

MEMORANDUM



To: Planning Commission

From: Aspen Stevenson, Planner

Date: November 12, 2024

RE: **Stratton Meadows Subdivision Preliminary**

Zone: R-10

Size: 11.84 Acres

Lots: 37

The Stratton Meadows Subdivision is located at 800 N 200 E. The proposed subdivision is in the R-10 Residential zone, with thirty-seven lots on 11.84 acres. Lots within the R-10 zone must have a minimum lot size of 10,000 square feet and a minimum lot width of 80 feet. Corner lots have a minimum frontage of 95 feet. The proposed lots range from 0.231 acres (10,044 square feet) to 0.292 acres (12,740 square feet), and the lot frontages range from 80.00 feet to 109.62 feet. All requirements in the R-10 zone (SCC 10.20.080) are being met.

On October 22, 2024, the Development Review Committee (DRC) reviewed the preliminary plans for the Stratton Meadows Subdivision and forwarded a favorable recommendation to the Planning Commission, on the condition that redlines be addressed. The applicant has submitted updated plans (attachment 2), with a few minor redlines on the plat that can be fixed with the final plat review. Minor issues include closure edits on a few lots that will not affect the design or layout of the lots, and the mailbox easement needs to be removed.

This review is for the Planning Commission to determine whether the proposed subdivision complies with the Santaquin City Code. The Planning Commission is the land use authority for preliminary subdivision applications.

Findings

1. The subdivision plans meet the requirements of the R-10 Zone (SCC 10.20.080).
2. The subdivision plans meet all Engineering and Public Works requirements found in the Santaquin City Standard Specifications and Drawings.
3. All applicable requirements in Santaquin City Title 11 (Subdivision Regulations) have been met.
4. The subdivision has followed the subdivision review process in SCC 11.20.020 and preliminary plans have received a favorable recommendation from the DRC.

Recommended Motion: “Motion to approve the preliminary plans for the Stratton Meadows Subdivision with the following conditions: that the redlines on the plat be addressed at final plat and that the developer submits USPS acknowledgment on the amount and location of the cluster mailboxes before final plans are submitted.”

Attachments:

1. Zoning and Location Map
2. Preliminary Plans



PF

PF

PF

Proposed Location

R-10 PUD

R-10

R-10

Ag

ft

400

CONSTRUCTION NOTES

Construction Notes

- 1. All work to be done in conformity to SANTAQUIN CITY standards and specification and as directed by the SANTAQUIN CITY engineer or his representatives.
2. All sewer and water system construction shall be in accordance with SANTAQUIN CITY standards and specifications. Contractor to obtain current standards from the SANTAQUIN CITY.
3. Contractor shall contact blue stakes prior to beginning construction, to facilitate the location and identification of existing underground utilities.
4. Contractor responsible for protection of all utilities shown or not shown.
5. Contractor shall be responsible to obtain and pay for necessary permits.
6. Contractors shall attend all pre-construction conferences.
7. Contractor shall be responsible for all public safety and OSHA standards.
8. Contractor shall field verify locations and invert elevations of all existing sewer facilities and other utilities prior to building or staking any new sewer lines.
9. Location and installation of gas, power, telephone, and cable lines to be done in accordance with SANTAQUIN CITY standards.
10. All culinary water lines shall be per SANTAQUIN CITY standards.
11. Minimum depth for culinary waterlines from the final grade to the top of the pipe is 4 feet, unless otherwise noted on the plan and profile sheets.
12. Minimum spacing between waterlines and sewer lines is 10 feet horizontally or 12 inches vertically (in times of crossing the waterline shall be above the sewer line). All other utilities shall be spaced a minimum distance of 12 inches from the waterline.
13. All ductile iron valves, hydrants, and buried fittings shall be wrapped with 8 mil thick polyethylene film tube or sheet. The film shall be held in place by and approved adhesive tape, equal to scotchrap no. 50. All fittings and valves requiring wrapping shall be wrapped prior to placing concrete thrust blocking. All valves are to be flanged to the adjacent fittings.
14. Sanitary sewer laterals shall extend into each lot 15' and be marked with a 2" by 4" board with the top 12" painted green.
15. All sewer laterals will be marked with a "S" stamped into the curb above.
16. Culinary water laterals shall extend into each lot 15' and be marked with a 2" by 4" board with the top 12" painted blue.
17. All culinary water laterals will be marked with a "W" on the curb above.
18. Contractor to verify as build sewer laterals for building FF design. Existing sewer lateral to govern.

NOTE: The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN CITY Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.

MISC CONSTRUCTION NOTES

THE CONTRACTOR SHALL CAREFULLY READ ALL OF THE NOTES AND SPECIFICATIONS, THE CONTRACTOR SHALL BE SATISFIED AS TO THEIR TRUE MEANING AND INTENT AND SHALL BE RESPONSIBLE FOR COMPLYING WITH EACH.

GENERAL NOTES:

- 1) ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING: SANTAQUIN CITY STANDARD SPECIFICATIONS, LATEST EDITION, AND ALL AMENDMENTS THERETO UNLESS OTHERWISE STATED.
2) PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL CONTACT SANTAQUIN CITY FOR A PRE-CONSTRUCTION CONFERENCE.
3) IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.
4) WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
5) THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR, IT SHALL BE EXPECTED THAT PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.
6) THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES, WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR PECULIAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
7) CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHTS-OF-WAY OR EASEMENTS FROM SANTAQUIN CITY AND UDOT CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMENCING THE WORK, OR AS REQUIRED BY SAID PERMITS.
8) THE CONTRACTOR SHALL, AT THE TIME OF BIDDING, AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDBLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
9) CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK.

- 10) THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
11) THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.
12) THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.
13) THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
14) THE CONTRACTOR AGREES THAT:
A. THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.
B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
C. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
D. THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE RIGHTS-OF-WAY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL PAYMENT.
E. THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.
F. UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.
15) THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
16) DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE, WITH A WATER TRUCK.
17) CONSTRUCTION STAKING FOR LIMITS OF DISTURBANCE INCLUDING CONSTRUCTION AND SILT FENCES, GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER, AND ELECTRICITIES MAY BE DONE BY AWARDED SURVEYOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF THE NEED FOR STAKING. ANY STAKING REQUESTED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS THAT IS ABOVE AND BEYOND STANDARD STAKING NEEDS, WILL BE SUBJECT TO AN EXTRA WORK BACK CHARGE TO THE CONTRACTOR.
18) FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATOR AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION.
19) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
20) IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
21) WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
22) THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND OTHER FACILITIES. THE AS-BUILT SET OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, AND CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS RECORDED AS A PRECONDITION TO FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

23) WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.

24) BENCHMARK: 4759.858 ELEVATION: NORTH EAST CORN SEC 36, T9S, R1E, S1B&M FOUND 3" BRASS CAP

CLEARING AND GRADING NOTES: 1) CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH SANTAQUIN CITY STANDARD SPECIFICATIONS AND THE RECOMMENDED EARTHWORK SPECIFICATIONS FOUND IN THE LATEST REPORT OF GEOTECHNICAL INVESTIGATION.

2) THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON A TOPO SURVEY SUPPLIED BY THE OWNER. 3) THE OWNER SHALL PROVIDE A TEMPORARY EROSION CONTROL PLAN AND OBTAIN ALL PERMITS REQUIRED BY SANTAQUIN CITY CITY, AND THE STATE OF UTAH FOR TEMPORARY EROSION CONTROL. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ALL TEMPORARY EROSION CONTROL AND MAINTENANCE, AND SHALL PROVIDE EROSION AND SEDIMENT CONTROL FORMS TO THE CITY. FOR ADDITIONAL EROSION CONTROL INFORMATION, SEE "EROSION CONTROL/REVEGETATION PLAN" SHEETS AND REPORTS.

4) SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK. SOIL INVESTIGATIONS WERE CONDUCTED FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH AS PROJECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK. SOIL BEARING VALUES AND PROFILES, SOIL STABILITY AND THE PRESENCE, LEVEL AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION

IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID. 10) THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.

11) THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.

12) THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.

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16) DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE, WITH A WATER TRUCK.

17) CONSTRUCTION STAKING FOR LIMITS OF DISTURBANCE INCLUDING CONSTRUCTION AND SILT FENCES, GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER, AND ELECTRICITIES MAY BE DONE BY AWARDED SURVEYOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF THE NEED FOR STAKING. ANY STAKING REQUESTED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS THAT IS ABOVE AND BEYOND STANDARD STAKING NEEDS, WILL BE SUBJECT TO AN EXTRA WORK BACK CHARGE TO THE CONTRACTOR.

18) FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATOR AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION.

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20) IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.

21) WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.

22) THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND OTHER FACILITIES. THE AS-BUILT SET OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, AND CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

23) WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.

24) BENCHMARK: 4759.858 ELEVATION: NORTH EAST CORN SEC 36, T9S, R1E, S1B&M FOUND 3" BRASS CAP

DEWATERING NOTES:

- 1) THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND WATER LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN OPERATIONS TO A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.
2) THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED.
3) SUMPS SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SUMPS.
4) THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOILS," DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF THE NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATIONS SOILS, PREVENT DISTURBANCE OF COMPACTED BACKFILL, AND PREVENT FLOTTING OF STRUCTURES, PIPING AND SEWERS. PERMITS ARE REQUIRED FOR DISCHARGE OF POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, IT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.

UNDERGROUND UTILITIES:

- 1) THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THESE LOCATIONS TO BE EITHER TRUE OR EXACT. PRIOR TO CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO, SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES, SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION/ELEVATION MUST BE MADE PRIOR TO CONSTRUCTION.
2) PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATED, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-862-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES TO VERIFY THE LOCATION OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
3) THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 - EXCAVATIONS, AND SECTION 69 - TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES. ANY EXCAVATION GREATER THAN 10 FEET IN DEPTH REQUIRES A TRENCH BOX.
4) PRIOR TO OPENING AN EXCAVATION, CONTRACTOR SHALL ENDEAVOR TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS, I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXACT LOCATION APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING; AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.
5) IN CASES OF HIGH GROUNDWATER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO USE RUBBER GASKET JOINTS ON ALL PRE CAST PIPES. THE COST FOR RUBBER GASKET JOINTS SHALL BE INCLUDED IN THE UNIT PRICES OF PIPE.
6) THE CONTRACTOR SHALL PROVIDE CLAY DAMS IN UTILITY TRENCHES TO PREVENT CHANNELING OF SUBSURFACE WATER, DURING AND AFTER CONSTRUCTION. CONSTRUCT CLAY DAMS AT THE TOP OF GRADE BREAKS AND AT THE FOLLOWING INTERVALS:
* TRENCHES WITH SLOPES < 10% = DAMS AT 500' INTERVALS
* TRENCHES WITH SLOPES > 10% = DAMS AT 100' INTERVALS

7) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS OF SANTAQUIN CITY FOR H-20 LOAD REQUIREMENTS.

8) ALL CONSTRUCTION AND MATERIALS FOR THE SEWER MAIN AND LATERALS MUST COMPLY WITH THE SANTAQUIN CITY DISTRICT. THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO THE SEWER MAIN.

9) ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF SANTAQUIN CITY PUBLIC WORKS DEPARTMENT PERSONNEL ONLY.

10) WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. CONTRACTOR RESPONSIBLE FOR ALL NECESSARY FITTINGS AND THRUST BLOCKS.

11) THE CONTRACTOR SHALL NOTIFY ENGINEER AT LEAST 48 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH THE REGULATORY AGENCY STANDARD SPECIFICATIONS.

12) ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER AND STREET PAVING.

SURFACE IMPROVEMENTS:

- 1) SUB GRADE PREPARATION: EARTHWORK FOR ROADWAY SECTIONS SHOULD BE CONDUCTED PER THE LATEST GEOTECH REPORT. ONCE ROADWAY EXCAVATION STARTS, THE SUB GRADE SHOULD BE SCARIFIED AND RECOMPACTED AT THE PROPER MOISTURE CONTENT TO 98 PERCENT RELATIVE DENSITY (STANDARD PROCTOR ASTM D-1557) THE NATIVE SUB GRADE SHOULD BE FIRM AND NON-YIELDING PRIOR TO SUB BASE PLACEMENT. EVERY EFFORT SHOULD BE MADE TO AVOID EXPOSING NATIVE SUB-GRADES TO EXCESS MOISTURE.
2) ALL MANHOLE RIMS, VALVES AND MONUMENT BOXES, ETC. SHALL BE ADJUSTED TO FINISH GRADE AFTER STREET PAVING, UNLESS OTHERWISE NOTED. ON PAVED AREAS, PROVIDE A 1 FOOT BY 1 FOOT CONCRETE COLLAR SET INTO CONCRETE CURB 1/8 INCH LOWER THAN FINISH GRADE AT OUTER EDGE. PROVIDE CONCRETE COLLAR FOR ALL VALVES AND MONUMENTS PER SANTAQUIN CITY STANDARD SPECIFICATIONS. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR SAID FACILITIES.
3) PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON THE PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THESE SPECIFICATIONS, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK.

4) INSTALLATION OF STREET LIGHTS SHALL BE IN ACCORDANCE WITH SANTAQUIN CITY DEVELOPMENT GUIDELINES.

5) PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS BUILT TO THESE PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, CITY OF SANTAQUIN, AND POWER CO. TO HAVE THE ELECTRICAL SYSTEM AND ALL STREET LIGHTS ENERGIZED.

6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPPING INTO FUTURE STRIPPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.

7) STRIPPING AND PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH UPW SECTIONS 01570 AND 02580.

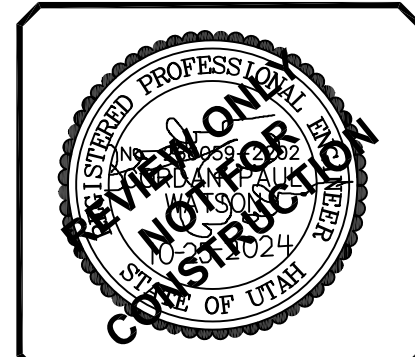
Table with 4 columns: NO., DESCRIPTION, N/S, DATE. Rows 1-10.

Table with 4 columns: ORIG. DATE: 2-8-21, SURVEY BY: GFW, DRAWN BY: GFW, DESIGNED BY: GFW, CHECKED BY: GFW, SCALE: N/A.

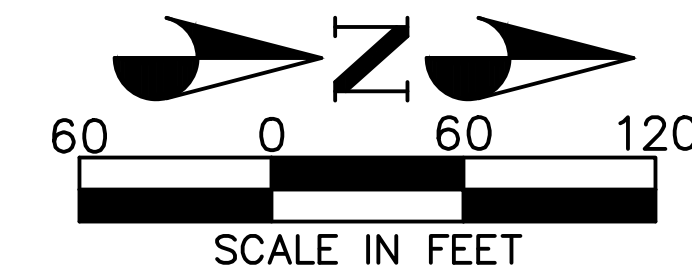
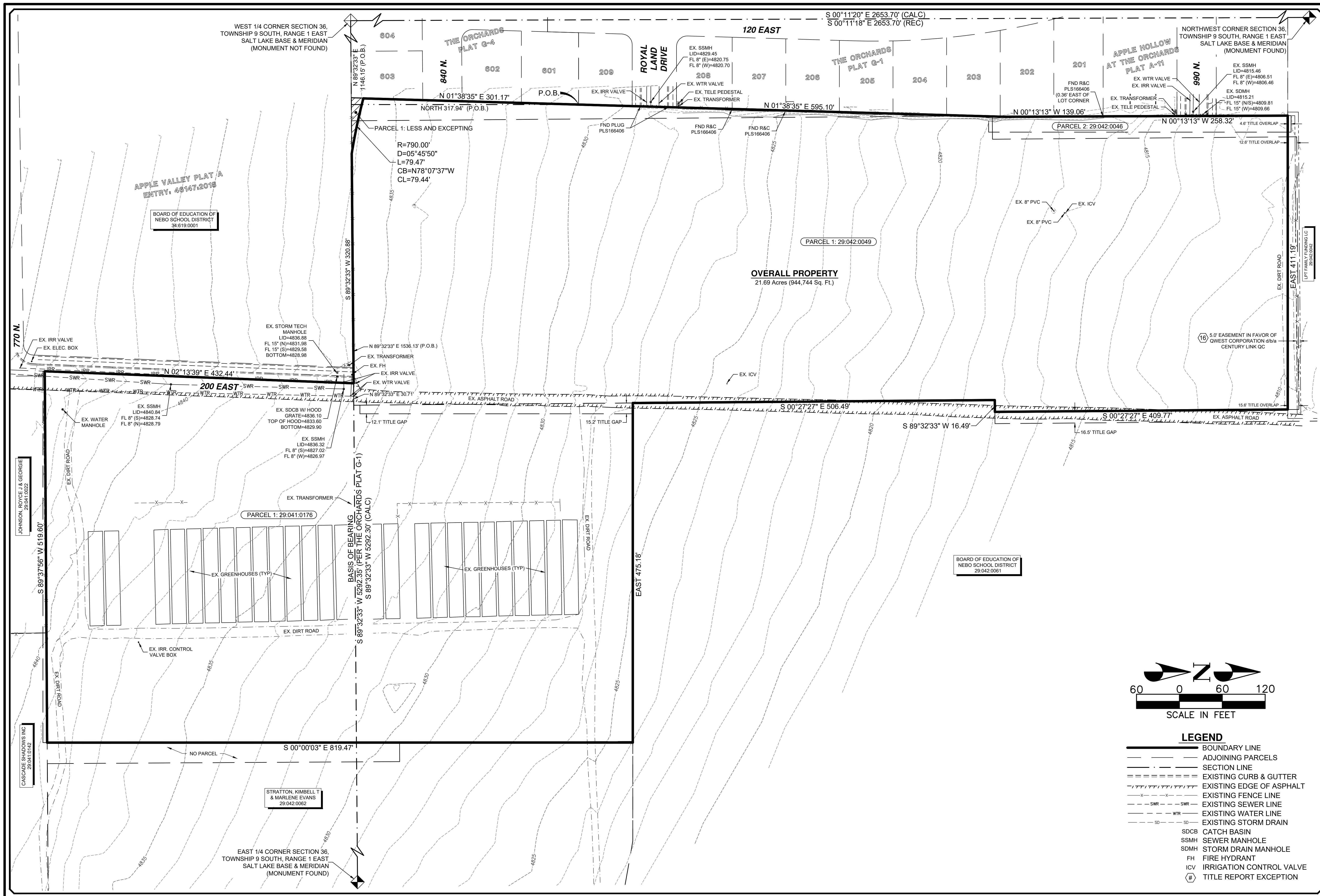
GATEWAY CONSULTING, Inc. P.O. BOX 951005 SOUTH JORDAN, UT 84095 PH: (801) 694-5848 paul@gatewayconsultingllc.com CIVIL ENGINEERING * CONSULTING * LAND PLANNING CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION PROJECT NOTES AND CONTACT INFORMATION 10-25-2024 (PLOT DATE)

SANTAQUIN CITY



SHEET NO. 1A



LEGEND

	BOUNDARY LINE
	ADJOINING PARCELS
	SECTION LINE
	EXISTING CURB & GUTTER
	EXISTING EDGE OF ASPHALT
	EXISTING FENCE LINE
	EXISTING SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM DRAIN
	SDCB CATCH BASIN
	SSMH SEWER MANHOLE
	SDMH STORM DRAIN MANHOLE
	FH FIRE HYDRANT
	ICV IRRIGATION CONTROL VALVE
	ⓔ TITLE REPORT EXCEPTION

NO.	DESCRIPTION	DATE	APP'D.

ORIG. DATE:	09/2022
SURVEY BY:	REFG CREW
DRAWN BY:	BCB
DESIGNED BY:	N/A
CHECKED BY:	RS
SCALE:	1"=60'

CMT TECHNICAL SERVICES
 9270 SOUTH 900 WEST • SANDY, UT 84070
 PHONE: (801) 562-2521 • FAX: (801) 562-2551
 MATERIALS TESTING • INSPECTION SERVICES • LAB TESTING • GEOTECHNICAL
 ENVIRONMENTAL • CIVIL ENGINEERING • TRANSPORTATION ENGINEERING
 SURVEYING • CONSTRUCTION MANAGEMENT • SPECIALTY LAB

STRATTON ACRES, LLC
ALTA/NSPS SURVEY
 PARCELS: 29:042:0049,
 29:042:0046, & 29:041:0176
 OCTOBER 11, 2022
 PROJECT NUMBER: 1555.2210
 DRAWING FILE: DWG\ALTA-PH2

SANTAQUIN CITY



ADDRESSES	
LOT	ADDRESS
201	274 E ROYAL LAND DR or 906 N 260 E
202	892 NORTH 260 EAST
203	874 NORTH 260 EAST
204	868 NORTH 260 EAST
205	856 NORTH 260 EAST
206	846 NORTH 260 EAST
207	834 NORTH 260 EAST
208	822 NORTH 260 EAST
209	812 NORTH 260 EAST
210	792 NORTH 260 EAST or 287 EAST 770 NORTH
211	292 EAST 770 NORTH
212	280 EAST 770 NORTH
213	264 EAST 770 NORTH
214	240 EAST 770 NORTH
215	228 EAST 770 NORTH
216	212 EAST 770 NORTH
217	219 EAST 770 NORTH or 798 NORTH 200 EAST
218	231 EAST 770 NORTH
219	243 EAST 770 NORTH or 793 NORTH 260 EAST
220	811 NORTH 260 EAST
221	823 NORTH 260 EAST
222	835 NORTH 260 EAST
223	847 NORTH 260 EAST
224	857 NORTH 260 EAST
225	869 NORTH 260 EAST
226	875 NORTH 260 EAST
227	893 NORTH 260 EAST
228	907 NORTH 260 EAST or 242 EAST ROYAL LAND DR
229	222 EAST ROYAL LAND DR or 908 NORTH 200 EAST
230	894 NORTH 200 EAST
231	876 NORTH 200 EAST
232	870 NORTH 200 EAST
233	858 NORTH 200 EAST
234	848 NORTH 200 EAST
235	836 NORTH 200 EAST
236	824 NORTH 200 EAST
237	816 NORTH 200 EAST

NOTES:

- TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
- NDCBU - NEIGHBORHOOD DELIVERY BOX UNIT.
- ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
- AGRICULTURE PROTECTION AREA
THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
a. A RECORDED EASEMENT OR RIGHT-OF-WAY
b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
c. TITLE 54, CHAPTER 86, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
d. ANY OTHER PROVISION OF LAW

Approved this ____ day of ____ 20__

ROCKY MOUNTAIN POWER

DOMINION ENERGY QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.
Approved this ____ day of ____ 20__

QUESTAR GAS COMPANY

By: _____
Title: _____

CENTRACOM ACCEPTANCE

APPROVED THIS ____ DAY OF ____ A.D. 20__
CENTRACOM COMPANY

BY: _____ TITLE _____

CENTURY LINK ACCEPTANCE

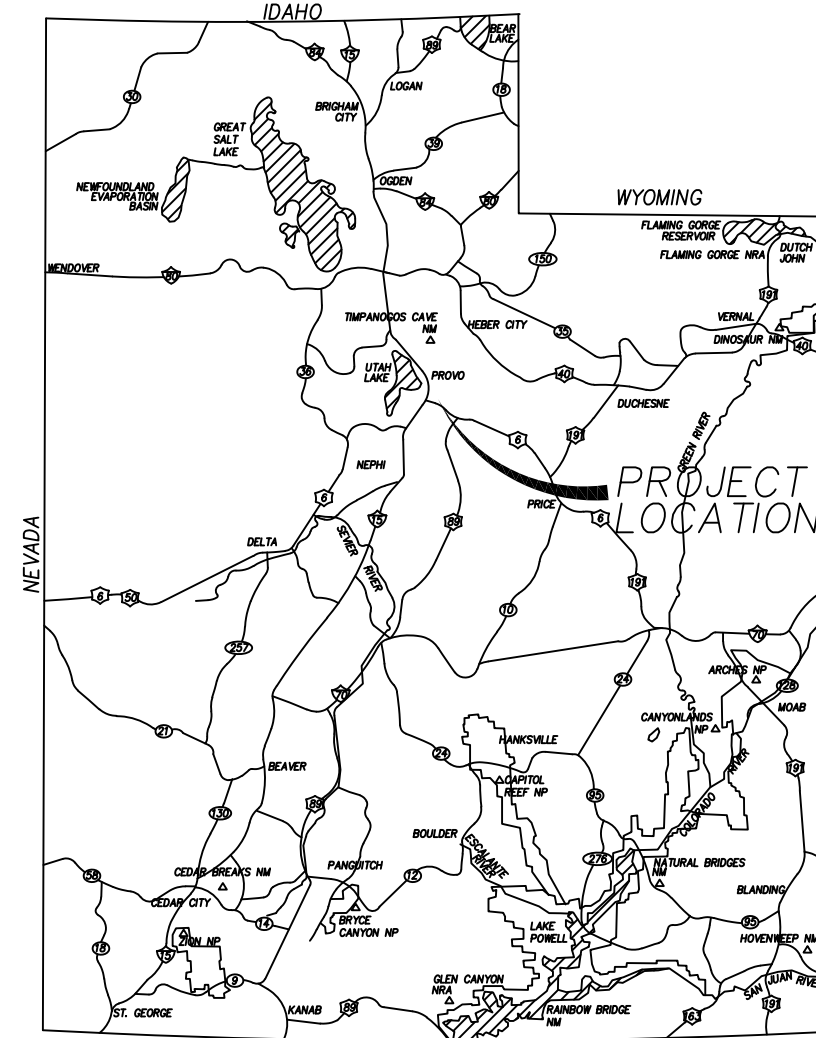
APPROVED THIS ____ DAY OF ____ A.D. 20__
CENTURY LINK COMPANY

BY: _____ TITLE _____

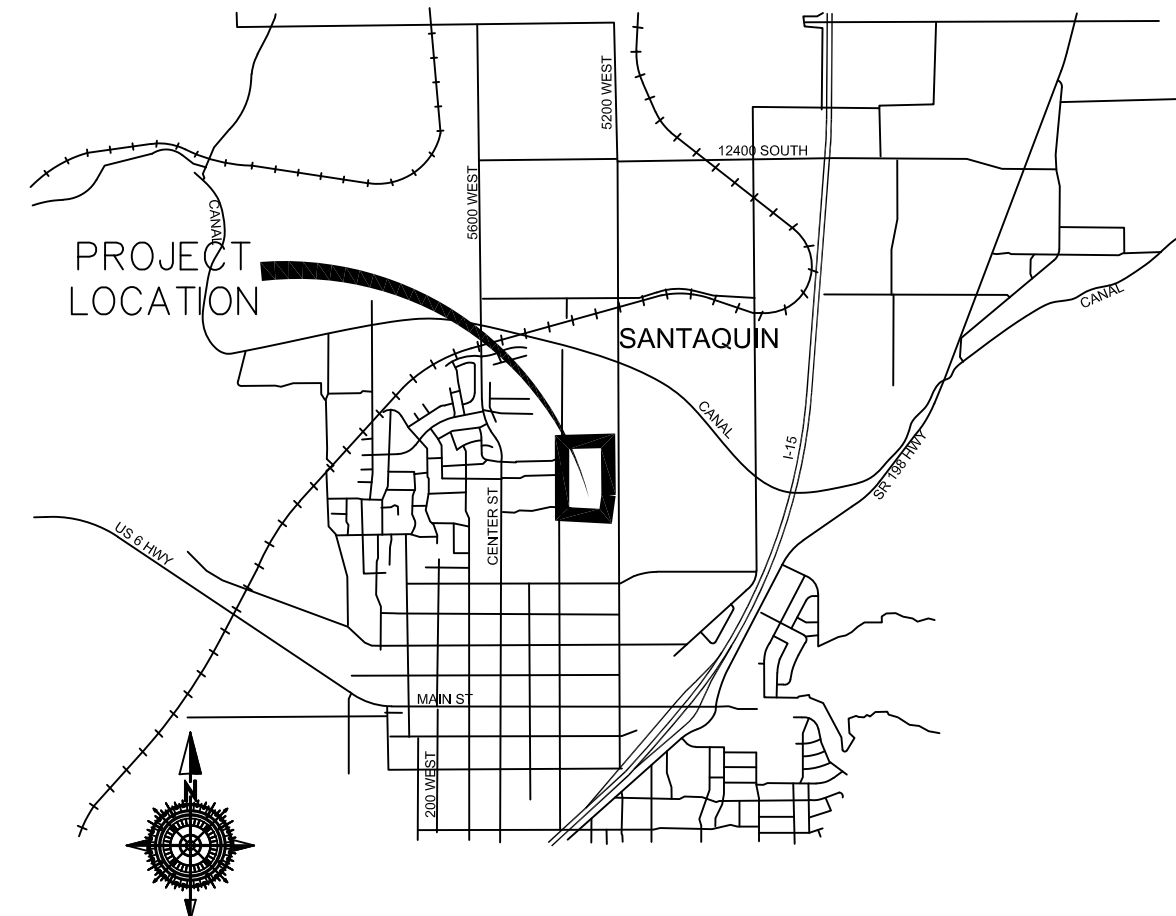
STRATTON MEADOW SUBDIVISION

PROJECT LOCATED IN THE SOUTH HALF OR THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT



