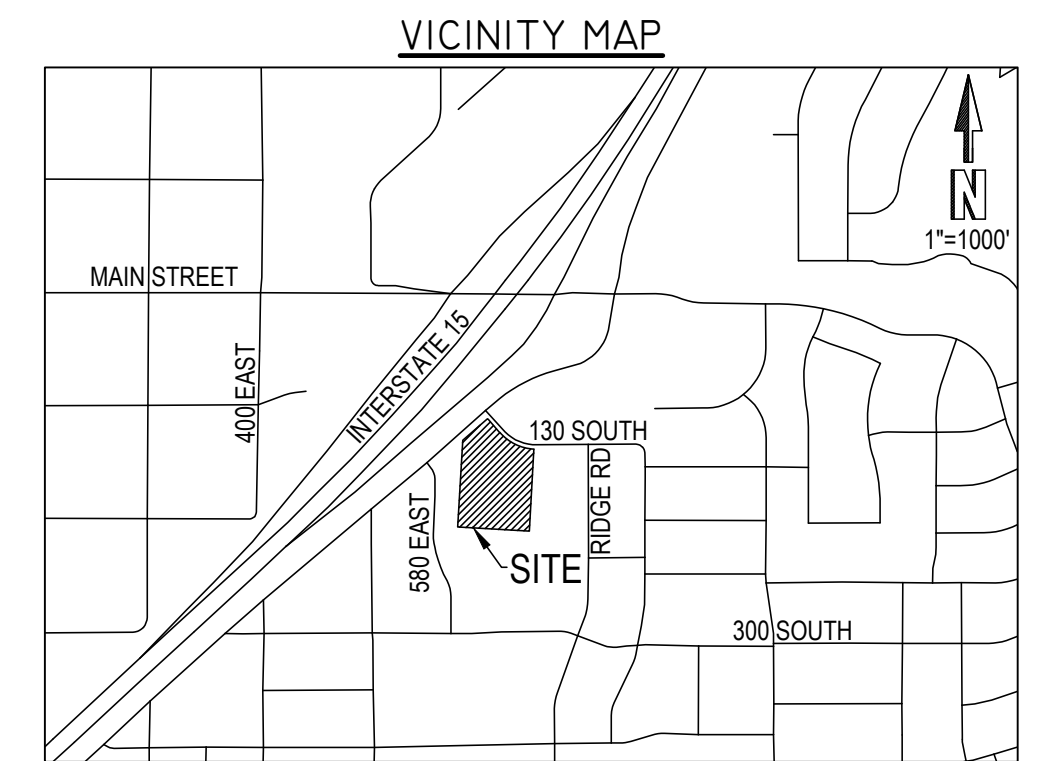
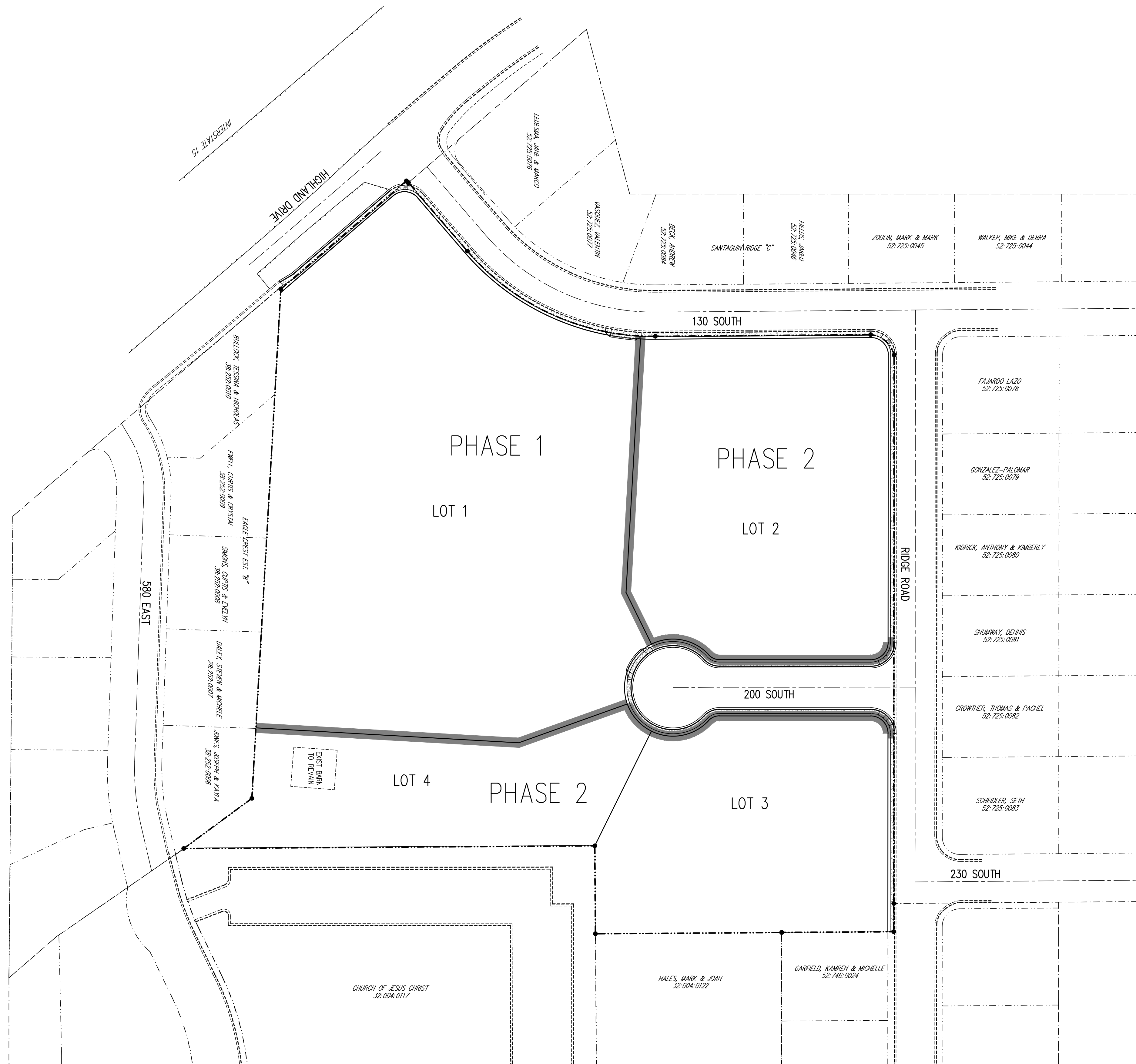


# 130 SOUTH STREET CHURCH SUBDIVISION



## SHEET INDEX

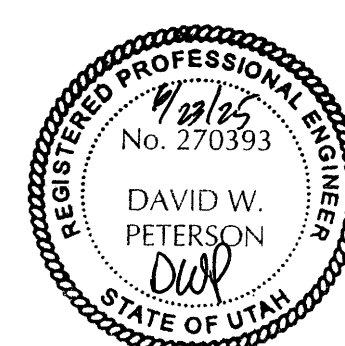
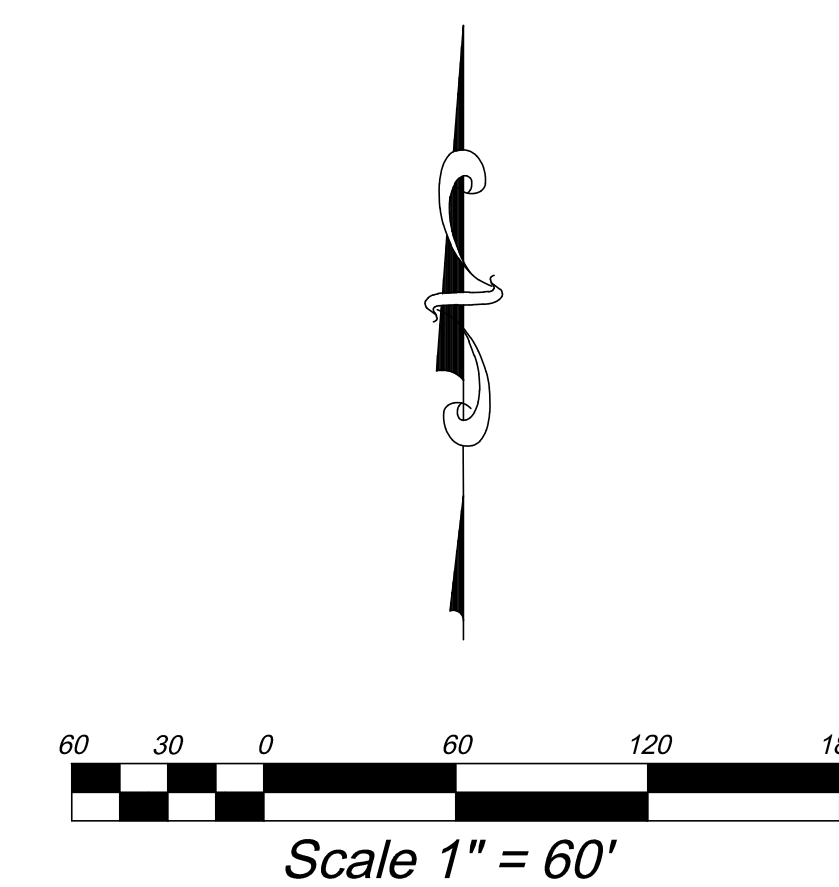
C1	COVER SHEET
PLAT	
U1	UTILITY PLAN SHEET
G1	STORM DRAIN/GRADING PLAN
PP1	HIGHLAND DRIVE TBC PLAN/PROFILE
PP2	200 SOUTH PLAN/PROFILE
PP3	SEWER PLAN/PROFILE
SWP1	EROSION CONTROL PLAN
D1	DETAIL SHEET
D2	DETAIL SHEET
D3	DETAIL SHEET

## GENERAL NOTES

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THE DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES, AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES, AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES, AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PARTICULAR GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

## LAND USE TABULATIONS

ZONE:	R-10
NUMBER OF LOTS:	4
TOTAL AREA:	9.124 ACRES
LOT AREA:	8.574 ACRES
ROAD DEDICATION:	0.550 ACRES
DENSITY:	0.44 LOTS/ACRE



