

ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS

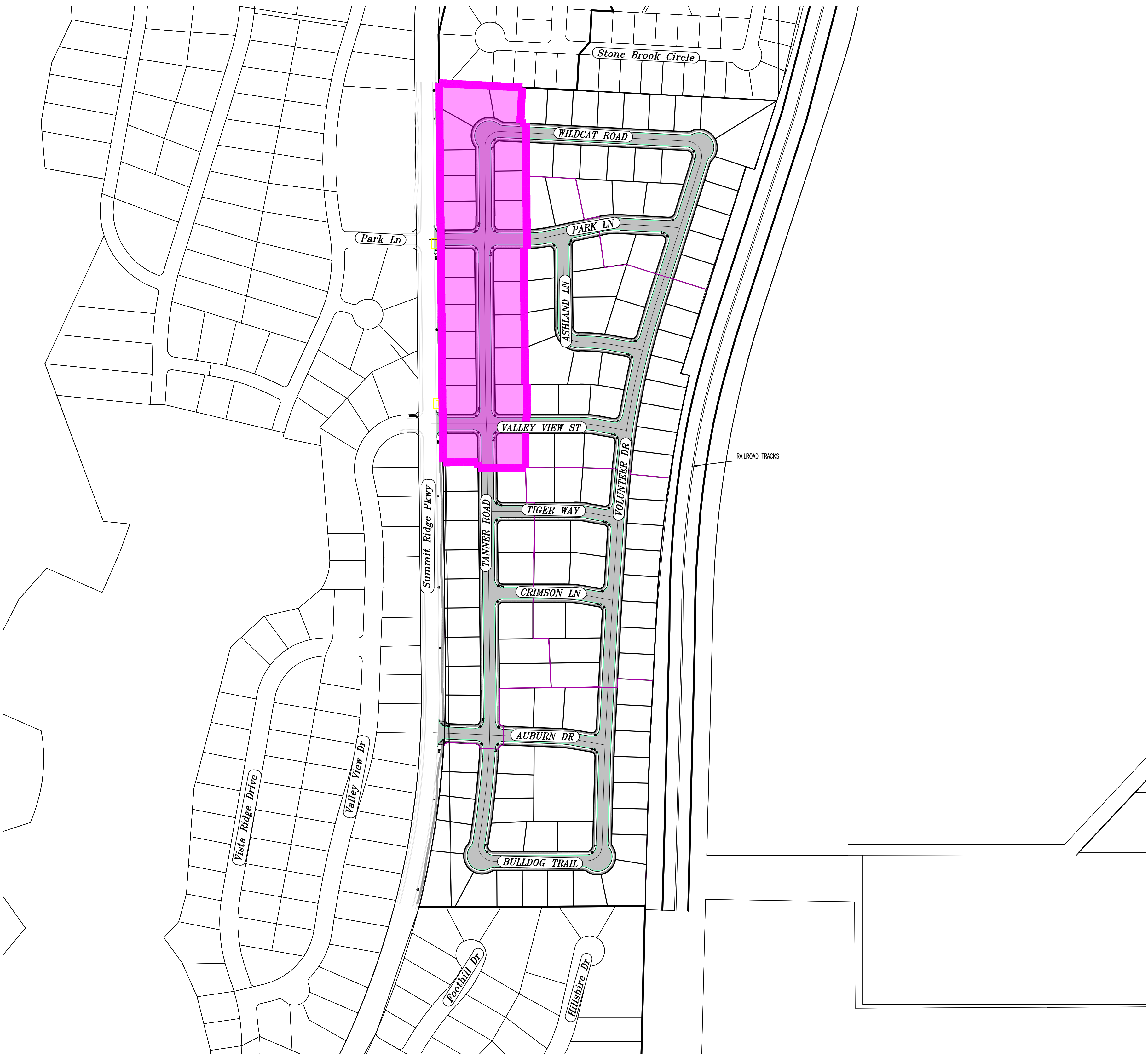
A 3 BOX NCBU TO BE LOCATED ON THE SOUTH
SIDE OF EACH ROAD ENTRANCE FROM SUMMIT
RIDGE PARKWAY

Hollow Flats @ Summit Ridge

- PHASE 1 -

June 23

Santaquin, Utah County, Utah



PHASE 1 BREAKDOWN	
TOTAL PLAT ACREAGE	8.01 ACRES
TOTAL LOT ACREAGE	5.36 ACRES
TOTAL ROW ACREAGE	2.45 ACRES
TOTAL OPEN SPACE	- ACRES
ZONE	R-1-1Q
DENSITY	2.75 / duq
NUMBER OF LOTS	22 LOTS

PROJECT DEVELOPER

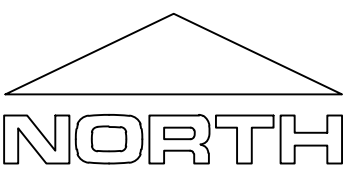
Skylar Tolbert
Ivory Development
801-520-9127
skylart@ivorydevelopment.com

PROJECT ENGINEER
& SURVEYOR

REGION ENGINEERING & SURVEYING
1776 NORTH STATE STREET #110
OREM, UTAH 84057
PH - 801.376.2245

INDEX OF PLAN SHEETS	
SHEET	DESCRIPTION
CS-01	COVER SHEET & NOTES
PH-01	PHASE PLANS
EX-01	EXISTING SITE
PLAT	PLAT SHEETS
FEN-01	FENCING PLAN
UP-01	SITE & UTILITY PLANS
SS-01	OFFSITE SEWER PLAN
SS-02-04	OFFSITE SEWER PROFILES
GR-01-3	GRADING PLANS
PP-01-05	PLAN & PROFILE SHEETS
EC-01	EROSION CONTROL PLAN
EC-02-03	EROSION CONTROL DETAILS
DT-01-02	TYPICAL DETAILS

- NOTES:
- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
 - ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
 - ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND SHEET DT-02 UNLESS OTHERWISE NOTED.
 - 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PL STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
 - ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
 - ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
 - ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX



NOTES TO CONTRACTOR:

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

region
Engineering
& Surveying

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Orem, UT 84057
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regiondesignllc.com



HOLLOW FLATS
at SUMMIT RIDGE - PHASE 1
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE:6.29.2023

PROJECT #

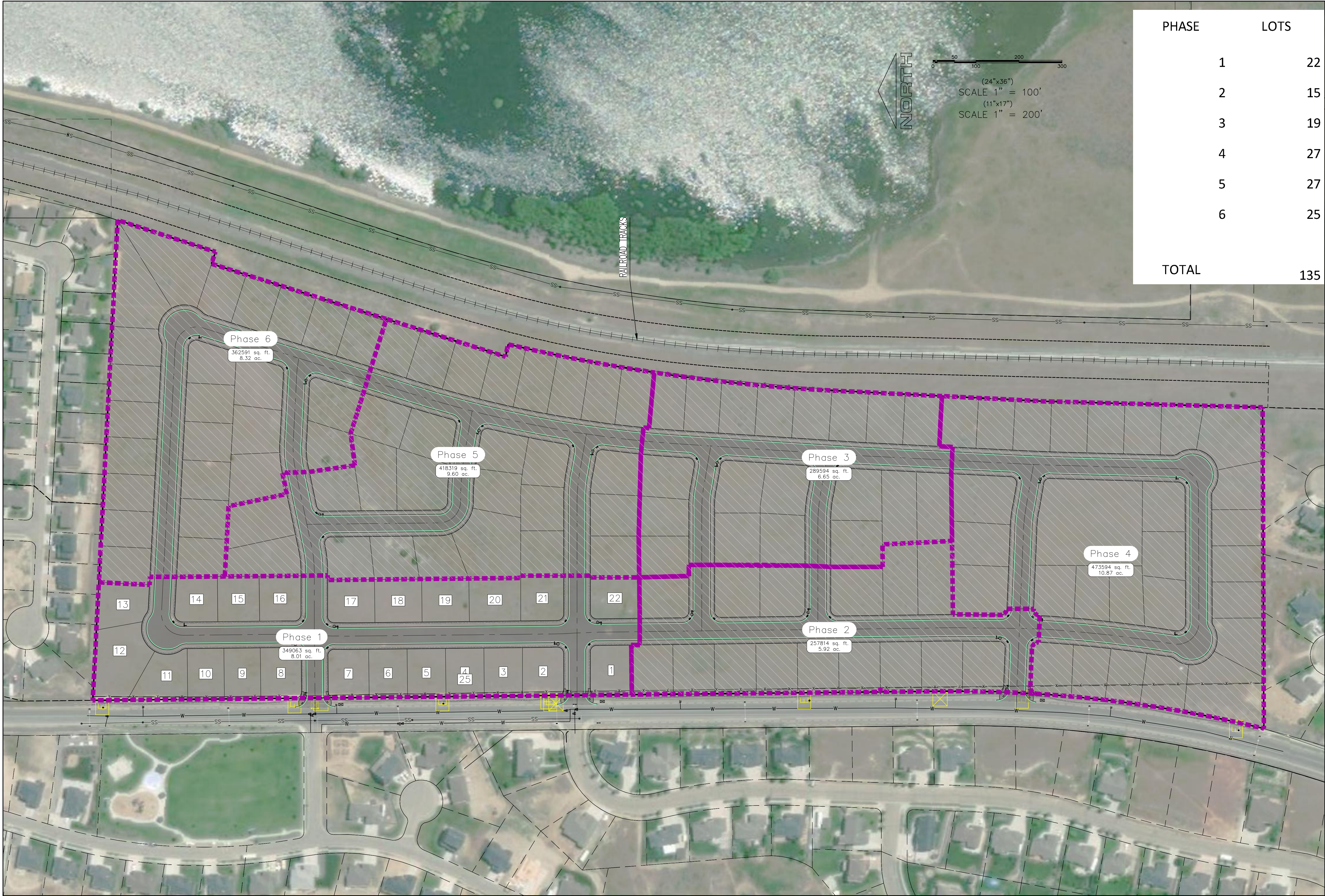
REVISIONS:

1
2
3

SHEET NAME:
COVER SHEET & NOTES

SHEET:

CS-01



PHASE	LOTS
1	22
2	15
3	19
4	27
5	27
6	25
TOTAL	135

region

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HOLLOW FLATS
at SUMMIT RIDGE – PHASE 1
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
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DATE:6.29.2023	
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1	
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3	

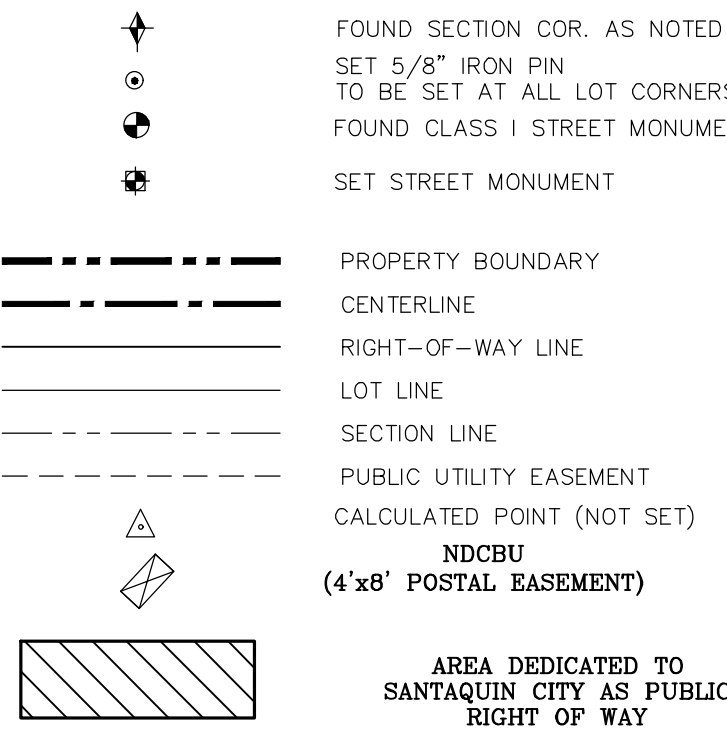
SHEET NAME:
PHASE PLAN

SHEET:
PH-01

PHASE I BREAKDOWN	
TOTAL LOT ACREAGE	6.01 ACRES
TOTAL LOT ACREAGE	5.56 ACRES
TOTAL ROW ACREAGE	2.45 ACRES
TOTAL OPEN SPACE	ACRES
ZONE	R-1-10
DENSITY	2.75 / Acre
NUMBER OF LOTS	22 LOTS

PROJECT DEVELOPER	
Skiyar Tolbert	
Ivory Development	
801-520-9127	
skylart@ivorydevelopment.com	
PROJECT ENGINEER & SURVEYOR	
REGION ENGINEERING & SURVEYING	
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LEGEND

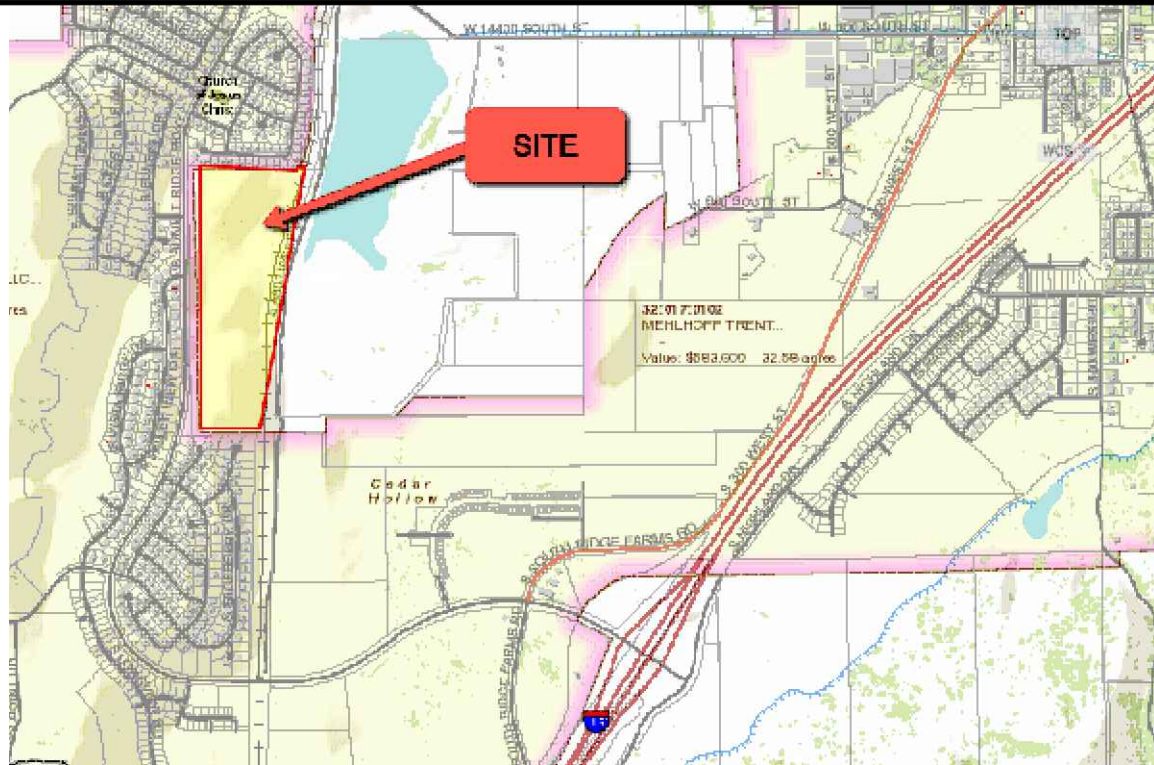


- NOTE:
- ALL LOTS THAT BORDER SUMMIT RIDGE PARKWAY SHALL HAVE NO ACCESS ONTO SUMMIT RIDGE PARKWAY (LOTS 1 thru 12).
 - ACCESS TO LOTS 1, 2, 7, AND 8 SHALL BE LIMITED TO TANNER ROAD ONLY.