VICINITY MAP



VICINITY MAP

ROYCE J JOHNSON ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.
ON THE ____ DAY OF _____, 20____ PERSONALLY APPEARED BEFORE ME _____
FOR AND IN BEHALF OF _____
WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

CASCADE SHADOWS INC. ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.
ON THE ____ DAY OF _____, 20____ PERSONALLY APPEARED BEFORE ME _____
FOR AND IN BEHALF OF _____
WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

SCHOOL BOARD ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.
ON THE ____ DAY OF _____, 20____ PERSONALLY APPEARED BEFORE ME _____
FOR AND IN BEHALF OF _____
WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

STRATTON ACRES LLC LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.
On the ____ day of _____ A.D., 20____ personally appeared before me, the undersigned Notary Public, in and for said County of _____ in said State of Utah, _____ who after being duly sworn acknowledged to me that _____ a Limited Liability Company (), that He signed the owners dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein

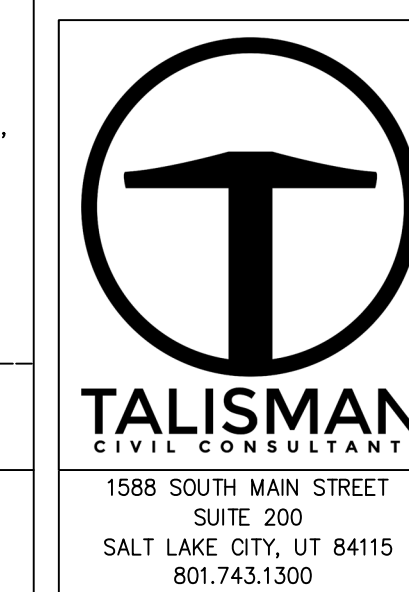
MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

UTAH COUNTY RECORDER

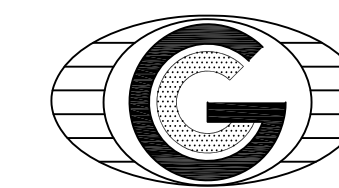
NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER

SURVEYOR OF RECORD:



PROJECT ENGINEER:



GATEWAY CONSULTING, inc
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

SURVEYOR'S CERTIFICATE

I, ROBERT LAW, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH TALISMAN CIVIL CONSULTANTS AND THAT I HOLD LICENSE NO. 9679988 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THE PLAT IS STRATTON MEADOW SUBDIVISION, SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HERIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

BOUNDARY DESCRIPTION

Beginning at a point that is North 89°32'33" East, 1570.29 feet and South 0.83 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and commencing in a northern direction along a 224.94-foot radius curve to the right, thence along the arc of said curve 14.58 feet through a central angle of 3°42'49" (chord bears North 3°56'11" East, 14.58 feet); thence North 5°37'26" East, 124.25 feet to a point on 527.50-foot curve to the left; thence along the arc of said curve 38.78 feet through a central angle on a 4°15'44" (chord bears North 3°31'04" East, 38.77 feet); thence North 1°24'42" East, 198.92 feet to a point on a 15.00-foot radius curve to the right; thence along the arc of said curve 23.19 feet through a central angle of 88°35'18" (chord bears North 45°42'21" East, 20.95 feet); thence North 31.00 feet; thence East 2.27 feet; thence North 31.00 feet; thence East, 430.89 feet; thence South 0°00'03" East, 902.78 feet; thence South 7°35'03" East, 64.42 feet; thence South 1°00'01" East, 124.53 feet; thence South 88°59'59" West, 521.40 feet; thence North 0°40'42" West, 216.36 feet; thence South 89°37'56" West, 6.38 feet; thence North 2°13'20" East, 432.43 feet; thence South 89°06'16" East, 34.20 feet back to the point of beginning.

Parcel contains 12.28 feet and 37 lots.

PRELIMINARY PLAT FOR REVIEW ONLY

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREOF AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HERON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF _____, A.D. 20__

BOARD OF EDUCATION NEBO SCHOOL DISTRICT

ROYCE J JOHNSON

STRATTON ACRES LLC
ANDY FLAMM (MANAGER)

CASCADE SHADOWS INC.
KIMBALL STRATTON (MANAGER)

STRATTON MEADOW SUBDIVISION

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTH HALF OF SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 5 EAST SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS ____ DAY OF ____ A.D. 20__

APPROVED BY MAYOR _____

APPROVED _____ CITY ENGINEER (SEE SEAL BELOW) ATTEST _____ CLERK-RECORDER (SEE SEAL BELOW)

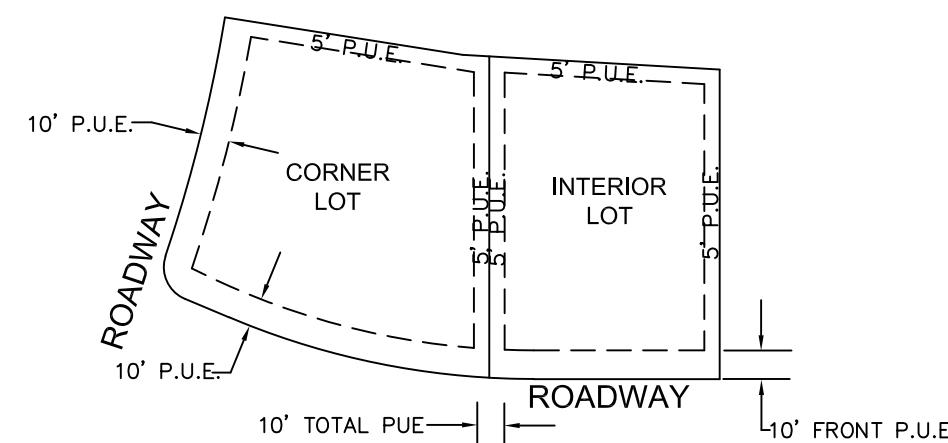
PLANNING COMMISSION APPROVAL

APPROVED THIS ____ DAY OF ____ A.D. 20__ BY THE SANTAQUIN CITY PLANNING COMMISSION.

CHAIRPERSON, PLANNING COMMISSION _____ DATE _____

DIRECTOR, SECRETARY _____ DATE _____

TYPICAL LOT P.U.E. DETAILS

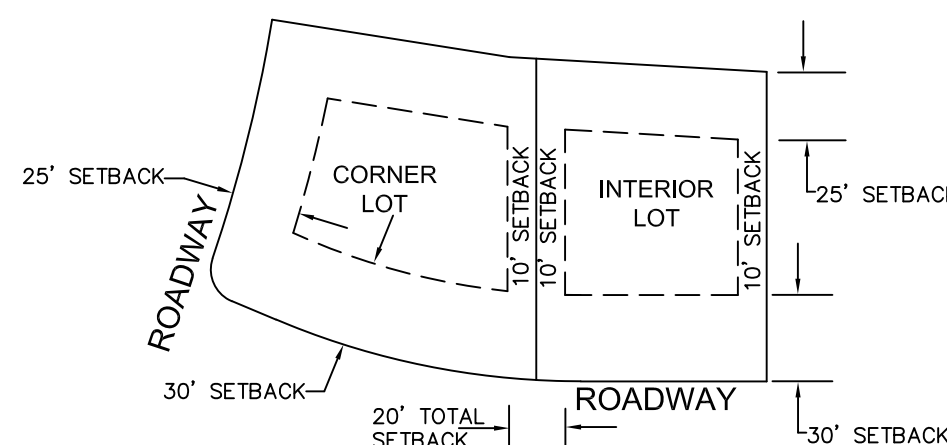


INTERIOR AND CORNER LOTS UNLESS OTHERWISE NOTED ON PLAT

NOTES:
1) 10 FEET PUE FRONT AND STREET SIDES.
2) 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES.

NOT TO SCALE

TYPICAL LOT SETBACK DETAILS



INTERIOR AND CORNER LOTS UNLESS OTHERWISE NOTED ON PLAT

NOTES:
1) 30FT FRONT SETBACK
2) 25FT REAR SETBACK
3) 10FT SIDE LOT SETBACK

NOT TO SCALE

COUNTY RECORDER SEAL

CITY CLERK SEAL

SURVEYORS SEAL

CITY ENGINEER SEAL

SHEET NO

1 / 2

EAST QUARTER CORNER
SECTION 36
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN

STRATTON MEADOW SUBDIVISION

PROJECT LOCATED IN THE SOUTH HALF OR THE NORTHWEST QUARTER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

CASCADE SHADOWS INC
29:041:0142

STRATTON, KIMBELL T
& MARLENE EVANS
29:042:0062

THIS AREA IS
CURRENTLY
OWNED BY NEBO
SCHOOL DISTRICT

BOARD OF EDUCATION
29:042:0061

Please remove mailbox
easement from plat.

JOHNSON, ROYCE J & GEORGIE
29:041:0022

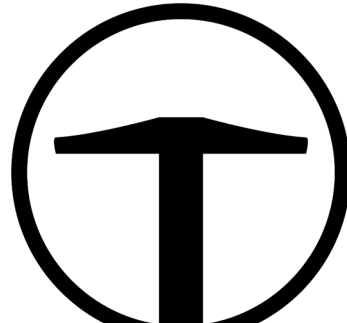
MERITAGE HOMES OF UTAH INC
29:042:0076

BOARD OF EDUCATION
34:619:0001

STICKNEY, JESSE & MELINDA
34:619:0011

HUNT, AARON & HEATHER
34:357:0024

SURVEYOR OF RECORD:



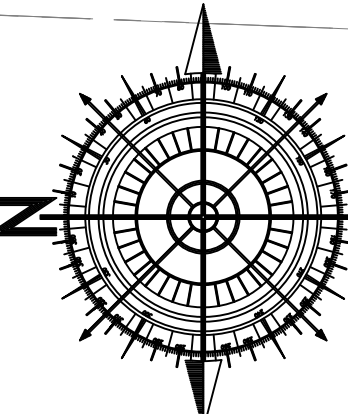
TALISMAN
CIVIL CONSULTANTS
1588 SOUTH MAIN STREET
SUITE 200
SALT LAKE CITY, UT 84115
801.743.1300

PROJECT ENGINEER:



GATEWAY CONSULTING, inc
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C200	23.19'	15.00'	20.95'	S45°42'21"W	88°35'18"
C201	23.38'	15.00'	21.08'	N45°20'46"W	89°18'29"
C202	23.74'	15.00'	21.34'	S44°39'14"W	90°41'31"
C203	23.64'	15.00'	21.27'	S45°50'46"E	90°18'30"
C204	23.48'	15.00'	21.16'	N44°09'14"E	89°41'30"
C205	24.41'	15.00'	21.81'	S44°22'31"E	93°15'00"
C206	22.71'	15.00'	20.60'	S45°37'29"W	86°46'10"
C207	14.58'	247.50'	14.58'	S3°56'11"W	3°22'30"
C208	38.78'	527.50'	38.77'	S3°31'04"W	4°12'44"



SCALE IN FEET
1"=40' (24"x36" SIZE ONLY)

LEGEND

- PHASE BOUNDARY LINE
- - - SECTION LINE
- CENTER LINE
- - - P.U.E. LINE
- - - SETBACKS
- EXISTING UDOT MONUMENT
- ◆ SECTION CORNER
- NEW ROAD MONUMENT
- EXISTING REBAR AND CAP

PHASE 1 PLAT
N 89°32'33" E 1570.29'
N 89°32'33" E 5292.30' (CALC)
N 89°32'33" E 5292.35' (FER THE ORCHARDS PLAT G-1)
BASIS OF BEARING

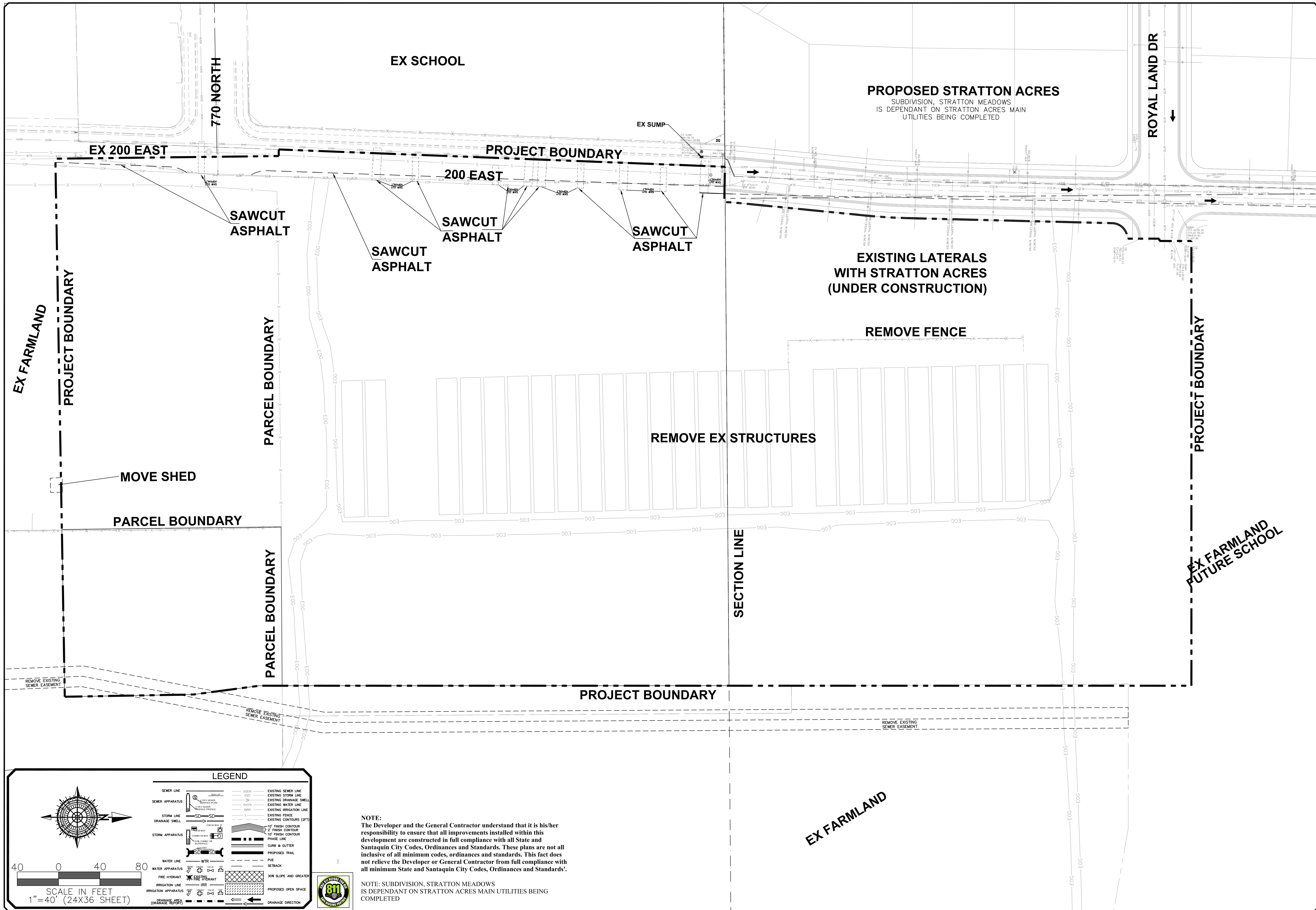
WEST QUARTER CORNER
SECTION 36
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN

SHEET NO
2
2

SANTAQUIN CITY RECORDER

NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER



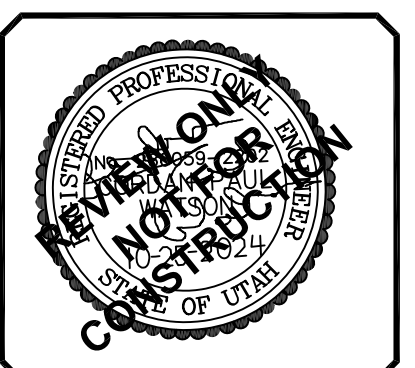
NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=40'

GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
 paul@gatewayconsultingllc.com
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 CONSTRUCTION MANAGEMENT

STRATTON MEADOW
 SUBDIVISION
 EXISTING CONDITIONS
 AND DEMOLITION SHEET
 10-15-2024

SANTAQUIN CITY



SHEET NO. 2

NOTE:
 The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.

NOTE: SUBDIVISION, STRATTON MEADOWS IS DEPENDANT ON STRATTON ACRES MAIN UTILITIES BEING COMPLETED



LEGEND

	SEWER LINE		EXISTING SEWER LINE
	SEWER APPARATUS		EXISTING SEWER LINE WITH STONE SHELL
	STORM LINE		EXISTING STORM LINE
	DRAINAGE SHELL		EXISTING DRAINAGE SHELL
	STORM APPARATUS		EXISTING WATER LINE
	WATER LINE		EXISTING IRRIGATION LINE
	WATER APPARATUS		EXISTING FENCE
	FIRE HYDRANT		EXISTING CONTOURS (2 FT)
	IRRIGATION LINE		1/2" FINISH CONTOUR
	IRRIGATION APPARATUS		1" FINISH CONTOUR
	DRAINAGE AREA		PHASE LINE
	STREET LIGHT		BOUNDARY LINE
			CURB & GUTTER
			PIPE
			RETACK
			SOE SLOPE AND GREATER
			PROPOSED OPEN SPACE
			STOP OR STREET SIGN
			DRAINAGE DIRECTION

SCALE IN FEET
1" = 40' (24x36 SHEET)

NOTE: The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards.

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=40'

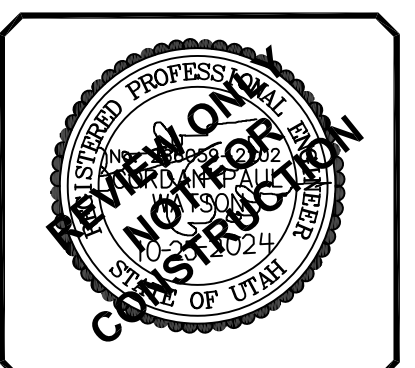
GATEWAY CONSULTING, Inc
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STRATTON MEADOW SUBDIVISION
SITE PLAN

10-25-2024

SANTAQUIN CITY



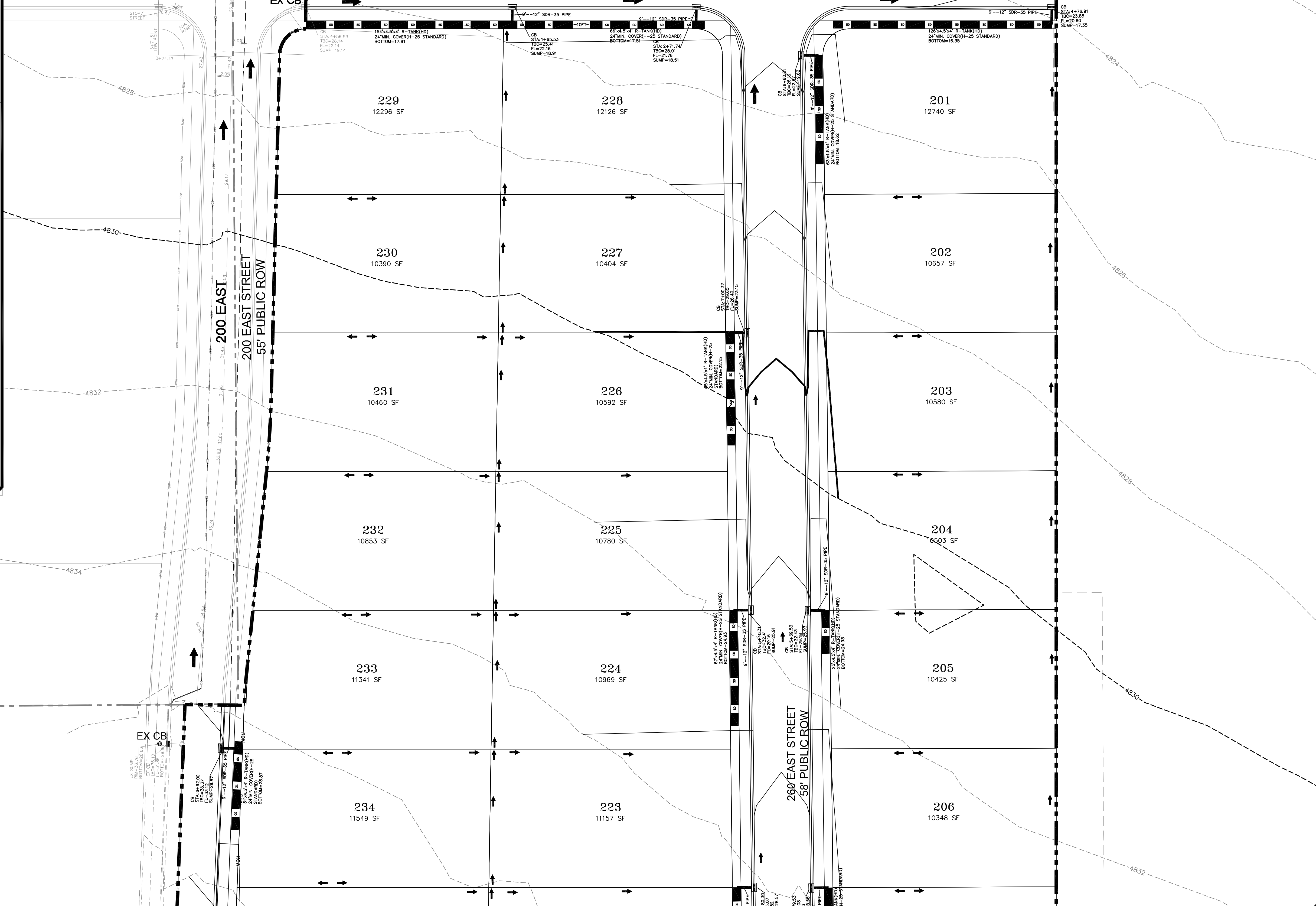
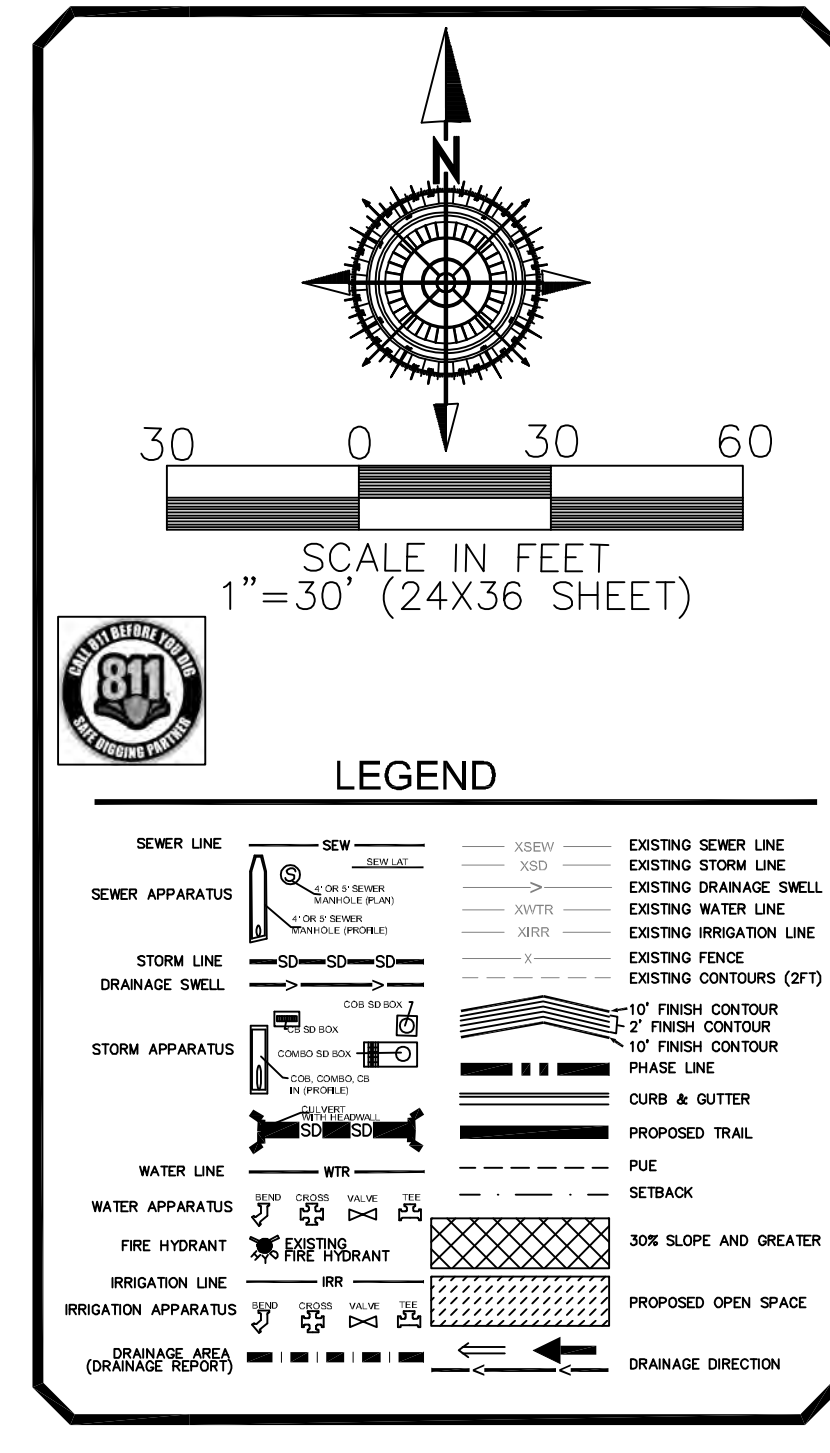
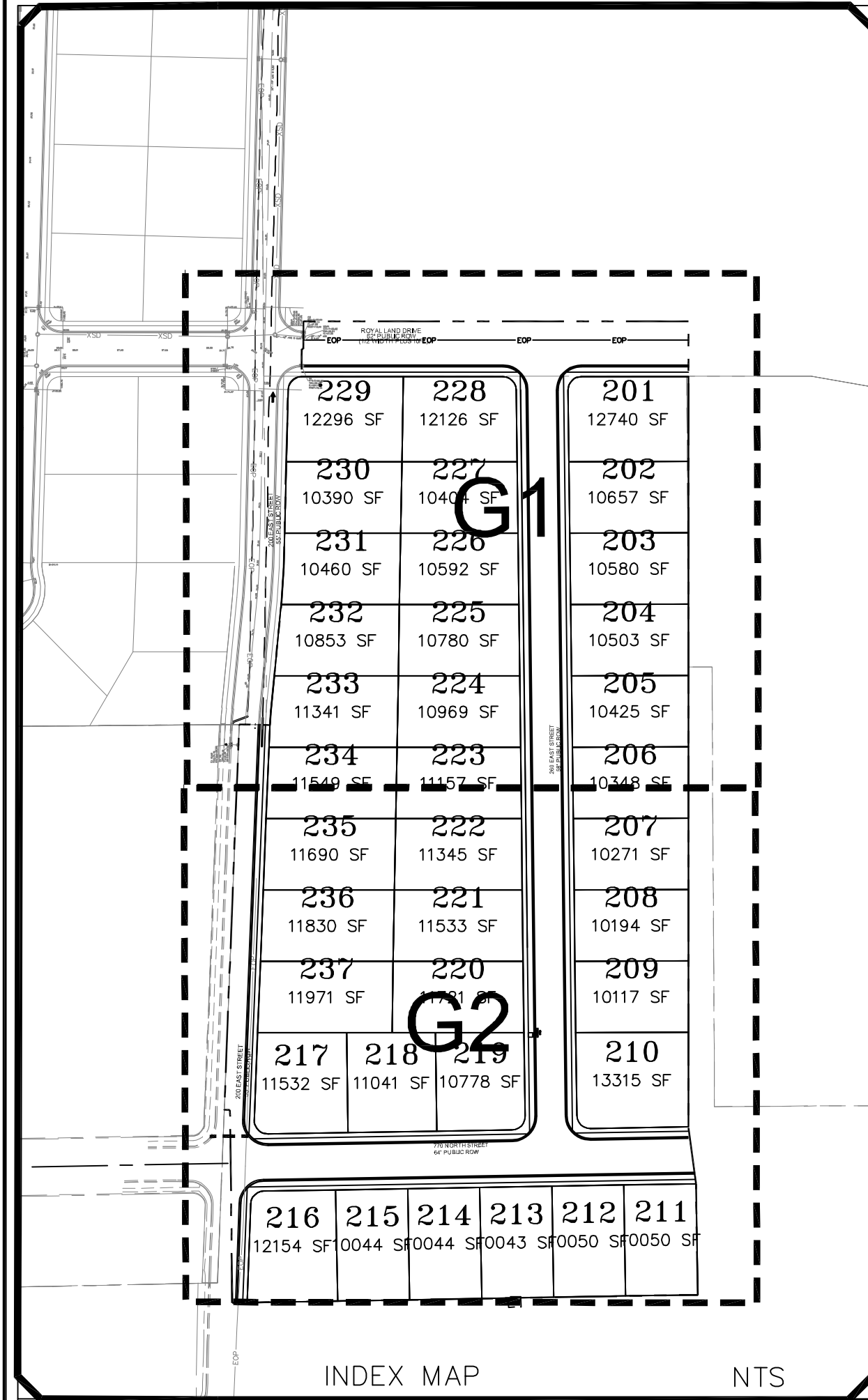
SHEET NO. 3