BENCH MARK		REVISIONS	
Rev.	Date	Rev.	Date
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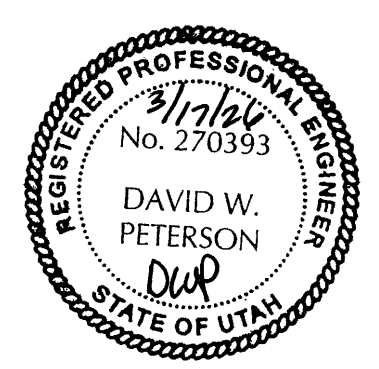
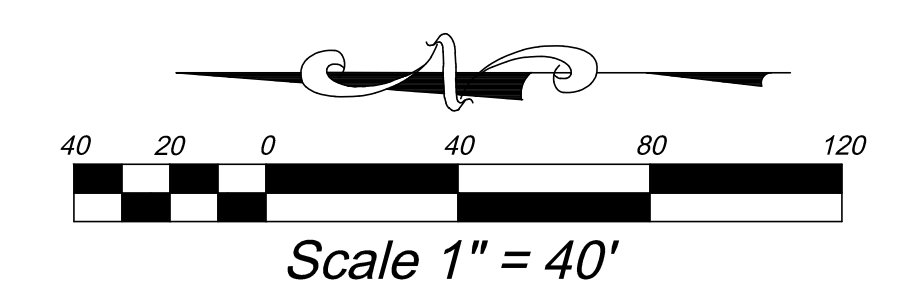
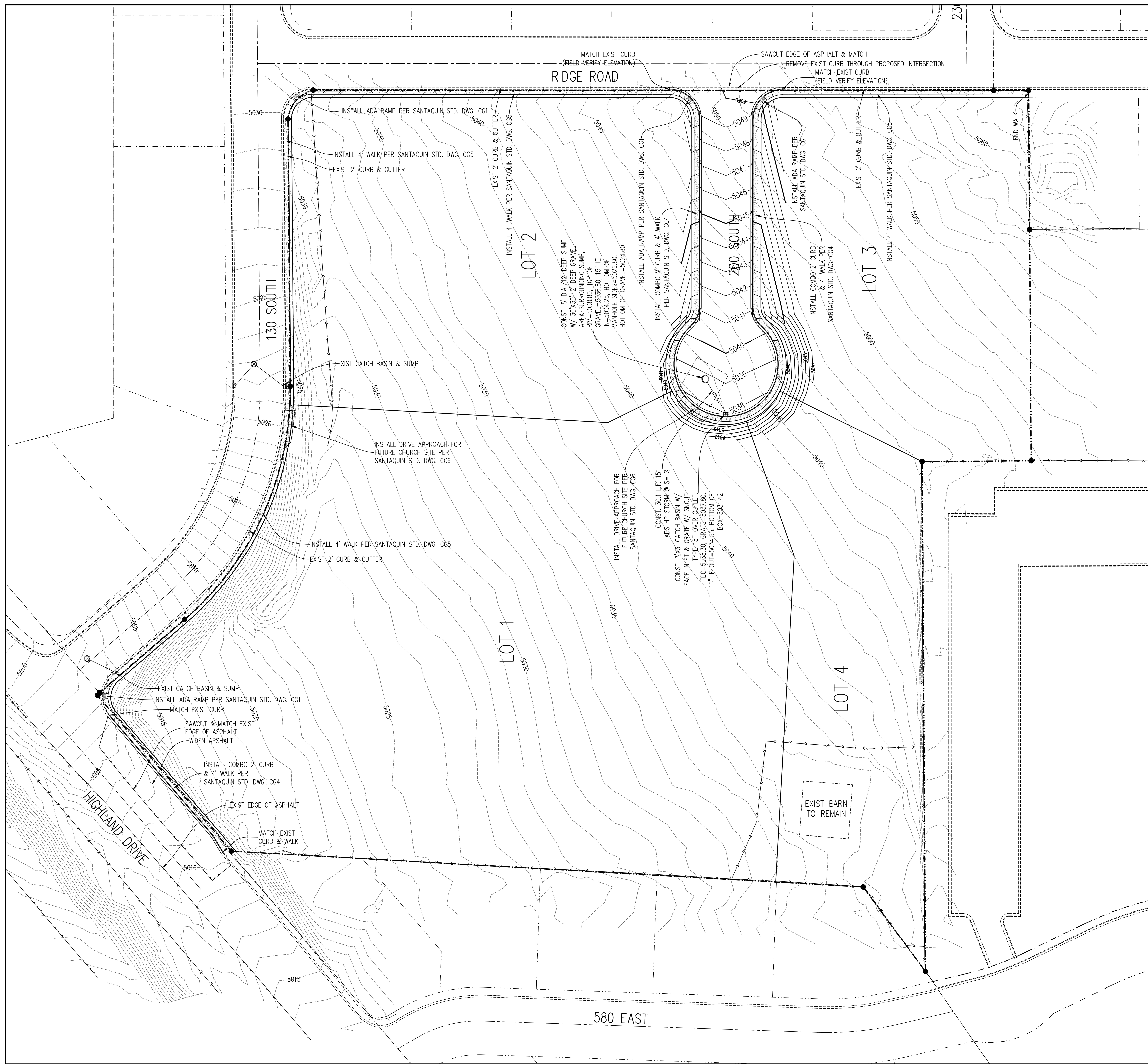
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

EVANS & ASSOCIATES ARCHITECTURE  
11576 SOUTH STATE STREET, SUITE 103B, DRAPER, UTAH 84020 801-553-8272

**EXCEL ENGINEERING**  
David W. Peterson, P.E., License #270393  
12 West 100 North, Suite 201C, American Fork, UT 84003  
P: (801) 756-4504; david@excelcivil.com

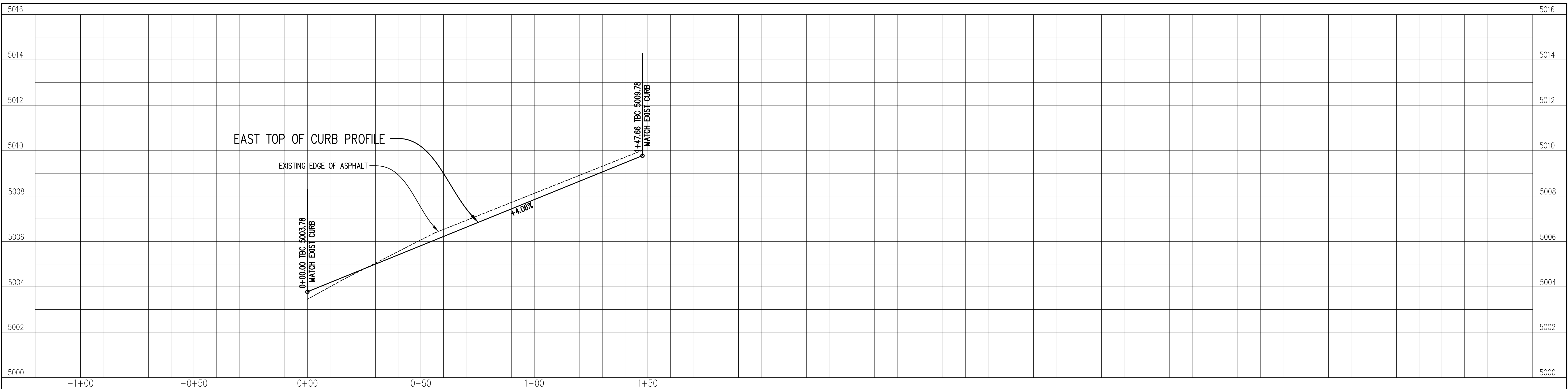
130 SOUTH STREET CHURCH SUBDIVISION		UTAH
SANTAQUIN, UTAH COUNTY		Scale: 1"=60'
Drawn by: D.W.P.	<b>COVER SHEET &amp; PHASING PLAN</b>	Date: 03/17/26
Designed by: D.W.P.		C1
Checked by: D.W.P.		



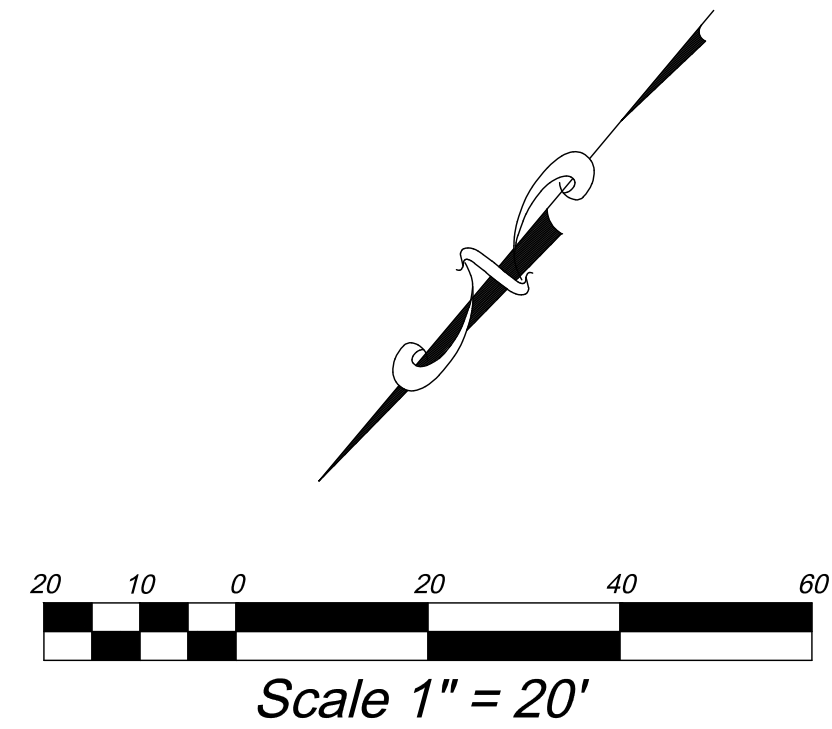
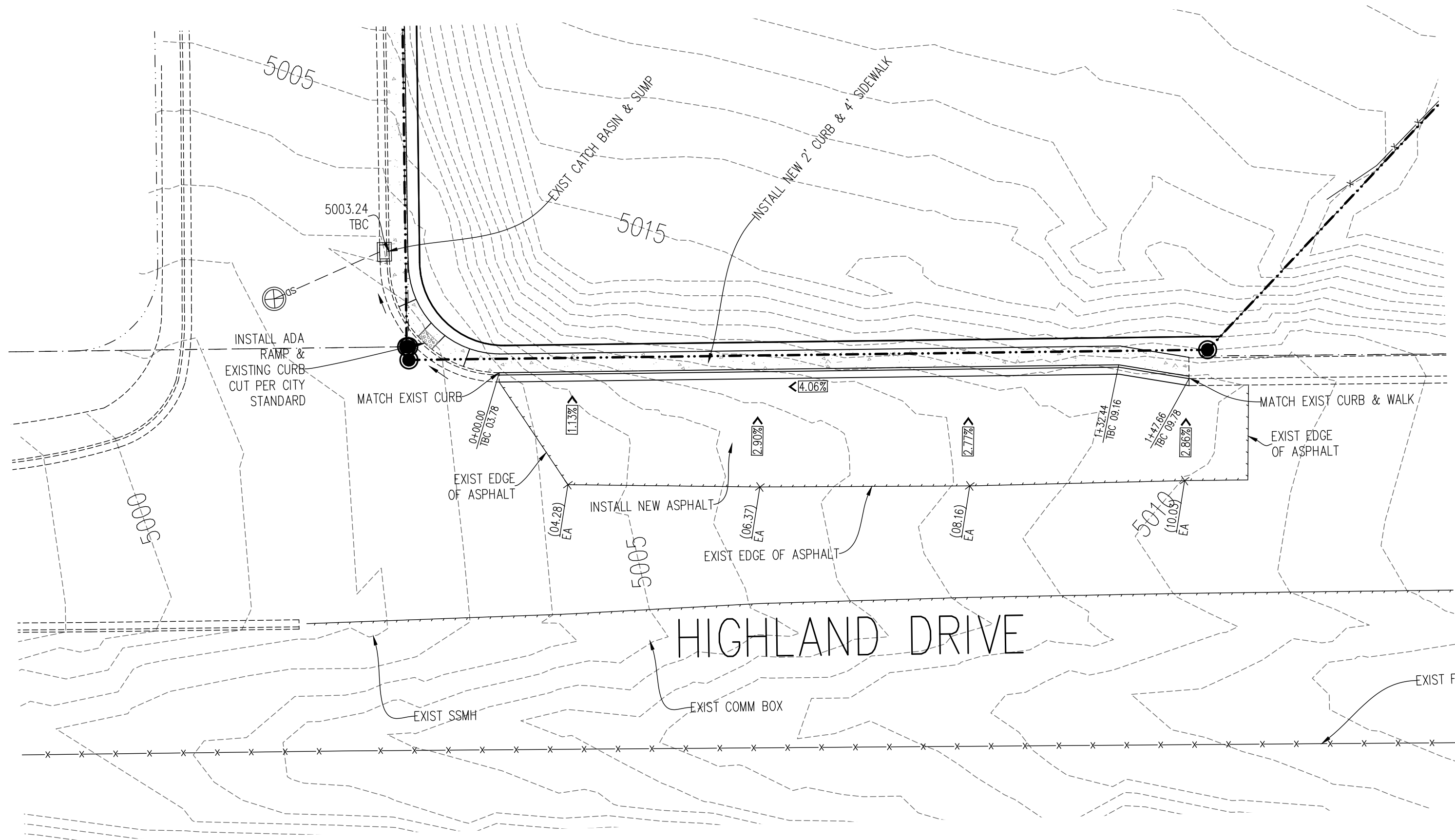


