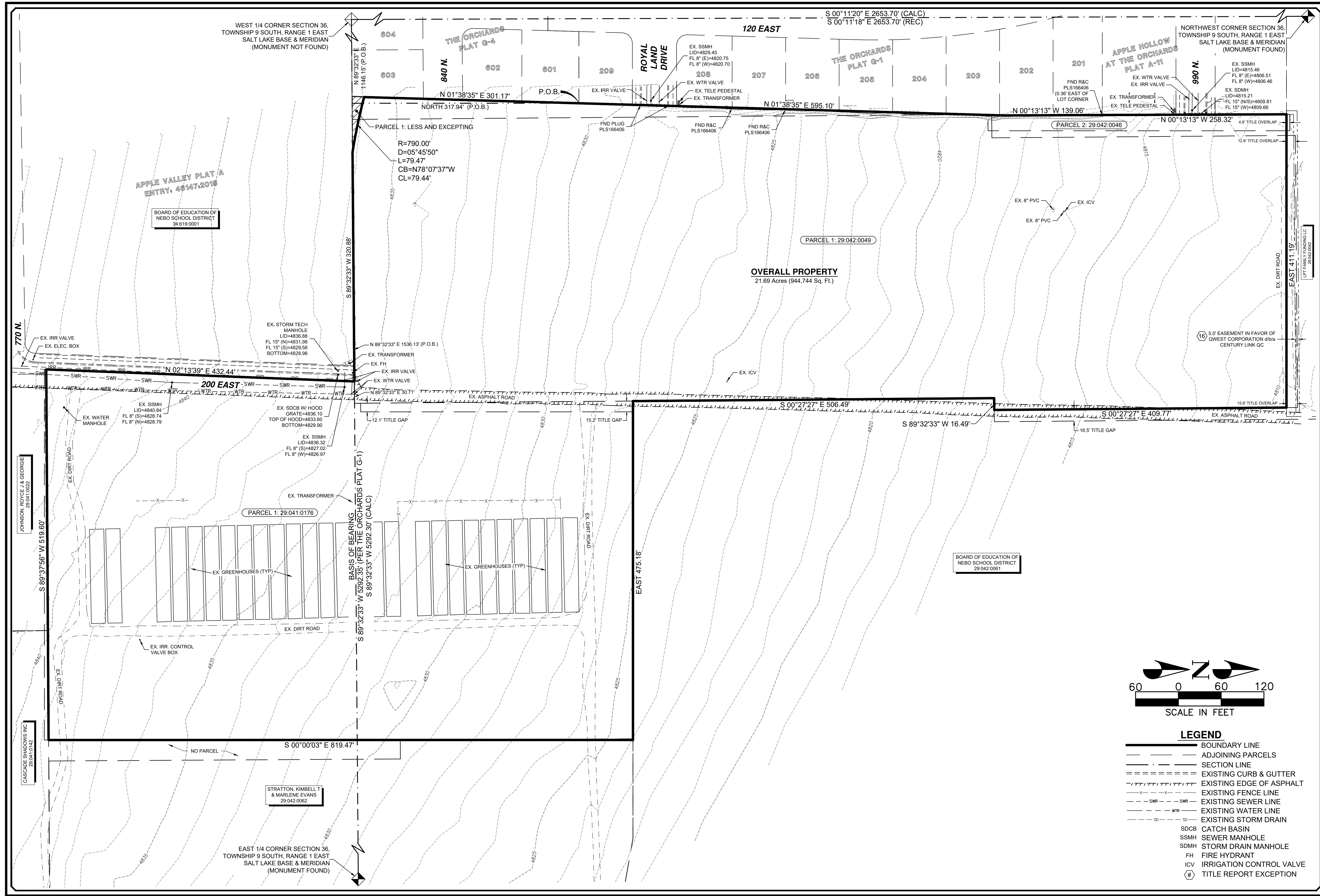
NO.	DESCRIPTION	DATE	APP'D.

PROJECT DATE: 09/2022	PROJECT NO: 15552210
SURVEY BY: PEFG CREW	DRAWING NO: PH2
DRAWN BY: BCB	DRAWING TITLE: ALTA-NSPS SURVEY
DESIGNED BY: N/A	PROJECT NUMBER: 29:042:0046
CHECKED BY: RSL	PARCELS: 29:042:0049, 29:042:0046, & 29:041:0176
SCALE: 1"=60'	LAST REVISED: OCTOBER 11, 2022

CMT TECHNICAL SERVICES
 9370 SOUTH 300 WEST • SANDY, UT 84070
 PHONE: (801) 562-2521 • FAX: (801) 562-2551
 MATERIALS TESTING • INSPECTION SERVICES • LAB TESTING • GEOTECHNICAL
 ENVIRONMENTAL • CIVIL ENGINEERING • TRANSPORTATION ENGINEERING
 SURVEYING • CONSTRUCTION MANAGEMENT • SPECIALTY LAB

STRATTON ACRES, LLC
ALTA/NSPS SURVEY
 PARCELS: 29:042:0049, 29:042:0046, & 29:041:0176
 OCTOBER 11, 2022
 DWG/ALTA-PH2
 DRAWING FILE

SANTAQUIN
 CITY



NO.	DESCRIPTION	DATE	APP'D.

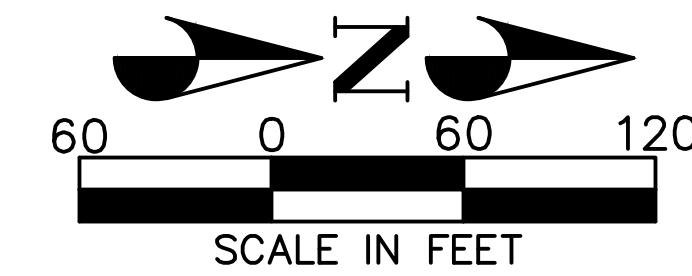
DATE: 09/2022	CREATED BY: REFUG CREW	DATE: 09/2022
DRAWN BY: BCB	DESIGNED BY: N/A	CHECKED BY: RS
SCALE: 1"=60'		

CMT TECHNICAL SERVICES
 9270 SOUTH 900 WEST • SANDY, UT 84070
 PHONE: (801) 562-2521 • FAX: (801) 562-2551
 MATERIALS TESTING • INSPECTION SERVICES • LAB TESTING • GEOTECHNICAL
 ENVIRONMENTAL • CIVIL ENGINEERING • TRANSPORTATION ENGINEERING
 SURVEYING • CONSTRUCTION MANAGEMENT • SPECIALTY LAB

STRATTON ACRES, LLC
ALTA/NSPS SURVEY
 PARCELS: 29:042:0049,
 29:042:0046, & 29:041:0176
 OCTOBER 11, 2022
 PROJECT NUMBER: 1555.2210
 DWG/ALTA-PH2
 DRAWING FILE

SANTAQUIN CITY

SHEET NO. **2/2**



- LEGEND**
- BOUNDARY LINE
 - ADJOINING PARCELS
 - SECTION LINE
 - EXISTING CURB & GUTTER
 - EXISTING EDGE OF ASPHALT
 - EXISTING FENCE LINE
 - EXISTING SEWER LINE
 - EXISTING WATER LINE
 - EXISTING STORM DRAIN
 - SDCB CATCH BASIN
 - SSMH SEWER MANHOLE
 - SDMH STORM DRAIN MANHOLE
 - FH FIRE HYDRANT
 - ICV IRRIGATION CONTROL VALVE
 - TITLE REPORT EXCEPTION

ADDRESSES	
LOT	ADDRESS
201	274 E ROYAL LAND DR or 906 N 260 E
202	892 NORTH 260 EAST
203	874 NORTH 260 EAST
204	868 NORTH 260 EAST
205	856 NORTH 260 EAST
206	846 NORTH 260 EAST
207	834 NORTH 260 EAST
208	822 NORTH 260 EAST
209	812 NORTH 260 EAST
210	792 NORTH 260 EAST or 287 EAST 770 NORTH
211	292 EAST 770 NORTH
212	280 EAST 770 NORTH
213	264 EAST 770 NORTH
214	240 EAST 770 NORTH
215	228 EAST 770 NORTH
216	212 EAST 770 NORTH
217	219 EAST 770 NORTH or 798 NORTH 200 EAST
218	231 EAST 770 NORTH
219	243 EAST 770 NORTH or 793 NORTH 260 EAST
220	811 NORTH 260 EAST
221	823 NORTH 260 EAST
222	835 NORTH 260 EAST
223	847 NORTH 260 EAST
224	857 NORTH 260 EAST
225	869 NORTH 260 EAST
226	875 NORTH 260 EAST
227	893 NORTH 260 EAST
228	907 NORTH 260 EAST or 242 EAST ROYAL LAND DR
229	222 EAST ROYAL LAND DR or 908 NORTH 200 EAST
230	894 NORTH 200 EAST
231	876 NORTH 200 EAST
232	870 NORTH 200 EAST
233	858 NORTH 200 EAST
234	848 NORTH 200 EAST
235	836 NORTH 200 EAST
236	824 NORTH 200 EAST
237	816 NORTH 200 EAST

NOTES:

- TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
- NDCBU - NEIGHBORHOOD DELIVERY BOX UNIT.
- ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
- AGRICULTURE PROTECTION AREA. THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

<p>ROCKY MOUNTAIN POWER</p> <p>1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.</p> <p>2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:</p> <p>a. A RECORDED EASEMENT OR RIGHT-OF-WAY</p> <p>b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS</p> <p>c. TITLE 54, CHAPTER 86, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR</p> <p>d. ANY OTHER PROVISION OF LAW</p> <p>Approved this ____ day of ____ 20__</p> <p>ROCKY MOUNTAIN POWER</p>	<p>DOMINION ENERGY QUESTAR CORPORATION</p> <p>DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.</p> <p>Approved this ____ day of ____ 20__</p> <p>QUESTAR GAS COMPANY</p> <p>By _____</p> <p>Title _____</p>
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CENTRACOM ACCEPTANCE

APPROVED THIS ____ DAY OF ____ A.D. 20__

CENTRACOM COMPANY

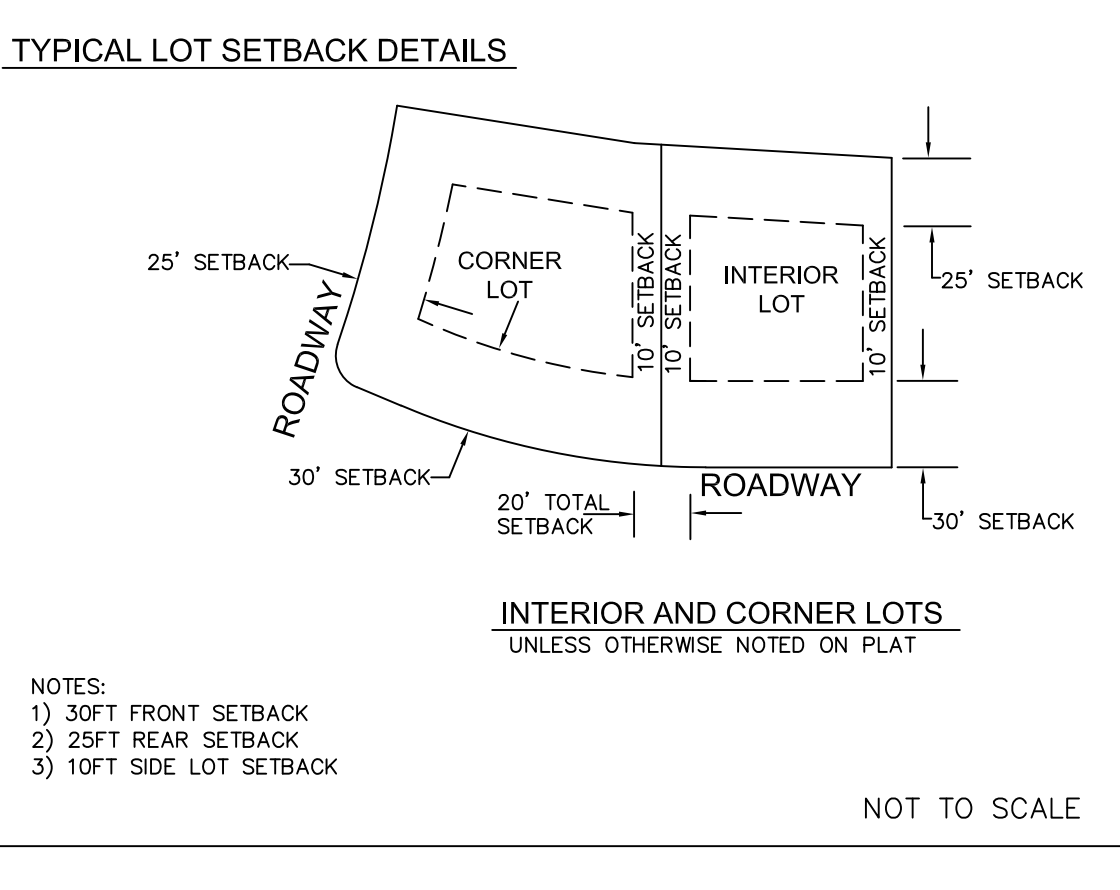
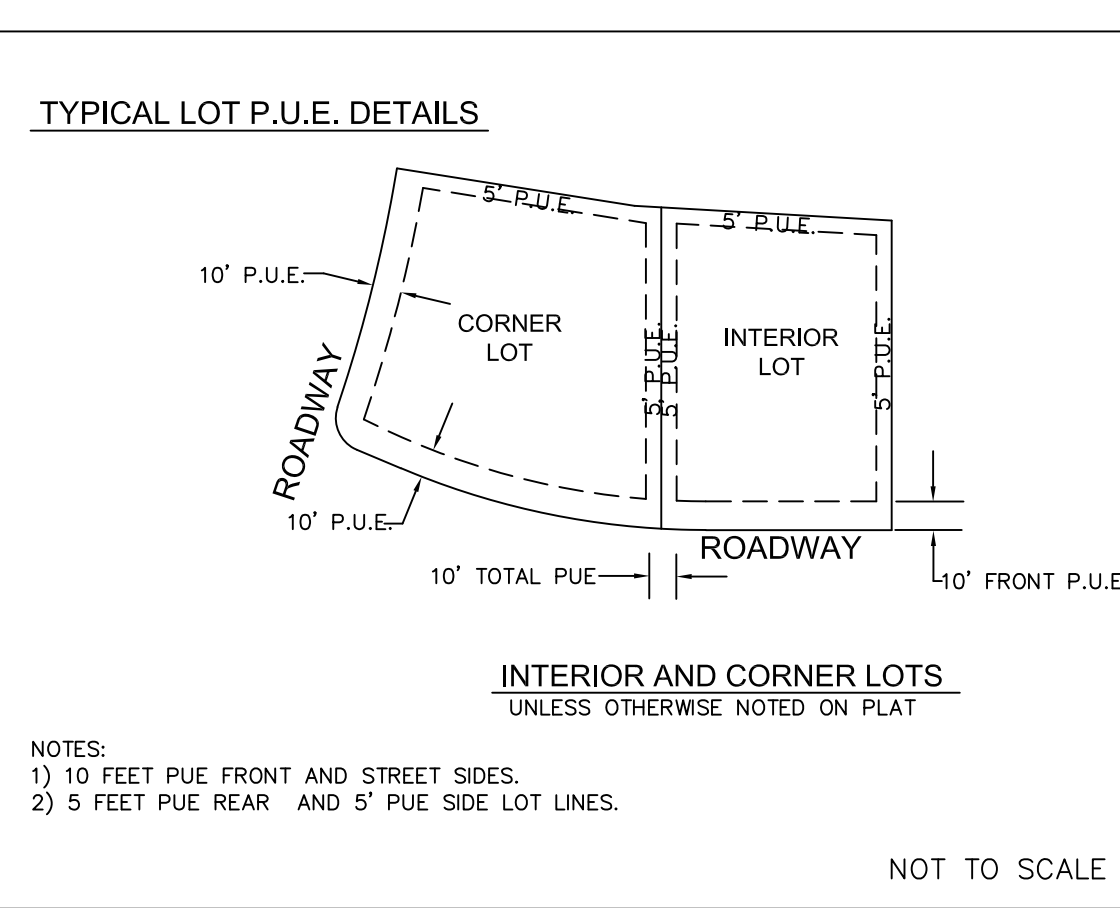
BY _____ TITLE _____

CENTURY LINK ACCEPTANCE

APPROVED THIS ____ DAY OF ____ A.D. 20__

CENTURY LINK COMPANY

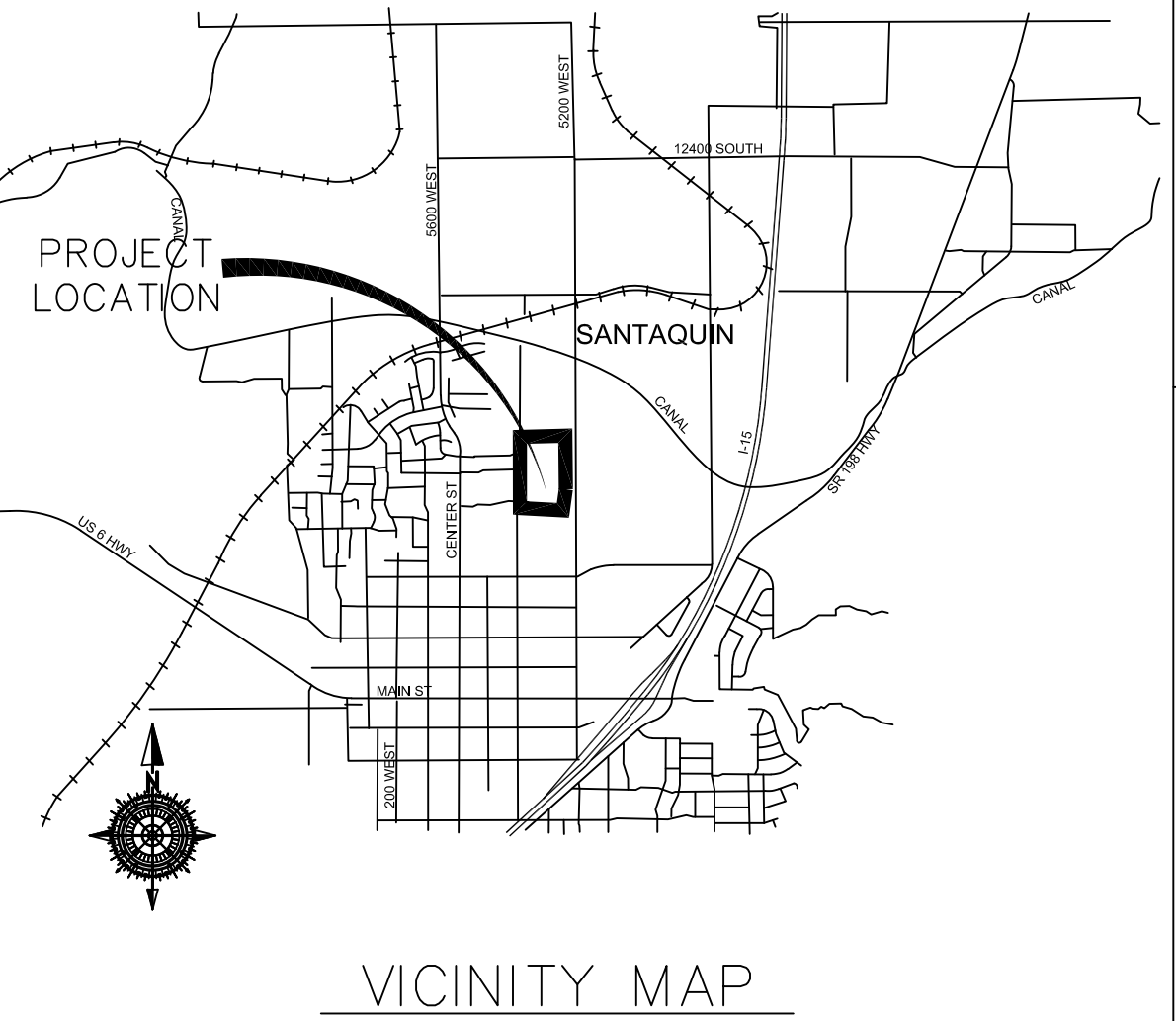
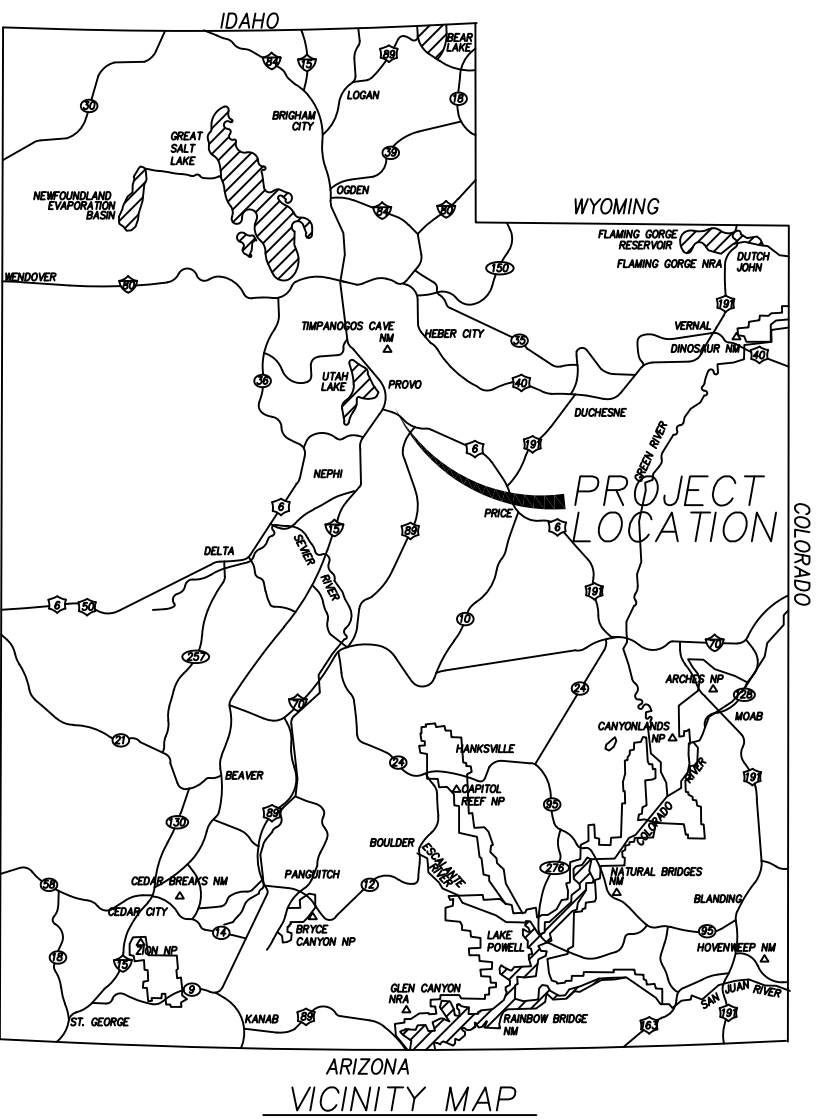
BY _____ TITLE _____



STRATTON MEADOW SUBDIVISION

PROJECT LOCATED IN THE SOUTH HALF OR THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT



SURVEYOR'S CERTIFICATE

I, ROBERT LAS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH TALISMAN CIVIL CONSULTANTS AND THAT I HOLD LICENSE NO. 9679988 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THE PLAT IS STRATTON MEADOW SUBDIVISION, SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON THE COMPILED RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

BOUNDARY DESCRIPTION

Beginning at a point that is 13' 30" 33" East, 11' 29" feet and South 0.83 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and commencing from that point in the following order: 1. A 24.94-foot radius curve to the right, thence along the arc of said curve 14.58 feet through a central angle of 3°42'49" (chord bears North 3°56'11" East, 14.58 feet); 2. A 2.25-foot radius curve to the right, thence along the arc of said curve 12.25 feet through a central angle of 4°15'44" (chord bears North 3°31'04" East, 38.77 feet); then North 1°24'42" East, 198.92 feet to a point on a 15.00-foot radius curve to the right; then along the arc of said curve 23.19 feet through a central angle of 88°35'18" (chord bears North 45°42'21" East, 20.95 feet); then North 31.00 feet; then East 2.27 feet; then North 31.00 feet; then East, 430.89 feet; then South 0°00'03" East, 902.78 feet; then South 7°35'03" East, 64.42 feet; then South 1°00'01" East, 124.53 feet; then South 88°59'59" West, 521.40 feet; then North 0°40'42" West, 216.36 feet; then South 89°37'56" West, 6.38 feet; then North 2°13'20" East, 432.43 feet; then South 89°06'16" East, 34.20 feet back to the point of beginning.

Parcel contains 12.28 feet and 37 lots.

DATE: _____

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HERETO SET OUR HANDS THIS ____ DAY OF ____ A.D. 20__

BOARD OF EDUCATION NEBO SCHOOL DISTRICT
(MANAGER)

ROYCE J JOHNSON

STRATTON ACRES LLC
KAMERON SPENCER (MANAGER)

CASCADE SHADOWS INC.
(Print name and title of person signing in this area)

STRATTON MEADOW SUBDIVISION

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTH HALF OF SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 5 EAST SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS ____ DAY OF ____ A.D. 20__

APPROVED BY MAYOR _____

APPROVED _____ CITY ENGINEER (SEE SEAL BELOW) ATTEST _____ CLERK-RECORDER (SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL

APPROVED THIS ____ DAY OF ____ A.D. 20__ BY THE SANTAQUIN CITY PLANNING COMMISSION.

CHAIRPERSON, PLANNING COMMISSION _____ DATE _____

DIRECTOR, SECRETARY _____ DATE _____

ROYCE J JOHNSON ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.

ON THE ____ DAY OF _____, 20____ PERSONALLY APPEARED BEFORE ME _____ FOR AND IN BEHALF OF _____ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

CASCADE SHADOWS INC. ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.

ON THE ____ DAY OF _____, 20____ PERSONALLY APPEARED BEFORE ME _____ FOR AND IN BEHALF OF _____ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

SCHOOL BOARD ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.

ON THE ____ DAY OF _____, 20____ PERSONALLY APPEARED BEFORE ME _____ FOR AND IN BEHALF OF _____ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.

On the ____ day of _____ A.D., 20____ personally appeared before me, the undersigned Notary Public, in and for said County of _____ in said State of Utah, _____ who after being duly sworn acknowledged to me that _____ a Limited Liability Company (), that He signed the owners dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

UTAH COUNTY RECORDER

NO. _____ BOOK _____ PAGE _____ DATE _____ STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____ RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER _____

SURVEYOR OF RECORD:



PROJECT ENGINEER:

GATEWAY CONSULTING, inc
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

COUNTY RECORDER SEAL CITY CLERK SEAL SURVEYORS SEAL CITY ENGINEER SEAL

SHEET NO

1/2

EAST QUARTER CORNER
SECTION 36
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN

STRATTON MEADOW SUBDIVISION

PROJECT LOCATED IN THE SOUTH HALF OR THE NORTHWEST QUARTER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

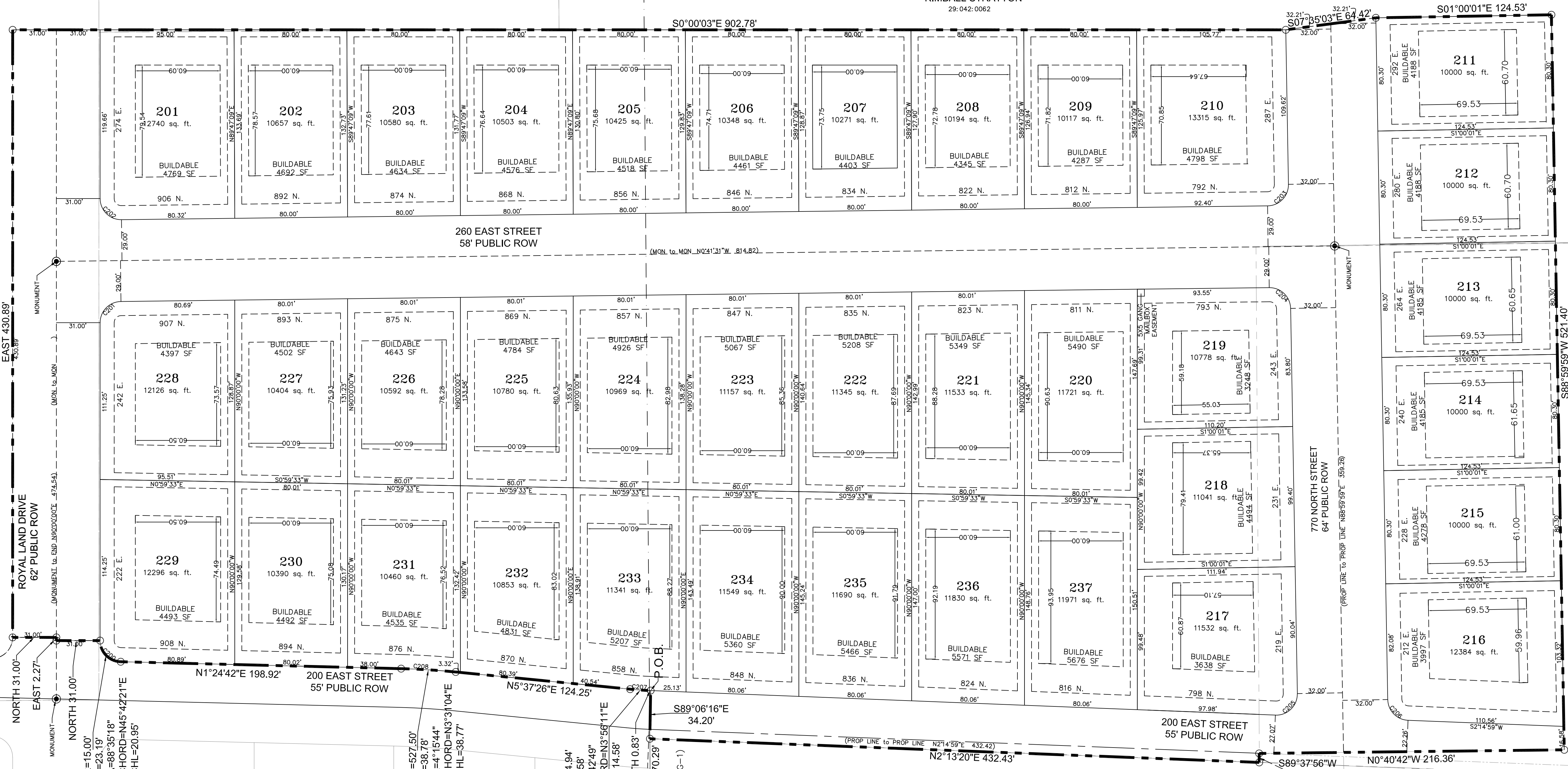
CASCADE SHADOWS INC
29:041:0142

STRATTON, KIMBELL T
& MARLENE EVANS
29:042:0062

KIMBALL STRATTON
29:042:0062

BOARD OF EDUCATION
29:042:0061

JOHNSON, ROYCE J & GEORGIE
29:041:0022



SURVEYOR OF RECORD:



PROJECT ENGINEER:

GATEWAY CONSULTING, inc
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

MERITAGE HOMES OF UTAH INC
29:042:0076

BOARD OF EDUCATION
34:619:0001

STICKNEY, JESSE & MELINDA
34:619:0011

HUNT, AARON & HEATHER
34:357:0024

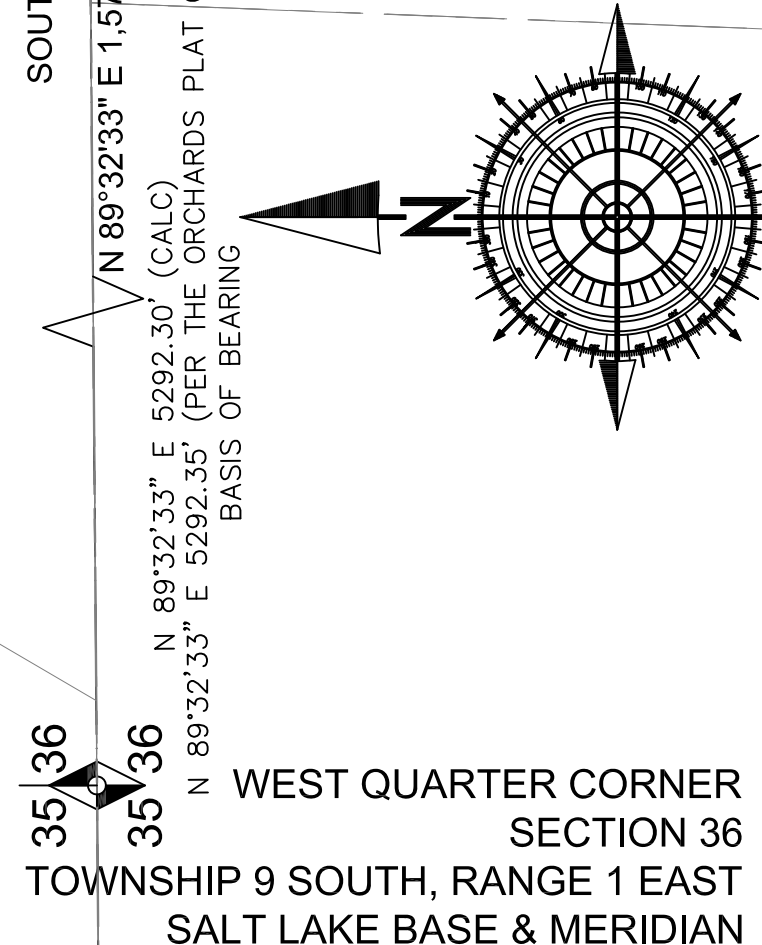
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C200	23.19'	15.00'	20.95'	S45°42'21"W	88°35'18"
C201	23.38'	15.00'	21.08'	N45°20'46"W	89°18'29"
C202	23.74'	15.00'	21.34'	S44°39'14"W	90°41'31"
C203	23.64'	15.00'	21.27'	S45°50'46"E	90°18'30"
C204	23.48'	15.00'	21.16'	N44°09'14"E	89°41'30"
C205	24.41'	15.00'	21.81'	S44°22'31"E	93°15'00"
C206	22.71'	15.00'	20.60'	S45°37'29"W	86°46'10"
C207	14.58'	247.50'	14.58'	S3°56'11"W	3°22'30"
C208	38.78'	527.50'	38.77'	S3°31'04"W	4°12'44"

R=224.94'
L=14.58'
Δ=3°42'49"
CHORD=N3°56'11"E
CHL=14.58'

R=527.50'
L=38.78'
Δ=4°15'44"
CHORD=N3°10'4"E
CHL=38.77'

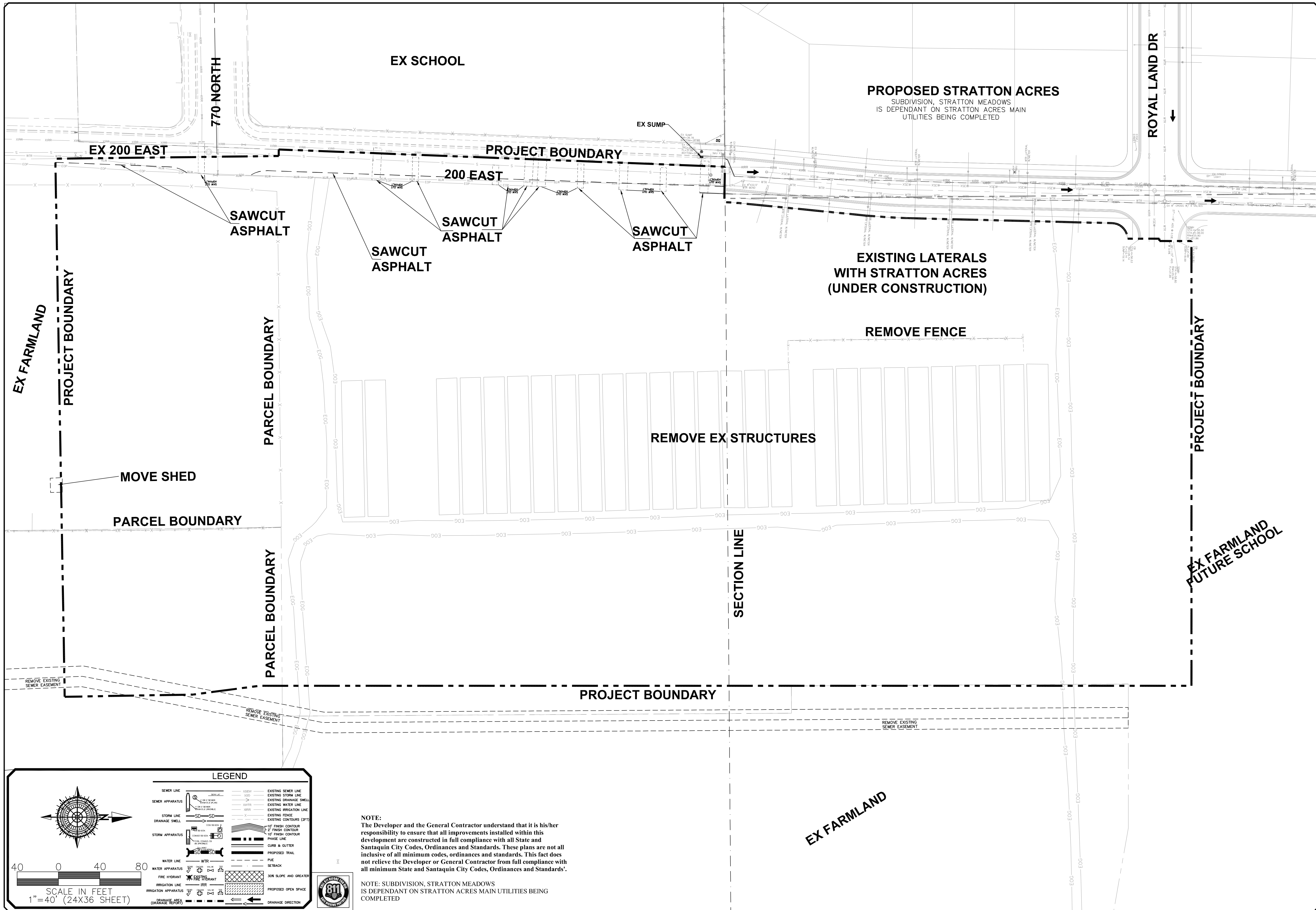
R=224.94'
L=14.58'
Δ=3°42'49"
CHORD=N3°56'11"E
CHL=14.58'

R=224.94'
L=14.58'
Δ=3°42'49"
CHORD=N3°56'11"E
CHL=14.58'



SHEET NO
2
2

SANTAQUIN CITY RECORDER
NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____
COUNTY RECORDER



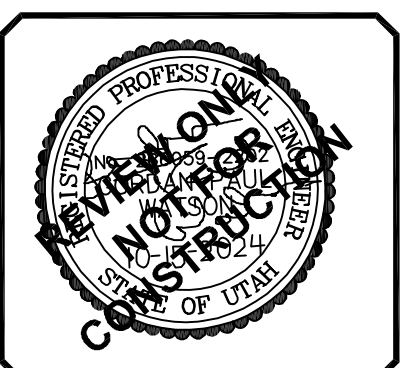
NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=40'

GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
 paul@gatewayconsultingllc.com
 CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

STRATTON MEADOW
 SUBDIVISION
 EXISTING CONDITIONS
 AND DEMOLITION SHEET
 10-15-2024

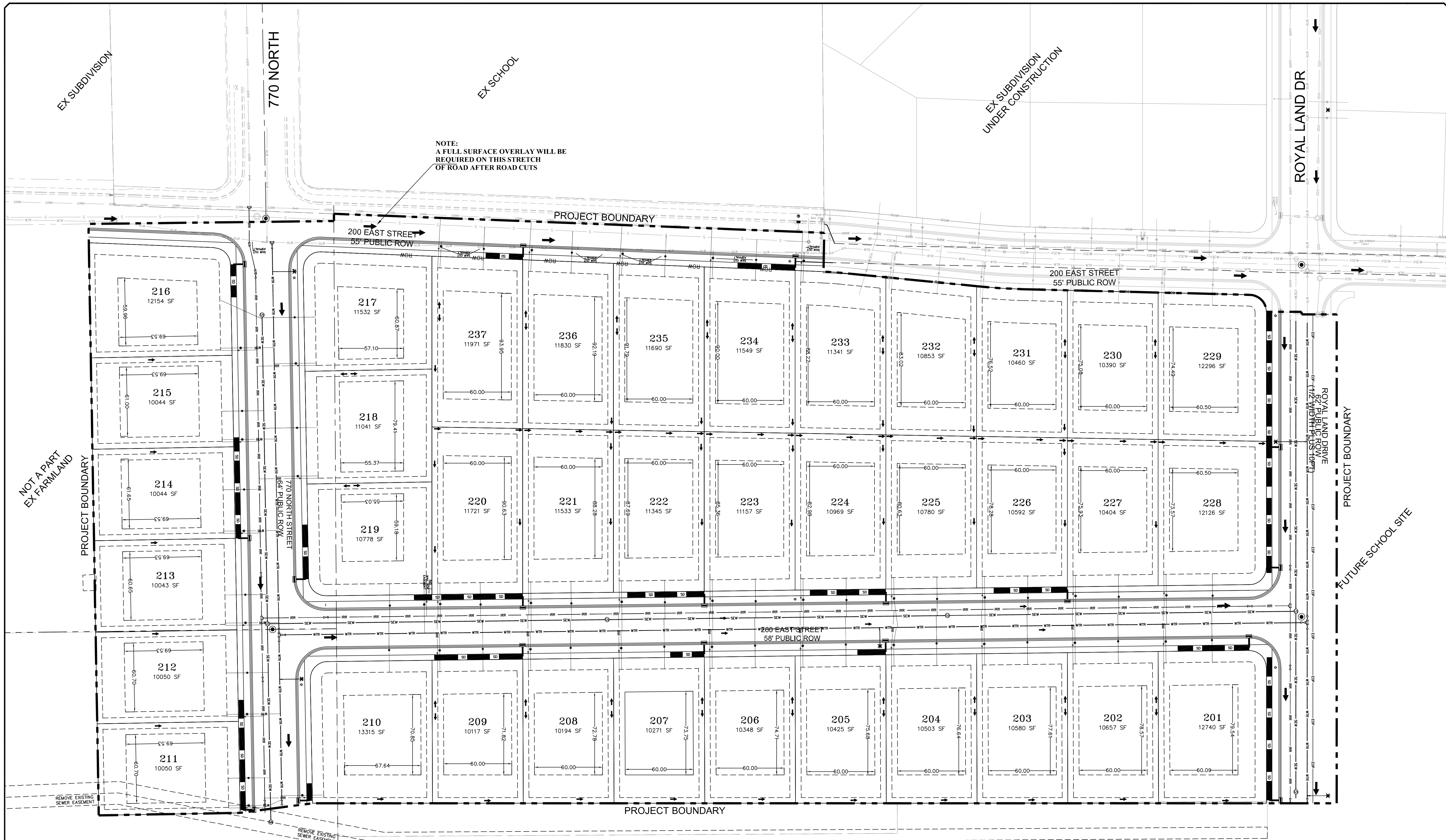
SANTAQUIN CITY



SHEET NO. 2

NOTE:
 The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.