NOTE:
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STRATTON ACRES PHASE 1
UNDER CONSTRUCTION

ROYAL LAND DR

ROYAL LAND DRIVE
62' PUBLIC ROW
(1/2 WIDTH PLUS 10FT)
ROYAL LAND DRIVE



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

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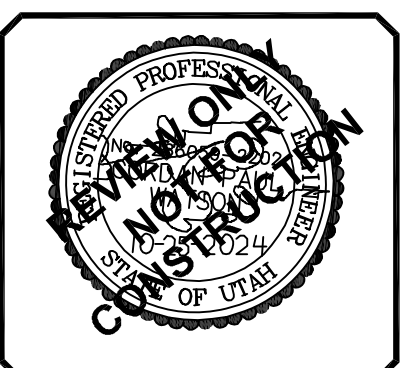
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STRATTON MEADOW
SUBDIVISION

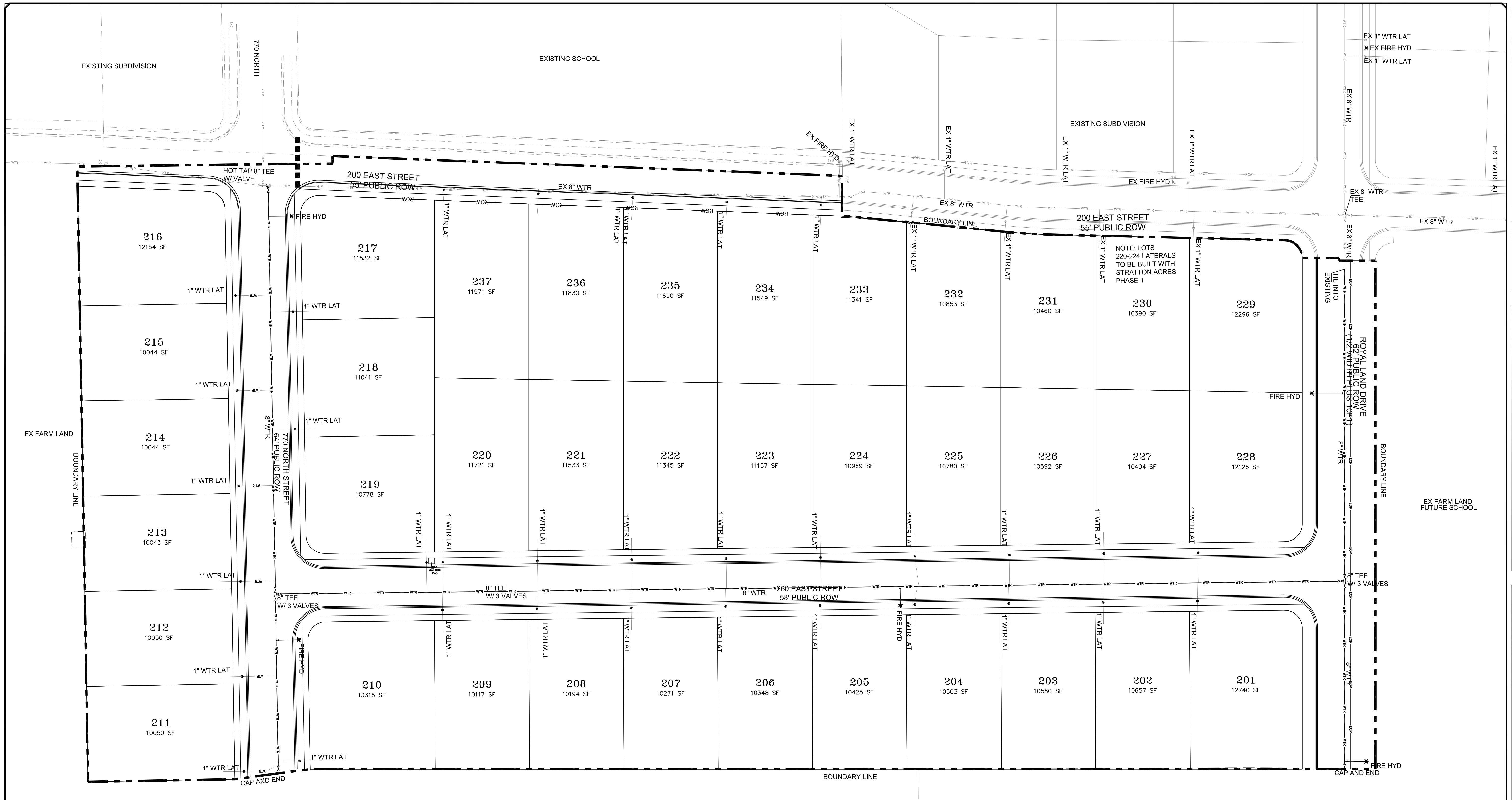
GRADING

10-25-2024

SANTAQUIN CITY



SHEET NO. G1



LEGEND

SEWER LINE	NEW LAT.	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SHED	EXISTING DRAINAGE SHED
DRAINAGE SHED	EXISTING WATER LINE	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (FT)	EXISTING CONTOURS (FT)
FIRE HYDRANT	10' FINISH CONTOUR	10' FINISH CONTOUR
IRRIGATION LINE	2' FINISH CONTOUR	2' FINISH CONTOUR
IRRIGATION APPARATUS	15' FINISH CONTOUR	15' FINISH CONTOUR
DRAINAGE LINE (DRAINAGE SHED)	CLUB & GUTTER	PROPOSED TRAIL
	FILE	SETBACK
	SOB SLOPE AND GREATER	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION	

SCALE IN FEET
1" = 40' HORIZONTAL

Blue Stakes of UTAH 811

NOTE:
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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=40'

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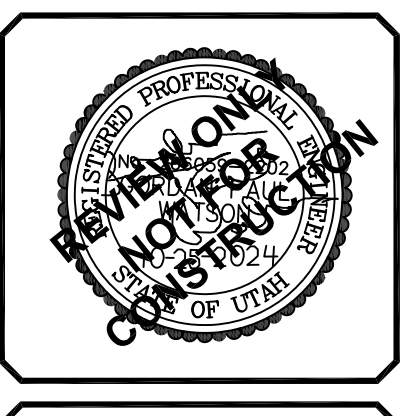
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STRATTON MEADOW SUBDIVISION

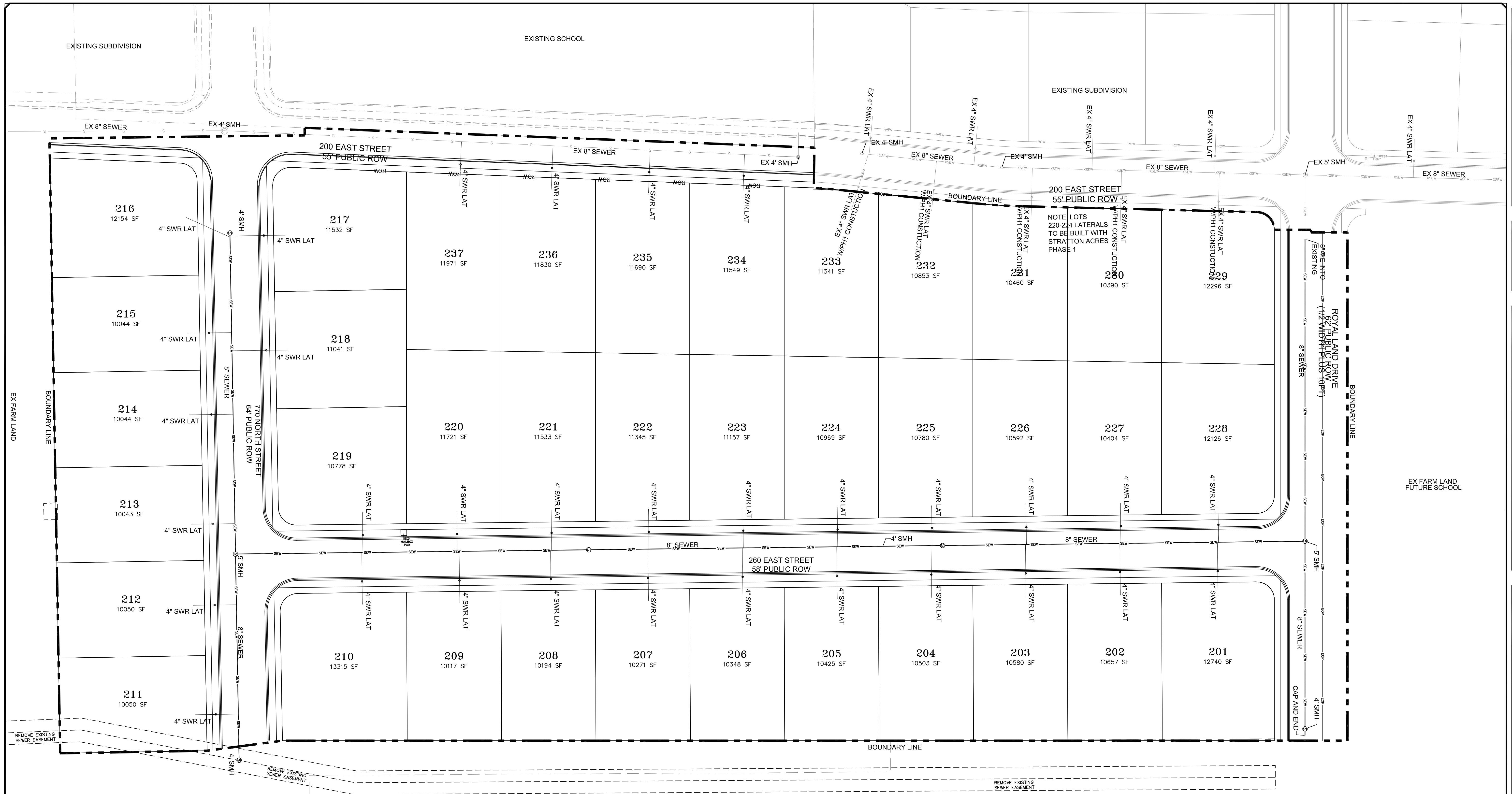
WATER UTILITY SHEET

PRINT DATE: 10-25-2024

SANTAQUIN CITY



SHEET NO. U1



LEGEND

	SEWER LINE		EXISTING SEWER LINE
	SEWER LATERAL		EXISTING STORM LINE
	SEWER APPARATUS		EXISTING DRAINAGE SHELL
	STORM LINE		EXISTING WATER LINE
	STORM LATERAL		EXISTING IRRIGATION LINE
	STORM APPARATUS		EXISTING FENCE
	WATER LINE		EXISTING CONTOUR (2%)
	WATER APPARATUS		15' FINISH CONTOUR
	FIRE HYDRANT		2' FINISH CONTOUR
	IRRIGATION LINE		15' FINISH CONTOUR
	IRRIGATION APPARATUS		CURB & GUTTER
	DRAINAGE DIRECTION		PROPOSED ROAD
	PROPOSED OPEN SPACE		FIRE
	PROPOSED OPEN SPACE		SETBACK
	PROPOSED OPEN SPACE		30% SLOPE AND GREATER

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SCALE IN FEET
1" = 40' HORIZONTAL

Blue Stamp of UTAH 811

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=40'

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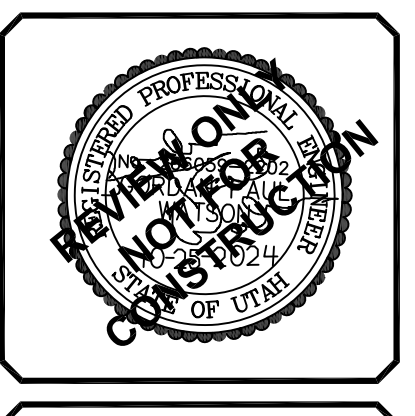
CIVIL ENGINEERING * CONSULTING * LAND PLANNING
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STRATTON MEADOW SUBDIVISION

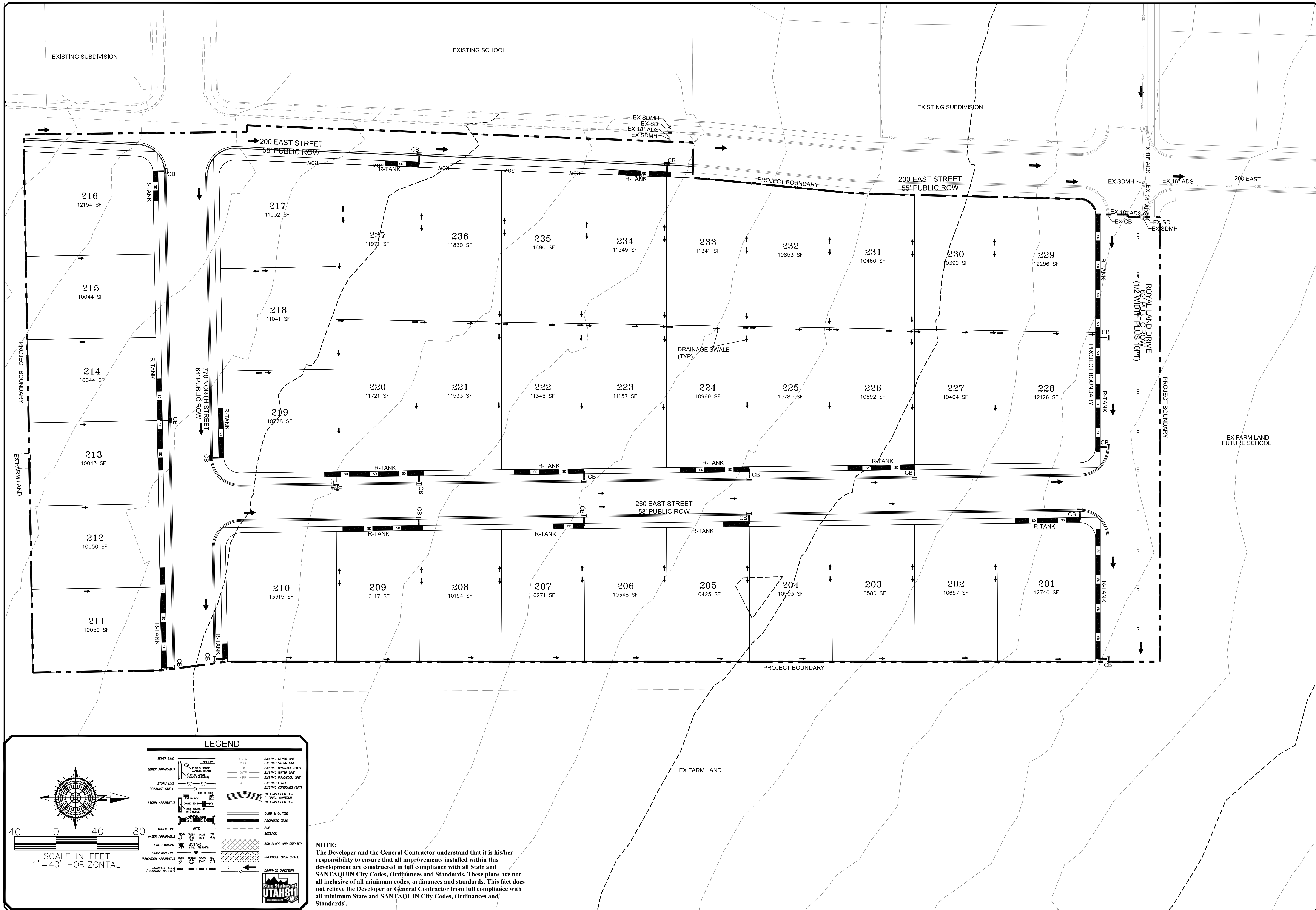
SEWER UTILITY SHEET

PRINT DATE: 10-25-2024

SANTAQUIN CITY



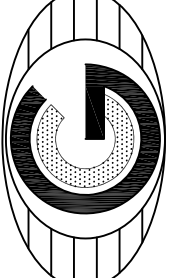
SHEET NO. U2



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=40'

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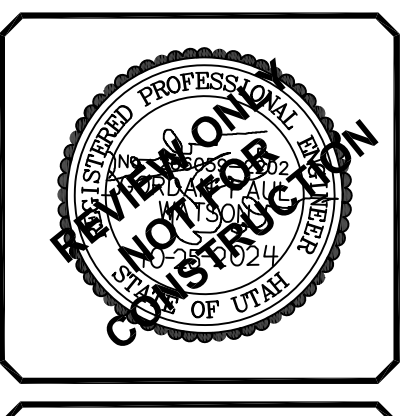
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CONSTRUCTION MANAGEMENT

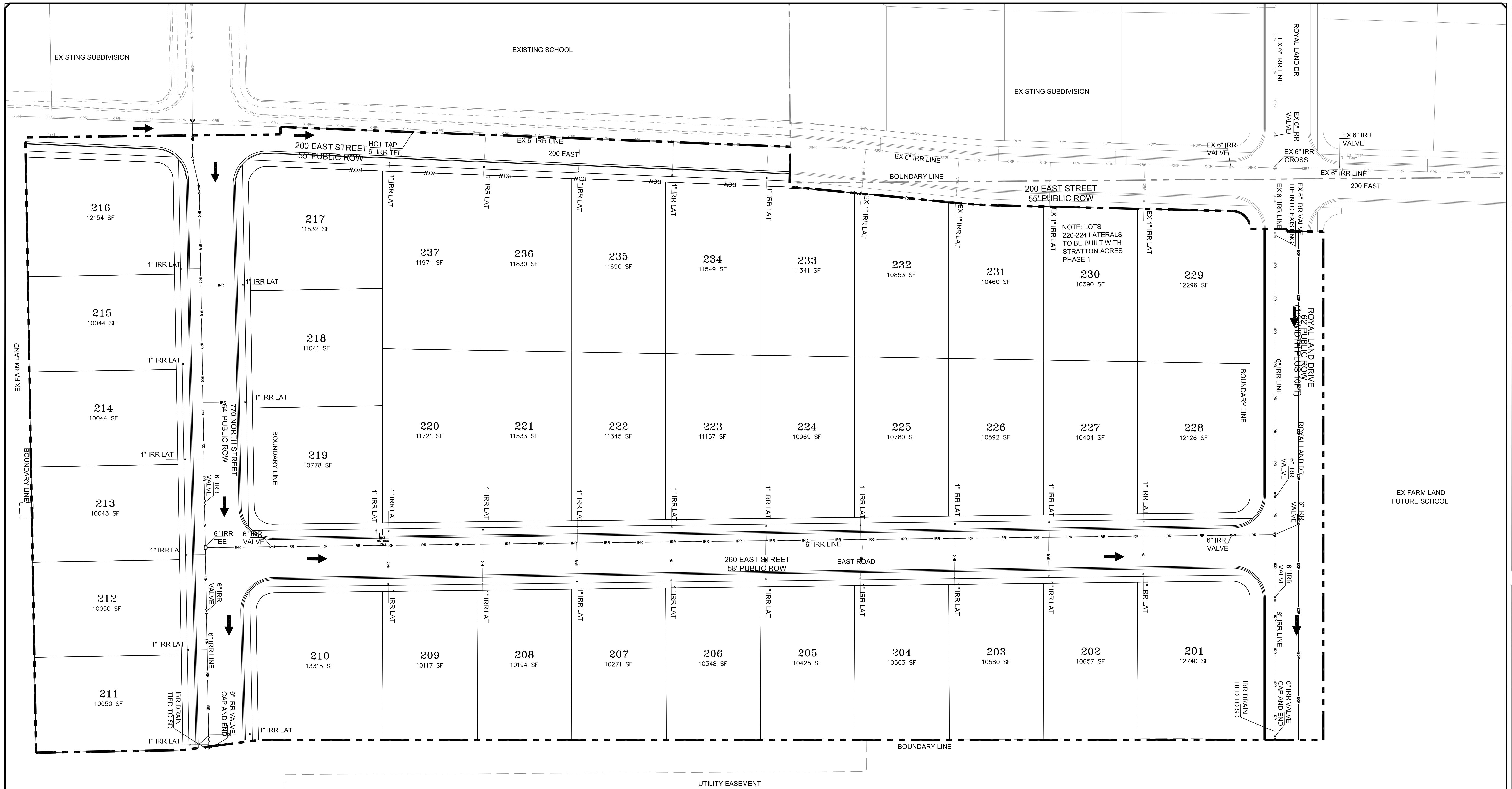
**STRATTON MEADOW
SUBDIVISION**

STORM UTILITY SHEET

PRINT DATE: 10-25-2024

SANTAQUIN CITY





LEGEND

	SEWER LINE		EXISTING SEWER LINE
	SEWER APPARATUS		EXISTING STORM LINE
	STORM LINE		EXISTING DRAINAGE SHELL
	STORM APPARATUS		EXISTING WATER LINE
	WATER LINE		EXISTING IRRIGATION LINE
	FIRE HYDRANT		EXISTING FENCE
	IRRIGATION APPARATUS		EXISTING CONTOURS (DTT)
	DRAINAGE LINE		12' FINISH CONTOUR
	DRAINAGE SHELL		2' FINISH CONTOUR
	12' FINISH CONTOUR		10' FINISH CONTOUR
	2' FINISH CONTOUR		CLASS A GUTTER
	10' FINISH CONTOUR		PROPOSED TRAIL
	CLASS B GUTTER		FILE
	PROPOSED TRAIL		SETBACK
	FILE		SLOPE AND GREATER
	SETBACK		PROPOSED OPEN SPACE
	SLOPE AND GREATER		DRAINAGE DIRECTION
	PROPOSED OPEN SPACE		

SCALE IN FEET
1" = 40' HORIZONTAL

Blue Stakes of UTAH811

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NO.	DESCRIPTION	DATE	APP'D.

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=40'

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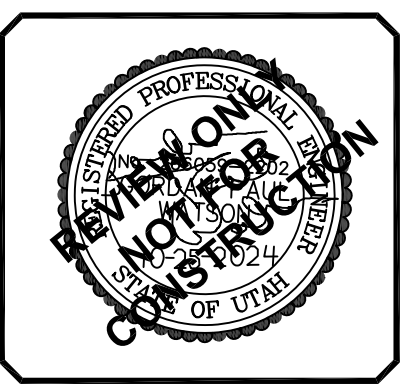
CIVIL ENGINEERING • CONSULTING • LAND PLANNING
 CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION

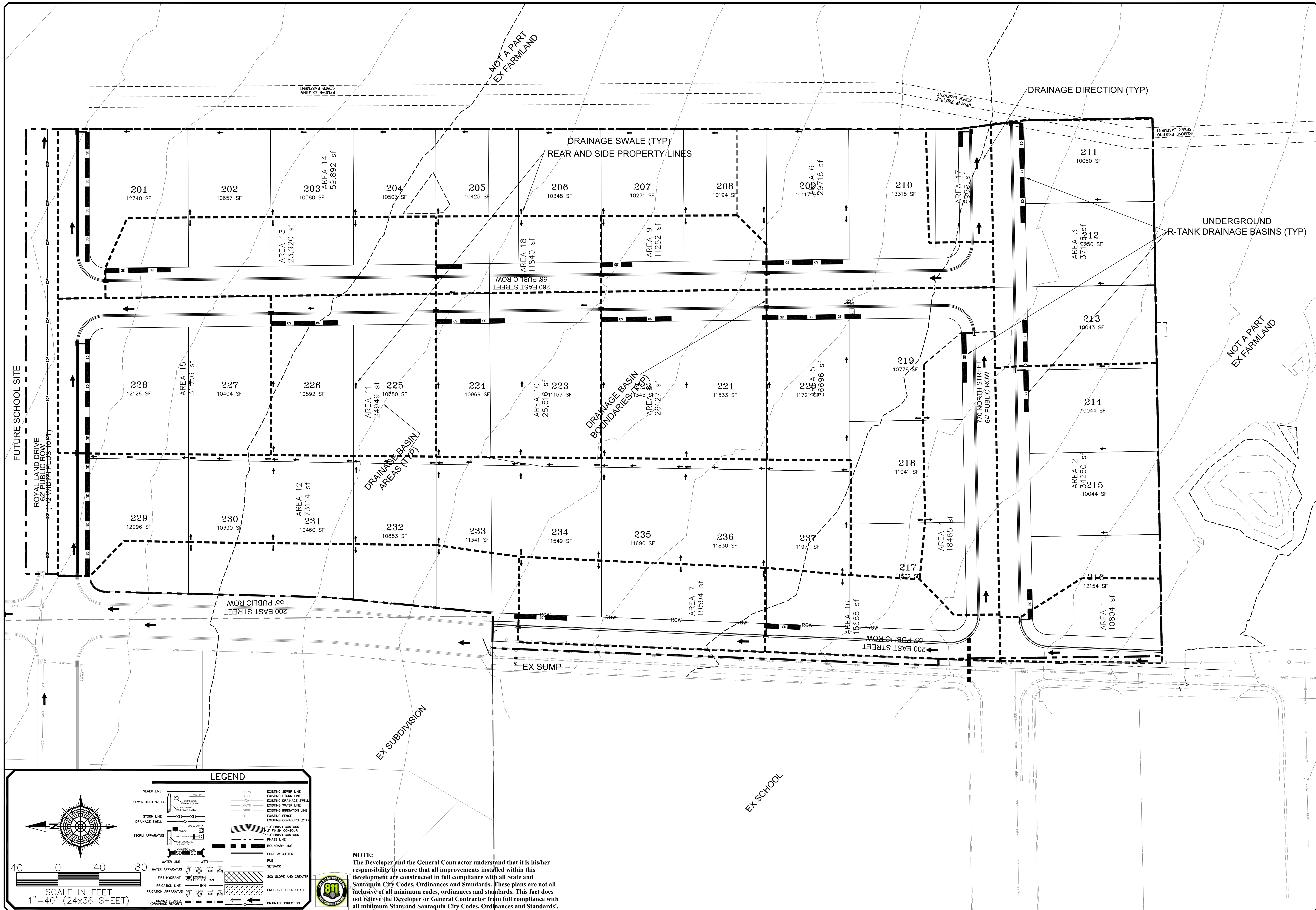
IRRIGATION UTILITY SHEET

PRINT DATE: 10-25-2024

SANTAQUIN CITY



SHEET NO. **U4**



LEGEND

	SEWER LINE		EXISTING SEWER LINE
	SEWER APPARATUS		EXISTING STORM LINE
	STORM LINE		EXISTING DRAINAGE SWALE
	STORM LINE WITH DRAINAGE SWALE		EXISTING WATER LINE
	STORM APPARATUS		EXISTING IRRIGATION LINE
	WATER LINE		EXISTING FENCE
	FIRE HYDRANT		EXISTING CONTOURS (2 FT)
	IRRIGATION APPARATUS		1/2" FINISH CONTOUR
	IRRIGATION APPARATUS (GRASS)		1/4" FINISH CONTOUR
	BOUNDARY LINE		PHASE LINE
	CURB & GUTTER		PAVE
	FIRE HYDRANT		SETBACK
	FIRE HYDRANT		2% SLOPE AND GREATER
	PROPOSED OPEN SPACE		PROPOSED OPEN SPACE
	DRAINAGE DIRECTION		DRAINAGE DIRECTION

