

MEMO



To: Mayor Hunsaker and City Council

From: Jason Bond, Community Development Director

Date: September 3, 2021

RE: **Summit Ridge Commercial Subdivision Preliminary Plan**

Zone: PC
Size: 49.25 Acres
Lots: 8

The proposed Summit Ridge Commercial Subdivision is located at approximately Summit Ridge Parkway and South Frontage Road (Old HWY 191). The proposed commercial subdivision is subject to the Planned Community Zone with default land use regulations contained within the Interchange Commercial (C-1) ordinance. The proposed subdivision consists of 8 proposed commercial lots on approximately 49.25 acres. There are no minimum or maximum frontage or lot size requirements in the C-1 land use regulations.

The Development Review Committee reviewed the preliminary plans on August 10, 2021 and forwarded a positive recommendation to the Planning Commission. The Planning Commission reviewed the preliminary plans on August 24, 2021 and forwarded a positive recommendation to the City Council as follows:

Motion: Commissioner Lance motioned to send a positive recommendation to the City Council for the Summit Ridge Commercial 8-lot Subdivision. Commissioner Curtis seconded.

Roll Call: Commissioner Wood, Aye; Commissioner Lance, Aye; Commissioner Gunnell, Aye; Commissioner Jorgensen, Aye; Commissioner Curtis, Aye; Commissioner Hoffman, Aye. The motion passed unanimously 6 to 0.

After any preliminary approval by the City Council, the DRC will need to approve a final plat before lots can be developed and built on. The DRC may only approve a final plat submittal after finding that the development meets the standards of the City's subdivision and zoning codes, the laws of the State of Utah, and any other applicable ordinances, rules, and regulations have been or can be met prior to the recordation or construction beginning (Santaquin City Code 11.20.060(B)).

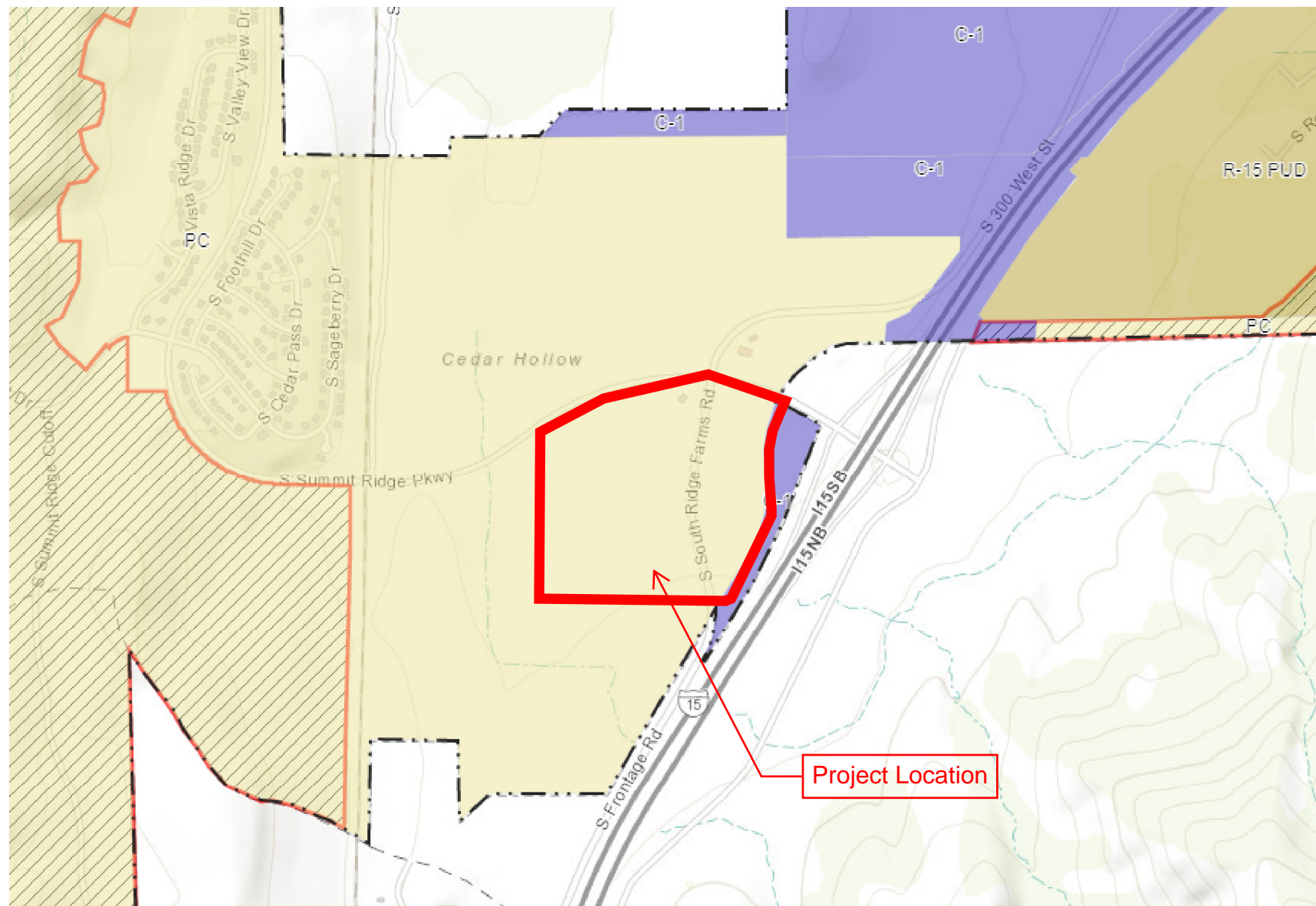
Recommended Motion: "Motion to approve the Summit Ridge 8-Lot Commercial Subdivision with the following conditions:

- All planning and engineering redlines be addressed.

Attachments:

1. Zoning and Location Map
2. Preliminary Plan

Attachment 1: Zoning and Location Map



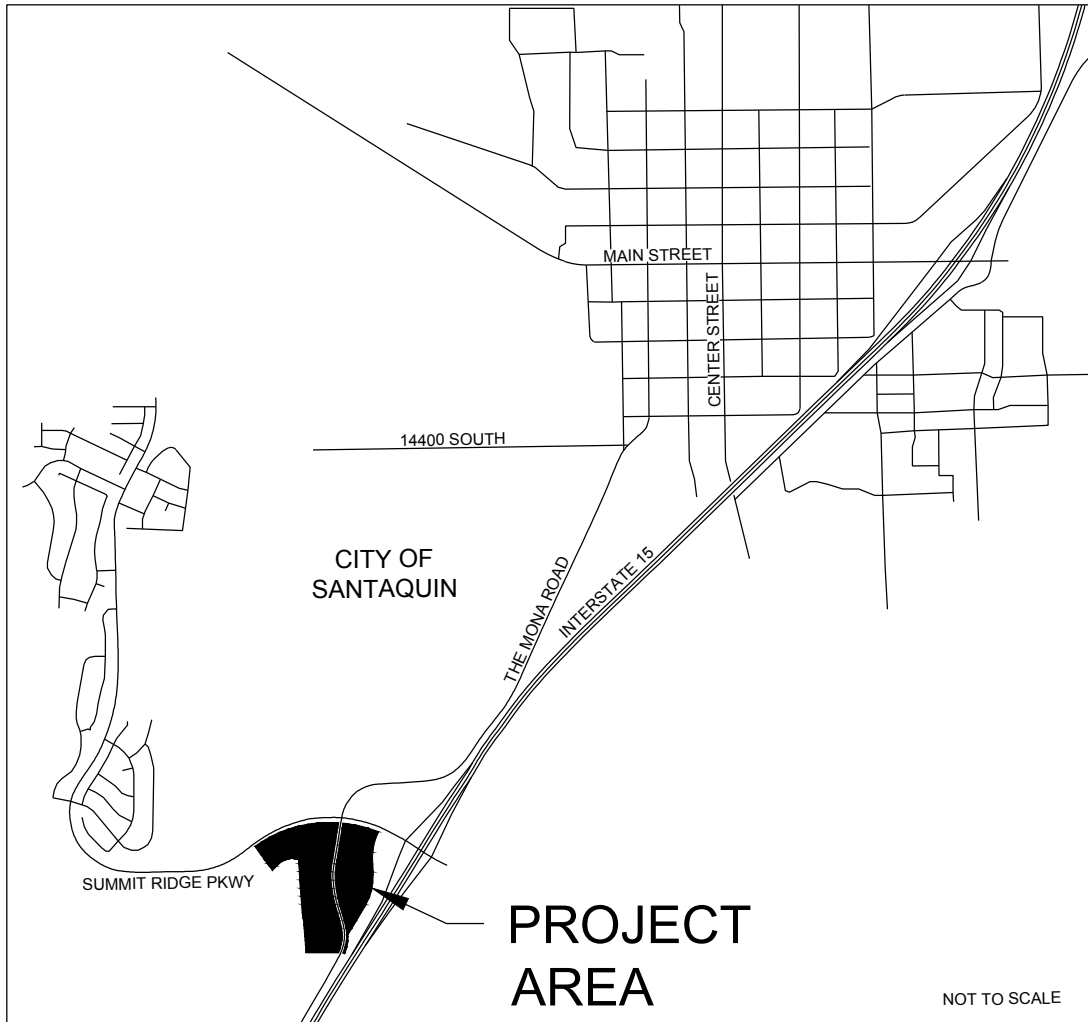
SUMMIT RIDGE COMMERCIAL SUBDIVISION

LOCATED IN THE NORTHEAST QUARTER OF SECTION 15 TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.

Parcel Line Table		
Line #	Length	Direction
L1	51.11'	N16° 55' 00"W
L2	58.45'	S85° 57' 33"W
L3	46.00'	N4° 02' 27"W
L4	31.00'	S85° 57' 33"W
L5	31.00'	S85° 57' 33"W
L6	31.00'	N4° 02' 27"W
L7	31.00'	N4° 02' 27"W
L8	12.45'	S85° 57' 33"W
L9	35.44'	S16° 55' 00"E
L10	35.68'	N16° 55' 00"W
L11	93.74'	S79° 15' 00"E
L12	35.74'	N79° 15' 00"W
L13	35.95'	N79° 15' 00"W
L14	133.37'	S10° 45' 00"W
L15	87.40'	N10° 45' 00"E
L16	40.31'	N10° 45' 00"E
L17	127.73'	S14° 37' 01"E
L18	81.75'	N14° 37' 01"W
L19	89.75'	S30° 42' 18"W
L20	114.87'	S30° 42' 18"W
L21	31.34'	N5° 56' 36"W
L22	46.55'	N5° 56' 36"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	69.06'	1940.00'	2°02'23"	N83° 24' 11"W	69.06'
C2	60.15'	1940.00'	1°46'36"	N85° 18' 40"W	60.15'
C3	46.25'	1940.00'	1°21'57"	S73° 34' 10"W	46.25'
C4	46.41'	1940.00'	1°22'15"	S72° 12' 01"W	46.41'
C5	227.16'	1000.00'	13°00'56"	N10° 32' 55"W	226.68'
C6	220.46'	854.00'	14°47'27"	N86° 38' 43"W	219.85'
C7	531.28'	1200.00'	25°22'00"	S1° 55' 59"E	526.95'
C8	271.99'	800.00'	19°28'48"	N4° 52' 34"W	270.68'
C9	361.08'	757.00'	27°19'45"	N0° 57' 19"W	357.66'
C10	205.71'	843.00'	13°58'53"	N7° 37' 31"W	205.20'
C11	23.56'	15.00'	90°00'00"	N59° 37' 01"W	21.21'
C12	23.56'	15.00'	90°00'00"	N30° 22' 59"E	21.21'
C13	23.56'	15.00'	89°59'54"	S59° 37' 03"E	21.21'
C14	204.41'	1243.00'	9°25'21"	N9° 54' 19"W	204.18'
C15	345.91'	1243.00'	15°56'40"	N2° 46' 41"E	344.79'
C16	38.44'	1157.00'	1°54'13"	N13° 40' 05"W	38.44'
C17	473.68'	1157.00'	23°27'25"	N0° 59' 03"W	470.38'
C18	23.56'	15.00'	90°00'00"	N34° 15' 00"W	21.21'
C19	23.56'	15.00'	90°00'00"	S55° 45' 00"W	21.21'
C20	23.84'	64.00'	21°20'29"	S21° 25' 15"W	23.70'
C21	44.01'	111.00'	22°43'09"	S20° 46' 28"W	43.73'
C22	22.44'	15.00'	85°42'18"	S53° 36' 08"W	20.40'
C23	25.38'	15.00'	96°56'55"	S37° 43' 27"E	22.46'
C24	23.87'	15.00'	91°10'54"	N28° 40' 26"E	21.43'
C25	23.97'	15.00'	91°34'00"	S62° 41' 41"E	21.50'
C26	220.16'	969.00'	13°01'04"	S10° 32' 59"E	219.69'
C27	234.17'	1031.00'	13°00'48"	N10° 32' 51"W	233.66'
C28	23.56'	15.00'	90°00'00"	S40° 57' 33"W	21.21'
C29	23.56'	15.00'	90°00'00"	N49° 02' 27"W	21.21'
C30	23.56'	15.00'	90°00'00"	S40° 57' 33"W	21.21'
C31	212.46'	823.00'	14°47'27"	N86° 38' 44"W	211.87'
C32	228.25'	885.00'	14°46'38"	N86° 39' 08"W	227.62'
C33	503.48'	874.16'	33°00'00"	N14° 12' 18"E	496.55'
C34	503.48'	874.16'	33°00'00"	N14° 12' 18"E	496.55'
C35	481.80'	1940.00'	14°13'46"	N75° 16' 02"W	480.56'
C36	661.88'	1940.00'	19°32'52"	N84° 01' 38"E	658.67'
C37	602.79'	1940.00'	17°48'10"	N62° 36' 49"E	600.37'
C38	86.57'	469.00'	10°34'33"	S9° 19' 44"E	86.45'
C39	23.56'	15.00'	90°00'00"	N49° 02' 27"W	21.21'