HOLLOW FLATS @ SUMMIT RIDGE - PHASE 1 -

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	53.58'	1000.00'	53.57'	S21°41'17"E	3°04'11"
C2	55.26'	1000.00'	55.26'	S21°11'23"E	3°09'59"
C3	77.59'	1000.00'	77.57'	S1°36'59"W	4°26'44"
C4	77.44'	1000.00'	77.42'	S1°37'14"W	4°26'13"
C5	81.65'	50.00'	72.87'	S46°10'55"W	93°33'34"
C6	23.56'	15.00'	21.21'	N45°36'07"W	90°00'29"
C7	23.08'	15.00'	20.87'	S45°18'33"W	88°10'12"
C8	30.82'	969.00'	30.81'	S0°18'47"W	1°49'20"
C9	65.37'	60.00'	62.18'	S1°47'46"E	62°25'27"
C10	14.14'	25.00'	13.95'	S16°48'11"E	32°24'37"
C11	80.00'	60.00'	74.20'	S67°36'47"W	76°23'40"
C12	20.48'	60.00'	20.39'	N64°24'32"W	19°33'41"
C13	14.14'	25.00'	13.95'	N70°49'59"W	32°24'35"
C15	31.03'	19.00'	27.69'	N46°10'55"E	93°33'34"
C16	30.41'	1031.00'	30.41'	N01°44'49"E	1°41'24"

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C17	23.85'	15.00'	21.41'	N44°27'14"W	91°05'31"
C18	23.22'	15.00'	20.97'	N45°39'36"E	88°40'49"
C19	32.58'	969.00'	32.58'	N0°21'24"E	1°55'35"
C20	32.08'	1031.00'	32.08'	S01°7'06"W	1°46'59"
C21	24.03'	15.00'	21.54'	S44°42'53"E	91°46'57"
C22	23.56'	15.00'	21.21'	N44°24'01"E	89°59'16"
C23	23.40'	15.00'	21.10'	N45°18'57"W	89°22'05"
C24	23.91'	15.00'	21.46'	S44°20'29"W	91°19'02"
C25	12.79'	1031.00'	12.79'	S0°57'43"E	0°42'38"
C26	23.40'	15.00'	21.10'	N45°18'12"W	89°23'37"
C27	23.75'	15.00'	21.34'	N44°38'54"E	90°42'11"
C28	23.32'	15.00'	21.04'	S45°28'02"E	89°03'56"
C29	23.73'	15.00'	21.33'	N44°41'03"E	90°37'55"
C30	3.91'	969.00'	3.91'	S0°49'07"E	0°13'52"



Surveyor's Certificate

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

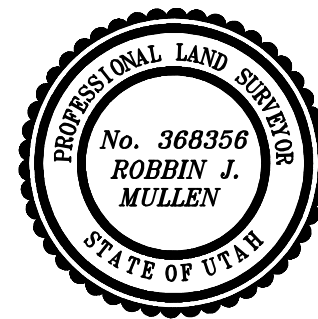
Boundary Description

HOLLOW FLATS @ SUMMIT RIDGE - PHASE 1

BEGINNING AT A POINT ON A LINE THAT IS S.89°55'22"W. A DISTANCE OF 1352.07 FEET ALONG THE SECTION LINE AND SOUTH 1278.49 FEET FROM THE NORTH 1/4 OF CORNER OF SECTION 10, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN;

THENCE, S 87° 02' 00" E FOR A DISTANCE OF 274.89 FEET TO A POINT ON A LINE.
THENCE, S 02° 57' 42" W FOR A DISTANCE OF 118.03 FEET TO A POINT ON A LINE.
THENCE, S 87° 02' 18" E FOR A DISTANCE OF 18.68 FEET TO A POINT ON A LINE.
THENCE, S 00° 00' 00" W FOR A DISTANCE OF 62.08 FEET TO A POINT ON A LINE.
THENCE, S 00° 29' 34" E FOR A DISTANCE OF 289.23 FEET TO A POINT ON A LINE.
THENCE, S 00° 49' 20" E FOR A DISTANCE OF 62.01 FEET TO A POINT ON A LINE.
THENCE, N 90° 00' 00" W FOR A DISTANCE OF 10.73 FEET TO A POINT ON A LINE.
THENCE, S 00° 36' 05" E FOR A DISTANCE OF 108.84 FEET TO A POINT ON A LINE.
THENCE, S 00° 36' 23" E FOR A DISTANCE OF 109.75 FEET TO A POINT ON A LINE.
THENCE, S 00° 36' 23" E FOR A DISTANCE OF 109.97 FEET TO A POINT ON A LINE.
THENCE, S 00° 33' 56" E FOR A DISTANCE OF 120.45 FEET TO A POINT ON A LINE.
THENCE, N 90° 00' 00" W FOR A DISTANCE OF 5.39 FEET TO A POINT ON A LINE.
THENCE, S 00° 00' 00" W FOR A DISTANCE OF 100.00 FEET TO A POINT ON A LINE.
THENCE, S 03° 39' 45" W FOR A DISTANCE OF 62.13 FEET TO A POINT ON A LINE.
THENCE, S 00° 00' 00" W FOR A DISTANCE OF 113.52 FEET TO A POINT ON A LINE.
THENCE, S 89° 17' 49" W FOR A DISTANCE OF 95.20 FEET TO A POINT ON A LINE.
THENCE, N 90° 00' 00" W FOR A DISTANCE OF 62.00 FEET TO A POINT ON A LINE.
THENCE, N 00° 42' 11" W FOR A DISTANCE OF 19.69 FEET TO A POINT ON A LINE.
THENCE, S 89° 22' 05" W FOR A DISTANCE OF 115.11 FEET TO A POINT ON A LINE.
THENCE, N 00° 37' 55" W FOR A DISTANCE OF 300.66 FEET TO A POINT ON A LINE.
THENCE, N 00° 35' 53" W A DISTANCE OF 953.05 FEET TO THE POINT OF BEGINNING

CONTAINING 8.01 ACRES OF LAND AND 22 LOTS



DATE

OWNERS DEDICATION

SURVEYOR
(See Seal Below)

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS

DAY OF _____, A.D. 20____

LIMITED COMPANY ACKNOWLEDGEMENT

STATE OF UTAH

S.S.

COUNTY OF UTAH

ON THIS _____ DAY OF _____, A.D. 20____ PERSONALLY APPEARED BEFORE ME _____ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE _____ OF _____ A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

MY COMMISSION EXPIRES _____

A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY ADDRESS

PRINTED FULL NAME OF NOTARY

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____

APPROVED MAYOR OF SANTAQUIN

ATTEST

ENGINEER
(See Seal Below)

CLERK-RECORDER
(See Seal Below)

HOLLOW FLATS @ SUMMIT RIDGE PHASE 1

UTAH COUNTY, UTAH

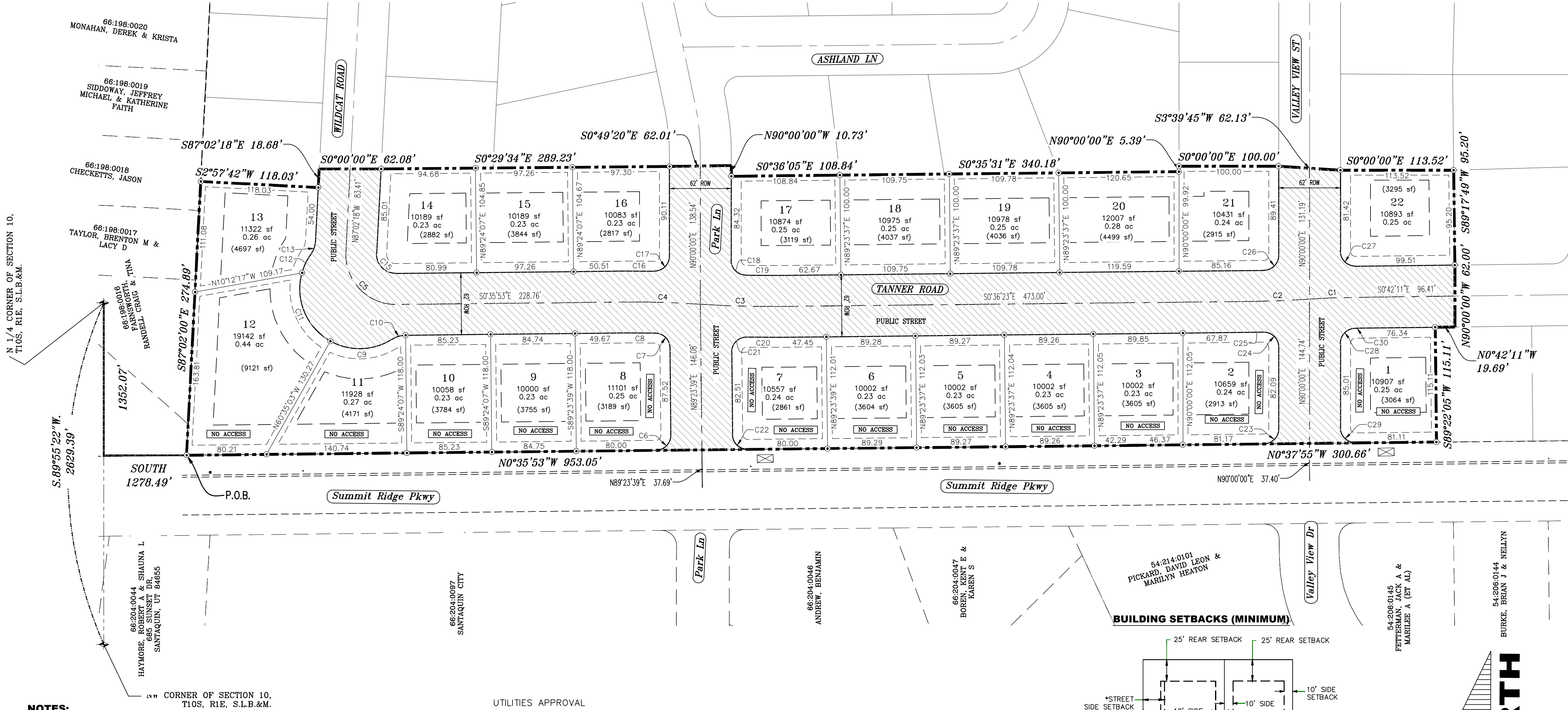
SCALE: 1" = 60 FEET

NOTARY PUBLIC SEAL

CITY-COUNTY ENGINEER SEAL

COUNTY-RECORDER SEAL

This form approved by Utah County and the municipalities therein.



NOTES:

- TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
- PROPOSED RESIDENTIAL ADDRESS
- AREA IN PARENTHESIS DENOTES BUILDABLE AREA
- THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

BASIS OF BEARING

THE BASIS OF BEARING FOR THE TANNER FLATS @ SUMMIT RIDGE IS ON THE SECTION LINE BETWEEN THE SW CORNER OF SECTION 10 AND THE N 1/4 CORNER OF SECTION 10, T10S, R1E, S1B&M WITH THE BEARING BEING S89°55'22"W ALONG SAID LINE.

UTILITIES APPROVAL

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MTN POWER _____
CENTRACOM _____
CENTURY LINK _____

DOMINION ENERGY ACCEPTANCE

DOMINION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION'S RIGHT OF WAY DEPARTMENT AT 1-800-366-8532.

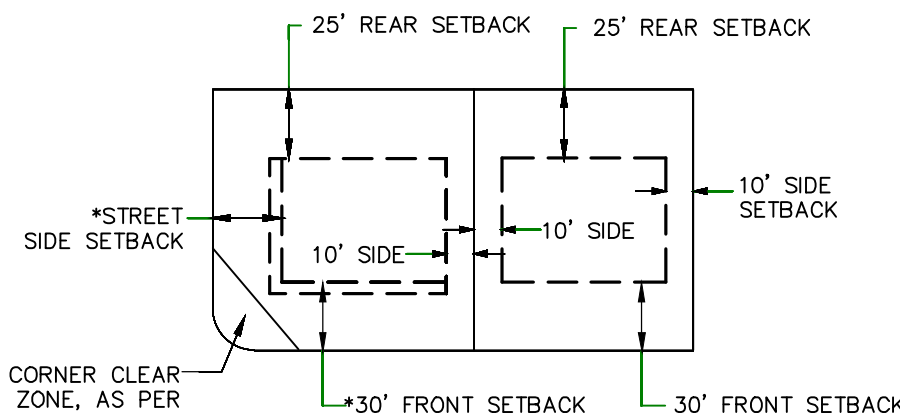
APPROVED THIS _____ DAY OF _____, 20____

DOMINION ENERGY COMPANY

BY- _____

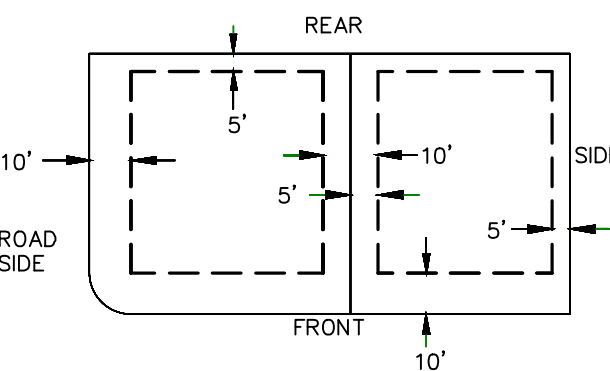
TITLE- _____

BUILDING SETBACKS (MINIMUM)



*FRONT SETBACK ON CORNER LOT: THIRTY FEET (30') FROM PROPERTY LINE ALONG PRIMARY FRONTAGE, TWENTY FIVE FEET (25') FROM PROPERTY LINE ALONG SECONDARY FRONTAGE.

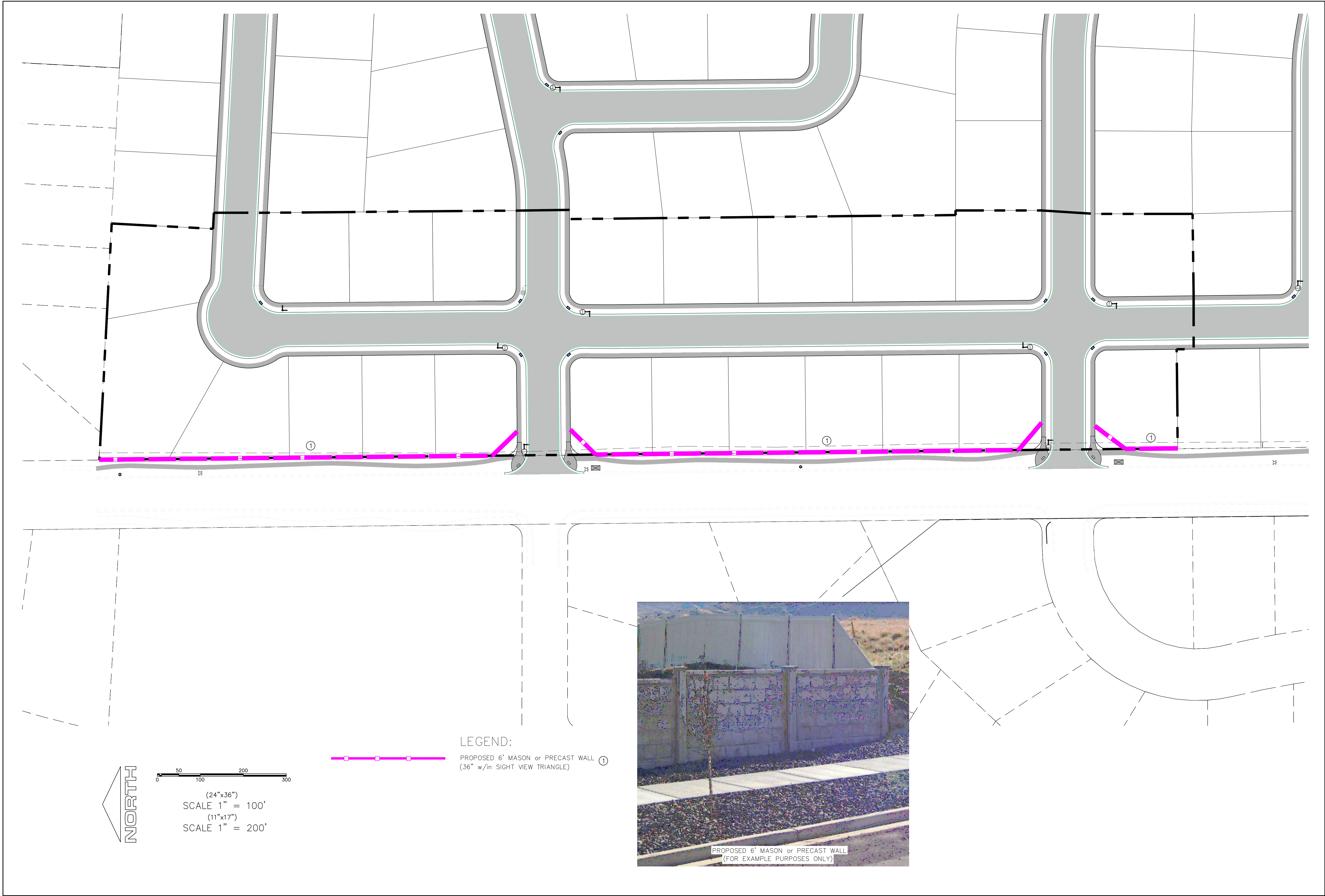
PUBLIC UTILITY EASEMENTS




30 60 120 180

(24"x36")
SCALE 1" = 60'
(11"x17")
SCALE 1" = 120'

SHEET 1 of 1




D:\PROJECTS\REGION PROJECTS\REGION ENGINEERING PROJECTS\01-PROJECTS\2021\017_TANNER FLATS\SHEET FILES\PHASE 1\FEN-01



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HOLLOW FLATS
at SUMMIT RIDGE – PHASE 1


















LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE:6.29.2023	
PROJECT #	
REVISIONS:	
1	
2	
3	

SHEET NAME:
FENCING PLAN

SHEET:
FEN-01

EXISTING CONTOUR MAJOR
 EXISTING CONTOUR MINOR
 EXISTING DEED LINE
 EXISTING STORM MAIN
 EXISTING SEWER MAIN
 EXISTING WATER MAIN
 EXISTING PI MAIN
 EXISTING CONCRETE
 PI/WAT/SEWER LATERAL
 PROPOSED ASPHALT
 PROPOSED CONCRETE
 PROPOSED CURB & GUTTER
 PROPOSED LOT LINE
 BOUNDARY LINE
 RIGHT OF WAY LINE
 PROPOSED STORM MAIN
 PROPOSED CUL MAIN
 PROPOSED PI MAIN
 PROPOSED SEWER MAIN
 PROPOSED WAT/PI/SEWER SERVICE LATERALS
 RESIDENTIAL STREET LIGHT

	PROPOSED VALVE (WAT/PI)
	PROPOSED SEWER MANHOLE
	PROPOSED STORM INLET/MANHOLE
	PROPOSED ADA RAMP
	PROPOSED STOP/STREET SIGN
	PROPOSED FIRE HYDRANT
	FOUND SECTION COR. AS NOTED
	SET 5/8" IRON PIN
	TO BE SET AT ALL LOT CORNERS
	FOUND CLASS I STREET MONUMENT
	SET STREET MONUMENT
	CENTERLINE
	RIGHT-OF-WAY LINE
	LOT LINE
	PUBLIC UTILITY EASEMENT
	SECTION LINE
	R-TANK LID CHAMBERS

- ① RESIDENTIAL STREET LIGHT
(PER SANTAUQUIN CITY STANDARDS)
- ② STOP/STREET SIGN
- ③ SANITARY SEWER SERVICE LATERAL
(PER SANTAUQUIN CITY STANDARDS)
- ④ CULINARY WATER SERVICE LATERAL
(PER SANTAUQUIN CITY STANDARDS)
- ⑤ PI SERVICE LATERAL
(PER SANTAUQUIN CITY STANDARDS)
- ⑥ FIRE HYDRANT
- ⑦ ADA RAMP
(PER SANTAUQUIN CITY STANDARDS)
- ⑧ STUB & PLUG FOR FUTURE CONNECTION
(PER SANTAUQUIN CITY STANDARDS)
- ⑨ NDCBU (3 BOXES)
- ⑩ 5' TRAIL
- ⑪ STREET SIGN ONLY

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THE CITY DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL EXISTED & PROPOSED UTILITY LINES SHALL BE DETERMINED AND INSTALLED BY SANTIQUIN CITY DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTIQUIN STANDARDS AND DETAIL ON SHEET D-1 OF 1 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P1, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
7. ALL TREE INLET BOX SHALL BE 36" MINIMUM DIAMETER OF BOX OR 2.5 TIMES THE FIER DIAMETER ABOVE THE BOTTOM OF THE BOX.

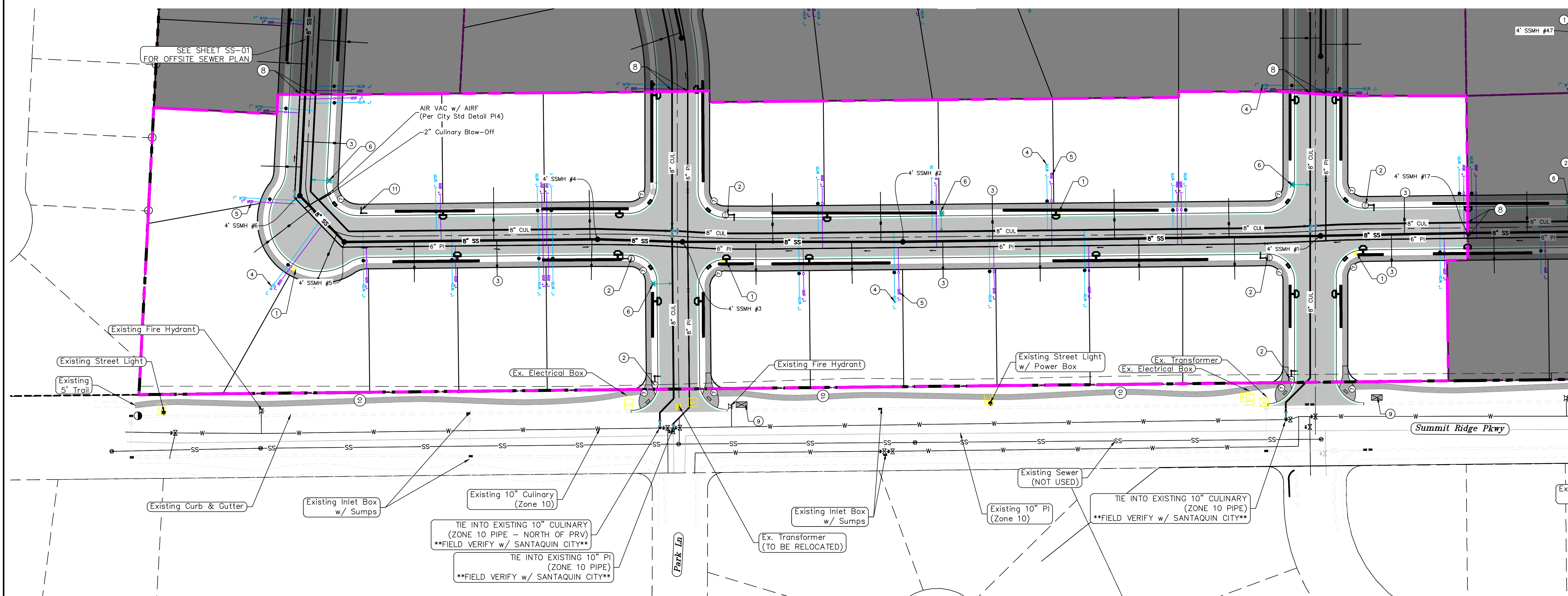
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(24"x36")
SCALE 1" = 50'
(11"x17")
SCALE 1" = 100'

ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



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HOLLOW FLATS
at SUMMIT RIDGE - PHASE 1
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

PROJECT #

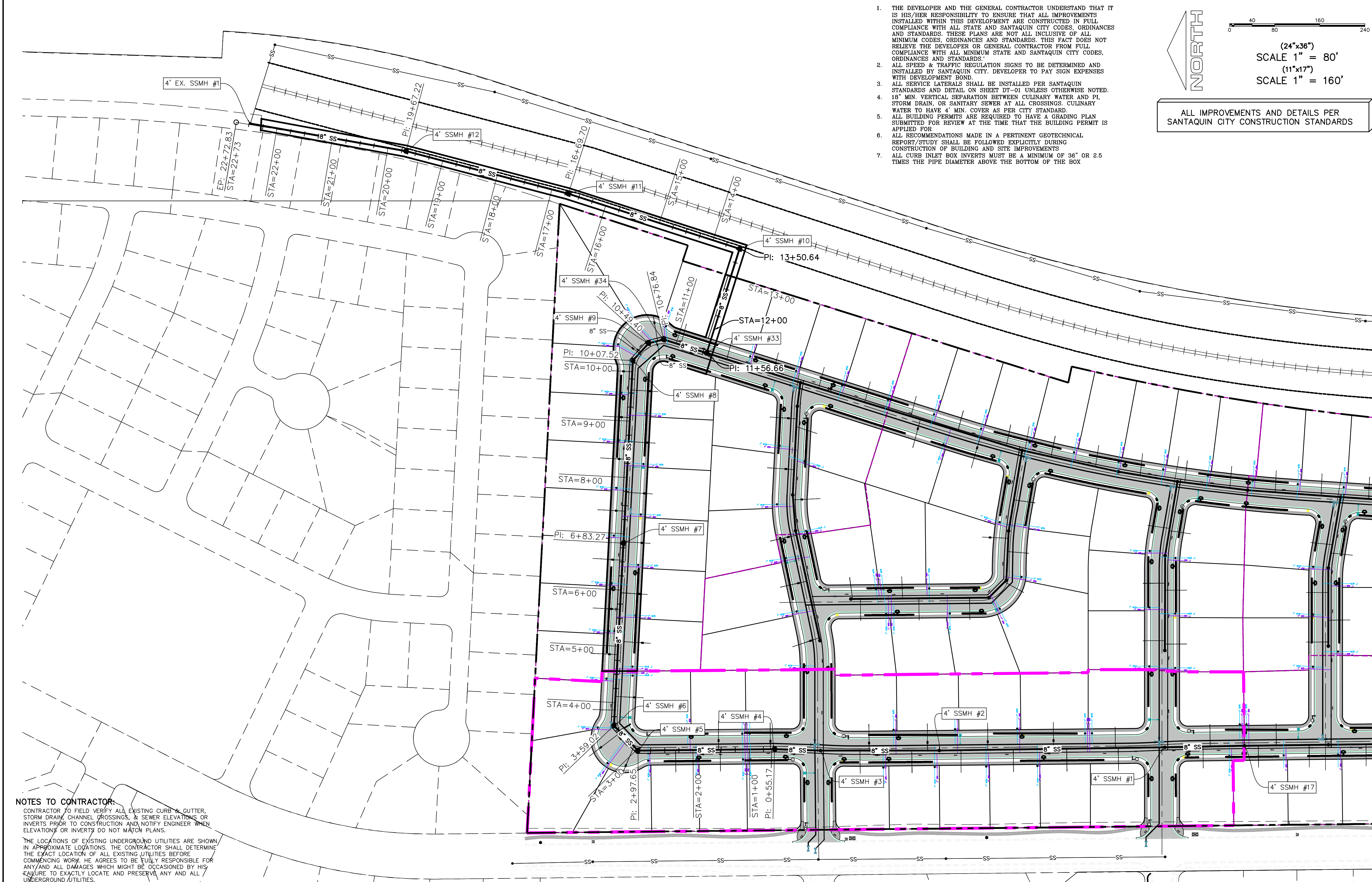
REVISIONS:

1
2
3

UTILITY PLANS

SHEET:

UP-01



1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

NORTH

0 40 80 160 240

(24"x36")
SCALE 1" = 80'
(11"x17")
SCALE 1" = 160'

ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS

NOTES TO CONTRACTOR:
CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Engineering
& Surveying

region

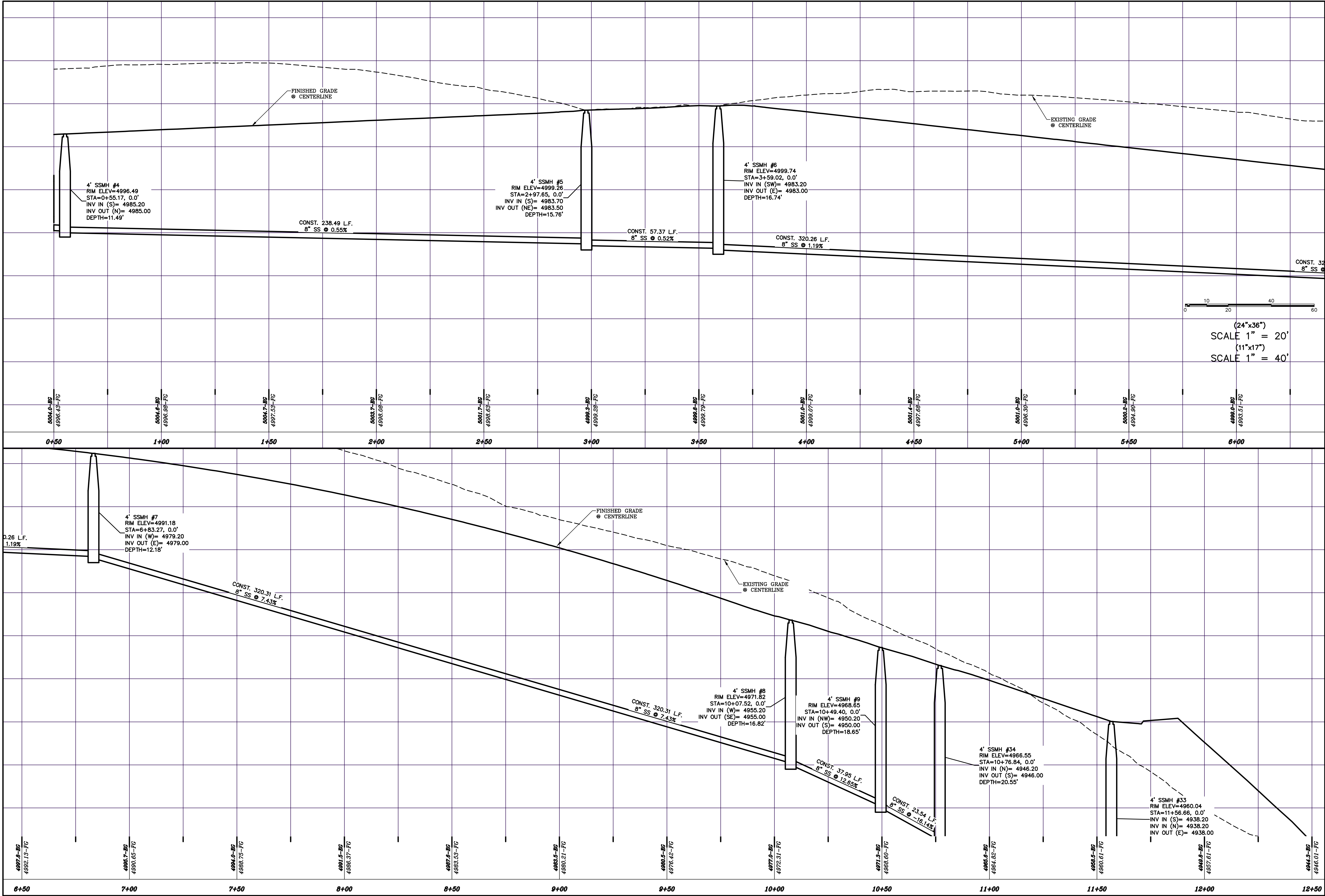
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Orem, UT 84057
P: 801.376.2245
regiondesignllc.com

**HOLLOW FLATS
at SUMMIT RIDGE – PHASE 1**
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.29.2023	
PROJECT #	
REVISIONS:	
1	
2	
3	

SHEET NAME:
SS-01

SHEET:
SS-01



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**HOLLOW FLATS
at SUMMIT RIDGE – PHASE 1**
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.29.2023

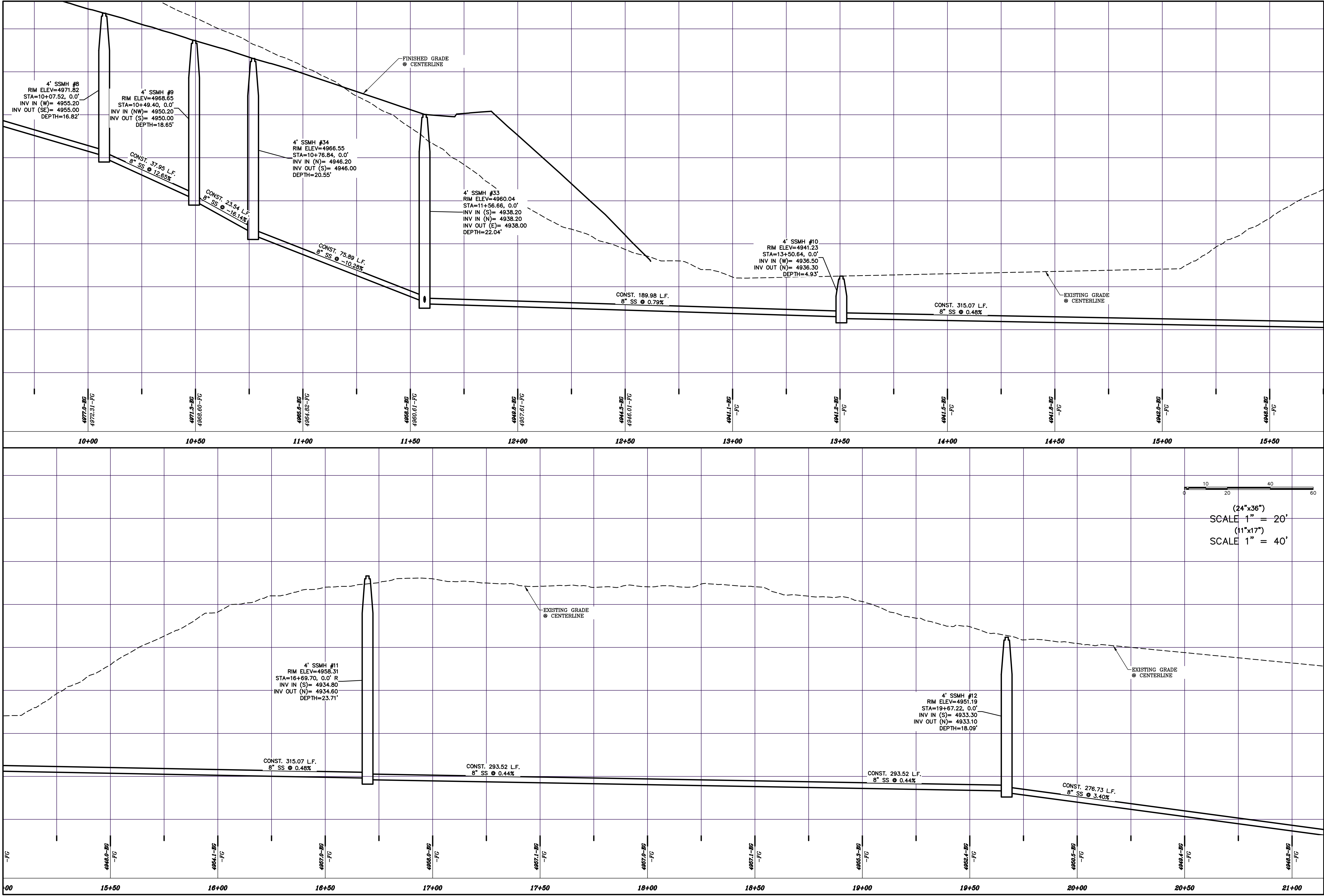
PROJECT #

REVISIONS:

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SHEET NAME:
OFFSITE SEWER
PROFILE

SHEET:
SS-02



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**HOLLOW FLATS
at SUMMIT RIDGE - PHASE 1**
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.29.2023

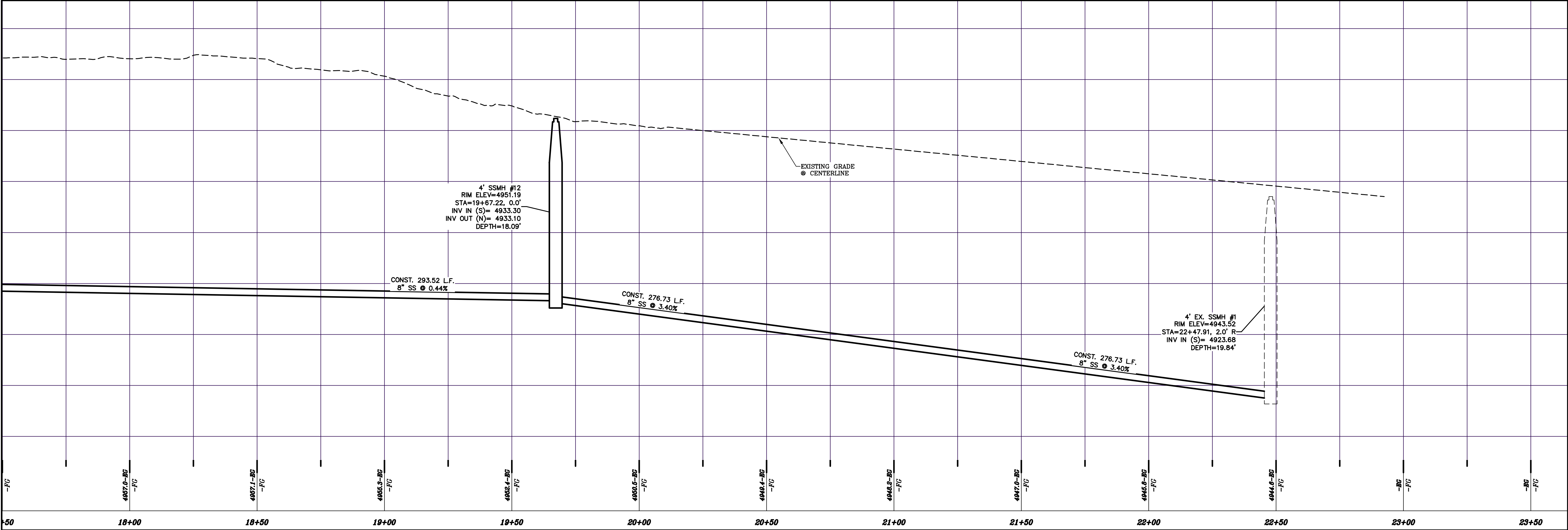
PROJECT #

REVISIONS:

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SHEET NAME:
OFFSITE SEWER
PROFILE

SHEET:
SS-03



0 10 20 40 60
(24"x36")
SCALE 1" = 20'
(11"x17")
SCALE 1" = 40'

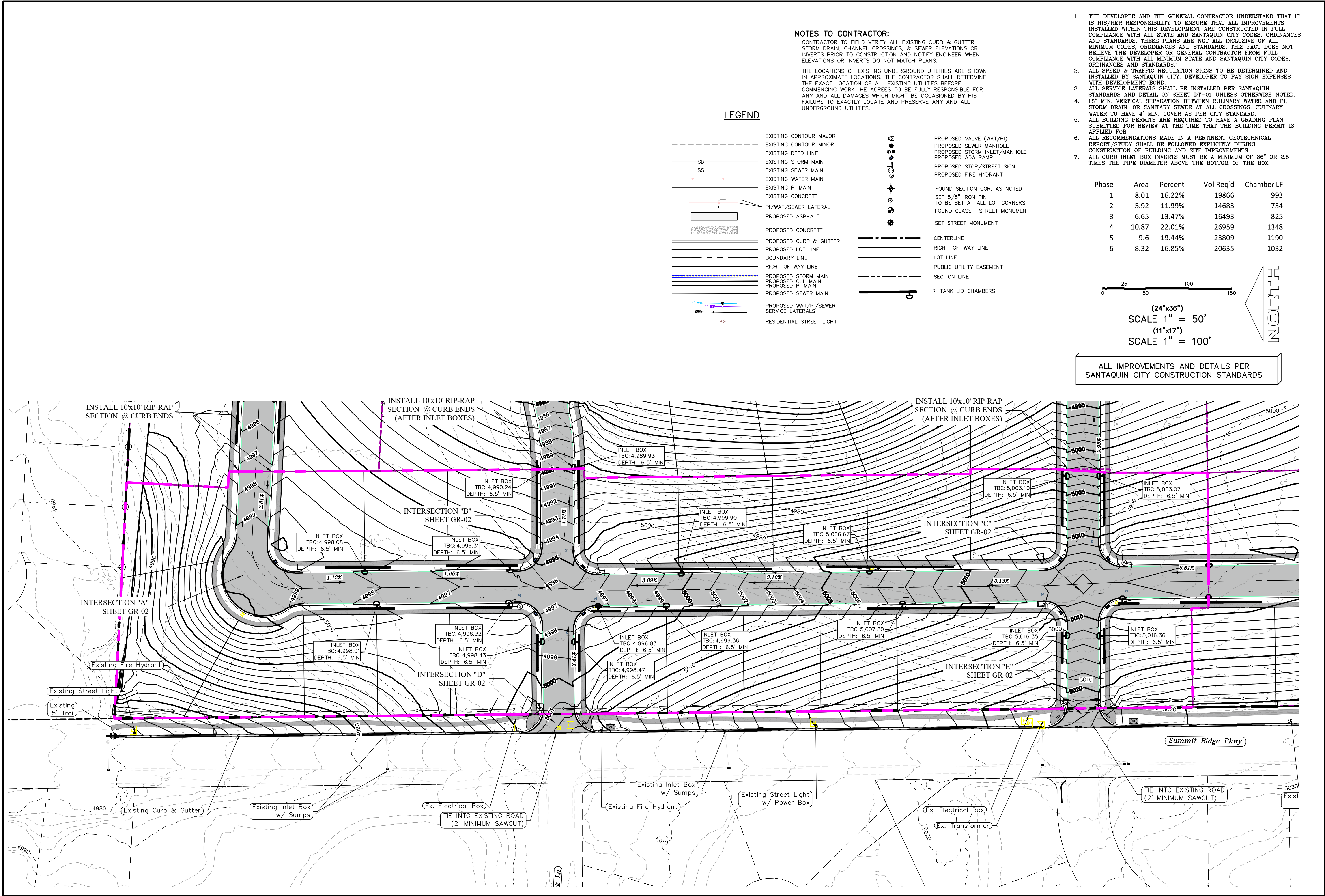
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**HOLLOW FLATS
at SUMMIT RIDGE – PHASE 1**
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE:6.29.2023	
PROJECT #	
REVISIONS:	
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SHEET NAME:
OFFSITE SEWER
PROFILE
SHEET:
SS-04