SCALE IN FEET
1" = 40' (24x36 SHEET)

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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: GPW
 DRAWN BY: GPW
 DESIGNED BY: GPW
 CHECKED BY: GPW
 SCALE: 1"=40'

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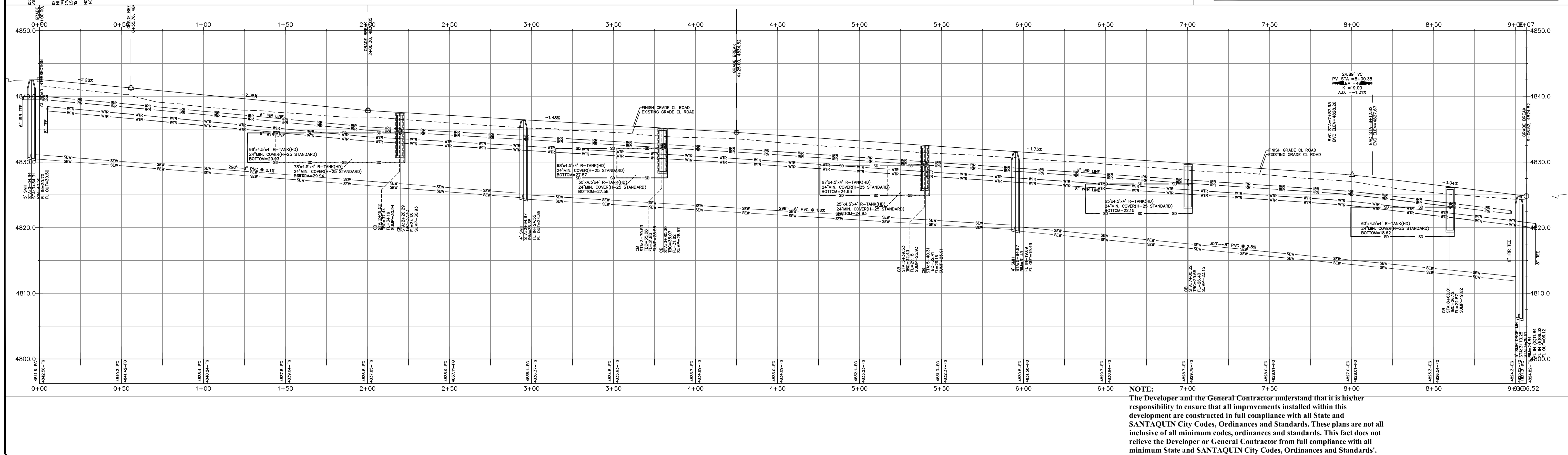
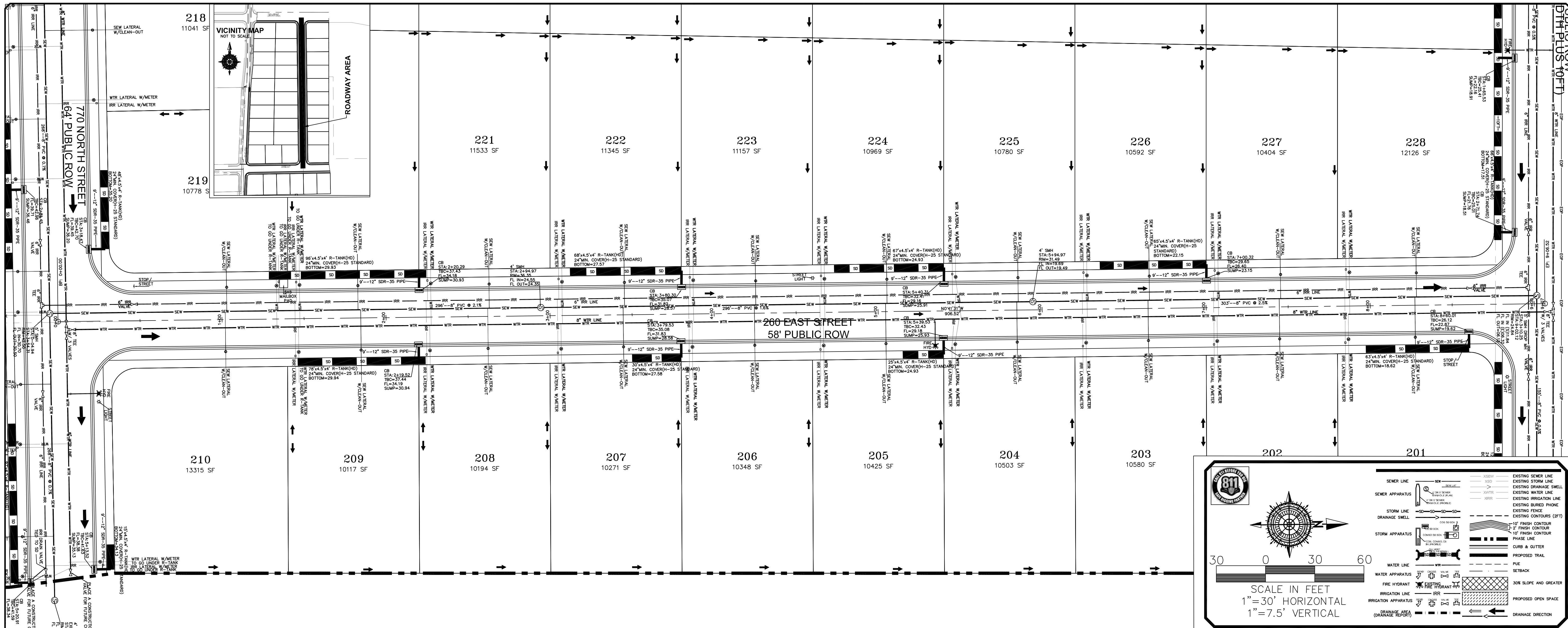
**STRATTON MEADOW
 SUBDIVISION
 DRAINAGE PLAN**

10-25-2024

SANTAQUIN CITY



SHEET NO. **DRAIN**



NOTE:
 The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and SANTAQUIN City Codes, Ordinances and Standards.

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

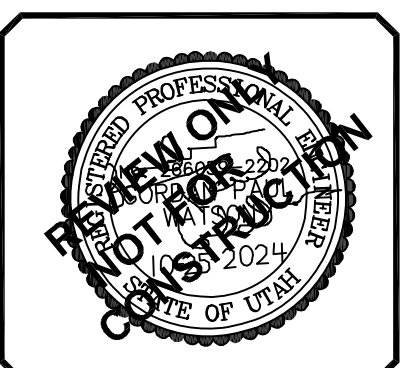
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**STRATTON MEADOWS
 SUBDIVISION**
PLAN AND PROFILE
EAST ROAD

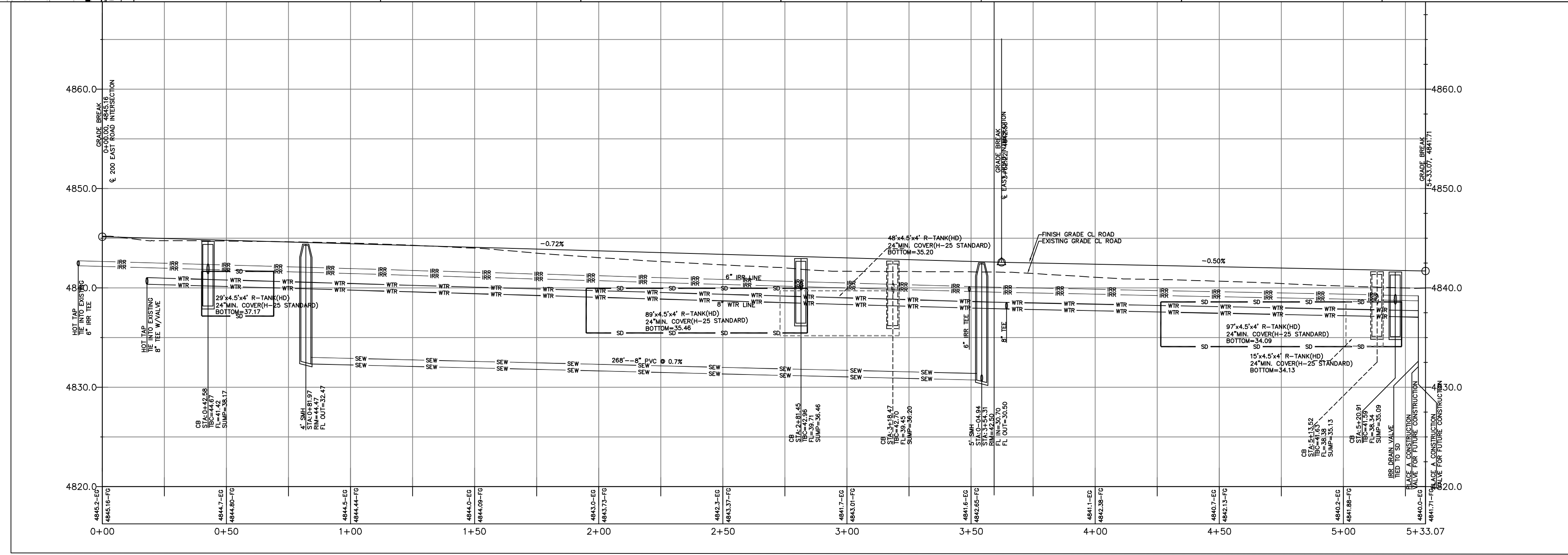
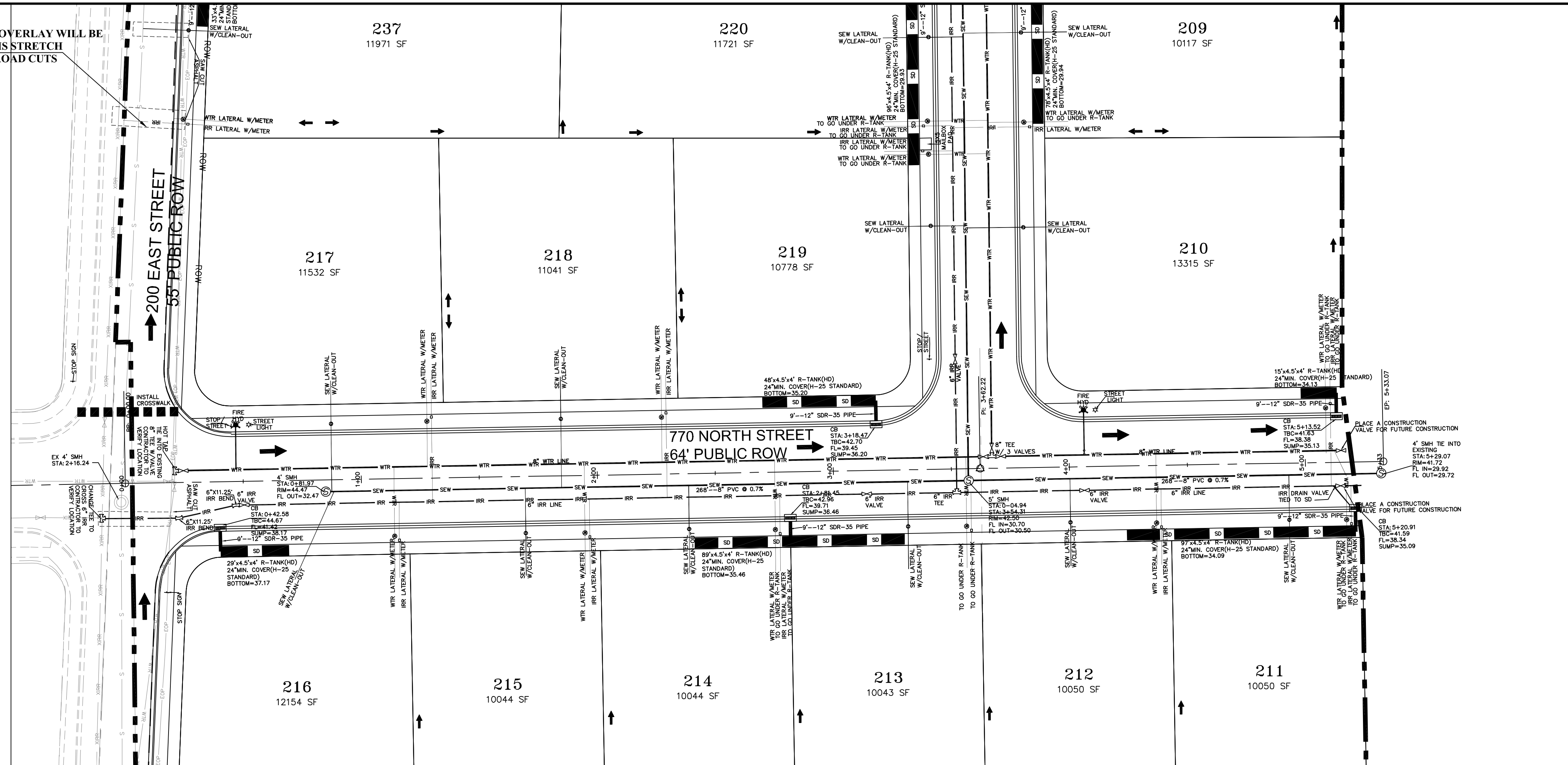
10-25-2024

SANTAQUIN
 CITY

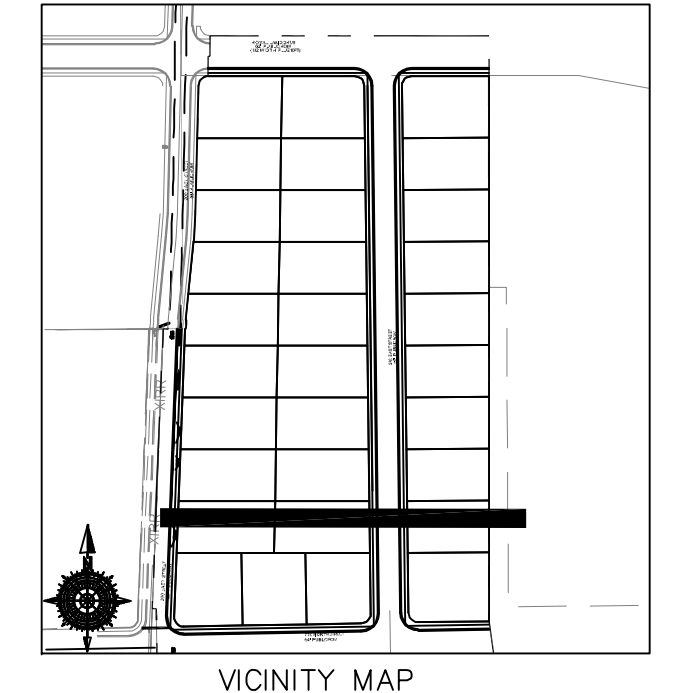


SHEET NO. **PP3**

NOTE:
A FULL SURFACE OVERLAY WILL BE
REQUIRED ON THIS STRETCH
OF ROAD AFTER ROAD CUTS



NOTE:
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responsibility to ensure that all improvements installed within this
development are constructed in full compliance with all State and
SANTAQUIN City Codes, Ordinances and Standards. These plans are not
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not relieve the Developer or General Contractor from full compliance with
all minimum State and SANTAQUIN City Codes, Ordinances and
Standards.



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

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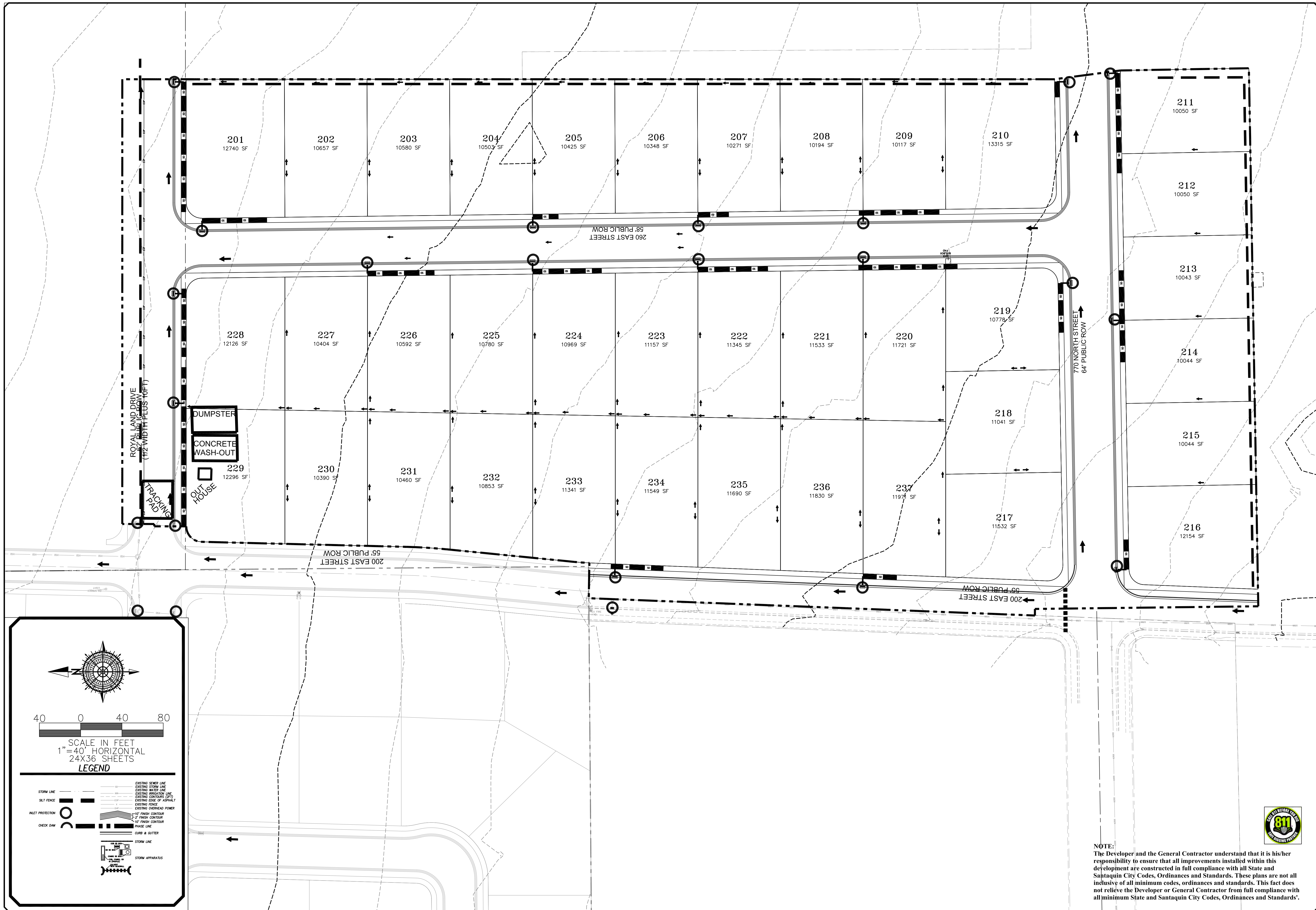
**STRATTON MEADOWS
 SUBDIVISION
 PLAN AND PROFILE
 SOUTH ROAD**

10-25-2024

SANTAQUIN
 CITY



SHEET NO. **PP4**



NO.	DESCRIPTION	DATE	APPD.

ORIG. DATE: 2-8-21
 SURVEY BY: GPM
 DRAWN BY: GPM
 DESIGNED BY: GPM
 CHECKED BY: GPM
 SCALE: 1"=40'

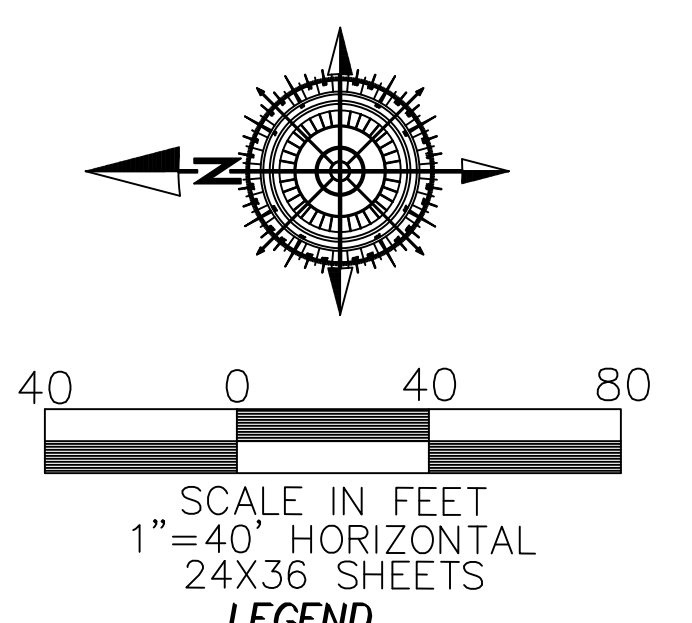
GATEWAY CONSULTING, Inc.
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STRATTON MEADOW SUBDIVISION
 STORM WATER POLLUTION PREVENTION PLAN
 PRINT DATE: 10-25-2024

SANTAQUIN CITY



SHEET NO. SWPPP

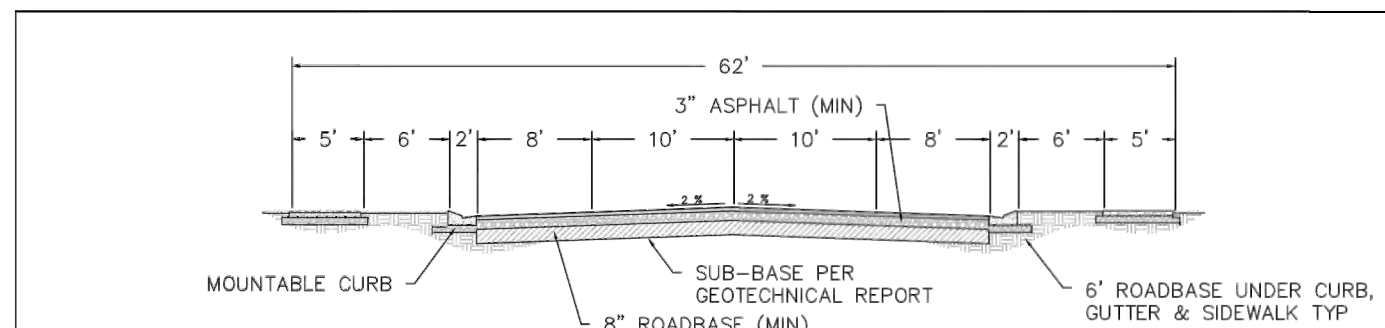


LEGEND

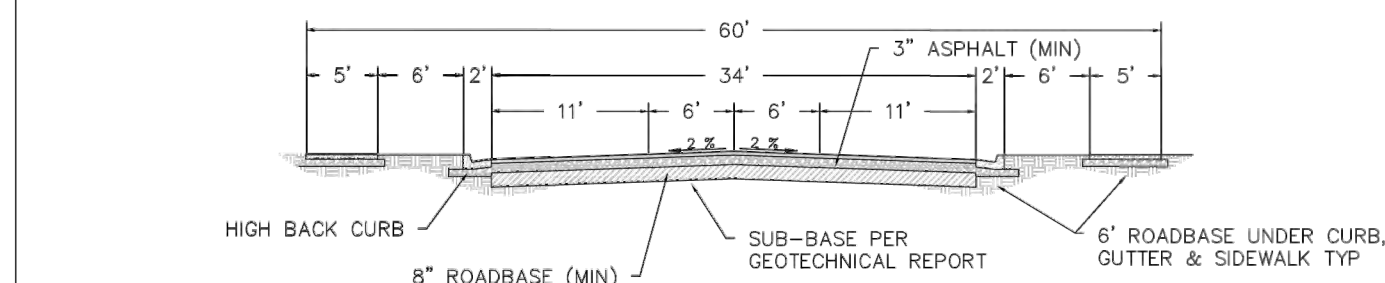
STORM LINE	EXISTING SEWER LINE
SELF FENCE	EXISTING STORM LINE
INLET PROTECTION	EXISTING WATER LINE
CHECK DAM	EXISTING BONGRAN LINE
	EXISTING CONCRETE CITY
	EXISTING EDGE OF ASPHALT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	1/2" FINISH CONTOUR
	1" FINISH CONTOUR
	2" FINISH CONTOUR
	PHASE LINE
	CURB & GUTTER
	STORM LINE
	STORM APPARATUS

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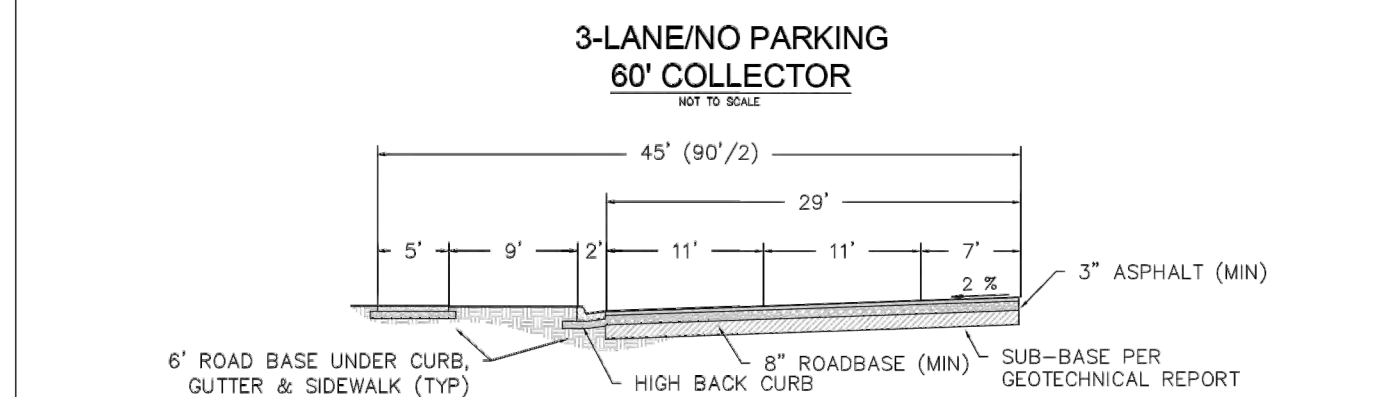