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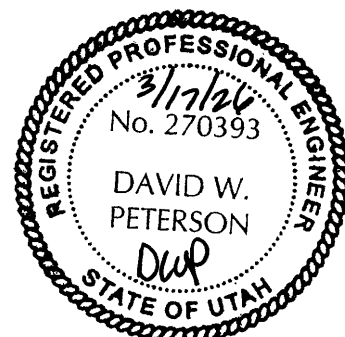
<b>THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS</b> <b>EXCEL ENGINEERING</b> David W. Peterson, P.E., License #270393 12 West 100 North, Suite 201C, American Fork, UT 84003 P: (801) 756-4504; david@excelcivil.com	EVANS & ASSOCIATES ARCHITECTURE 11576 SOUTH STATE STREET, SUITE 103B, DRAPER, UTAH 84020 801-553-8272	<b>130 SOUTH STREET CHURCH SUBDIVISION</b> SANTAQUIN, UTAH COUNTY UTAH	
	Drawn by: D.W.P. Designed by: D.W.P. Checked by: D.W.P.	<b>STORM DRAIN &amp; GRADING PLAN</b>	



HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



### HIGHLAND DRIVE TBC PLAN/PROFILE



BENCH MARK		REVISIONS	
SOUTH QUARTER CORNER, SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN ELEVATION = 5082.91 (NAVD88)		Rev.	Date
		Description	

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

EVANS & ASSOCIATES ARCHITECTURE  
11576 SOUTH STATE STREET, SUITE 103B, DRAPER, UTAH 84020 801-553-8272

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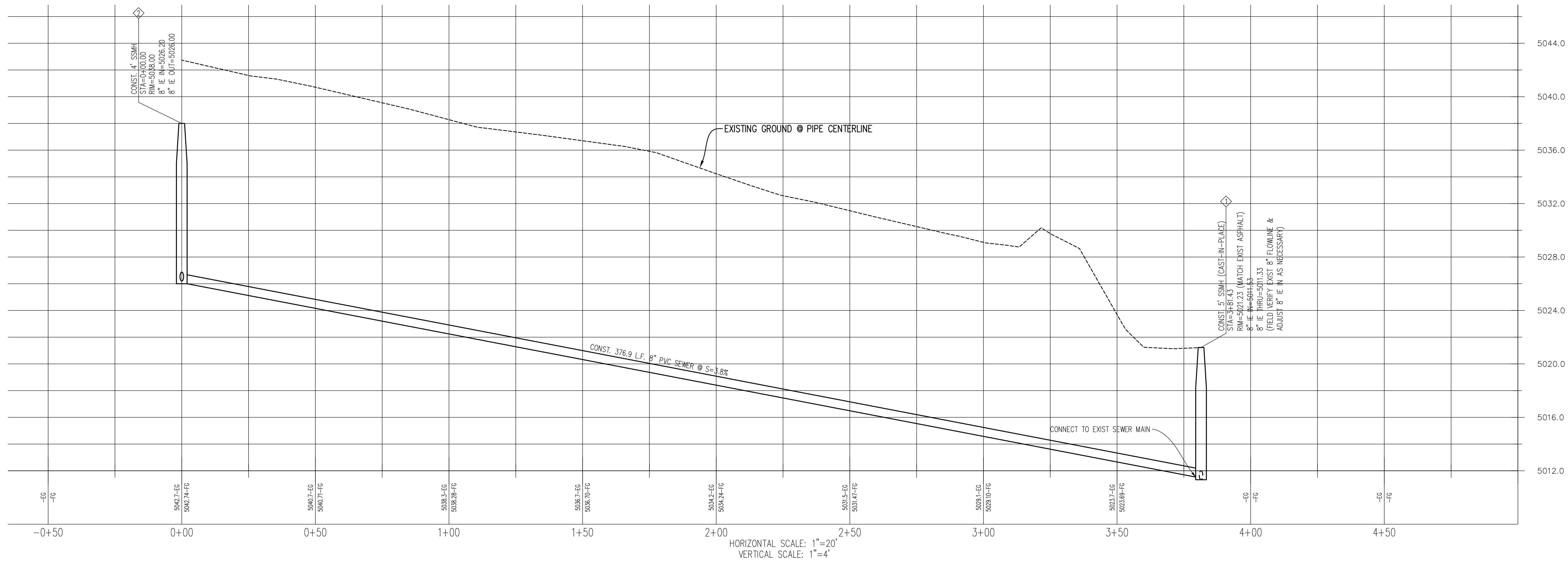
130 SOUTH STREET CHURCH SUBDIVISION  
SANTAQUIN, UTAH COUNTY UTAH

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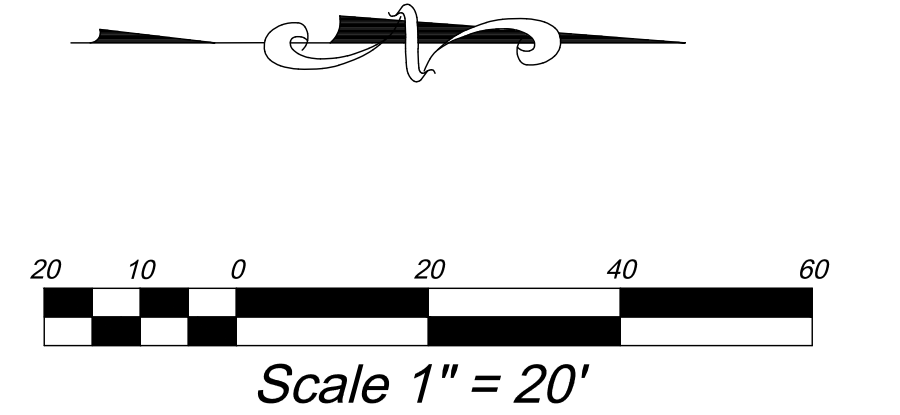
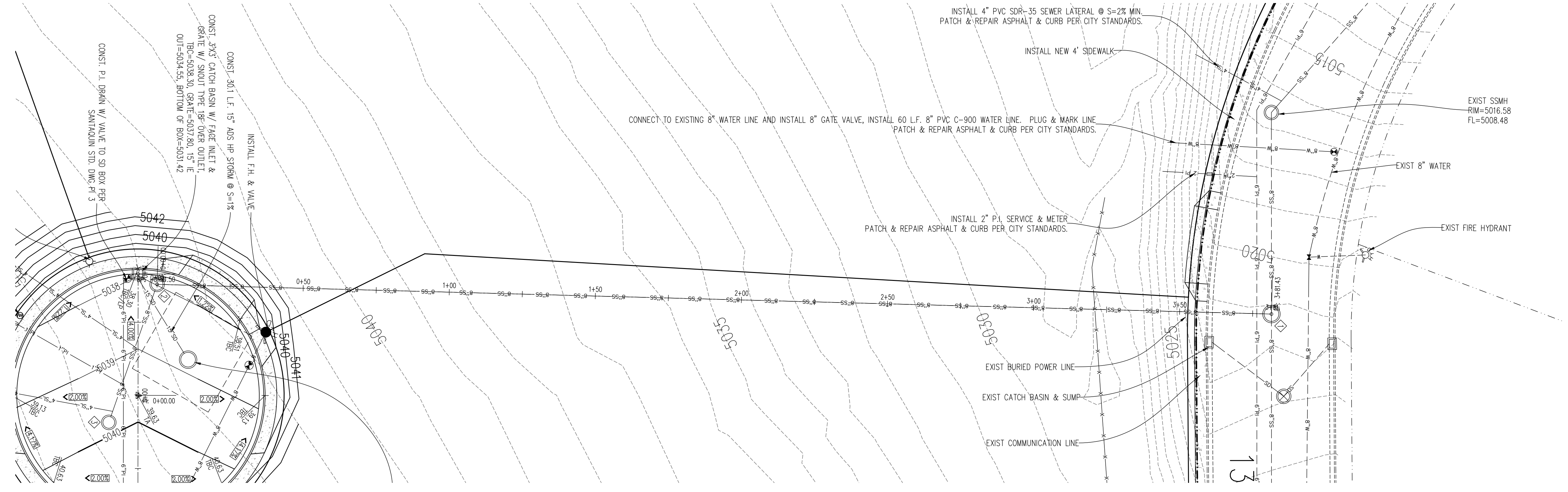
**HIGHLAND DRIVE TBC PLAN/PROFILE**

Scale: 1"=20'  
Date: 03/17/26  
PP1





HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=4'



200 SOUTH  
SEE SHEET PP2

**SEWER PLAN/PROFILE**



BENCH MARK		REVISIONS	
SOUTH QUARTER CORNER, SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN ELEVATION = 5082.91 (NAVD88)		Rev.	Date
		Description	

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

EVANS & ASSOCIATES ARCHITECTURE  
11576 SOUTH STATE STREET,  
SUITE 103B, DRAPER, UTAH  
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130 SOUTH STREET CHURCH SUBDIVISION  
SANTAQUIN, UTAH COUNTY UTAH

Drawn by: D.W.P.  
Designed by: D.W.P.  
Checked by: D.W.P.