NOTE: SUBDIVISION, STRATTON MEADOWS IS DEPENDANT ON STRATTON ACRES MAIN UTILITIES BEING COMPLETED



LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SWELL
DRAINAGE SWELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOUR (2 FT)
FIRE HYDRANT	1/2" FINISH CONTOUR
IRRIGATION LINE	1/4" FINISH CONTOUR
IRRIGATION APPARATUS	PHASE LINE
DRAINAGE AREA	BOUNDARY LINE
STREET LIGHT	CURB & OUTER
	SETBACK
	SOE SLOPE AND GREATER
	PROPOSED OPEN SPACE
	STOP OR STREET SIGN
	DRAINAGE DIRECTION

SCALE IN FEET
1" = 40' (24x36 SHEET)

NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards.

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: CPW
 DRAWN BY: CPW
 DESIGNED BY: CPW
 CHECKED BY: CPW
 SCALE: 1"=40'

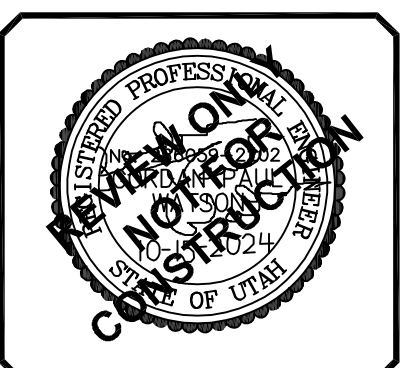
GATEWAY CONSULTING, Inc
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 PH: (801) 694-5848
 paul@gatewayconsultingllc.com

CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION
SITE PLAN

10-15-2024

SANTAQUIN CITY



SHEET NO. 3

NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and SANTAQUIN City Codes, Ordinances and Standards'.

STRATTON ACRES PHASE 1
UNDER CONSTRUCTION

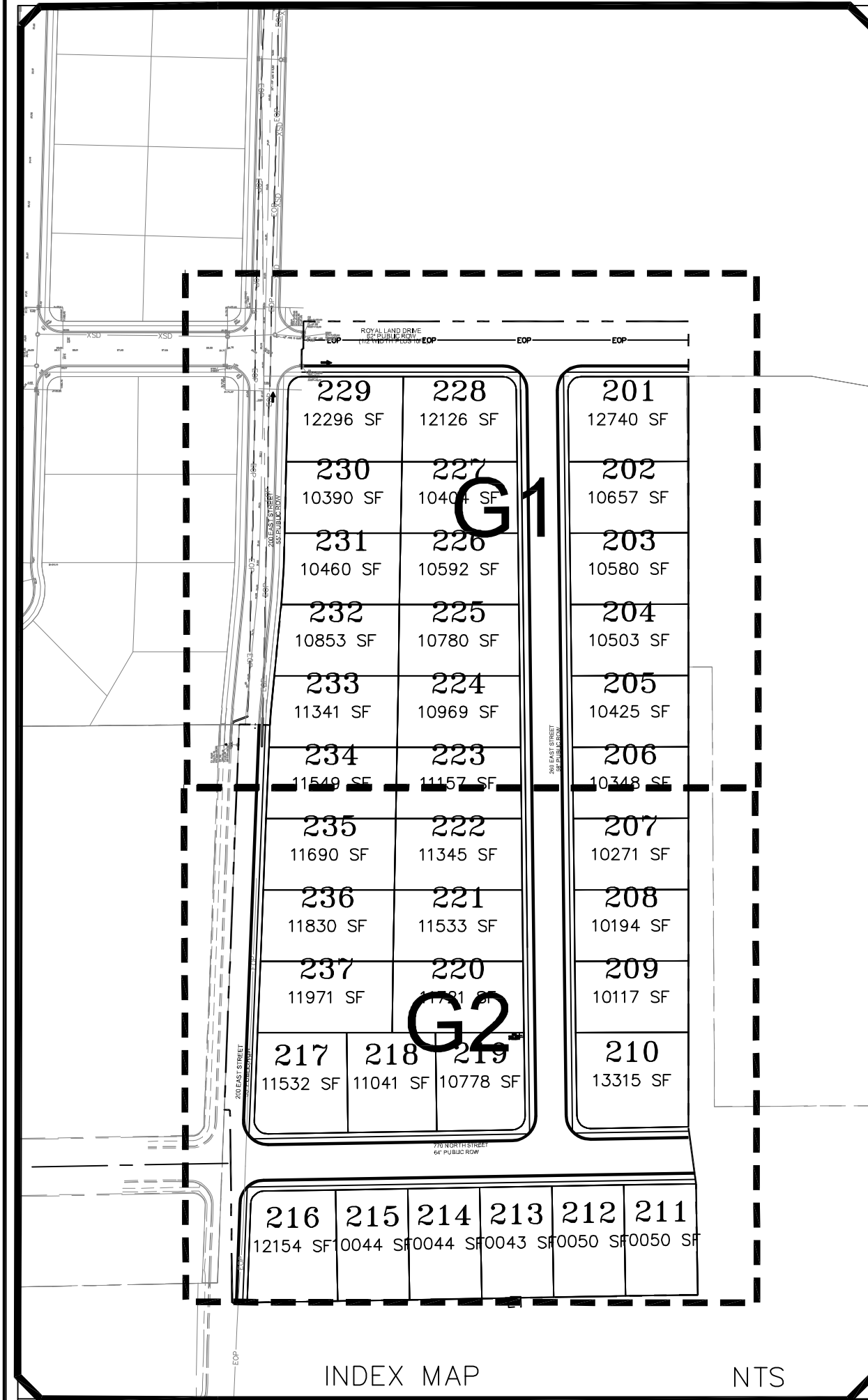
ROYAL LAND DR

ROYAL LAND DRIVE
62' PUBLIC ROW
(1/2 WIDTH PLUS 10FT)
ROYAL LAND DRIVE

200 EAST STREET
55' PUBLIC ROW

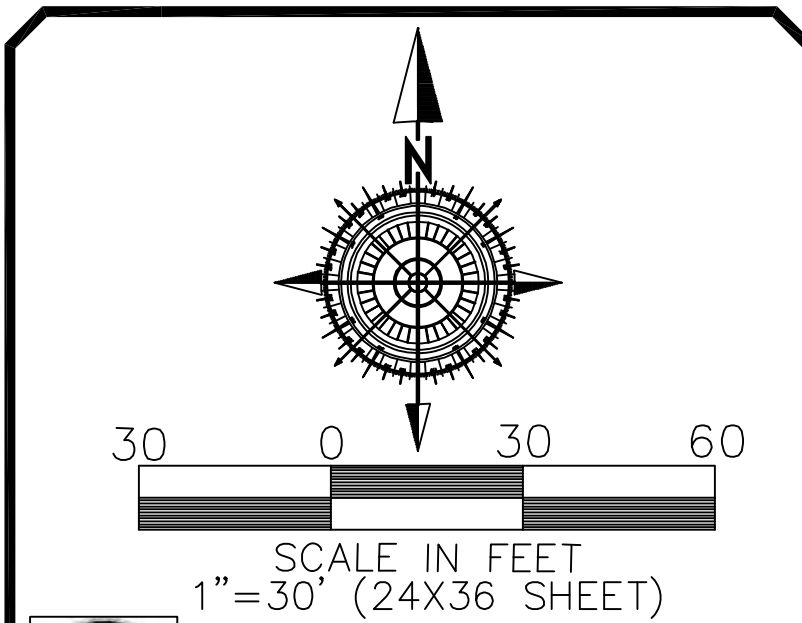
200 EAST STREET
55' PUBLIC ROW

260 EAST STREET
58' PUBLIC ROW

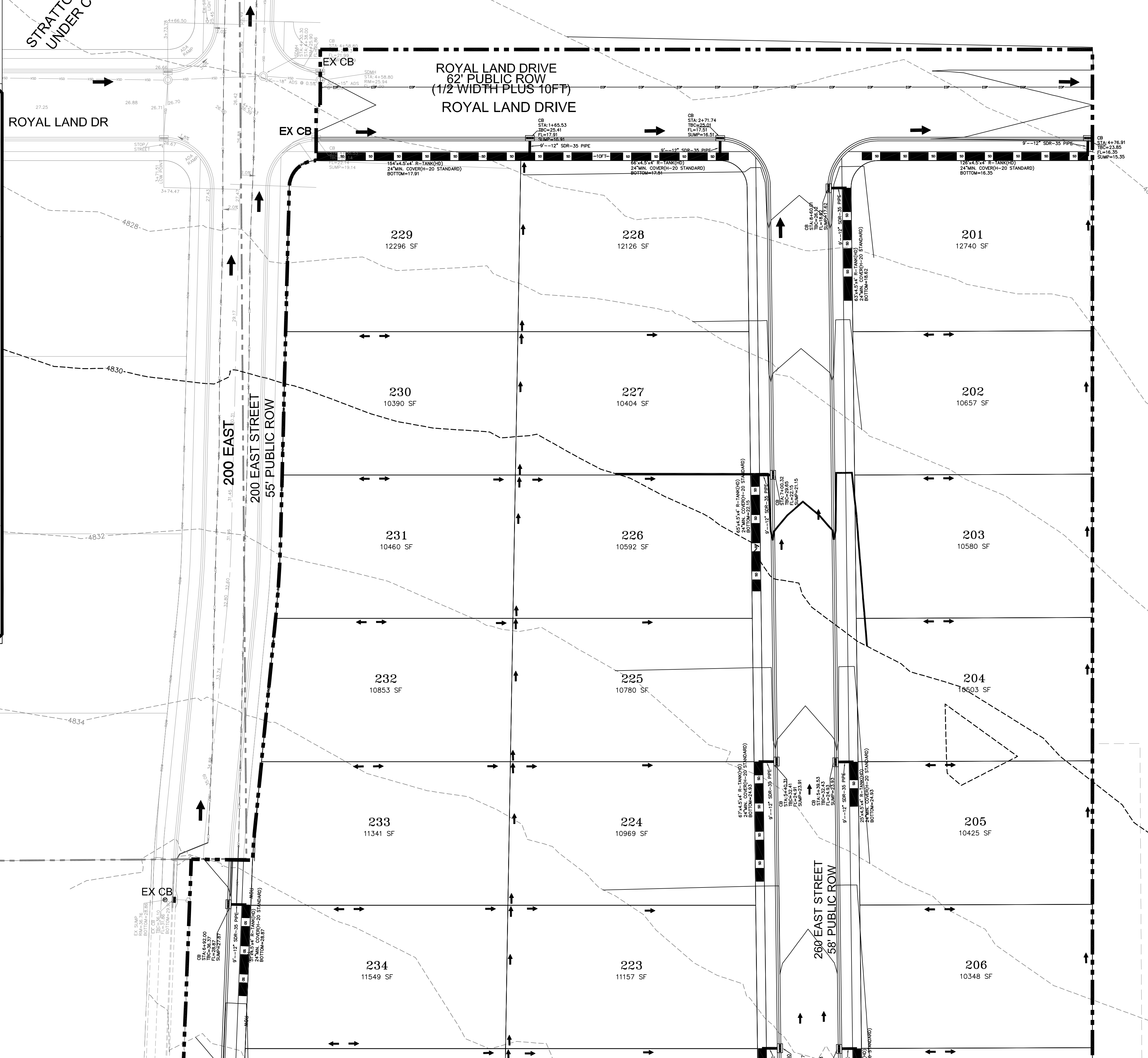
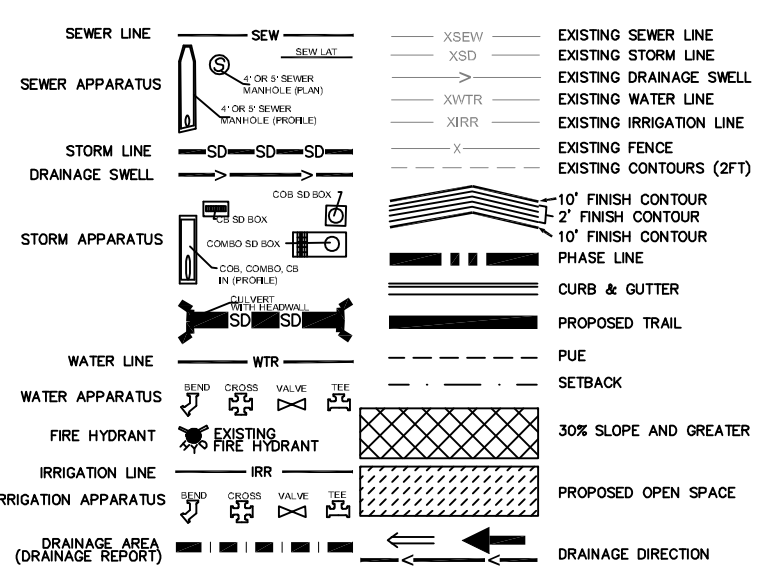


INDEX MAP

NTS



LEGEND



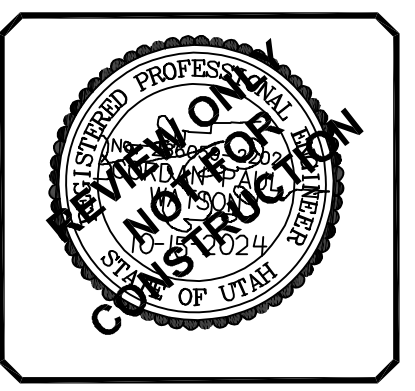
NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

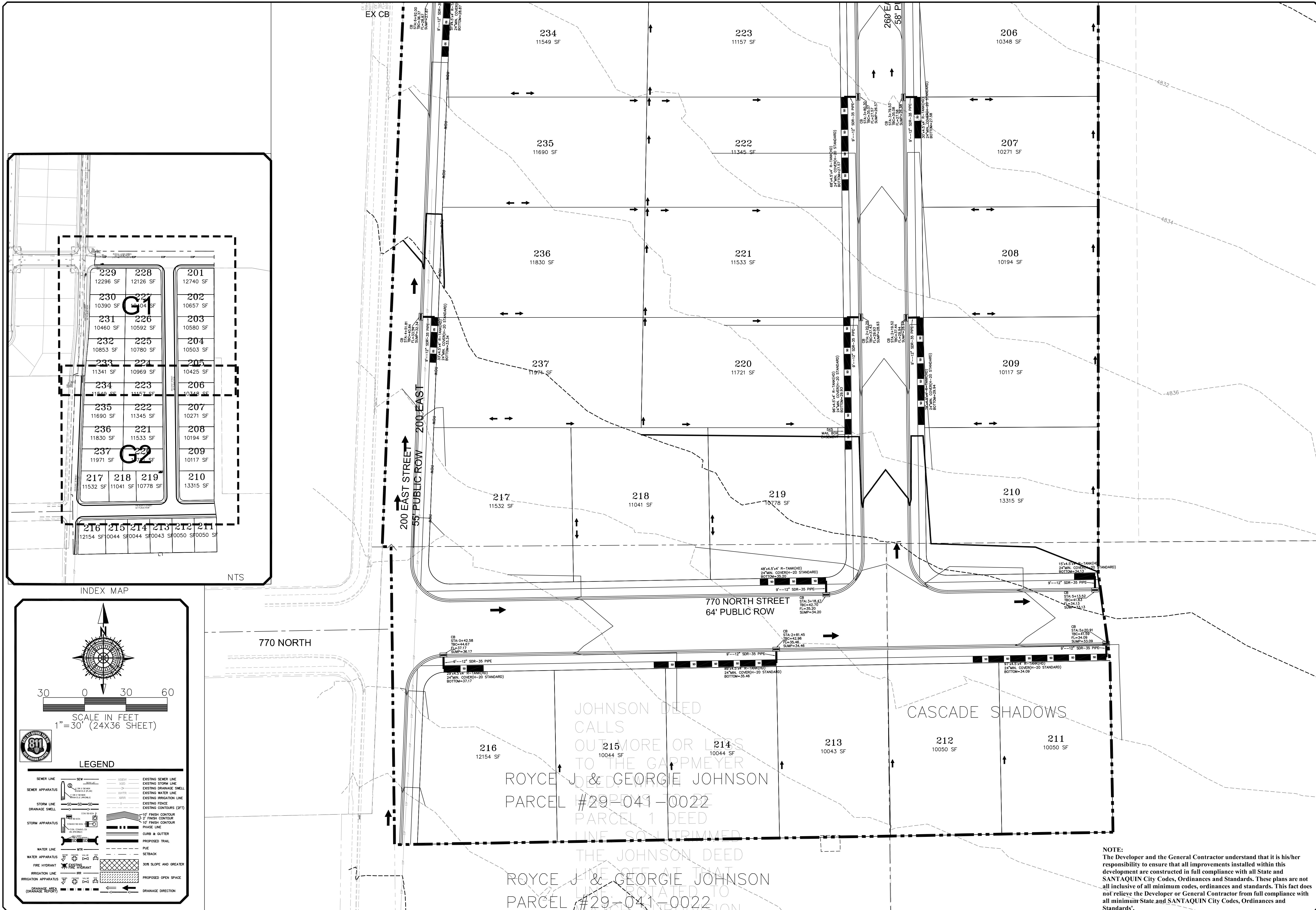
GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
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 paul@gatewayconsultingllc.com
 CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION
 GRADING
 10-15-2024

SANTAQUIN CITY



SHEET NO. G1



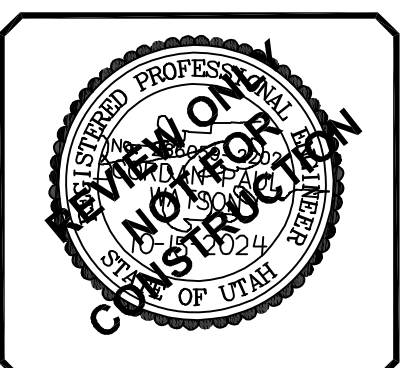
NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: CPW
 DRAWN BY: CPW
 DESIGNED BY: CPW
 CHECKED BY: CPW
 SCALE: 1"=30'

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 CONSTRUCTION MANAGEMENT

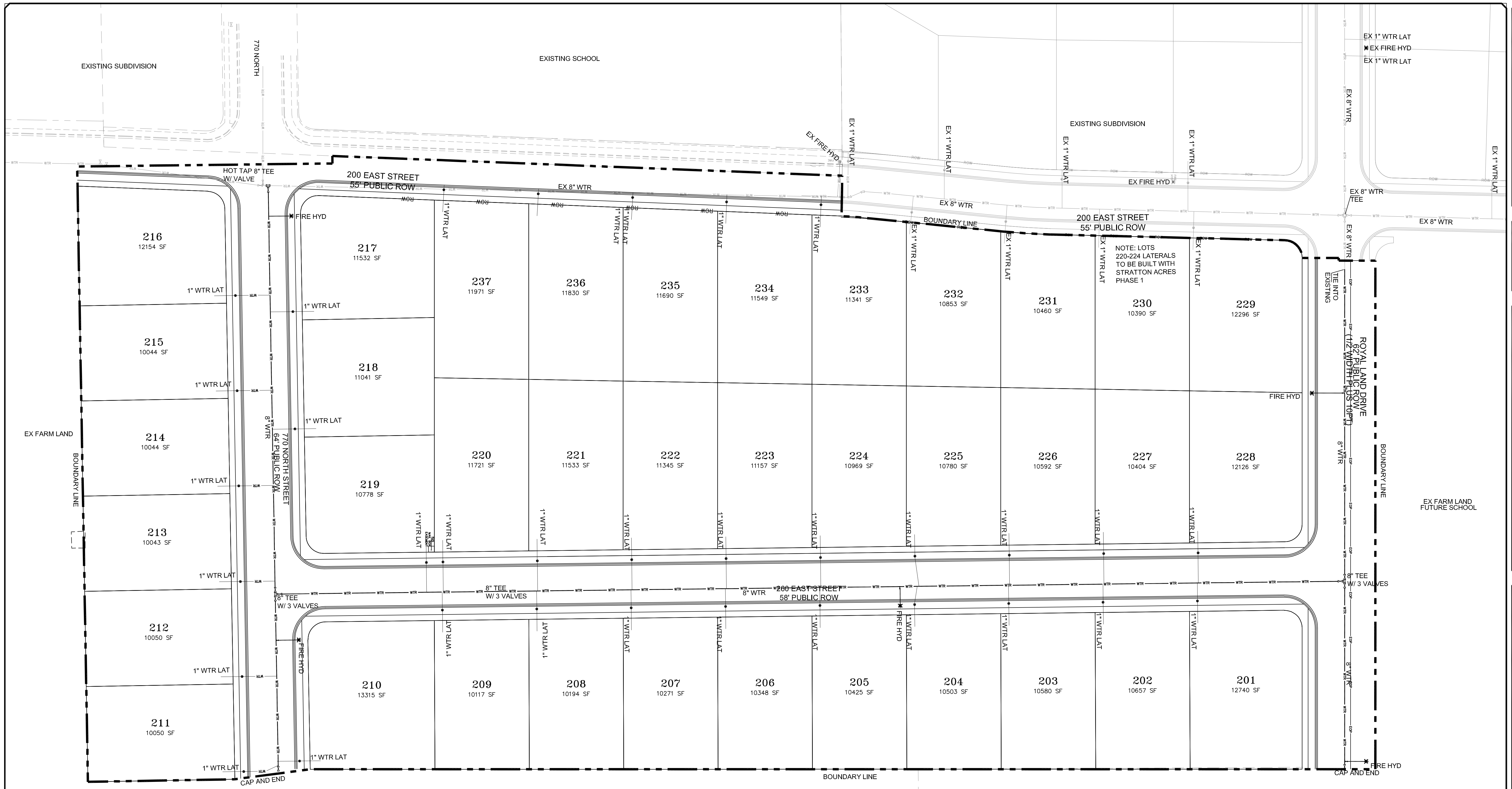
STRATTON MEADOW SUBDIVISION
 GRADING
 10-15-2024

SANTAQUIN CITY



NOTE: The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and SANTAQUIN City Codes, Ordinances and Standards.

SHEET NO. **G2**



LEGEND

SEWER LINE	SEWER APPARATUS	STORM LINE	STORM APPARATUS	WATER LINE	FIRE HYDRANT	IRRIGATION LINE	IRRIGATION APPARATUS	DRAINAGE LINE (DRAINAGE SWALE)	EXISTING SEWER LINE	EXISTING STORM LINE	EXISTING DRAINAGE SWALE	EXISTING IRRI-GATION LINE	EXISTING FENCE	EXISTING CONTOURS (2 FT)	10' FINISH CONTOUR	2' FINISH CONTOUR	10' FINISH CONTOUR	CLUB & GUTTER	PROPOSED TRAIL	FILE	SETBACK	5% SLOPE AND GREATER	PROPOSED OPEN SPACE	DRAINAGE DIRECTION
---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---

SCALE IN FEET
1" = 40' HORIZONTAL

Blue Stakes of UTAH 811

NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and SANTAQUIN City Codes, Ordinances and Standards.

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=40'

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 CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION

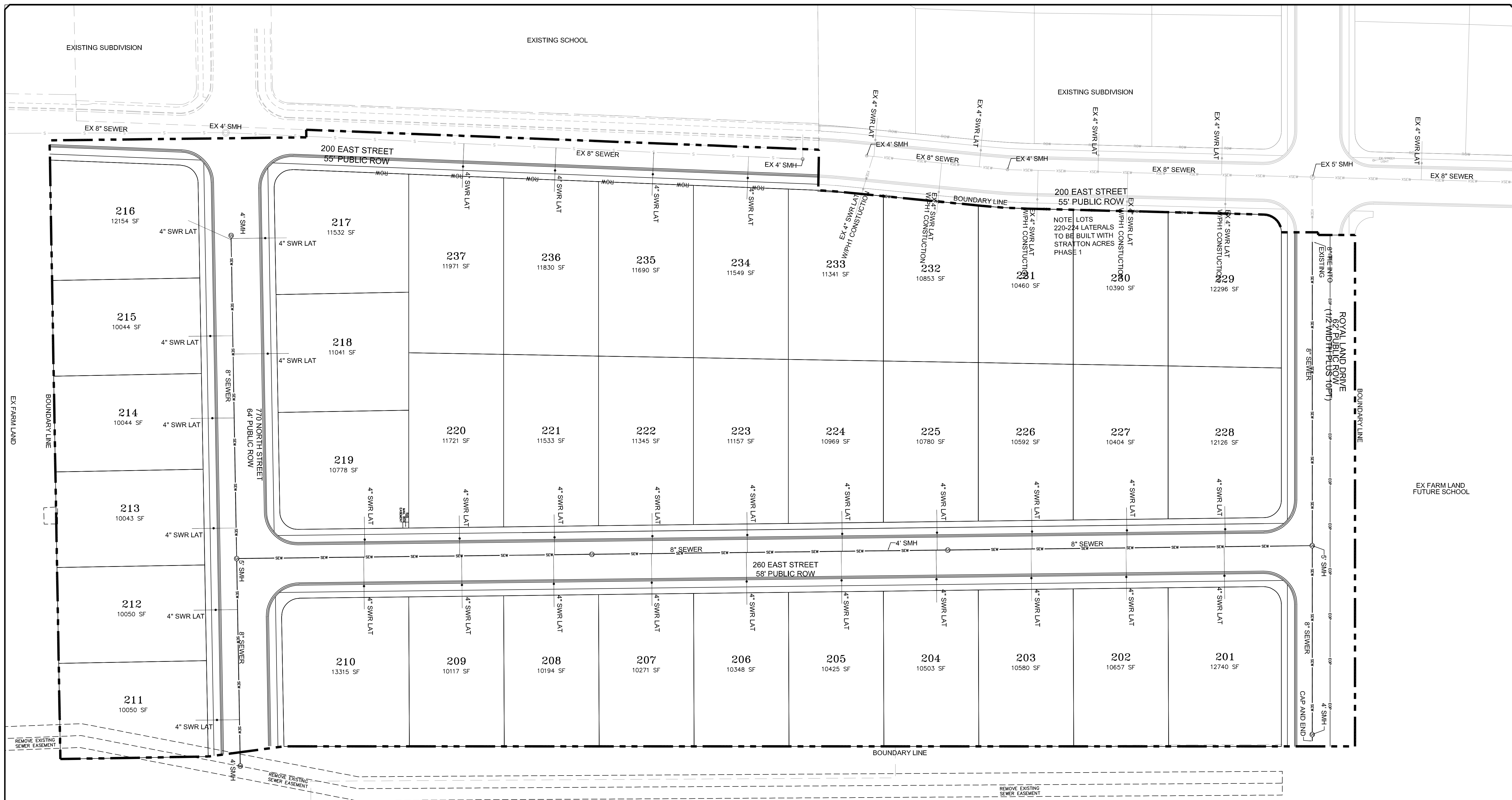
WATER UTILITY SHEET

PRINT DATE: 10-15-2024

SANTAQUIN CITY



SHEET NO. U1



LEGEND

	SEWER LINE		EXISTING SEWER LINE
	SEWER APPARATUS		EXISTING STORM LINE
	STORM LINE		EXISTING DRAINAGE SHELL
	DRAINAGE SHELL		EXISTING WATER LINE
	STORM APPARATUS		EXISTING IRRIGATION LINE
	WATER LINE		EXISTING FENCE
	WATER APPARATUS		EXISTING CONTOURS (PT)
	FIRE HYDRANT		15' FINISH CONTOUR
	IRRIGATION APPARATUS		2' FINISH CONTOUR
	PROPOSED OPEN SPACE		CURB & GUTTER
	PROPOSED TRAIL		FIRE
	PROPOSED SETBACK		SETBACK
	30% SLOPE AND GREATER		30% SLOPE AND GREATER
	PROPOSED OPEN SPACE		PROPOSED OPEN SPACE
	DRAINAGE DIRECTION		DRAINAGE DIRECTION

SCALE IN FEET
1" = 40' HORIZONTAL

NOTE:
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NO.	DESCRIPTION	DATE	APPD.