2-LANE/PARKING BOTH SIDES
62' LOCAL



2-LANE MINIMUM ASPHALT WIDTH
58' LOCAL



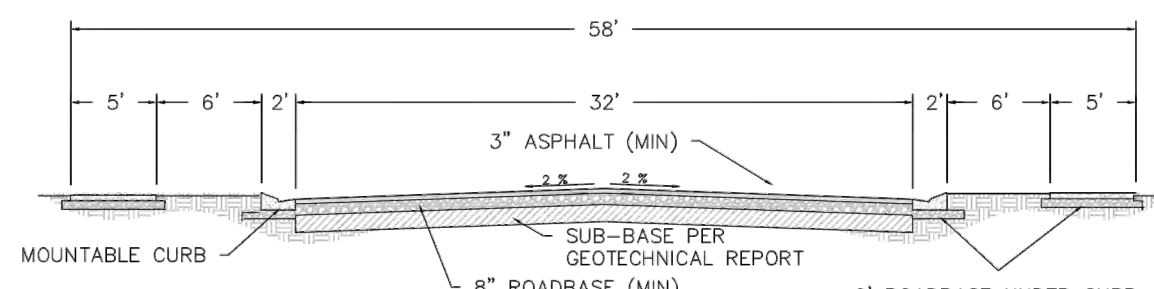
3-LANE/NO PARKING
60' COLLECTOR



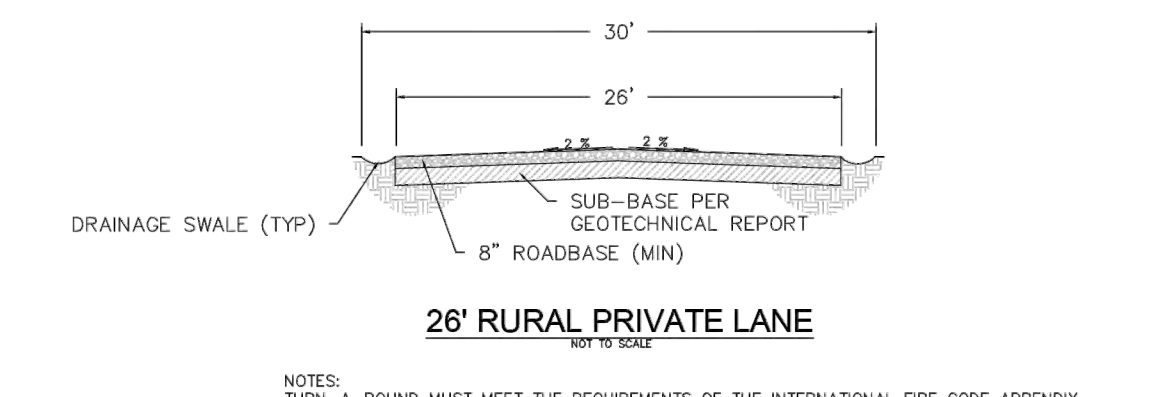
5-LANE/NO PARKING
90' ARTERIAL

STATEMENT OF WORK		STANDARD STREET CROSS SECTION		ST1	
SANTAQUIN CITY		SANTAQUIN CITY		SANTAQUIN CITY	
110 SOUTH CENTER STREET		110 SOUTH CENTER STREET		110 SOUTH CENTER STREET	
APPROVED DATE:		APPROVED DATE:		APPROVED DATE:	

NOT TO SCALE



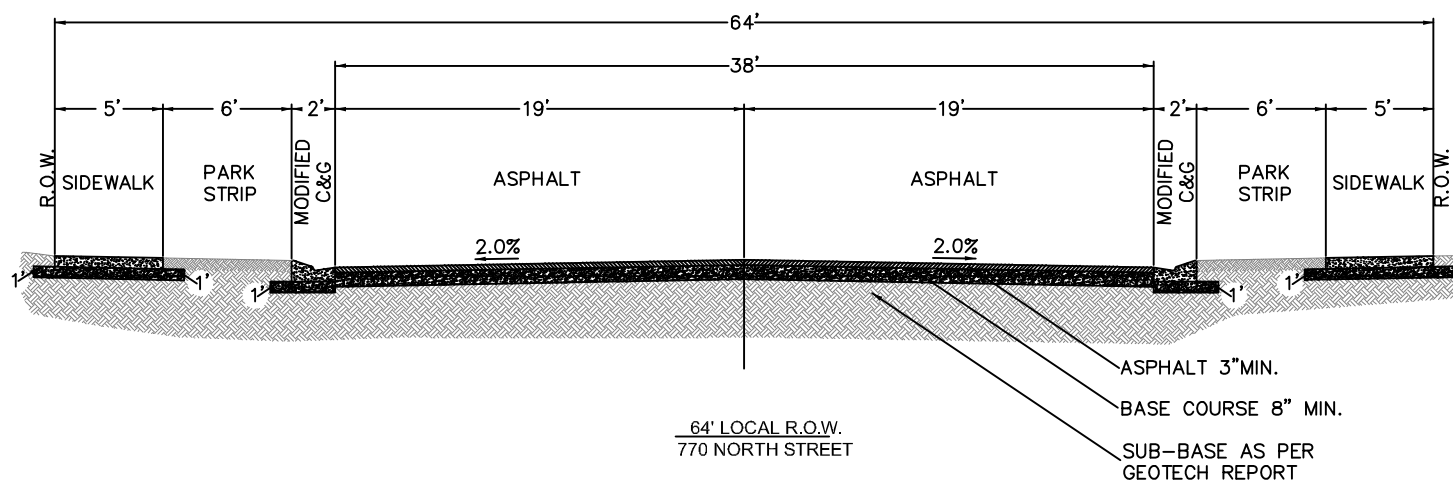
2-LANE MINIMUM ASPHALT WIDTH
58' LOCAL



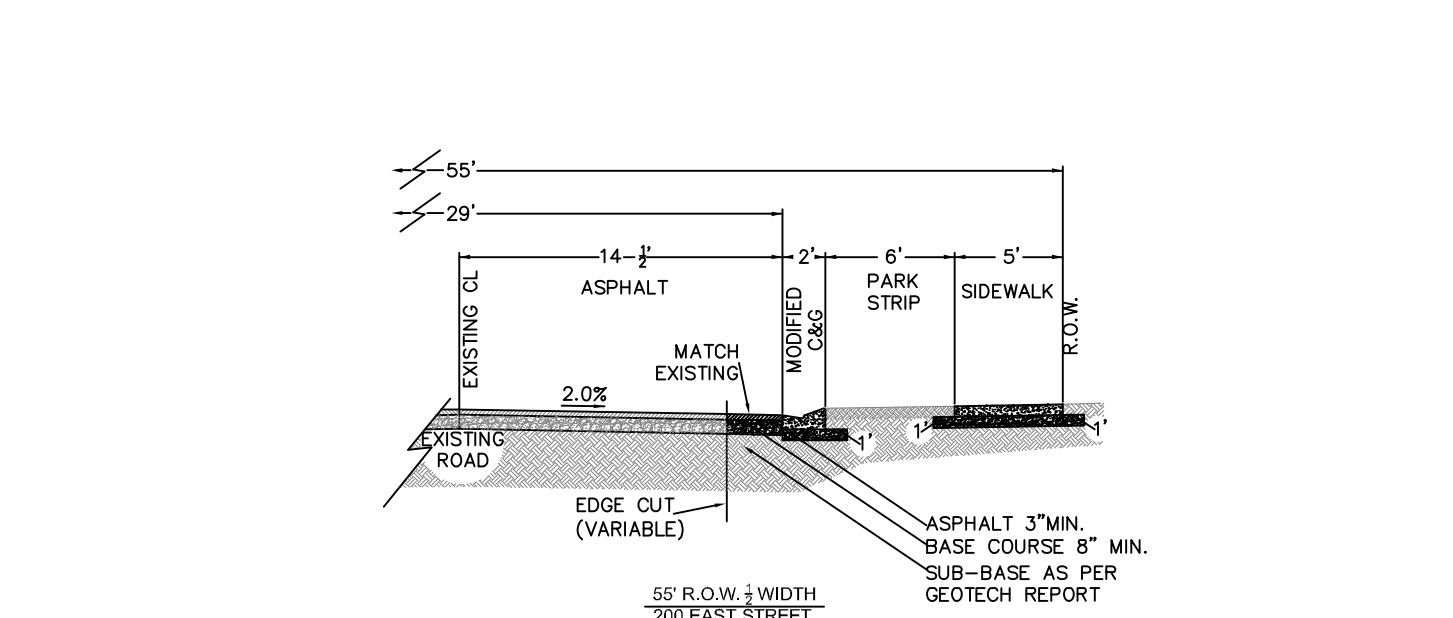
26' RURAL PRIVATE LANE

STATEMENT OF WORK		STANDARD STREET CROSS SECTION		ST2	
SANTAQUIN CITY		SANTAQUIN CITY		SANTAQUIN CITY	
110 SOUTH CENTER STREET		110 SOUTH CENTER STREET		110 SOUTH CENTER STREET	
APPROVED DATE:		APPROVED DATE:		APPROVED DATE:	

NOT TO SCALE



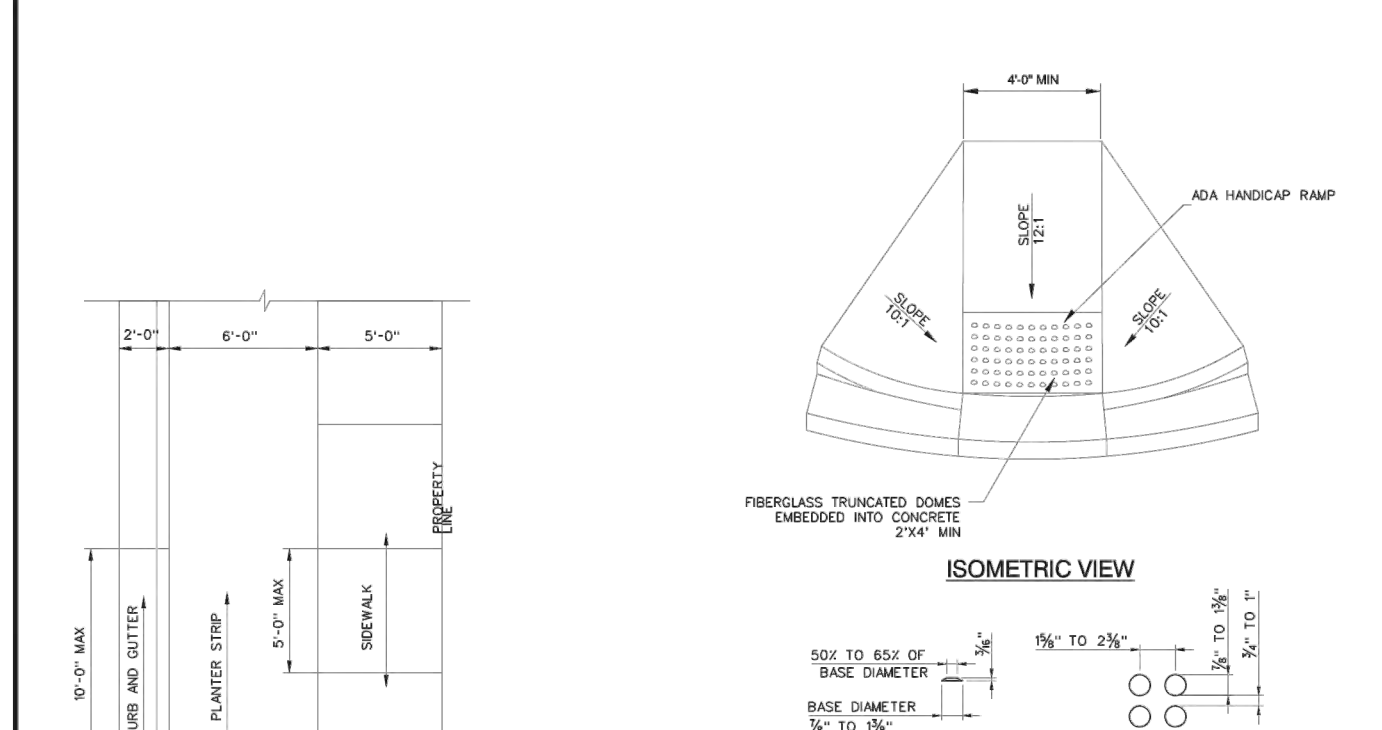
64' LOCAL R.O.W.
770 NORTH STREET



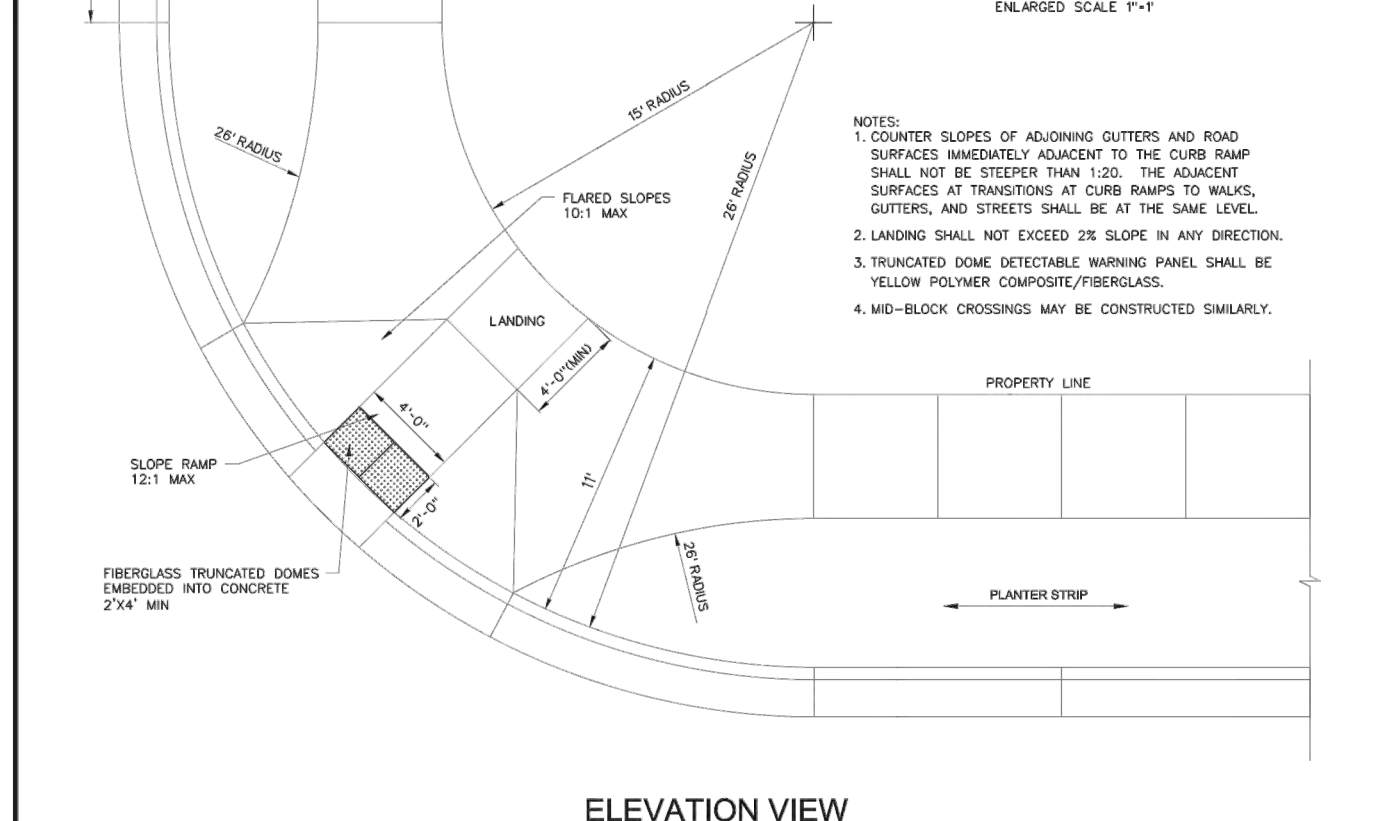
55' R.O.W. WIDTH
200 EAST STREET

STATEMENT OF WORK		STANDARD STREET CROSS SECTION		ST2	
SANTAQUIN CITY		SANTAQUIN CITY		SANTAQUIN CITY	
110 SOUTH CENTER STREET		110 SOUTH CENTER STREET		110 SOUTH CENTER STREET	
APPROVED DATE:		APPROVED DATE:		APPROVED DATE:	

NOT TO SCALE



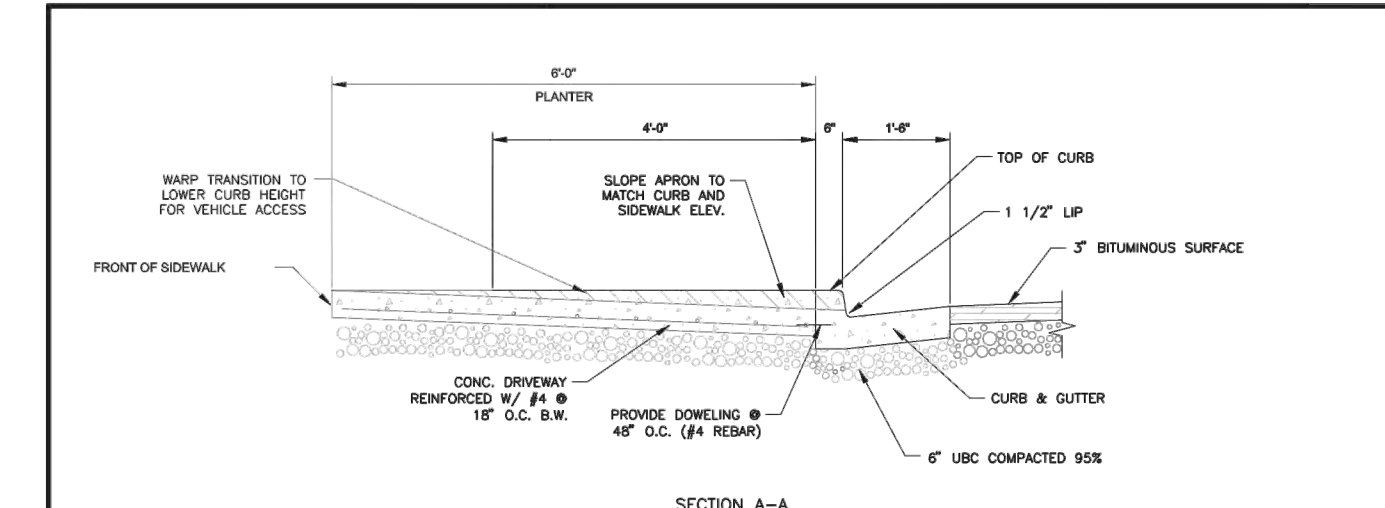
TRUNCATED DOMES



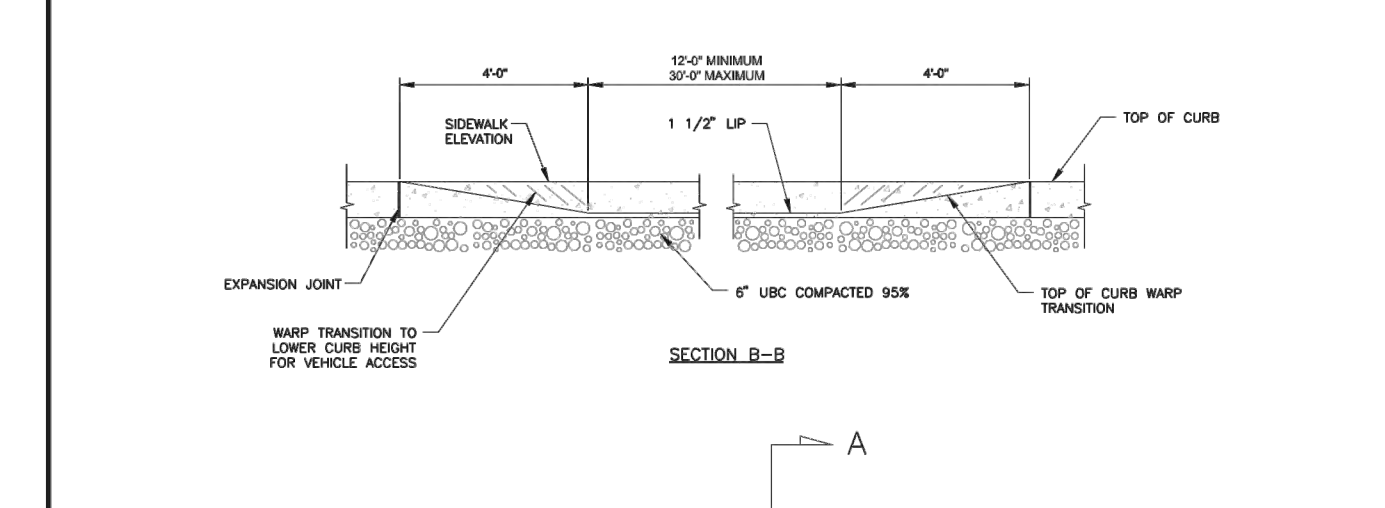
ELEVATION VIEW

STATEMENT OF WORK		RESIDENTIAL CURB RAMP AT INTERSECTION		CG2A	
SANTAQUIN CITY		SANTAQUIN CITY		SANTAQUIN CITY	
275 WEST MAIN STREET		275 WEST MAIN STREET		275 WEST MAIN STREET	
APPROVED DATE:		APPROVED DATE:		APPROVED DATE:	

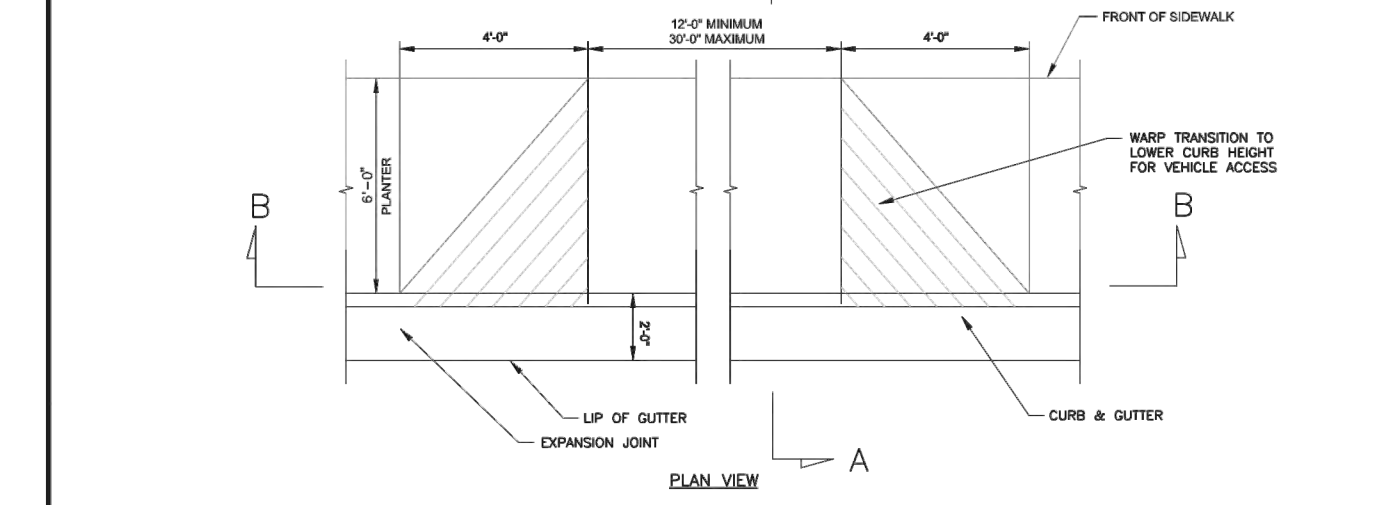
NOT TO SCALE



SECTION A-A



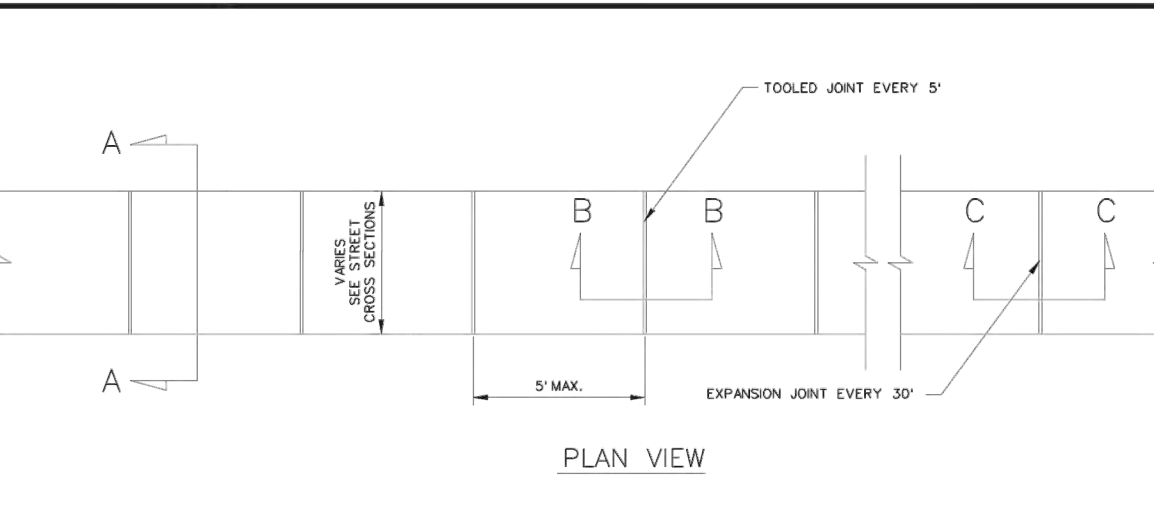
SECTION B-B



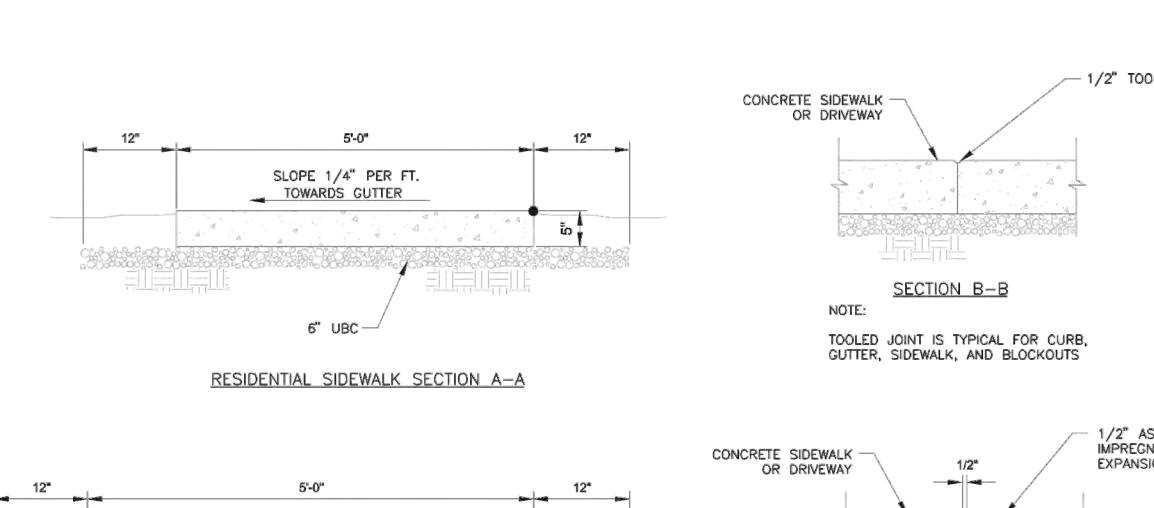
SECTION C-C

STATEMENT OF WORK		DRIVEWAY APPROACH WITH PARK STRIP		CG3	
SANTAQUIN CITY		SANTAQUIN CITY		SANTAQUIN CITY	
275 WEST MAIN STREET		275 WEST MAIN STREET		275 WEST MAIN STREET	
APPROVED DATE:		APPROVED DATE:		APPROVED DATE:	