**SEWER PLAN/PROFILE**

Scale: 1"=20'  
Date: 03/17/26  
PP3

**BMP: Concrete Waste Management** CWM



**OBJECTIVES**

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

**DESCRIPTION:**  
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

**APPLICATIONS:**  
This technique is applicable to all types of sites.

**INSTALLATION/APPLICATION CRITERIA:**

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement on-site.
- Perform washout of concrete trucks off-site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (See Earth Berm Barrier Information sheet.)
- Train employees and subcontractors in proper concrete waste management.

**LIMITATIONS:**

- Off-site washout of concrete wastes may not always be possible.

**MAINTENANCE:**

- Inspect subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.

Adapted from Salt Lake County BMP Fact Sheet

**TARGETED POLLUTANTS**

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

**IMPLEMENTATION REQUIREMENTS**

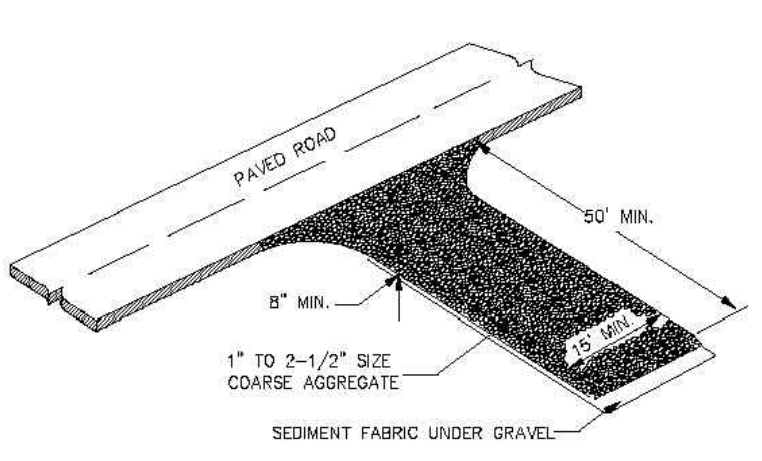
- High Impact
- Medium Impact
- Low or Unknown Impact

**IMPLEMENTATION REQUIREMENTS**

- Capital Costs
- O&M Costs
- Maintenance
- Training

■ High    ■ Medium    □ Low

**BMP: Stabilized Construction Entrance and Wash Area** SCEWA



**OBJECTIVES**

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

**DESCRIPTION:**  
A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to paved surface. The area can be used to spray off vehicles before they leave the site.

**APPLICATIONS:**  
At any point of ingress or egress at a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.

**INSTALLATION/APPLICATION CRITERIA:**

- Clear and grub area and grade to provide maximum slope of 2%.
- Compact subgrade and place filter fabric if desired (recommended for entrances to remain for more than 3 months).
- Place coarse aggregate, 1 to 2-1/2 inches in size, to a minimum depth of 8 inches.
- Provide water to the area that can be used to spray off vehicles as needed to prevent the tracking of mud off of the construction site. This may not be needed during dry periods of work, but is needed when construction is proceeding under wet conditions.
- Provide berming as needed to prevent sediment laden wash water from entering storm water facilities or other water bodies, or leaving the site.

**LIMITATIONS:**

- Requires periodic top dressing with additional stones.
- Should be used in conjunction with street sweeping on adjacent public right-of-way.
- Must be situated such that waste water does not run off site.

**MAINTENANCE:**

- Inspect daily for loss of gravel or sediment buildup.
- Inspect adjacent roadway for sediment deposit and clean by shoveling and sweeping.
- Repair entrance and replace gravel as required to maintain control in good working condition.
- Expand stabilized area as required to accommodate traffic and prevent erosion at driveways.

Adapted from Salt Lake County BMP Fact Sheet

**TARGETED POLLUTANTS**

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

**IMPLEMENTATION REQUIREMENTS**

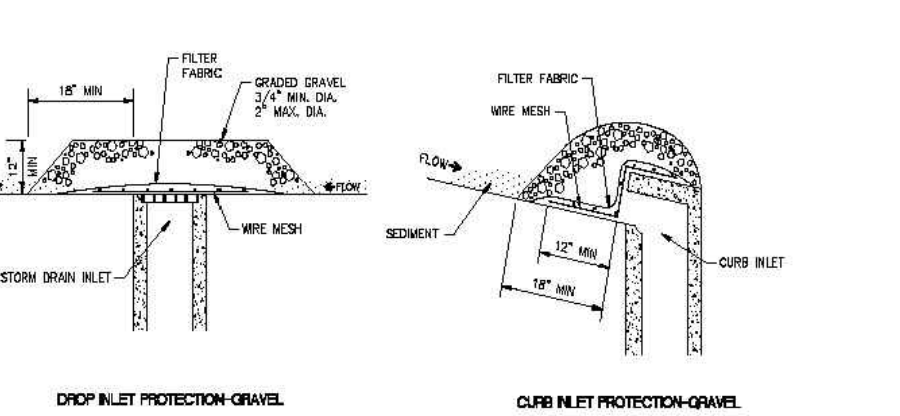
- High Impact
- Medium Impact
- Low or Unknown Impact

**IMPLEMENTATION REQUIREMENTS**

- Capital Costs
- O&M Costs
- Maintenance
- Training

■ High    ■ Medium    □ Low

**BMP: Inlet Protection - Gravel** IPG



**OBJECTIVES**

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

**DESCRIPTION:**  
Placement of gravel filter over inlet to storm drain to filter storm water runoff.

**APPLICATION:**  
Construct at inlets in paved or unpaved areas where upgradient area is to be disturbed by construction activities.

**INSTALLATION/APPLICATION CRITERIA:**

- Place wire mesh (with 1/2 inch openings) over the inlet grate extending one foot past the grate in all directions.
- Place filter fabric over the mesh. Filter fabric should be selected based on soil type.
- Place graded gravel, to a minimum depth of 12 inches, over the filter fabric and extending 18 inches past the grate in all directions.

**LIMITATIONS:**

- Recommended for maximum drainage area of one acre.
- Excess flows may bypass the inlet requiring down gradient controls.
- Ponding will occur at inlet.

**MAINTENANCE:**

- Inspect inlet protection after every large storm event and at a minimum of once monthly.
- Remove sediment accumulated when it reaches 4-inches in depth.
- Replace filter fabric and clean or replace gravel if clogging is apparent.

Adapted from Salt Lake County BMP Fact Sheet

**TARGETED POLLUTANTS**

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

**IMPLEMENTATION REQUIREMENTS**

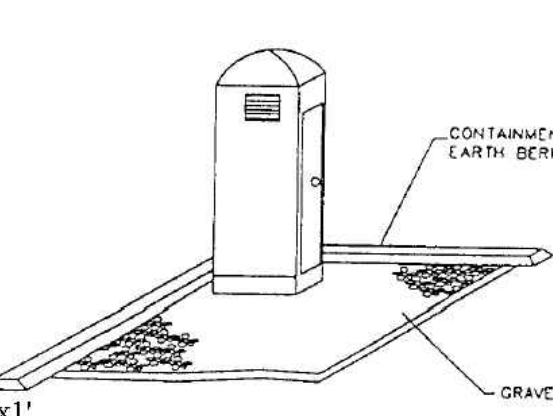
- High Impact
- Medium Impact
- Low or Unknown Impact

**IMPLEMENTATION REQUIREMENTS**

- Capital Costs
- O&M Costs
- Maintenance
- Training

■ High    ■ Medium    □ Low

**BMP: Portable Toilets** PT



**OBJECTIVES**

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

**DESCRIPTION:**  
Temporary on-site sanitary facilities for construction personnel.

**APPLICATION:**  
All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

**INSTALLATION/APPLICATION CRITERIA:**

- Locate portable toilets in convenient locations throughout the site.
- Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
- Construct earth berm perimeter (See Earth Berm Barrier Information Sheet), control for spill/protection leak.
- Stake toilets to prevent them from tipping.

**LIMITATIONS:**  
No limitations.

**MAINTENANCE:**

- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- Regular waste collection should be arranged with licensed service.
- All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.