VICINITY MAP



LEGEND	
	SECTION CORNER (LOCATED)
	PROPOSED STREET MONUMENT
	REBAR AND CAP
	MONUMENT LINE
	BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	POWER POLE

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH } S.S.
COUNTY OF UTAH }
ON THE ____ DAY OF _____, A.D., 20____, PERSONALLY APPEARED BEFORE ME _____, WHO IDENTITY IS PERSONALLY KNOWN TO ME OR PROVEN IN THE BASIS OF SATISFACTORY EVIDENCE AND WHO BY ME DULY SWORN/AFFIRED, DID SAY THAT HE/SHE IS THE _____ AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BYLAWS OR RESOLUTION OF ITS BOARD OF DIRECTORS AND SAID _____ ACKNOWLEDGEMENT TO ME THAT SAID CORPORATION EXECUTED THE SAME.
NOTARY PUBLIC FULL NAME: _____
COMMISSION NUMBER: _____
My COMMISSION EXPIRES: _____
A NOTARY PUBLIC COMMISSIONED IN UTAH

CENTRACOM ACCEPTANCE

APPROVED THIS ____ DAY OF _____, 2021
A CENTRACOM COMPANY

BY: _____ TITLE: _____

CENTURY LINK ACCEPTANCE

APPROVED THIS ____ DAY OF _____, 2021
A LUMEN COMPANY

BY: _____ TITLE: _____

ROCKY MOUNTAIN POWER ACCEPTANCE

APPROVED THIS ____ DAY OF _____, 2021
A PACIFICORP COMPANY

BY: _____ TITLE: _____

DOMINION ENERGY UTAH ACCEPTANCE

DOMINION ENERGY UTAH APPROVES THIS PLAT FOR THE PURPOSE OF APPROXIMATING THE LOCATION, BOUNDARIES, COURSE AND DIMENSIONS OF THE RIGHT-OF-WAY AND EASEMENT GRANTS AND EXISTING UNDERGROUND FACILITIES. NOTHING HEREIN SHALL BE CONSTRUED TO WARRANT OR VERIFY THE PRECISE LOCATION OF SUCH ITEMS. THE RIGHT-OF-WAY AND THE EASEMENTS ARE SUBJECT TO NUMEROUS RESTRICTIONS APPEARING ON THE RECORDED RIGHT-OF-WAY AND EASEMENT GRANT(S). DOMINION ENERGY UTAH ALSO APPROVES THIS PLAT FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS; HOWEVER, DOMINION ENERGY UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION OR THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE IN OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE.
FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY UTAH'S EAST & SOUTH EAST UTAH COUNTY, CONSTRUCTION SERVICES DEPARTMENT AT 801-853-6586

APPROVED THIS ____ DAY OF _____, 2021
A DOMINION ENERGY COMPANY

BY: _____ TITLE: _____

SURVEYOR'S CERTIFICATE

I, JOSH F. MADSEN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD LICENSE NO. 5152657 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY PER SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS SHOWN ON THIS PLAT ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS PLAT; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY; HEREAFTER KNOWN AS SUMMIT RIDGE COMMERCIAL SUBDIVISION.

JOSH F. MADSEN, P.L.S.
NO. 5152657



LEGAL DESCRIPTION

A PORTION OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SUMMIT RIDGE PARKWAY, LOCATED SOUTH 1°04'18" EAST ALONG THE SECTION LINE 602.75 FEET AND WEST 100.41 FEET FROM THE NORTHEAST CORNER OF SECTION 15, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; SOUTH-WESTERLY ALONG THE ARC OF AN 897.72 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT (CENTER BEARS: SOUTH 63°19'25" EAST) A DISTANCE OF 453.91 FEET; THROUGH A CENTRAL ANGLE OF 28°58'14" (CHORD: SOUTH 12°11'24" WEST 449.09 FEET); THENCE SOUTH 2°17'42" EAST 234.83 FEET; THENCE ALONG THE ARC OF AN 874.16 FOOT RADIUS CURVE TO THE RIGHT 503.48 FEET; THROUGH A CENTRAL ANGLE OF 33°00'00" (CHORD: SOUTH 14°12'18" WEST 496.55 FEET); THENCE SOUTH 30°42'18" WEST 859.75 FEET; THENCE WEST 425.68 FEET; THENCE NORTH 4°02'27" WEST 432.57 FEET; THENCE NORTH 5°56'36" WEST 77.89 FEET; THENCE NORTH 14°37'00" WEST 24.23 FEET THENCE ALONG THE ARC OF A 469.00 FOOT RADIUS CURVE TO THE RIGHT (CENTER BEARS: NORTH 75°23'00" EAST) 469.00 FEET; 86.57 FEET; THROUGH A CENTRAL ANGLE OF 10°34'33" (CHORD: NORTH 9°19'44" WEST 86.45 FEET); THENCE NORTH 4°02'27" WEST 847.20 FEET; THENCE SOUTH 85°57'33" WEST 62.00 FEET; TO A POINT ON AN ARC OF A NON TANGENT CURVE THENCE, CONTINUING 23.56' ALONG THE ARC OF A 15.00 FOOT CURVE TO THE LEFT (CENTER BEARS: SOUTH 85°57'33" WEST) A DISTANCE OF 23.56 FEET THROUGH A CENTRAL ANGLE OF 90°00'00" (CHORD: NORTH 49°02'27" WEST 21.21 FEET) THENCE SOUTH 85°57'33" WEST 12.45 FEET; THENCE NORTH 4°02'27" WEST 62.00 FEET TO A POINT OF CURVATURE ALONG A NON-TANGENT ARC OF A 431.00 FOOT RADIUS CURVE TO THE LEFT (CENTER BEARS: SOUTH 4°02'27" EAST) A DISTANCE OF 334.07 FEET; THROUGH A CENTRAL ANGLE OF 44°24'38" (CHORD: SOUTH 63°45'14" WEST 325.77 FEET); THENCE ALONG THE ARC OF A 1469.00 FOOT REVERSE RADIUS CURVE TO THE RIGHT (CENTER BEARS: NORTH 45°22'32" WEST) A DISTANCE OF 78.85 FEET; THROUGH A CENTRAL ANGLE OF 3°04'32" (CHORD: SOUTH 43°05'12" WEST 78.84 FEET); THENCE NORTH 36°17'16" WEST 403.95 FEET TO A POINT ALONG THE SOUTHERLY RIGHT-OF-WAY OF SUMMIT RIDGE PARKWAY; THENCE ALONG AN ARC OF A 1,940.00 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (CENTER BEARS: SOUTH 36°17'16" EAST) A DISTANCE OF 1968.41 FEET THROUGH A CENTRAL ANGLE OF 58°08'05" (CHORD: NORTH 62°46'47" EAST 1885.05 FEET) TO THE POINT OF BEGINNING; LESS AND EXCEPTING THE MONA ROAD DEDICATION.

CONTAINS 48.683 ACRES AND 8 LOTS

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS
THIS ____ DAY OF _____, A.D. 202__.

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREET, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC
THIS ____ DAY OF _____, A.D. 202__.

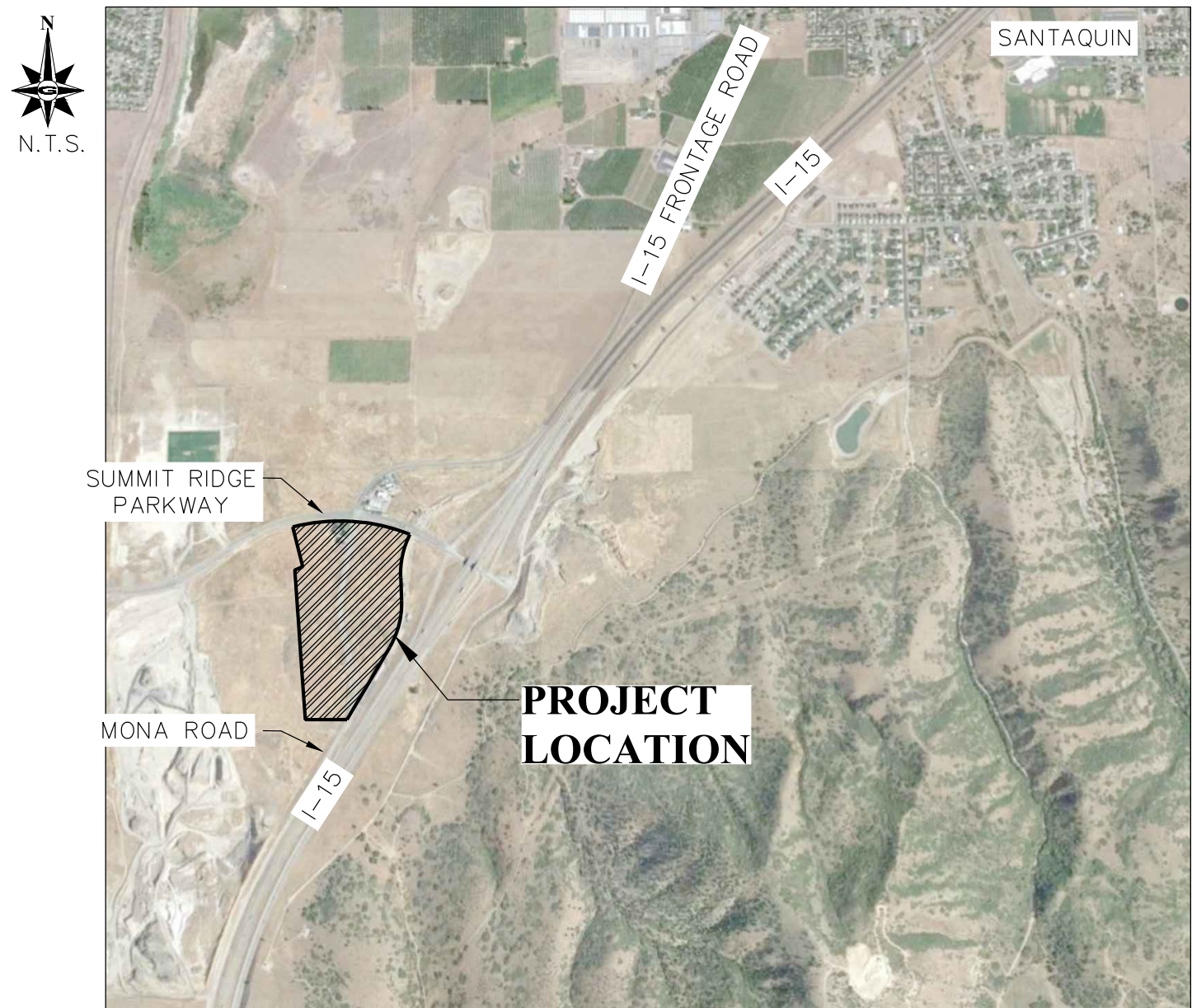
APPROVED BY MAYOR: _____

APPROVED _____ ENGINEER ATTEST _____ CLERK-RECORDER
(SEE SEAL BELOW) (SEE SEAL BELOW)

NOTARY PUBLIC SEAL COUNTY ENGINEER SEAL COUNTY RECORDER SEAL

SUMMIT RIDGE COMMERCIAL SUBDIVISION

LOCATED IN THE CITY OF SANTAQUIN, UTAH 84655



VICINITY MAP

DENSITY TABLE

ZONING CLASSIFICATION:	C-1
TOTAL NUMBER OF LOTS:	8
TOTAL ACREAGE DEVELOPMENT:	49.25 AC
TOTAL LOT ACREAGE:	42,747 AC
TOTAL ROW ACREAGE:	5,936 AC
TOTAL OPEN SPACE ACREAGE:	0

OWNER

CONTACT: CHAD LILJENQUIST
6995 UNION PARK CENTER #440
MIDVALE, UT 84047
PHONE: (801) 566-6185

ENGINEER

GILSON ENGINEERING, INC.
12401 SOUTH 450 EAST, UNIT C2
DRAPER, UTAH 84020-7937

CONTACT: BRAD GILSON
PHONE: (801) 571-9414

SHEET INDEX	
SHEET NO.	NAME
	COVER SHEET
G.101	GENERAL NOTES
C.100	EXISTING SITE
C.101	PHASING PLAN
C.102	OVERALL SITE PLAN
C.201	OVERALL UTILITIES & GRADING PLAN
C.202	UTILITIES & GRADING PLAN
C.203	UTILITIES & GRADING PLAN
C.204	UTILITIES & GRADING PLAN
C.205	UTILITIES & GRADING PLAN
C.206	UTILITIES & GRADING PLAN
C.207	8" WATER LINE LOOP
C.208	8" WATER LINE LOOP
C.209	8" WATER LINE LOOP
C.210	8" WATER LINE LOOP
C.211	UTILITIES & GRADING PLAN
C.212	UTILITIES & GRADING PLAN