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=40'

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 paul@gatewayconsultingllc.com

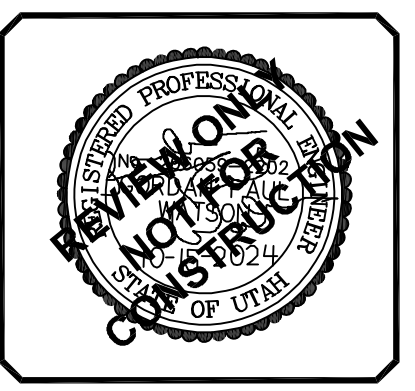
CIVIL ENGINEERING • CONSULTING • LAND PLANNING
CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION

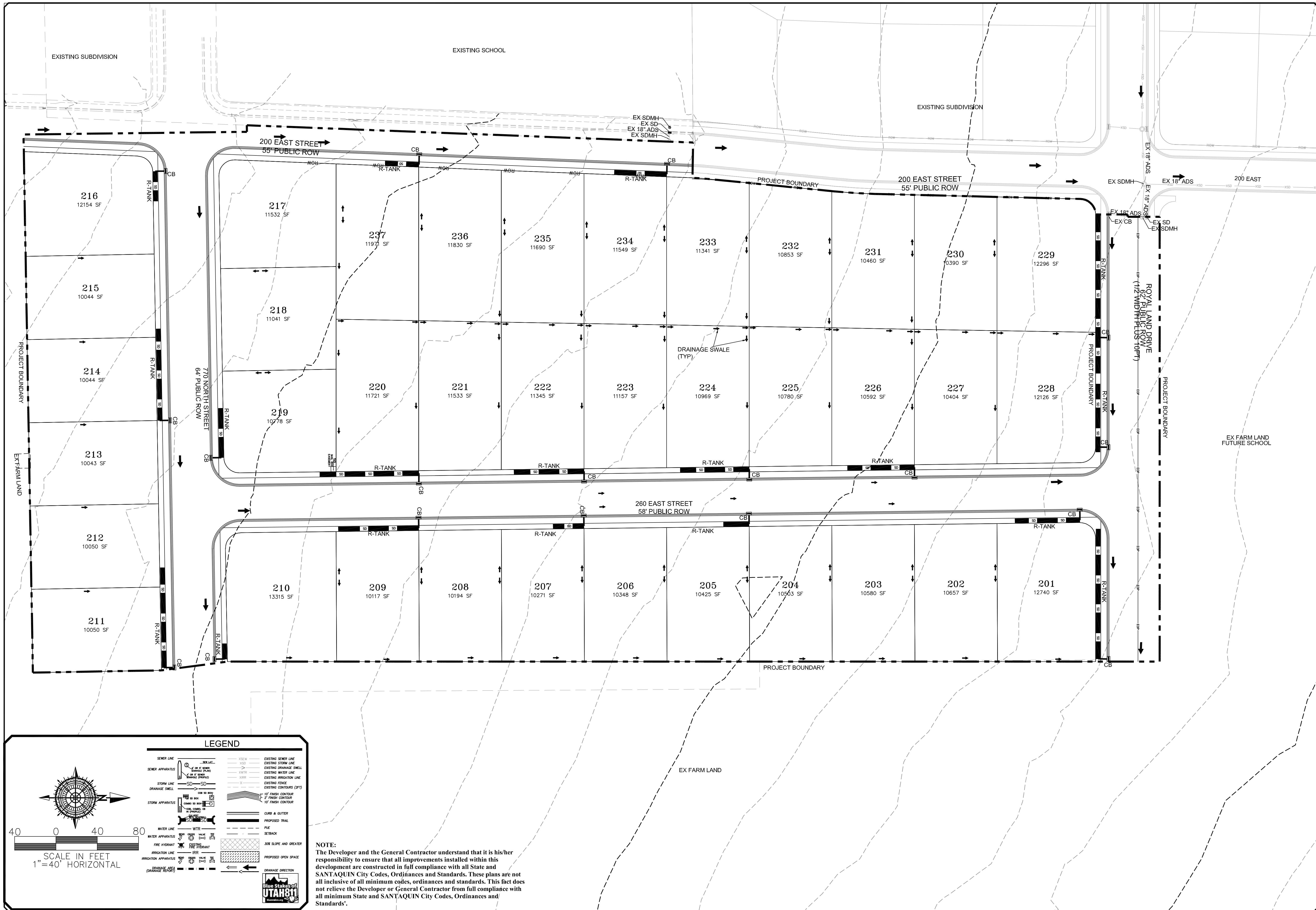
SEWER UTILITY SHEET

PRINT DATE: 10-15-2024

SANTAQUIN CITY



SHEET NO. **U2**



LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SWALE
DRAINAGE SHELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
FIRE HYDRANT	EXISTING CONTOURS (2 FT)
IRRIGATION LINE	10' FINISH CONTOUR
DRAINAGE LINE (DRAINAGE SWALE)	2' FINISH CONTOUR
	10' FINISH CONTOUR
	PROPOSED TRAIL
	FILE
	SETBACK
	50% SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

Blue Stakes of UTAH 811

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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=40'

GATEWAY CONSULTING, Inc.
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 paul@gatewayconsultingllc.com

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 CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION

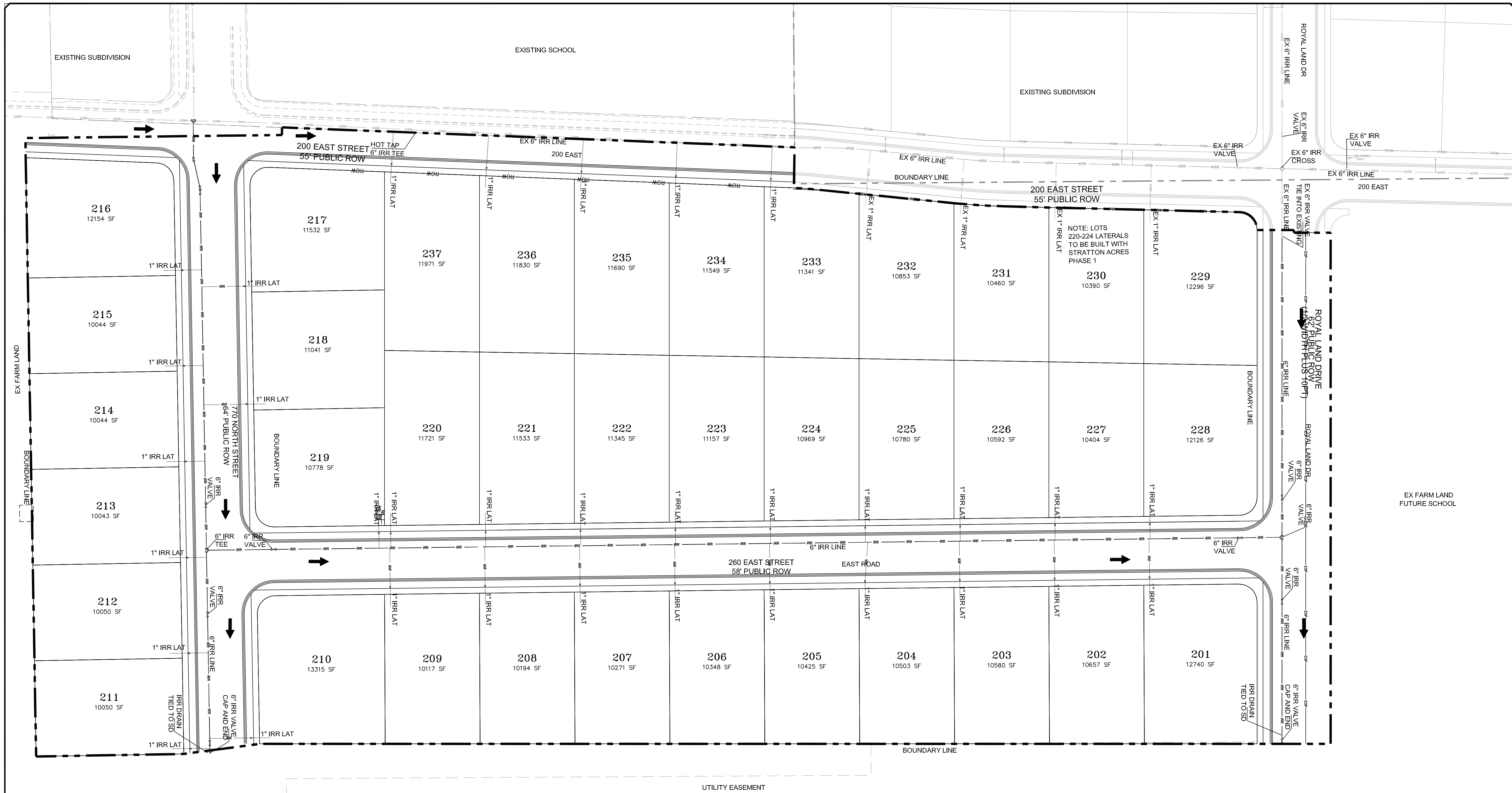
STORM UTILITY SHEET

PRINT DATE: 10-15-2024

SANTAQUIN CITY



SHEET NO. U3



LEGEND

	SEWER LINE		EXISTING SEWER LINE
	SEWER APPARATUS		EXISTING STORM LINE
	STORM LINE		EXISTING DRAINAGE SHELL
	DRAINAGE LINE		EXISTING WATER LINE
	STORM APPARATUS		EXISTING IRRIGATION LINE
	WATER LINE		EXISTING FENCE
	FIRE HYDRANT		EXISTING CONTOURS (2 FT)
	IRRIGATION APPARATUS		10' FINISH CONTOUR
	DRAINAGE SHELL		2' FINISH CONTOUR
	VALVE		10' FINISH CONTOUR
	TEE		CLASS A GUTTER
	CAP AND END		PROPOSED TRAIL
	IRR DRAIN TIED TO SD		FILE
	6\"/>		SETBACK
	1\"/>		30% SLOPE AND GREATER
	1\"/>		PROPOSED OPEN SPACE
	1\"/>		DRAINAGE DIRECTION

SCALE IN FEET
1" = 40' HORIZONTAL

Blue Stakes of UTAH 811

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NO.	DESCRIPTION	DATE	APP'D

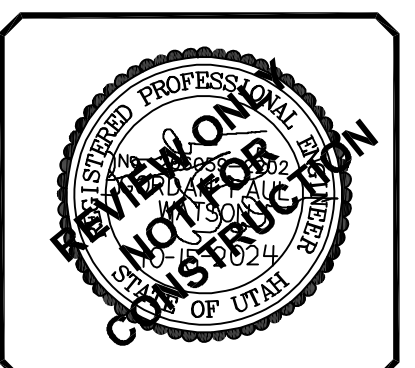
ORIG. DATE: 2-8-21
 SURVEY BY: GPM
 DRAWN BY: GPM
 DESIGNED BY: GPM
 CHECKED BY: GPM
 SCALE: 1"=40'

GATEWAY CONSULTING, Inc.
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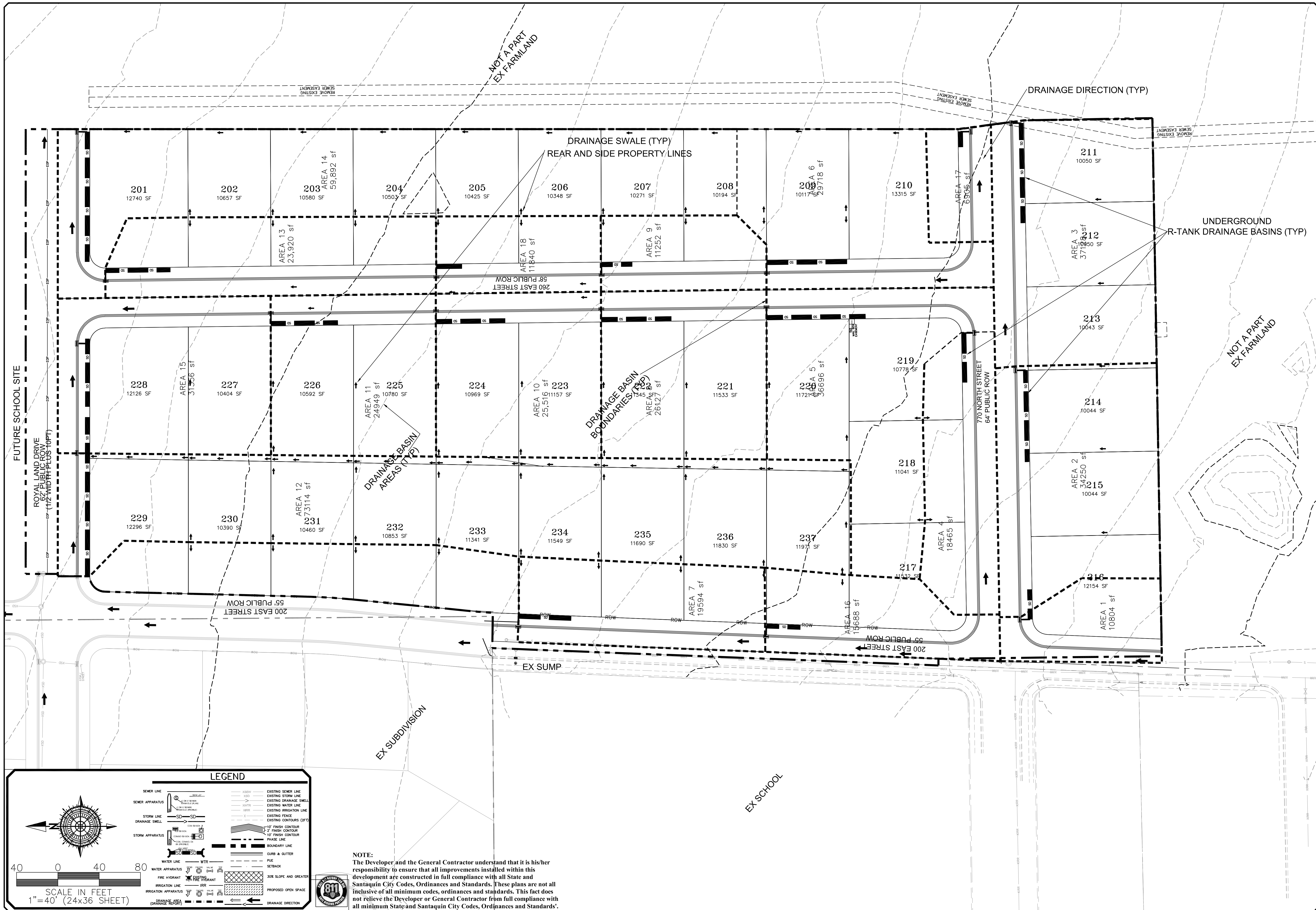
CIVIL ENGINEERING • CONSULTING • LAND PLANNING
 CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION
 IRRIGATION UTILITY SHEET
 PRINT DATE: 10-15-2024

SANTAQUIN CITY



SHEET NO. U4



LEGEND

	SEWER LINE		EXISTING SEWER LINE
	SEWER APPARATUS		EXISTING STORM LINE
	STORM LINE		EXISTING DRAINAGE SWALE
	DRAINAGE SWALE		EXISTING WATER LINE
	STORM APPARATUS		EXISTING IRRIGATION LINE
	WATER LINE		EXISTING FENCE
	FIRE HYDRANT		EXISTING CONTOURS (2 FT)
	IRRIGATION LINE		10' FINISH CONTOUR
	IRRIGATION APPARATUS		2' FINISH CONTOUR
	DRAINAGE BASIN		5' FINISH CONTOUR
	BOUNDARY LINE		PHASE LINE
	CURB & GUTTER		RIGHT OF WAY
	FIRE HYDRANT		SUBSTATION
	FIRE HYDRANT		SLOPE AND GRATES
	FIRE HYDRANT		PROPOSED OPEN SPACE
	FIRE HYDRANT		DRAINAGE DIRECTION

SCALE IN FEET
1" = 40' (24x36 SHEET)

NOTE:
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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
SURVEY BY: GPW
DRAWN BY: GPW
DESIGNED BY: GPW
CHECKED BY: GPW
SCALE: 1"=40'

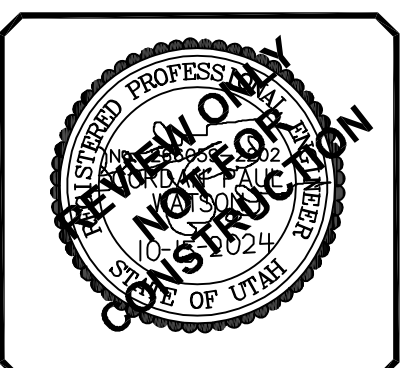
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 paul@gatewayconsultingllc.com

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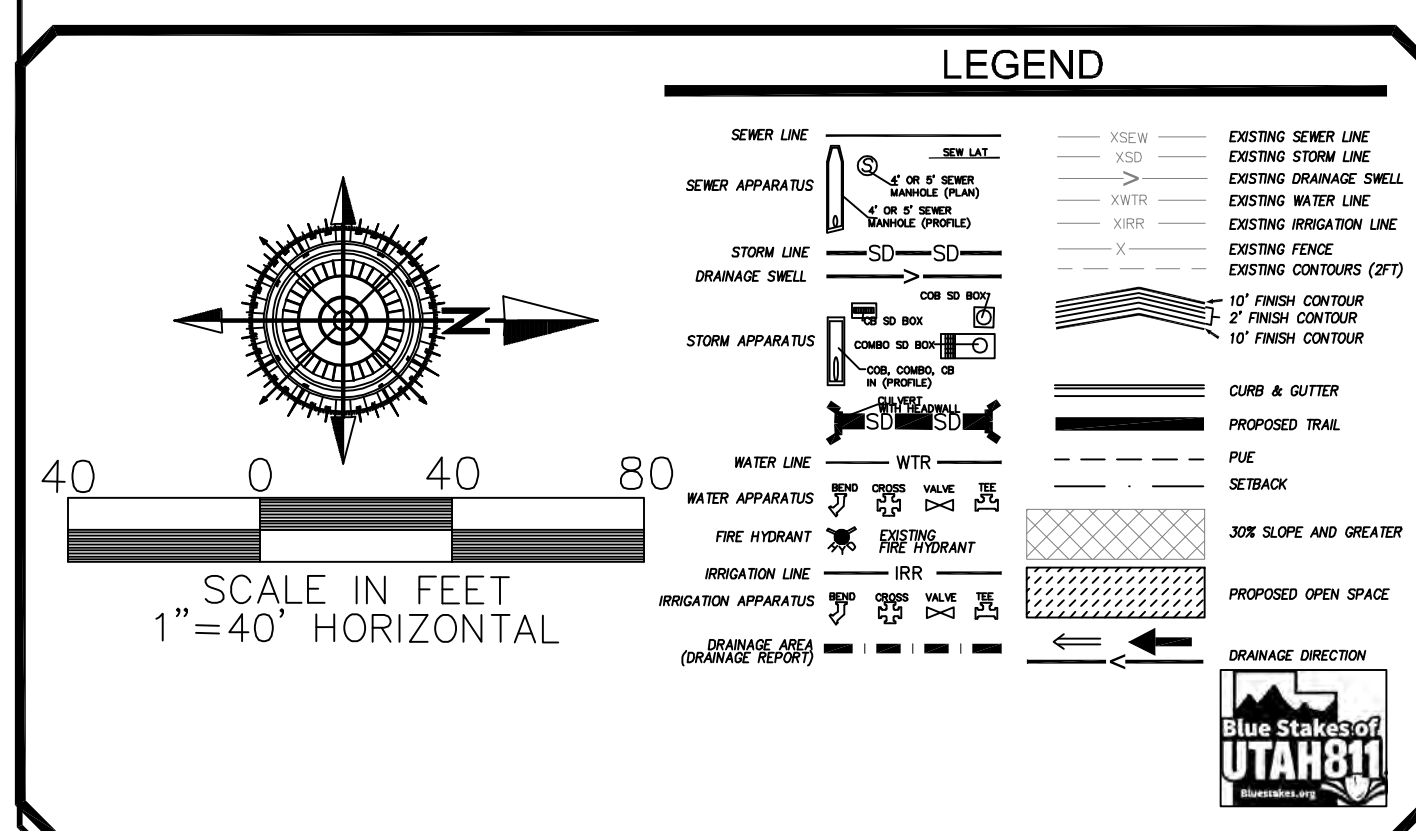
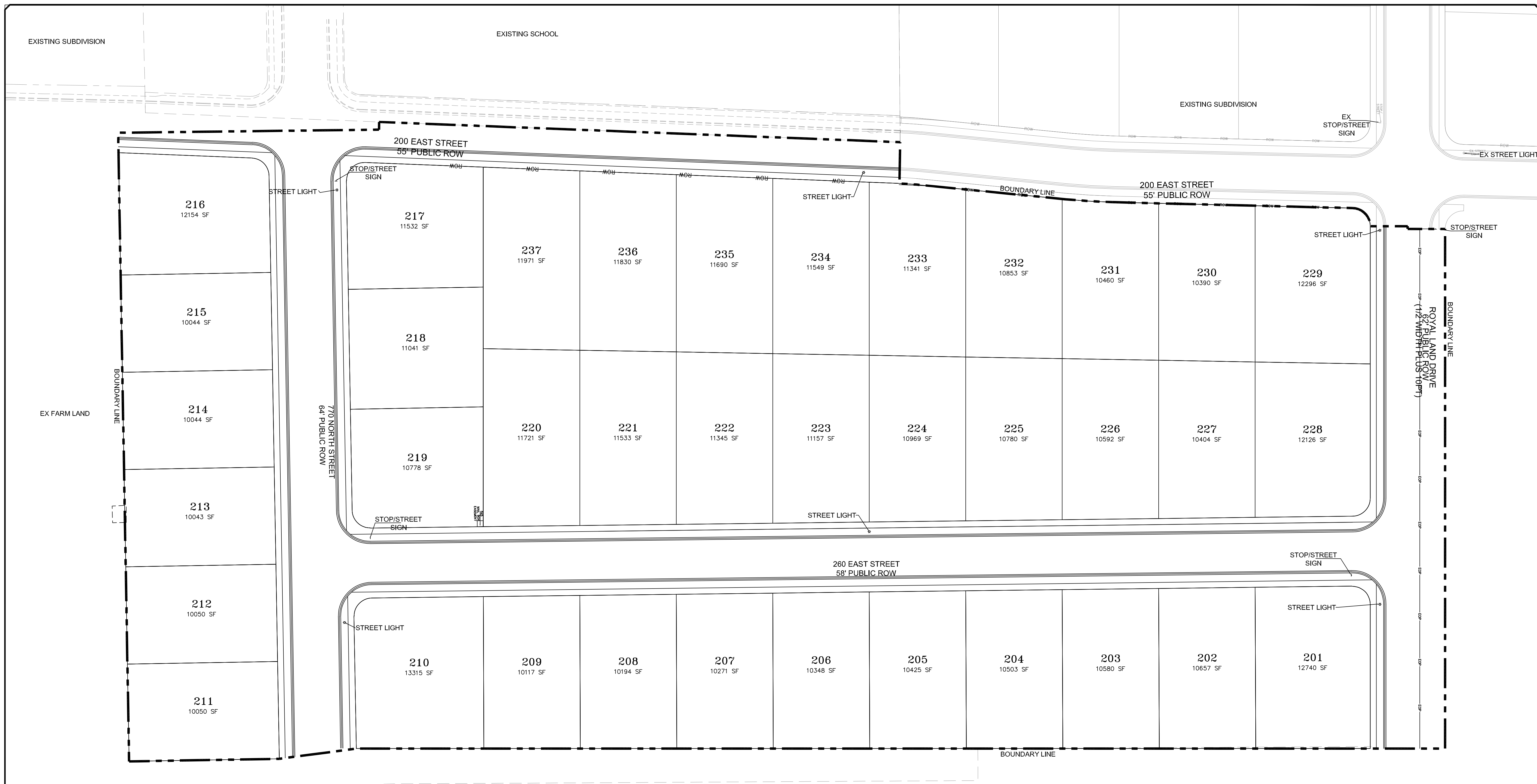
STRATTON MEADOW SUBDIVISION DRAINAGE PLAN

10-15-2024

SANTAQUIN CITY



SHEET NO. **DRAIN**



NOTE:
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NO.	DESCRIPTION	DATE	APP'D

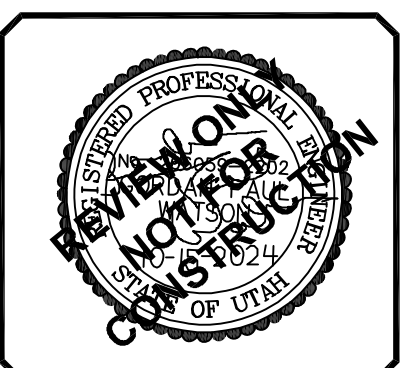
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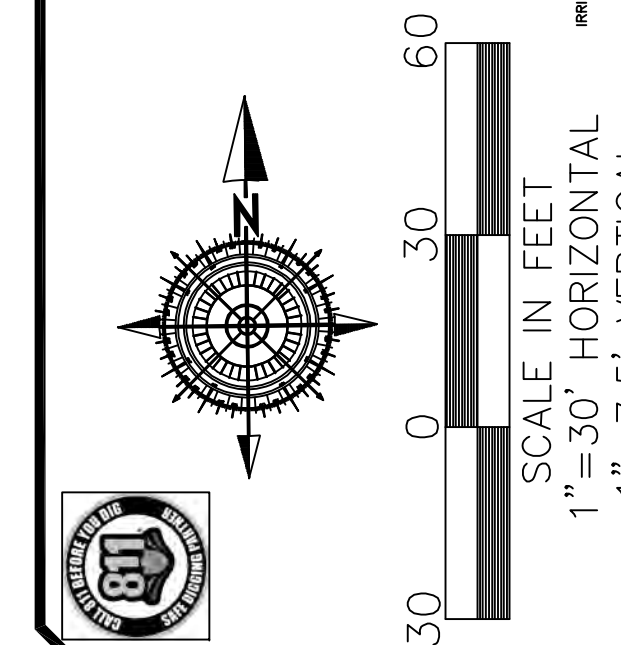
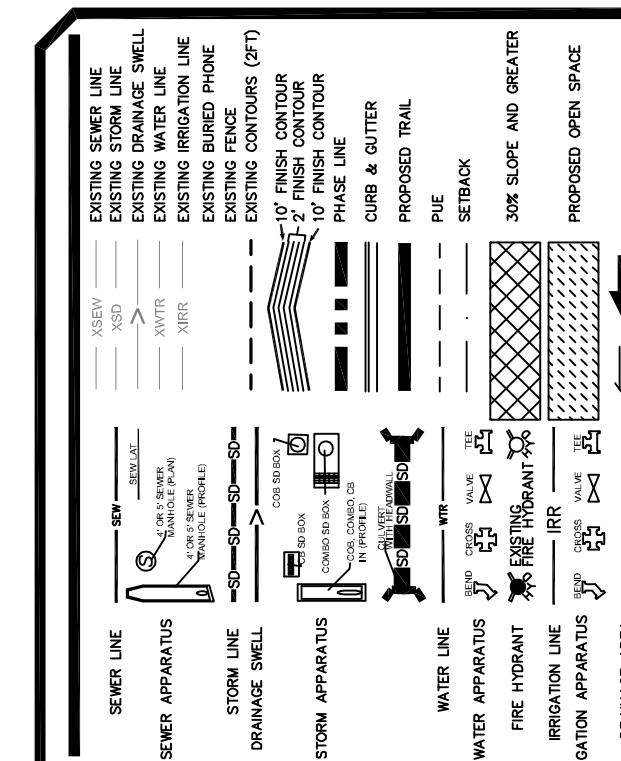
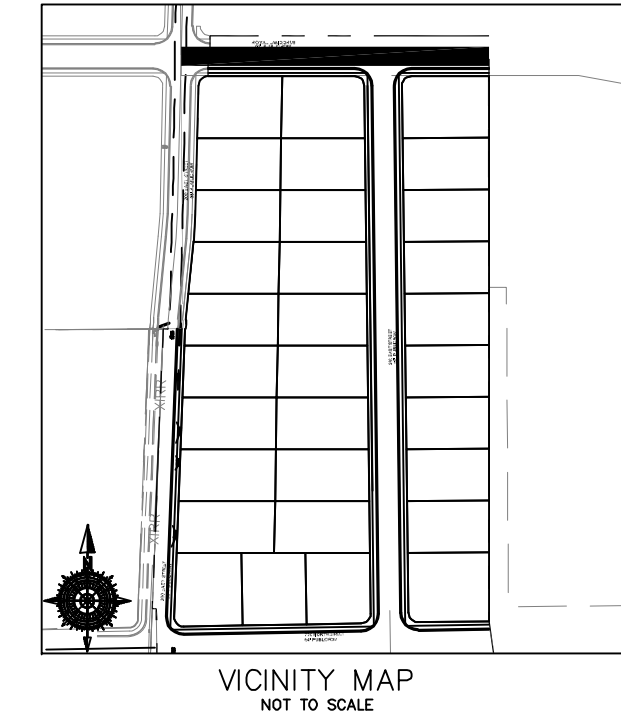
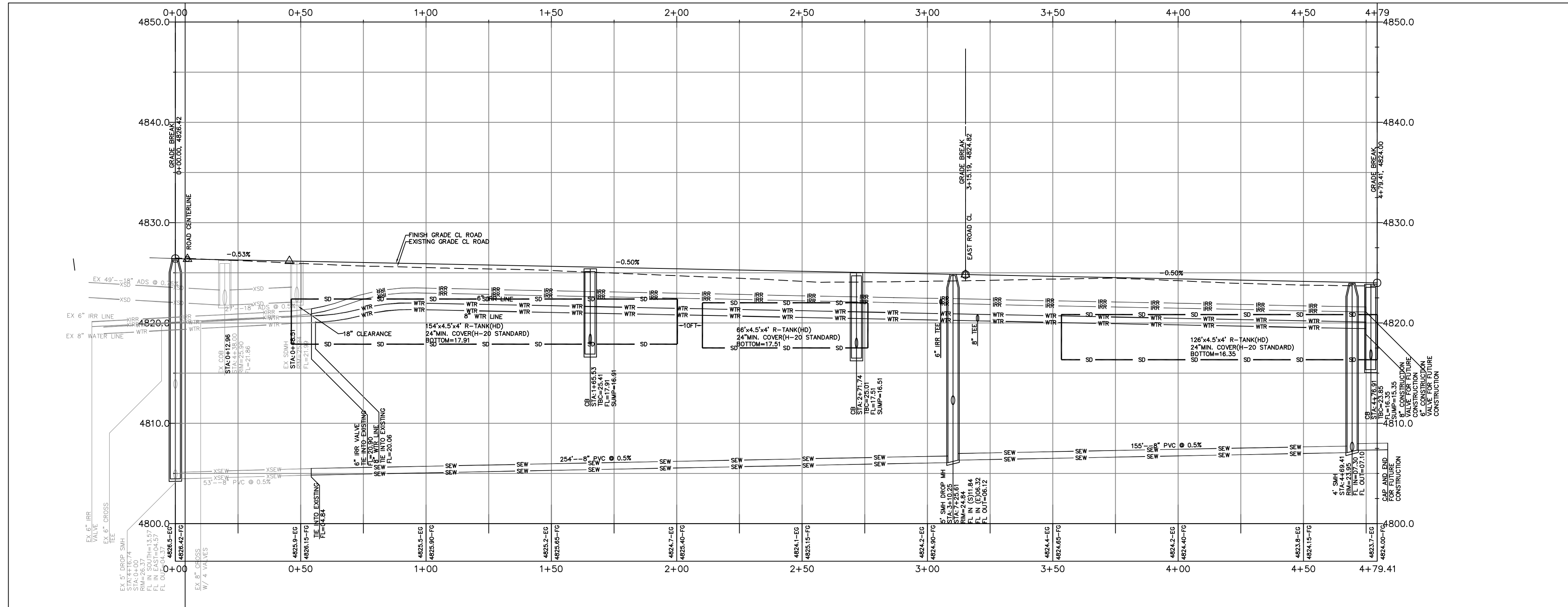
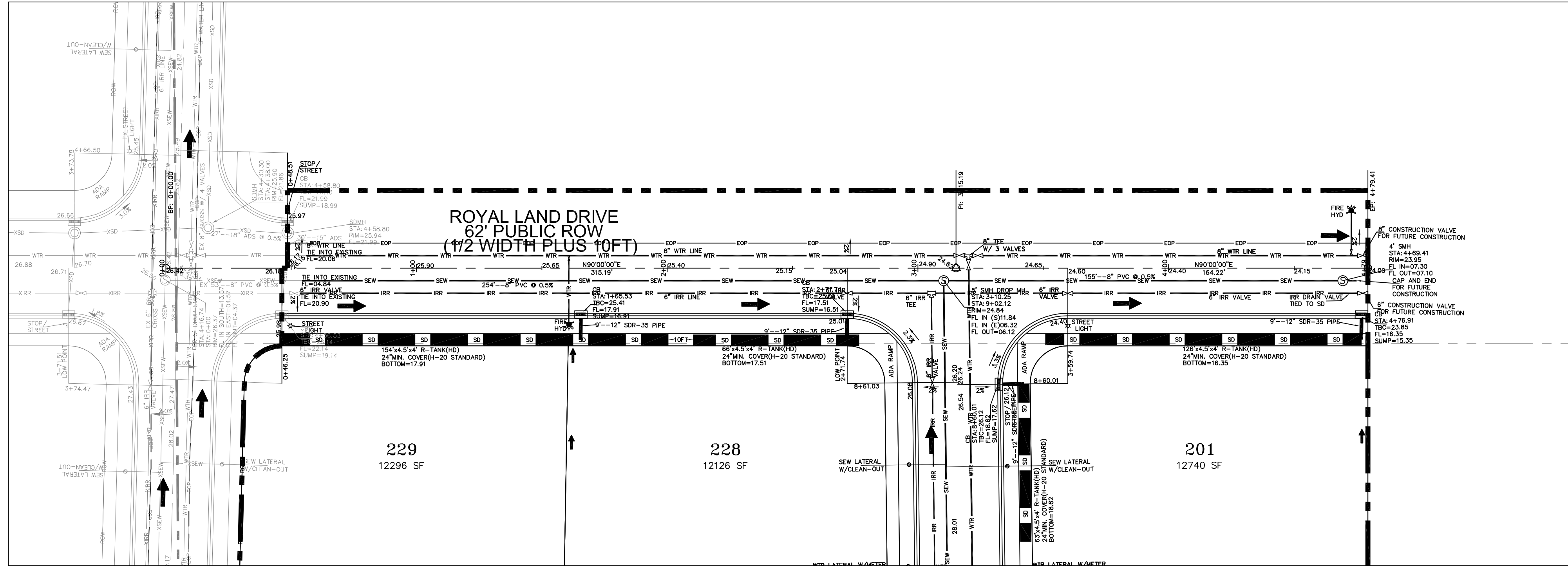
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STRATTON MEADOW SUBDIVISION
 LIGHT AND SIGN PLAN
 PRINT DATE: 10-15-2024

SANTAQUIN CITY



SHEET NO. SS1



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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
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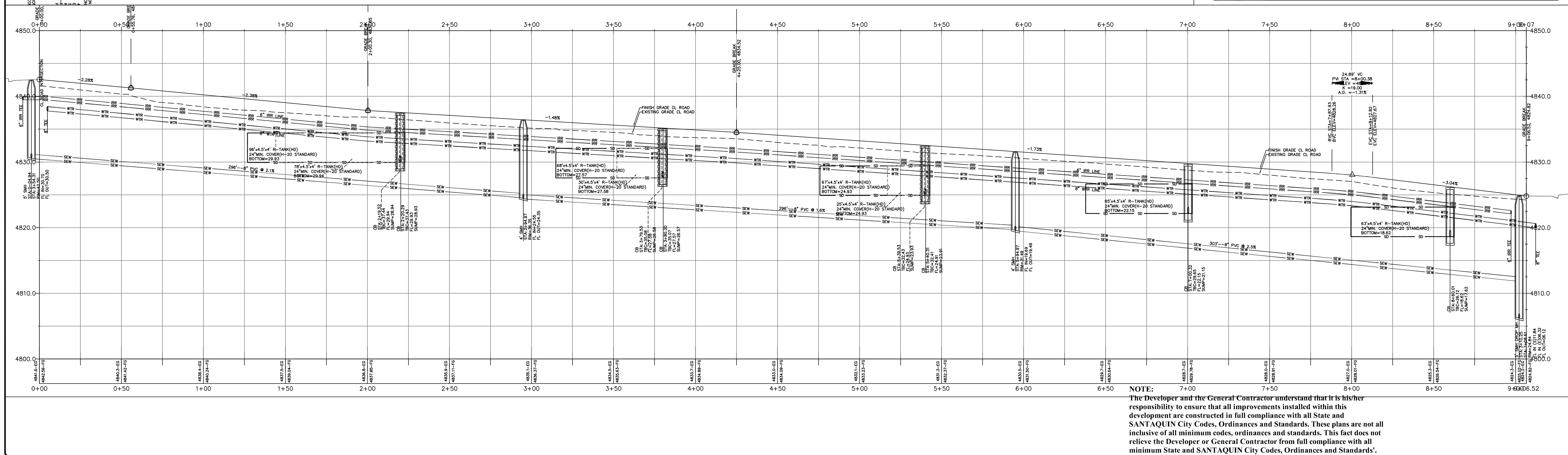
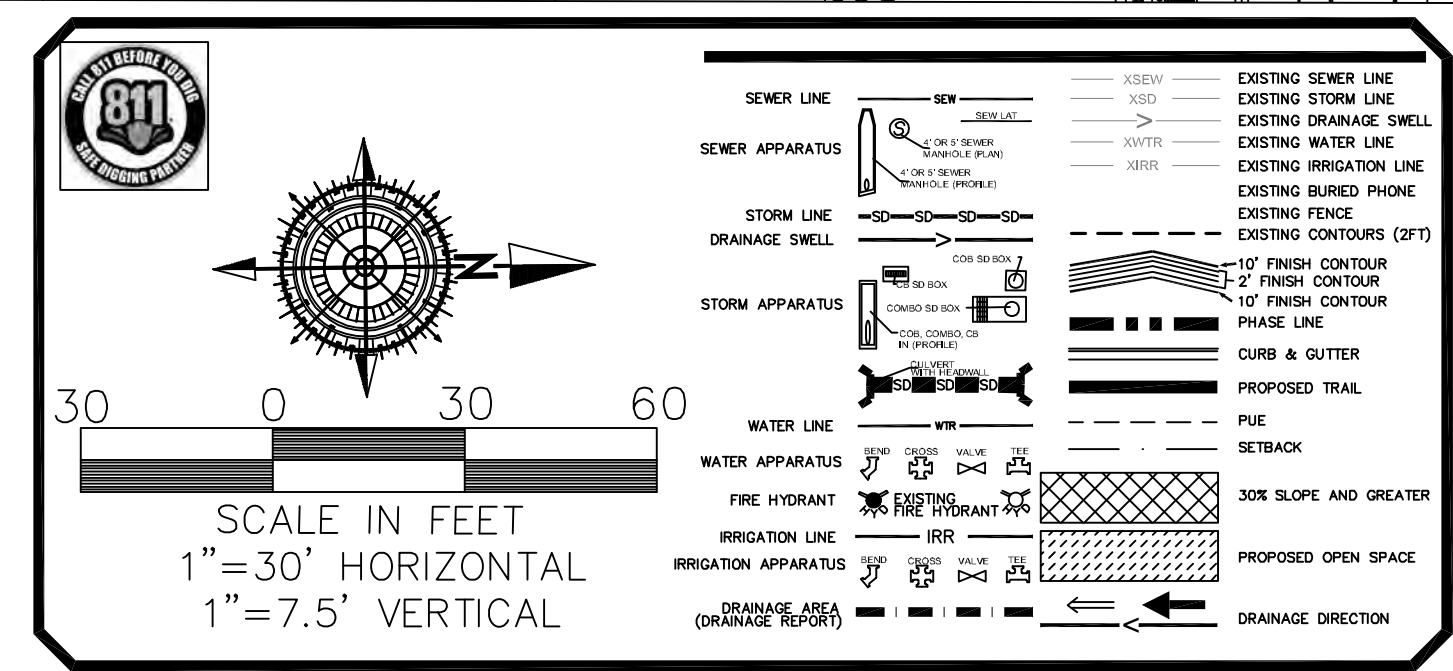
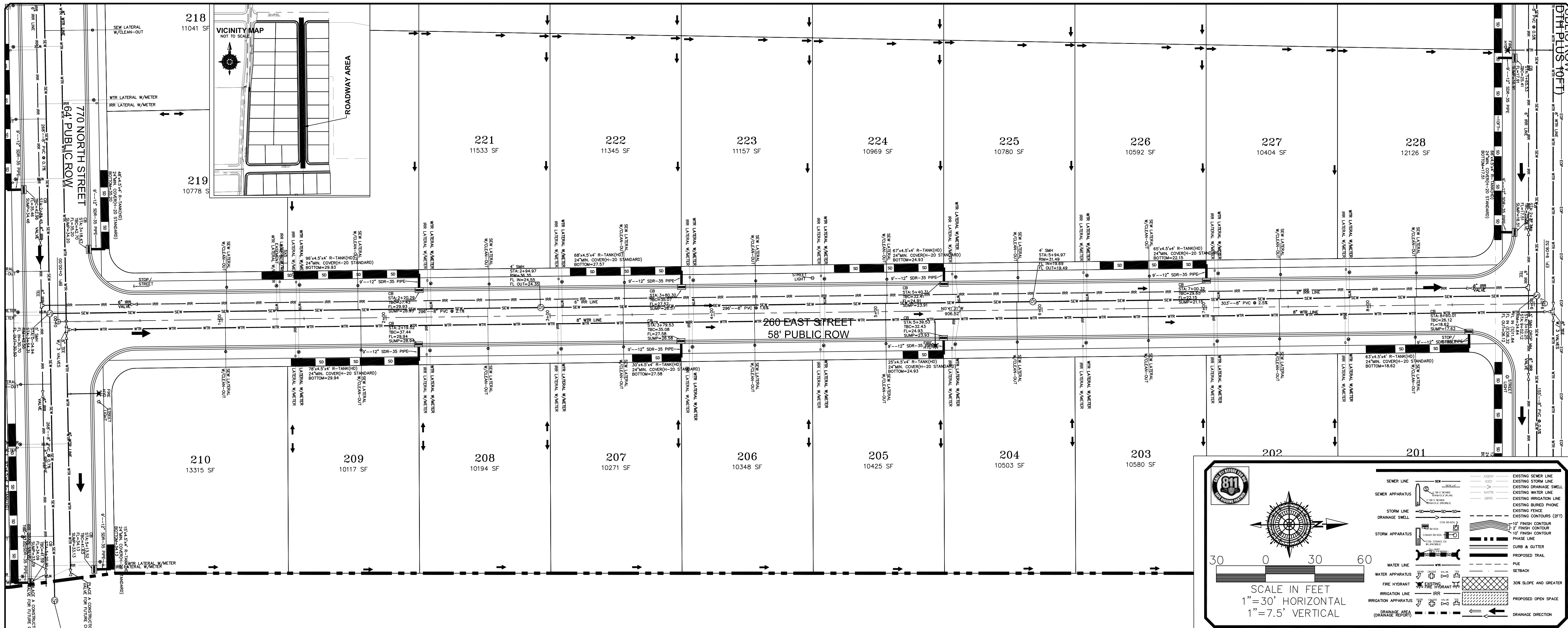
**STRATTON MEADOWS
 SUBDIVISION
 PLAN AND PROFILE
 ROYAL LAND DR**

10-15-2024

SANTAQUIN CITY



SHEET NO. PP1



NO.	DESCRIPTION	DATE	APP'D

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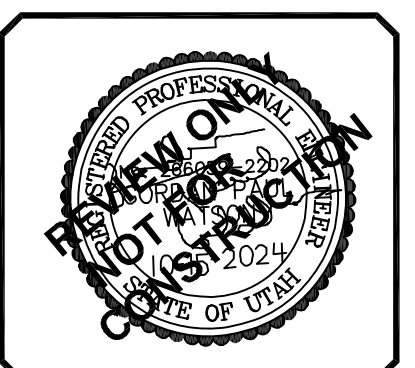
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STRATTON MEADOWS
 SUBDIVISION
 PLAN AND PROFILE
 EAST ROAD