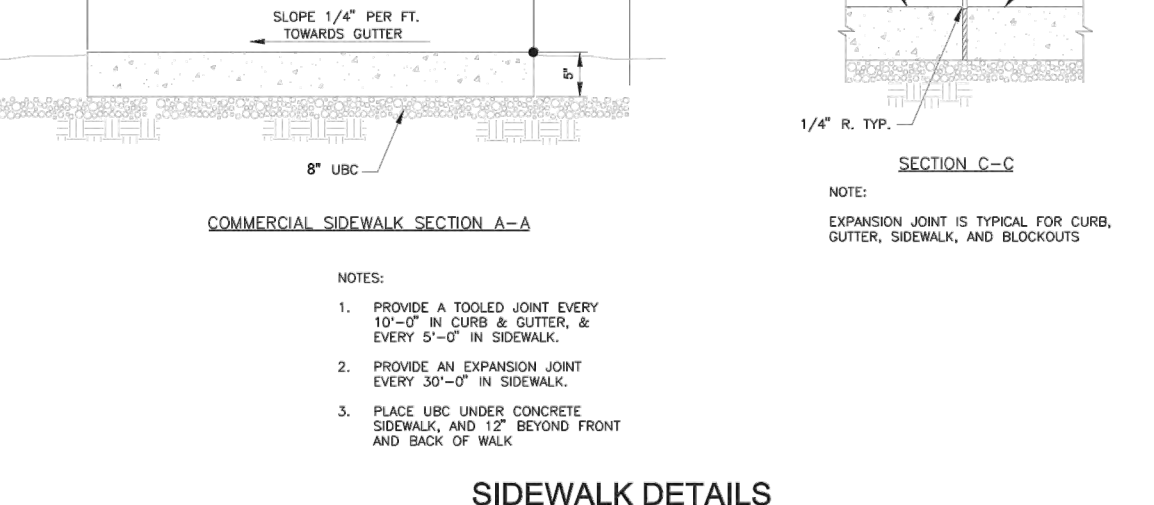
NOT TO SCALE



PLAN VIEW



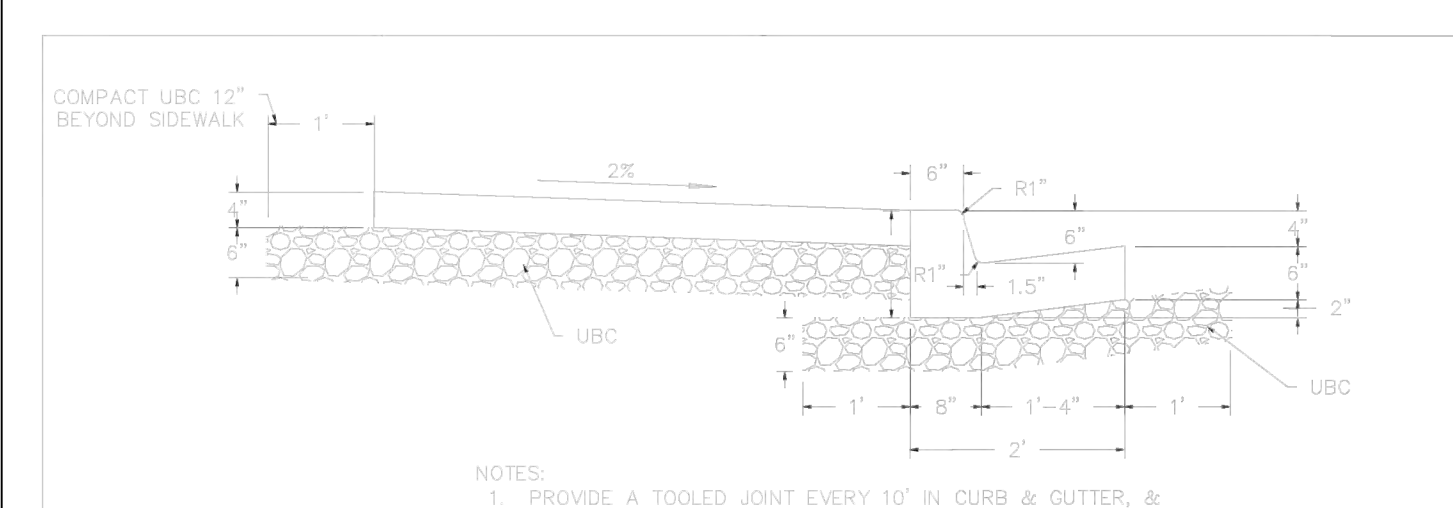
RESIDENTIAL SIDEWALK SECTION A-A



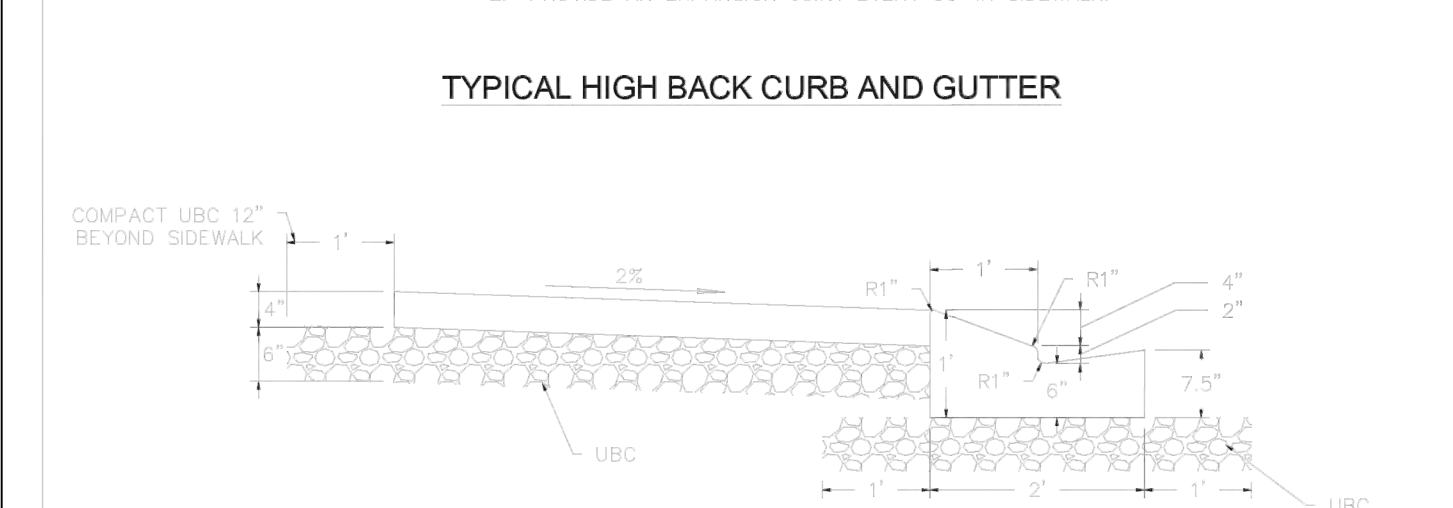
COMMERCIAL SIDEWALK SECTION A-A

STATEMENT OF WORK		SIDEWALK DETAILS		CG5	
SANTAQUIN CITY		SANTAQUIN CITY		SANTAQUIN CITY	
275 WEST MAIN STREET		275 WEST MAIN STREET		275 WEST MAIN STREET	
APPROVED DATE:		APPROVED DATE:		APPROVED DATE:	

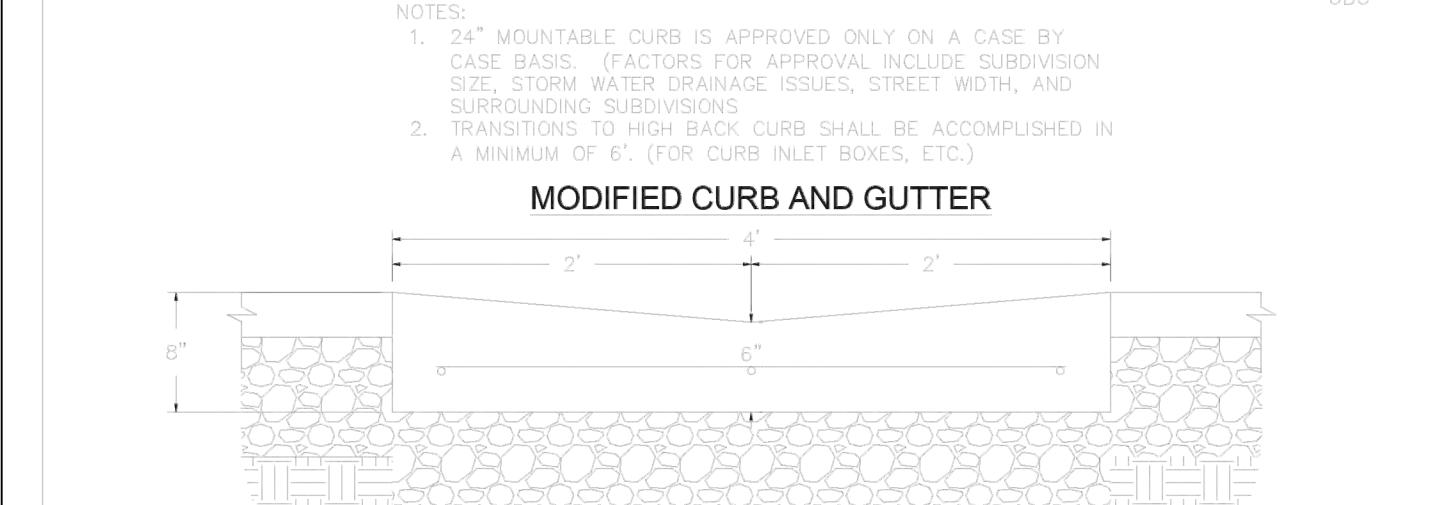
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TYPICAL HIGH BACK CURB AND GUTTER



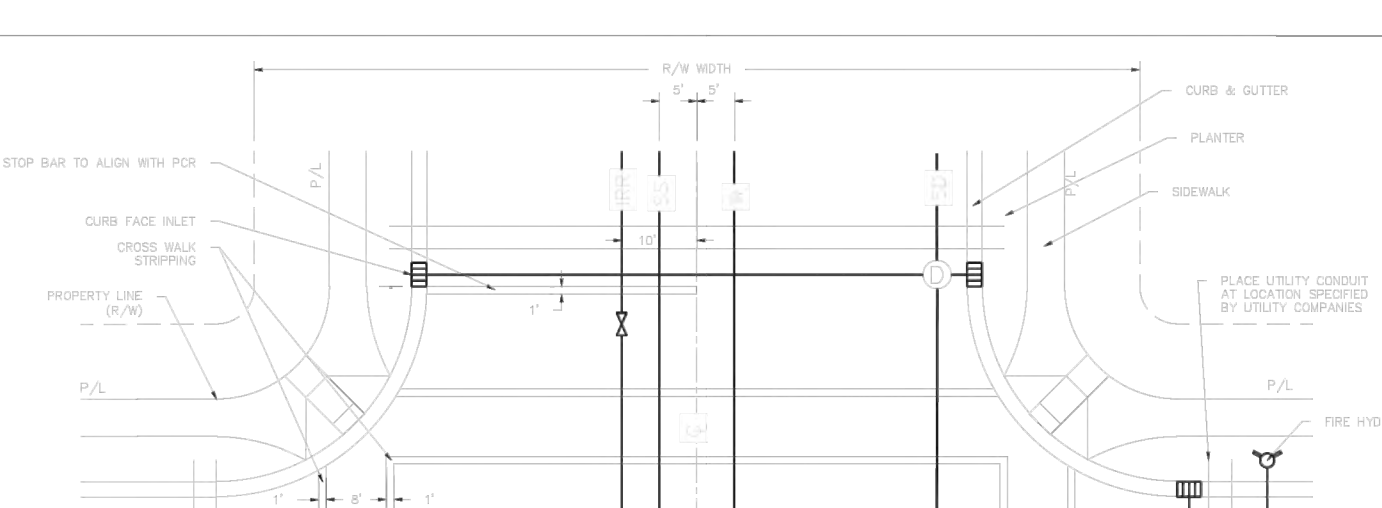
MODIFIED CURB AND GUTTER



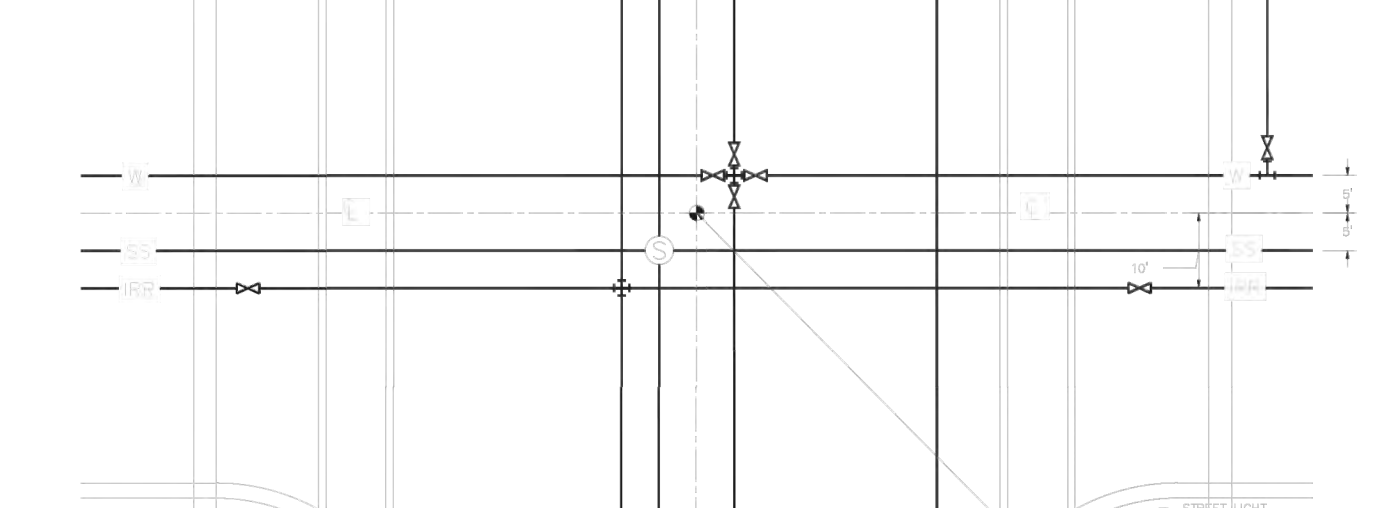
CROSS GUTTER

STATEMENT OF WORK		CURB & GUTTER AND CROSS GUTTER DETAILS		CG4	
SANTAQUIN CITY		SANTAQUIN CITY		SANTAQUIN CITY	
275 WEST MAIN STREET		275 WEST MAIN STREET		275 WEST MAIN STREET	
APPROVED DATE:		APPROVED DATE:		APPROVED DATE:	

NOT TO SCALE



STREET UTILITY LOCATIONS



STREET UTILITY LOCATIONS

STATEMENT OF WORK		STREET UTILITY LOCATIONS PLAN VIEW		UT1	
SANTAQUIN CITY		SANTAQUIN CITY		SANTAQUIN CITY	
275 WEST MAIN STREET		275 WEST MAIN STREET		275 WEST MAIN STREET	
APPROVED DATE:		APPROVED DATE:		APPROVED DATE:	

NOT TO SCALE

NO.	DESCRIPTION	DATE	APPD.

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	N/A

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 PH: (801) 994-5848
 paul@gatewayconsultingllc.com

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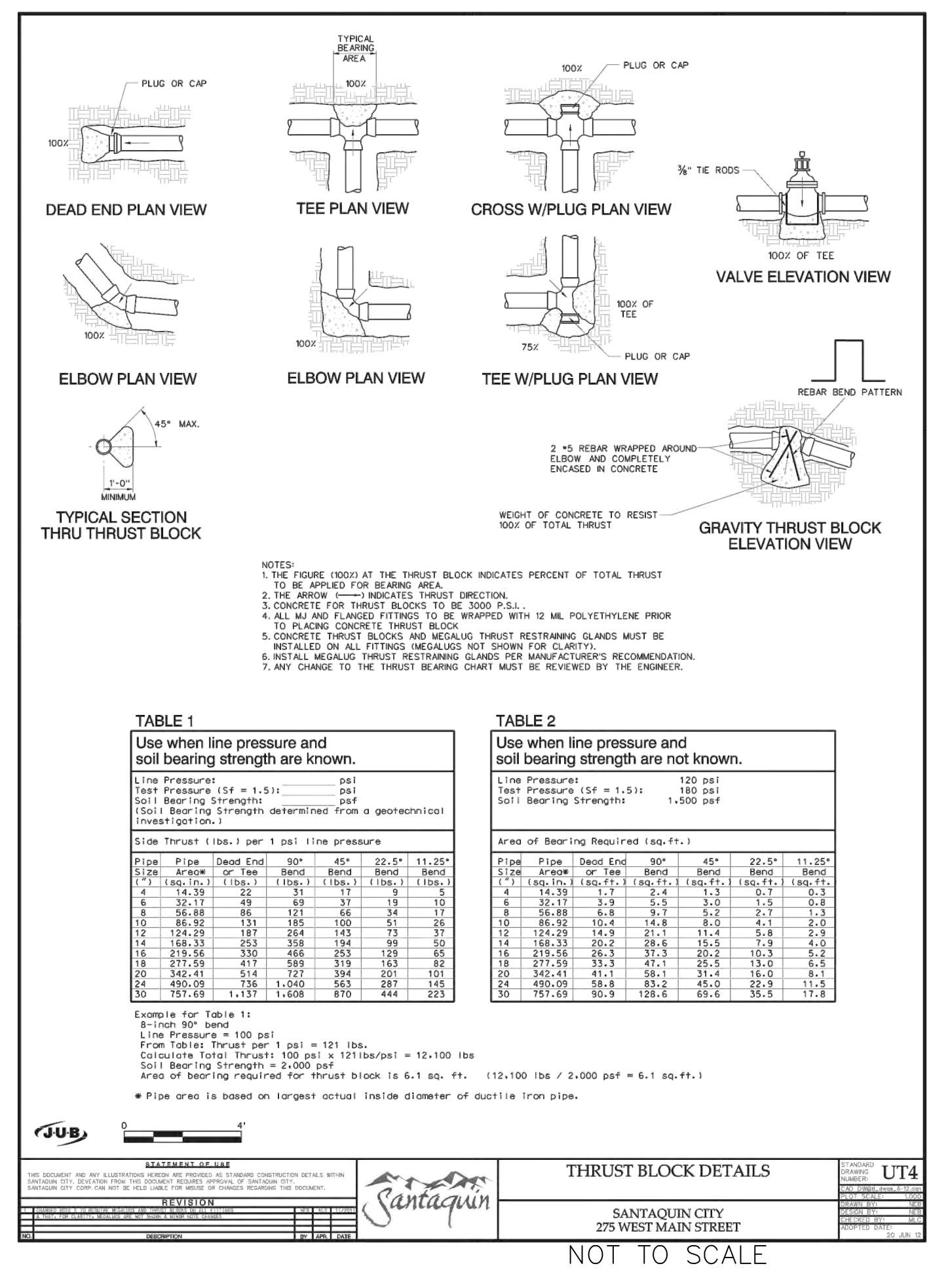
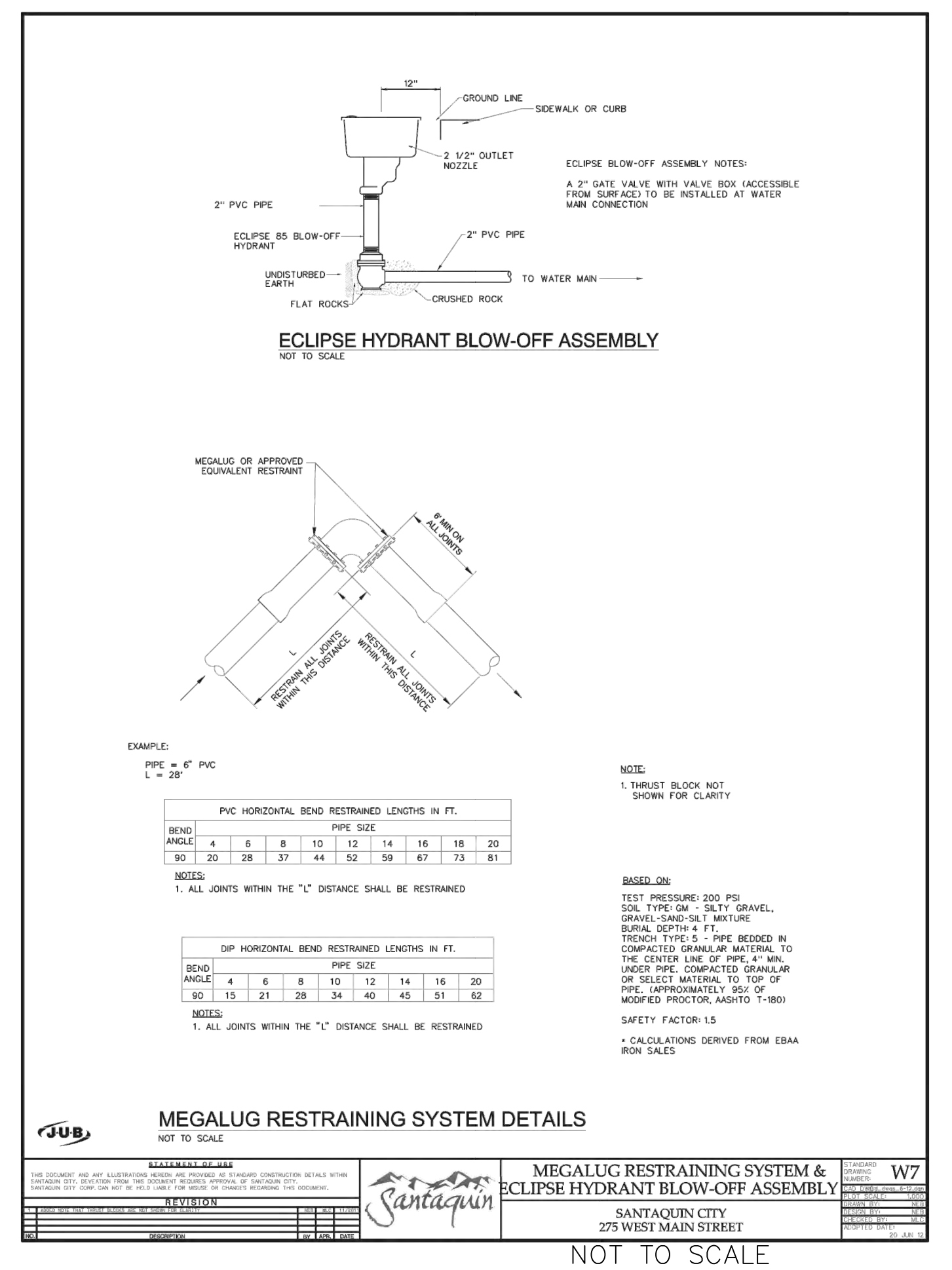
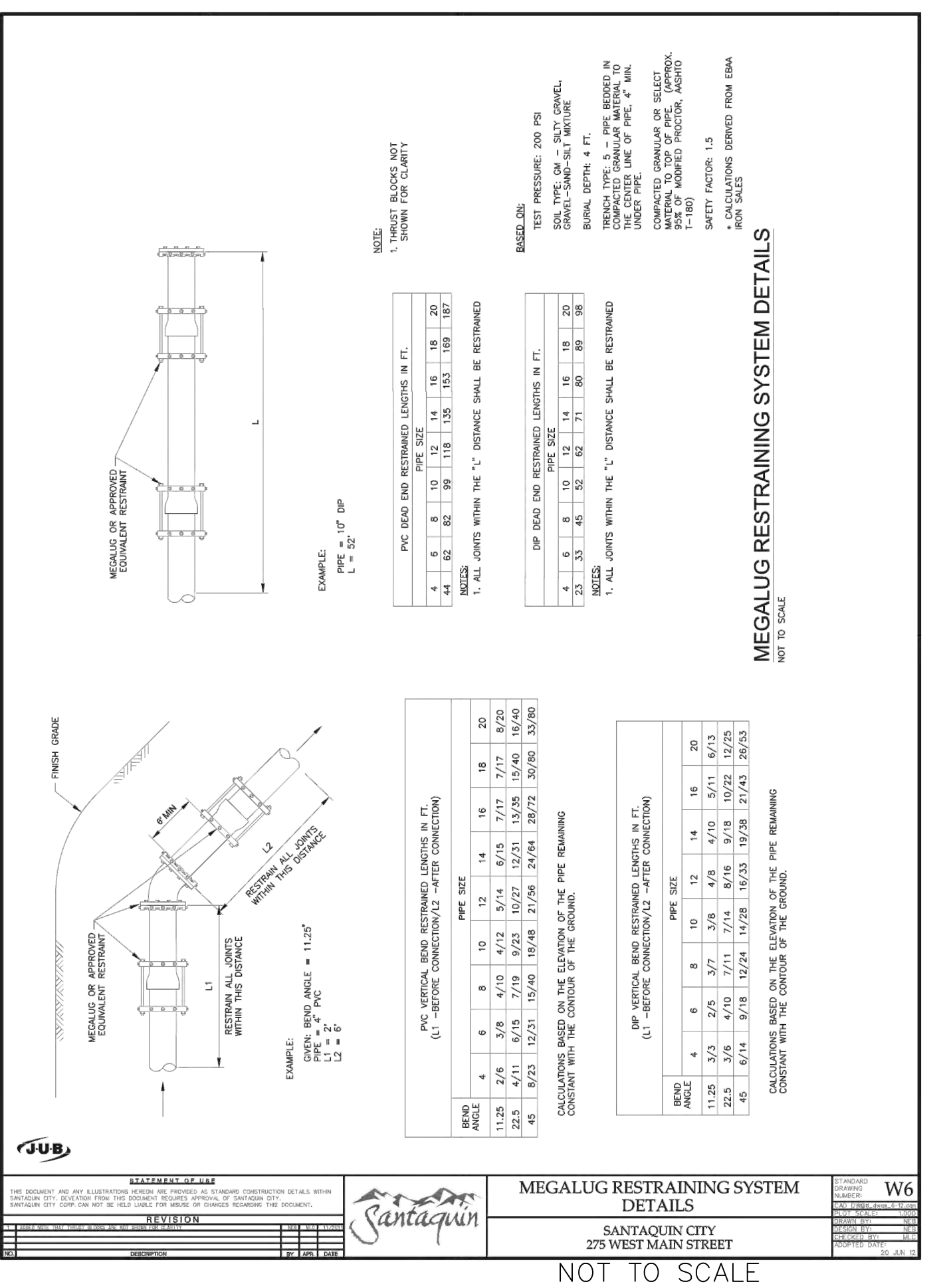
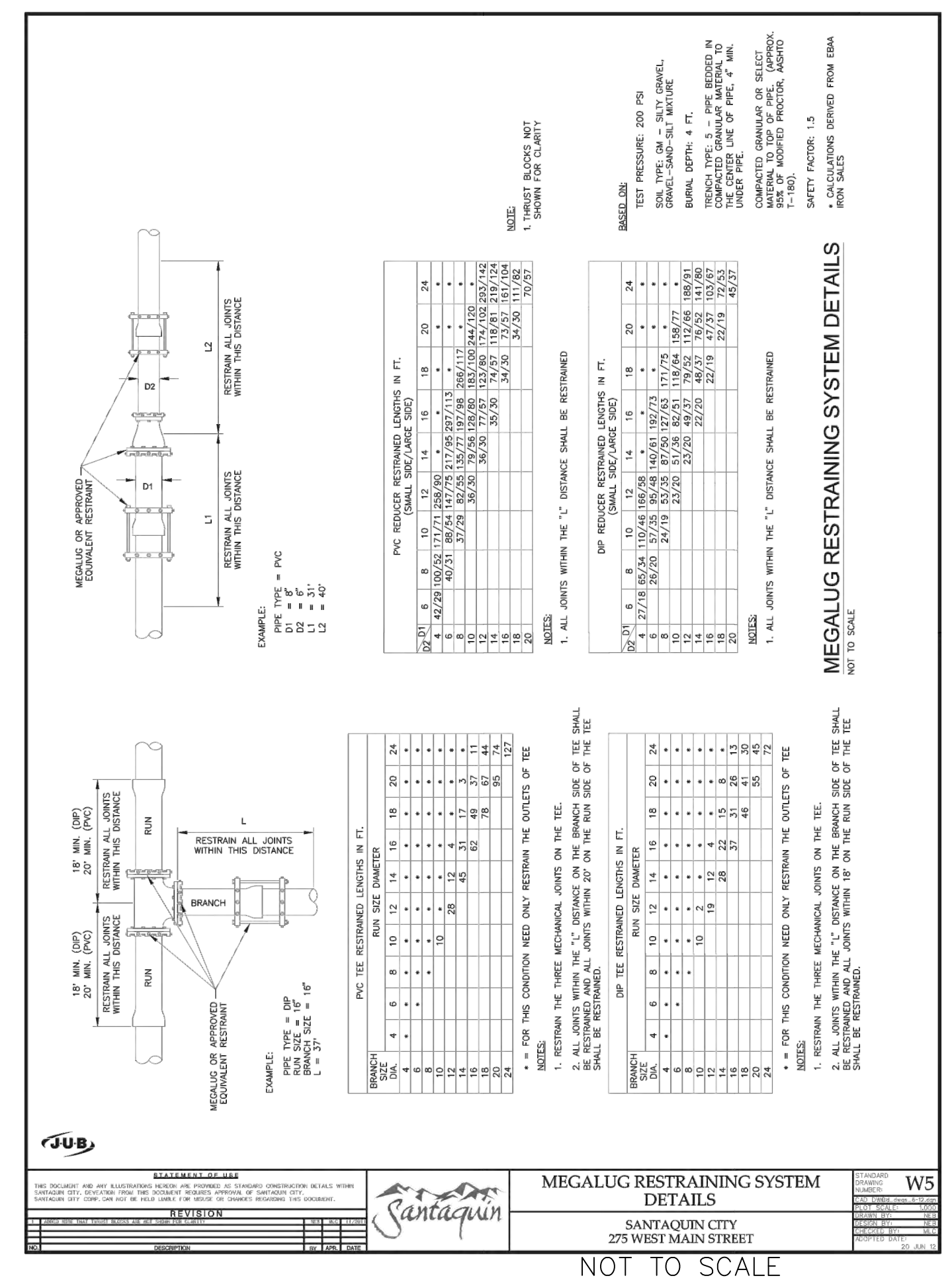
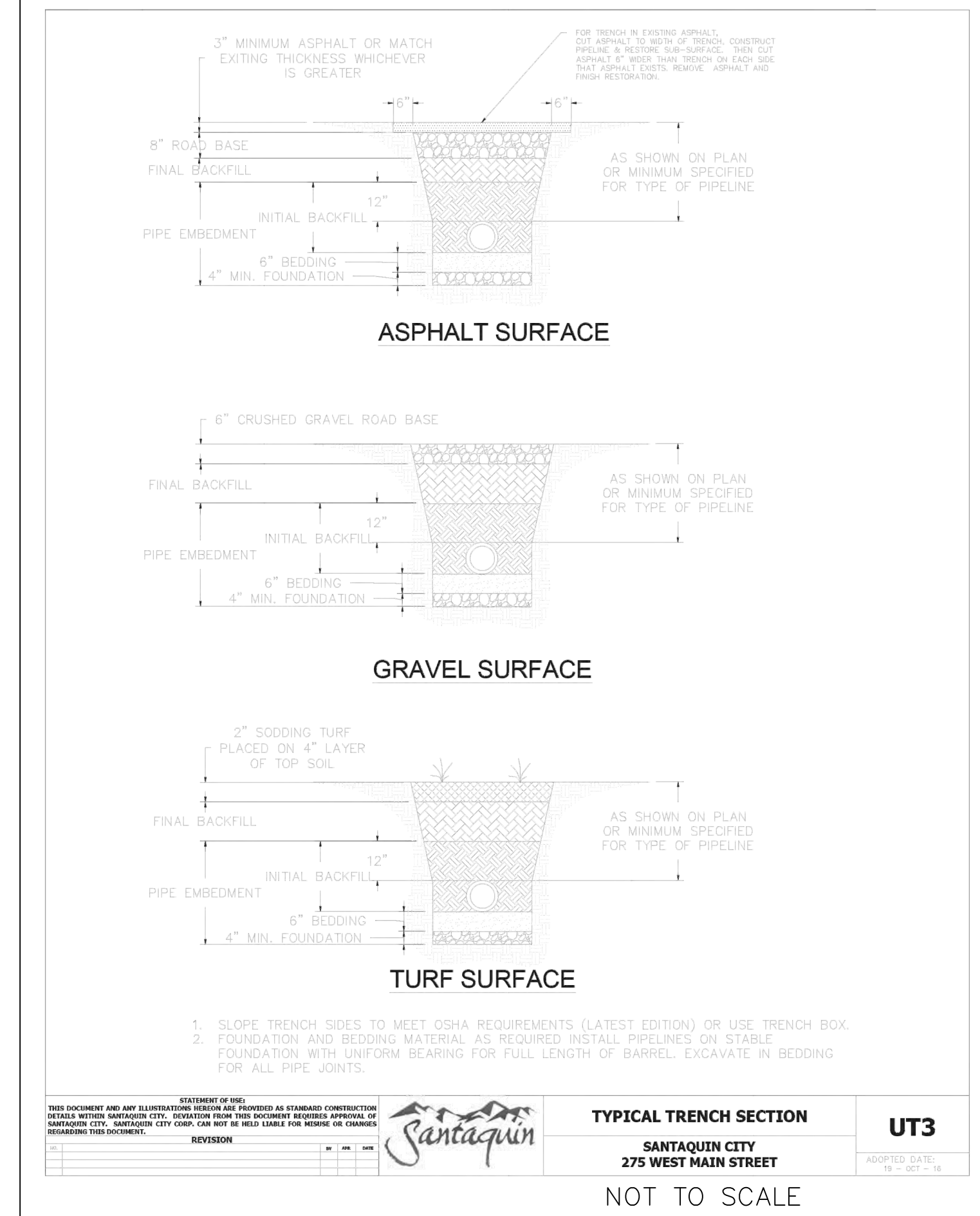
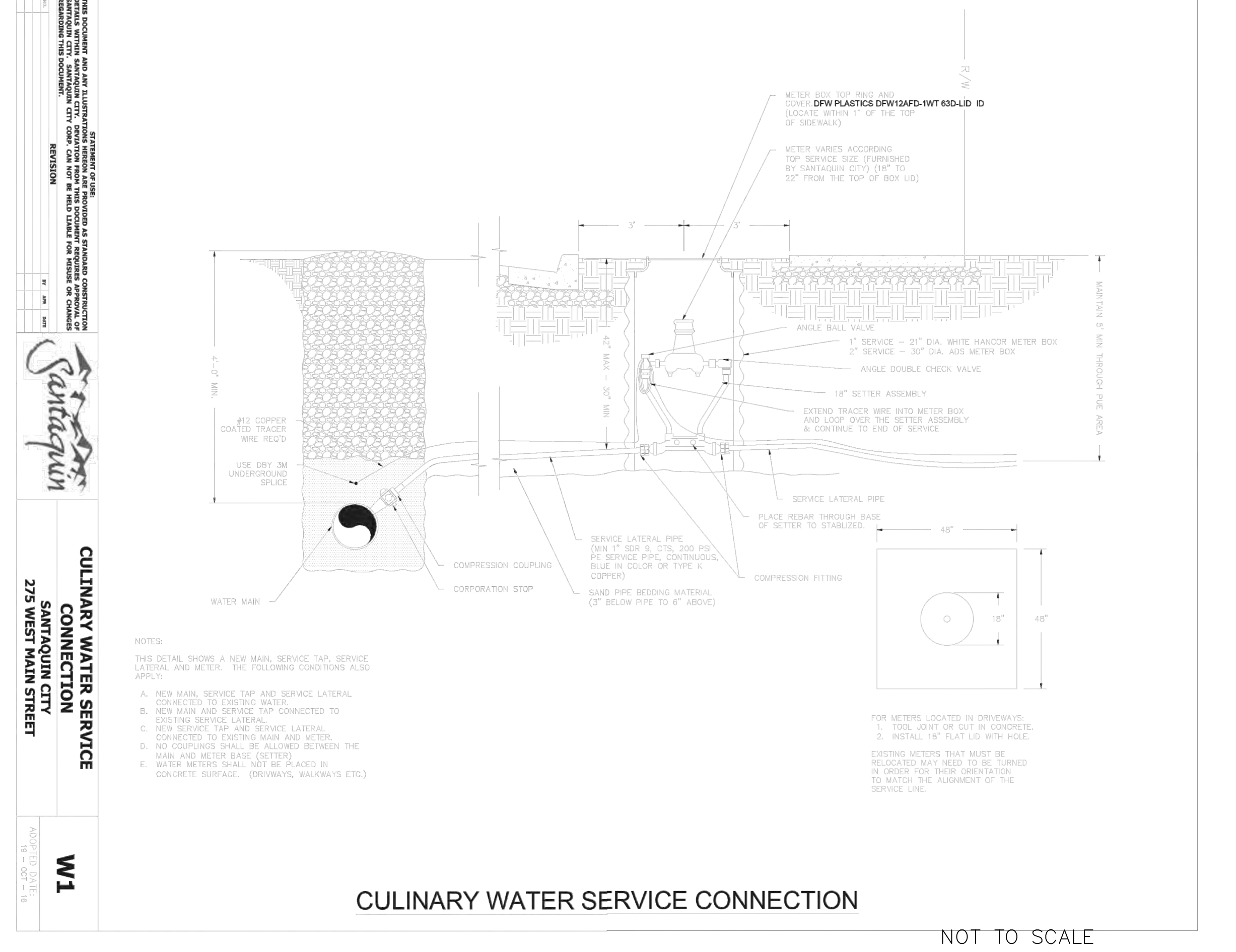
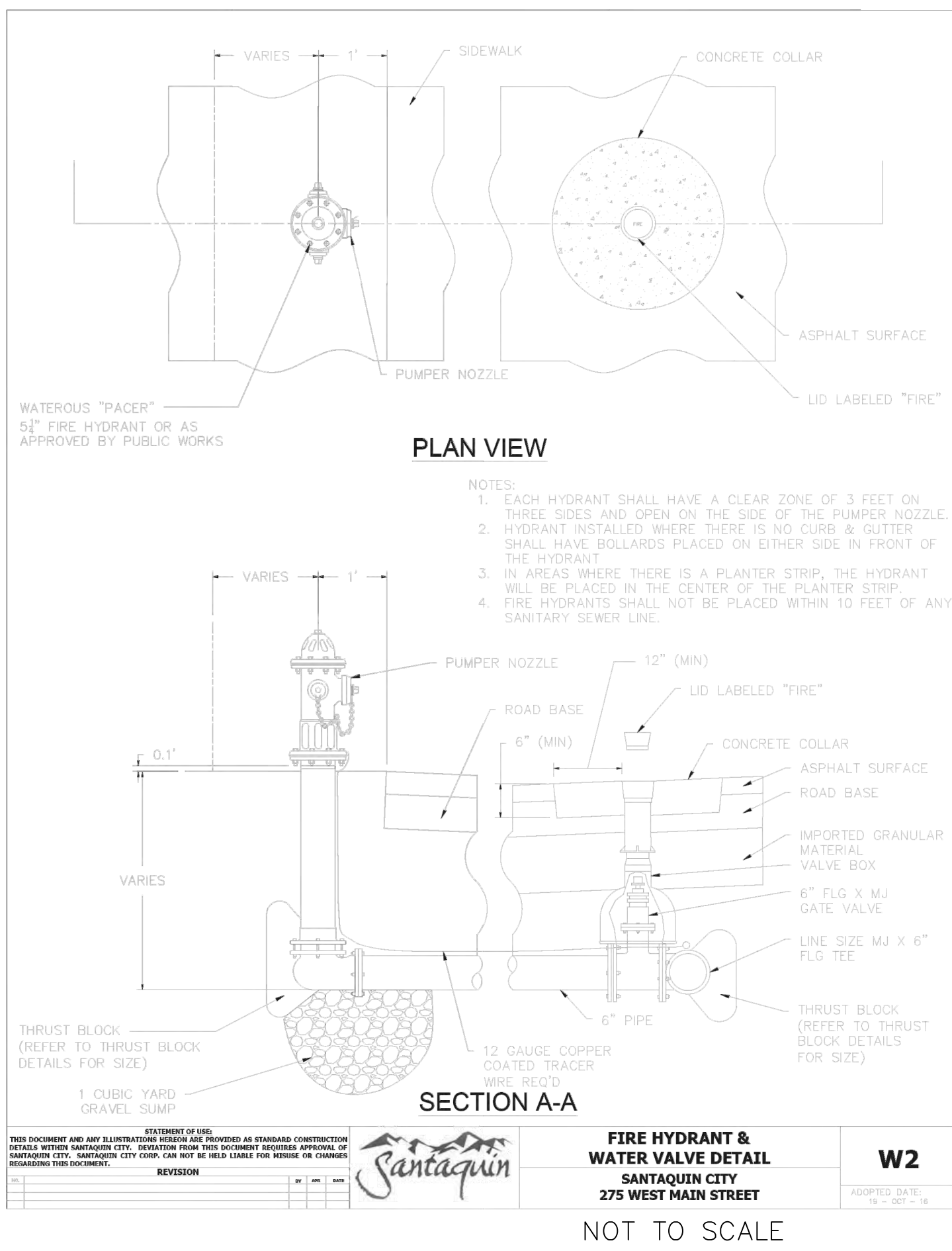
STRATTON MEADOW SUBDIVISION