NOTE

THE DEVELOPER AND THE CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

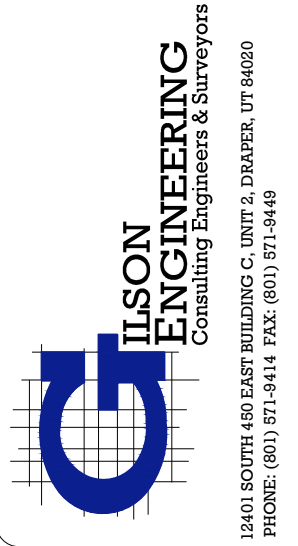


COVER SHEET
LILJENQUIST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -

PROJ. # **LIL.012**

COVER



ABBREVIATIONS

ADJ	ADJUST
ADS	ADVANCE DRAINAGE SYSTEM
ARV	AIR RELEASE VALVE
BC	BAR AND CAP
BOW	BACK OF WALK
BVCE	BEGINNING VERTICAL CURVE ELEV.
BVCS	BEGINNING VERTICAL CURVE STATION
CB	CATCH BASIN
CBL	CABLE
CH	CHORD BEARING
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CONC	CONCRETE
COR.	SECTION CORNER
D	DELTA ANGLE
DET	DETAIL
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DWG	DRAWING
EG	EXISTING GRADE
ELEV	ELEVATION
EOC	EDGE OF CONCRETE
EP	EDGE OF PAVEMENT
EVCE	END VERTICAL CURVE ELEV.
EVCS	END VERTICAL CURVE STATION
EW	EACH WAY
EX	EXISTING
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FO	FIBER OPTICS
FT	FOOT
GB	GRADE BREAK
HC	HANDICAP
HDPE	HIGH DENSITY POLY ETHYLENE
HP	HIGH POINT
INV.	INVERT
IRR	IRRIGATION
L.F.	LINEAR FEET
LIP	LIP OF CURB
LP	LOW POINT
LT	LEFT
MAX.	MAXIMUM
MH	MANHOLE
MIN.	MINIMUM
MON	MONUMENT
NTS	NOT TO SCALE
OC	ON CENTER
OHP	OVER HEAD POWER
PC	POINT OF CURVE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PP	POWER POLE
PRC	POINT OF REVERSE CURVE
PRV	PRESSURE REDUCING VALVE
PT	POINT OF TANGENCY
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
ROW	RIGHT OF WAY
RT.	RIGHT
S	SEWER
SD	STORM DRAIN
SER	SOUTH END RADIUS
SSMH	SEWER MANHOLE
STA	STATION
STD	STANDARD
SW	SECONDARY WATER
TBC	TOP BACK OF CURB
TOA	TOP OF ASPHALT
TOE	TOE OF SLOPE
TOP	TOP OF SLOPE
TOW	TOP OF WALL
TYP	TYPICAL
UG	UNDER GROUND POWER
VPC	VERTICAL POINT OF CURVE
VPI	VERTICAL POINT OF INTERSECTION
VPT	VERTICAL POINT OF TANGENCY
W	WATER
WM	WATER METER
WV	WATER VALVE

GENERAL NOTES

- THIS DESIGN IS AN ORIGINAL UNPUBLISHED WORK AND MAY NOT BE DUPLICATED, PUBLISHED AND/OR USED WITHOUT THE WRITTEN CONSENT OF GILSON ENGINEERING, INC.
- THESE SHEETS - LISTED BY DRAWING INDEX, ALL ACCOMPANYING SPECIFICATIONS FOR MATERIALS, WORKMANSHIP QUALITY, AND NOTES HAVE BEEN PREPARED SOLELY FOR THE CONSTRUCTION AND FINISH OF PROJECT IMPROVEMENTS, COMPLETE AND READY FOR USE.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH PERTINENT JURISDICTIONAL CODES, RESTRICTIONS, COVENANTS, AND/OR ORDINANCES. ANY CONFLICT BETWEEN DESIGN AND REQUIREMENT SHALL BE REPORTED TO GILSON ENGINEERING, INC. BEFORE PROCEEDING. FAILURE TO DO SO VOIDS THE DESIGN.
- ANY AND ALL PROPOSED CHANGE, MODIFICATIONS AND/OR SUBSTITUTION SHALL BE REPORTED TO GILSON ENGINEERING, INC. BEFORE PROCEEDING. ANY DEVIATION FROM THE CONTRACT DOCUMENTS, WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF GILSON ENGINEERING, INC. VOIDS THE DESIGN.
- IN THE EVENT OF CONFLICT BETWEEN THE DESIGN DOCUMENTS AND/OR JURISDICTIONAL REQUIREMENTS, THE MORE RESTRICTIVE FROM THE STANDPOINT OF SAFETY AND PHYSICAL SECURITY SHALL APPLY.
- ANY INSTALLATION OR WORK NECESSARY TO THE FUNCTIONING, SAFETY AND/OR PHYSICAL SECURITY OF DESIGN THAT IS TO BE ENCAPSULATED OR OTHERWISE PERMANENTLY OBSCURED FROM INSPECTION SHALL BE REPORTED TO GILSON ENGINEERING, INC. A MINIMUM OF TWO (2) WORKING DAYS BEFORE ENCLOSURE.
- DESIGN IS GENERALLY PREDICATED UPON PROVISIONS OF THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE AND/OR AMENDMENTS AS MAY HAVE BEEN LOCALLY ENACTED. THIS DESIGN AND ANY CONSEQUENT CONSTRUCTION SHALL ACCOMMODATE ALL REQUIREMENTS OF THE JURISDICTIONAL FIRE SAFETY/PREVENTION DISTRICT.
- ANY DAMAGE, DISRUPTION OR COMPROMISE OF AMBIENT RIGHTS-OF-WAY, UTILITIES, OR ENVIRONMENTAL QUALITY SHALL BE IMMEDIATELY RECTIFIED BY THE CONTRACTOR TO THE SATISFACTION OF GILSON ENGINEERING, INC. AT NO COST TO THE OWNER.
- THIS DESIGN PURPORTS TO PERMIT FULL ACCESS TO HANDICAPPED PERSONS AS PROVIDED FOR BY PROVISIONS OF FEDERAL LAW. ANY DEVIATION OR COMPROMISE SHALL BE REPORTED TO GILSON ENGINEERING, INC. FOR RESOLUTION.
- ALL WORK SHALL BE INSPECTED BY GOVERNING AGENCIES IN ACCORDANCE WITH THEIR REQUIREMENTS. JURISDICTIONAL APPROVAL SHALL BE SECURED BEFORE PROCEEDING WITH WORK.
- ANY WORK THAT IS OUTSIDE OF THE LIMIT OF WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
- CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFORE HAND.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 72 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGNS SHOWN ON PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
- CONTRACTOR IS RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAG MEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES, AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR ENGINEER.
- THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCHMARKS, CONTROL POINTS, REFERENCE POINTS, AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSE BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFELY OF ALL PERSONS ON THE PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT.
- ALL WORK WITHIN THE SITE TO CONFORM TO THE CURRENT CITY STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL OF THE REQUIREMENTS ESTABLISHED FOR SAFE TRENCHING. (SEE OSHA AND UOSHA REQUIREMENTS, LATEST EDITIONS).
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE LAYING PIPE WITHIN 200 FEET OF SAID UTILITIES WHICH MAY BE EXPOSED, DAMAGED OR CROSSED AS SHOWN ON THE DRAWINGS OR AS "BLUE STAKED". THE CONTRACTOR WILL MAKE ARRANGEMENTS WITH THE UTILITY COMPANY TO MOVE THE UTILITY IF NECESSARY OR OBTAIN PERMISSION FROM THE PROJECT ENGINEER TO MODIFY GRADES OF PROJECT LINES IN ORDER TO GO AROUND EXISTING UTILITIES.
- SEWER MAINS, WATER MAINS, GAS MAINS AND OTHER UTILITIES ARE SHOWN ON THE PLANS IN A GENERAL SCHEMATIC WAY ACCORDING TO INFORMATION RECEIVED FROM OTHERS AND SOMETIMES FROM FIELD MEASUREMENTS. THE ACCURACY OR COMPLETENESS OF THE LOCATIONS SHOWN IS APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE ACTUAL LOCATION OF EXISTING SERVICE CONNECTIONS AND UTILITIES, VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS AND TAKE THE NECESSARY STEPS TO AVOID THEM.
- SPECIFIC INFORMATION PROVIDED IN THE CONTRACT DOCUMENTS SHALL SUPERSEDE ITEMS COVERED IN THESE DRAWINGS.
- THE DEVELOPER AND THE CONTRACTOR UNDERSTAND THAT IS IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

UTILITY NOTES

- COORDINATE ALL UTILITY CONNECTIONS TO BUILDING WITH PLUMBING PLANS AND BUILDING CONTRACTOR.
- VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTING ANY NEW UTILITY LINES. NOTIFY CIVIL ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO ANY CONNECTIONS BEING MADE.
- WATER METERS ARE TO BE INSTALLED PER CURRENT CITY STANDARDS AND SPECIFICATIONS. IT WILL BE THE CONTRACTORS RESPONSIBILITY TO INSTALL ALL ITEMS REQUIRED.
- WATER LINES, VALVES, FIRE HYDRANTS, FITTINGS ETC. ARE TO BE CONSTRUCTED AS SHOWN. CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ANY VERTICAL ADJUSTMENTS NECESSARY TO CLEAR SEWER, STORM DRAIN OR OTHER UTILITIES AS NECESSARY INCLUDING VALVE BOXES AND HYDRANT SPOOLS TO PROPER GRADE.
- FIELD VERIFY ALL EXISTING AND/OR PROPOSED ROOF DRAIN/ROOF DRAIN DOWN SPOUT CONNECTIONS TO STORM WATER SYSTEM WITH CIVIL, PLUMBING & ARCHITECTURAL PLANS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- ALL CATCH BASINS AND INLET BOX GRATES ARE TO BE BICYCLE SAFE.
- UNLESS OTHERWISE NOTED FOR EXISTING UTILITIES, ALL DRY UTILITIES ARE ASSUMED TO BE 3' BELOW EXISTING GRADE TO TOP OF CONDUIT. ALL WATER LINES ARE ASSUMED TO BE 4' BELOW EXISTING GRADE TO TOP OF PIPE. ALL STORM AND SANITARY LINES ARE BASED ON SURVEYED INVERT DATA. CONTRACTOR TO POTHOLE ALL UTILITY CROSSINGS, VERIFY ELEVATIONS AND CONTACT ENGINEER IF ELEVATIONS ARE DIFFERENT FROM THOSE SHOWN IN THESE PLANS.
- ANY EXISTING VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE
- IF CONTRACTOR LOCATES ANY UNIDENTIFIED UTILITIES, CONTRACTOR SHALL CONTACT THE ENGINEER FOR VERIFICATION OF LOCATION BOTH HORIZONTAL AND VERTICAL.



CAUTION NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO THE NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

NOTE

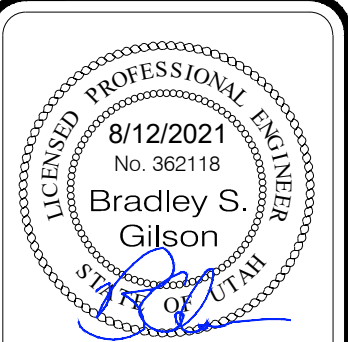
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GENERAL NOTES
LILJENQUEST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -