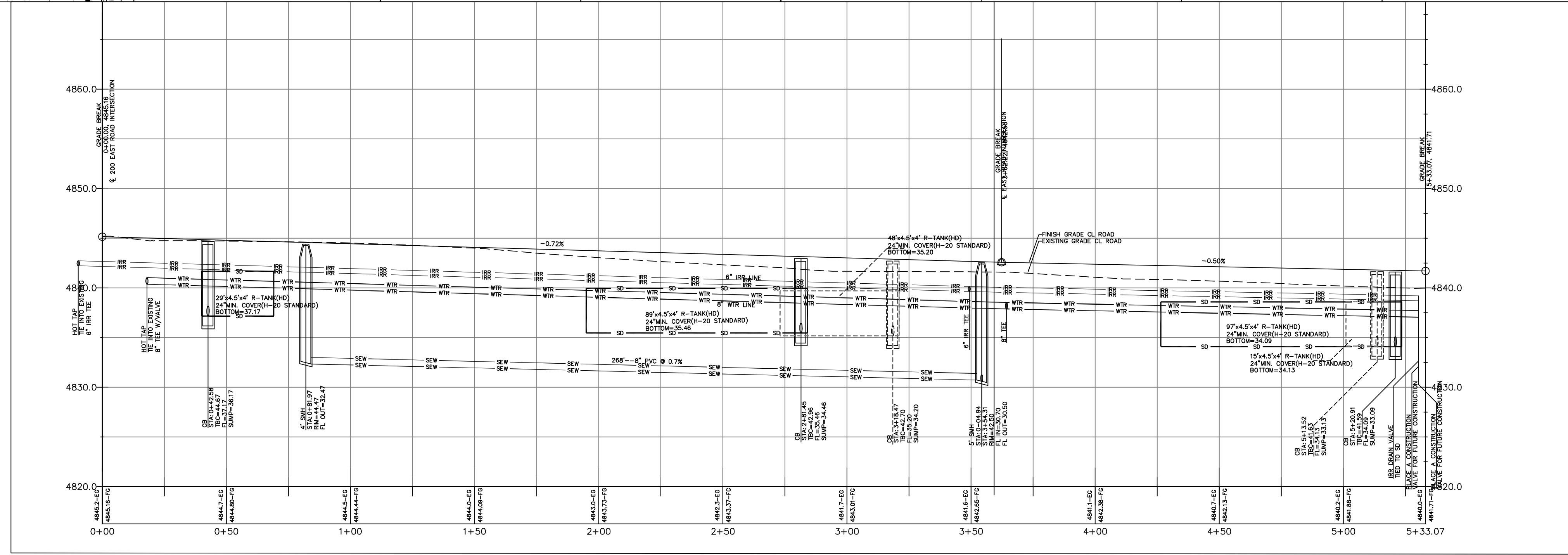
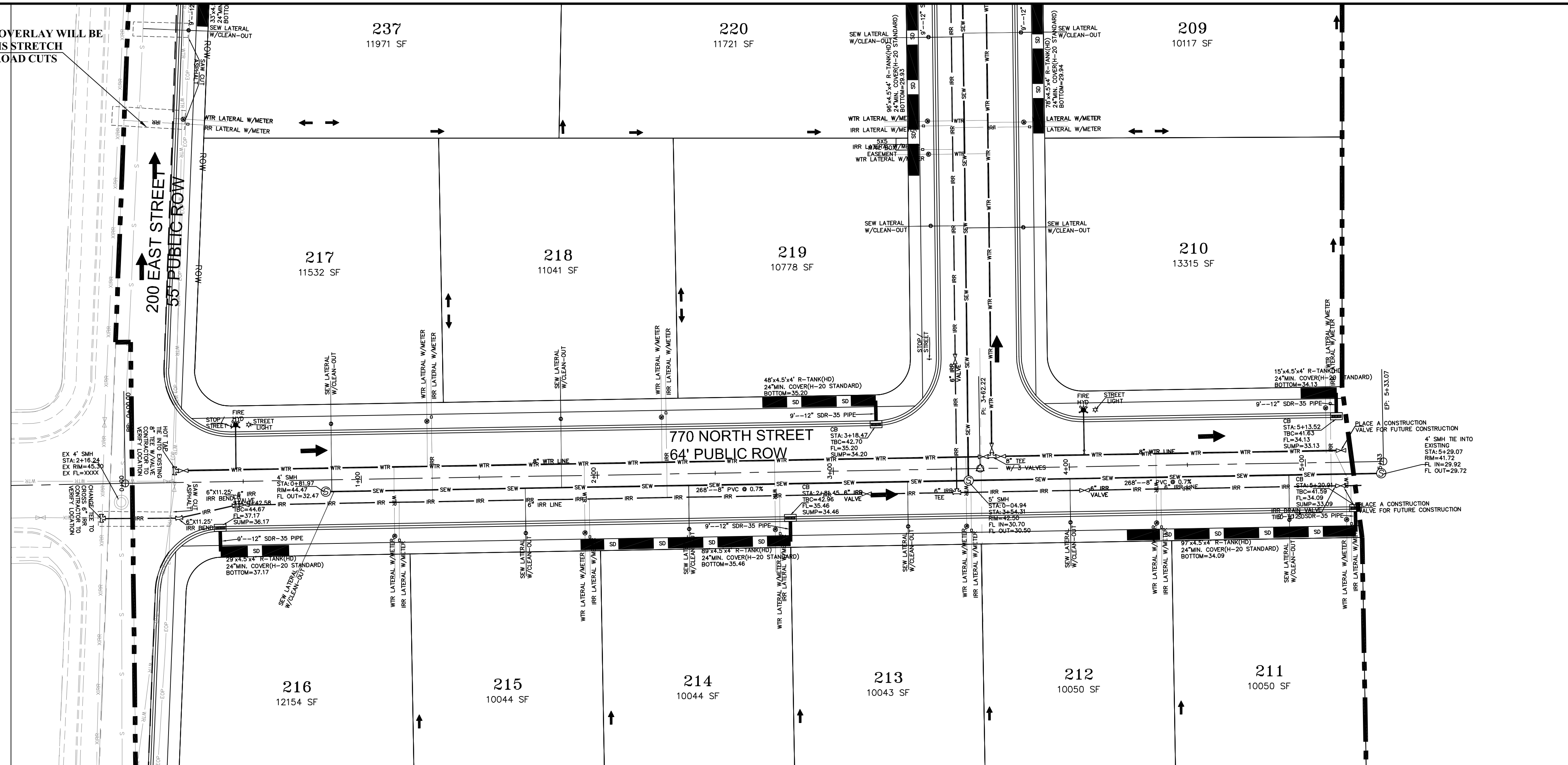
10-15-2024

SANTAQUIN CITY

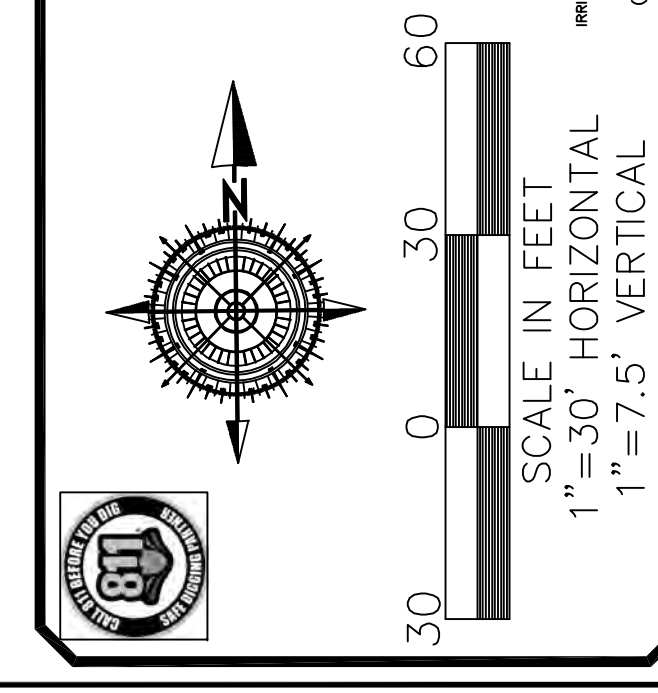
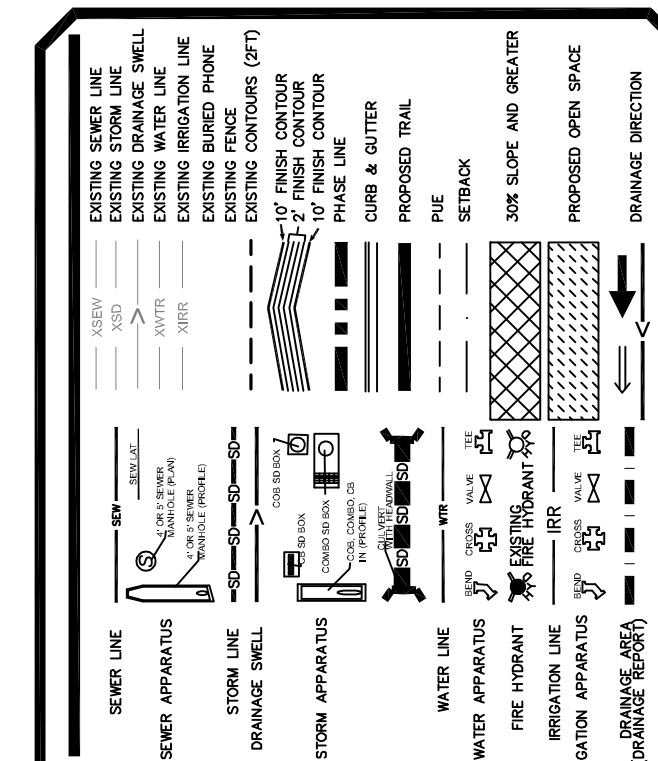
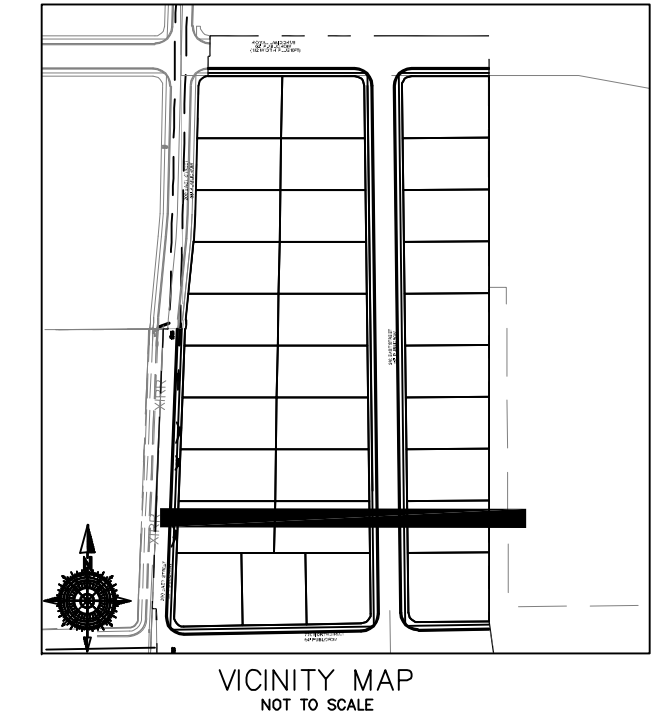


SHEET NO. PP3

NOTE:
A FULL SURFACE OVERLAY WILL BE
REQUIRED ON THIS STRETCH
OF ROAD AFTER ROAD CUTS



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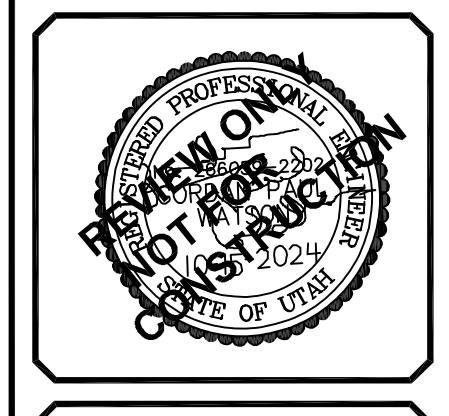
NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
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 CHECKED BY: OPW
 SCALE: 1"=30'

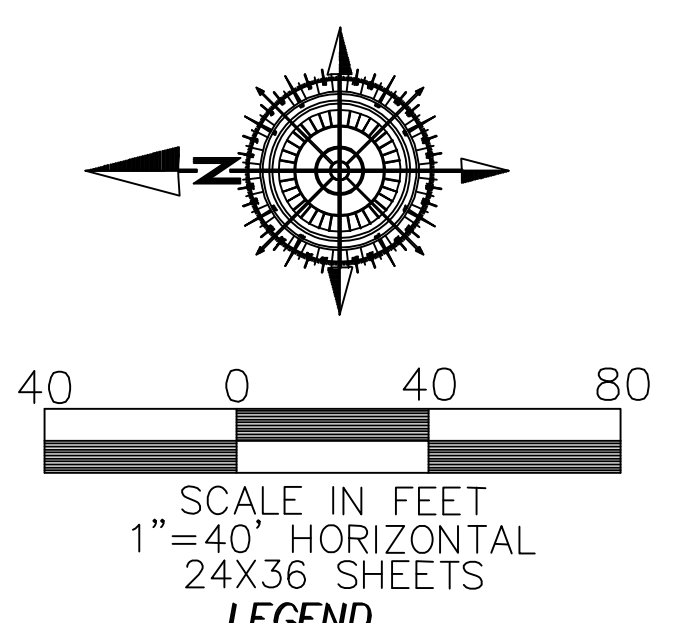
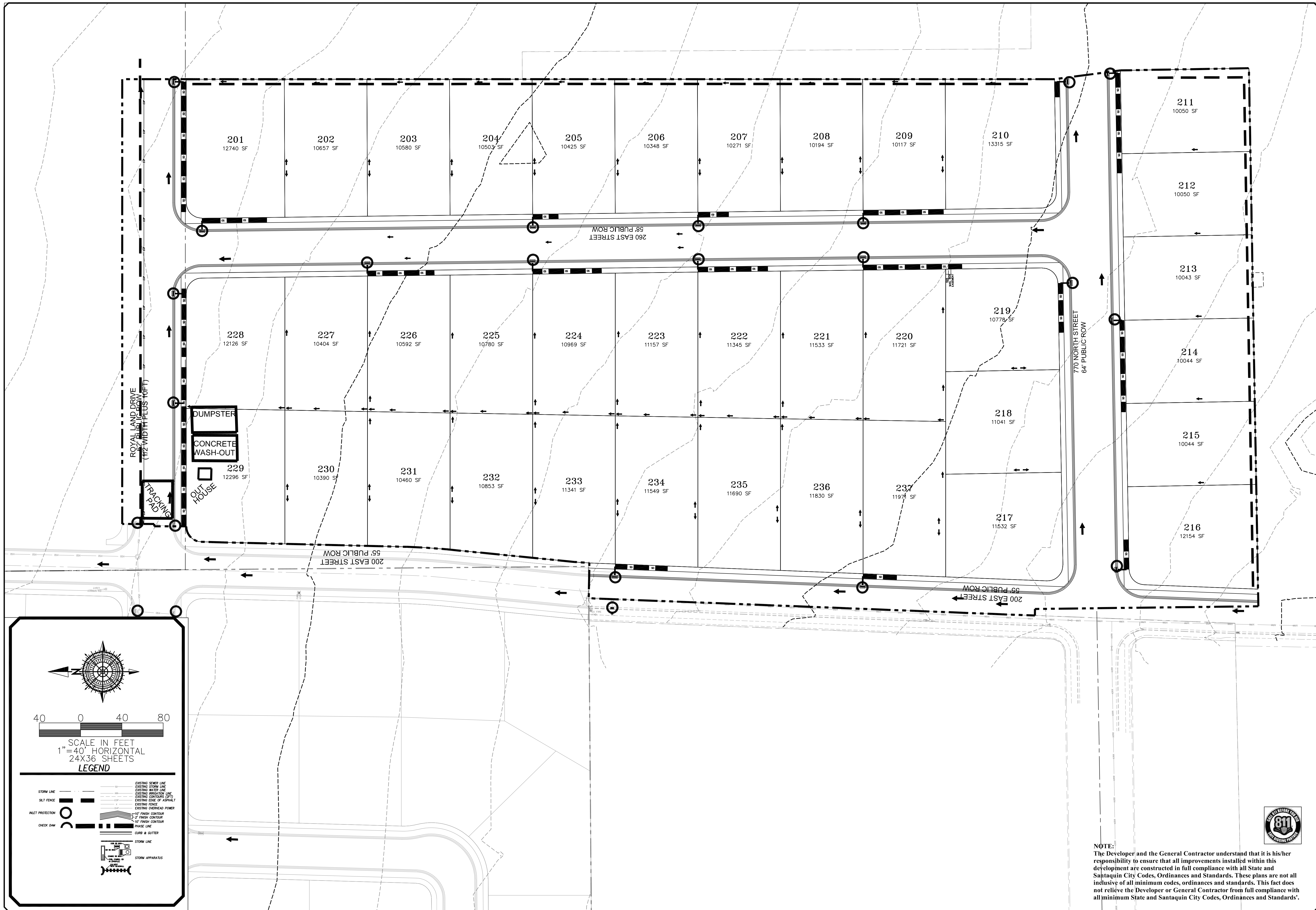
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**STRATTON MEADOWS
 SUBDIVISION
 PLAN AND PROFILE
 SOUTH ROAD**
 10-15-2024

SANTAQUIN CITY



SHEET NO. PP4



LEGEND

STORM LINE	EXISTING SEWER LINE
SILT FENCE	EXISTING STORM LINE
INLET PROTECTION	EXISTING WATER LINE
CHECK DAM	EXISTING BRONXION LINE
	EXISTING CONTOUR (5' CITY)
	EXISTING EDGE OF ASPHALT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	1/2" FINISH CONTOUR
	1" FINISH CONTOUR
	PHASE LINE
	CURB & OUTER
	STORM LINE
	STORM APPARATUS



NOTE:
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ORIG. DATE: 2-8-21
 SURVEY BY: GPM
 DRAWN BY: GPM
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 SCALE: 1"=40'

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STRATTON MEADOW SUBDIVISION
 STORM WATER POLLUTION PREVENTION PLAN
 PRINT DATE: 10-15-2024

SANTAQUIN CITY



SHEET NO. SWPPP

GENERAL EROSION CONTROL NOTES

DURING CONSTRUCTION

- GENERAL EROSION CONTROL NOTES:
 1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.
 2. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF THE SANTAQUIN CITY PUBLIC WORKS DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL DEVICES UPON INSPECTION OF PROPOSED FACILITIES.
 3. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREETS CLEAN AND FREE FROM DEBRIS FROM TRAFFIC FROM THE SITE.
 4. ALL STORM DRAIN FACILITIES ON SITE AND ADJACENT TO THE SITE NEED TO BE PROTECTED FROM SITE RUNOFF. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY UPON INDIVIDUAL INLETS BECOMING FUNCTIONAL.
 5. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED, SEEDED WITH NATIVE VEGETATION, OR LANDSCAPED. REFER TO LANDSCAPE PLANS FOR SEED MIX. AND PLANTING SPECIFICATIONS.
 6. EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING ARE IN PLACE. EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATIONS. EROSION CONTROL IN PROPOSED PAVEMENT AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE.
 7. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS. MOVED WHEN NECESSARY AND REMOVED WHEN THE SITE IS PAVED.
 8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE.
 9. BLOWING DUST MUST BE CONTROLLED AT ALL TIMES. INSTALLATION OF A SILT SCREEN AND SITE WATERING SHALL BE USED TO CONTROL DUST. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT.
 11. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
 12. ALL MEASURES CONTAINED IN THIS PLAN MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT. ANY NEEDED CLEANING AND REPAIRS NEED TO BE DONE IMMEDIATELY UPON DISCOVERY.
 13. ALL UTILITY LINES SHALL BE CLEANED OF DIRT AND DEBRIS PRIOR TO BEING PUT IN TO SERVICE. DOWNGRADE LINES MUST BE PROTECTED FROM WASH-WATER DURING THE CLEANING TO AVOID CONTAMINATION AND COMPROMISING OUTFALL CLEANLINESS.

ADDITIONAL EROSION CONTROL NOTES

POST CONSTRUCTION

1. THE CUT SLOPES ARE PROGRAMMED AS SHOWN. TOPS OF 3:1 & 2:1 CUTS THAT OCCUR IN TOP SOIL WILL BE ROUNDED TO BLEND INTO NATURAL TERRAIN.
 2. EXCAVATED MATERIAL TO BE STOCKPILED IN AREAS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR, COUNTY REVIEW ENGINEER AND COUNTY INSPECTOR.
 3. CONTRACTOR SHALL CONFINE CONSTRUCTION ACTIVITY TO AREAS WITHIN THE FLAGGED LIMITS OF DISTURBANCE AND AS SHOWN ON THE PLANS AND WITHIN FIELD DESIGNATED STORAGE, STAGING ACCESS. CONSTRUCTION AND MATERIAL WASTE AREAS AS APPROVED BY THE CITY ENGINEER.
 4. CONTRACTOR SHALL ABIDE BY EROSION CONTROL REQUIREMENTS AS SET FORTH HEREIN.
 5. ORGANIC MATERIALS WILL BE SEPARATED, REMOVED FROM THE ROAD BEDS AND STOCKPILED IN LOCATIONS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR AND COUNTY INSPECTOR. NO ORGANIC MATERIAL WILL BE PLACED IN THE STRUCTURAL FILLS AREA.
 6. AFTER CLEARING AND GRUBBING OPERATIONS, TOPSOIL IS TO BE STOCKPILED IN AREAS TO BE DETERMINED IN FIELD BY THE ENGINEER, CONTRACTOR, COUNTY REVIEW ENGINEER AND COUNTY INSPECTOR. NO ORGANIC MATERIAL OR ROCK LARGER THAN 24" WILL BE PLACED IN ROADWAY FILLS. 12" MINUS IN TOP 1' OF ROADWAY.
 7. NO BRUSH OR TOPSOIL SHALL BE STOCKPILED WITHIN THE ROADWAY RIGHT OF WAYS.
 8. ALL FILL SLOPES WILL BE GRADED AS SHOWN OR AS DETERMINED BY A GEOTECHNICAL ENGINEER. COMPACTION OF EMBANKMENT FILLS WILL BE CONSTRUCTED TO SANTAQUIN CITY ROADWAY STANDARDS. FILL AREAS SHALL BE CLEARED, GRUBBED, STRIPPED OF SOIL AND SCARIFIED PRIOR TO PLACEMENT OF SUITABLE EMBANKMENT MATERIAL.
 9. ALL DISTURBED AREAS WILL BE REVEGETATED ACCORDING TO REVEGETATION / EROSION CONTROL NOTES WITH A GRASS MIXTURE AS FOLLOWS APPLIED AT A MINIMUM RATE OF 50 LBS. PLS (PURE LIVE SEED PER ACRE WITH MIX)
- | NATIVE GRASSES | |
|----------------|---------------------------------------|
| % Pure | Gross Type |
| 20.00 | Hard fescue |
| 15.00 | Pubescent wheat grass |
| 15.00 | Orchard grass (sod forming) |
| 15.00 | smooth brom grass |
| 20.00 | Stream bank wheat grass (sod forming) |
| 15.00 | Western wheat grass |
- TOPSOIL SHALL BE PLACED TO A DEPTH OF 6" ON ALL CUT AND FILL SLOPES 3:1 OR FLATTER. REVEGETATION AREAS WILL BE SEEDED AND MULCHED AS SOON AS POSSIBLE AFTER CONSTRUCTION COMPLETION.
 10. SILT FENCING WILL BE HELD IN PLACE WITH 2 X 2 STAKES AND WILL BE PLACED ON THE DOWNHILL SIDES OF ALL DISTURBED AREAS AND AREAS USED FOR STOCKPILING AND TRENCHED INTO GROUND.
 11. THE SILT FENCING SHALL BE INSTALLED BEFORE CLEARING AND GRUBBING AT THE TOE OF THE DISTURBED DOWNHILL SLOPE. NO GRUBBED AREA SHALL BE WITHOUT SILT FENCE PROTECTION FOR LONGER THAN 24 HOURS. THE SILT FENCE SHALL BE MONITORED AND REPLACED IF NECESSARY.
 12. ALL SITE DRAINAGE SHALL BE ADEQUATELY PROVIDED FOR DURING CONSTRUCTION.
 13. NATURAL VEGETATION WILL BE PRESERVED AND PROTECTED AS MUCH AS POSSIBLE AND VEGETATION REMOVAL WILL BE MINIMIZED.
 14. DRAINAGE WAYS AND OUTLETS WILL BE PROTECTED FROM INCREASED FLOWS AND EROSION.
 15. THE CONTRACTOR SHALL NOTIFY ALL OWNERS OF UTILITIES INCLUDING BUT NOT LIMITED TO WATER, SANITARY SEWER, TELEPHONE, ELECTRICAL, NATURAL GAS AND CABLE TELEVISION, OF THE PROPOSED CONSTRUCTION WITHIN THE UTILITIES AREA OF OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR MEETING WITH AND COORDINATING CONSTRUCTION ACTIVITIES WITH THOSE OF THE UTILITY COMPANIES INVOLVED WITH FIELD LOCATION OF ALL EXISTING UTILITIES WITHIN THE AREA OF OPERATIONS. SHOULD THE CONTRACTOR EXPERIENCE A FAILURE BY THE UTILITY COMPANIES TO COMPLY WITH THEIR RESPONSIBILITY OF RELOCATING OR ADJUSTING THEIR FACILITIES, IF ANY, THE OWNER MUST BE NOTIFIED IN WRITING. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
 16. THE CONTRACTOR SHALL FOLLOW AS APPLICABLE, UNLESS STANDARDS HAVE BEEN WAIVED OR MODIFIED:
 - UNIFORM BUILDING CODE, 1997 EDITION, APPENDIX CHAPTER A33, EXCAVATING AND GRADING
 - UNIFORM FIRE CODE

17. FINISH GRADES ARE AT ROADWAY CENTERLINE, UNLESS OTHERWISE SPECIFICALLY NOTED.
 18. NATIVE MATERIAL CAN BE CRUSHED AND PROCESSED ON SITE FOR ROAD BASE MATERIAL.
 19. TEMP. DEBRIS PILES WILL BE LOCATED EVERY 200' AS NEEDED.
 20. ALL ROADWAYS, TRENCHES, DETENTION PONDS AND/OR EXCAVATIONS OF ANY KIND REQUIRING FILL MATERIAL WILL BE INSPECTED AND APPROVED BY THE OWNERS QUALITY CONTROL FIRM PRIOR TO THE PLACEMENT OF ANY FILL MATERIAL.
 21. ALL FILL OR BACK FILL, WHETHER IMPORT OR NATIVE SOILS, WILL BE TESTED FOR DENSITY, MOISTURE AND BEARING AT REGULAR INTERVALS THROUGH THE COURSE OF THE FILL PLACEMENT. ALL FILLS WILL BE PLACED IN LIFTS AS PER THE PLANS AND SANTAQUIN CITY SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE TO NOTIFY THE THE GEOTECH 24 HOURS IN ADVANCE OF SCHEDULED FILL PLACEMENT.
 22. IN THE EVENT OF DISCREPANCIES BETWEEN BID DOCUMENTS AND EXISTING ONSITE CONDITIONS, CONTRACTOR WILL 1) IMMEDIATELY HALT WORK ACTIVITY AND NOTIFY DESIGN ENGINEER OF ANY SUCH DISCREPANCIES 2) UPON RESOLUTION OF DISCREPANCIES, CONTRACTOR WILL SUBMIT COST OF CHANGED CONDITION, IF ANY. 3) PROCEED WITH WORK AFTER RECEIPT OF WRITTEN NOTICE TO COMMENCE WORK.
 23. CONTRACTOR WILL, PRIOR TO INSTALLATION PREPARE AND SUBMIT PRODUCT DATA AND DETAILS FOR MATERIAL USED IN CONJUNCTION WITH THIS PRODUCT IE. OVERFLOW STRUCTURES, DRAINAGE PIPE, FILTER FABRICS, EROSION BLANKETS, GROUT, GUARDRAILS, ROAD SIGNS, ETC.
 24. CUT AND FILL SLOPES MATTING TO BE SEEDED AND TOPSOILED PRIOR TO PLACEMENT OF EROSION BLANKETS.
 25. STAPLE PATTERNS ON EROSION MATS PER SUPPLIERS SPECS

EROSION CONTROL BLANKET – ALL REQUIRED GRADING AND SEEDING IN AREAS TO RECEIVE EROSION CONTROL BLANKET SHOULD BE COMPLETED AND APPROVED BEFORE PLACING THE PRODUCT. APPLY THE BLANKET WITHIN 24 HOURS AFTER SEEDING OR BEFORE PRECIPITATION FALLS. IF THE BLANKET IS NOT INSTALLED AND A PRECIPITATION EVENT OCCURS, CREATING SOIL EROSION, REPLACE ERODED MATERIAL, REWORK THE SOIL, AND RESEED BEFORE INSTALLING THE BLANKET. INSTALL THE EROSION CONTROL BLANKET OR CHANNEL LINER STRICTLY FOLLOWING MANUFACTURER'S SPECIFICATIONS. ALLOW THE BLANKET OR LINER TO LAY LOOSELY ON THE SOIL TO ACHIEVE MAXIMUM SOIL CONTACT. REMOVE ROOTS, BRANCHES, OR OTHER LOOSE OBJECTS THAT CAUSE THE BLANKET OR CHANNEL LINER TO "TENT". PLACE ROOTS AND BRANCHES ON AREAS ALREADY BLANKETED. DO NOT STRETCH THE BLANKET DURING INSTALLATION. STAPLE THE BLANKET OR LINER USING MANUFACTURER'S SPECIFICATIONS. STAPLE REQUIREMENTS VARY ACCORDING TO THE STEEPNESS AND LENGTH OF THE SLOPE. PLACE ADDITIONAL STAPLES IN AREAS SUCH AS: SWALES, BASE OF HUMPS, AGAINST ROCK OUTCROPS AND AS REQUIRED TO ACHIEVE MAXIMUM CONTACT BETWEEN THE BLANKET AND THE SOIL.

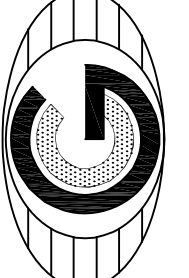
TOPSOIL – PLACE TOPSOIL JUST BEFORE SEEDING TO ELIMINATE COMPETITION FROM WEEDS, COORDINATE TOPSOIL PLACEMENT WITH THE SEEDING WINDOW.

SEEDING WINDOW – COMPLETE ALL GENERAL DISTURBED AREA SEEDING WITHIN THE APPROPRIATE SEEDING WINDOW. IF THE SEEDING IS NOT COMPLETED WITHIN THE GIVEN WINDOW, POSTPONE SEEDING UNTIL THE FOLLOWING YEAR. UNDER CERTAIN CONDITIONS, AN EXCEPTION TO THIS WINDOW MAY BE OBTAINED THROUGH THE REGION LANDSCAPE ARCHITECT. THE ENGINEER APPROVES EXCEPTIONS.

ELEVATION	SEEDING WINDOW
4000 TO 6000 FT	SEPT. 15 TO DEC. 1
ABOVE 6000 FT	SEPT. 1 TO NOV 15

NO.	DESCRIPTION	DATE	APPD.

ORIG. DATE:	2-6-21
SURVEY BY:	CPW
DRAWN BY:	CPW
DESIGNED BY:	CPW
CHECKED BY:	CPW
SCALE:	N/A



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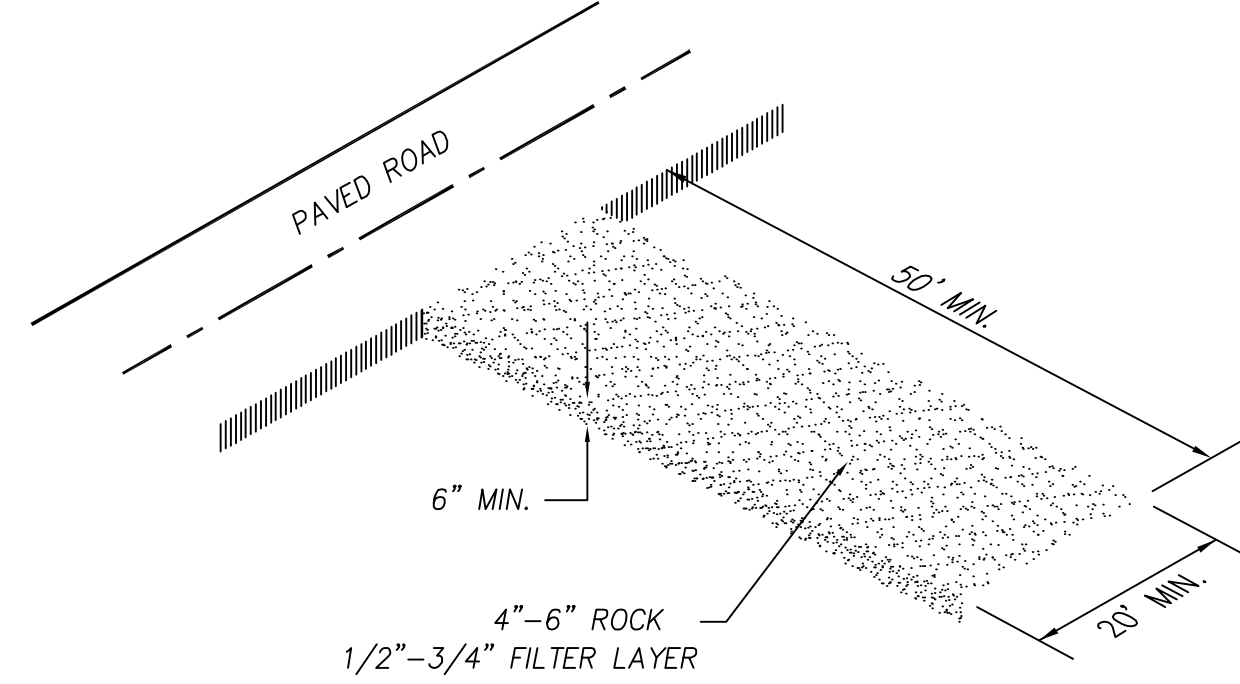
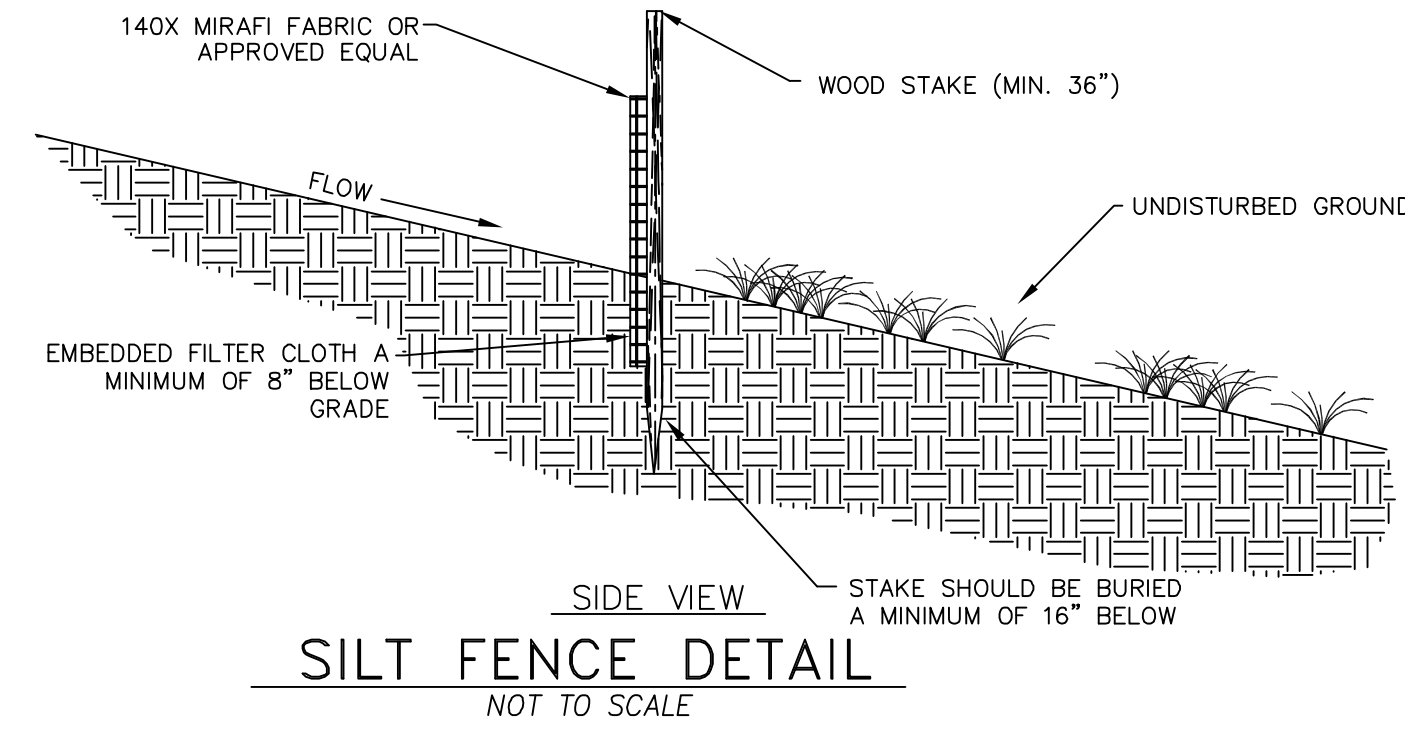
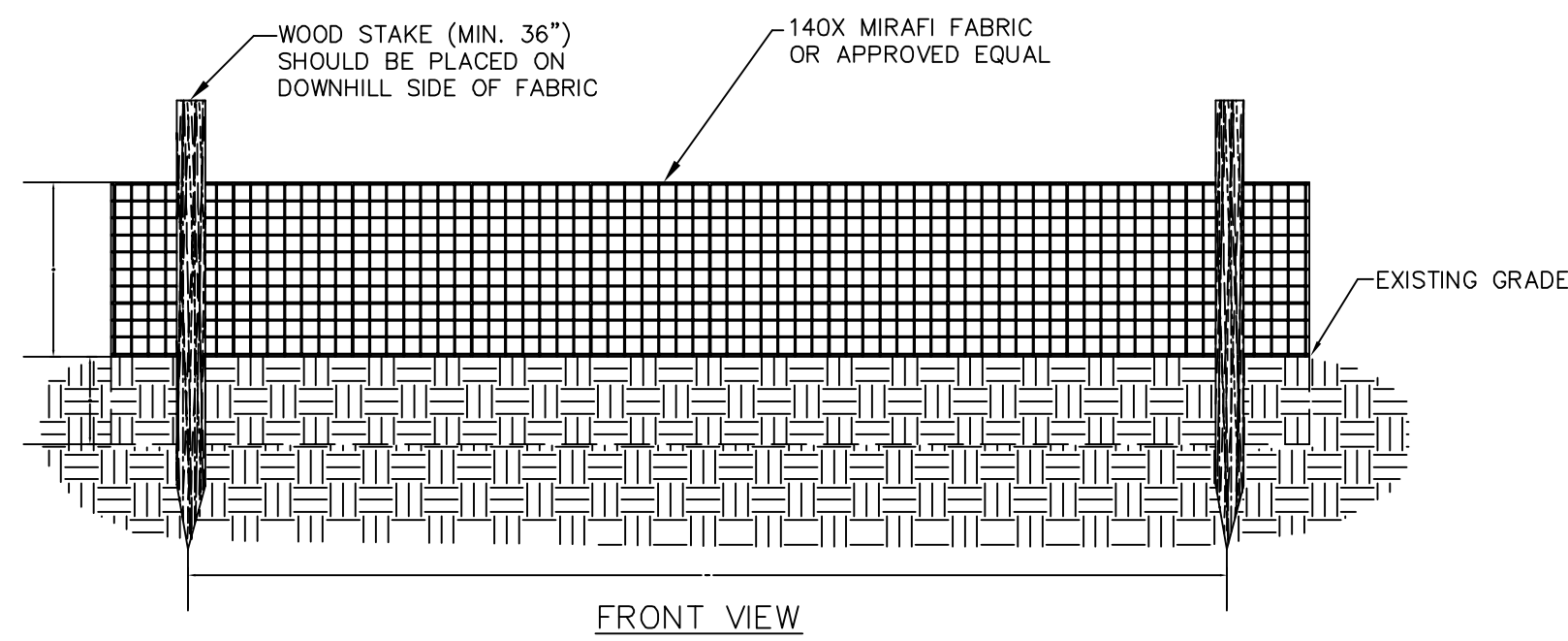
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 CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION
 EROSION CONTROL DETAILS and NOTES
 10-15-2024

SANTAQUIN
CITY



SHEET NO. ER-1



- NOTES:**
- 1-CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%
 - 2-COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN IN USE FOR MORE THEN 3 MONTHS)
 - 3-PLACE COURSE AGGREGATE 1 TO 2-1/2 INCHES SIZE, TO A MINIMUM DEPTH OF 8 INCHES
 - 4-LOCATE ONSITE WASHOUT AREA MORE THEN 50 FT AWAY FROM NEAREST STORM INLET.
 - 5-WASHOUT CONCRETE WASTE INTO WASHOUT PIT OR COMMERCIAL WASHOUT BIN ONLY.