Adapted from Salt Lake County BMP Fact Sheet

**TARGETED POLLUTANTS**

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

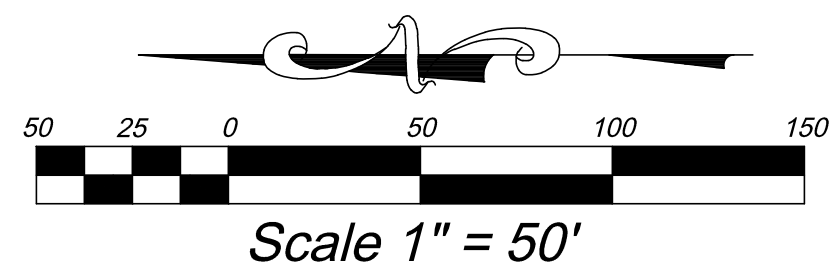
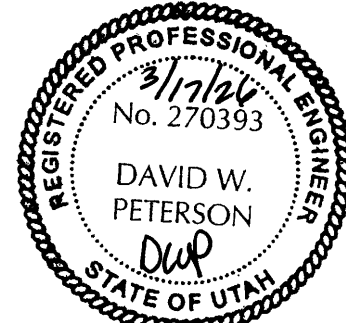
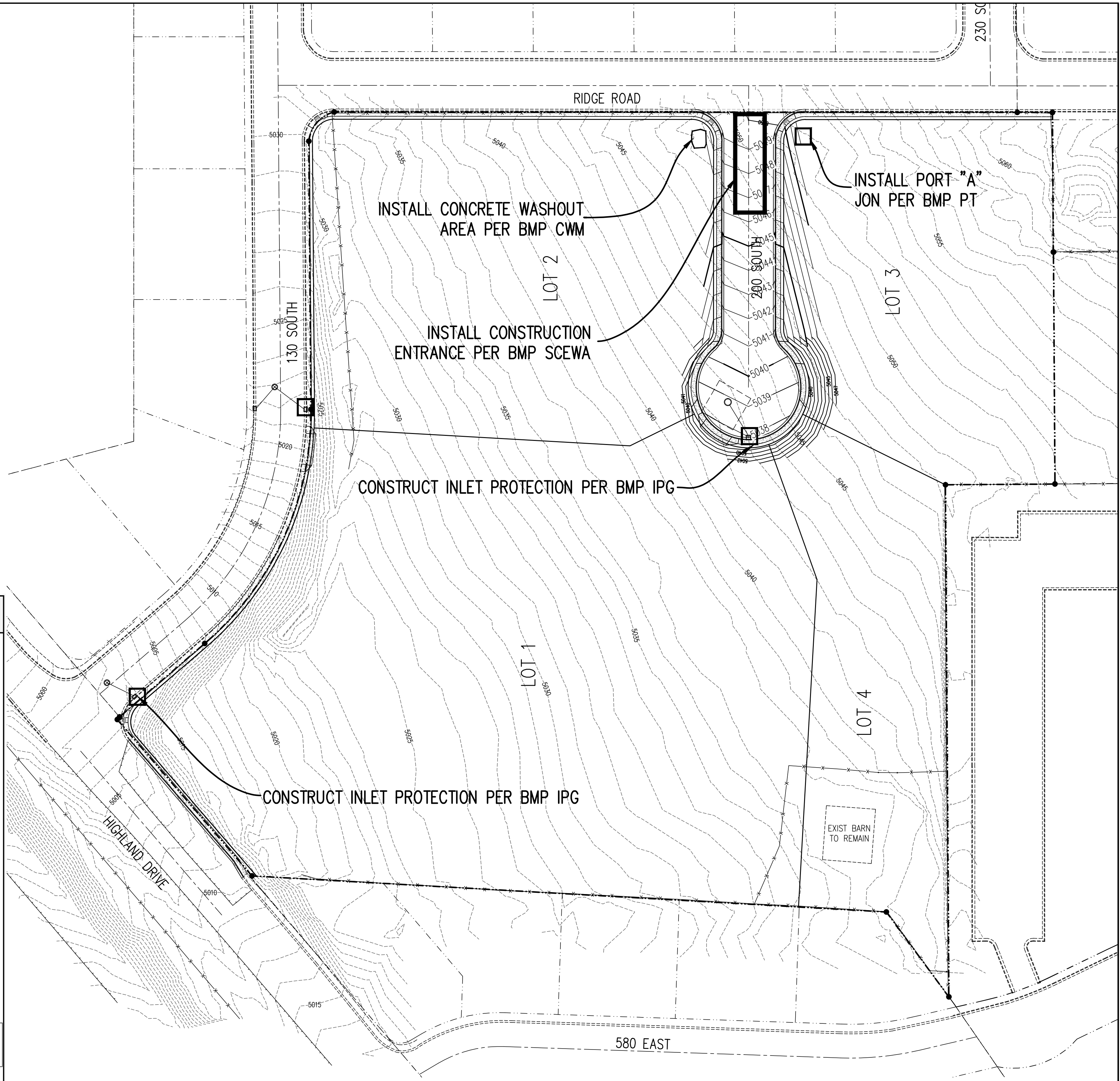
**IMPLEMENTATION REQUIREMENTS**

- High Impact
- Medium Impact
- Low or Unknown Impact

**IMPLEMENTATION REQUIREMENTS**

- Capital Costs
- O&M Costs
- Maintenance
- Training

■ High    ■ Medium    □ Low



BENCH MARK		REVISIONS	
SOUTH QUARTER CORNER, SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN ELEVATION = 5082.91 (NAVD88)		Rev.	Date
			Description

**SWPPP BOOKLET NOTE:**  
CONTRACTOR IS RESPONSIBLE TO PREPARE AND SUBMIT A COMPLETE STORM WATER PREVENTION PLAN BOOKLET WITH FULL DETAILS BASED ON THE EPA SWPPP STANDARD TEMPLATE. THIS BOOKLET INCLUDES A COPY OF THE NOTICE OF INTENT AND AN ACKNOWLEDGEMENT LETTER OBTAINED FROM STATE AFTER APPLYING FOR AN NOI PERMIT.

**EROSION CONTROL PLAN NOTES:**

- INSTALL A CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN PRIOR TO ANY GRADING ON THE SITE. SEE BMP SCEWA
- INSTALL CONCRETE WASHOUT AREA. SEE BMP CWM
- INSTALL PORT "A" JON. SEE BMP PT
- CONSTRUCT STORM DRAIN FACILITIES AND INSTALL INLET PROTECTION AFTER INSTALLATION. SEE BMP IPG.
- CONTRACTOR WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF BMP'S DURING CONSTRUCTION.
- CONTRACTOR TO WATER SITE AT LEAST WEEKLY OR MORE FREQUENTLY AS NEEDED TO CONTROL DUST POLLUTION.