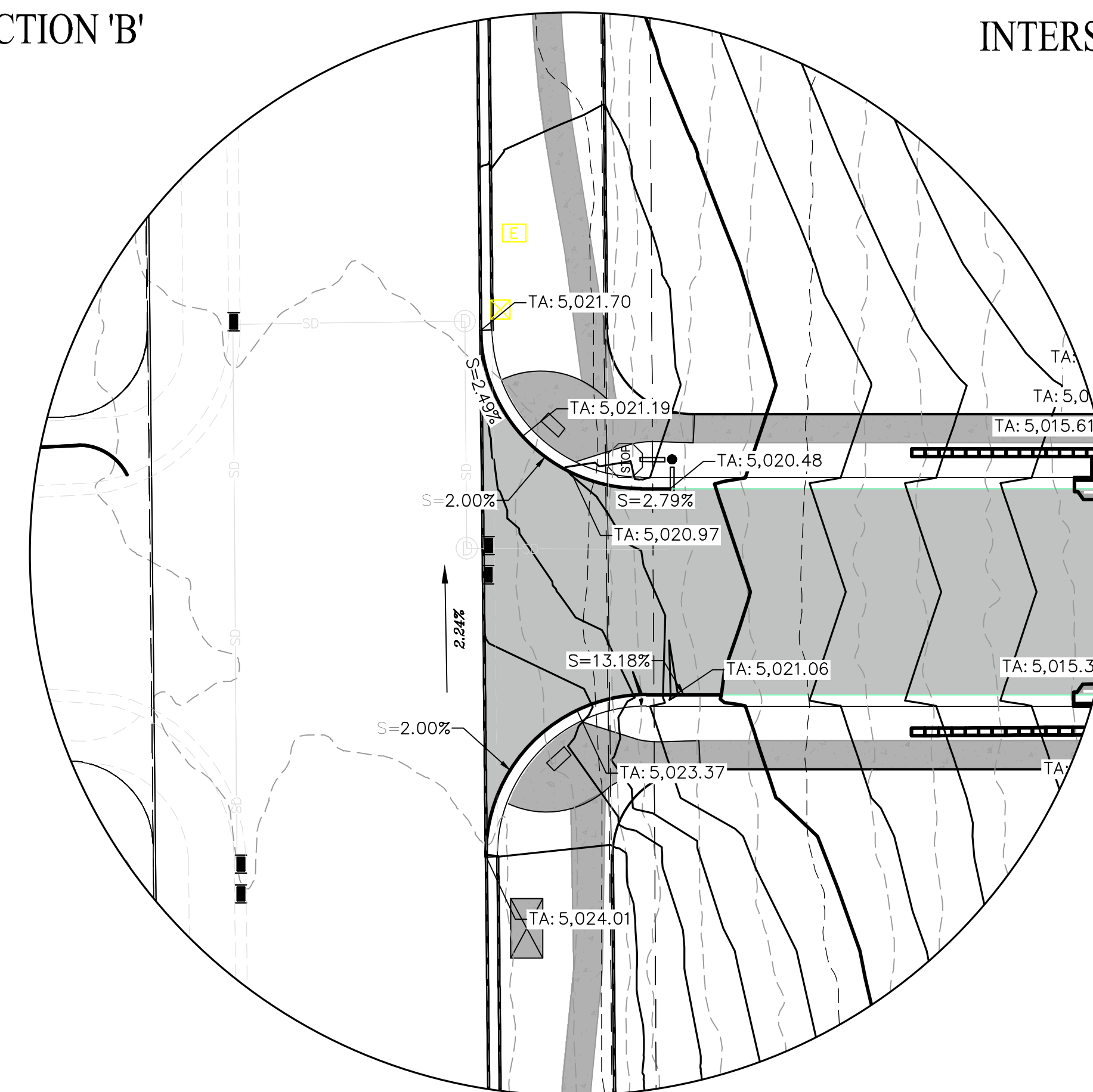
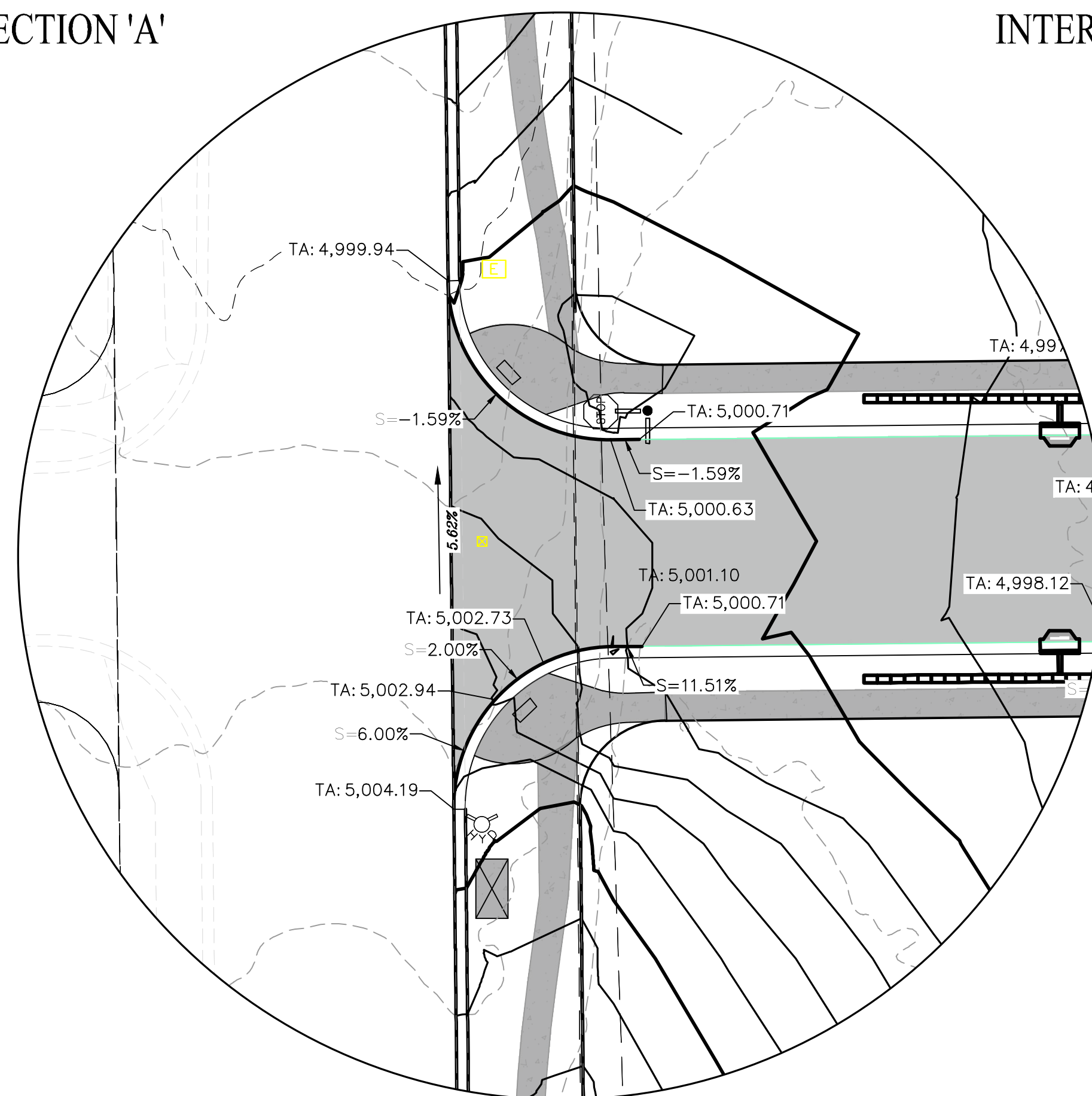
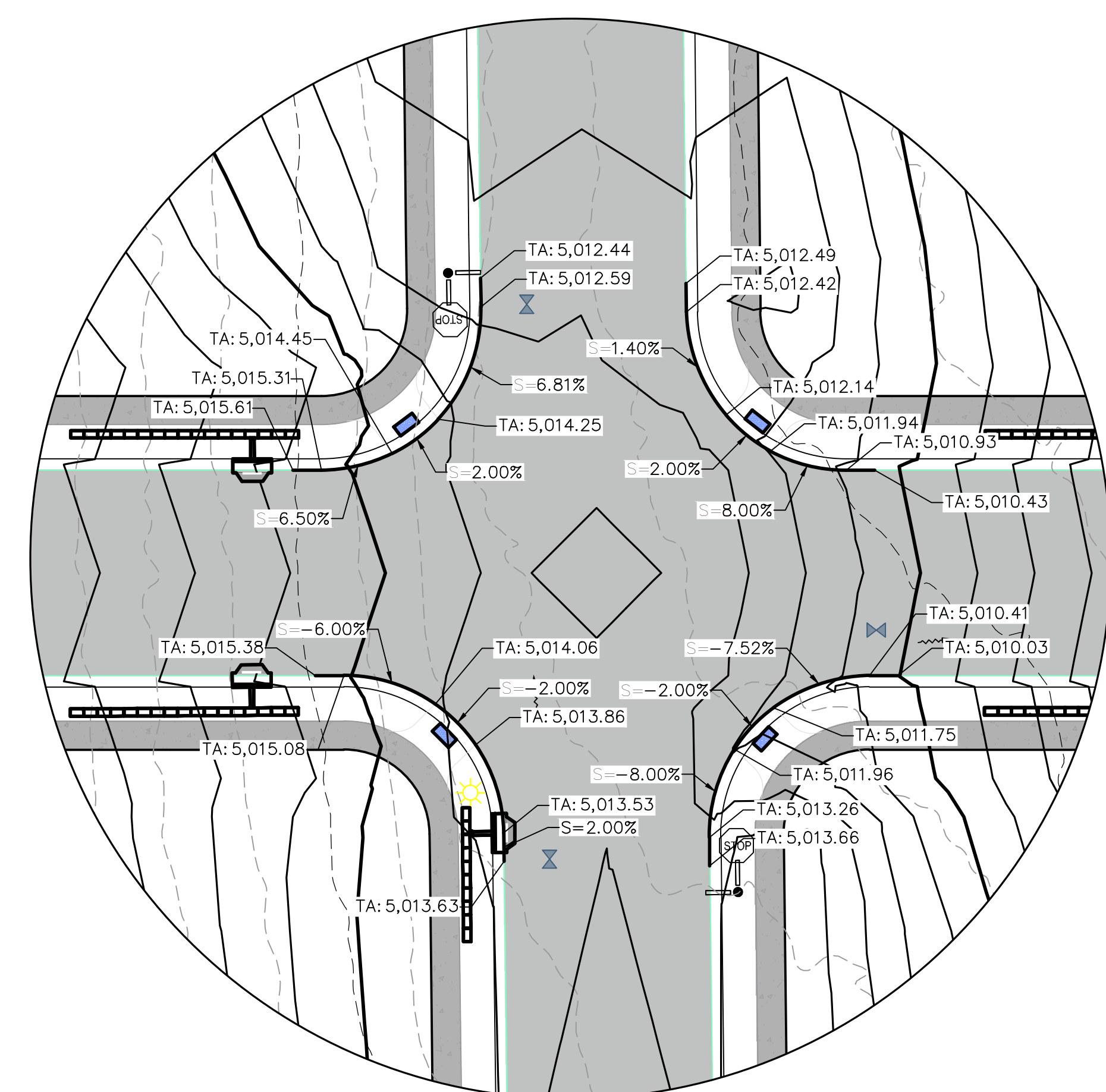
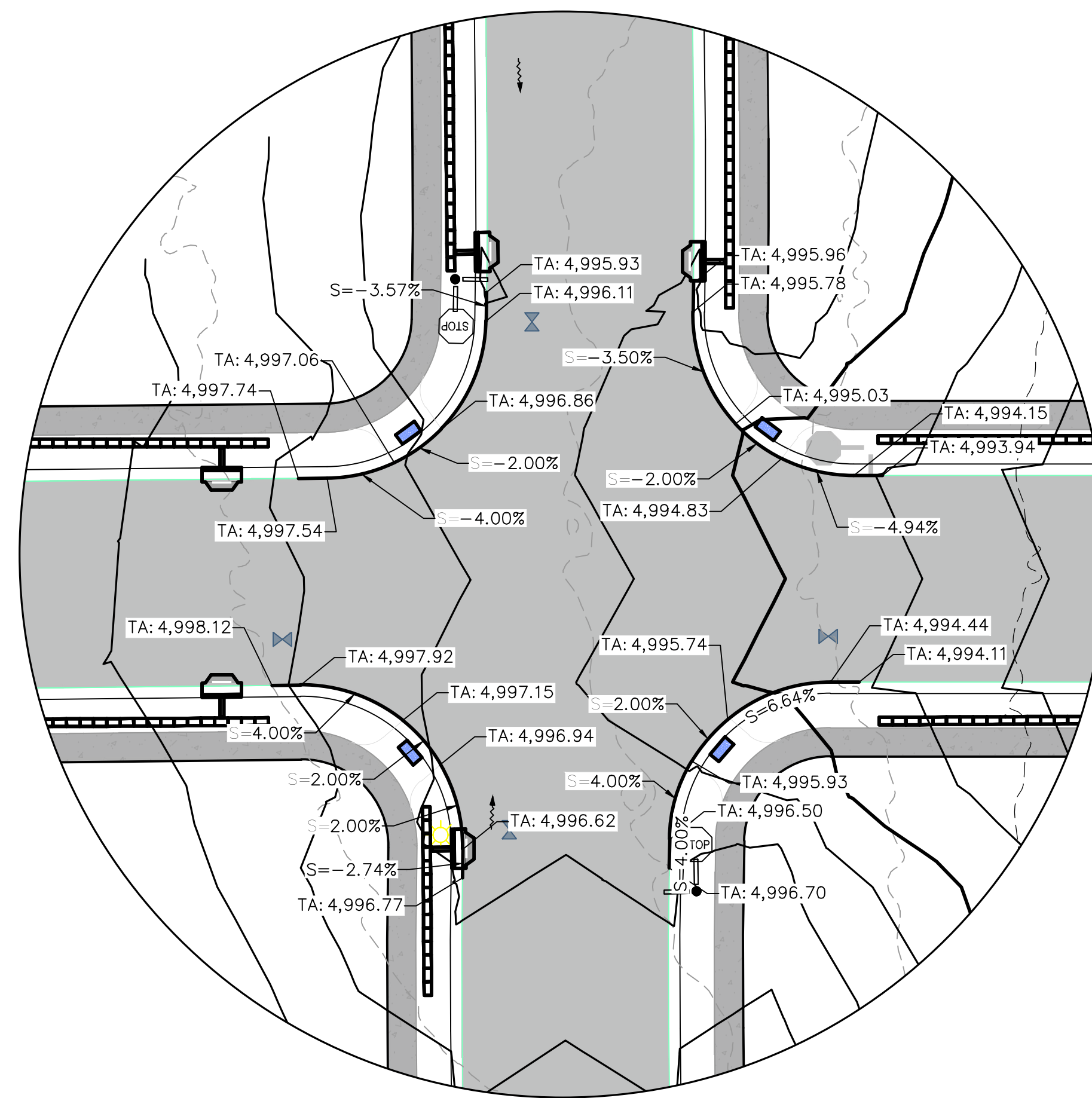
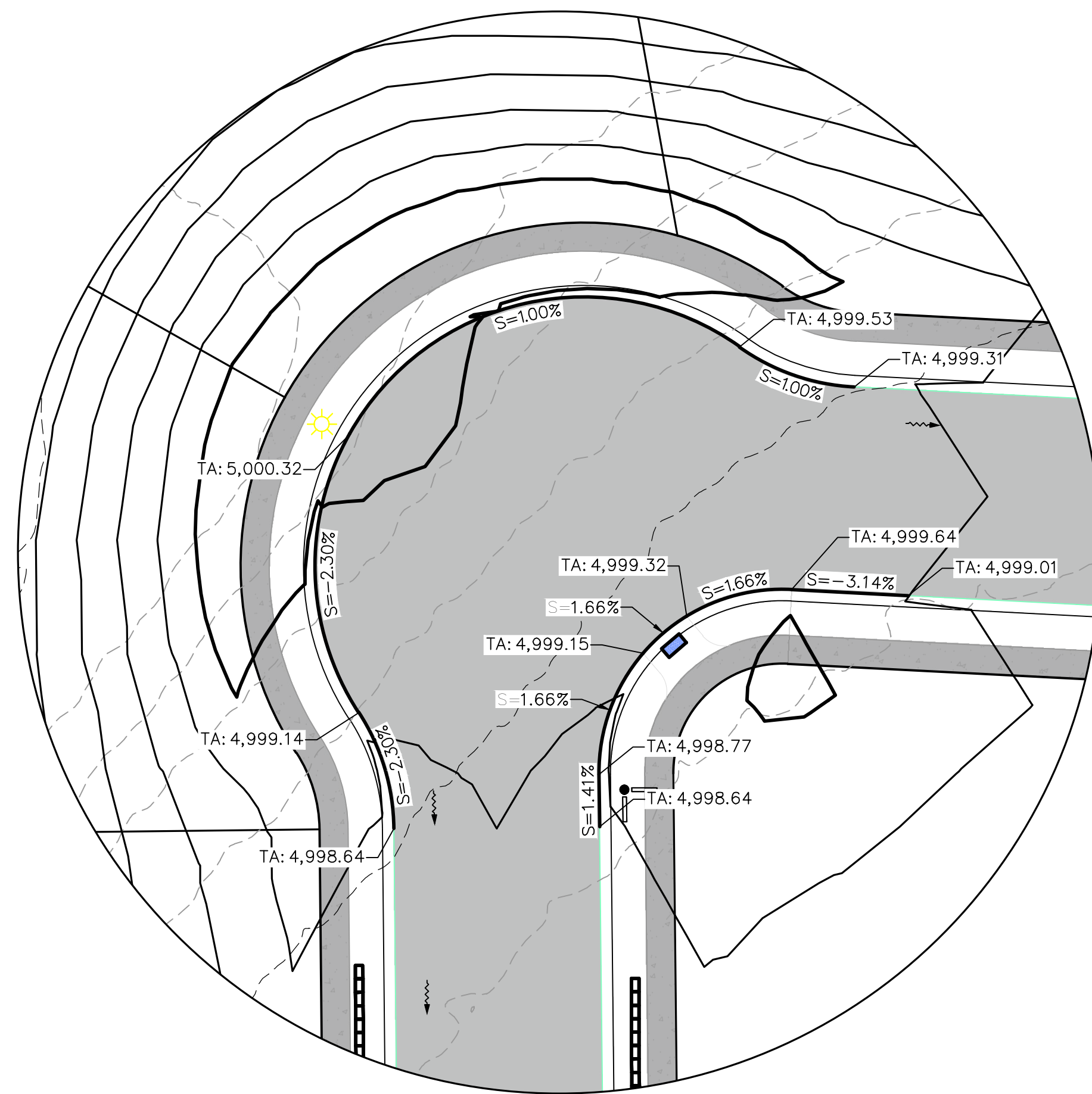


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**HOLLOW FLATS
at SUMMIT RIDGE - PHASE 1**
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.29.2023
PROJECT #
REVISIONS:
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SHEET NAME:
GRADING PLANS
SHEET:
GR-01