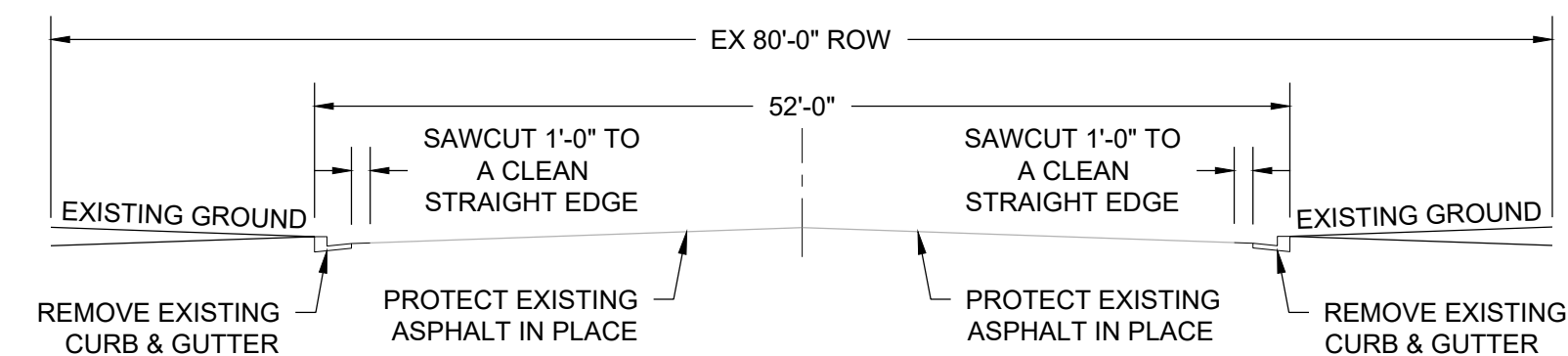
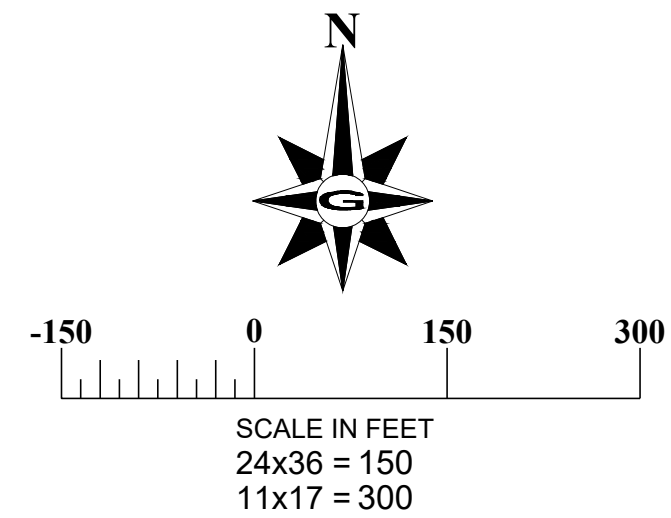
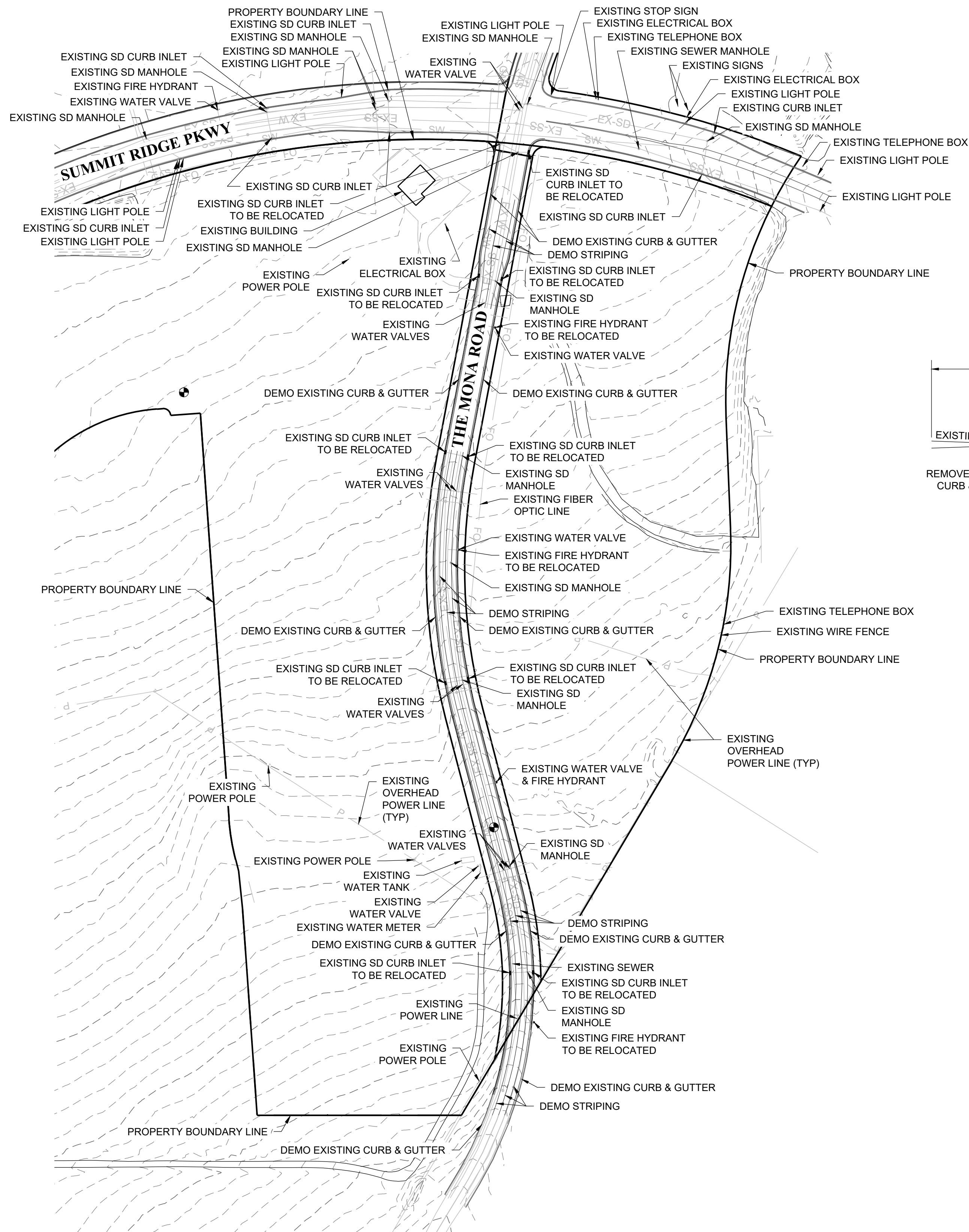
PROJ. # LIL.012

G.101



DATE	REVISIONS
AUGUST 2021	
DRAWING NAME	BY COMMENTS
G.101	
GENERAL NOTES	
DESIGNED/DRAWN BY	
BG/BP	
CHECKED	APPROVED
---	---

1" SCALE MEASURES 1" ON FULL SIZE SHEET
ADJUST FOR HALF SIZE SHEETS



EXISTING STREET SECTION DEMO DETAIL

SCALE: N.T.S.

NOTE

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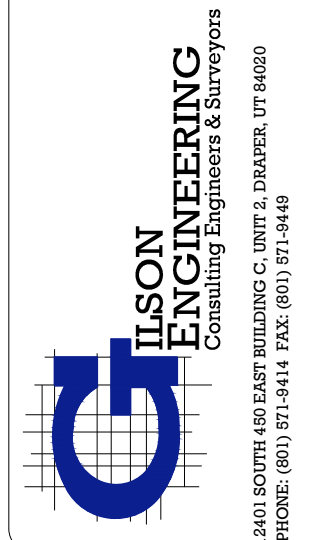
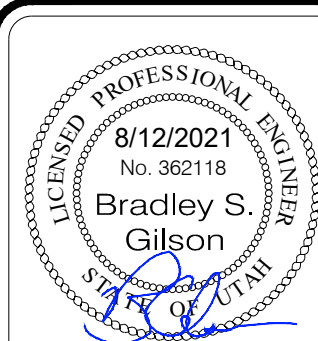


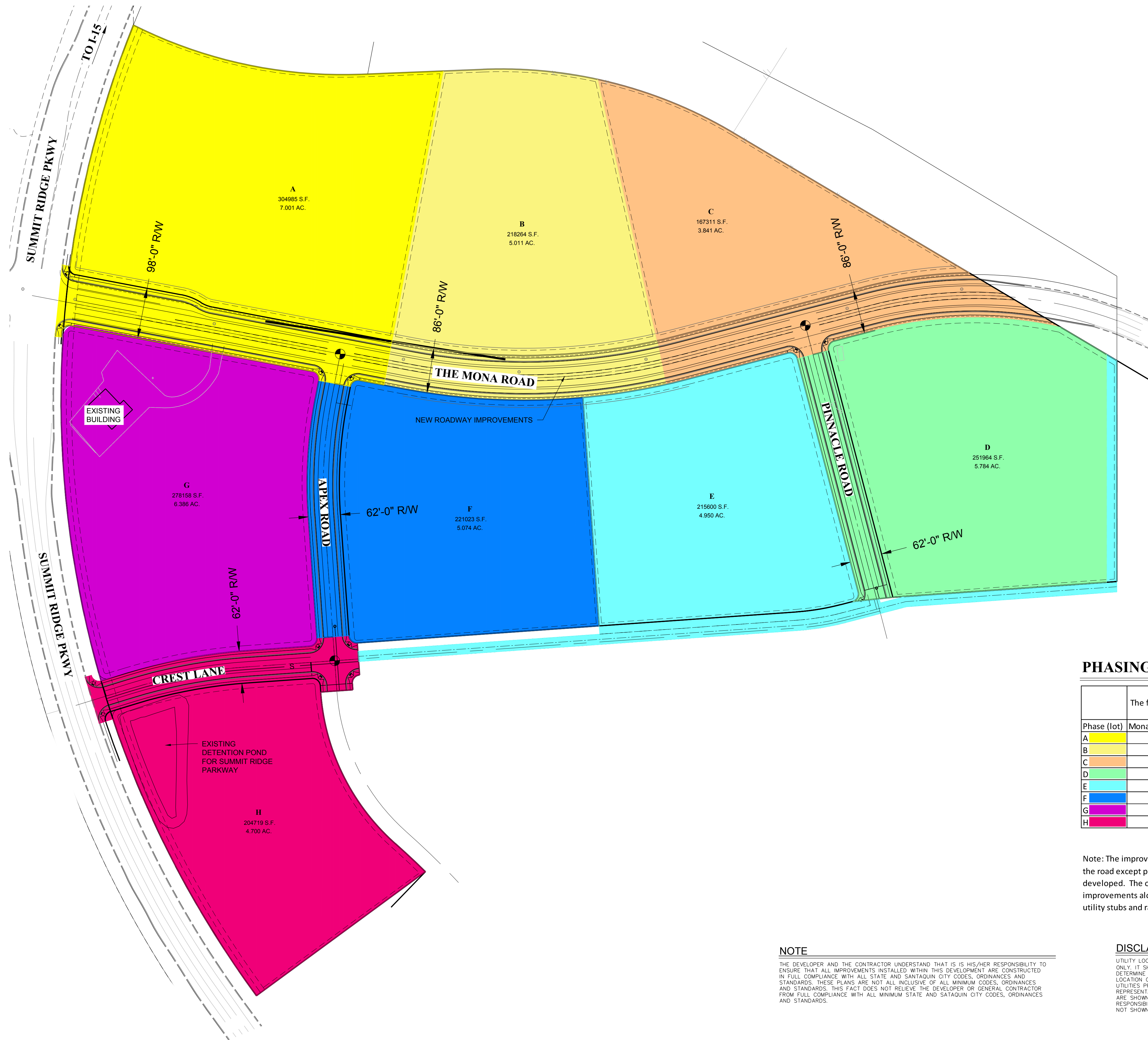
EXISTING SITE
LILJENQUIEST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -

PROJ. # **LIL.012**

C.100





PHASING PLAN

Phase (lot)	Improvements				
	The first Phase (lot) to develop will include the following improvements as part of the phase				
	Mona Road	Pinnacle Road	Apex Road	Crest Lane	Waterline Loop
A	✓				
B	✓				✓
C	✓				✓
D	✓	✓			✓
E	✓	✓			✓
F	✓		✓		✓
G	✓		✓		
H				✓	

Note: The improvements include full roadway improvements and utilities, both sides of the road except parkstrip and sidewalk on opposite side of the Phase (lot) being developed. The opposite parkstrip and sidewalk will be developed as a frontage improvements along the road with the corresponding phase. Mona Road will include utility stubs and radius 10 ft past property line on Apex and Pinnacle.

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PHASING PLAN

LILJENQUIST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

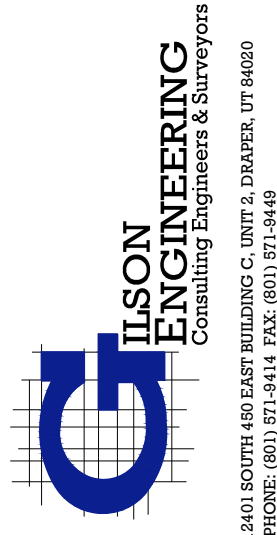
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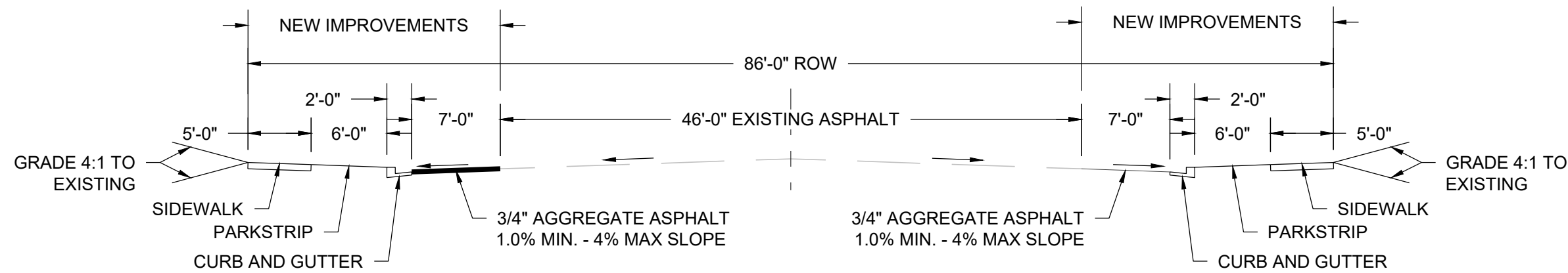
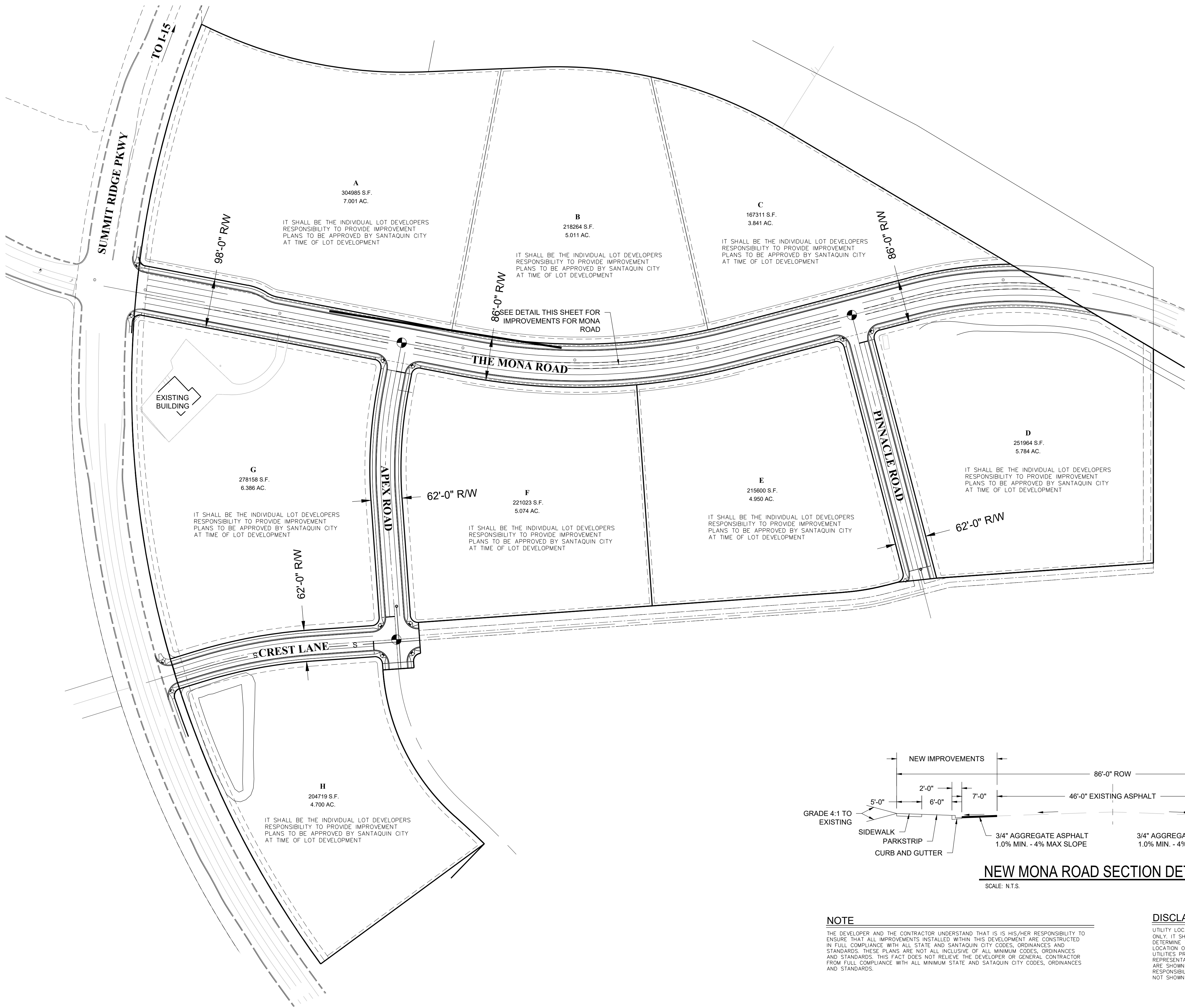
PROJ. # LIL.012

C.101

DATE	REV	DATE	BY	COMMENTS
AUGUST 2021				
DRAWING NAME:	C.101	SITE PLAN OVERALL		
DESIGNED/DRAWN BY:	BG/BP			
CHECKED:	APPROVED:			

1" SCALE MEASURES 1" ON FULL SIZE SHEET
ADJUST FOR HALF SIZE SHEETS





NEW MONA ROAD SECTION DETAIL
SCALE: N.T.S.