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

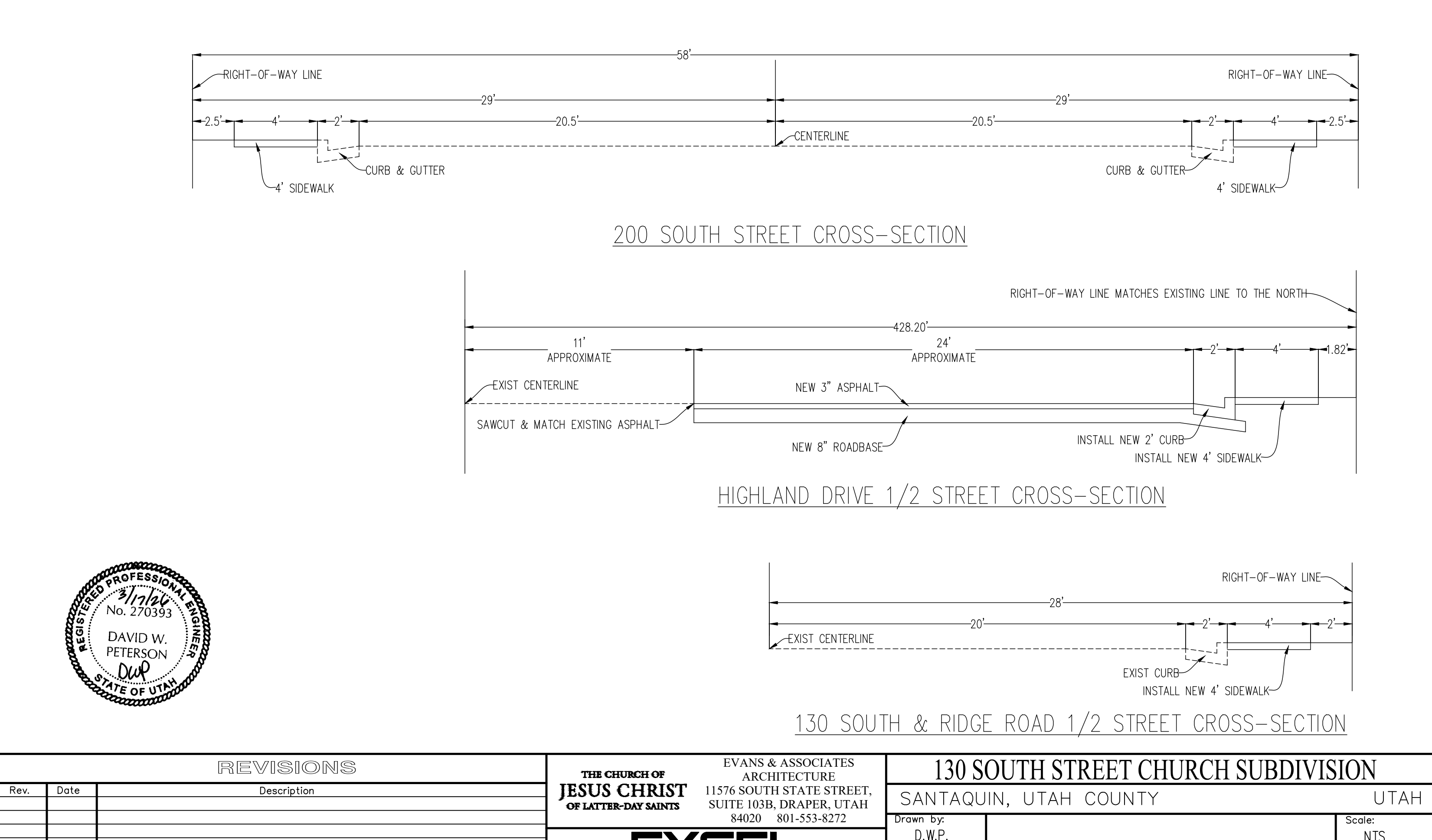
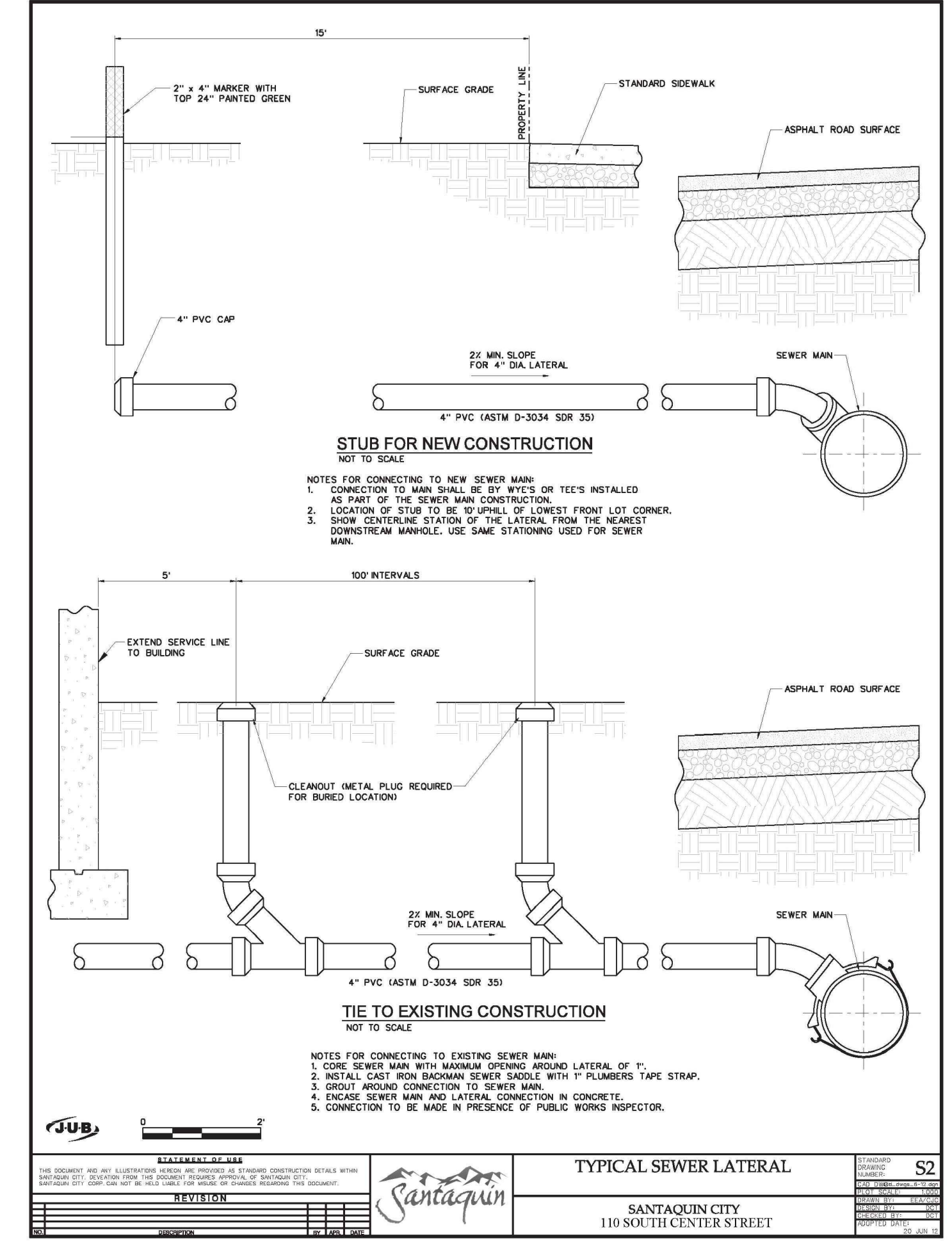
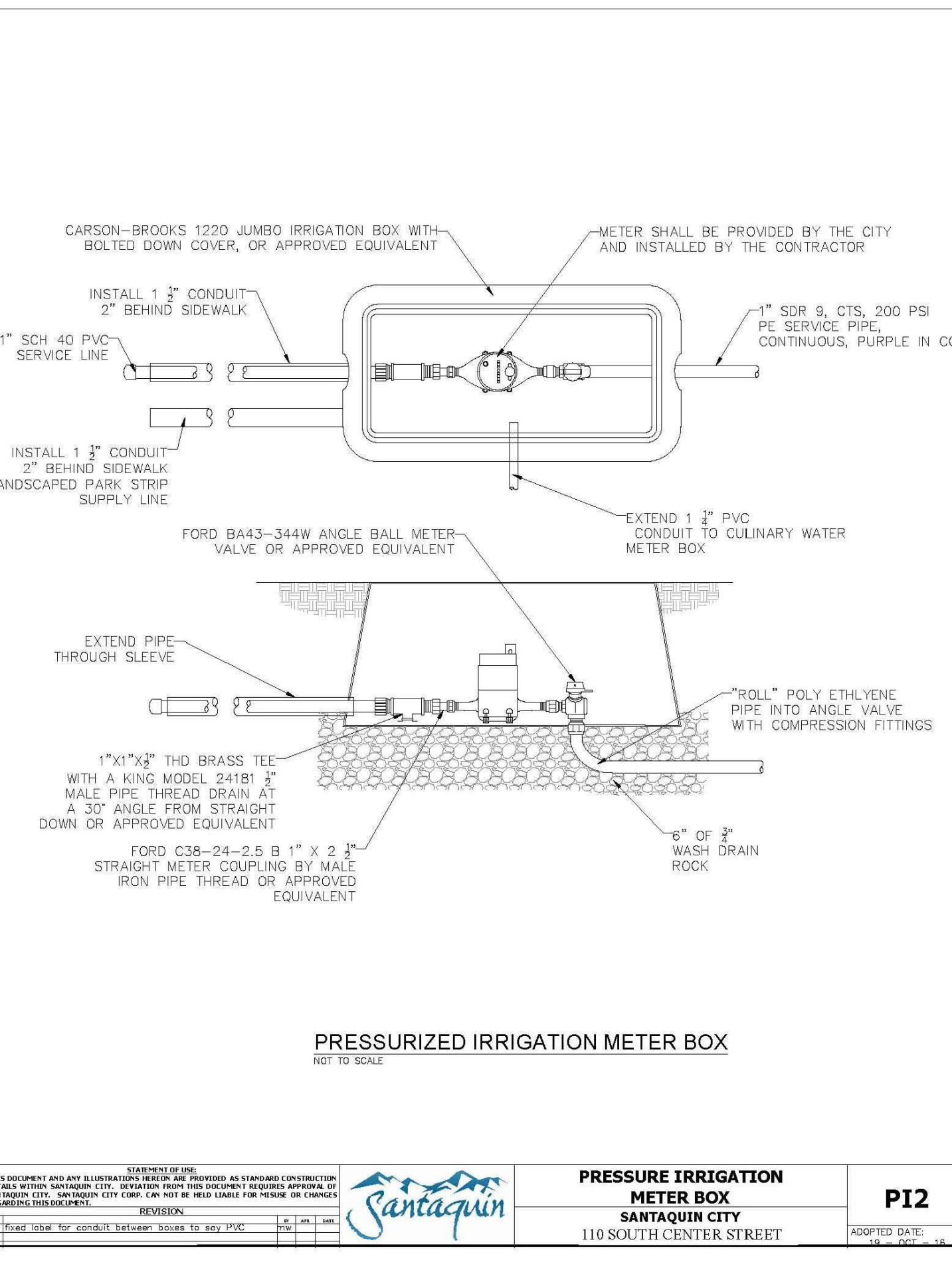
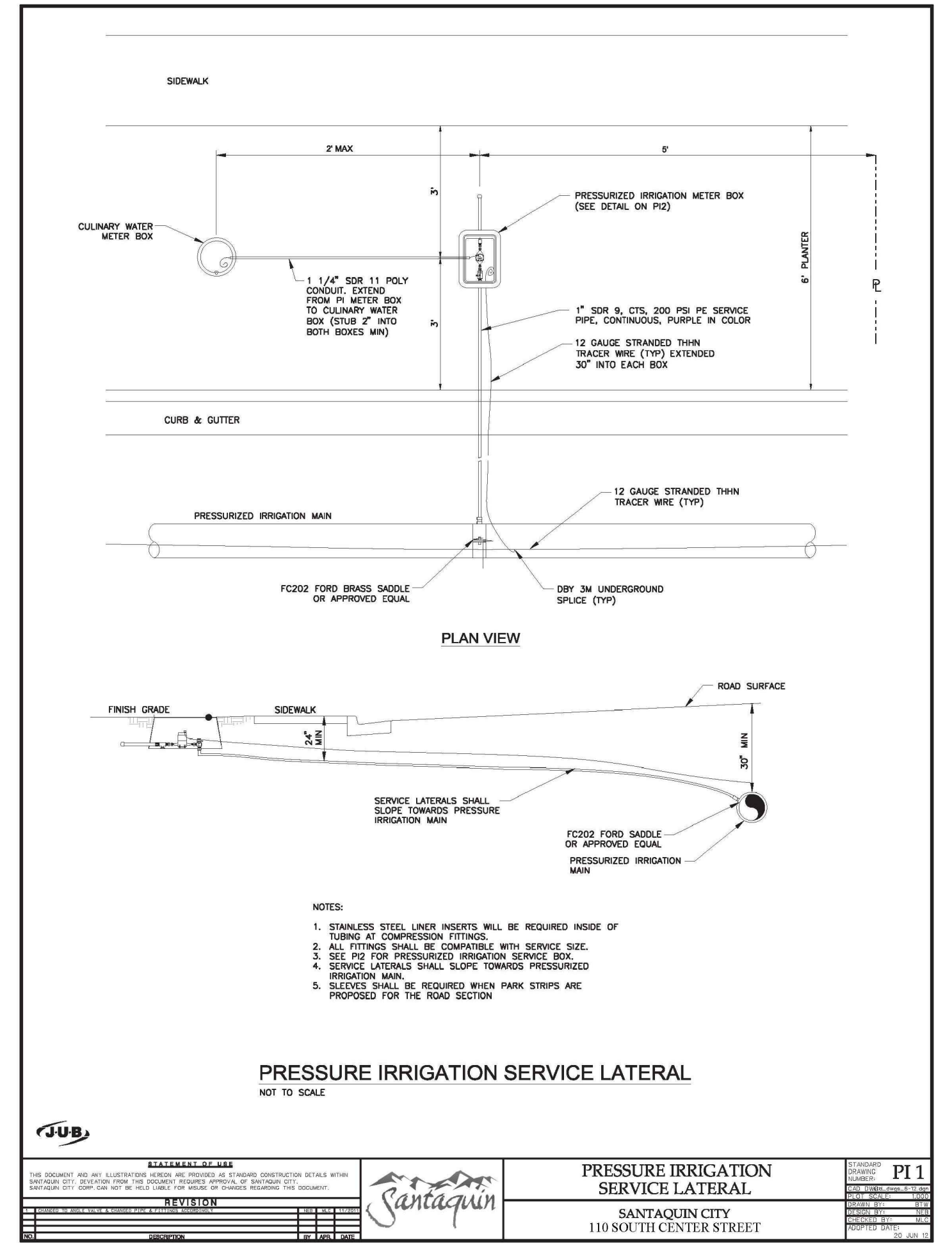