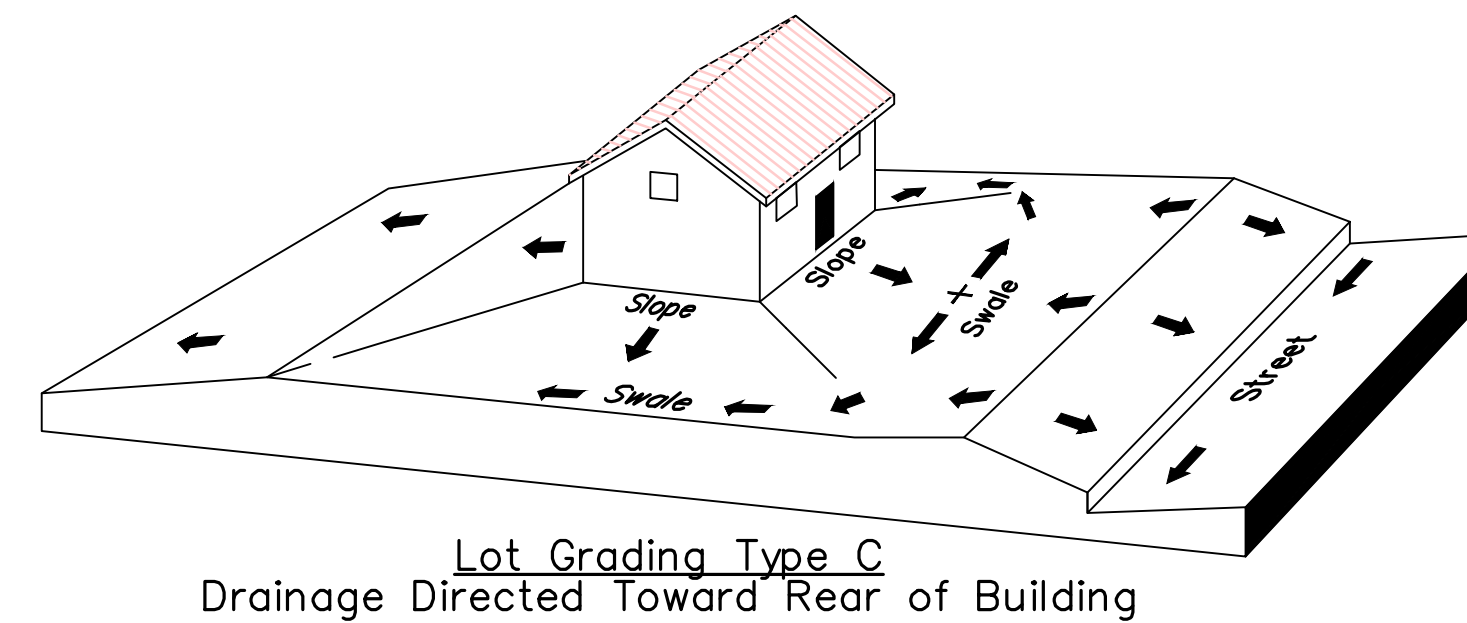
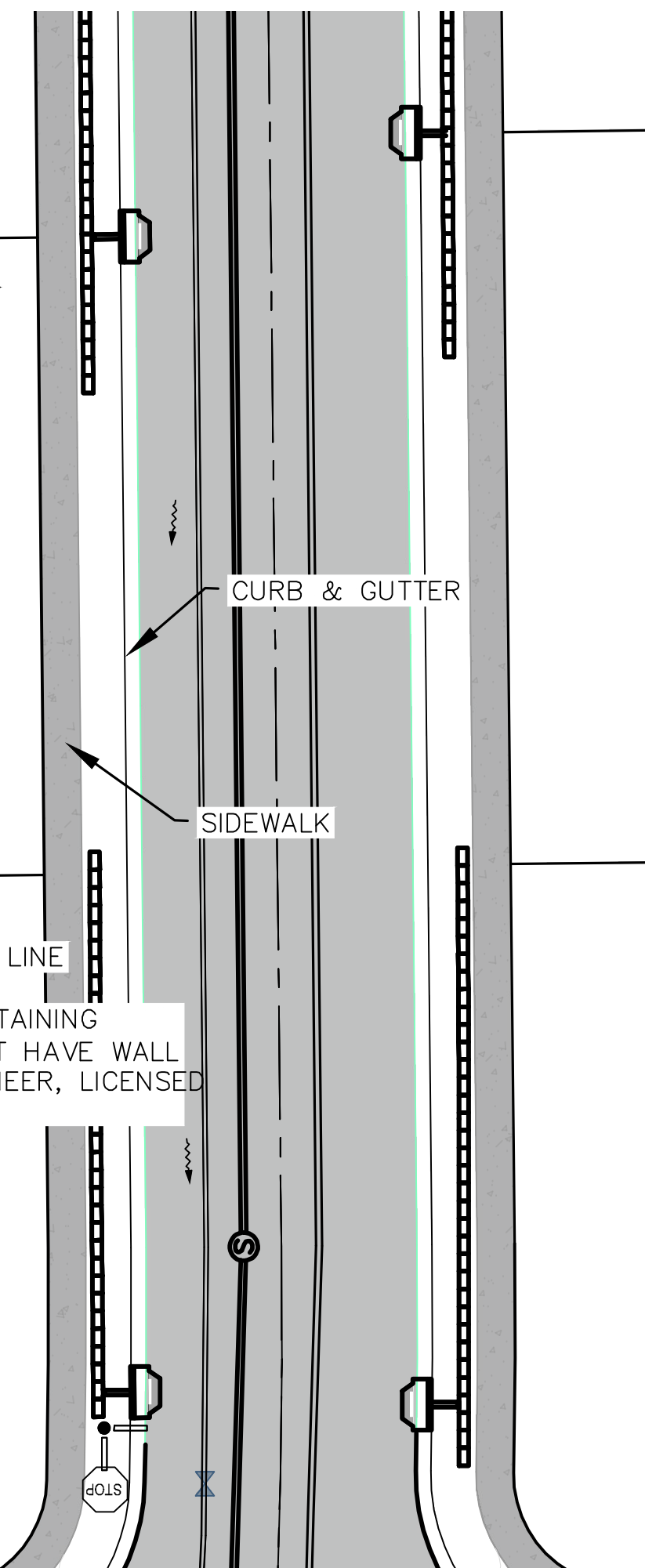
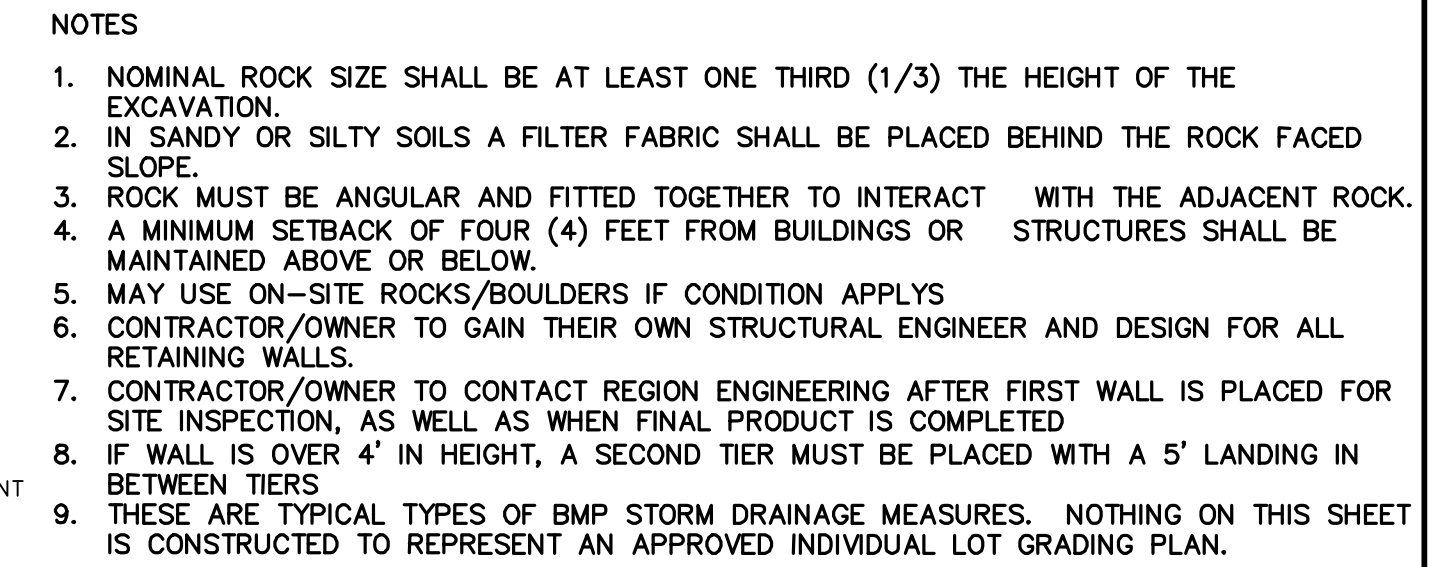
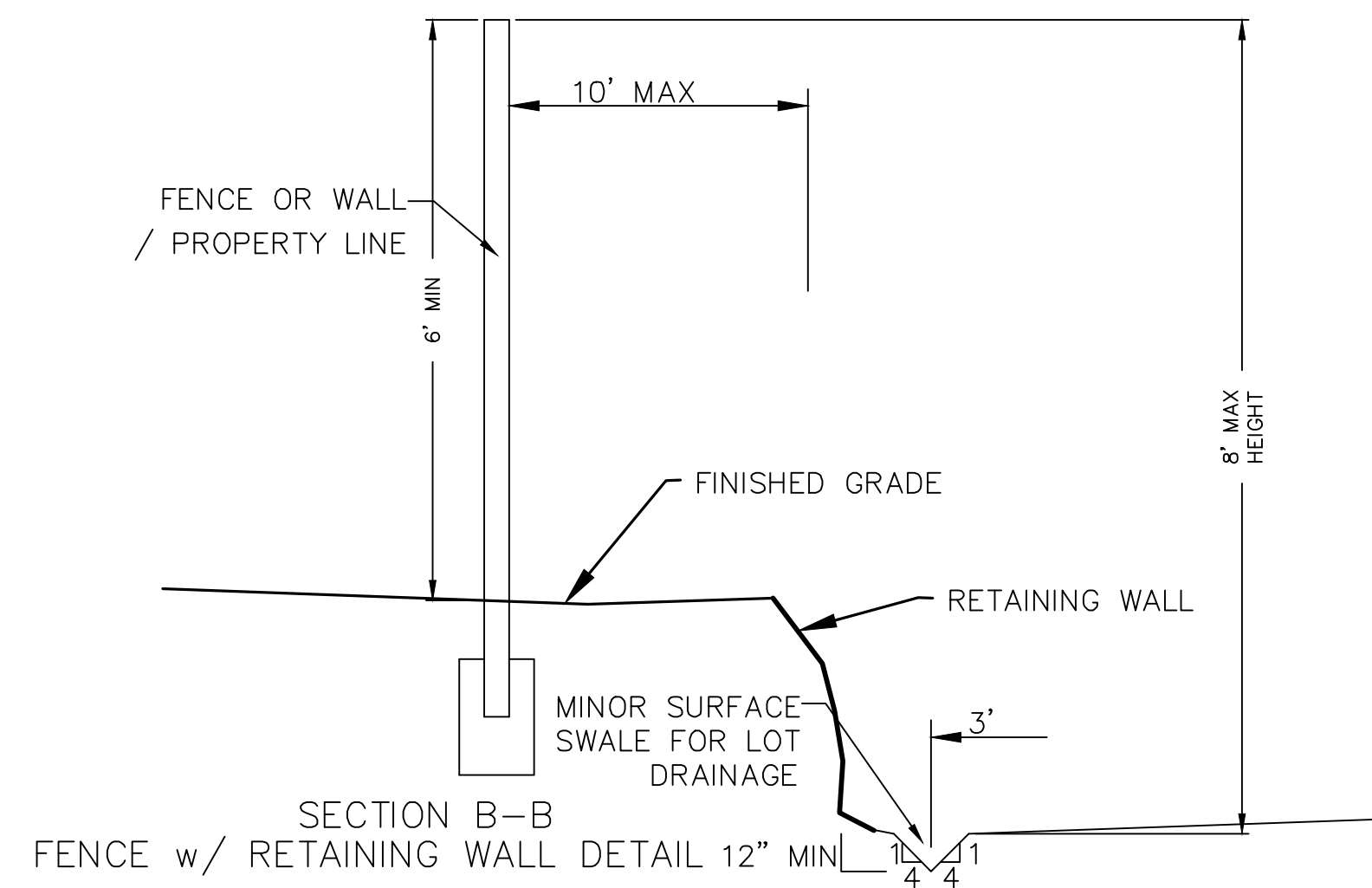
(24"x36")

SCALE 1" = 20'

(11"x17")

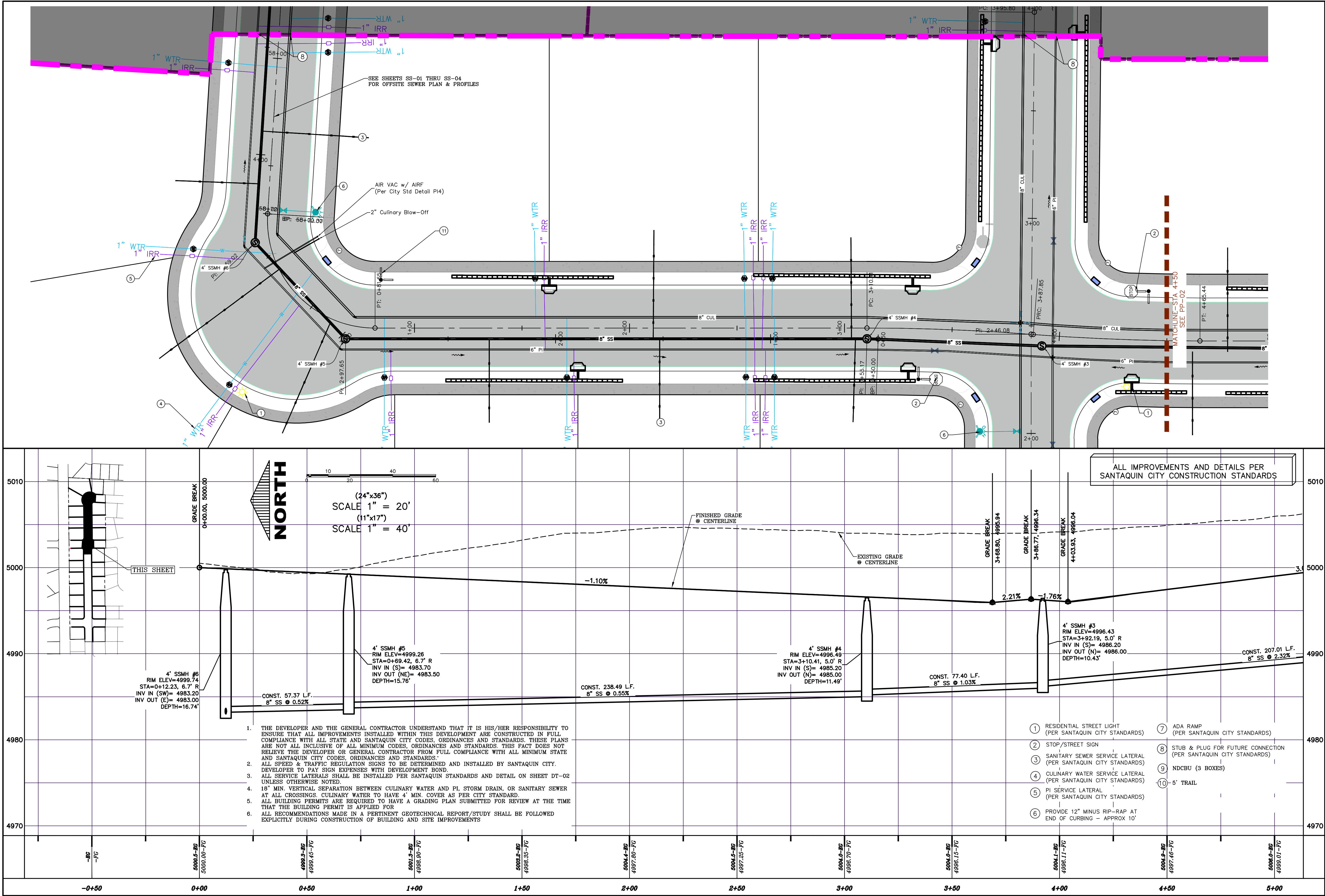
SCALE 1" = 40'


ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS




- | |
|---|
| <p><u>Lot Drainage -</u></p> <ul style="list-style-type: none"> • At minimum, 50% of roof drains shall drain towards the street. • All side downspouts are to be diverted toward the front or rear of the lot. • Yards to be positively graded away from all window wells • HOA's &/or homeowners are responsible for maintaining lot line drainage pathways through their properties per drainage plan. • All lot lines are to be maintained as drainage pathways for accumulating runoff from adjoining lots. • All lots shall meet the International Building Code standards and drain away from the structure. |
|---|

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2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTIQUIN CITY DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
4. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS





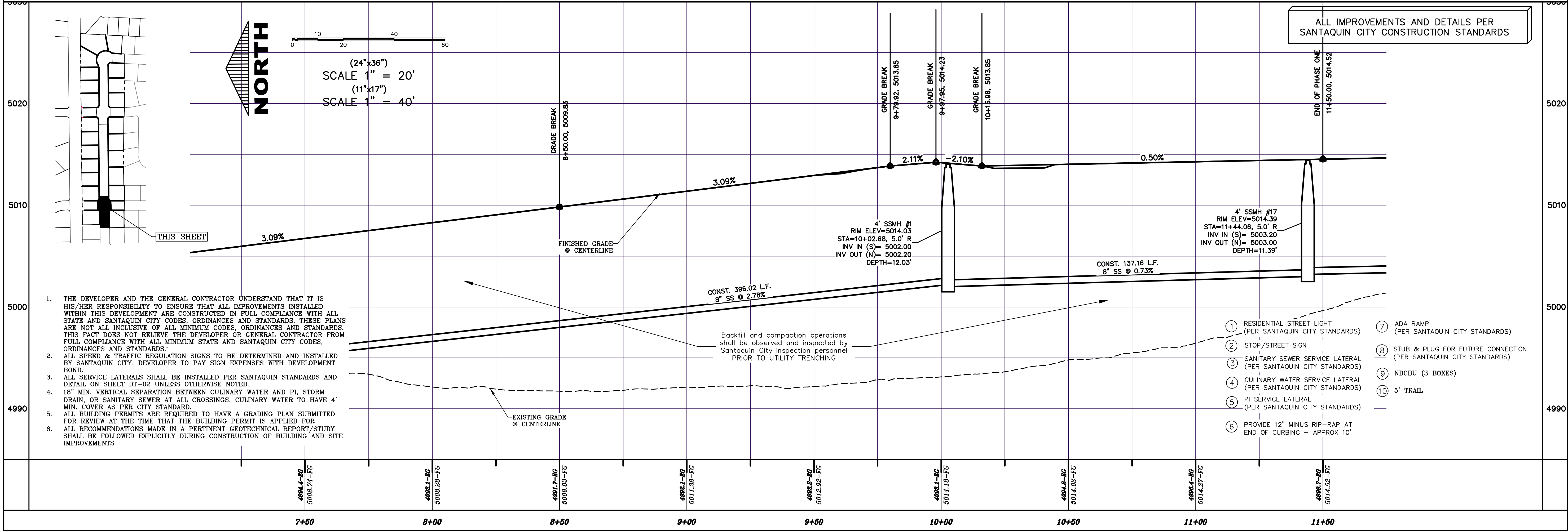
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Orem, UT 84057
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**HOLLOW FLATS
at SUMMIT RIDGE – PHASE 1**
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.29.2023	
PROJECT #	
REVISIONS:	
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SHEET NAME:
PLAN & PROFILE
SHEET:
PP-01



HOLLOW FLATS
at SUMMIT RIDGE - PHASE 1
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.29.2023

PROJECT #

REVISIONS:

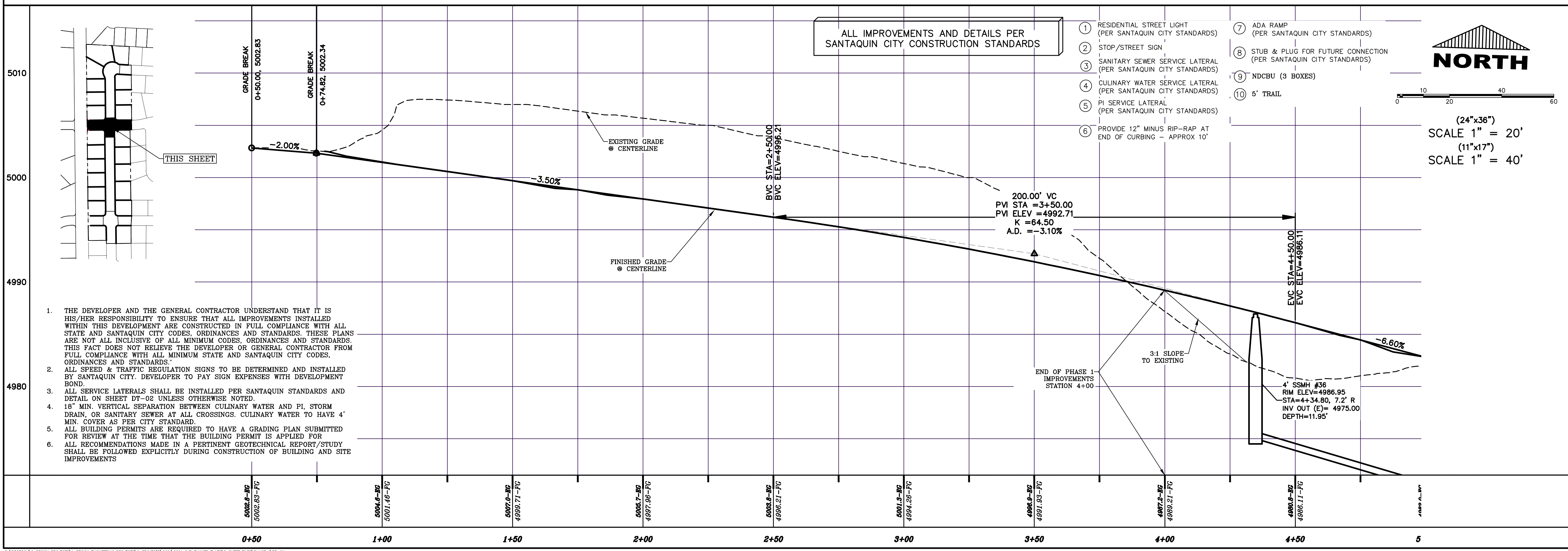
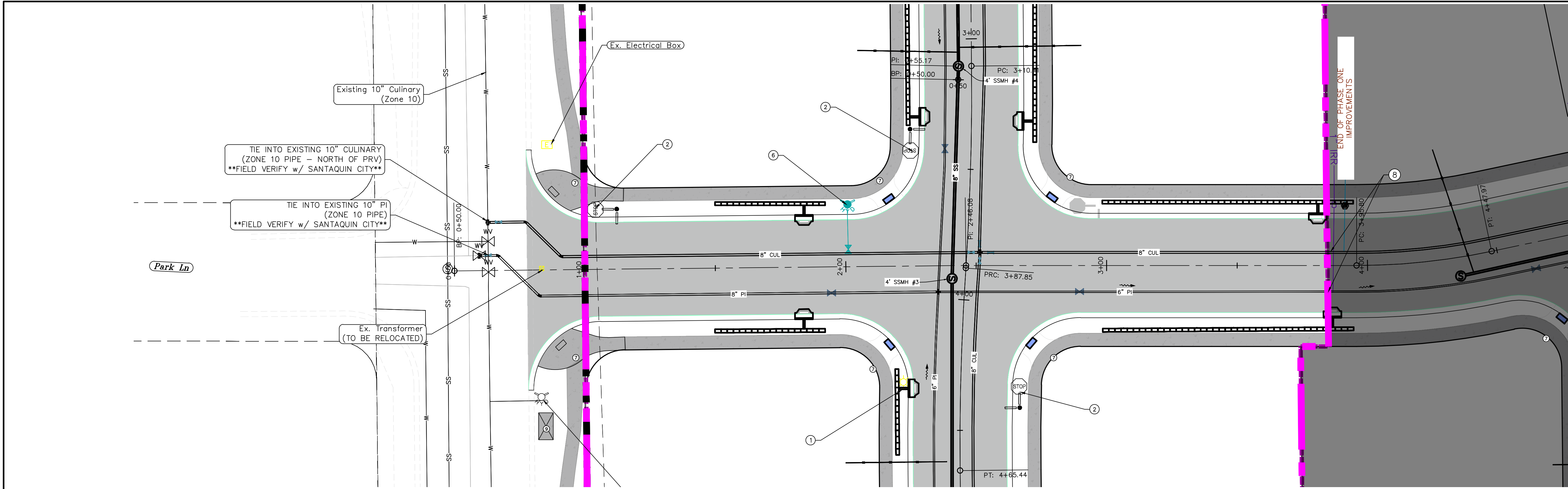
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SHEET NAME:

PLAN & PROFILE

SHEET:

PP-03



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Engineering & Surveying
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REGISTERED LAND SURVEYOR
187025
Donald L. Tanner
6/27/2023

HOLLOW FLATS
at SUMMIT RIDGE - PHASE 1
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.29.2023
PROJECT #

REVISIONS:

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3	

SHEET NAME:
PLAN & PROFILE

SHEET:
PP-04

NOTES:

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER IS TO BE IMMEDIATELY NOTIFIED FOR DIRECTION.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
3. CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
6. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
7. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSED INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
8. THE CONTRACTOR IS TO MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS IS TO BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC IS TO BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
9. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE ENGINEERING DEPARTMENT. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

PROJECT INFORMATION SIGN

ANY ACTIVITY THAT REQUIRES A GRADING PERMIT SHALL INSTALL AND MAINTAIN A PROJECT INFORMATION SIGN IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

1. THE SIGN SHALL BE INSTALLED PRIOR TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING ANY TYPE OF EARTH-MOVING OPERATIONS.
2. THE SIGN SHALL BE INSTALLED AT A PROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN ENTRANCE OF THE CONSTRUCTION SITE. TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE SIGN BACK FROM THE MAIN INGRESS / EGRESS LOCATION AND AT ANY APPLICABLE INTERSECTION FOR PROPER SIGHT TRIANGLE CLEARANCES.
3. THE SIGN MAY BE REMOVED ONCE FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERSON IS RESPONSIBLE AND IS APPROVED BY THE CITY.
4. THE SIGN SHALL BE A MINIMUM OF 48" x 48" AND THE FOLLOWING INFORMATION SHALL BE DISPLAYED ON THE SIGN WITH THE DESIGNATED ALPHA AND NUMERIC DIMENSIONS. SIGN BOARDS WRITTEN IN LONGHAND ARE UNACCEPTABLE.

DEVELOPERS NAME
DAVID SWANSON

PROJECT NAME
THE VISTA @ SUMMIT RIDGE - PHASE 1
PERMIT NUMBER
(4" Bold Numbers)

FOR PROJECT SITE CONCERNS CONTACT
(6" Uppercase Bold Letters)

Office Phone Contact ###-###-####
(4" Bold Numbers)

Cell Phone Contact ###-###-####
(4" Bold Numbers)

IF NO RESPONSE PLEASE CONTACT CITY OFFICE AT
CITY ENGINEERING
(3" Uppercase Bold Letters and 3" Bold Numbers)

5. THE TEXT HEIGHT SHALL BE A MINIMUM AS SHOWN ON THE TEMPLATE ABOVE, AND MUST CONTRAST WITH LETTERING, TYPICALLY BLACK TEXT WITH WHITE BACKGROUND.
6. THE LOWER EDGE OF THE SIGN BOARD MUST BE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF FIVE (5) FEET ABOVE GRADE. SIGN MAY BE POSTED ON A TRAILER IF IT MEETS THESE REQUIREMENTS.

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2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL 2, SHEET 5 UNLESS OTHERWISE NOTED.
4. 16" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS

CONSTRUCTION PHASE STORM WATER POLLUTION PROTECTION PLAN BEST MANAGEMENT PRACTICES (BMP)

BMP#	BMP SYMBOL	TITLE	LOCATION	DURATION
C101	101	PRESERVING NATURAL VEGETATION	PER CONTRACTOR	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C105	105	STABILIZED CONSTRUCTION ENTRANCE	AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS
C106	106	WHEEL WASH	AS SHOWN	AS NECESSARY
C151	151	CONCRETE WASTE MANAGEMENT	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C190	190	PORTABLE TOILETS	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C220	220	STORM DRAIN INLET PROTECTION	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	233	SILT FENCE	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	240	SEDIMENT TRAP	AS SHOWN	BEGINING OF CONSTRUCTION TO PLACEMENT OF ASPHALT



NORTH

0 100 200 400 600

(24"x36")
SCALE 1" = 200'
(11"x17")
SCALE 1" = 400'



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HOLLOW FLATS
at SUMMIT RIDGE - PHASE 1
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.29.2023

PROJECT #

REVISIONS:

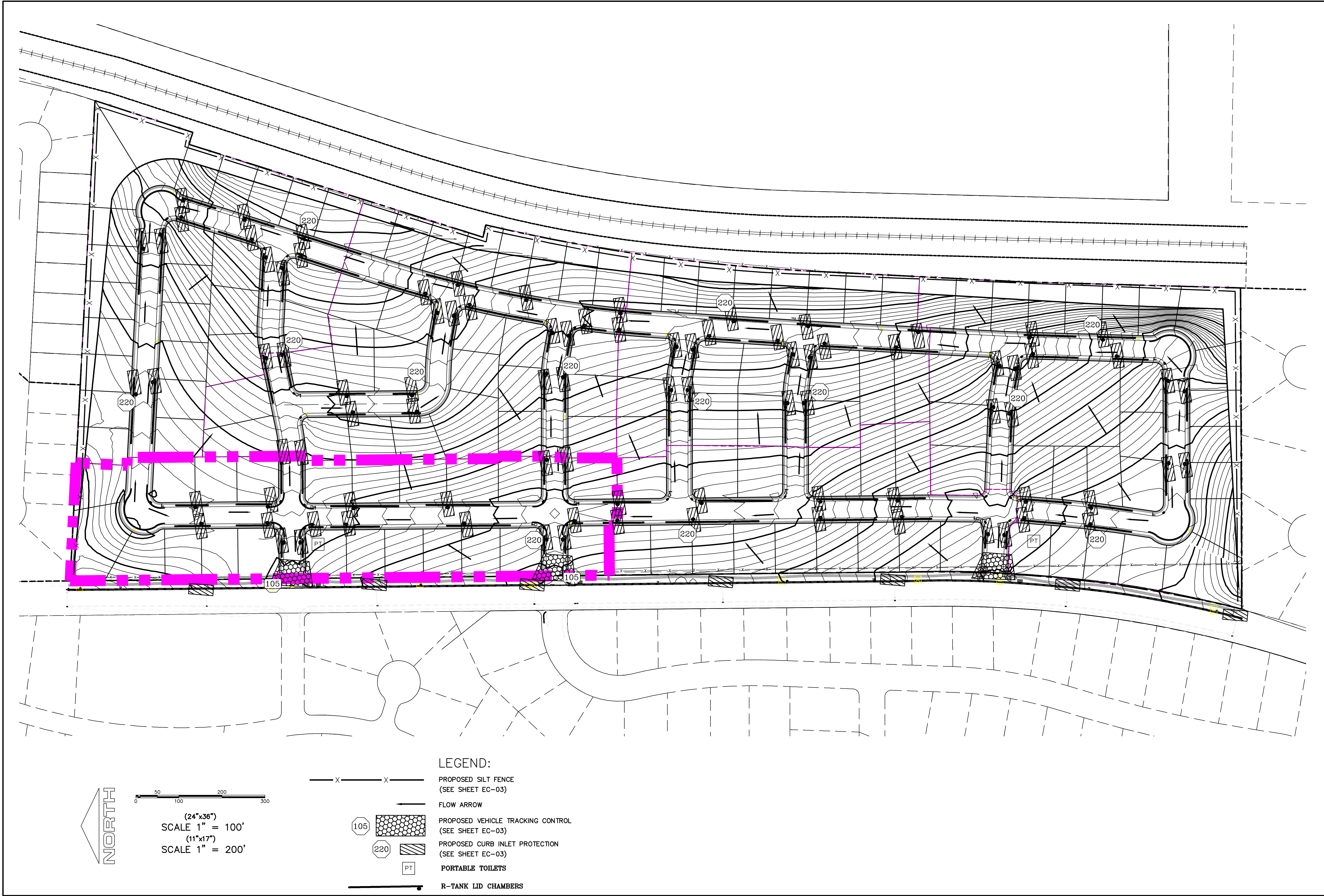
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SHEET NAME:

EROSION CONTROL PLAN


SHEET:

EC-01





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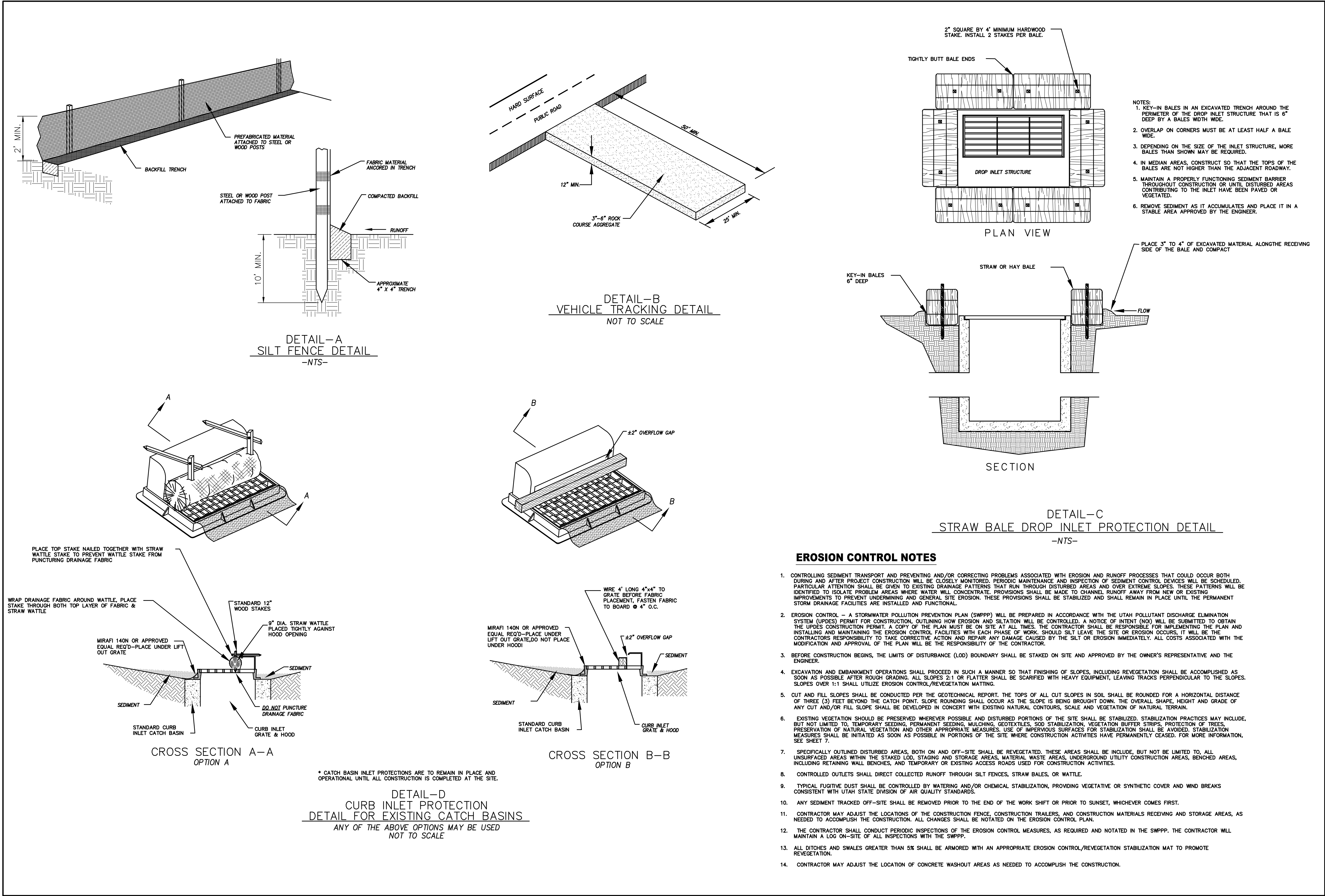


**HOLLOW FLATS
at SUMMIT RIDGE – PHASE 1**
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.29.2023	
PROJECT #	
REVISIONS:	
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SHEET NAME:
EROSION CONTROL PLAN

SHEET:
EC-02

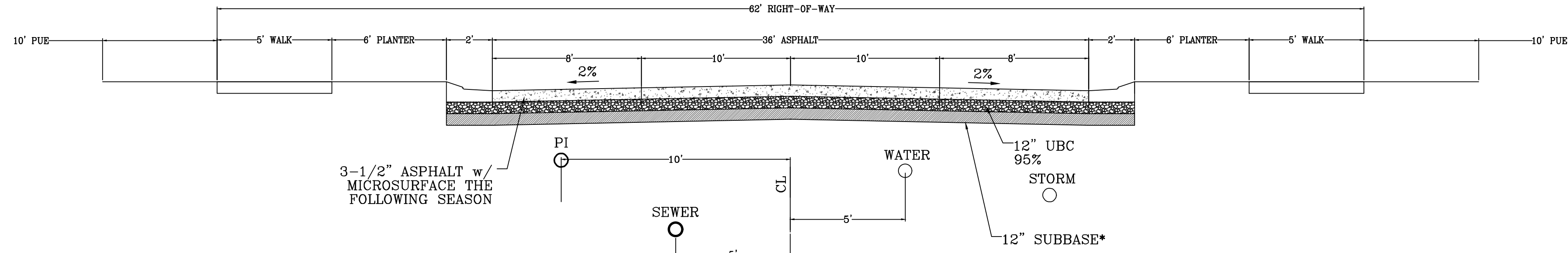


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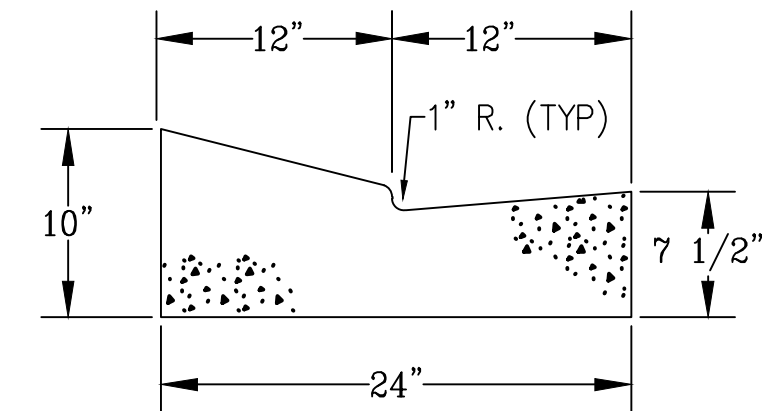
Professional Engineer
#187025
Donald L. Tanner
Professional Engineer
State of Utah
6/17/2025