VEHICLE TRACKING DETAIL
NOT TO SCALE

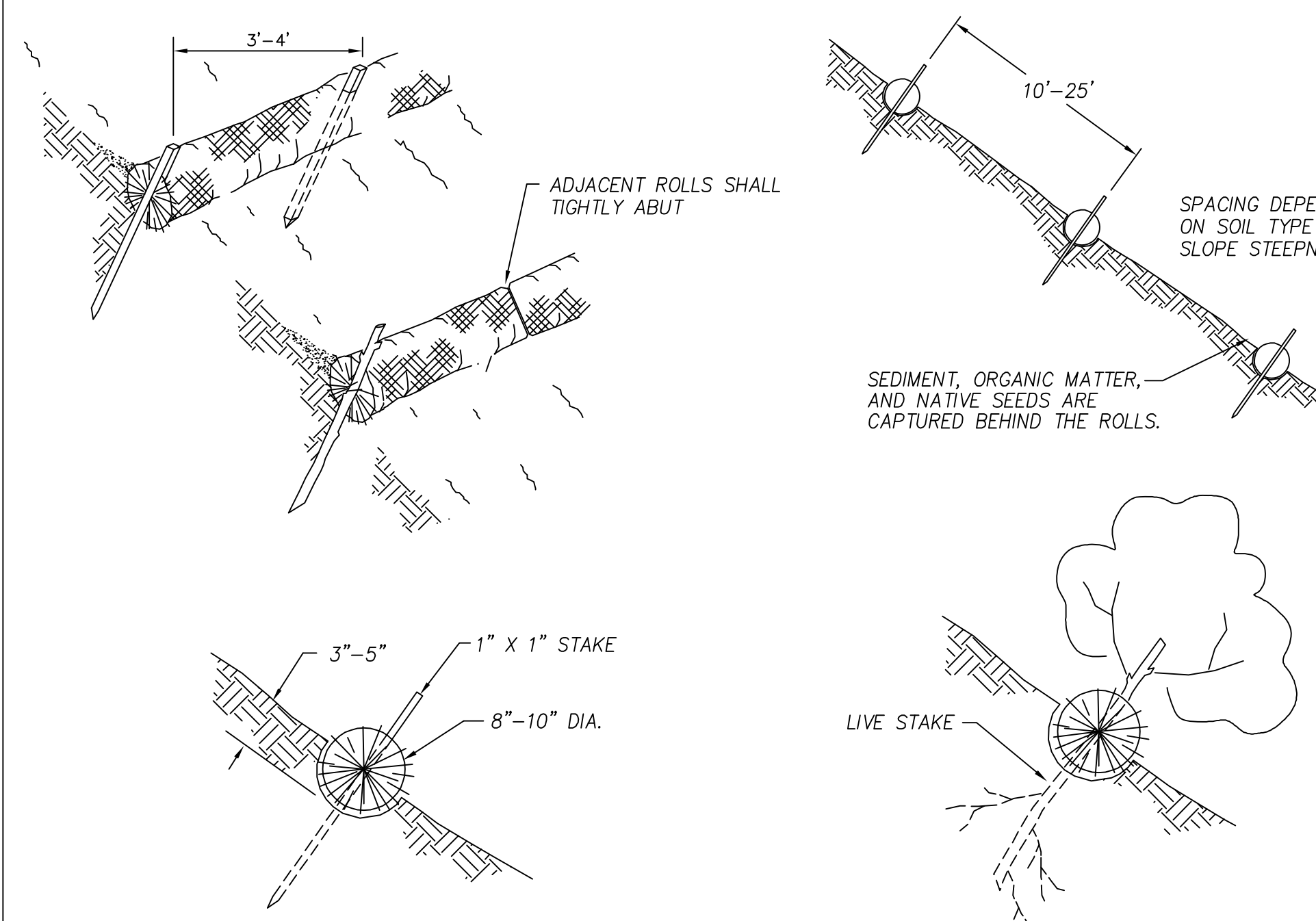
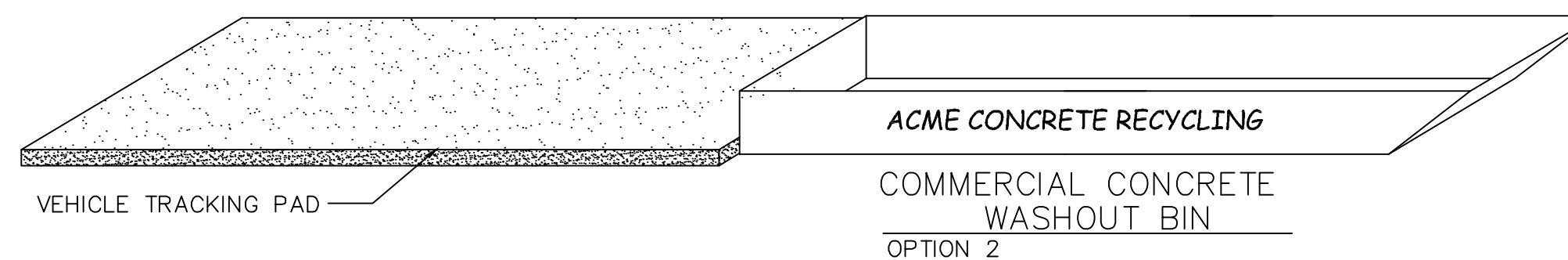
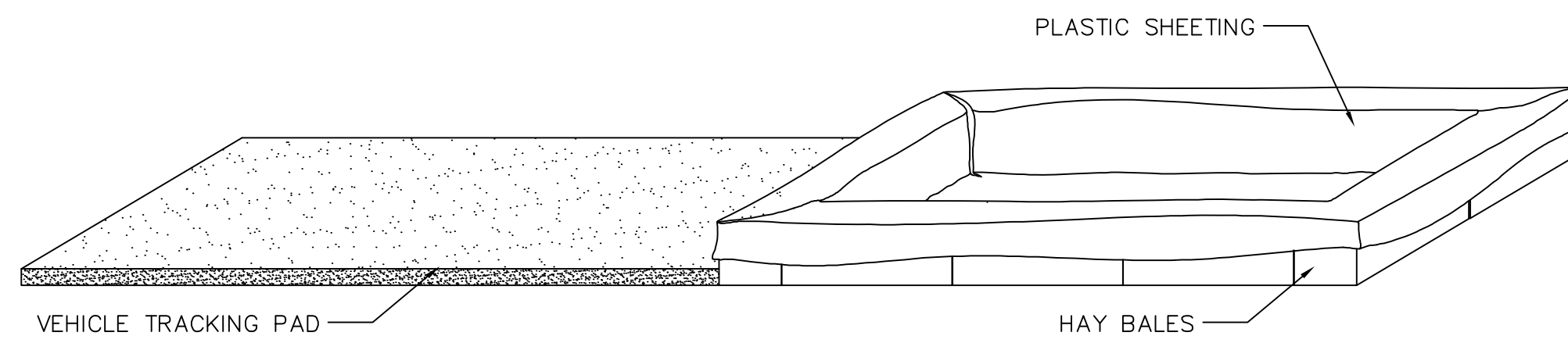
BMP

- 1-AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON SITE.
- 2-PERFORM CONCRETE TRUCK WASHOUT OFF SITE OR IN DESIGNATED AREA
- 3-DO NOT WASHOUT CONCRETE TRUCKS INTO STORM DRAIN, OPEN DITCHES, STREETS OR STREAMS
- 4-LOCATE ONSITE WASHOUT AREA MORE THEN 50 FT AWAY FROM NEAREST STORM INLET.
- 5-WASHOUT CONCRETE WASTE INTO WASHOUT PIT OR COMMERCIAL WASHOUT BIN ONLY.

USE OF CONCRETE WASHOUT

- 1-IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE CONCRETE WASHOUT AREA.
- 2-WASHOUT CONCRETE WASTE INTO PIT OR CONTAINER WHERE IT CAN SET AND LATER BE BROKEN UP AND DISPOSED OF PROPERLY
- 3-NO WASTE OR LITTER IS TO BE PERMITTED TO ACCUMULATE IN THE WASHOUT AREA. AREA SHOULD BE CLEAN AT THE END OF EACH WORK DAY.
- 4-INSTALL PROPER WASTE WATER PROTECTION AT ALL EFFECTED DOWNHILL STORM DRAINS AND INLETS
- 5-INSTALL A VEHICLE TRACKING PAD TO PROTECT THE STREETS FROM MUD AND OTHER DEBRIS FROM TRUCKS. MAKE SURE ALL TRUCKS ARE CLEAR OF MUD AND ROCK THAT CAN FALL FROM TRUCK WHILE TRAVELING ON STREETS.

CONCRETE WASHOUT AREA
NOT TO SCALE



NOTES:

Straw wattles shall be installed as soon as construction will allow or when designated by the Engineer. Straw wattles shall be placed in shallow trenches and staked along the contour of disturbed or newly constructed slopes, in accordance with the Plans, perpendicular to the flow direction and parallel to the slope contour.

The wattles shall be installed at the intervals designated by the Engineer.

Trench construction and wattle installation shall begin from the base of the slope and work uphill. Excavated material shall be spread evenly along the uphill slope and compacted using hand tamping or other method approved by the Engineer. On gradually sloped or clay-type soils trenches shall be 2 to 3 inches deep. On loose soils, in high rainfall areas, or on steep slopes, trenches shall be 3 to 5 inches deep, or half the thickness of the wattle.

The wattle shall be install snugly into the trench, abutting adjacent wattles tightly, end to end, without overlapping the ends. Wattles shall be staked at each end and at 4 foot centers along their entire length. When trench conditions require, pilot holes for the stakes shall be driven through the wattle and into the soil using a straight bar. Stakes shall be driven through the middle of the wattle, leaving 2 to 3 inches of the stake protruding above the wattle.

Wattles shall be inspected regularly to ensure they remain thoroughly entrenched and in contact with the soil, and immediately after a runoff producing rainfall.

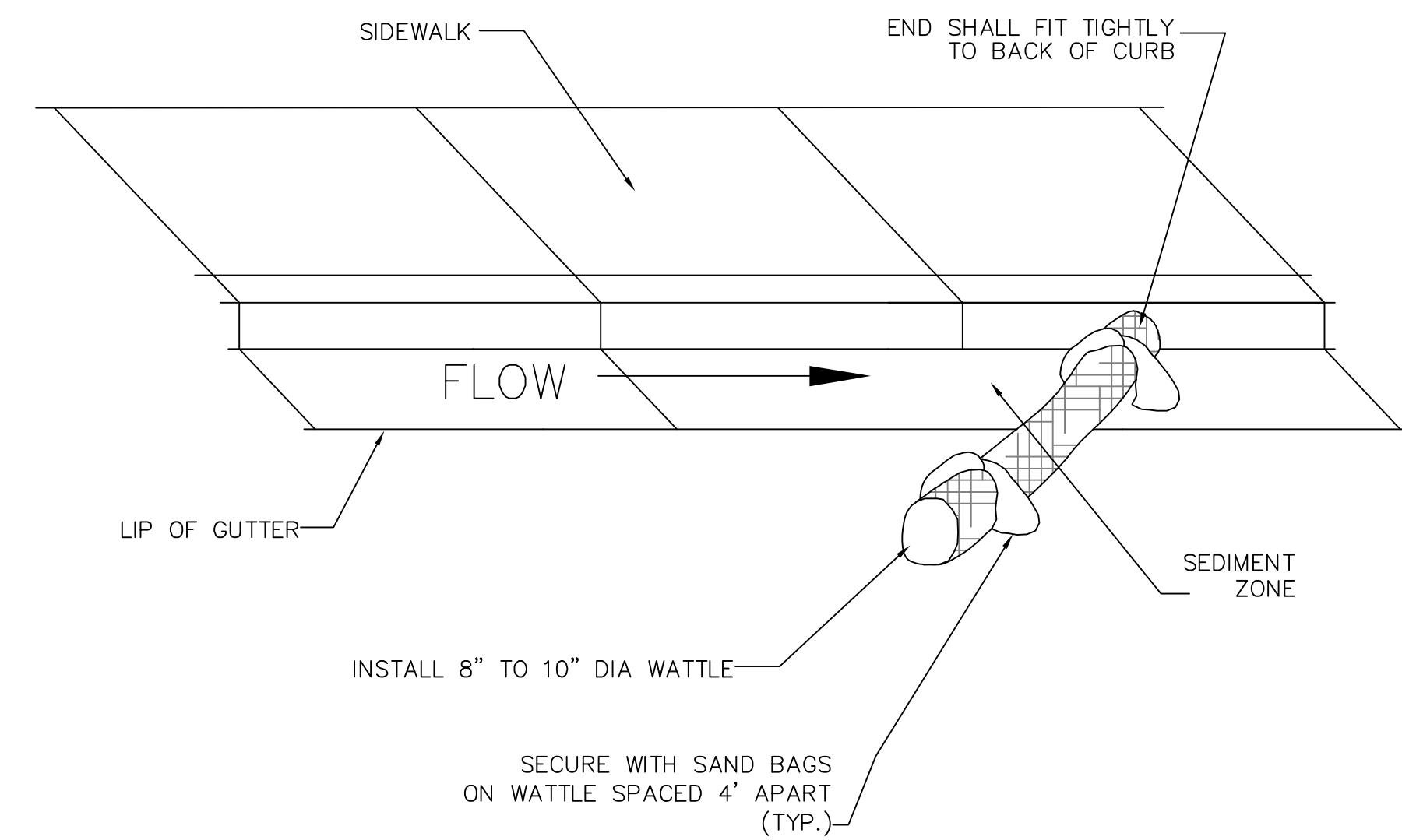
STRAW WATTLE (SILT FENCE ALTERNATIVE)
NOT TO SCALE

NOTE:
TYPICALLY STRAW BALES ARE NOT RECOMMENDED FOR INLET PROTECTION BARRIERS.

PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.

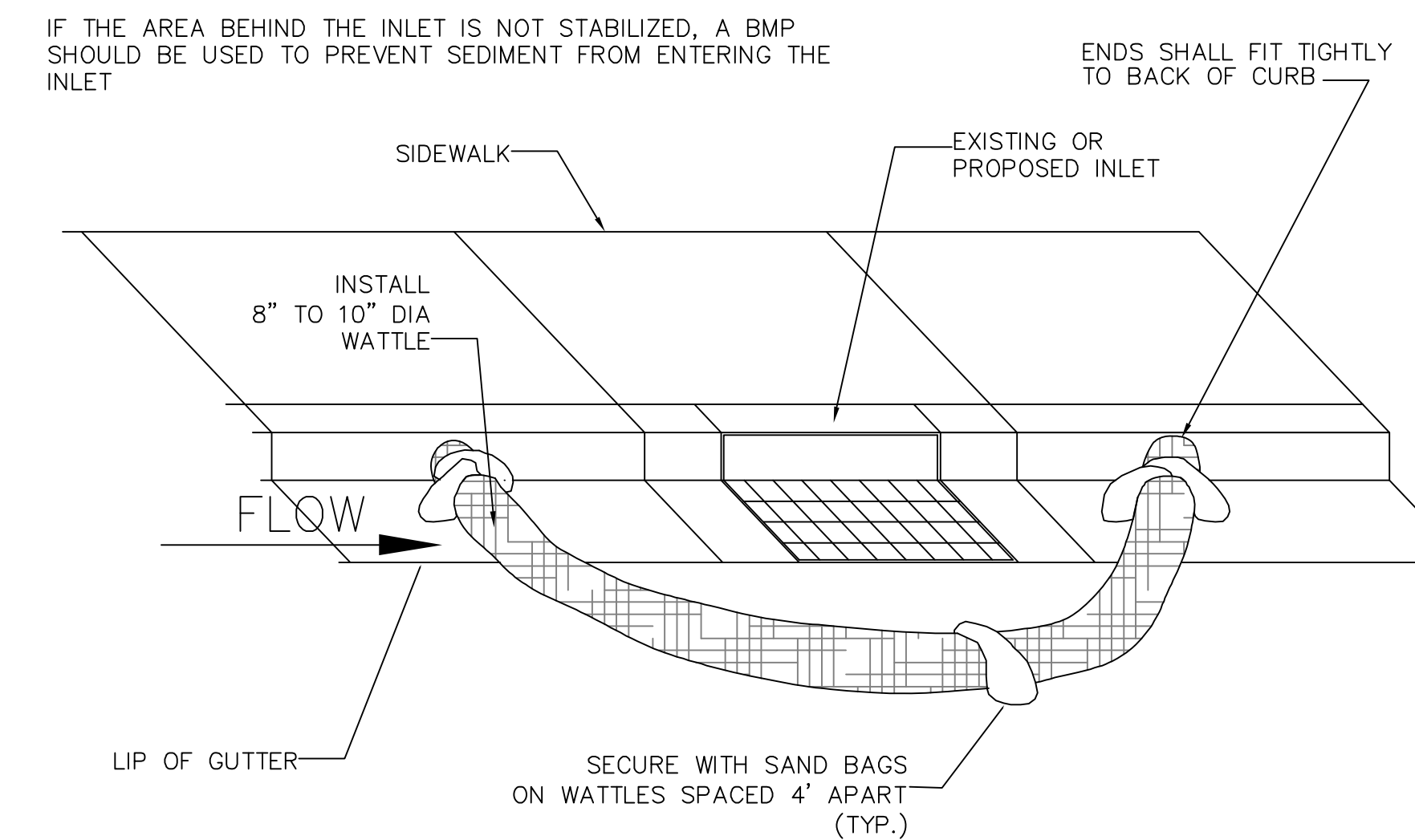
SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC TO BE USED TO WEIGH DOWN WATTLE IN AREAS WHERE THE WATER FLOW MAY MOVE THE WATTLE.

INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

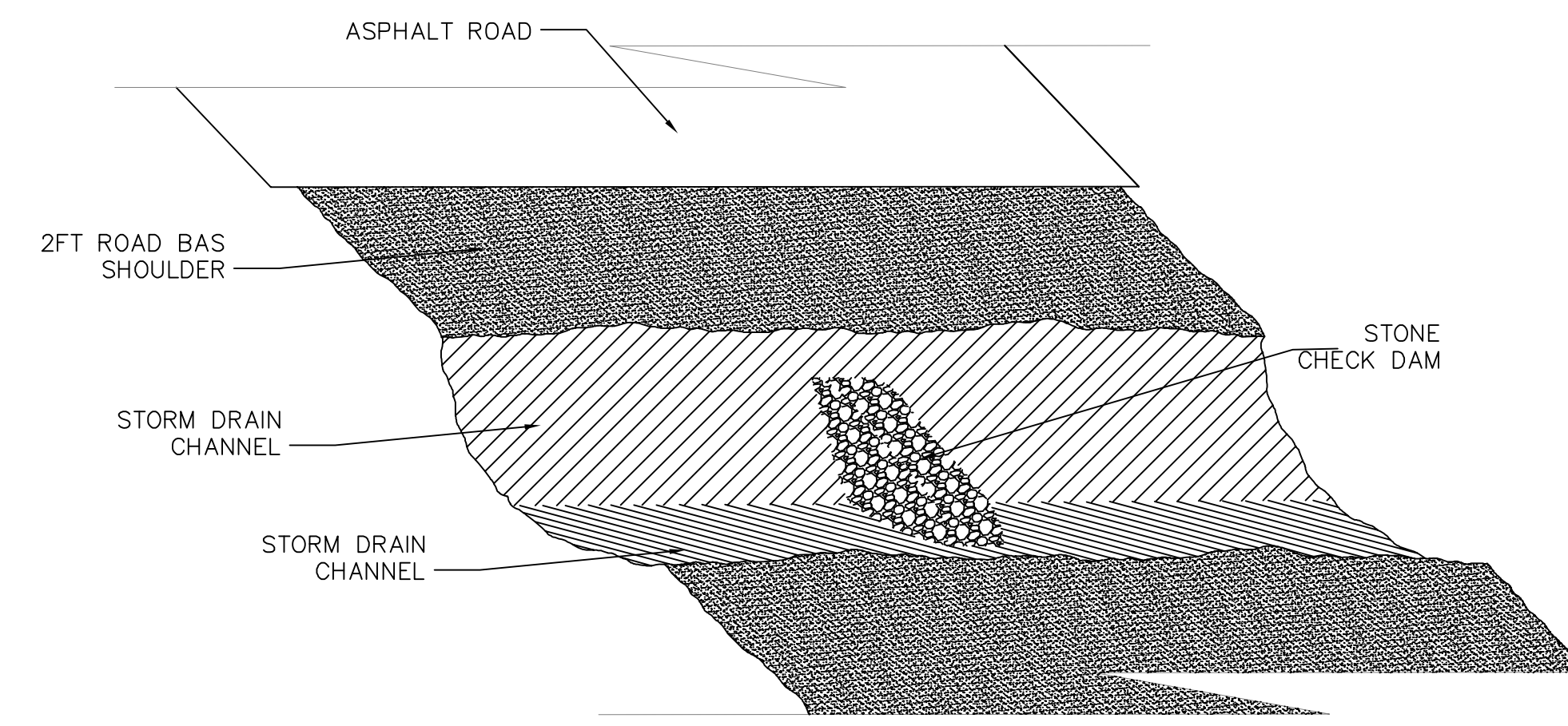


NOTE:
INSTALL GUTTER WATTLE MIDWAY BETWEEN IMPACTED INLETS AND CONSTRUCTION DISTURBANCE.

GUTTER PROTECTION SETUP



INLET PROTECTION BARRIERS
NOT TO SCALE



DRAINAGE CHANNEL PROTECTION
NOT TO SCALE

- NOTES:**
1. PLACE A CHECK DAM AT EVERY 100 LINIER FEET OF DRAIN CHANNEL
 2. PLACE CHECK DAMS PERPENDICULAR TO THE FLOW LINE OF THE CHANNEL
 3. CONSTRUCT CHECK DAMS SO THAT WATER DOES NOT FLOW AROUND THE ENDS OF THE DAM
 4. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.

See **SANTAQUIN CITY** specifications for further information.

NO.	DESCRIPTION	DATE	APPD.

ORIG. DATE:	2-6-21
SURVEY BY:	CPW
DRAWN BY:	CPW
DESIGNED BY:	CPW
CHECKED BY:	CPW
SCALE:	N/A

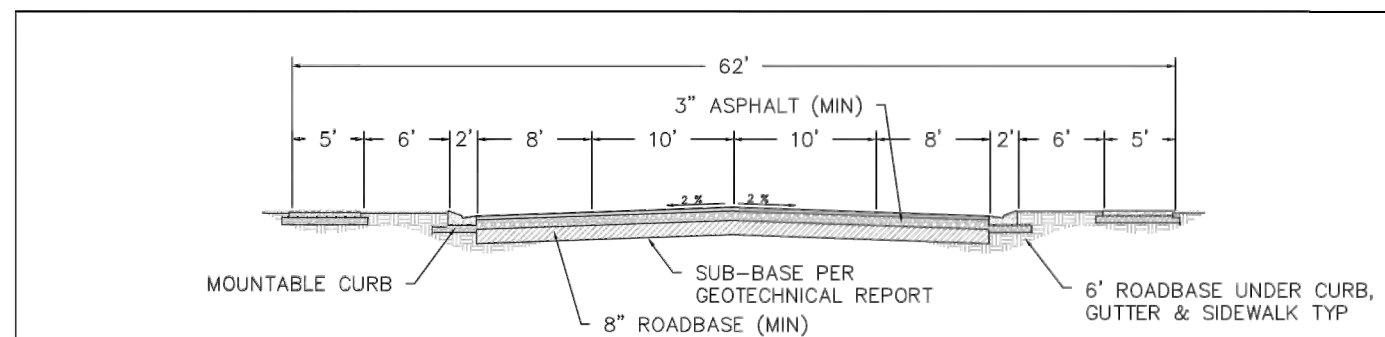
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STRATTON MEADOW SUBDIVISION
EROSION CONTROL DETAILS and NOTES
10-15-2024

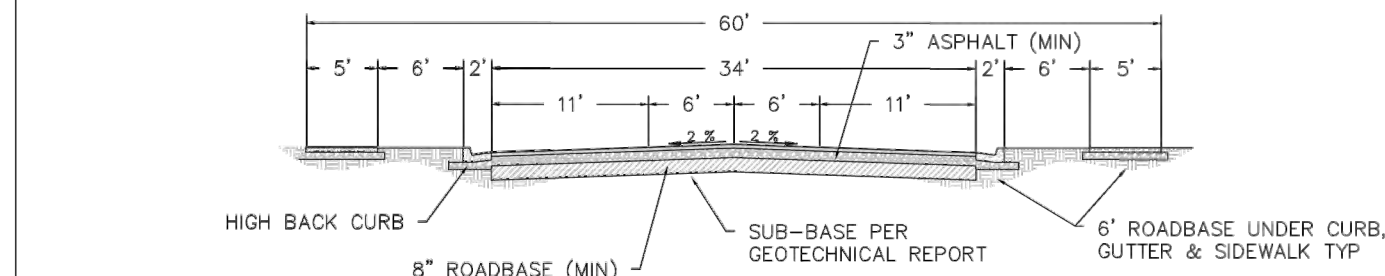
SANTAQUIN CITY





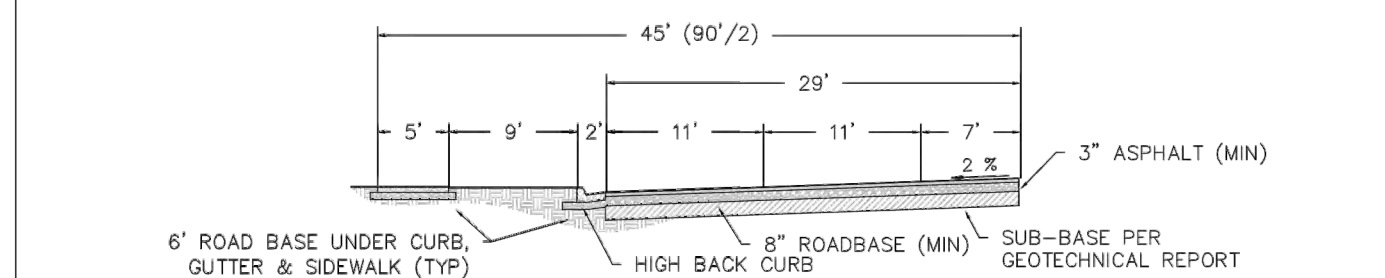
NOTES:
 1. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY REQUIRE THE ADDITION OF RIGHT TURN LANES AT INTERSECTIONS.
 2. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY MODIFY THIS SECTION FOR DEVELOPMENTS WITH AVERAGE BUILDABLE SLOPE > 10%.
 3. AS APPROVED BY CITY COUNCIL ON MARCH 1, 2022, THIS IS THE REQUIRED MINIMUM CROSS SECTION FOR ALL LOCAL STREETS/ROADS APPROVED FOR DEVELOPMENT PRIOR TO DECEMBER 19, 2023.

**2-LANE/PARKING BOTH SIDES
62' LOCAL**
NOT TO SCALE



NOTES:
 1. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY REQUIRE THE ADDITION OF RIGHT TURN LANES AT INTERSECTIONS.
 2. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY MODIFY THIS SECTION FOR DEVELOPMENTS WITH AVERAGE BUILDABLE SLOPE > 10%.

**3-LANE/NO PARKING
60' COLLECTOR**
NOT TO SCALE



NOTES:
 1. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY REQUIRE THE ADDITION OF RIGHT TURN LANES AT INTERSECTIONS.
 2. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY MODIFY THIS SECTION FOR DEVELOPMENTS WITH AVERAGE BUILDABLE SLOPE > 10%.

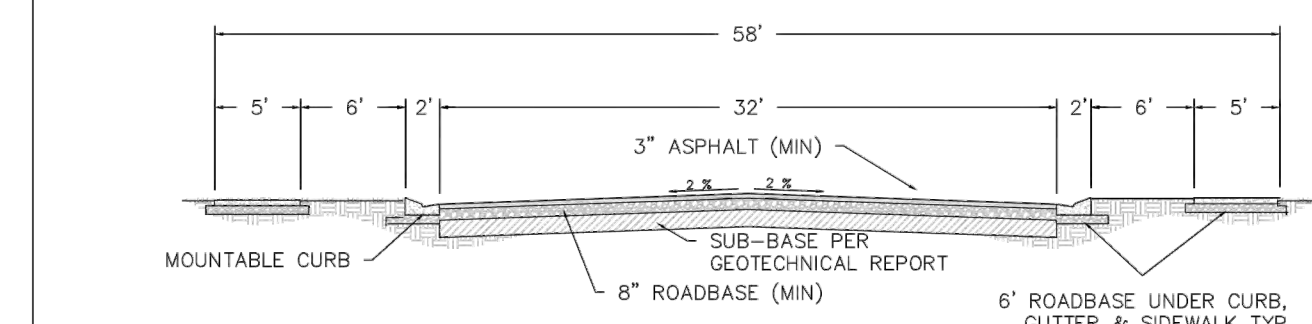
**5-LANE/NO PARKING
90' ARTERIAL**
NOT TO SCALE

NOTES:
 STANDARD ROAD CROSS SECTIONS MAY BE MODIFIED IN HILLSIDE DEVELOPMENT ZONES ACCORDING TO A DEVELOPMENT AGREEMENT.

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DESIGNED BY: [Signature]	CHECKED BY: [Signature]
DATE: 10/15/2024	REVISION: 1

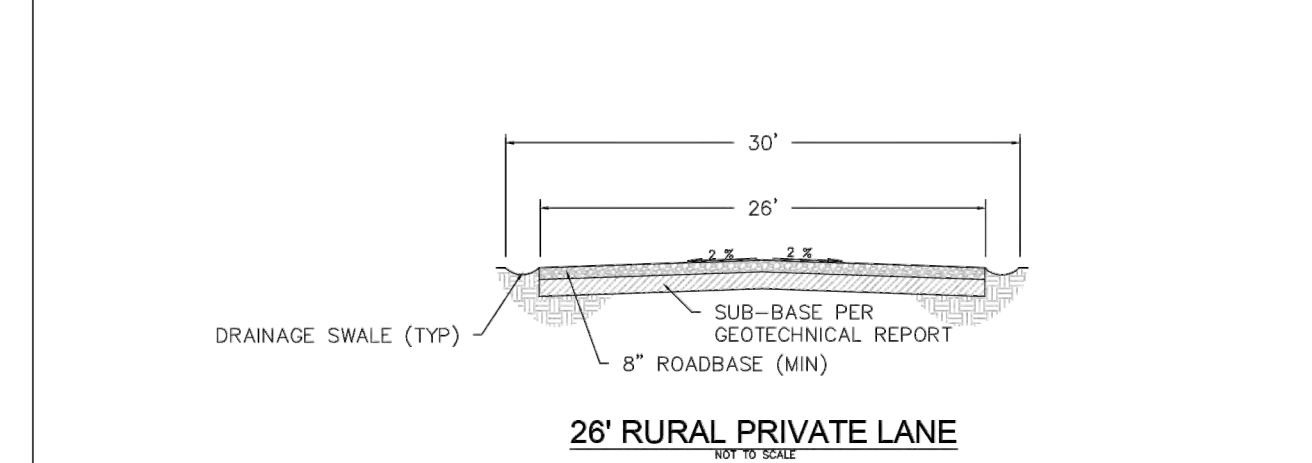
STANDARD STREET CROSS SECTION
 SANTAQUIN CITY
 110 SOUTH CENTER STREET
 NOT TO SCALE

ST1



**2-LANE MINIMUM ASPHALT WIDTH
58' LOCAL**
NOT TO SCALE

NOTES:
 1. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY REQUIRE THE ADDITION OF RIGHT TURN LANES AT INTERSECTIONS.
 2. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY MODIFY THIS SECTION FOR DEVELOPMENTS WITH AVERAGE BUILDABLE SLOPE > 10%.
 3. AS APPROVED BY CITY COUNCIL ON DECEMBER 19, 2023, THIS IS NOW THE MINIMUM CROSS SECTION FOR ALL NEW LOCAL STREETS/ROADS.



26' RURAL PRIVATE LANE
NOT TO SCALE

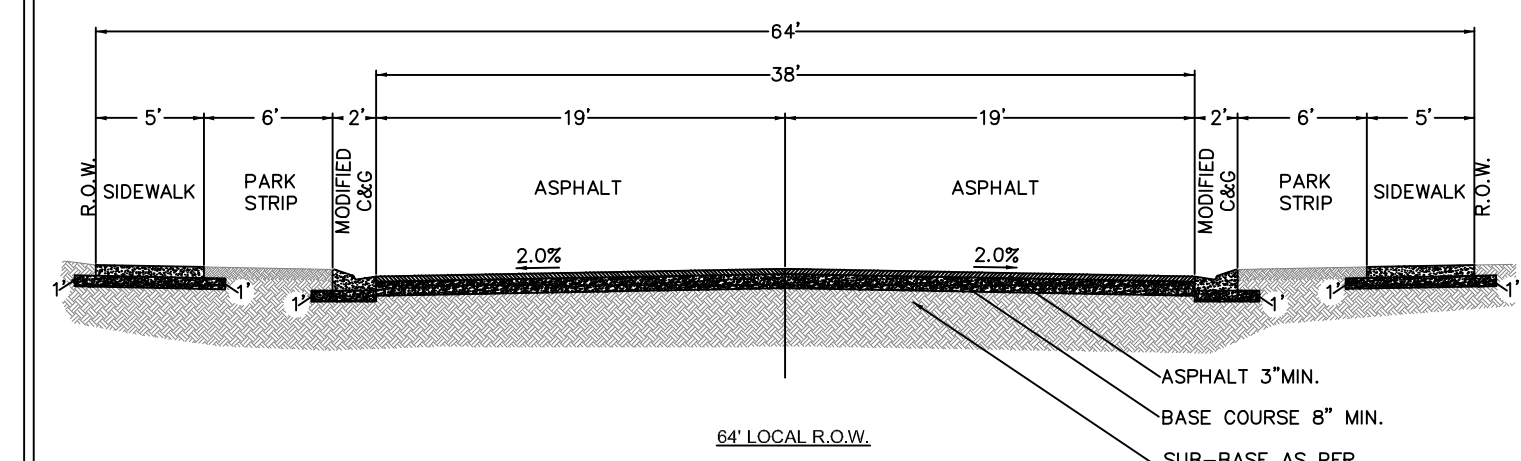
NOTES:
 1. TURN-AROUND MUST MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE APPENDIX D (LATEST ADOPTED VERSION).
 2. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY REQUIRE THE ADDITION OF RIGHT TURN LANES AT INTERSECTIONS.
 3. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY MODIFY THIS SECTION FOR DEVELOPMENTS WITH AVERAGE BUILDABLE SLOPE > 10%.

NOTES:
 STANDARD ROAD CROSS SECTIONS MAY BE MODIFIED IN HILLSIDE DEVELOPMENT ZONES ACCORDING TO A DEVELOPMENT AGREEMENT.