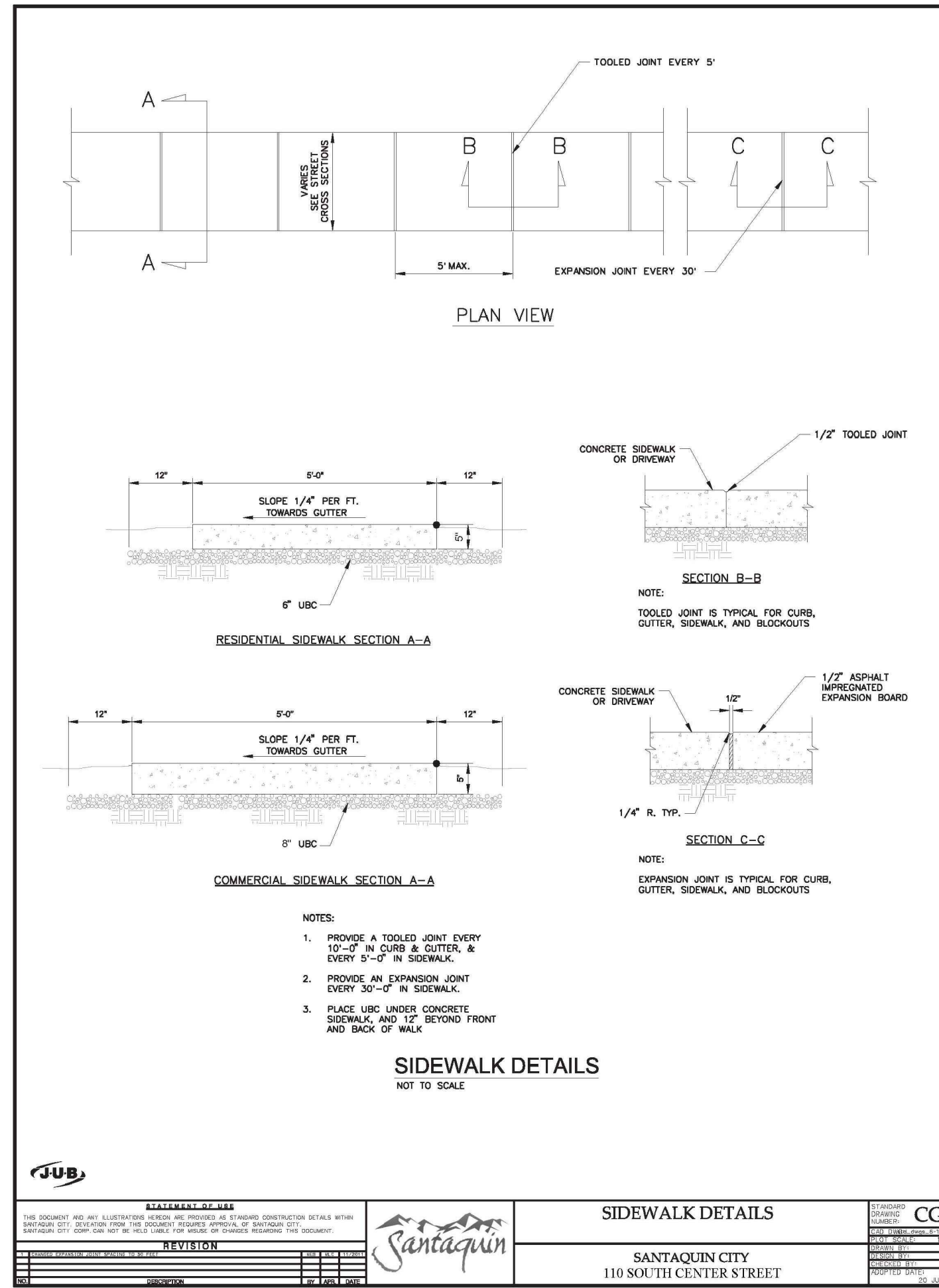
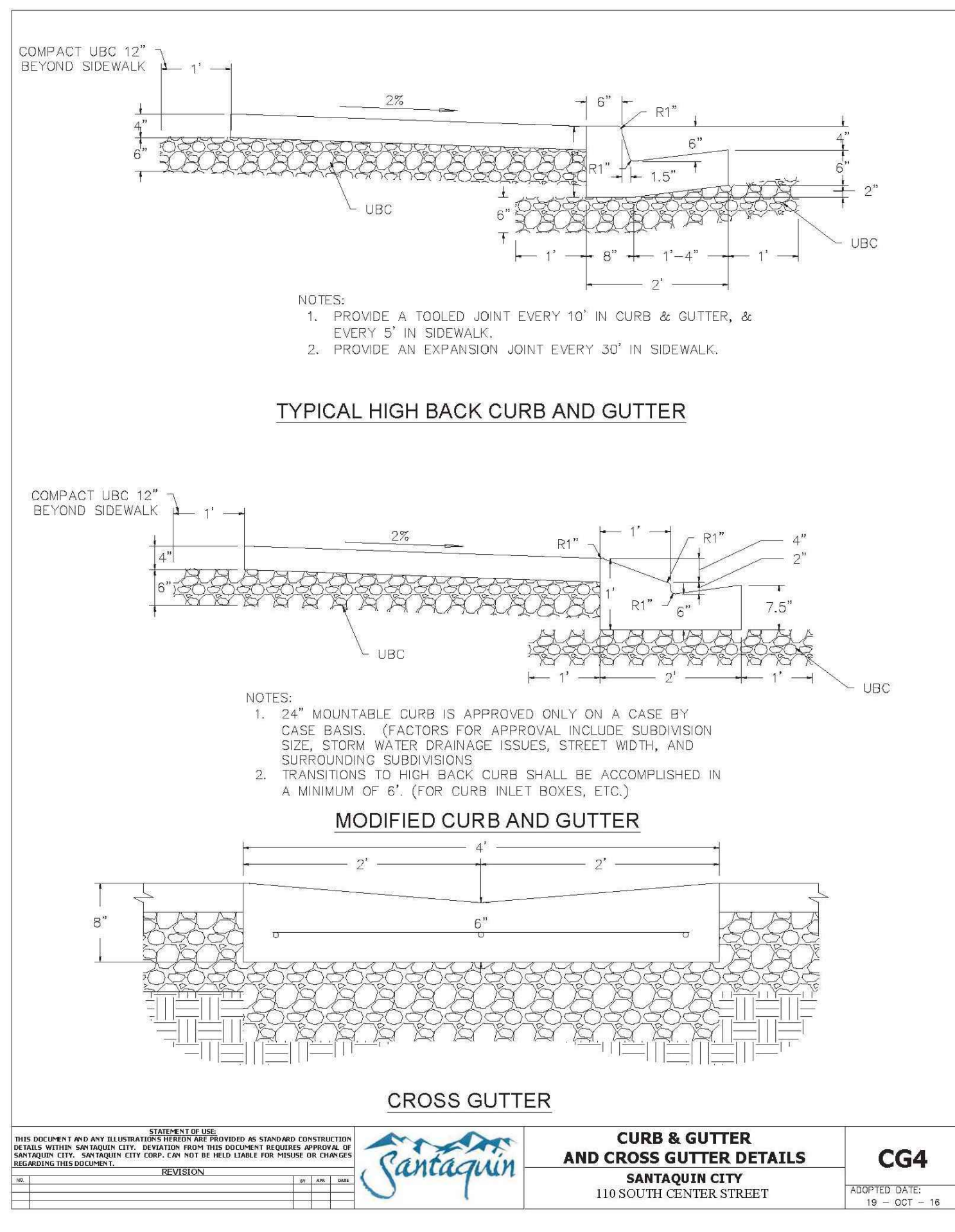
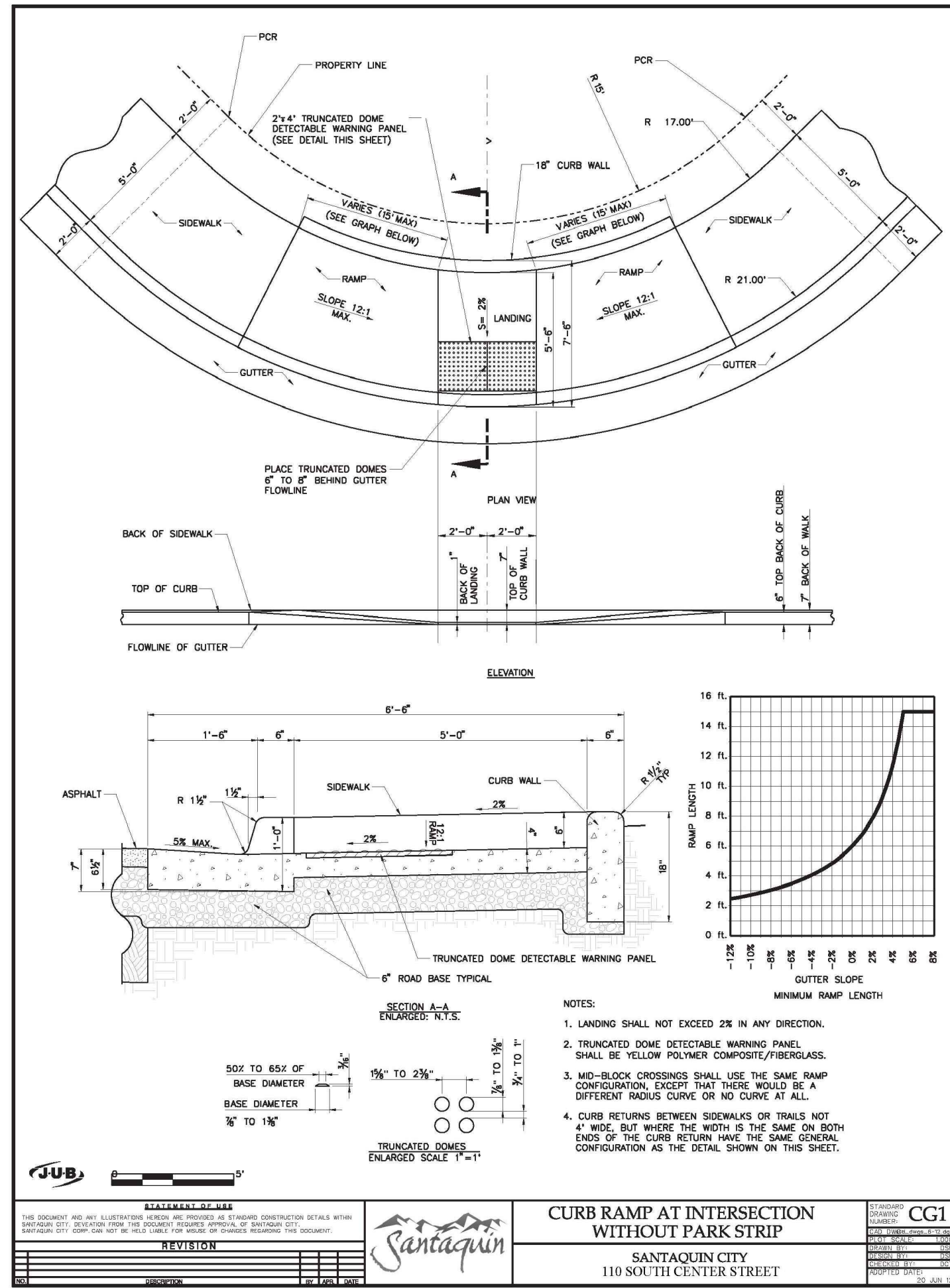
EVANS & ASSOCIATES ARCHITECTURE  
11576 SOUTH STATE STREET, SUITE 103B, DRAPER, UTAH 84020 801-553-8272