STREET DETAILS

PRINT DATE: 10-25-2024

SANTAQUIN CITY

REGISTERED PROFESSIONAL ENGINEER
 PAUL J. GIBSON
 LICENSE NO. 12345



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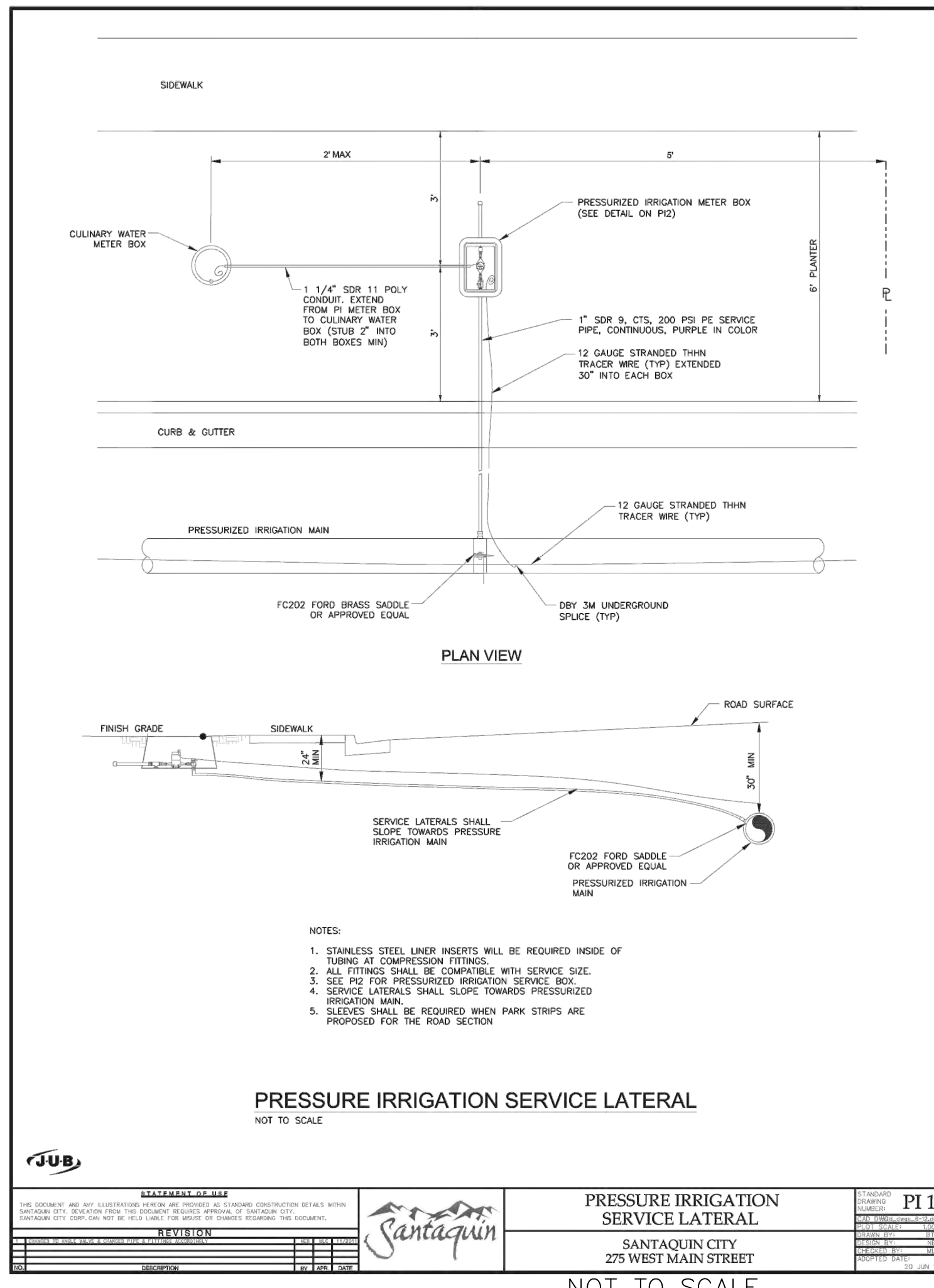
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CONSTRUCTION MANAGEMENT**

STRATTON MEADOW SUBDIVISION WATER DETAIL

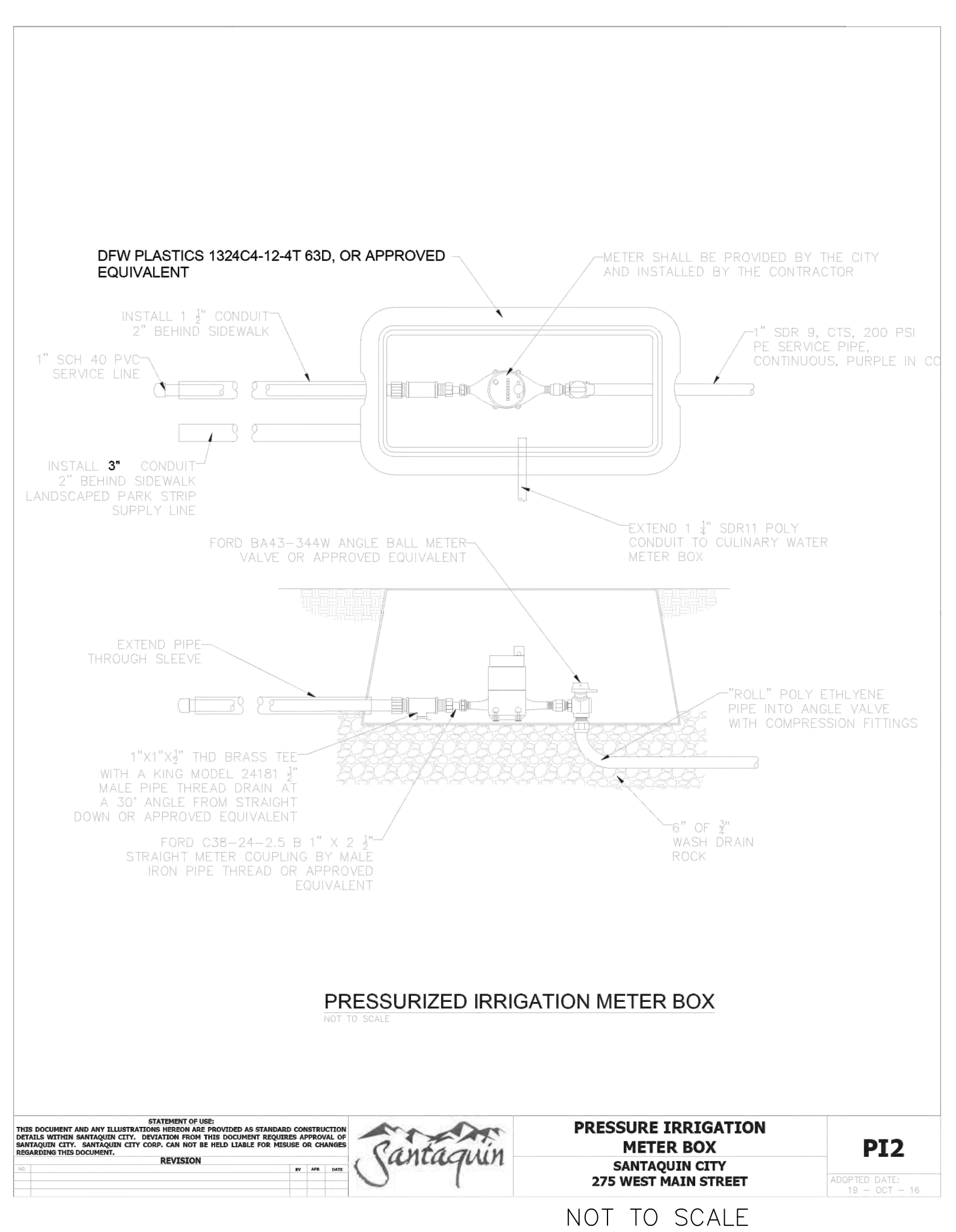
SANTAQUIN CITY

10-25-2024

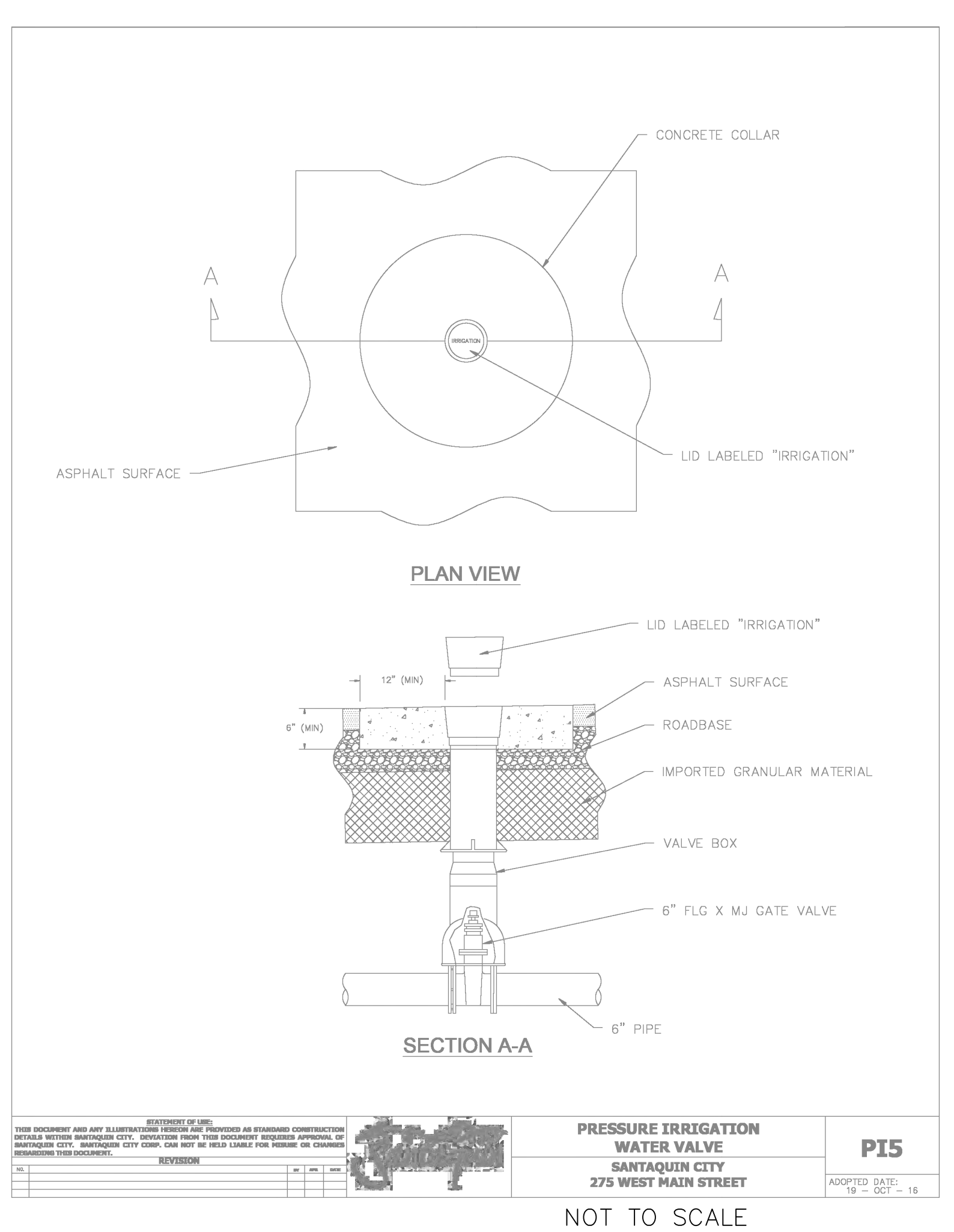
SHEET NO. **D3**



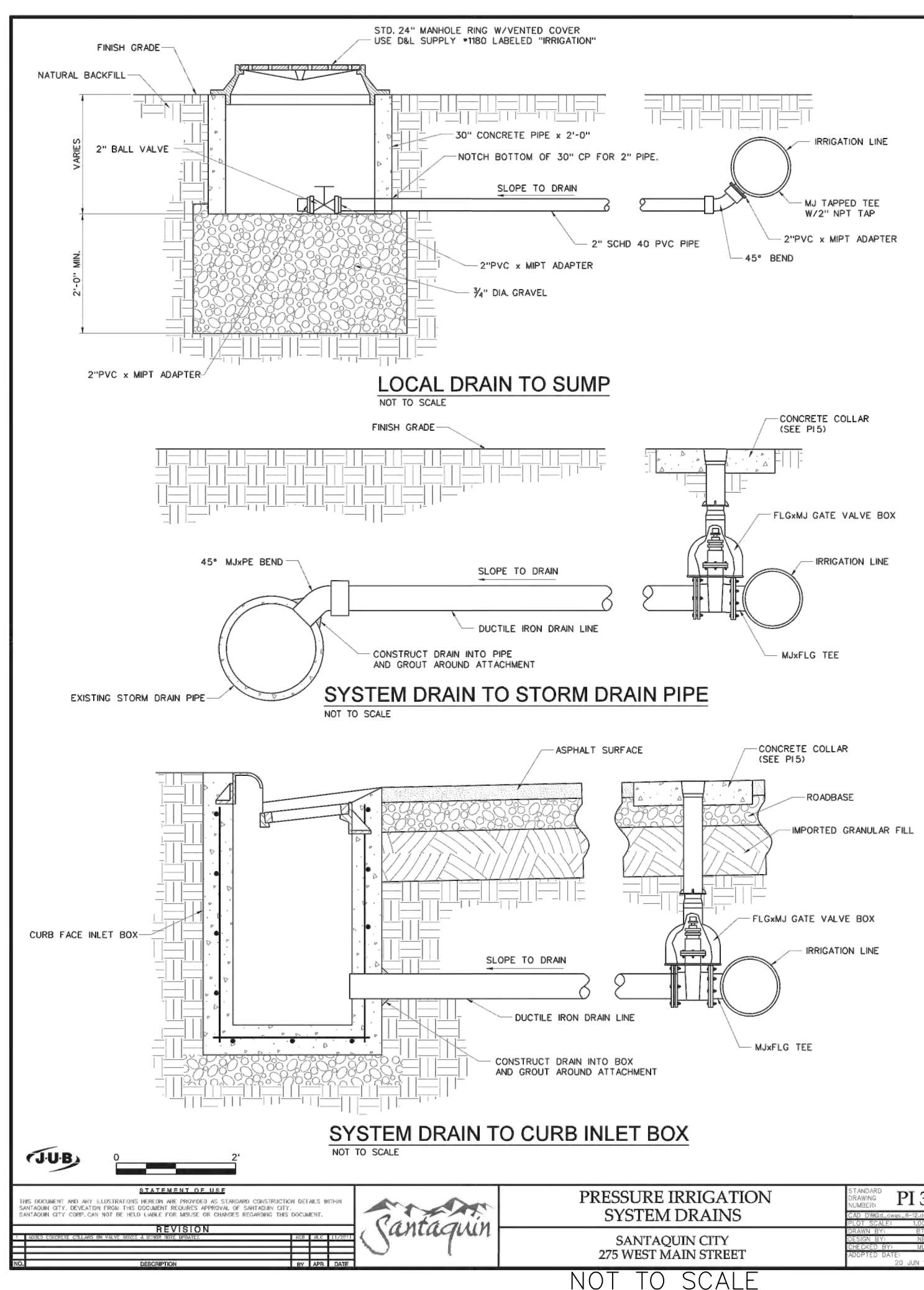
DATE: 10-25-2024	PI 1
PROJECT: PRESSURE IRRIGATION SERVICE LATERAL	SANTAQUIN CITY
LOCATION: 275 WEST MAIN STREET	
DESIGNED BY: [Signature]	CHECKED BY: [Signature]
APPROVED BY: [Signature]	