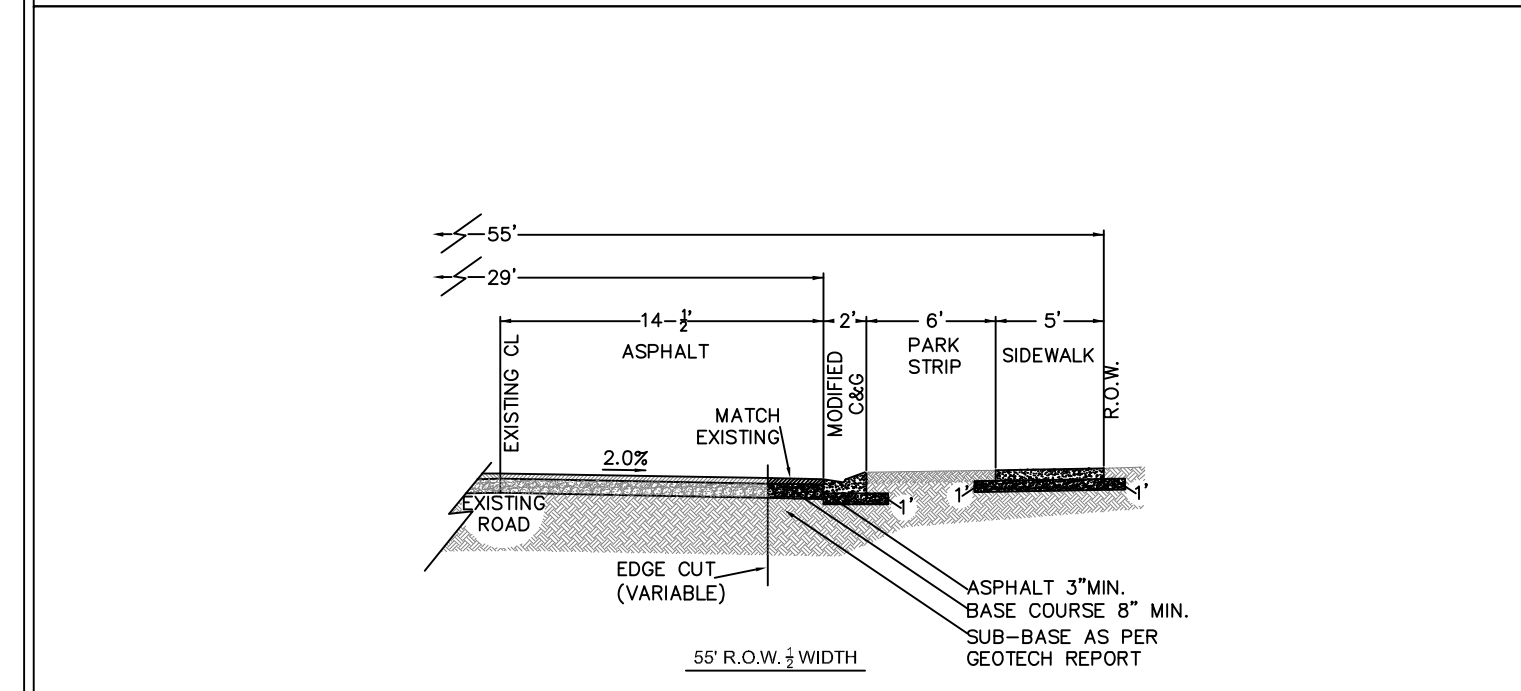
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STANDARD STREET CROSS SECTION
 SANTAQUIN CITY
 110 SOUTH CENTER STREET
 NOT TO SCALE

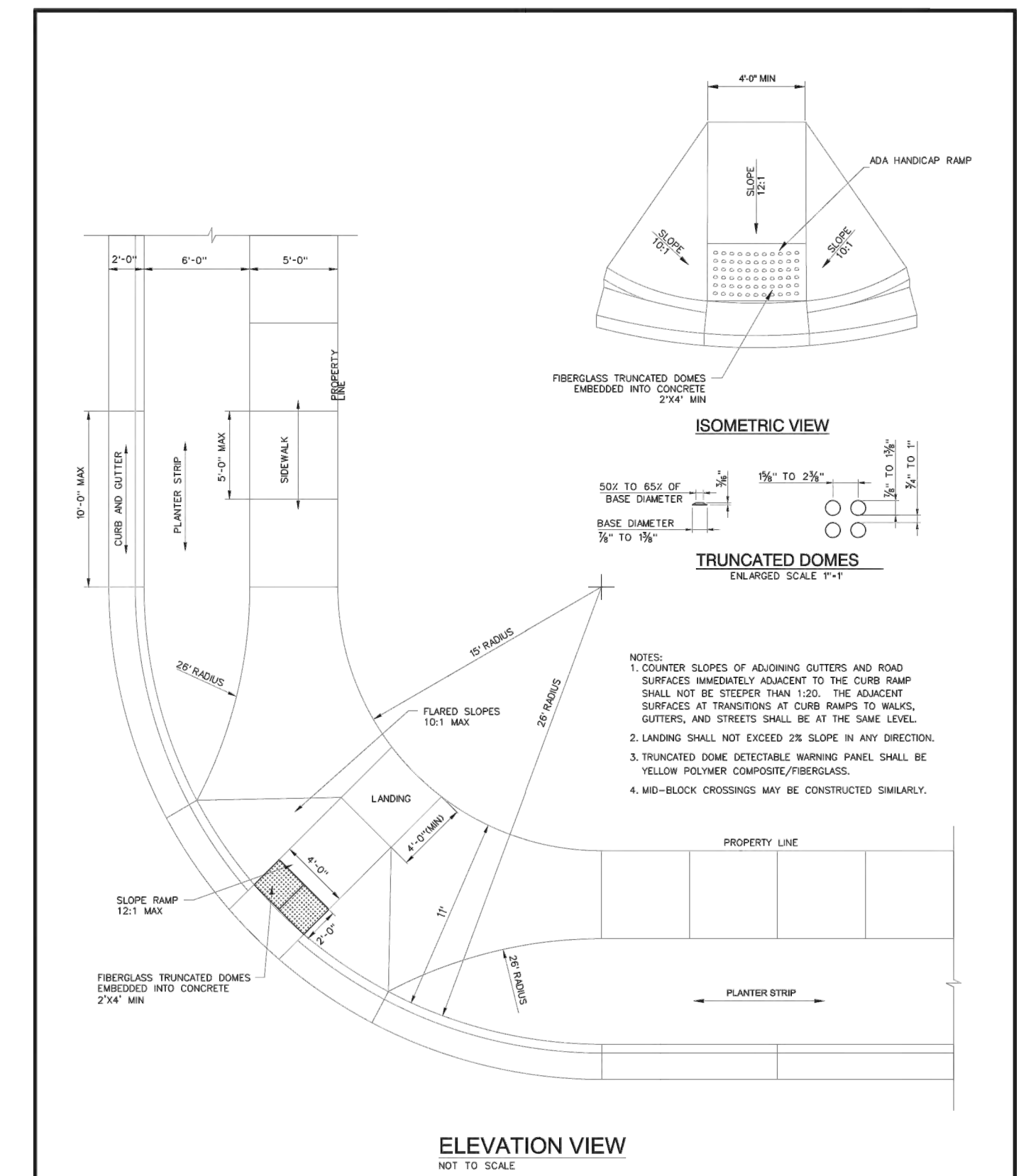
ST2



NOT TO SCALE



NOT TO SCALE

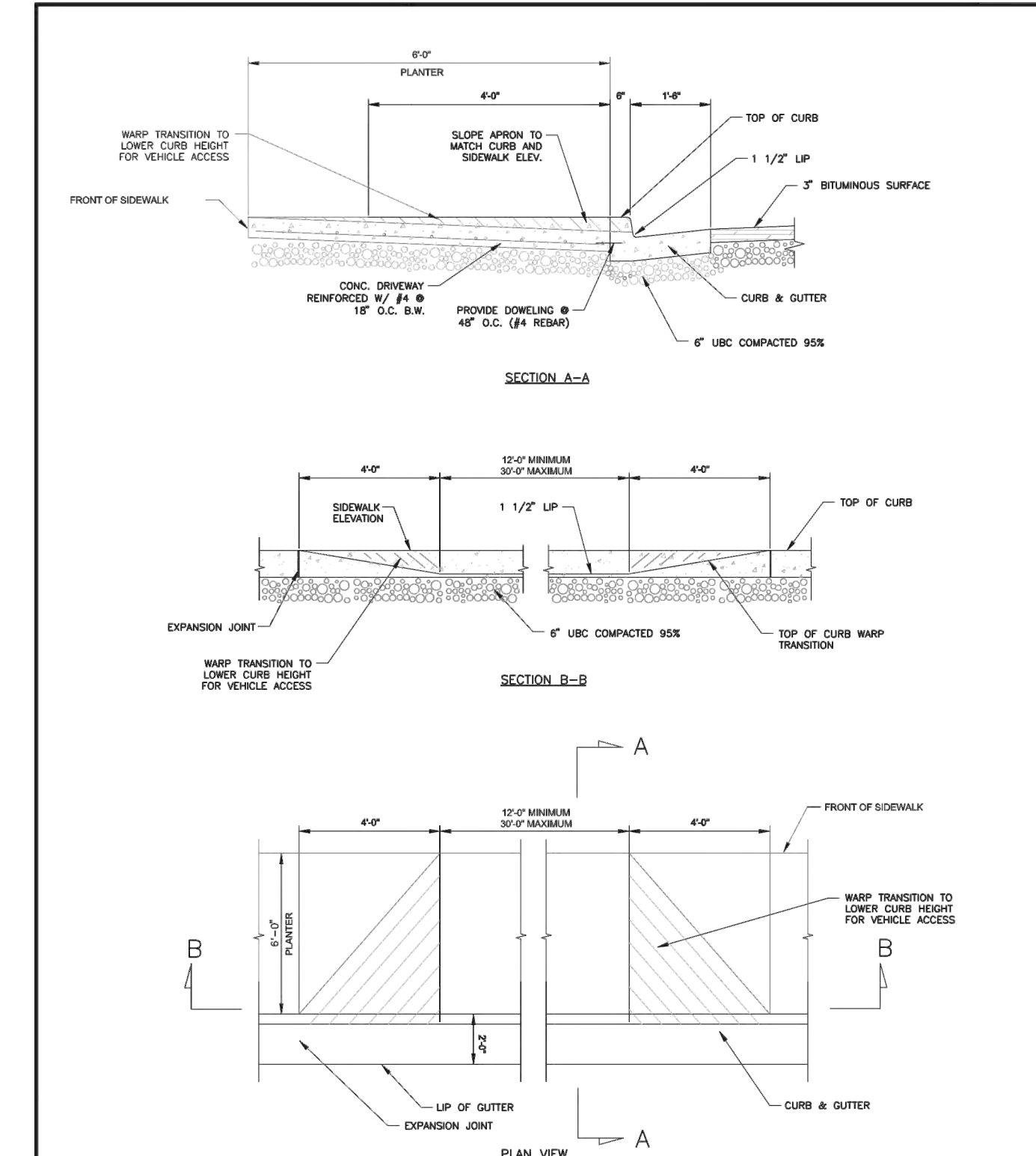


ELEVATION VIEW
NOT TO SCALE

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DESIGNED BY: [Signature]	CHECKED BY: [Signature]
DATE: 10/15/2024	REVISION: 1

RESIDENTIAL CURB RAMP AT INTERSECTION
 SANTAQUIN CITY
 275 WEST MAIN STREET
 NOT TO SCALE

CG2A

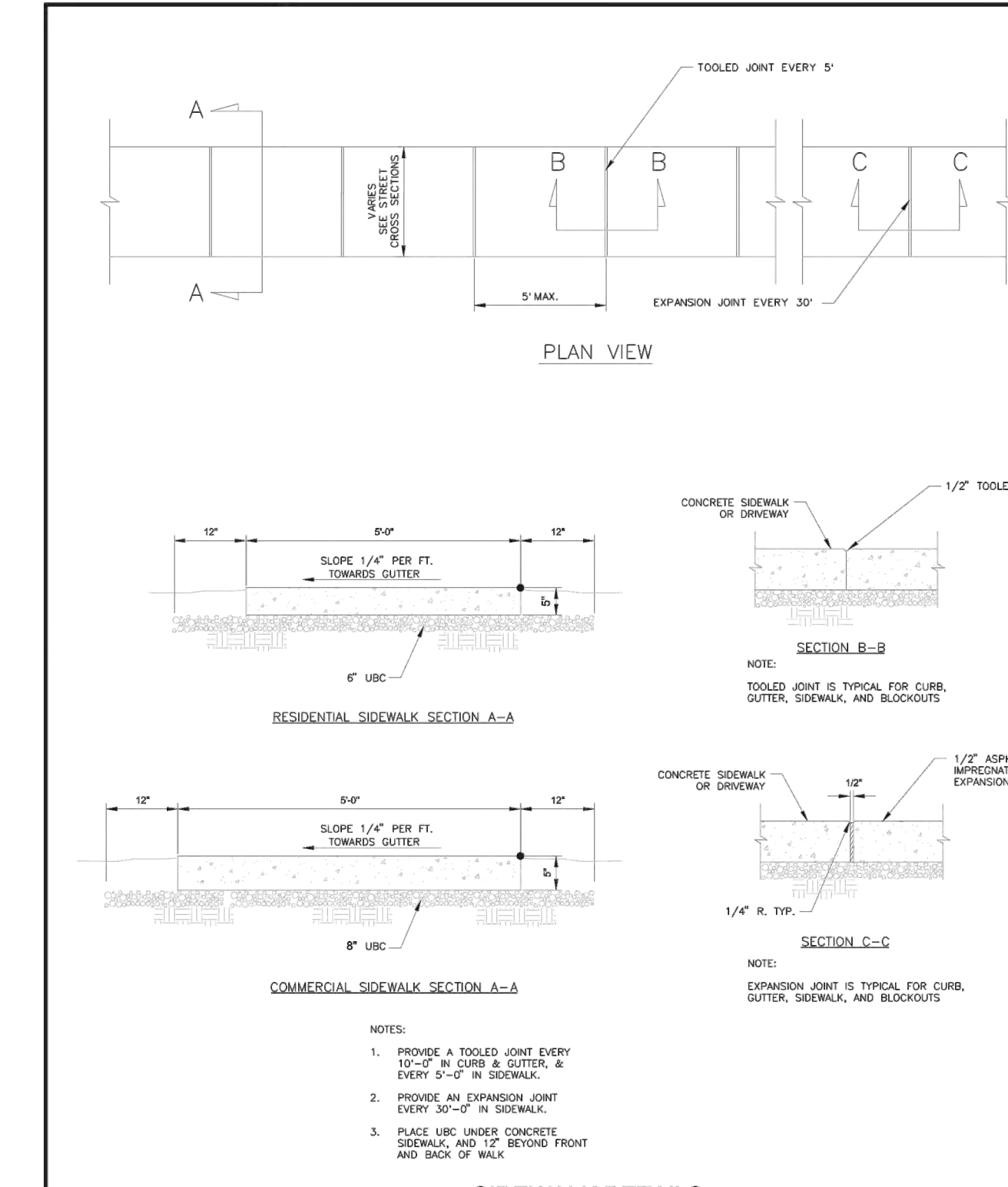


DRIVEWAY APPROACH WITH PARK STRIP
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DATE: 10/15/2024	REVISION: 1

DRIVEWAY APPROACH WITH PARK STRIP
 SANTAQUIN CITY
 275 WEST MAIN STREET
 NOT TO SCALE

CG3

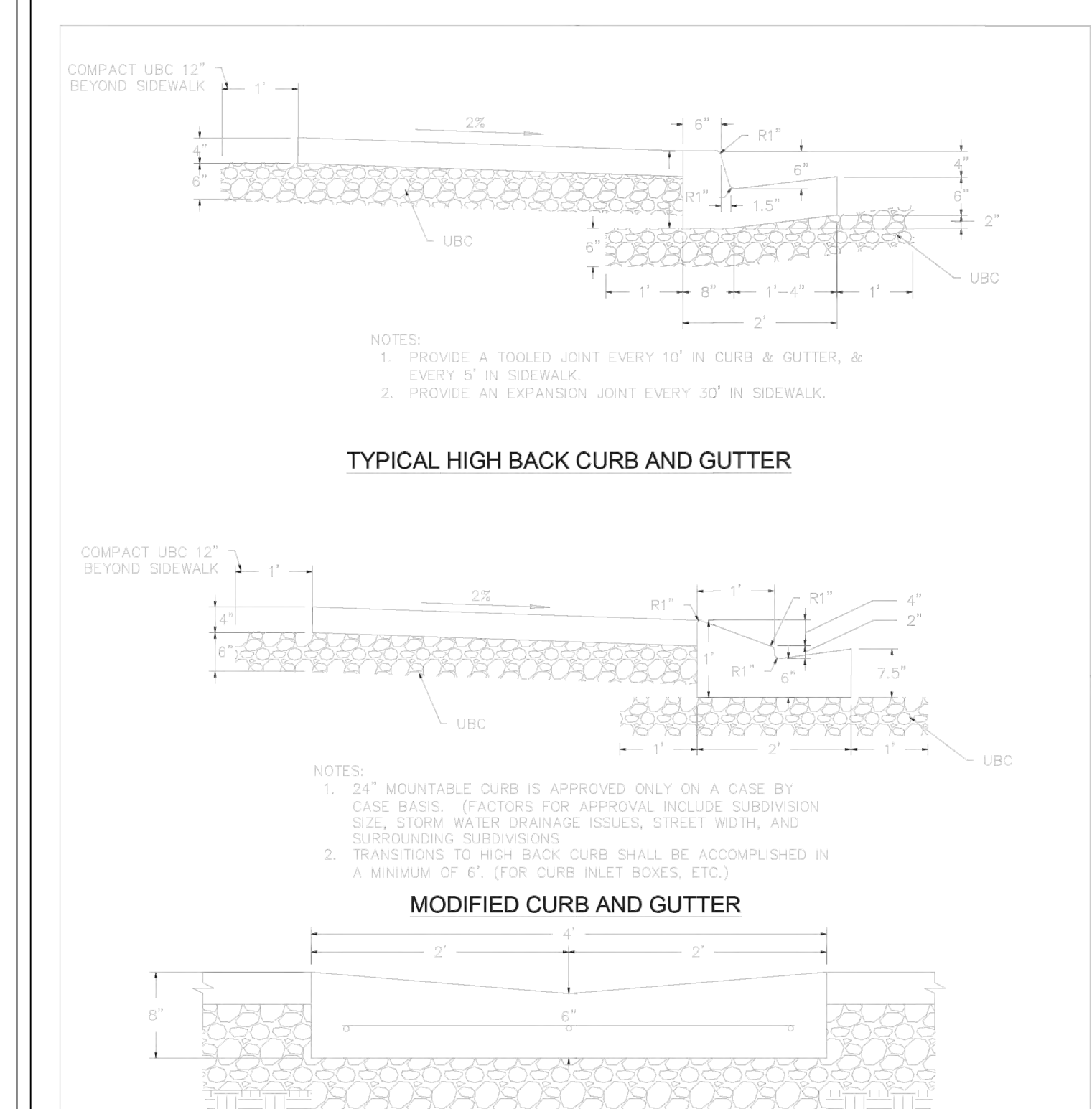


SIDEWALK DETAILS
NOT TO SCALE

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DATE: 10/15/2024	REVISION: 1

SIDEWALK DETAILS
 SANTAQUIN CITY
 275 WEST MAIN STREET
 NOT TO SCALE

CG5

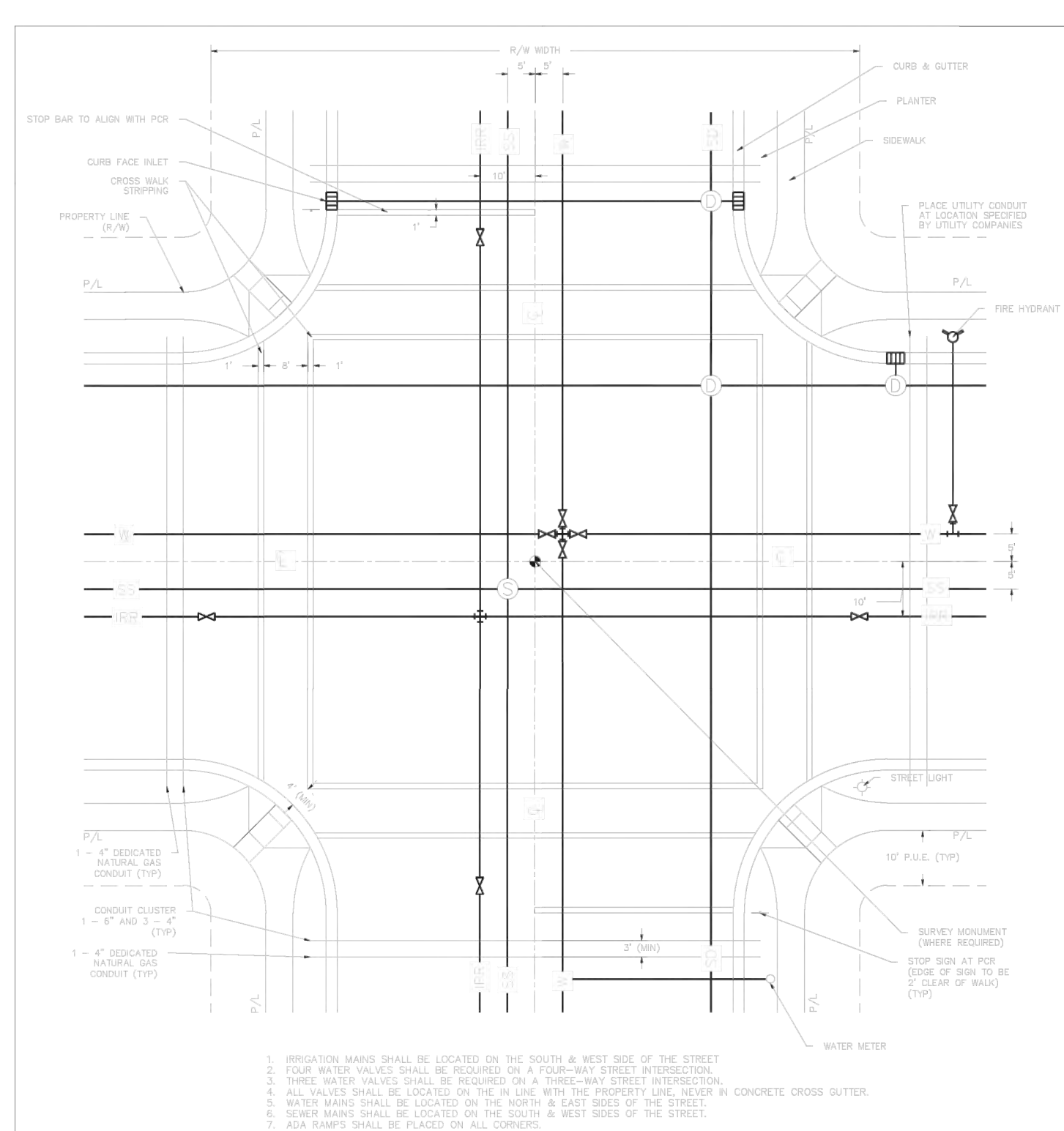


CROSS GUTTER

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DATE: 10/15/2024	REVISION: 1

CURB & GUTTER AND CROSS GUTTER DETAILS
 SANTAQUIN CITY
 275 WEST MAIN STREET
 NOT TO SCALE

CG4



STREET UTILITY LOCATIONS
NOT TO SCALE

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DATE: 10/15/2024	REVISION: 1

STREET UTILITY LOCATIONS PLAN VIEW
 SANTAQUIN CITY
 275 WEST MAIN STREET
 NOT TO SCALE

UT1

NO.	DESCRIPTION	DATE	APPD.

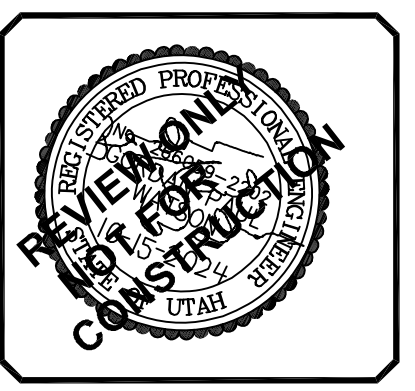
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SURVEY BY: GFW	CHECKED BY: GFW
DRAWN BY: GFW	DESIGNED BY: GFW

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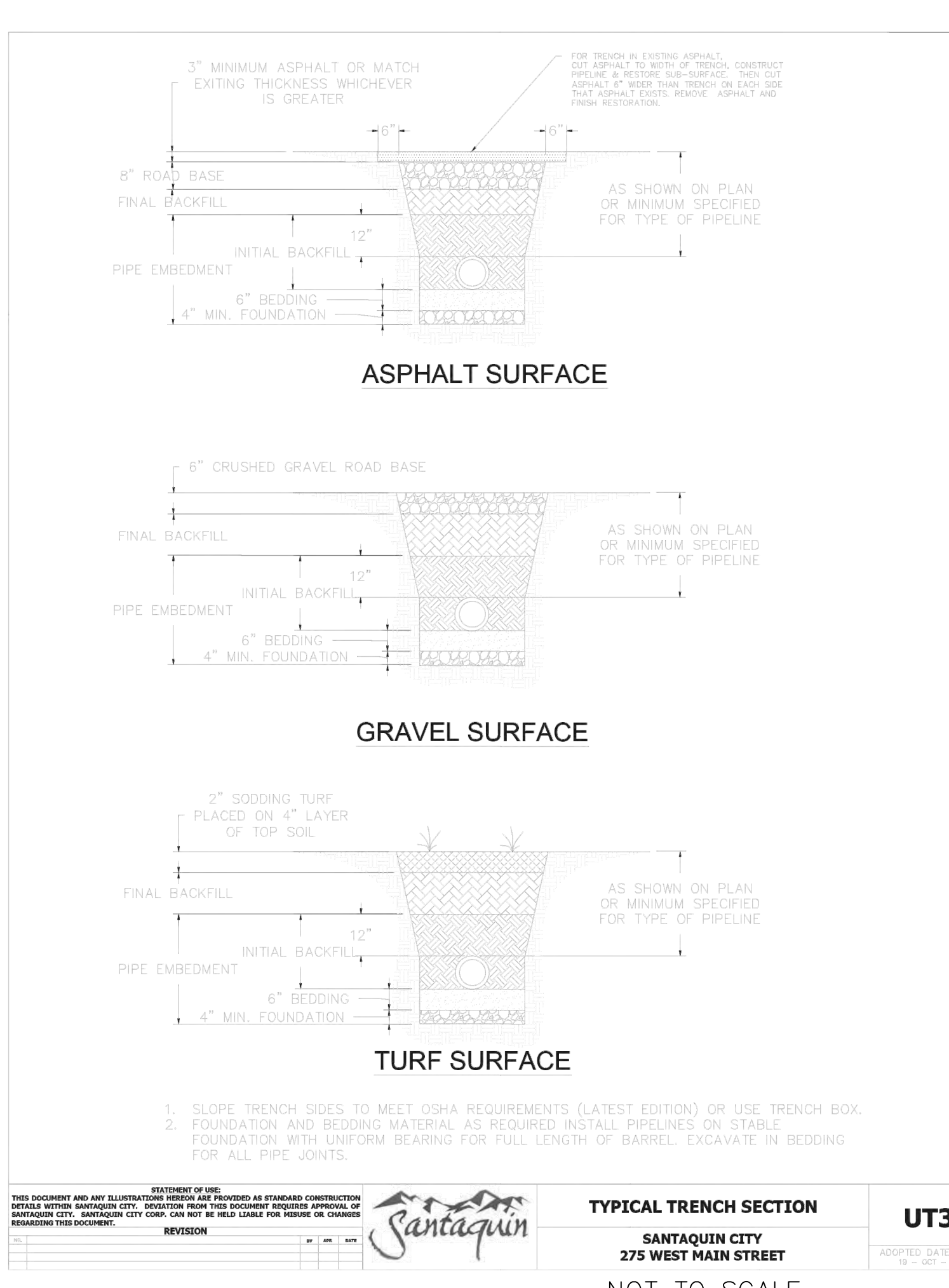
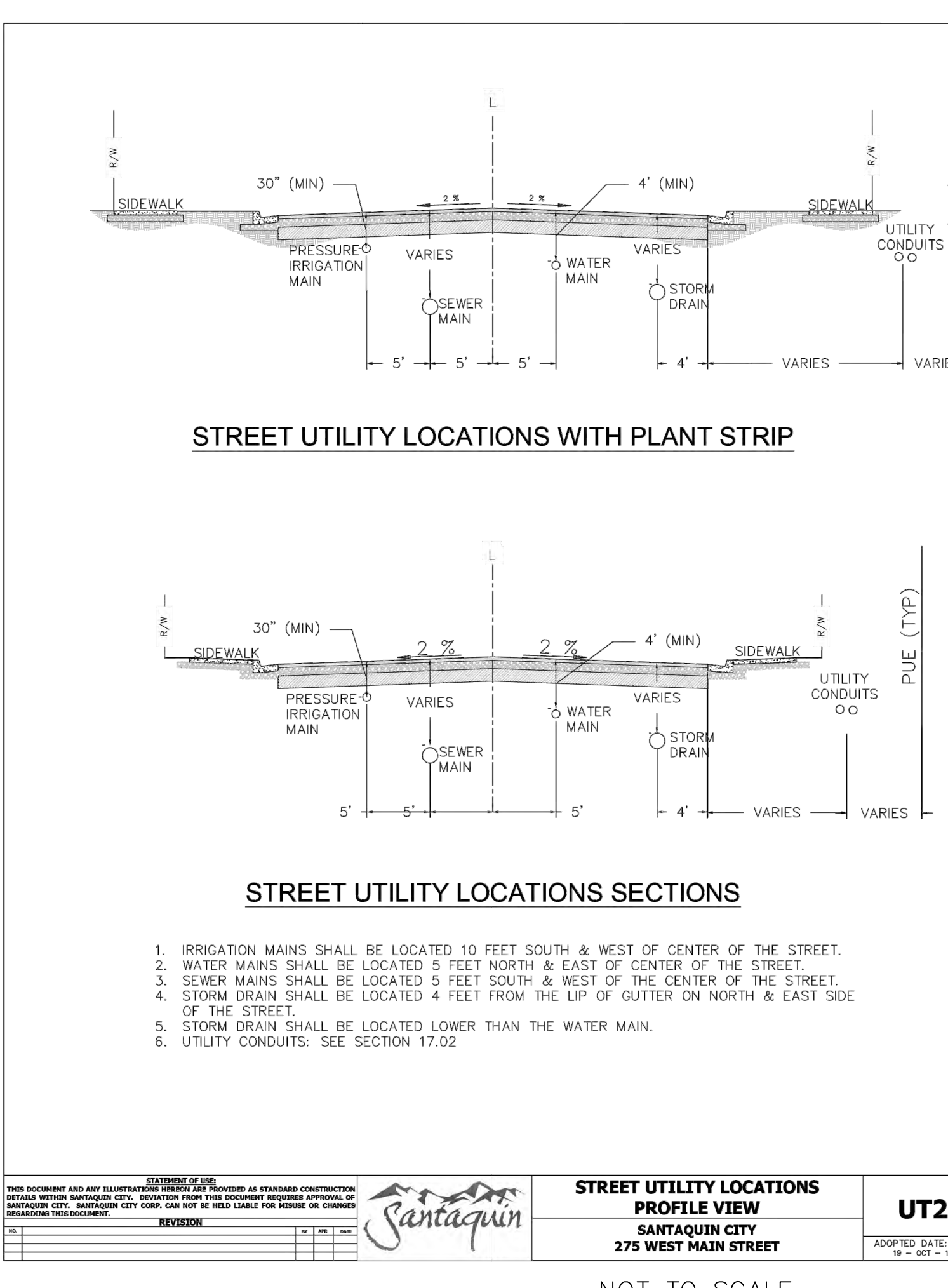
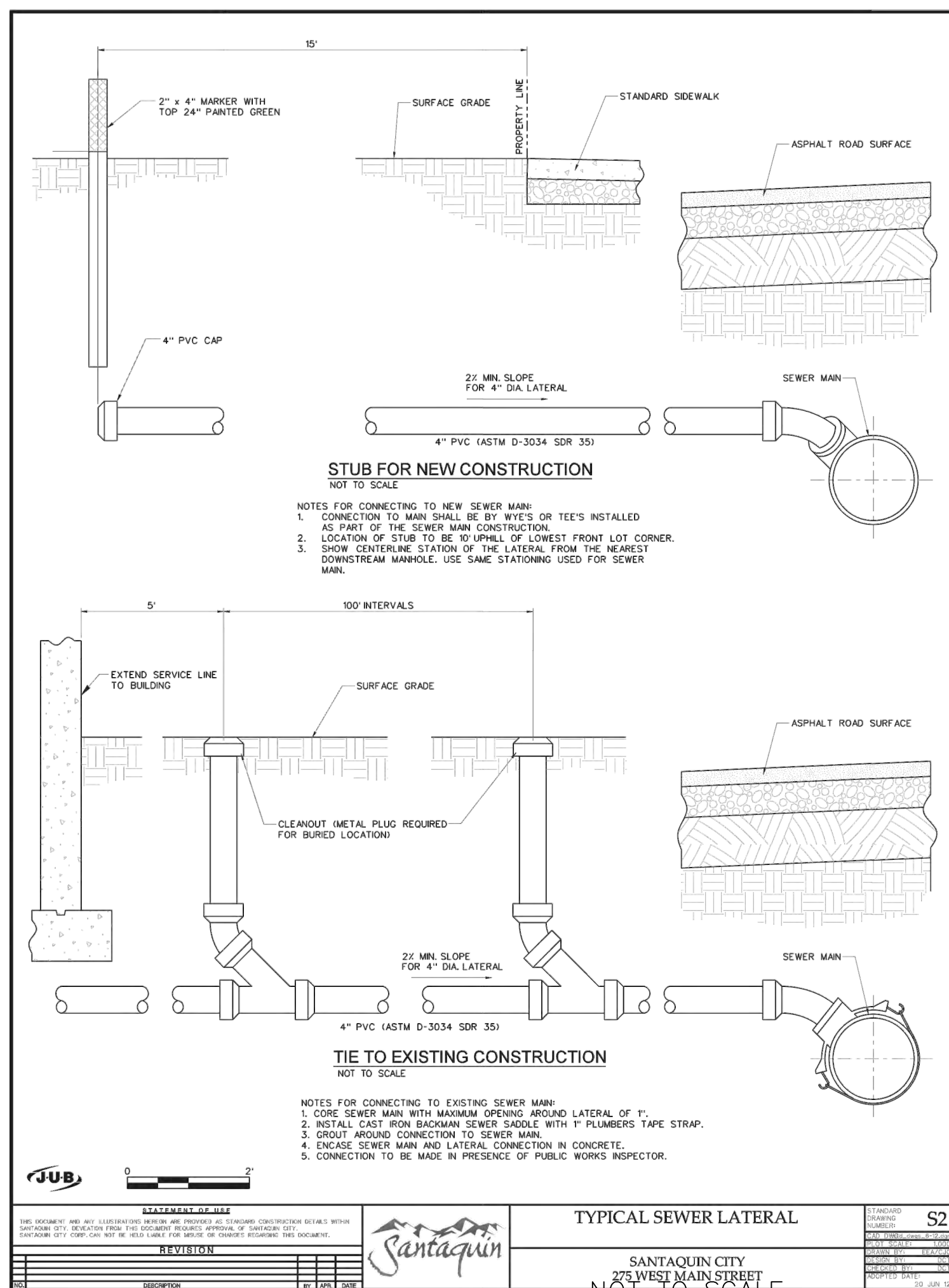
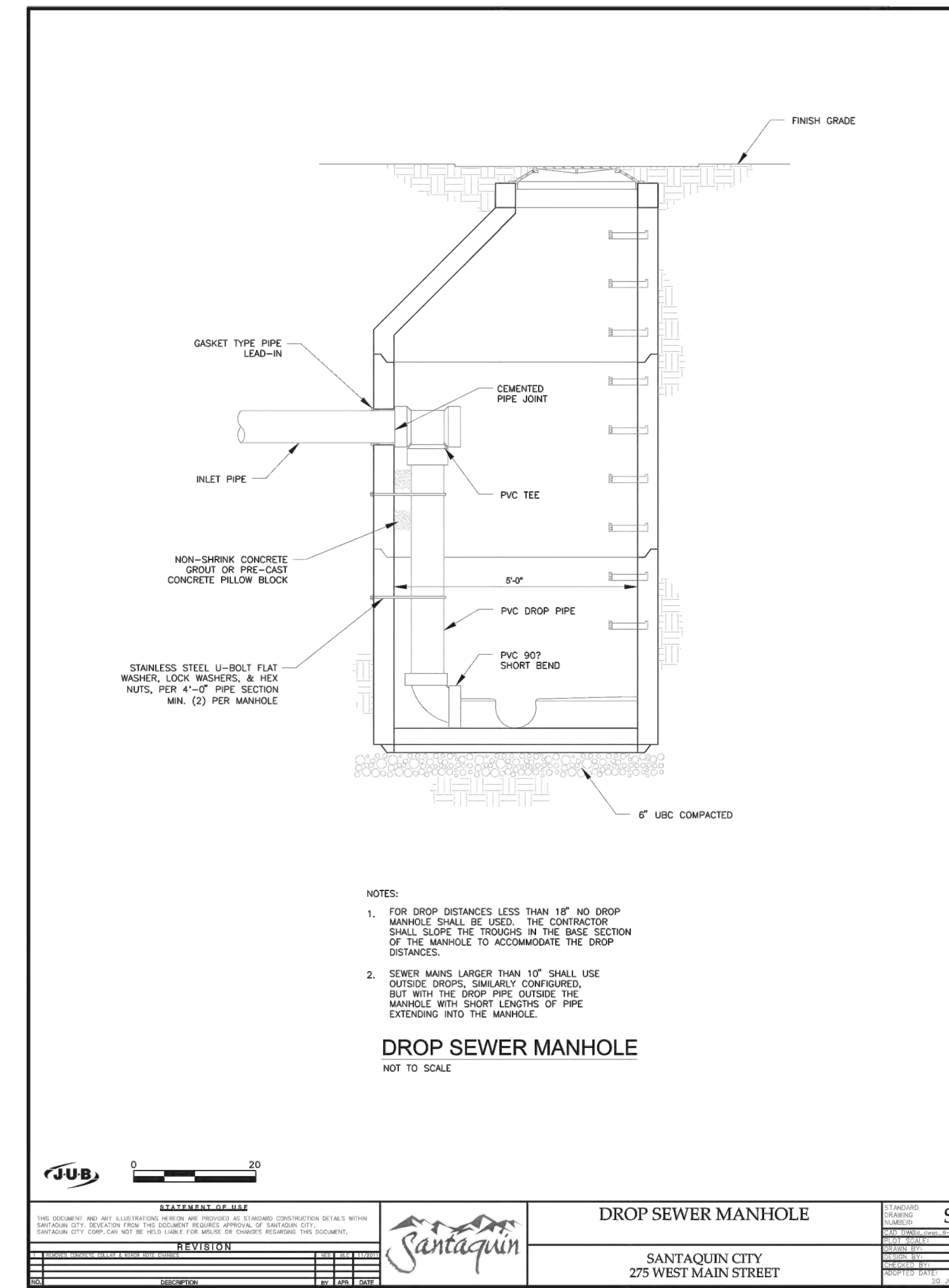
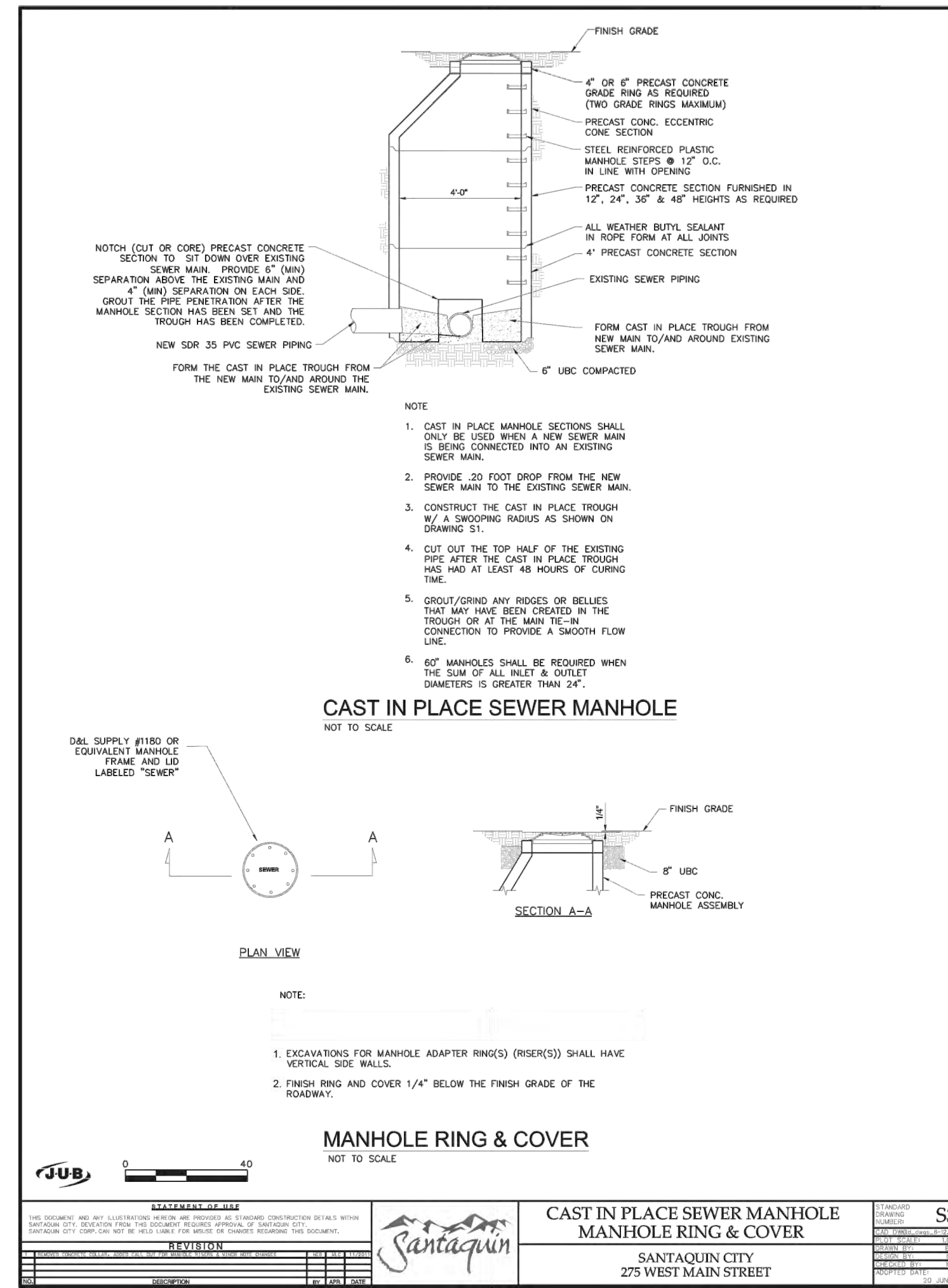
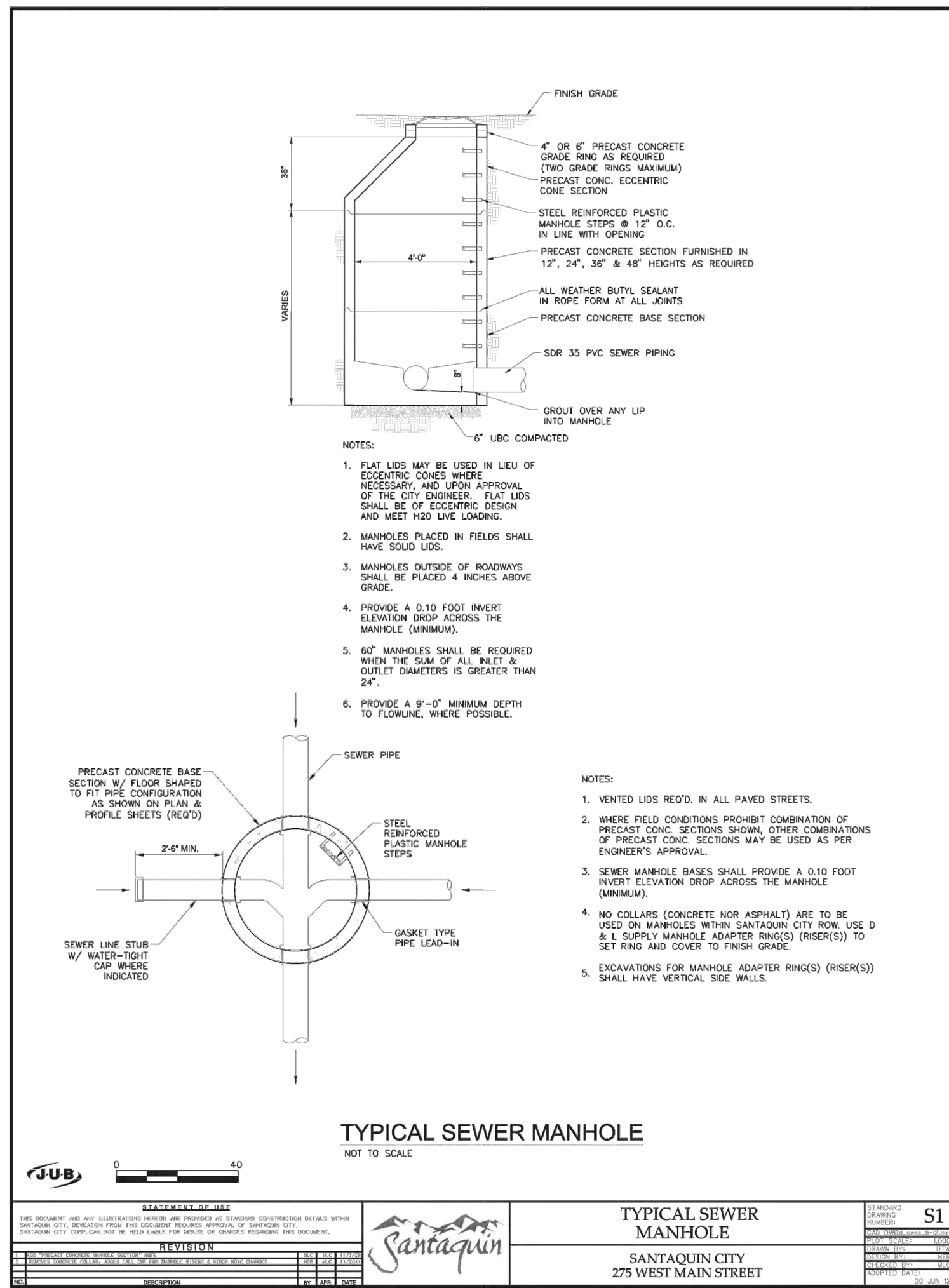
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STRATTON MEADOW SUBDIVISION
STREET DETAILS
 PRINT DATE: 10-15-2024