NOTE
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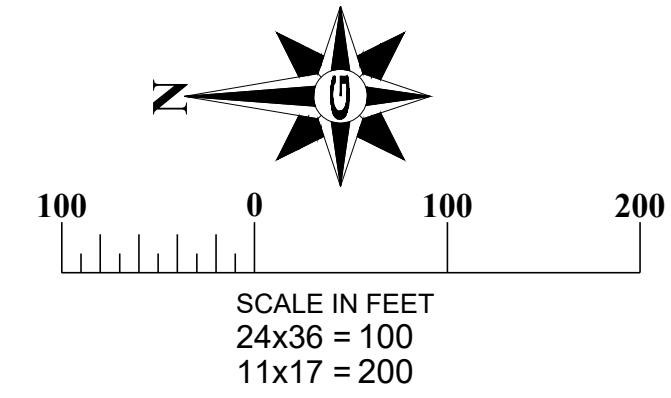
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OVERALL SITE PLAN
LILJENQUEST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTIQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -
PROJ. # **LIL.012**
C.102

LILJENQUEST ENGINEERING
Civil Engineering, Surveying & Construction
1000 WEST 1000 SOUTH, SUITE 101
SALT LAKE CITY, UTAH 84143
PHONE: (801) 473-1414 FAX: (801) 473-1449



NOTE

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OVERALL UTILITIES & GRADING PLAN

LILJENQUIST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -

PROJ. # **LIL.012**

C.201

DATE: AUGUST 2021

DRAWING NAME: C.201 OVERALL UTILITIES PLAN

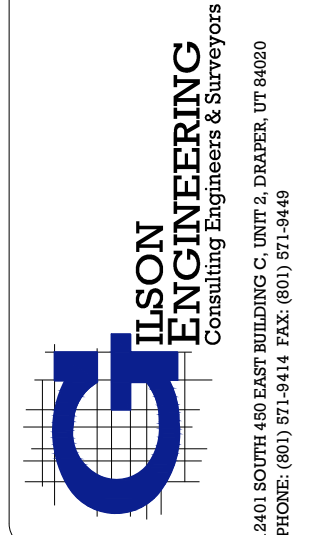
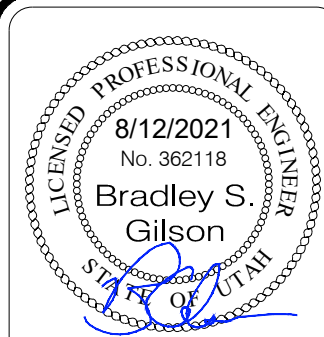
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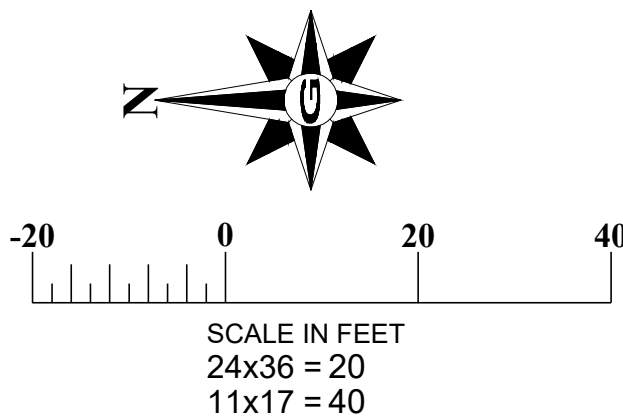
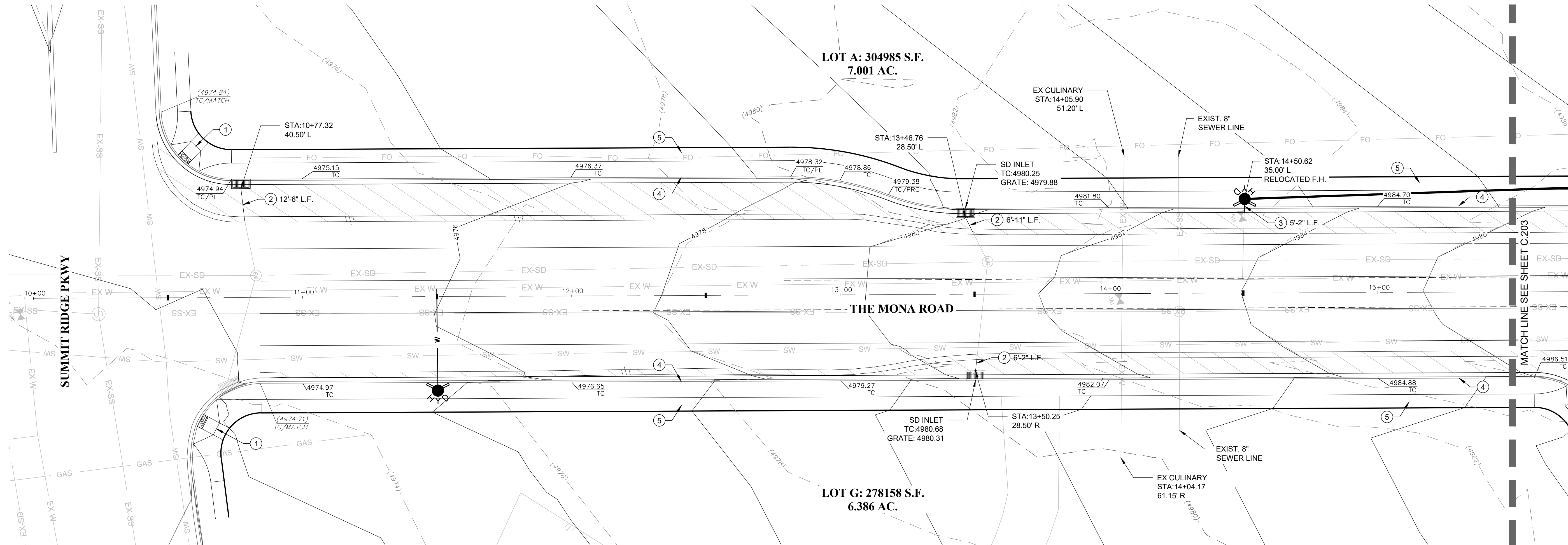
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REV. DATE BY COMMENTS

REV.	DATE	BY	COMMENTS

1" SCALE MEASURES 1" ON FULL SIZE SHEET
ADJUST FOR HALF SIZE SHEETS





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UTILITY LEGEND

---	EX-SD	EXISTING STORM DRAIN
---	EX-SW	EXISTING SECONDARY WATER
---	EX-W	EXISTING WATER
---	EX-S	EXISTING SANITARY SEWER
---	NEW WATER MAIN	
---	NEW SECONDARY WATER MAIN	
---	NEW SEWER MAIN	
(SD)	EXISTING STORM MANHOLE	
(S)	EXISTING SEWER MANHOLE	
[Hatched Box]	STORM DRAIN INLET	
(S)	SEWER MANHOLE	
[Diagonal Lines Box]	AREA OF NEW AC PAVEMENT	

CONSTRUCTION KEY NOTES

1. CONSTRUCT CURB RAMP PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG2A SHEET C.301.
2. EXTEND STORM DRAIN PIPE AT EXISITNG GRADE TO RELOCATED INLET.
3. EXTEND WATER LINE TO RELOCATED F.H.
4. CONSTRUCT HIGHBACK CURB & GUTTER PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG4 SHEET C.301.
5. CONSTRUCT CONCRETE SIDEWALK PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG5 SHEET C.301.
6. INSTALL STOP SIGN PER SANTAQUIN CITY STD. DWG SEE DETAIL S77 SHEET C.301.
7. EXTEND WATER LINE & IRRIGATION LINE FROM STUB BEYOND NEW SIDEWALK.
8. INSTALL 6" SECONDARY WATER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301 MAINTAIN 48" MIN. COVER

DISCLAIMER NOTE

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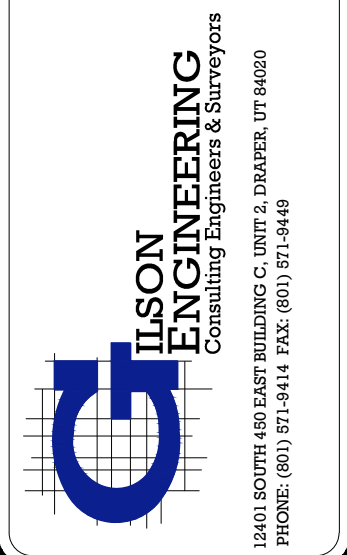
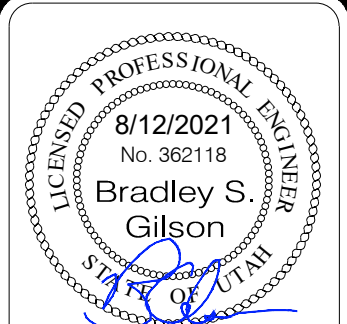


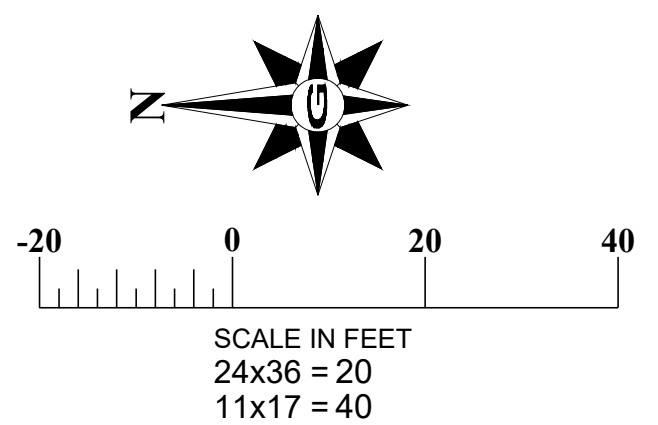
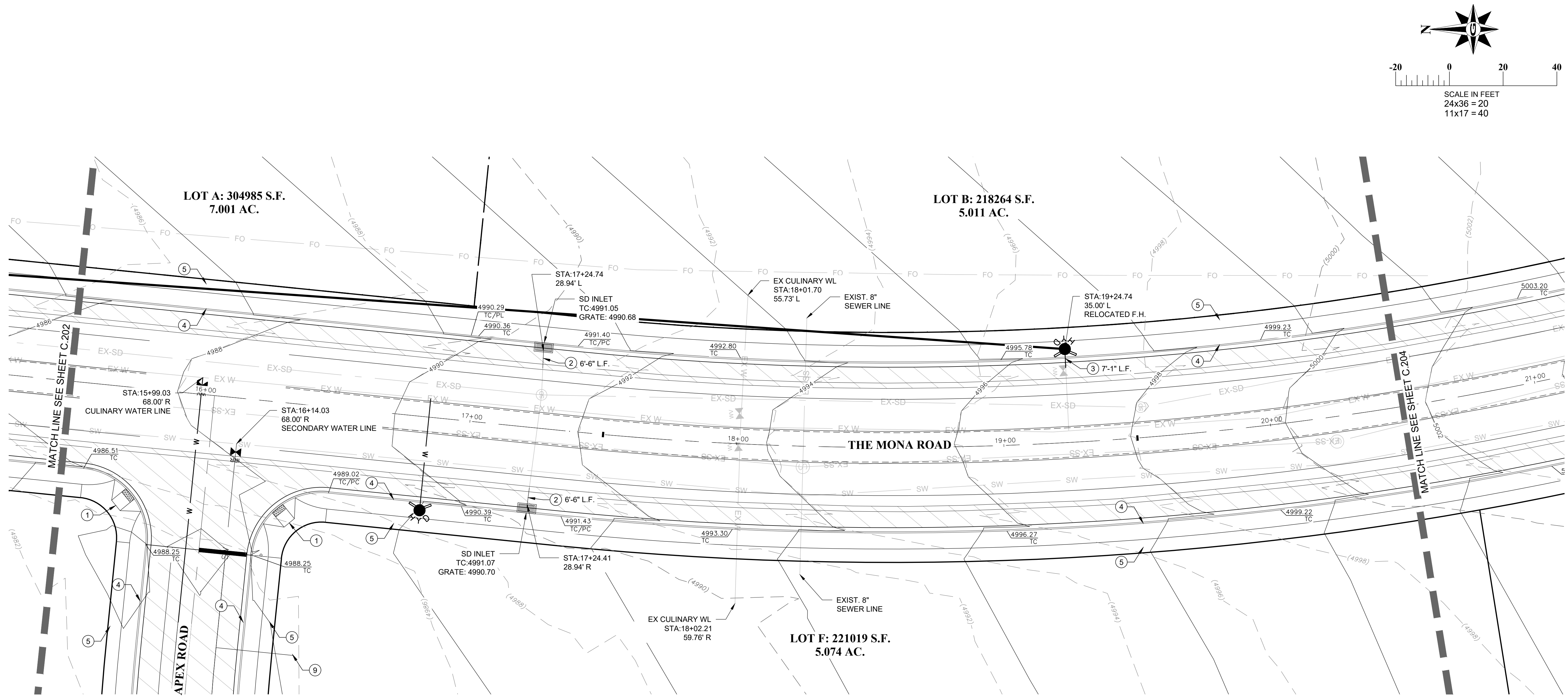
UTILITIES & GRADING PLAN

LILJENQUIST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -
PROJ. # **LIL.012**

C.202





NOTE

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8. INSTALL 6" SECONDARY WATER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301 MAINTAIN 48" MIN. COVER
9. INSTALL 1" SDR 9 CTS, 200 PSI PE SERVICE PIPE CONTINUOUS, PURPLE IN COLOR SECONDARY WATER PER SANTAQUIN CITY STD. DWG PI2.