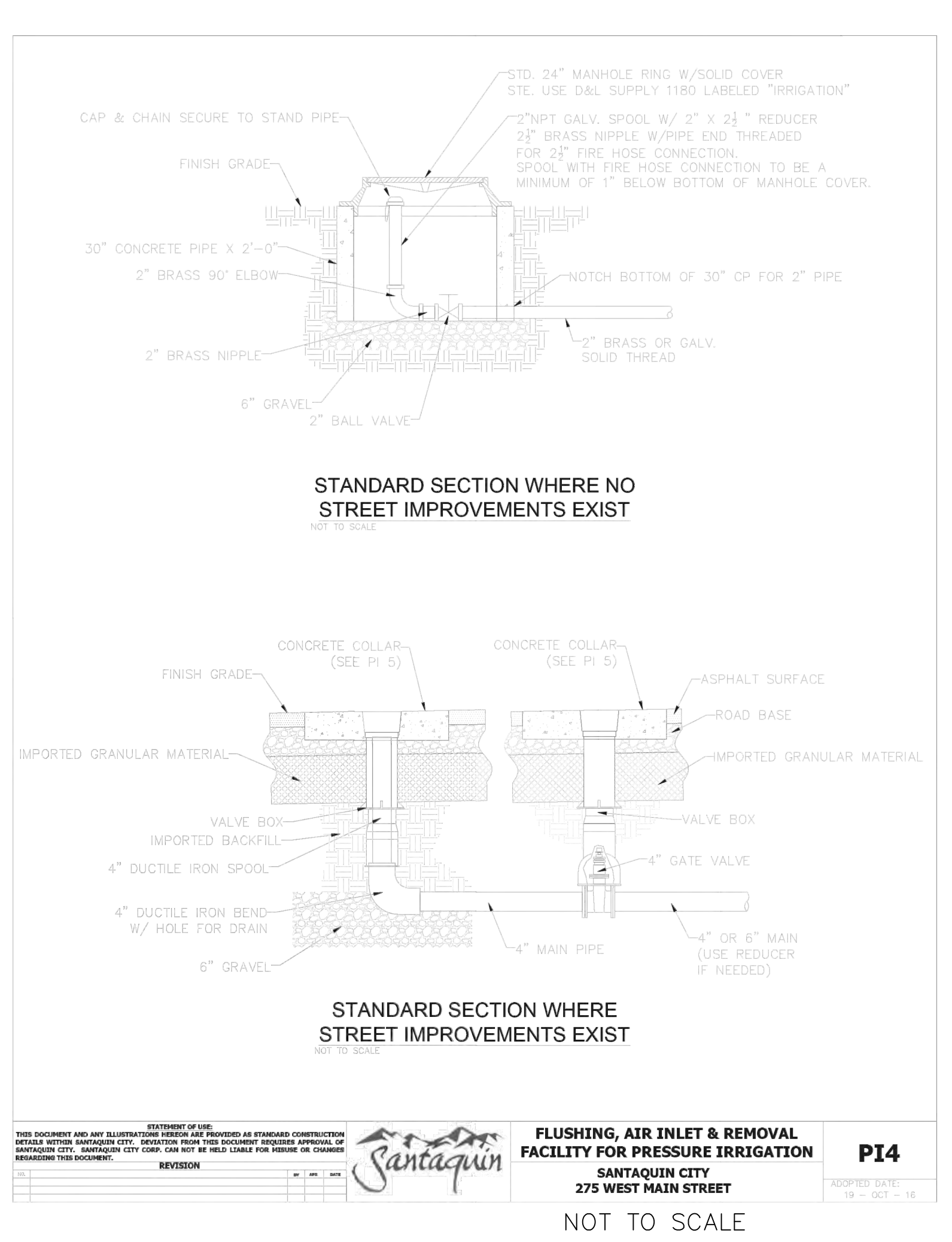
DATE: 10-25-2024	PI 2
PROJECT: PRESSURIZED IRRIGATION METER BOX	SANTAQUIN CITY
LOCATION: 275 WEST MAIN STREET	
DESIGNED BY: [Signature]	CHECKED BY: [Signature]
APPROVED BY: [Signature]	



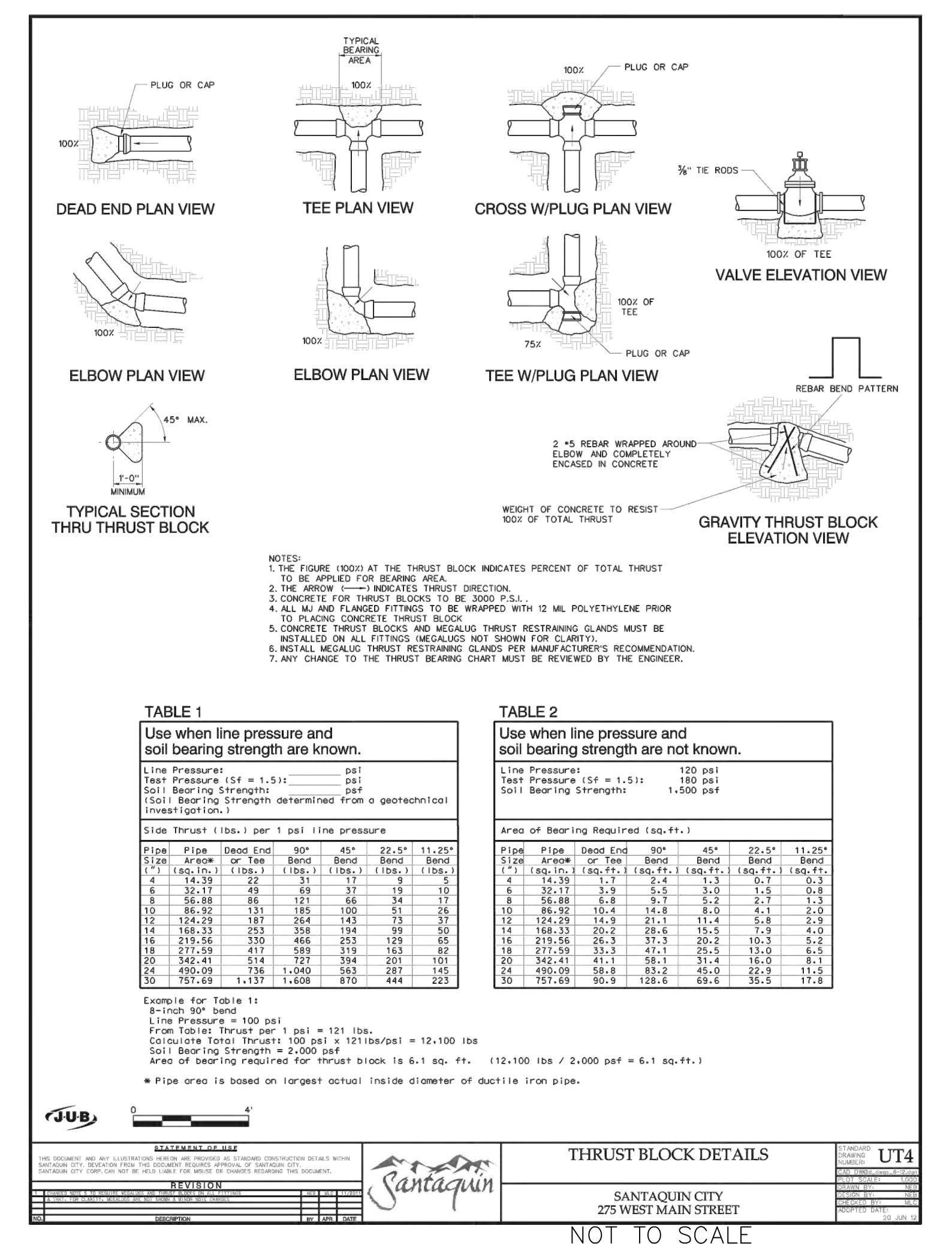
DATE: 10-25-2024	PI 5
PROJECT: PRESSURE IRRIGATION WATER VALVE	SANTAQUIN CITY
LOCATION: 275 WEST MAIN STREET	
DESIGNED BY: [Signature]	CHECKED BY: [Signature]
APPROVED BY: [Signature]	



DATE: 10-25-2024	PI 3
PROJECT: PRESSURE IRRIGATION SYSTEM DRAINS	SANTAQUIN CITY
LOCATION: 275 WEST MAIN STREET	
DESIGNED BY: [Signature]	CHECKED BY: [Signature]
APPROVED BY: [Signature]	



DATE: 10-25-2024	PI 4
PROJECT: FLUSHING, AIR INLET & REMOVAL FACILITY FOR PRESSURE IRRIGATION	SANTAQUIN CITY
LOCATION: 275 WEST MAIN STREET	
DESIGNED BY: [Signature]	CHECKED BY: [Signature]
APPROVED BY: [Signature]	



DATE: 10-25-2024	UT 4
PROJECT: THRUST BLOCK DETAILS	SANTAQUIN CITY
LOCATION: 275 WEST MAIN STREET	
DESIGNED BY: [Signature]	CHECKED BY: [Signature]
APPROVED BY: [Signature]	

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21	GPW
SURVEY BY: GPW	GPW
DRAWN BY: GPW	GPW
DESIGNED BY: GPW	GPW
CHECKED BY: GPW	GPW
SCALE: N/A	

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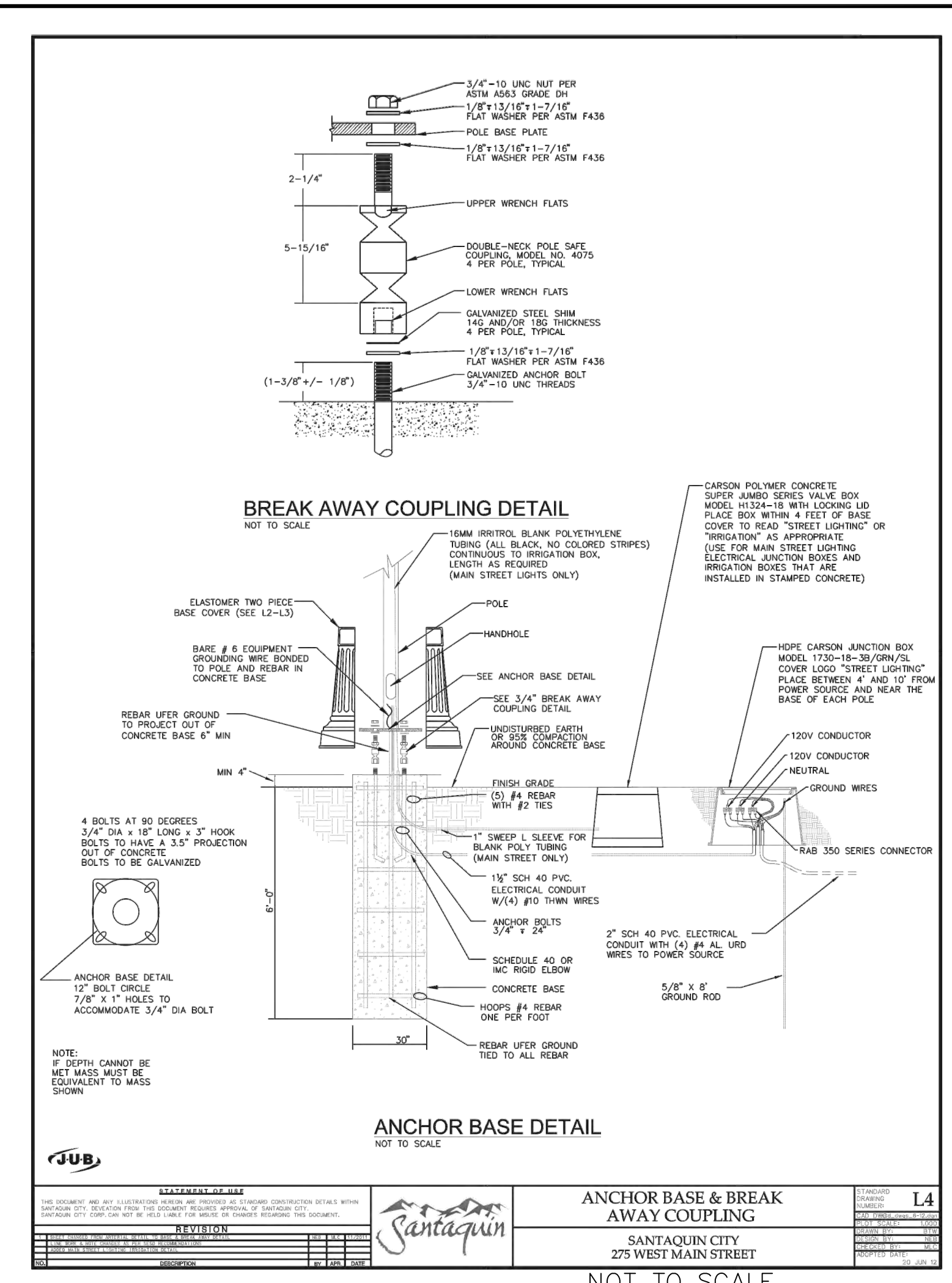
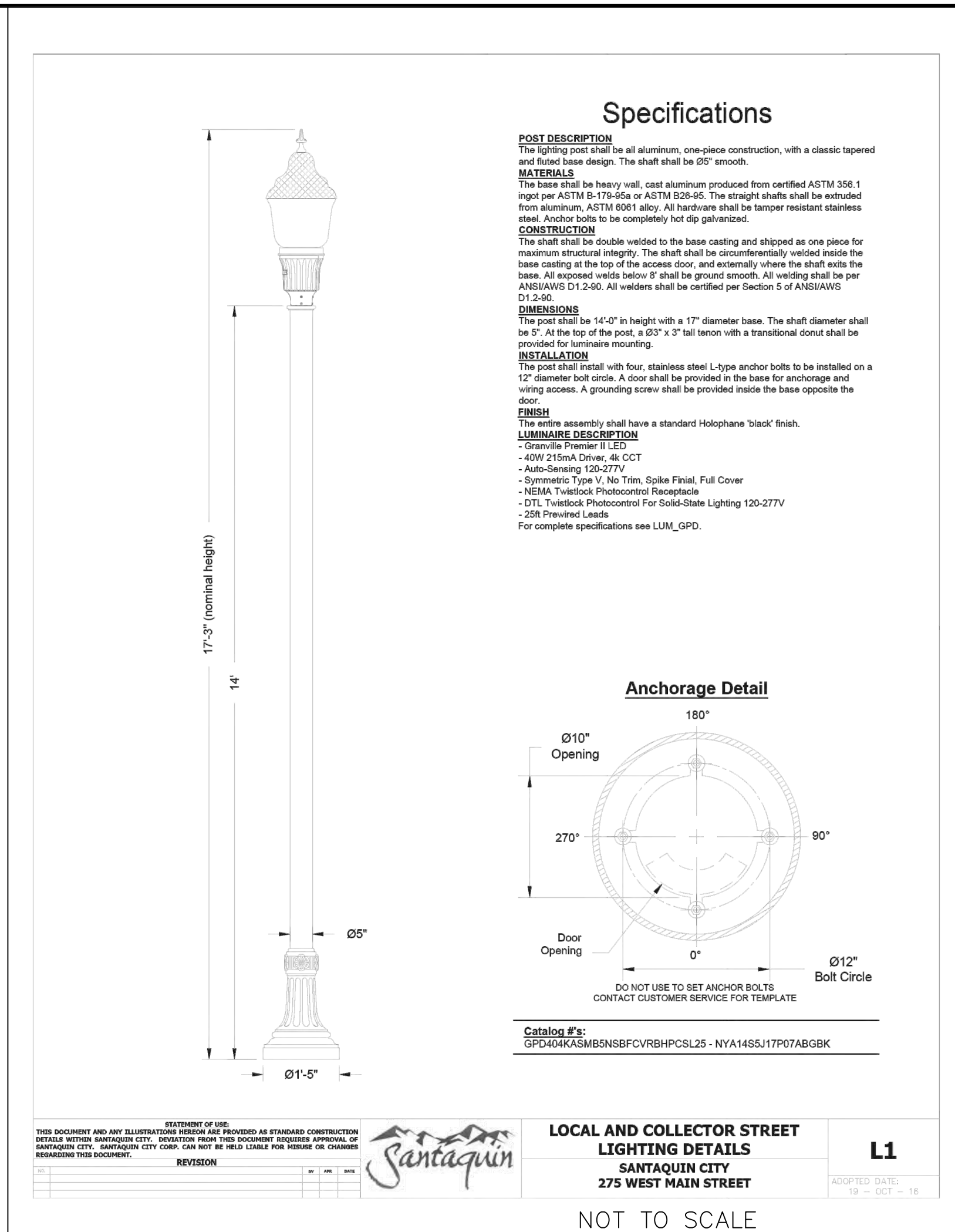
STRATTON MEADOW SUBDIVISION
IRRIGATION WATER DETAILS

10-25-2024

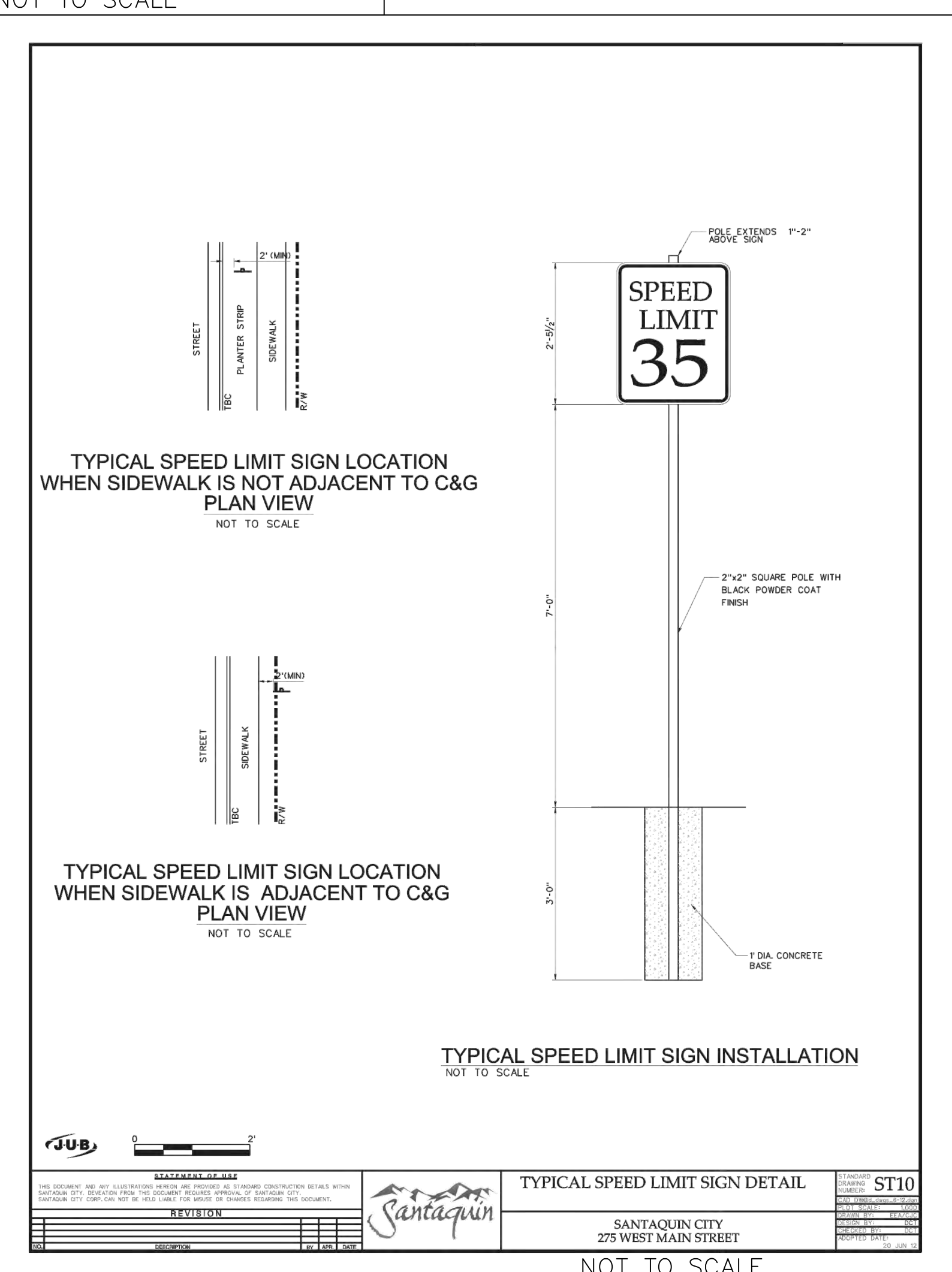
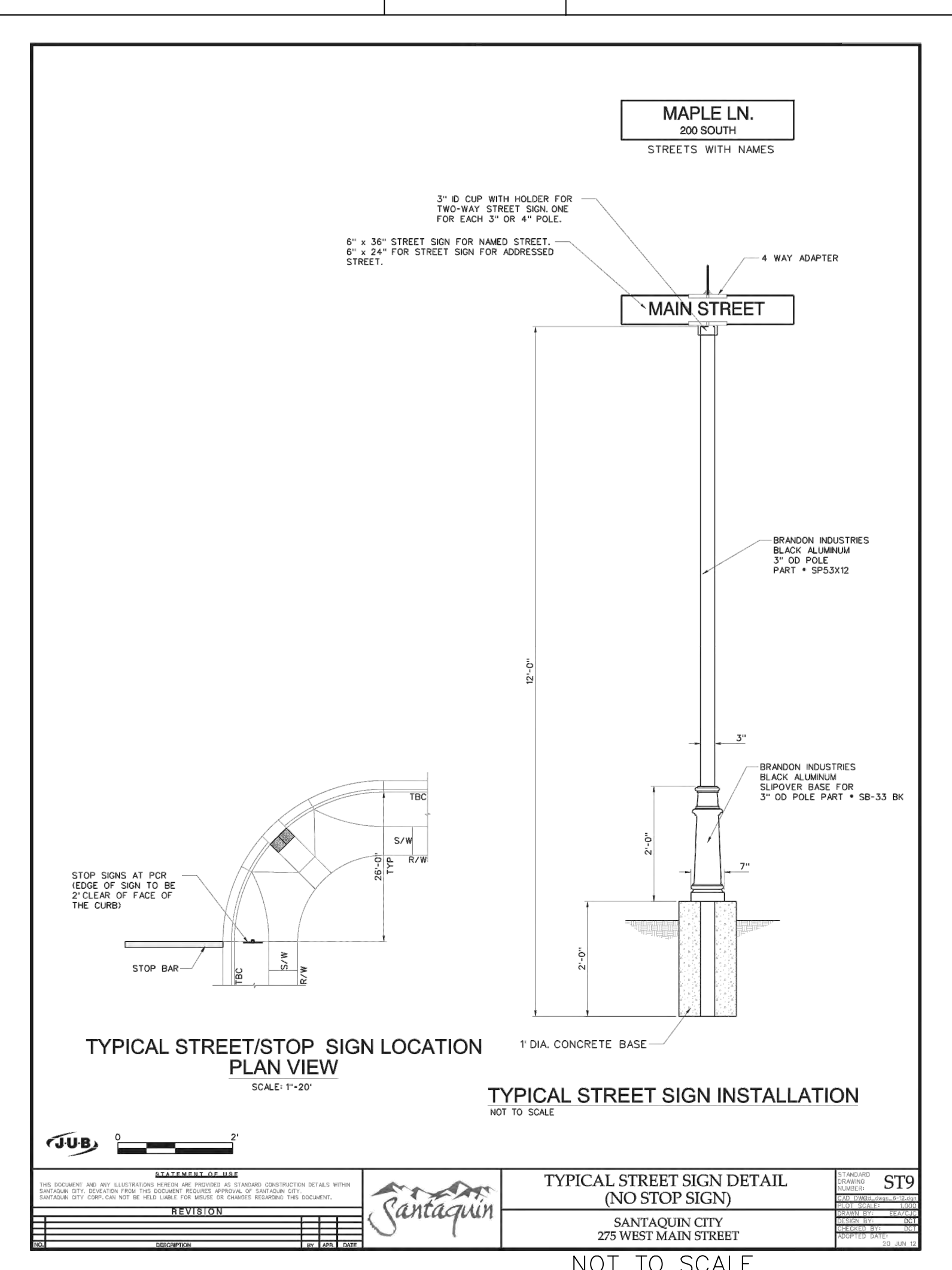
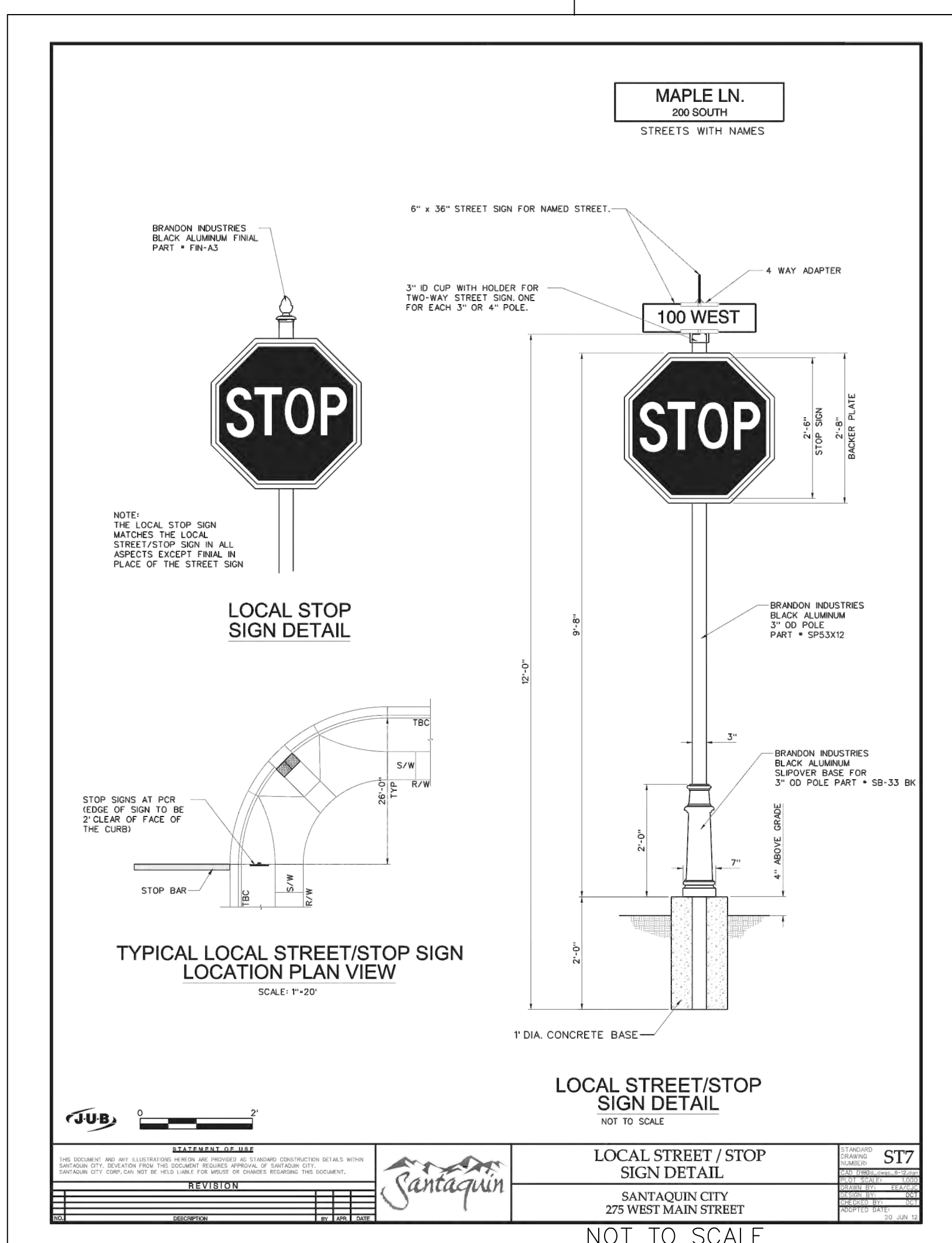
SANTAQUIN CITY



SHEET NO. D5



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NO.	DESCRIPTION	DATE	APPD.

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	N/A

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**STRATTON MEADOW
SUBDIVISION**

LIGHT AND SIGN DETAILS

PRINT DATE: 10-25-2024

SANTAQUIN CITY

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