SANTAQUIN CITY



SHEET NO. **D1**



NO.	DESCRIPTION	DATE	APP'D.

ORIG. DATE:	2-8-21
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DRAWN BY:	GPW
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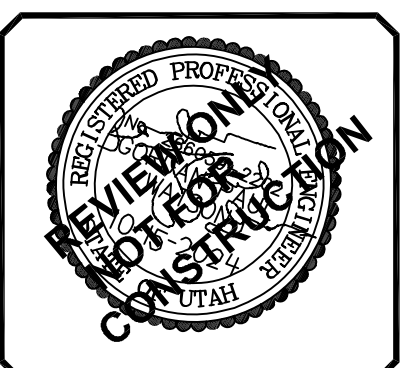
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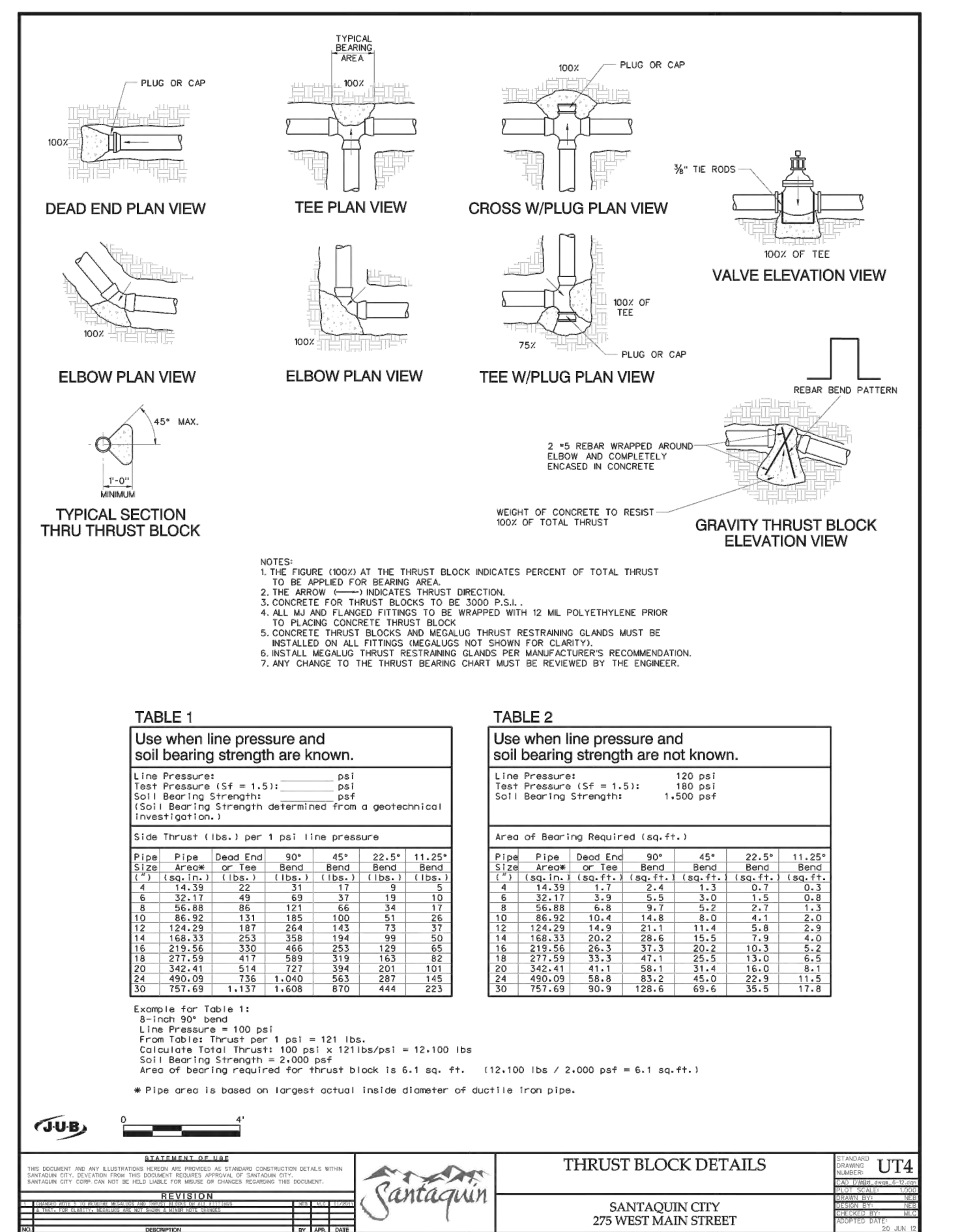
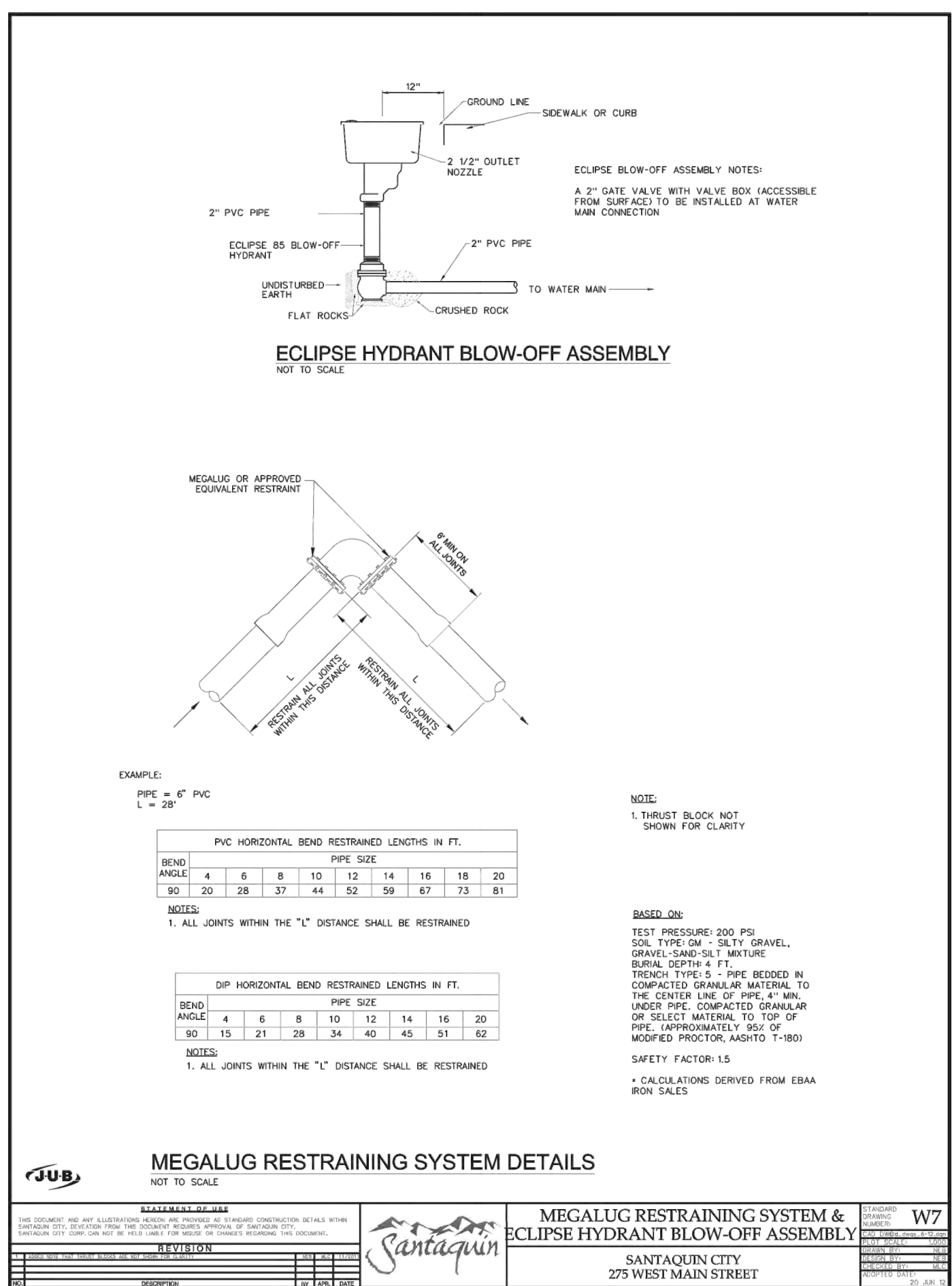
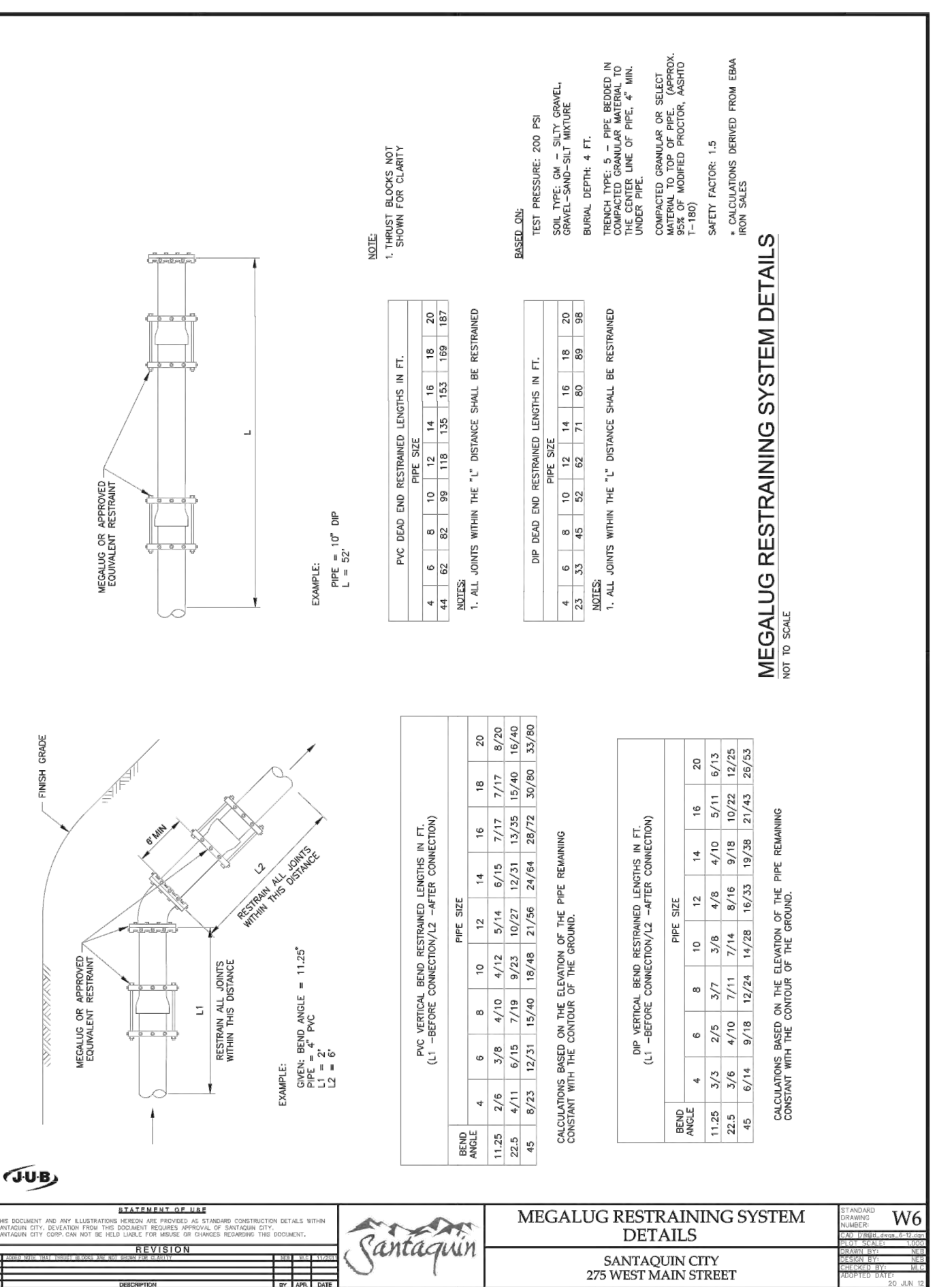
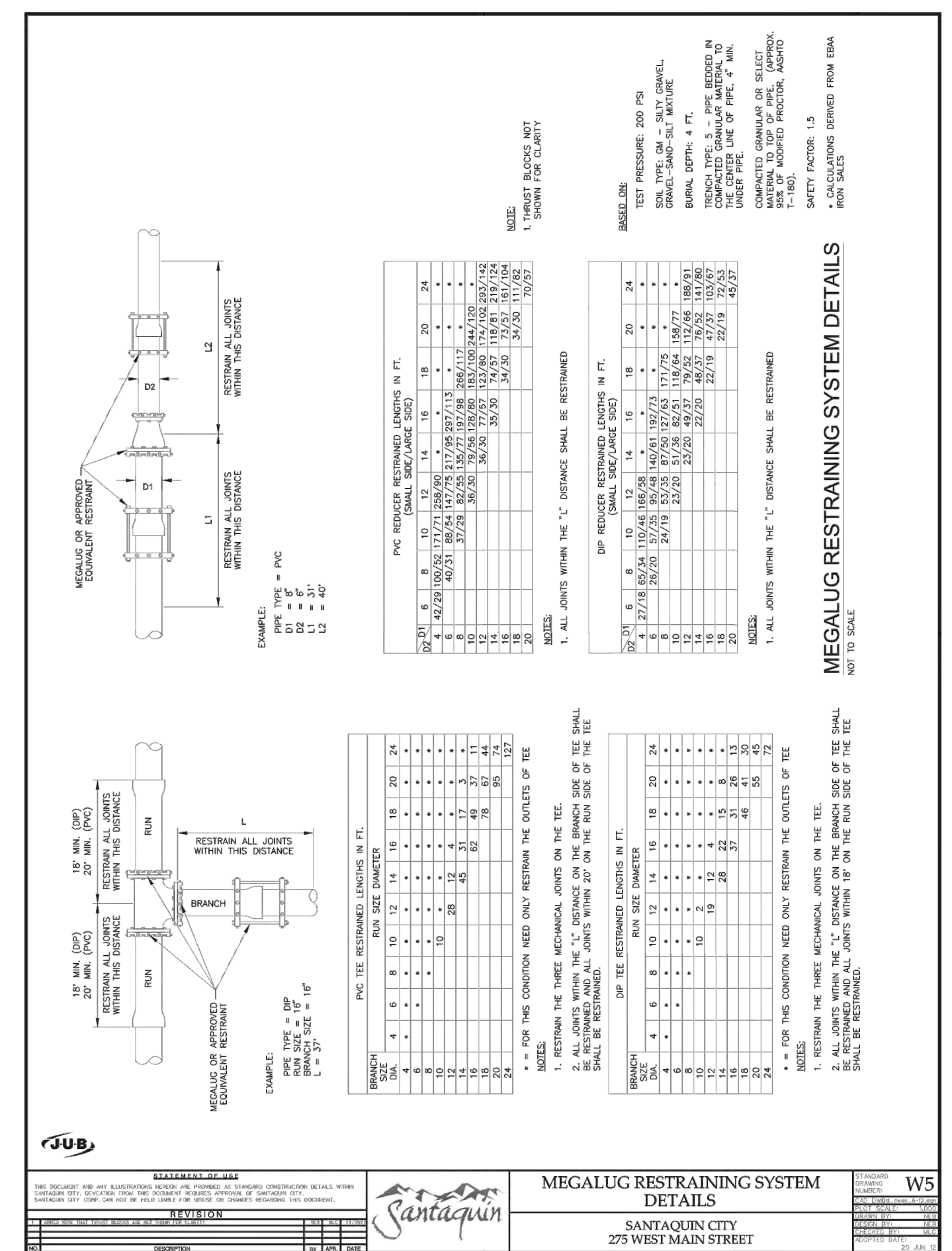
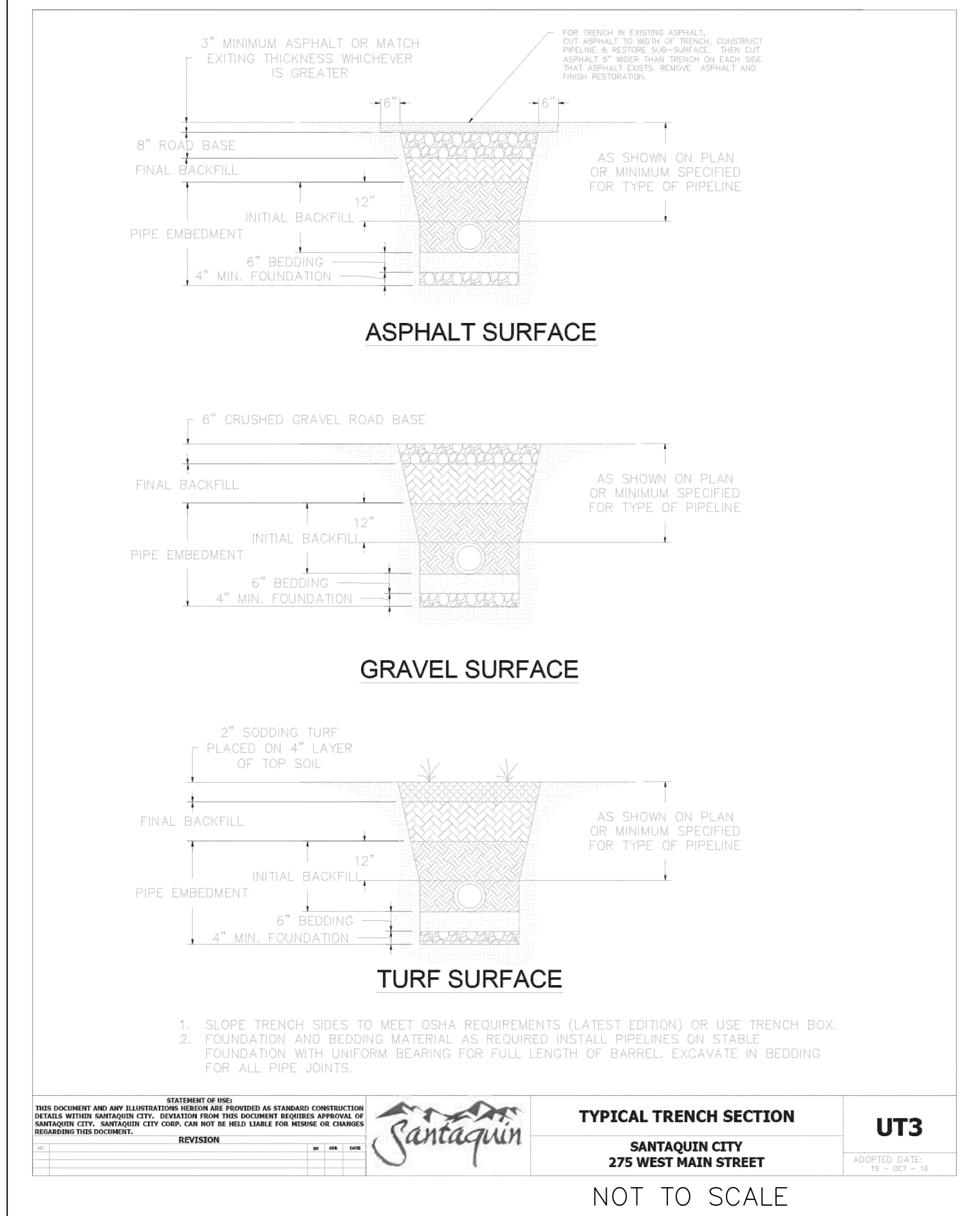
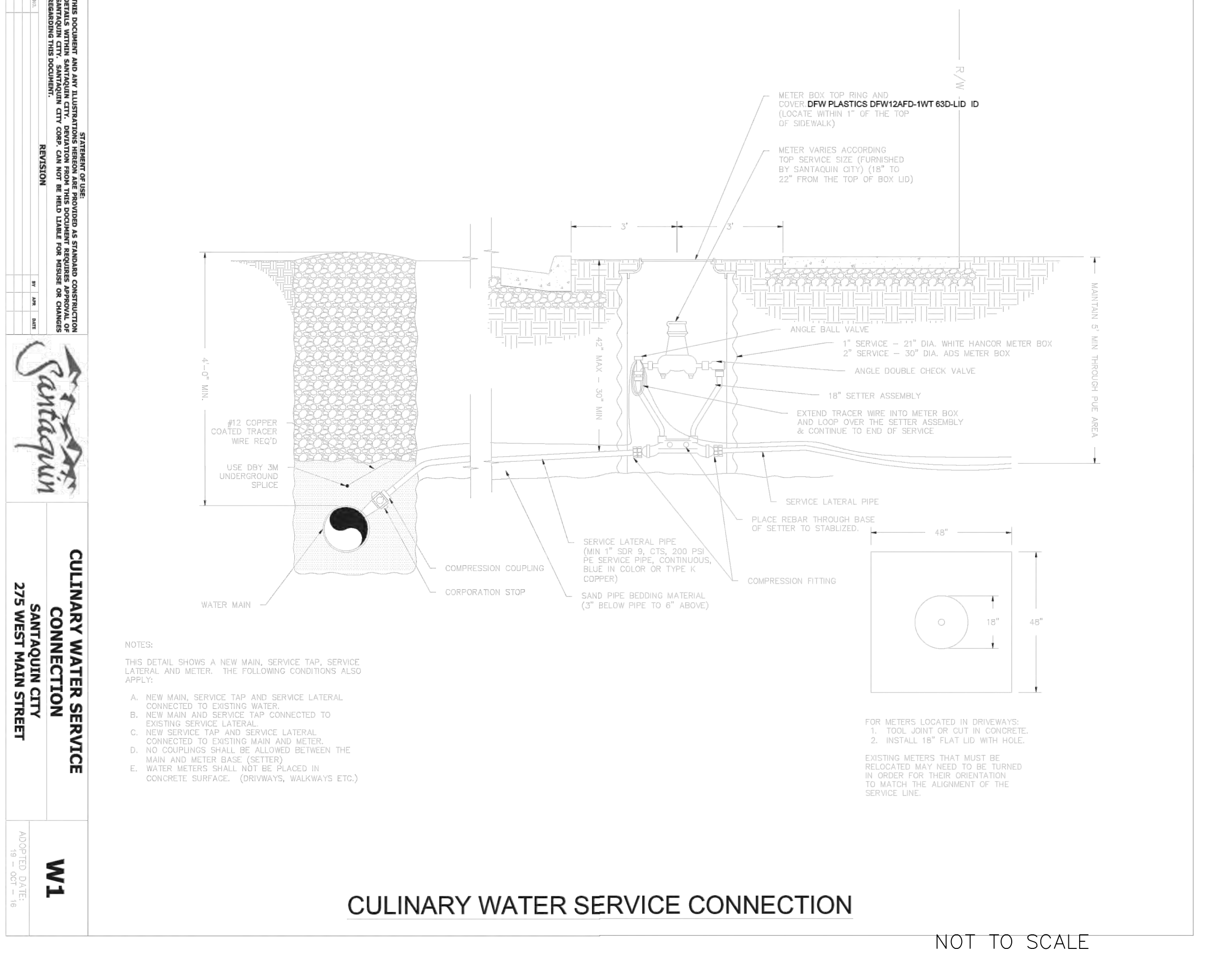
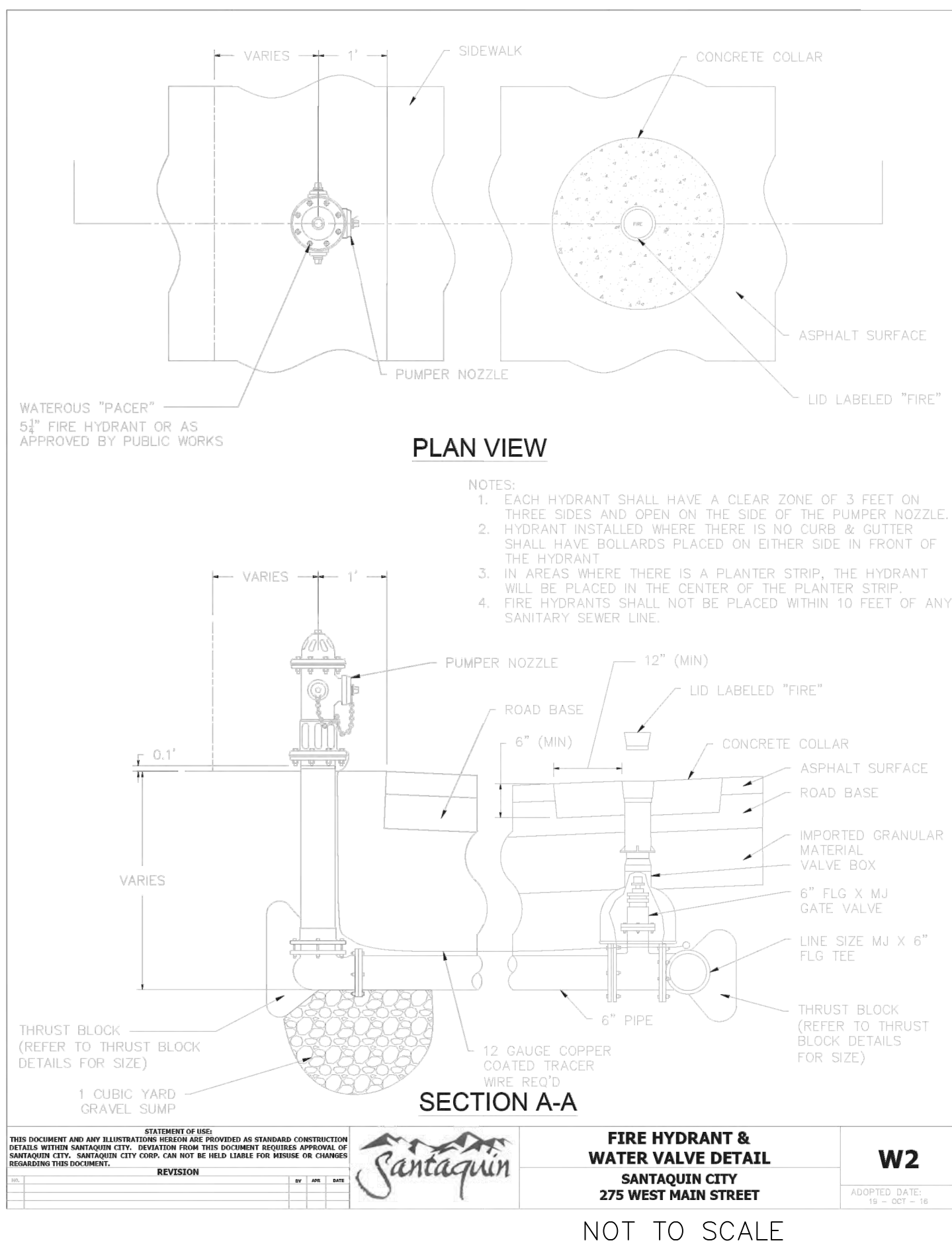
STRATTON MEADOW SUBDIVISION
SEWER DETAILS