DISCLAIMER NOTE

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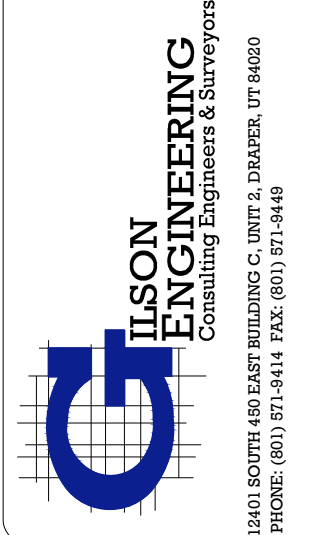
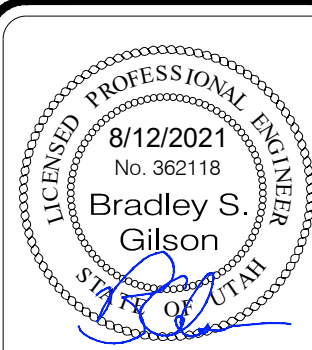


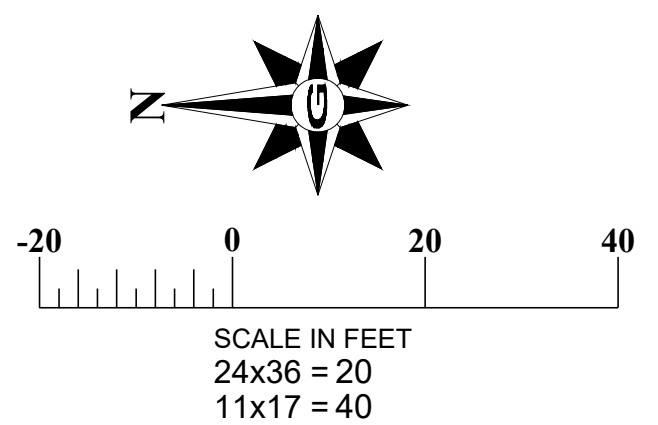
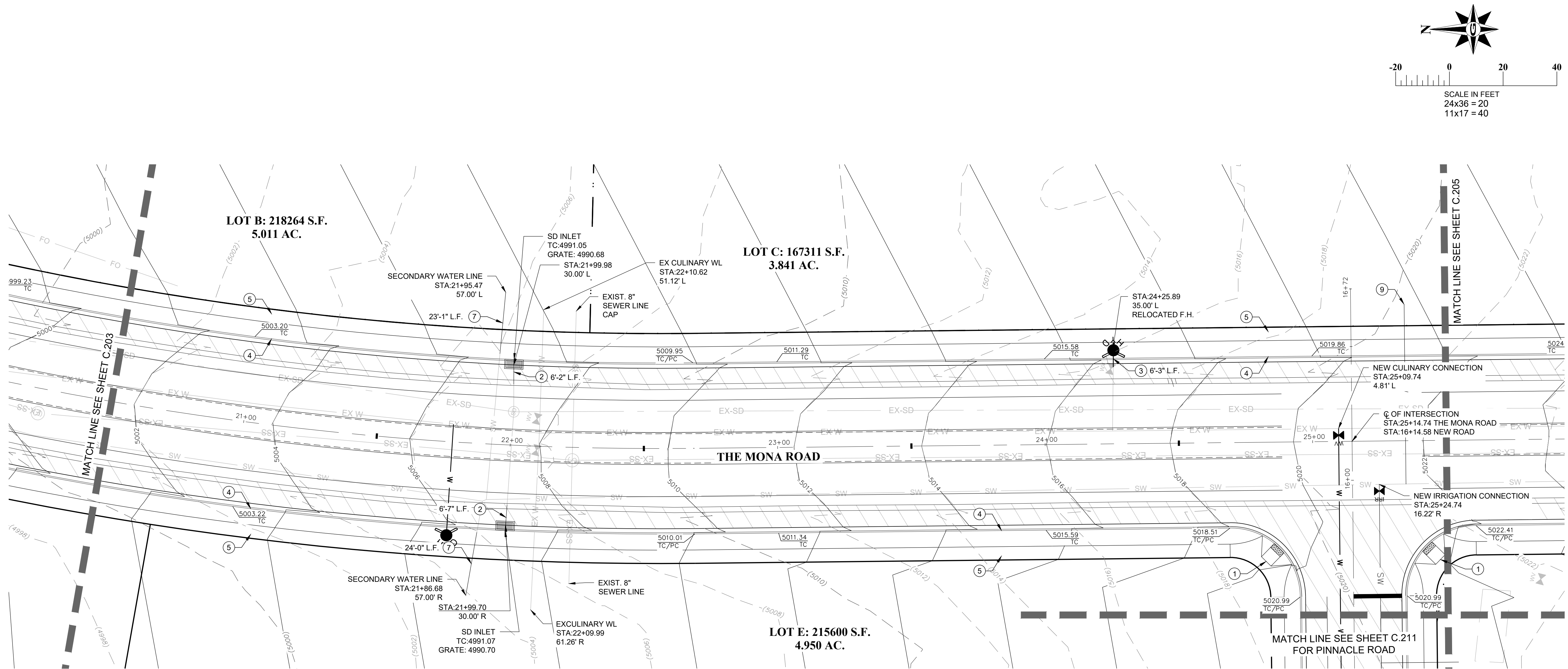
UTILITIES & GRADING PLAN

LILJENQUIST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -
PROJ. # **LIL.012**

C.203





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---	EX-S	EXISTING SANITARY SEWER
---	NEW W	NEW WATER MAIN
---	NEW SW	NEW SECONDARY WATER MAIN
---	NEW S	NEW SEWER MAIN
(SD)		EXISTING STORM MANHOLE
(S)		EXISTING SEWER MANHOLE
[Hatched Box]		STORM DRAIN INLET
(S)		SEWER MANHOLE
[Diagonal Lines Box]		AREA OF NEW AC PAVEMENT

CONSTRUCTION KEY NOTES

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2. EXTEND STORM DRAIN PIPE AT EXISTING GRADE TO RELOCATED INLET
3. EXTEND WATER LINE TO RELOCATED F.H.
4. CONSTRUCT HIGHBACK CURB & GUTTER PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG4 SHEET C.301.
5. CONSTRUCT CONCRETE SIDEWALK PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG5 SHEET C.301.
6. INSTALL STOP SIGN PER SANTAQUIN CITY STD. DWG SEE DETAIL S17 SHEET C.301.
7. EXTEND WATER LINE & IRRIGATION LINE FROM STUB BEYOND NEW SIDEWALK.
8. INSTALL 6" SECONDARY WATER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301 MAINTAIN 48" MIN. COVER
9. INSTALL 1" SDR 9 CTS, 200 PSI PE SERVICE PIPE CONTINUOUS, PURPLE IN COLOR SECONDARY WATER PER SANTAQUIN CITY STD. DWG PI2.

DISCLAIMER NOTE

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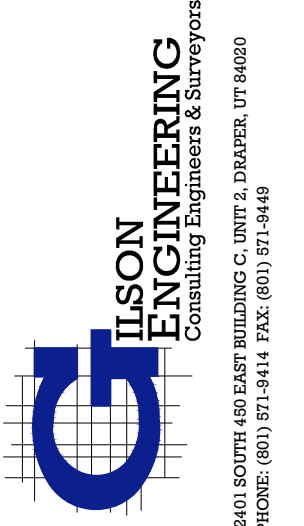
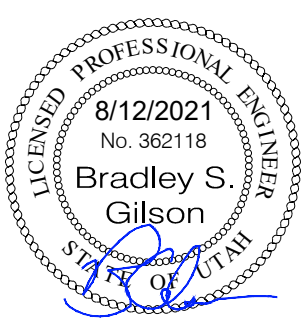
UTILITIES & GRADING PLAN

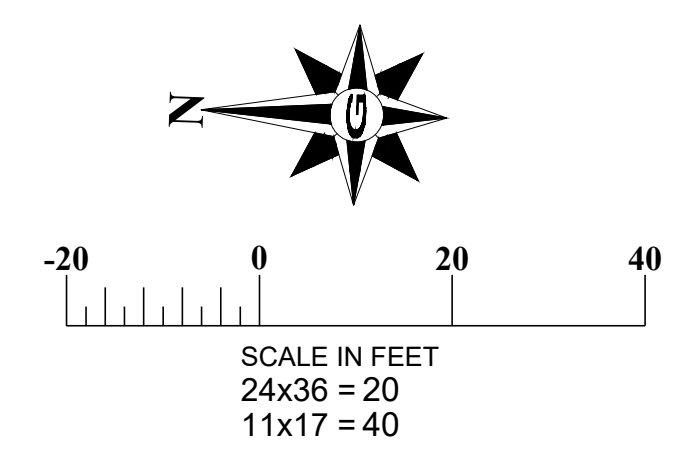
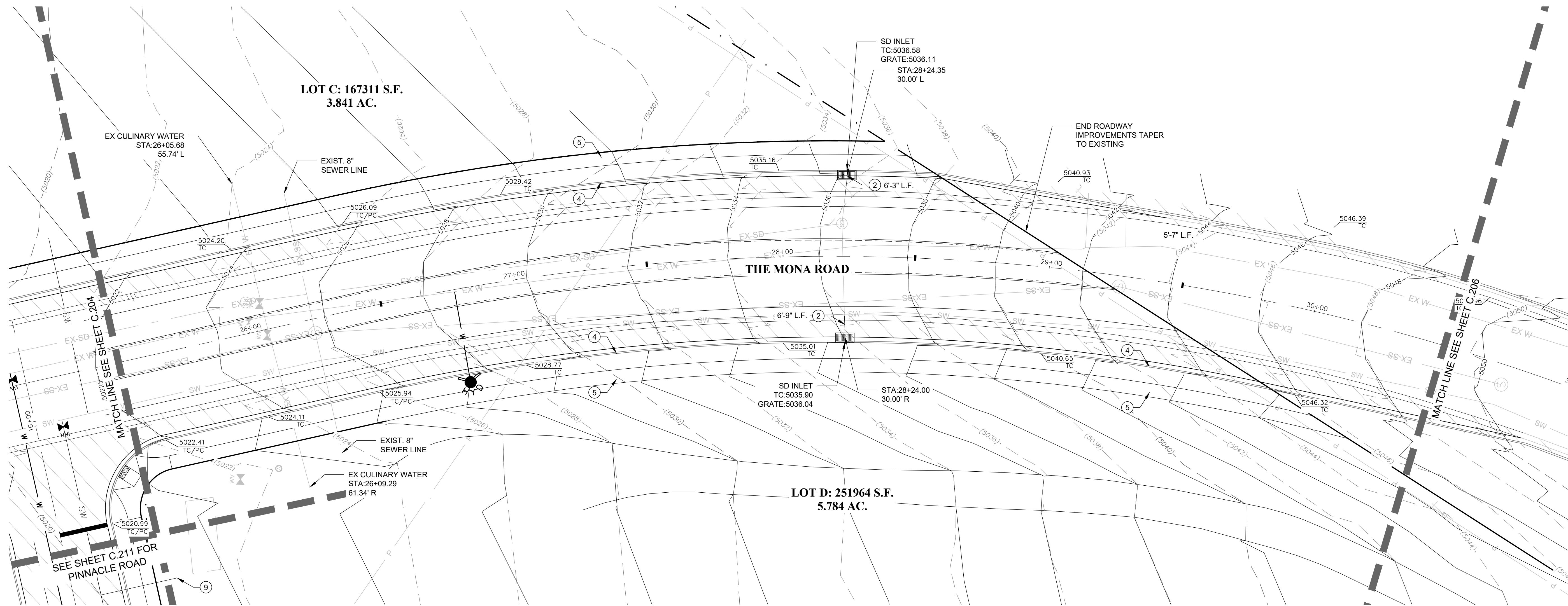
LILJENQUIST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -

PROJ. # LIL.012

C.204





NOTE

THE DEVELOPER AND THE CONTRACTOR UNDERSTAND THAT IS IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SATAQUIN CITY CODES, ORDINANCES AND STANDARDS.