HOLLOW FLATS
at SUMMIT RIDGE - PHASE 1
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.29.2023
PROJECT #
REVISIONS:
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SHEET NAME:
EROSION CONTROL DETAILS
SHEET:
EC-03

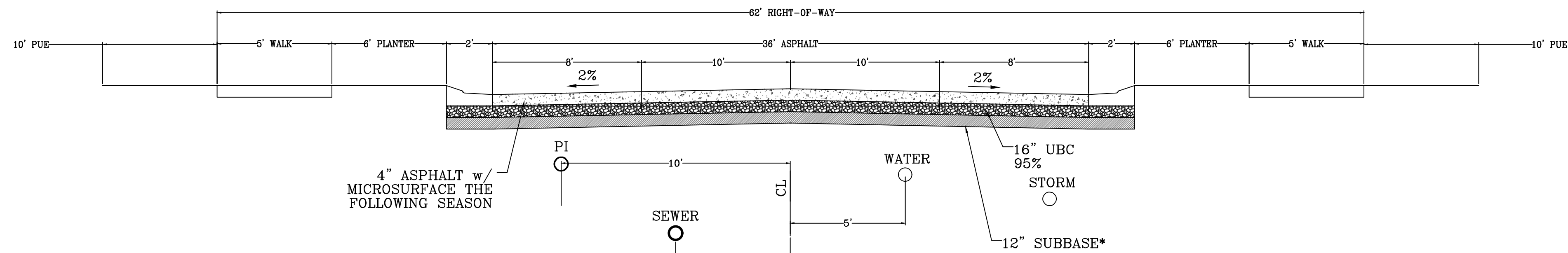


**62' MAJOR LOCAL
Typical Road Section**
LOOKING NORTH AND WEST

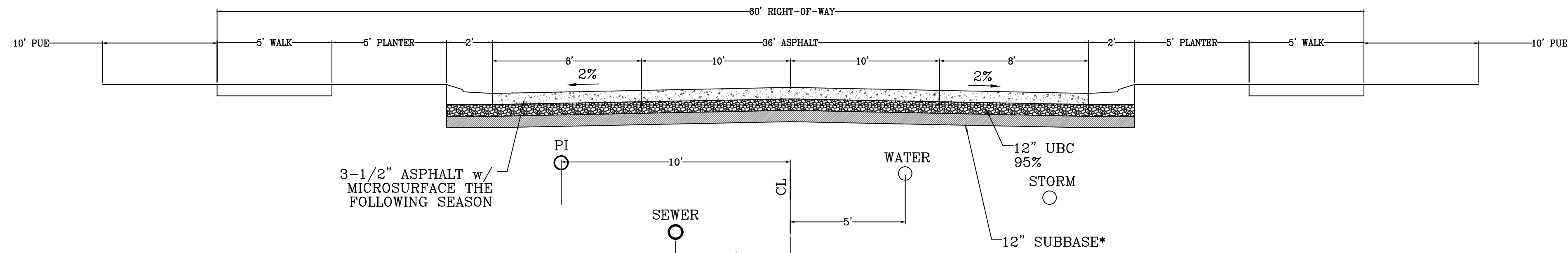


MODIFIED HIGH BACK CURB

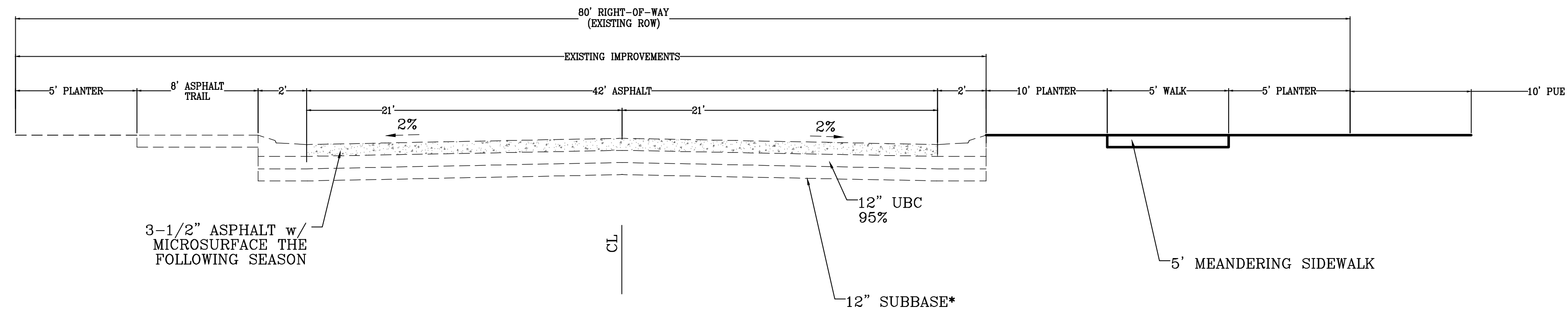
*NOTE: ON SITE INSPECTION TO BE
CONDUCTED BY GEOTECHNICAL
ENGINEER TO DETERMINE ADEQUACY OF
EXISTING MATERIAL



**62' MAJOR LOCAL
AUBURN DRIVE ONLY (Heavy Equipment/Traffic)**
LOOKING NORTH AND WEST



**60' MAJOR LOCAL - 2
Typical Road Section**
LOOKING NORTH AND WEST



SUMMIT RIDGE BLVD
LOOKING NORTH

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**HOLLOW FLATS
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RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.29.2023

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REVISIONS:

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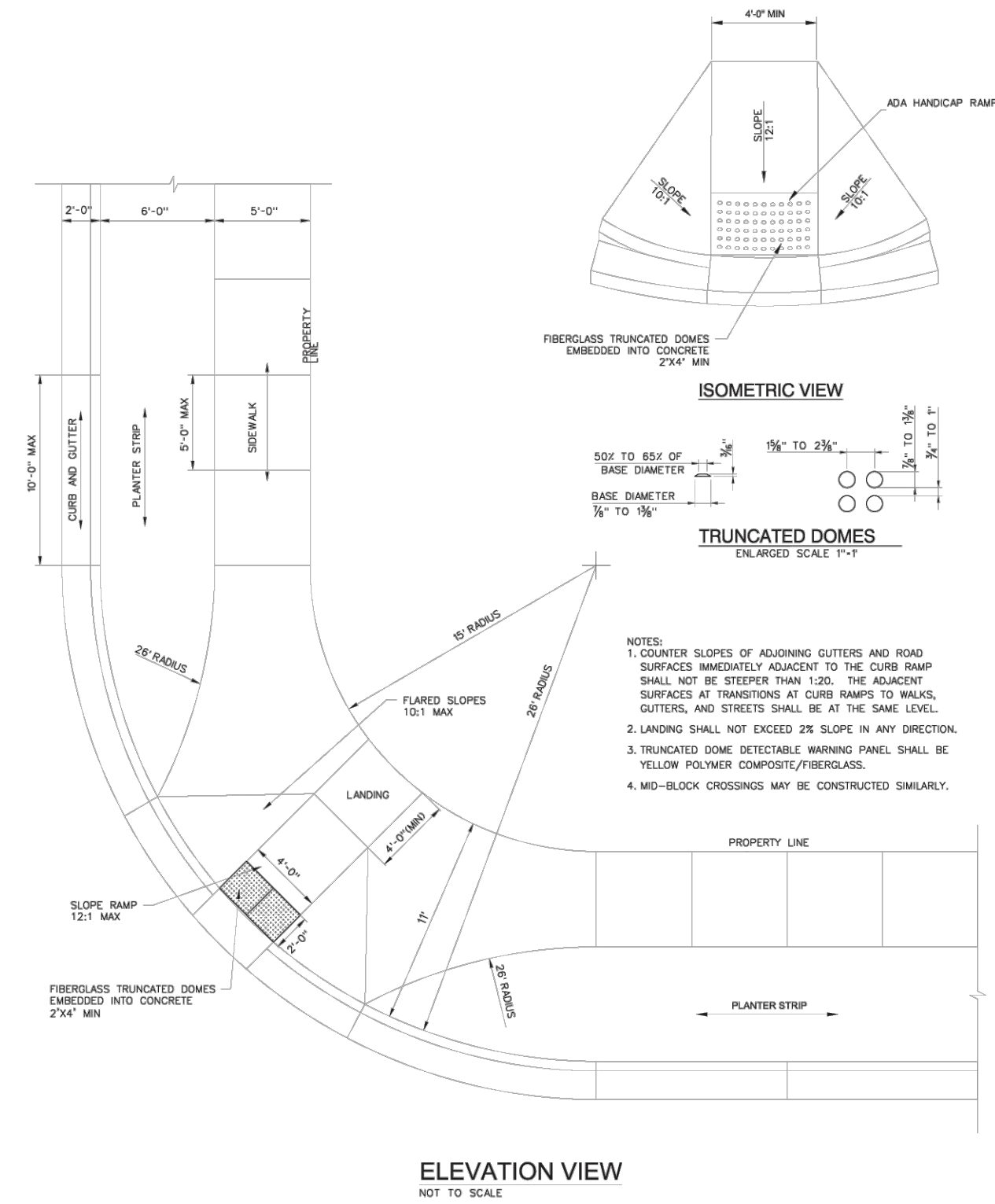
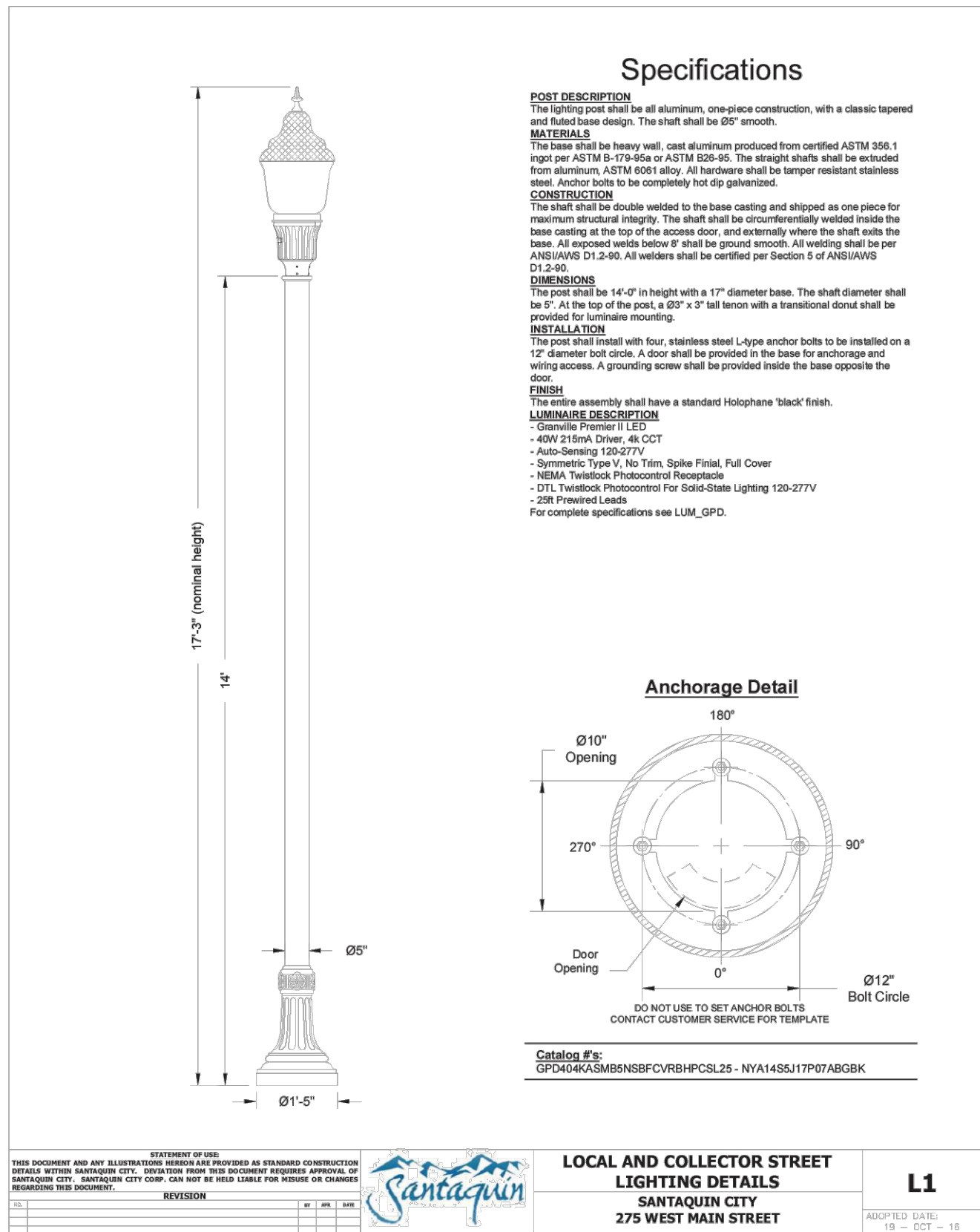
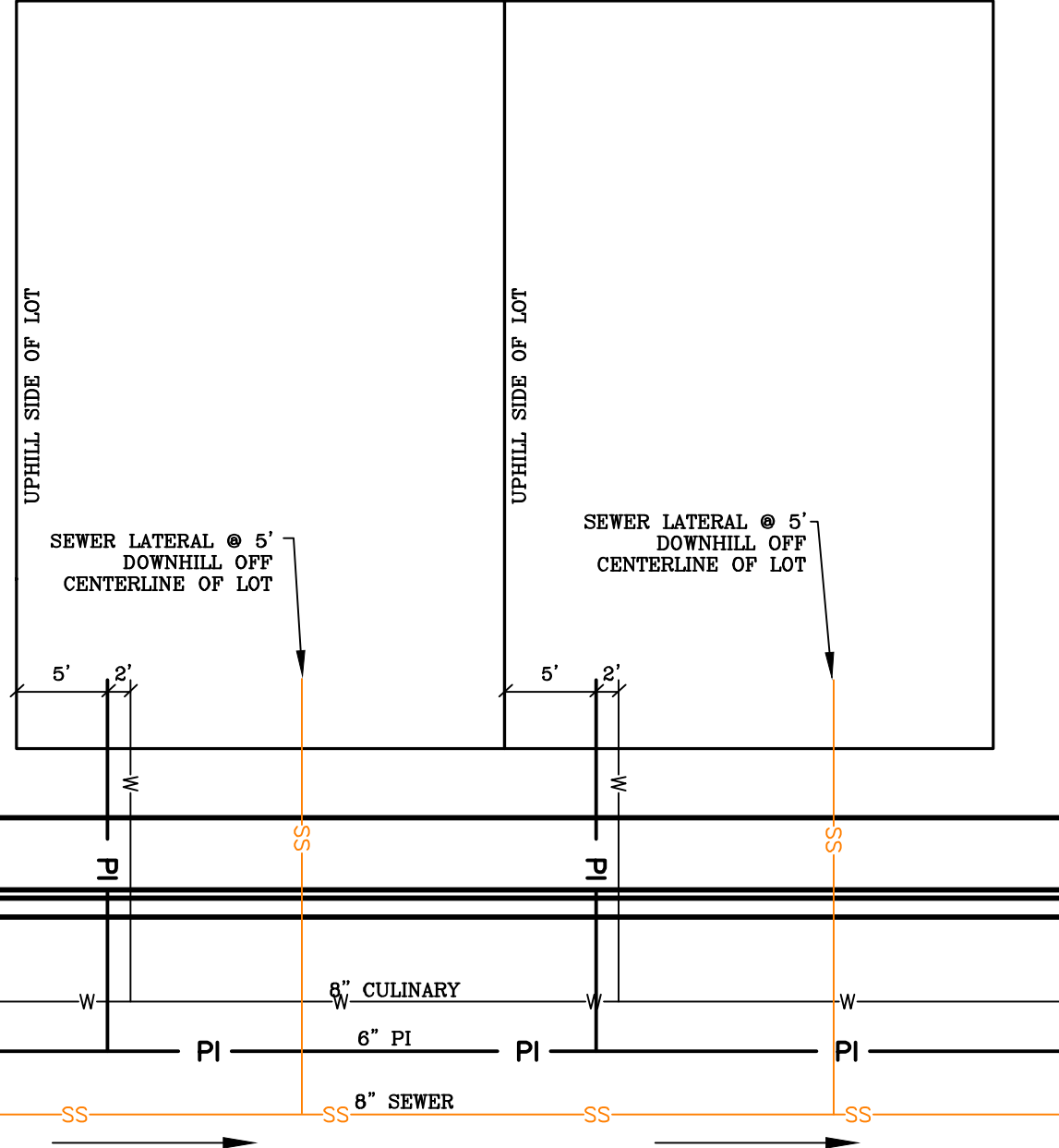
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SHEET NAME:

TYPICAL DETAILS

SHEET:

DT-01



ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS

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RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

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SHEET NAME:
TYPICAL DETAILS
SHEET:
DT-02