10-15-2024

SANTAQUIN CITY



SHEET NO. **D2**



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STRATTON MEADOW SUBDIVISION WATER DETAIL

10-15-2024

SANTAQUIN CITY

REVISION

NO. DESCRIPTION

DATE

APPD

ORIG. DATE: 2-8-21

SURVEY BY: GFW

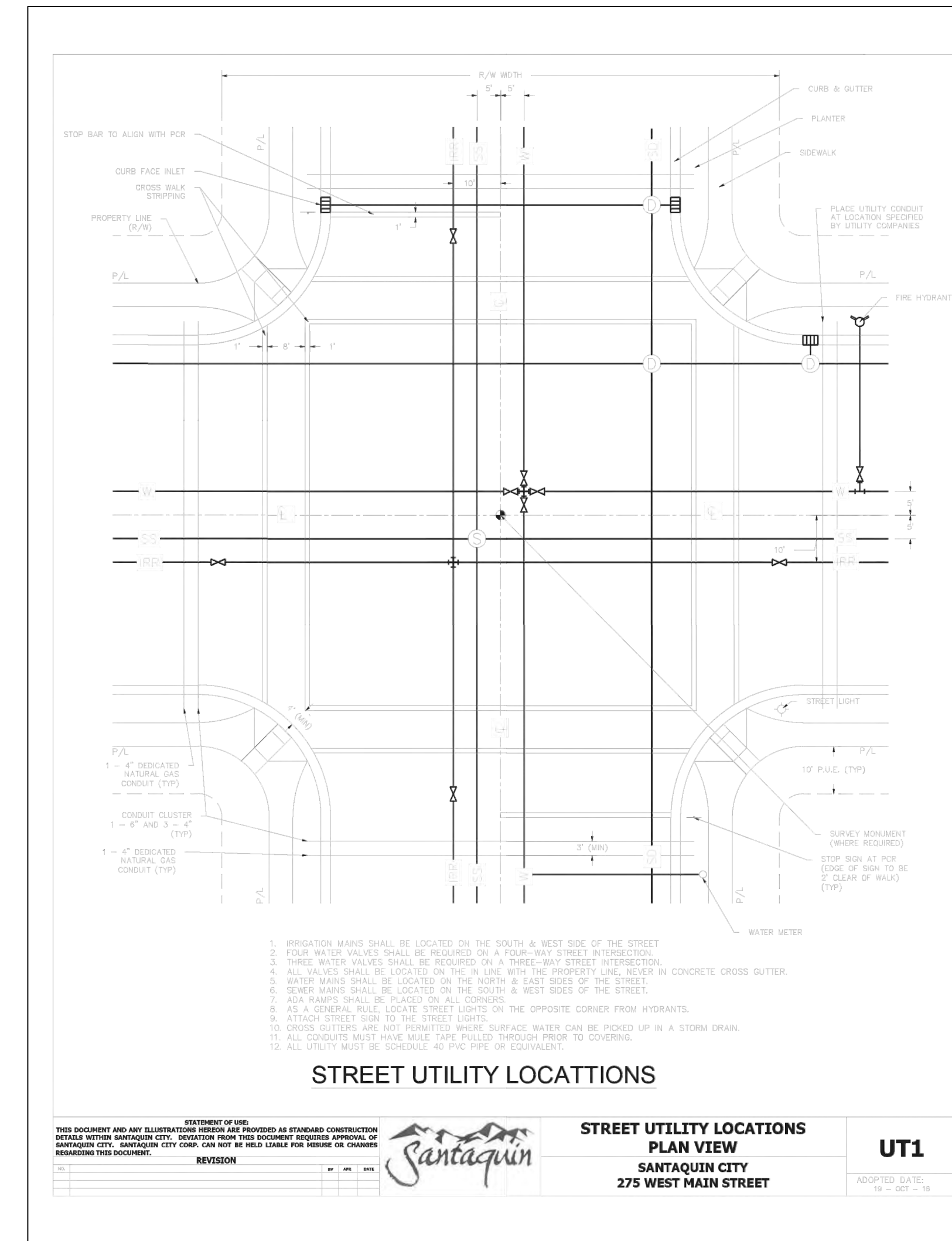
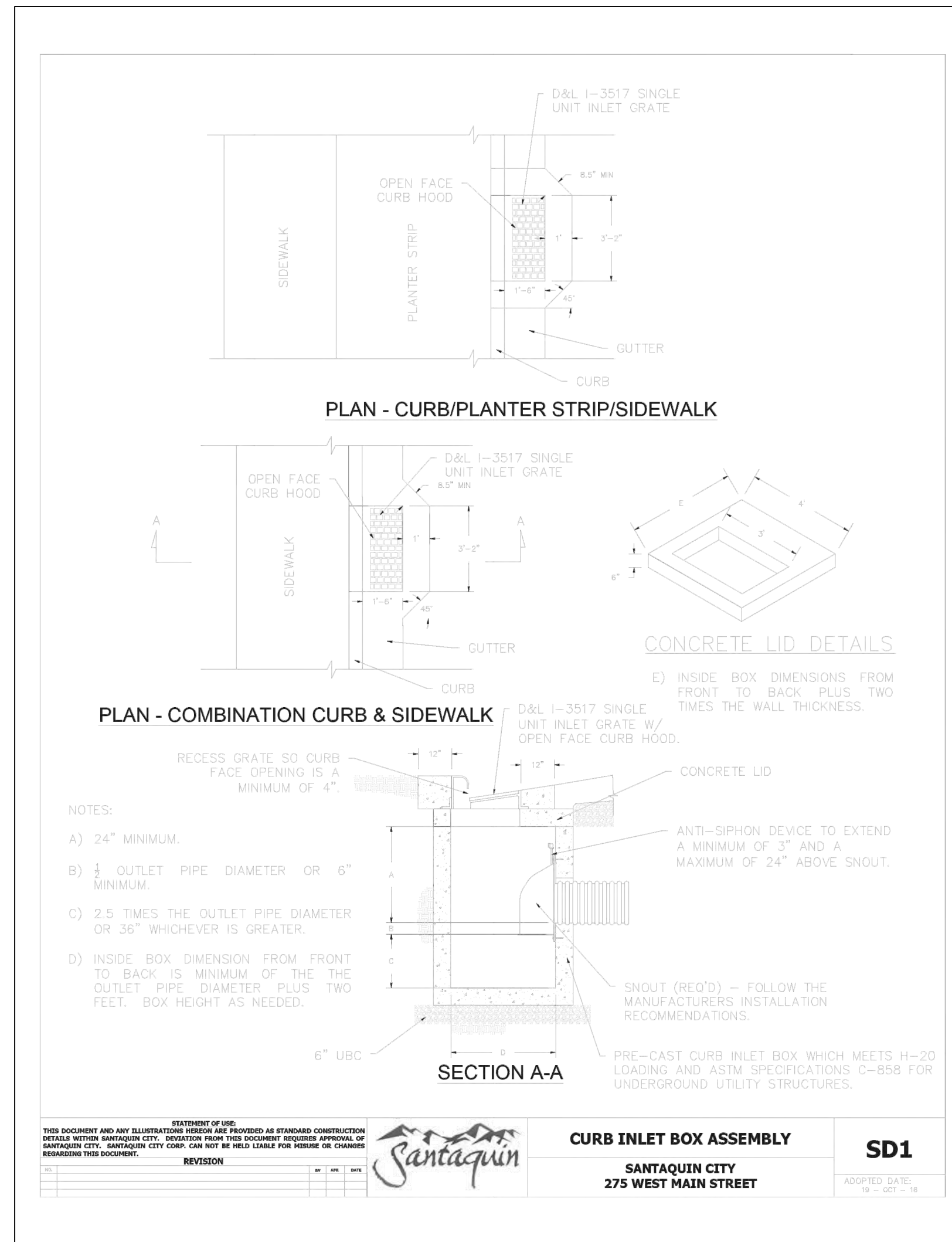
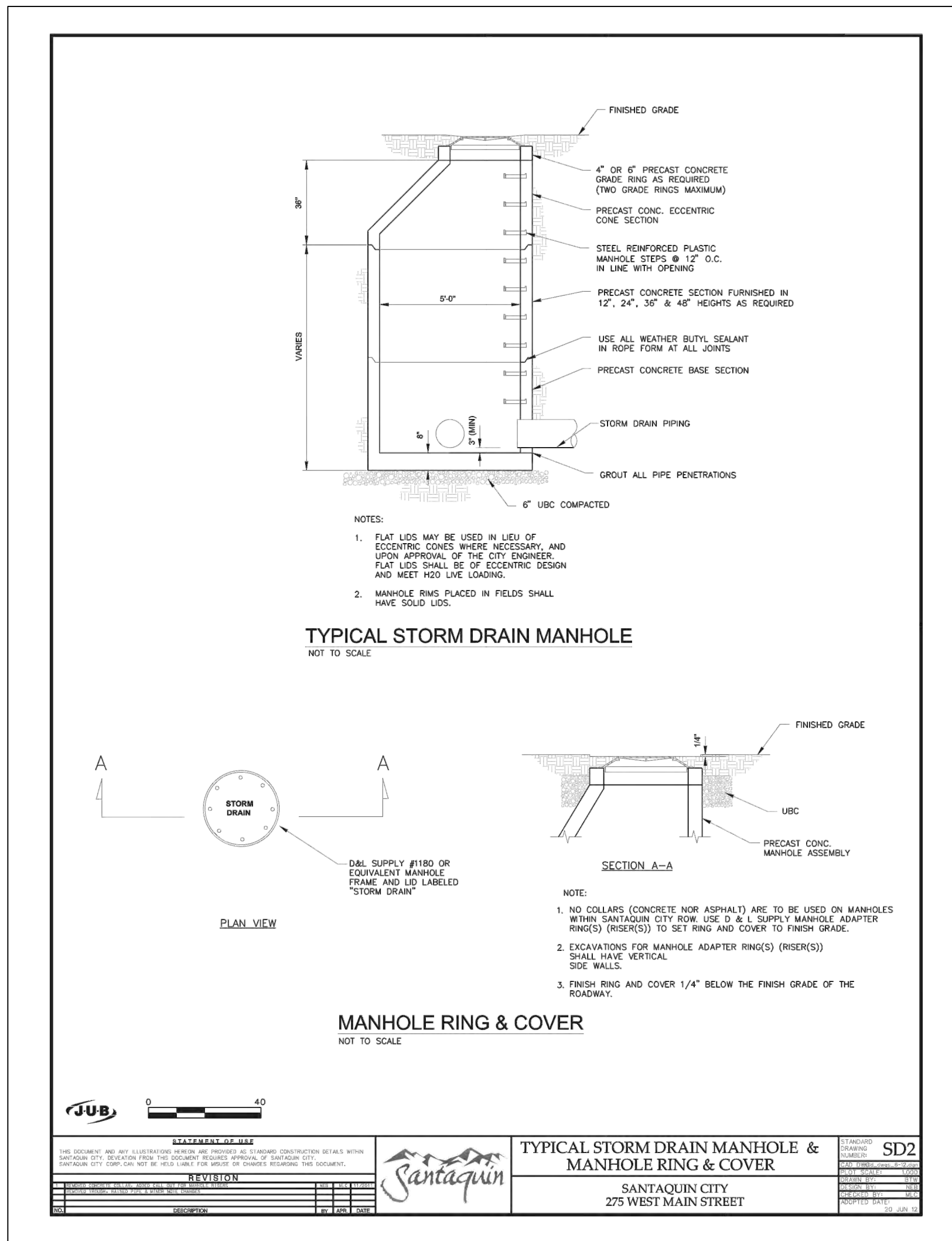
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DESIGNED BY: GFW

CHECKED BY: GFW

SCALE: N/A

SHEET NO. **D3**



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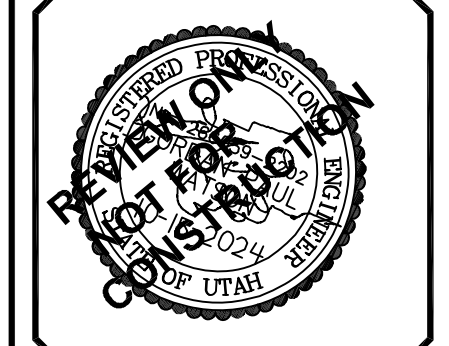
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CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION

STORM DETAIL

10-15-2024

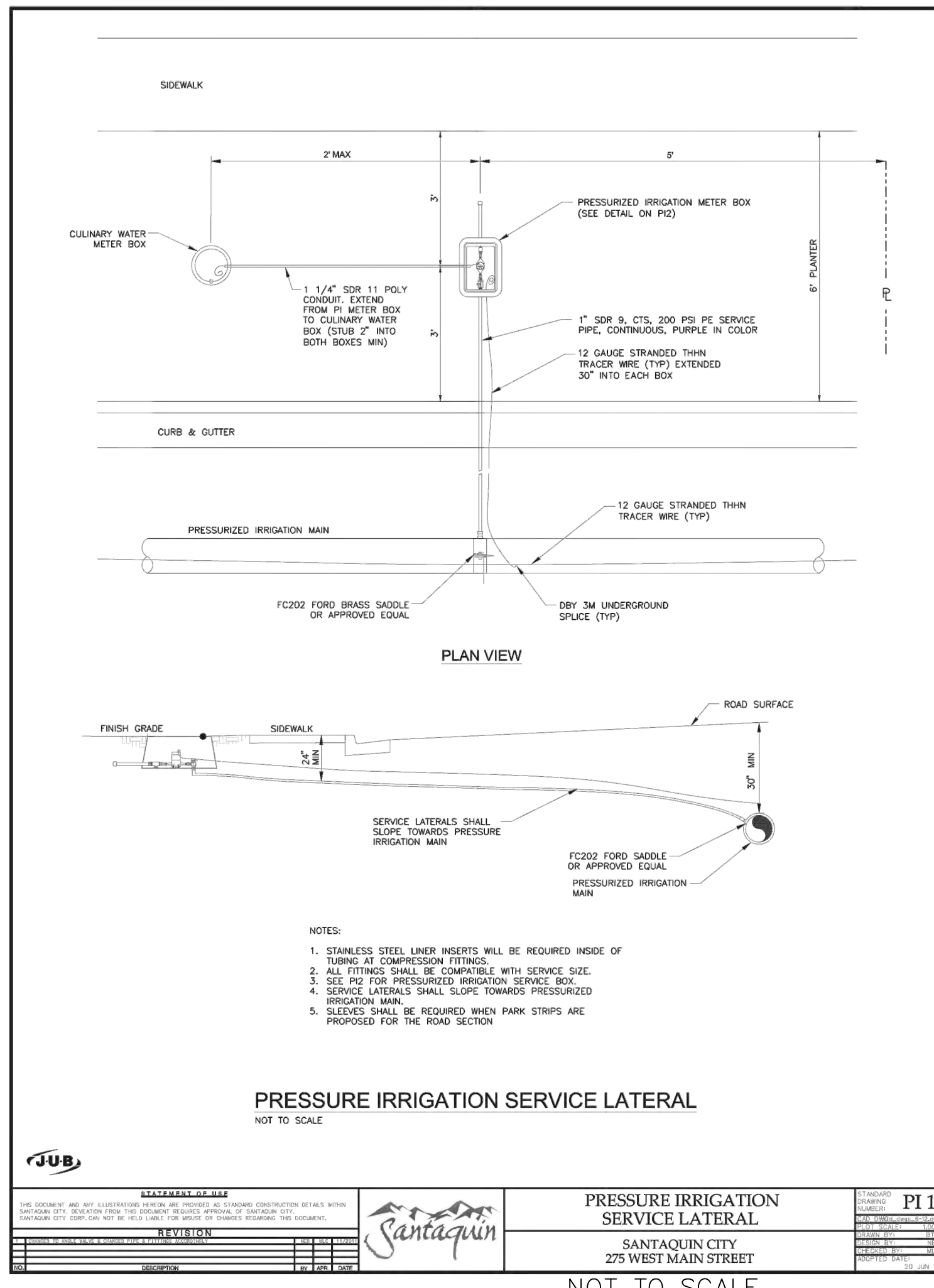
SANTAQUIN CITY



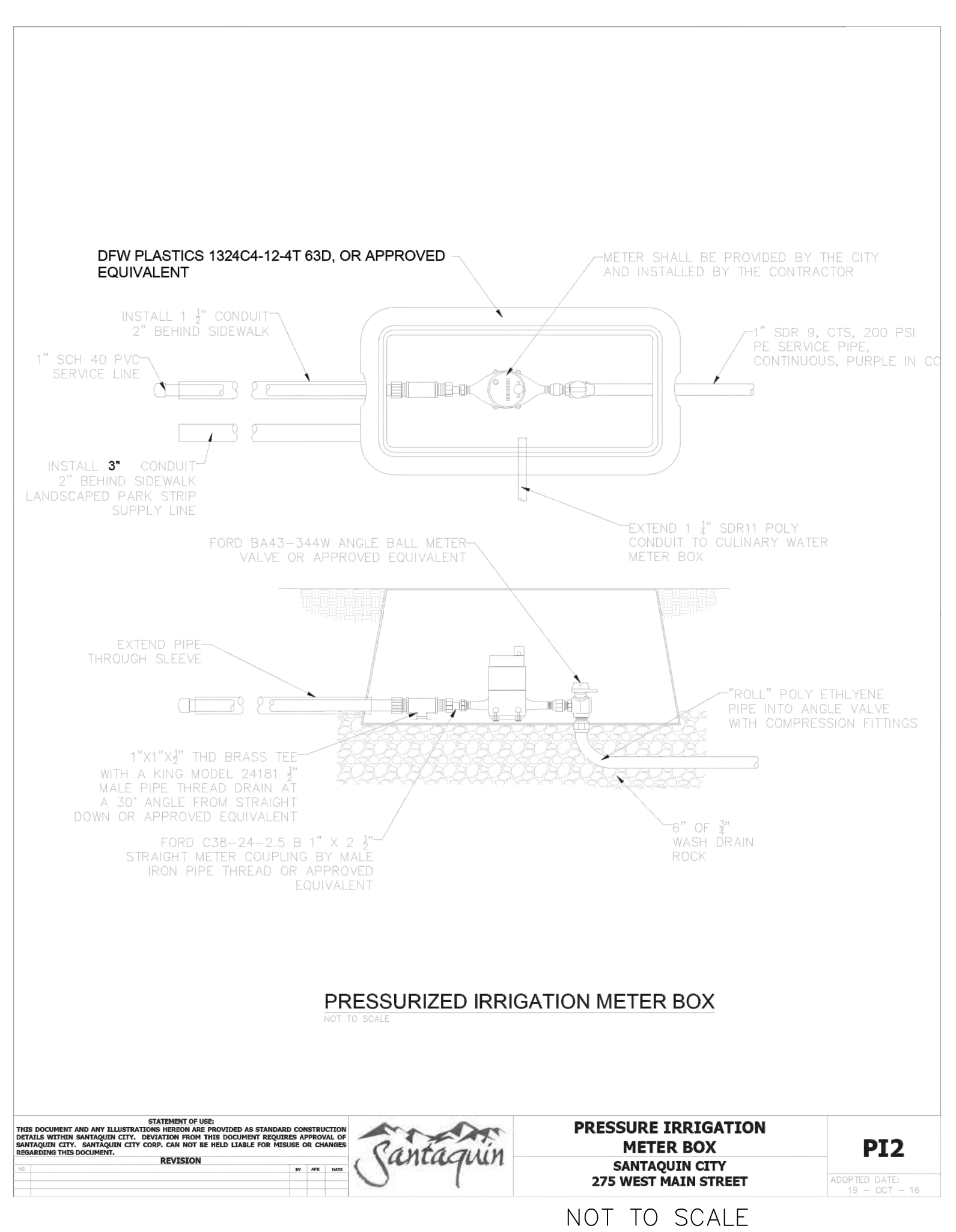
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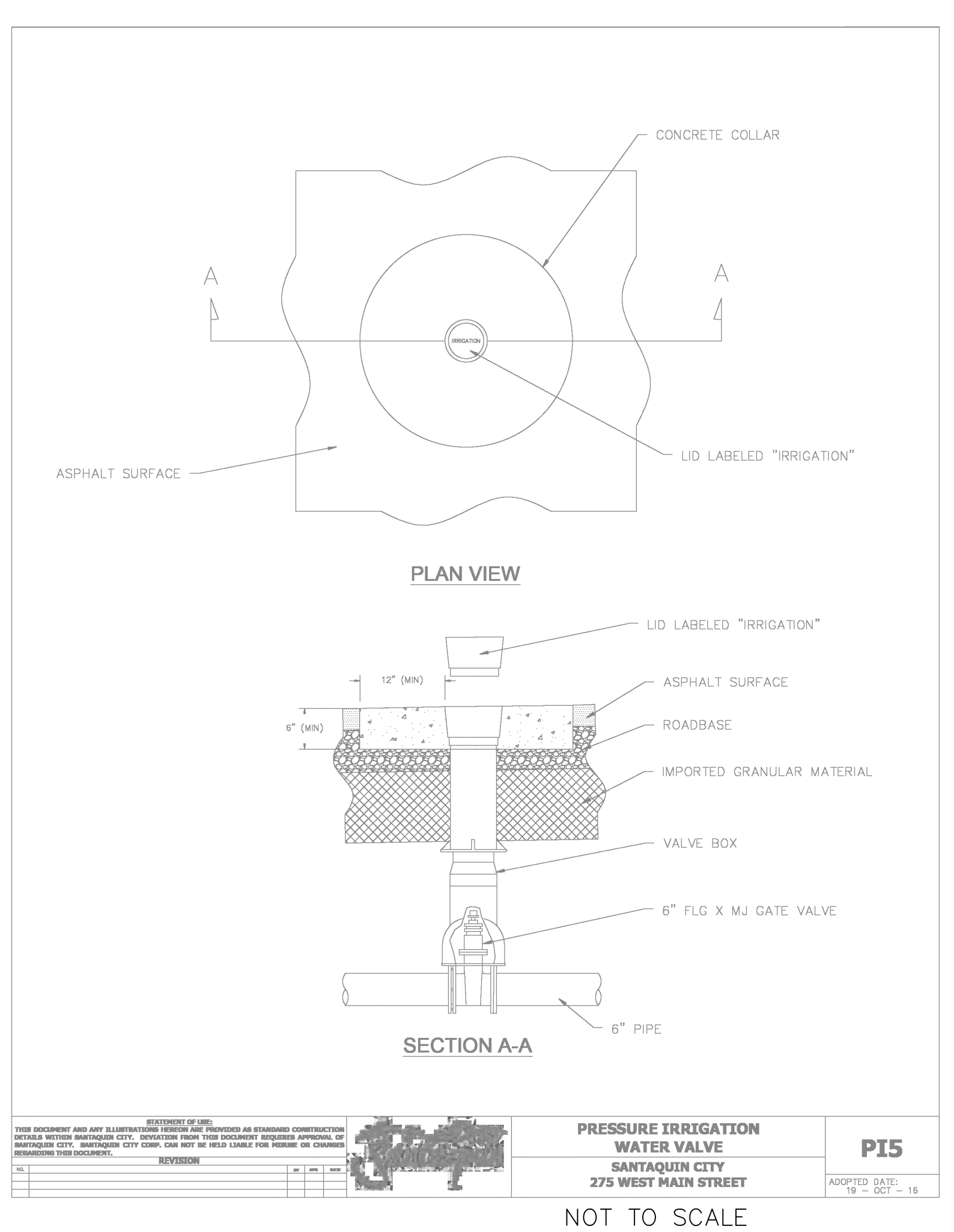
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CHECKED BY:	CPW
SCALE:	N/A



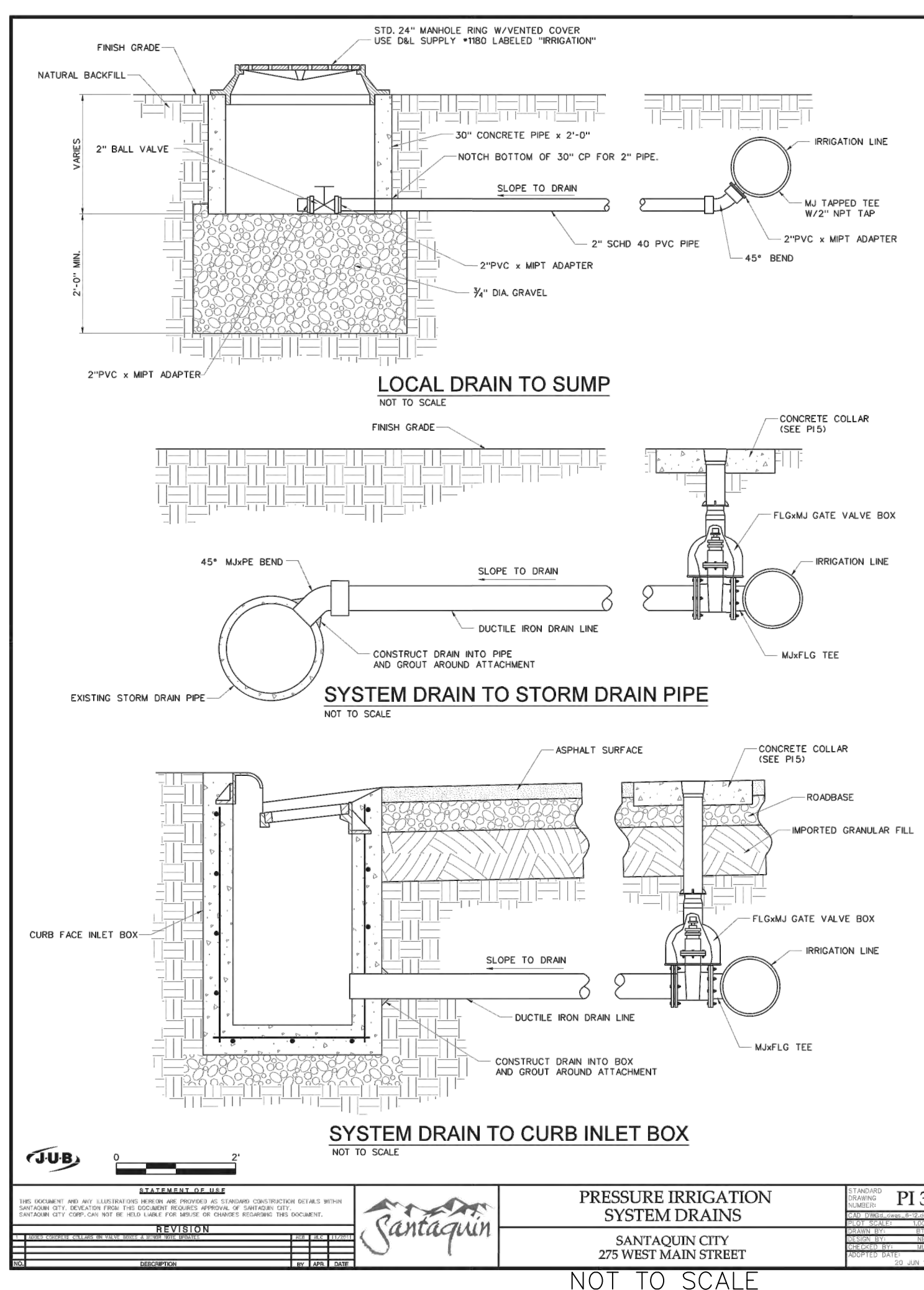
DATE: 10/15/2024	PI 1
PROJECT: PRESSURE IRRIGATION SERVICE LATERAL	SANTAQUIN CITY
LOCATION: 275 WEST MAIN STREET	
DESIGNED BY: [Signature]	CHECKED BY: [Signature]
APPROVED BY: [Signature]	



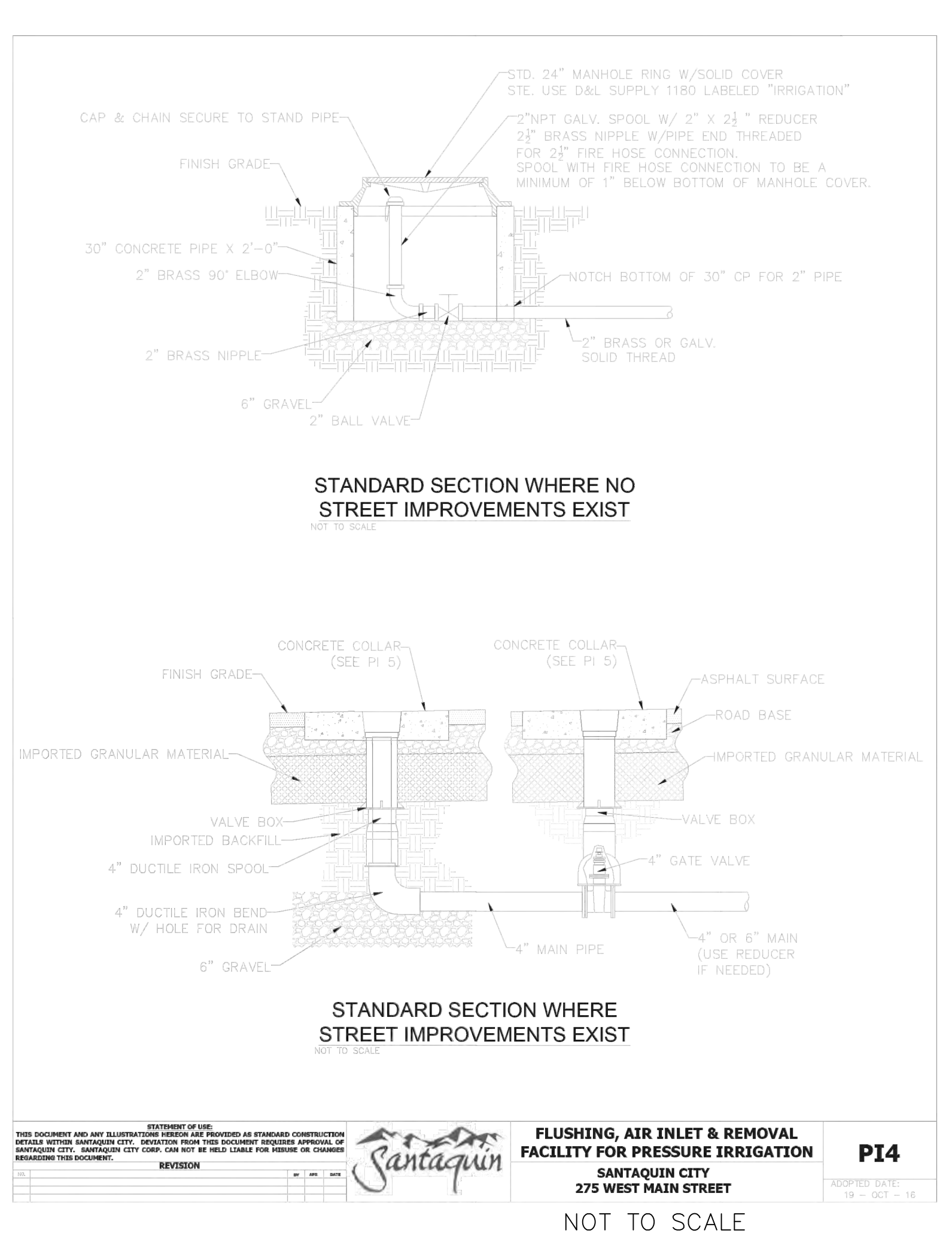
DATE: 10/15/2024	PI 2
PROJECT: PRESSURE IRRIGATION METER BOX	SANTAQUIN CITY
LOCATION: 275 WEST MAIN STREET	
DESIGNED BY: [Signature]	CHECKED BY: [Signature]
APPROVED BY: [Signature]	



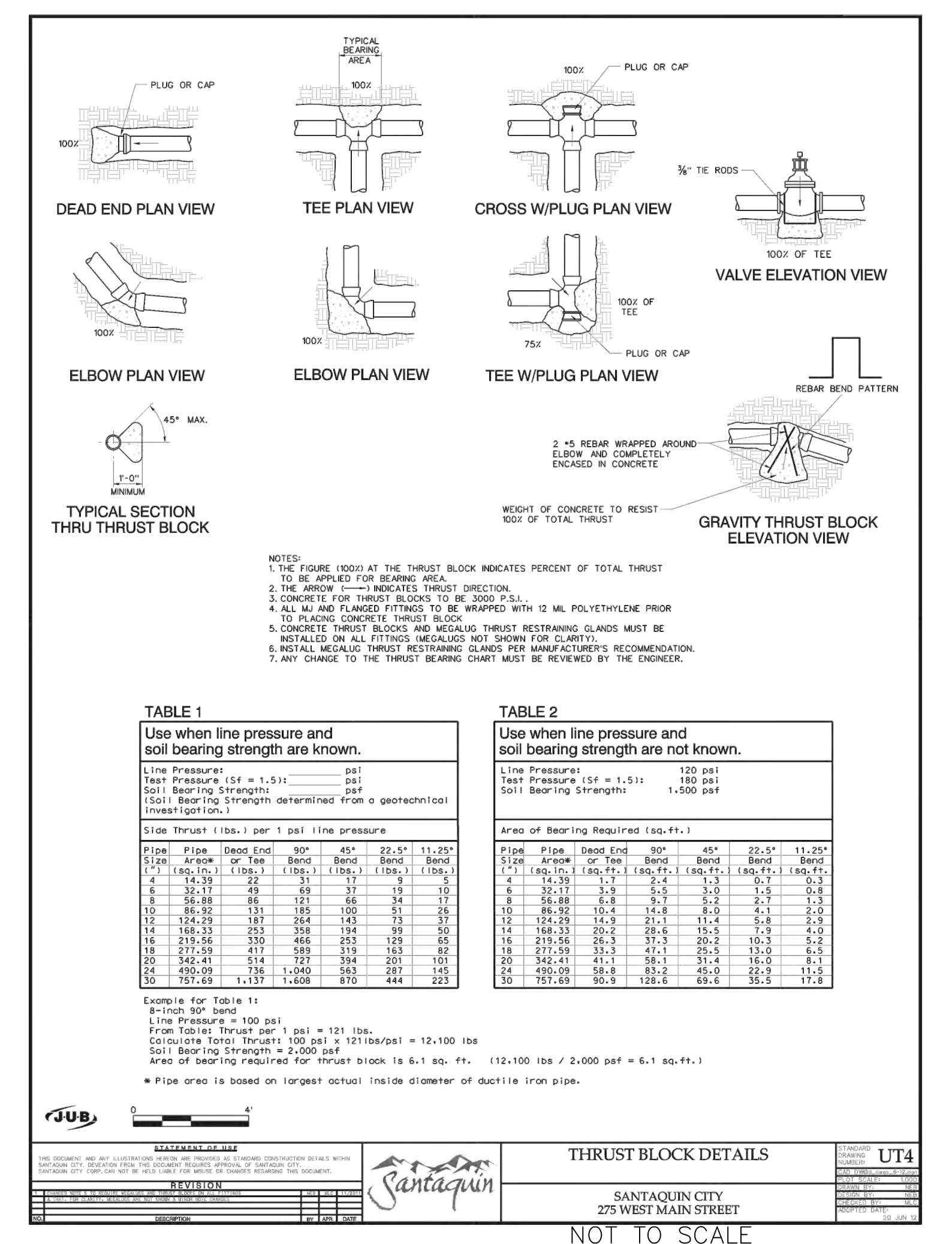
DATE: 10/15/2024	PI 5
PROJECT: PRESSURE IRRIGATION WATER VALVE	SANTAQUIN CITY
LOCATION: 275 WEST MAIN STREET	
DESIGNED BY: [Signature]	CHECKED BY: [Signature]
APPROVED BY: [Signature]	



DATE: 10/15/2024	PI 3
PROJECT: PRESSURE IRRIGATION SYSTEM DRAINS	SANTAQUIN CITY
LOCATION: 275 WEST MAIN STREET	
DESIGNED BY: [Signature]	CHECKED BY: [Signature]
APPROVED BY: [Signature]	



DATE: 10/15/2024	PI 4
PROJECT: FLUSHING, AIR INLET & REMOVAL FACILITY FOR PRESSURE IRRIGATION	SANTAQUIN CITY
LOCATION: 275 WEST MAIN STREET	
DESIGNED BY: [Signature]	CHECKED BY: [Signature]
APPROVED BY: [Signature]	



DATE: 10/15/2024	UT 4
PROJECT: THRUST BLOCK DETAILS	SANTAQUIN CITY
LOCATION: 275 WEST MAIN STREET	
DESIGNED BY: [Signature]	CHECKED BY: [Signature]
APPROVED BY: [Signature]	

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21	GPW
SURVEY BY: GPW	GPW
DRAWN BY: GPW	GPW
DESIGNED BY: GPW	GPW
CHECKED BY: GPW	GPW
SCALE: N/A	

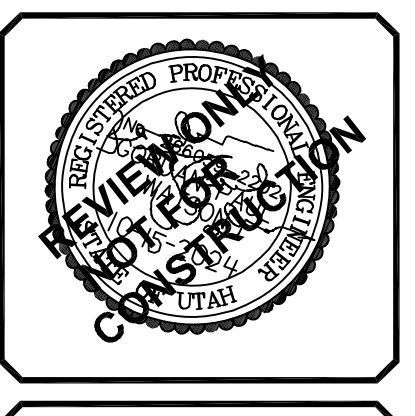
GATEWAY CONSULTING, Inc.
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 994-5848
paul@gatewayconsultingllc.com

CIVIL ENGINEERING • CONSULTING • LAND PLANNING
CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION
IRRIGATION WATER DETAILS

10-15-2024

SANTAQUIN CITY



SHEET NO. D5

Specifications

PORT DESCRIPTION
The lighting post shall be all aluminum, one-piece construction, with a classic tapered and fluted base design. The shaft shall be 95" smooth.

MATERIALS
The base shall be heavy wall, cast aluminum produced from certified ASTM 356-1 ingot per ASTM B-178-66a or ASTM B20-95. The straight shafts shall be extruded from aluminum, ASTM 6061 alloy. All hardware shall be temper resistant stainless steel. Anchor bolts to be completely hot dip galvanized.

CONSTRUCTION
The shaft shall be double welded to the base casting and shipped as one piece for maximum structural integrity. The shaft shall be differentially welded inside the base casting at the top of the access door, and externally where the shaft meets the base. All exposed welds shall be ground smooth. All welding shall be per ANSI/AWS D1.2-90. All welders shall be certified per Section 5 of ANSI/AWS D1.2-90.

FINISH
The entire assembly shall have a standard HoliPhane black finish.

LUMINAIRE DESCRIPTION
-Granville Premier II LED
-40W 2100K Driver, 48 CCT
-Auto-Sensing 120-277V
-Symmetric True V, No Trim, Spike Final, Full Cover
-NEMA 7Wetlock Photocell/Photocontrol
-CTL, Tuxedo Photocell For Gold-Share Lighting 120-277V
-25R Prewired Leads
For complete specifications see LUM_GPD.

Anchorage Detail

Catalog #:
GPD404KABM8N8BFCV8R8HPC8L25 - NYA1485J17P707AB08K

LOCAL AND COLLECTOR STREET LIGHTING DETAILS
SANTAQUIN CITY
275 WEST MAIN STREET

ADOPTED DATE: 12 - OCT - 16

L1

BREAK AWAY COUPLING DETAIL

NOT TO SCALE

ANCHOR BASE DETAIL

NOT TO SCALE

ANCHOR BASE & BREAK AWAY COUPLING
SANTAQUIN CITY
275 WEST MAIN STREET

ADOPTED DATE: 12 - OCT - 16

L4

MAPLE LN. 200 SOUTH STREETS WITH NAMES

LOCAL STREET/STOP SIGN DETAIL

SCALE: 1"=20'

LOCAL STREET / STOP SIGN DETAIL
SANTAQUIN CITY
275 WEST MAIN STREET

ADOPTED DATE: 12 - OCT - 16

ST7

MAPLE LN. 200 SOUTH STREETS WITH NAMES

TYPICAL STREET SIGN LOCATION PLAN VIEW

SCALE: 1"=20'

TYPICAL STREET SIGN INSTALLATION

SCALE: 1"=20'

TYPICAL STREET SIGN DETAIL (NO STOP SIGN)
SANTAQUIN CITY
275 WEST MAIN STREET

ADOPTED DATE: 12 - OCT - 16

ST9

MAPLE LN. 200 SOUTH STREETS WITH NAMES

TYPICAL SPEED LIMIT SIGN LOCATION WHEN SIDEWALK IS NOT ADJACENT TO C&G PLAN VIEW

NOT TO SCALE

TYPICAL SPEED LIMIT SIGN LOCATION WHEN SIDEWALK IS ADJACENT TO C&G PLAN VIEW

NOT TO SCALE

TYPICAL SPEED LIMIT SIGN INSTALLATION

NOT TO SCALE

TYPICAL SPEED LIMIT SIGN DETAIL
SANTAQUIN CITY
275 WEST MAIN STREET

ADOPTED DATE: 12 - OCT - 16

ST10

GATEWAY CONSULTING, Inc. P.O. BOX 951005 SOUTH JORDAN, UT 84095 PH: (801) 694-5848 paul@gatewayconsultingllc.com	CIVIL ENGINEERING • CONSULTING • LAND PLANNING CONSTRUCTION MANAGEMENT																
STRATTON MEADOW SUBDIVISION LIGHT AND SIGN DETAILS	PRINT DATE: 10-15-2024																
SANTAQUIN CITY																	
SHEET NO. D6	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">NO.</th> <th style="width: 30%;">DESCRIPTION</th> <th style="width: 10%;">DATE</th> <th style="width: 5%;">APPD.</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION	DATE	APPD.												
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