UTILITY LEGEND	
	EXISTING STORM DRAIN
	EXISTING SECONDARY WATER
	EXISTING WATER
	EXISTING SANITARY SEWER
	NEW WATER MAIN
	NEW SECONDARY WATER MAIN
	NEW SEWER MAIN
	EXISTING STORM MANHOLE
	EXISTING SEWER MANHOLE
	STORM DRAIN INLET
	SEWER MANHOLE
	AREA OF NEW AC PAVEMENT

- CONSTRUCTION KEY NOTES**
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 2. EXTEND STORM DRAIN PIPE AT EXISITNG GRADE TO RELOCATED INLET
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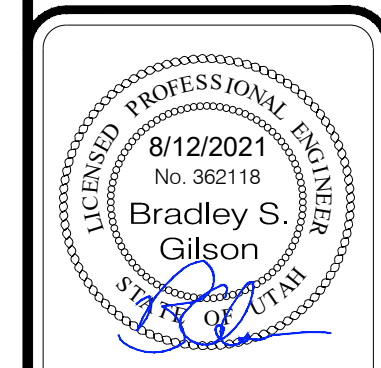
UTILITIES & GRADING PLAN

LILJENQUIST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -

PROJ. # **LIL.012**

C.205

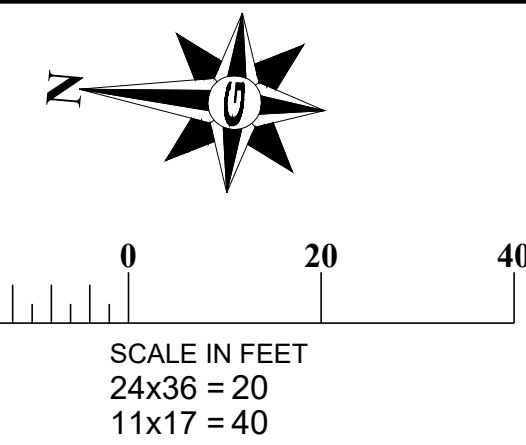
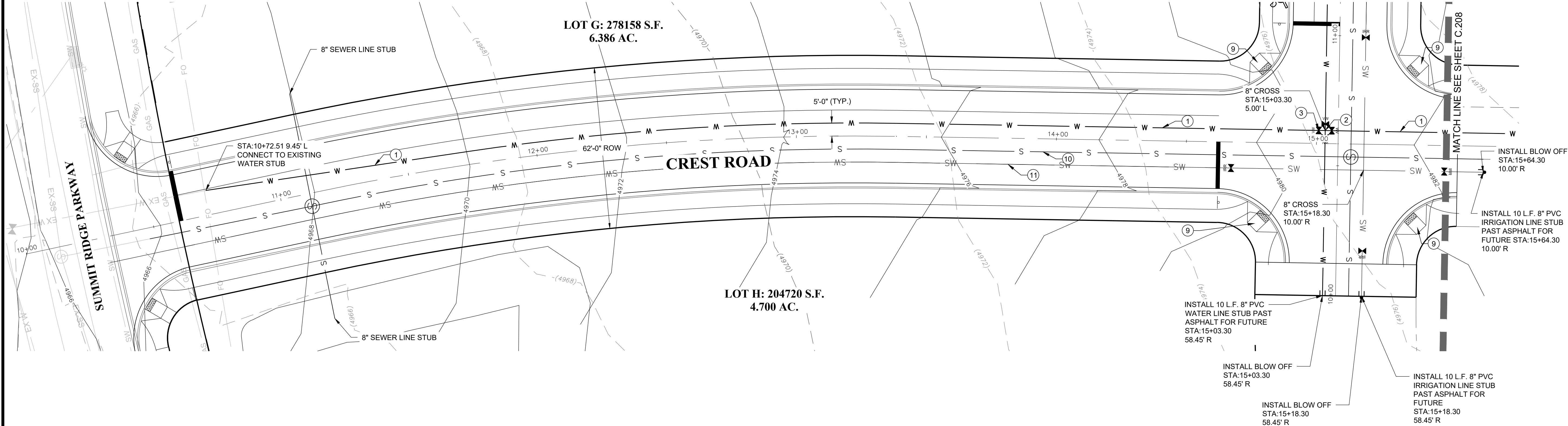


GILSON ENGINEERING
Consulting Engineers & Surveyors

BRADLEY S. GILSON, P.E.
1000 S. 1000 E. SUITE 100
SANTAQUIN, UTAH 84655
PHONE: (801) 871-8414 FAX: (801) 871-1449

UTILITY LEGEND

	EXISTING STORM DRAIN		EXISTING STORM MANHOLE
	EXISTING SECONDARY WATER		EXISTING SEWER MANHOLE
	EXISTING WATER		STORM DRAIN INLET
	EXISTING SANITARY SEWER		SEWER MANHOLE
	NEW WATER MAIN		
	NEW SECONDARY WATER MAIN		
	NEW SEWER MAIN		



CONSTRUCTION KEY NOTES

- INSTALL 8" WATER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.
- INSTALL 8" CROSS WITH THRUST BLOCKS PER SANTAQUIN CITY STD. DWG UT4 SEE SHEET C.301.
- INSTALL 8" GATE VALVE EACH LEG. EAST & WEST LEGS TO BE INSTALLED IN THE CLOSED POSITION FOR FUTURE IMPROVEMENTS.
- INSTALL 8" TEE WITH 8" GATE VALVE EACH LEG. INSTALL GATE VALVE WEST LEG IN CLOSED POSITION FOR FUTURE IMPROVEMENTS.
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- CONSTRUCT 62' ROW ROADWAY IMPROVEMENTS PER SANTAQUIN CITY STD. DWG SEE DETAIL ST1 SHEET C.302.
- INSTALL STOP SIGN PER SANTAQUIN CITY STD. DWG SEE DETAIL ST7 SHEET C.301.
- CONSTRUCT CURB RAMP PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG2A SHEET C.301.
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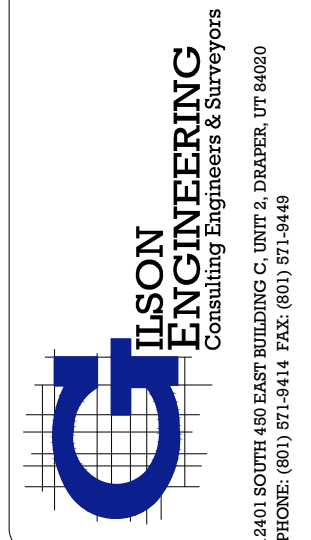
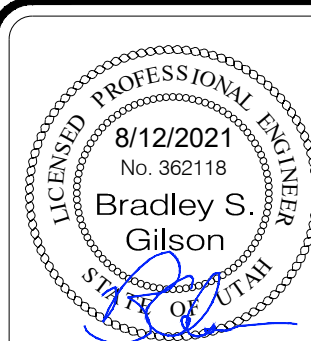


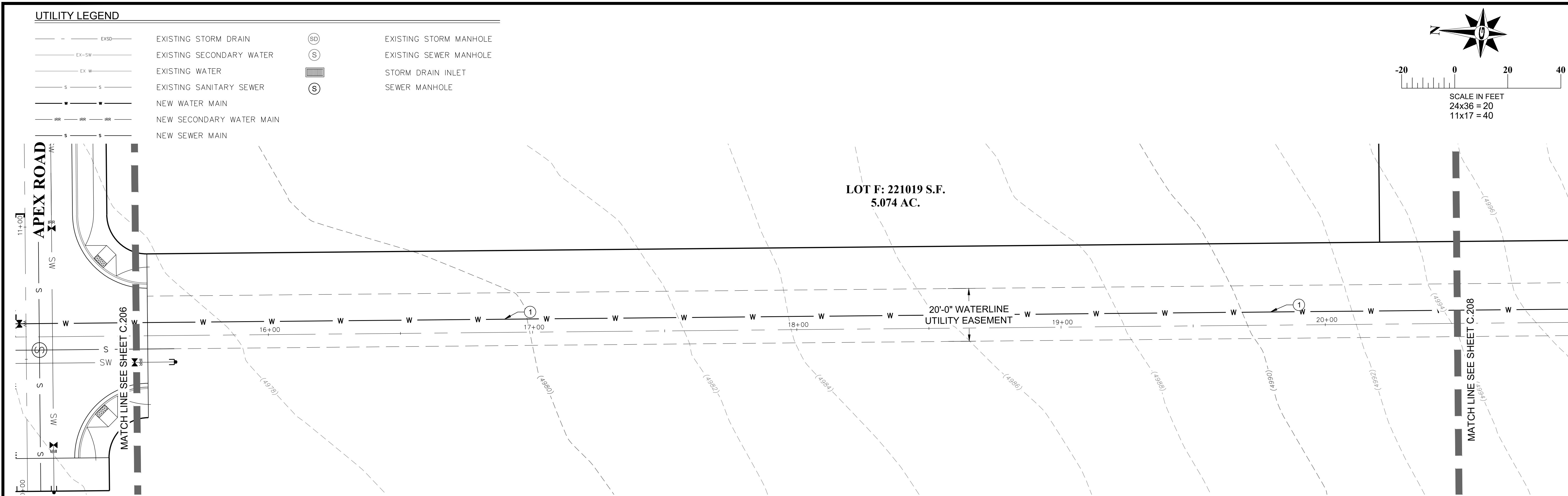
UTILITY AND GRADING PLAN

LILJENQUIST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -
PROJ. # **LIL.012**

C.206





WATER LINE EASEMENT

Describing the Centerline of 20' wide (10' on either side) Water Line Easement #1:

Beginning at a point located on the current termination line of Crest Lane N85°57'33"E 5.00' from the centerline of Crest Lane, which is coincident with the boundary of the Summit Ridge Commercial Subdivision. Said point is further described as S1°04'18"E 1011.27' along the section line and S88°55'42"W 1324.55' from the Northeast Corner of Section 15, Township 10 South Range 1 East, Salt Lake Base and Meridian

Thence:

- 1) S4°02'27"E 847.20';
- 2) Along the arc of a 495.00' radius curve, concave to the east 91.37', through a central angle of 10° 34'33" (chord: S9°19'44" E, 91.24')
- 3) S14°37'00"E 65.23 to the point of beginning of 20' wide Water Line Easement #2,
- 4) S14°37'00" 57.86'
- 5) S04°02'27" 407.76' to a point on the southerly boundary Utah County Parcel 32:021:0059

Describing the Centerline of 20' wide (10' on either side) Water Line Easement #2:

Beginning at a point located on which is coincident with southerly end of course 3 as above described. Said point is further described as S1°04'18"E 2011.04' along the section line and S88°55'42"W 1252.29' from the Northeast Corner of Section 15, Township 10 South Range 1 East, Salt Lake Base and Meridian

Thence:

N75°23'00"E 19.75' to a point on the southerly boundary of the Summit Ridge Commercial Subdivision

CONSTRUCTION KEY NOTES

- 1) INSTALL 8" WATER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.
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NOTE

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UTILITY 8" WATER LINE LOOP

LILJENQUIEST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -

PROJ. # LIL.012

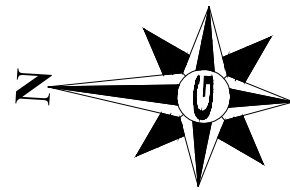
C.207

UTILITY LEGEND

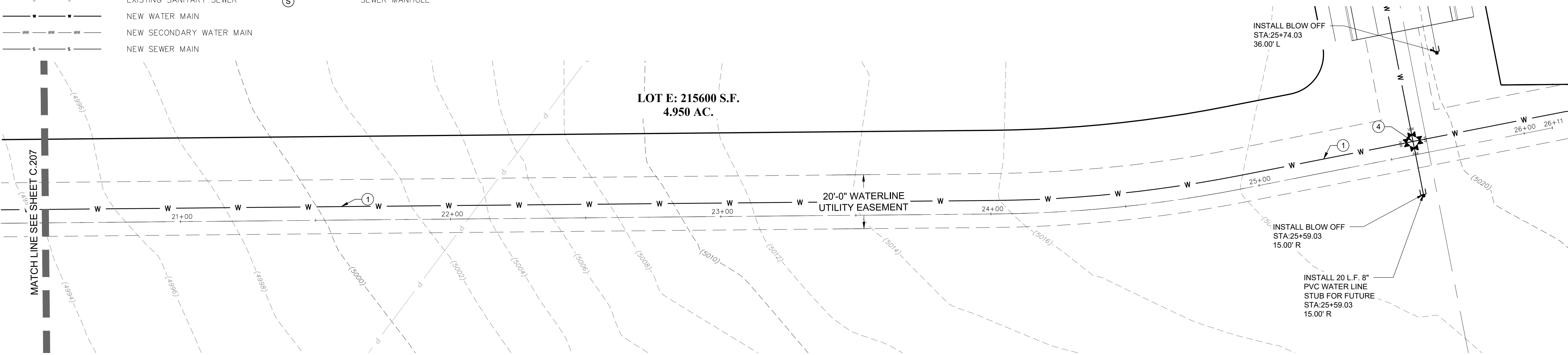
	EXISTING STORM DRAIN		EXISTING STORM MANHOLE
	EXISTING SECONDARY WATER		EXISTING SEWER MANHOLE
	EXISTING WATER		STORM DRAIN INLET
	EXISTING SANITARY SEWER		SEWER MANHOLE
	NEW WATER MAIN		
	NEW SECONDARY WATER MAIN		
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SCALE IN FEET
24x36 = 20
11x17 = 40



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Thence:

- 1) S4°02'27"E 847.20';
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CONSTRUCTION KEY NOTES

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DISCLAIMER NOTE

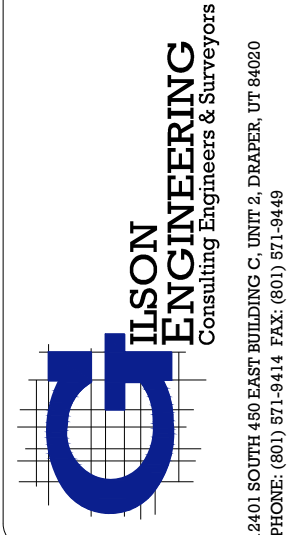
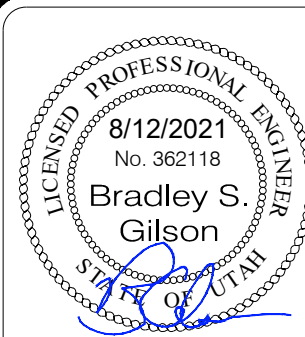
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UTILITY 8" WATER LINE LOOP

LILJENQUIEST
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SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

REVISION: -
PROJ. # LIL.012
C.208

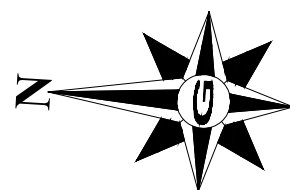


UTILITY LEGEND

NEW WATER MAIN

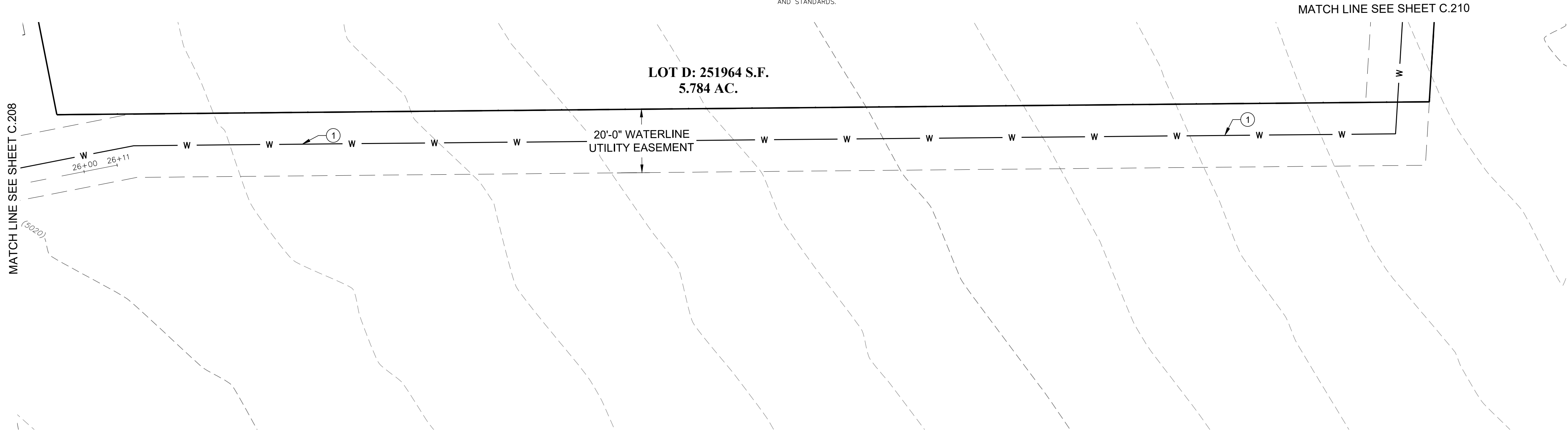
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-20 0 20 40

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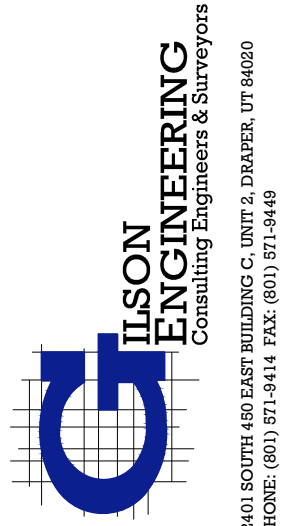
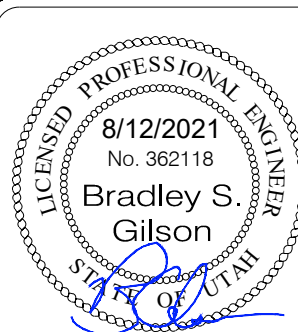
UTILITY 8" WATER LINE LOOP

LILJENQUIEST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

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C.208

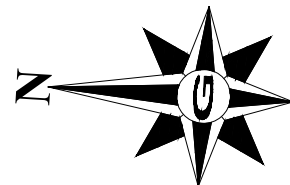


UTILITY LEGEND

NEW 8" WATER MAIN

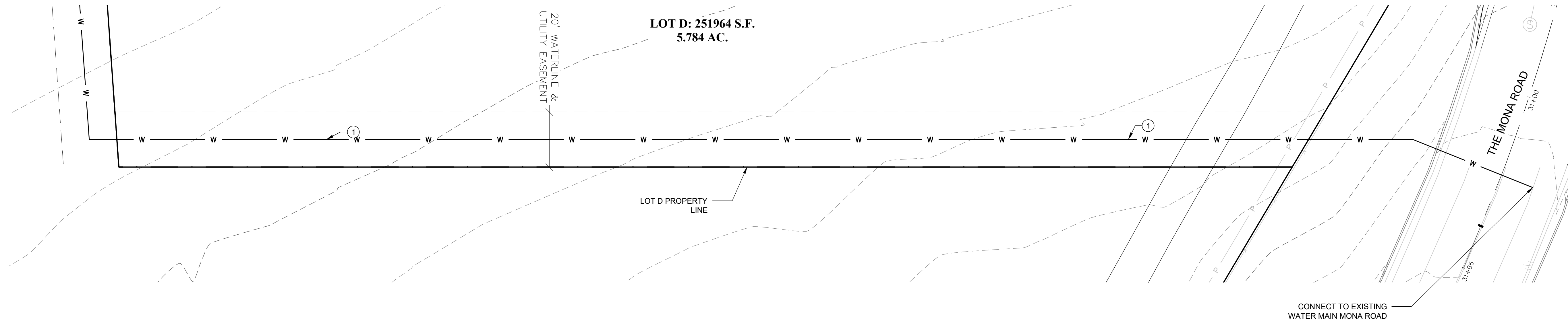
NOTE

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SCALE IN FEET
24x36 = 20
11x17 = 40

MATCH LINE SEE SHEET C.209



CONSTRUCTION KEY NOTES

1. INSTALL 8" WATER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.
2. INSTALL 8" CROSS WITH THRUST BLOCKS PER SANTAQUIN CITY STD. DWG UT4 SEE SHEET C.301.
3. INSTALL 8" GATE VALVE EACH LEG. EAST & WEST LEGS TO BE INSTALLED IN THE CLOSED POSITION FOR FUTURE IMPROVEMENTS.
4. INSTALL 8" TEE WITH 8" GATE VALVE EACH LEG. INSTALL GATE VALVE WEST LEG IN CLOSED POSITION FOR FUTURE IMPROVEMENTS.
5. CONSTRUCT CONCRETE SIDEWALK PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG5 SHEET C.301.
6. CONSTRUCT HIGHBACK CURB & GUTTER PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG4 SHEET C.301.
7. CONSTRUCT 62' ROW ROADWAY IMPROVEMENTS PER SANTAQUIN CITY STD. DWG SEE DETAIL ST1 SHEET C.302.
8. INSTALL STOP SIGN PER SANTAQUIN CITY STD. DWG SEE DETAIL ST7 SHEET C.301.
9. CONSTRUCT CURB RAMP PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG2A SHEET C.301.
10. INSTALL 8" SEWER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.
11. INSTALL 6" IRRIGATION LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.
12. INSTALL 1" SDR 9 CTS, 200 PSI PE SERVICE PIPE CONTINUOUS, PURPLE IN COLOR SECONDARY WATER PER SANTAQUIN CITY STD. DWG PI2.

DISCLAIMER NOTE

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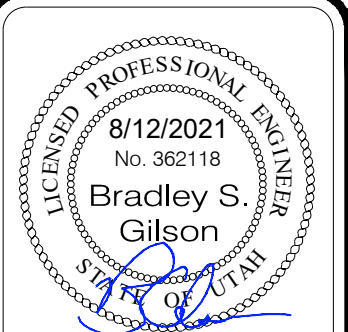


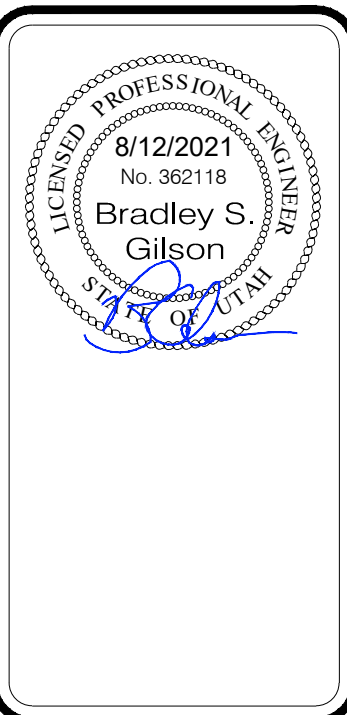
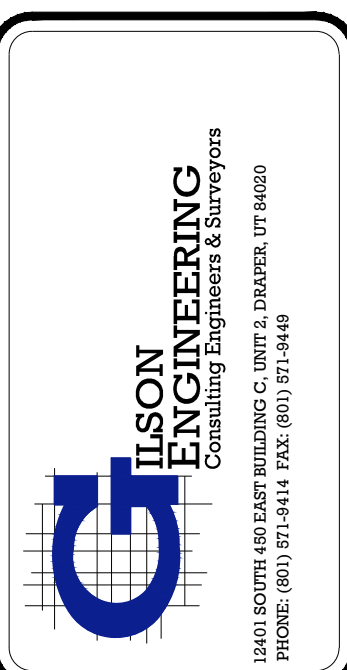
UTILITY 8" WATER LINE LOOP

LILJENQUIEST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

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UTILITY AND GRADING PLAN

LILJENQUIST
SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
UTAH COUNTY, UTAH

NOTE

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- ① INSTALL 8" WATER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.
- ② INSTALL 8" CROSS WITH THRUST BLOCKS PER SANTAQUIN CITY STD. DWG UT4 SEE SHEET C.301.
- ③ INSTALL 8" GATE VALVE EACH LEG. EAST & WEST LEGS TO BE INSTALLED IN THE CLOSED POSITION FOR FUTURE IMPROVEMENTS.
- ④ INSTALL 8" TEE WITH 8" GATE VALVE EACH LEG. INSTALL GATE VALVE WEST LEG IN CLOSED POSITION FOR FUTURE IMPROVEMENTS.

- | | |
|---|--|
| <p>5 CONSTRUCT CONCRETE SIDEWALK PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG5 SHEET C.301.</p> | <p>9 CONSTRUCT CURB RAMP PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG2A SHEET C.301.</p> |
| <p>6 CONSTRUCT HIGHBACK CURB & GUTTER PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG4 SHEET C.301.</p> | <p>10 INSTALL 8" SEWER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.</p> |
| <p>7 CONSTRUCT 62' ROW ROADWAY IMPROVEMENTS PER SANTAQUIN CITY STD. DWG SEE DETAIL ST1 SHEET C.302.</p> | <p>11 INSTALL 6" IRRIGATION LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.</p> |
| <p>8 INSTALL STOP SIGN PER SANTAQUIN CITY STD. DWG SEE DETAIL ST7 SHEET C.301.</p> | <p>12 INSTALL 1" SDR 9 CTS, 200 PSI PE SERVICE PIPE CONTINUOUS, PURPLE IN COLOR SECONDARY WATER PER SANTAQUIN CITY STD. DWG PI2.</p> |

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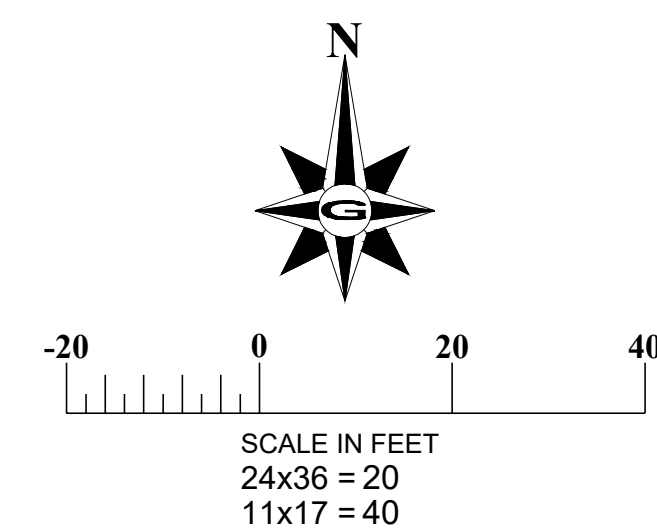
UTILITY AND GRADING PLAN

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SUMMIT RIDGE COMMERCIAL SUBDIVISION
SANTAQUIN, UTAH 84655
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- (9) CONSTRUCT CURB RAMP PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG2A SHEET C.301.
- (10) INSTALL 8" SEWER LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.
- (11) INSTALL 6" IRRIGATION LINE IN TRENCH PER SANTAQUIN CITY STD. DWG UT3. SEE SHEET C.301. MAINTAIN 48" MIN. COVER.
- (12) INSTALL 1" SDR 9 CTS, 200 PSI PE SERVICE PIPE CONTINUOUS, PURPLE IN COLOR SECONDARY WATER PER SANTAQUIN CITY STD. DWG PI2.

	EXISTING STORM DRAIN
	EXISTING SECONDARY WATER
	EXISTING WATER
	EXISTING SANITARY SEWER
	NEW WATER MAIN
	NEW SECONDARY WATER MAIN
	NEW SEWER MAIN
	EXISTING STORM MANHOLE
	EXISTING SEWER MANHOLE
	STORM DRAIN INLET
	SEWER MANHOLE

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