**EXCEL ENGINEERING**  
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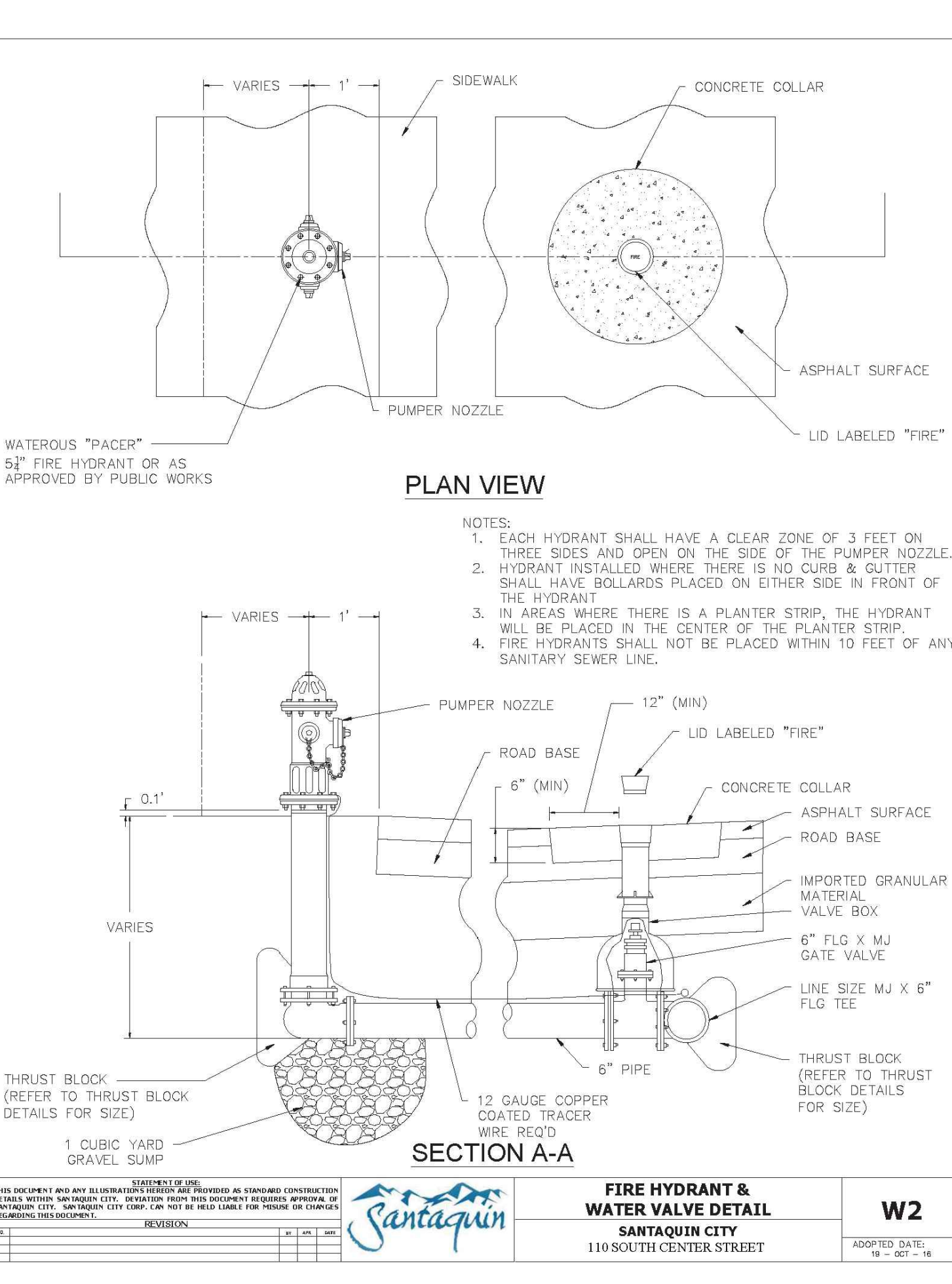
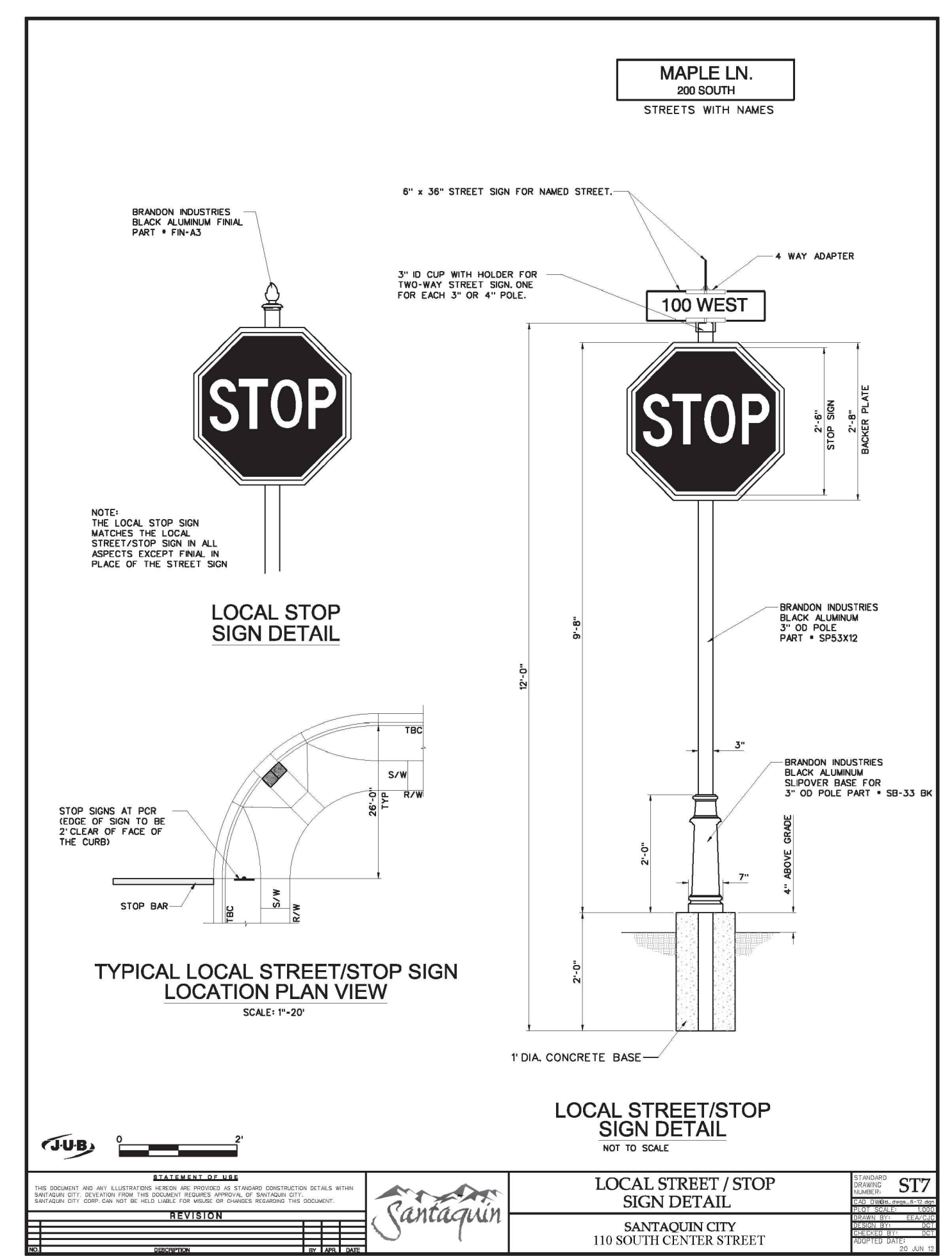
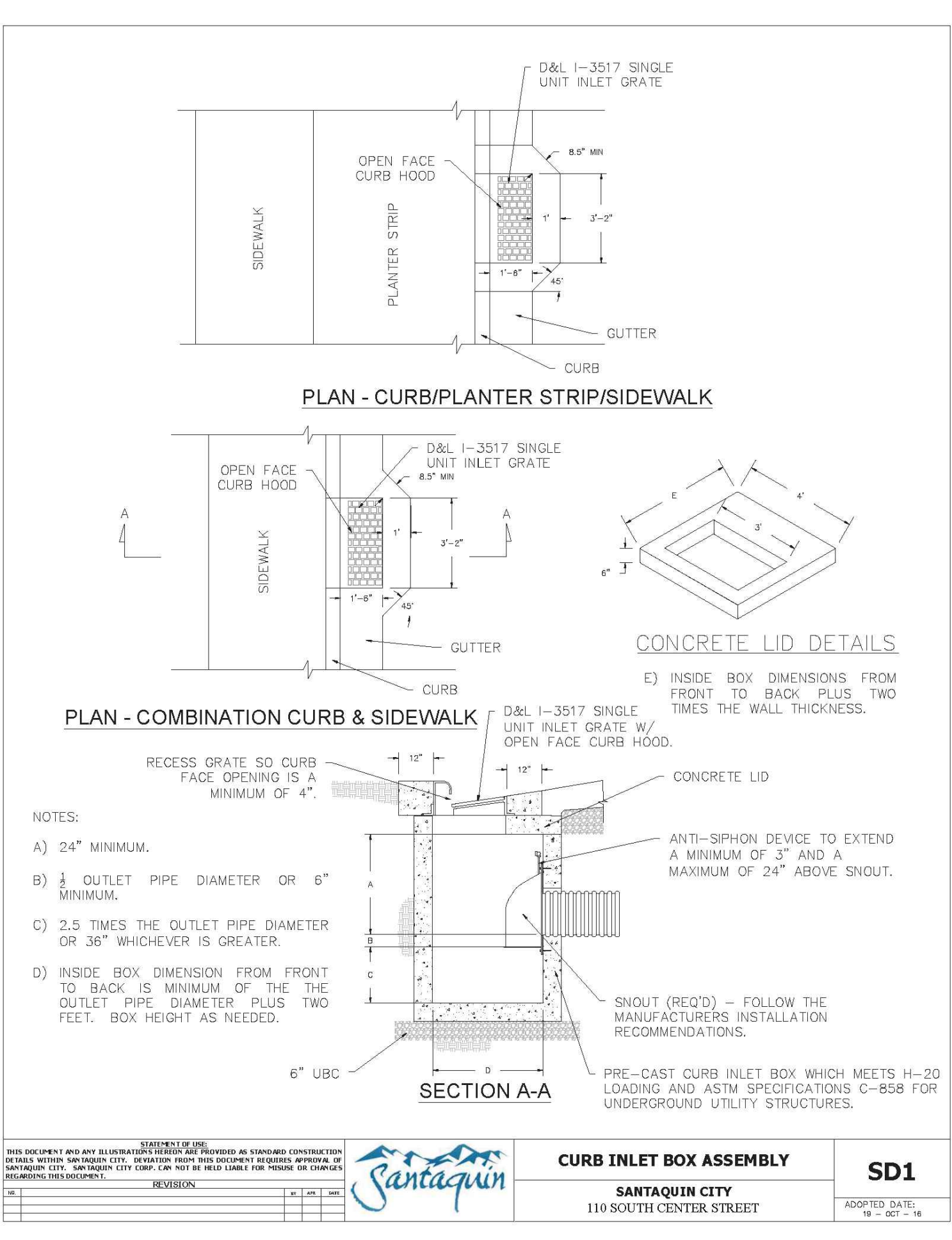
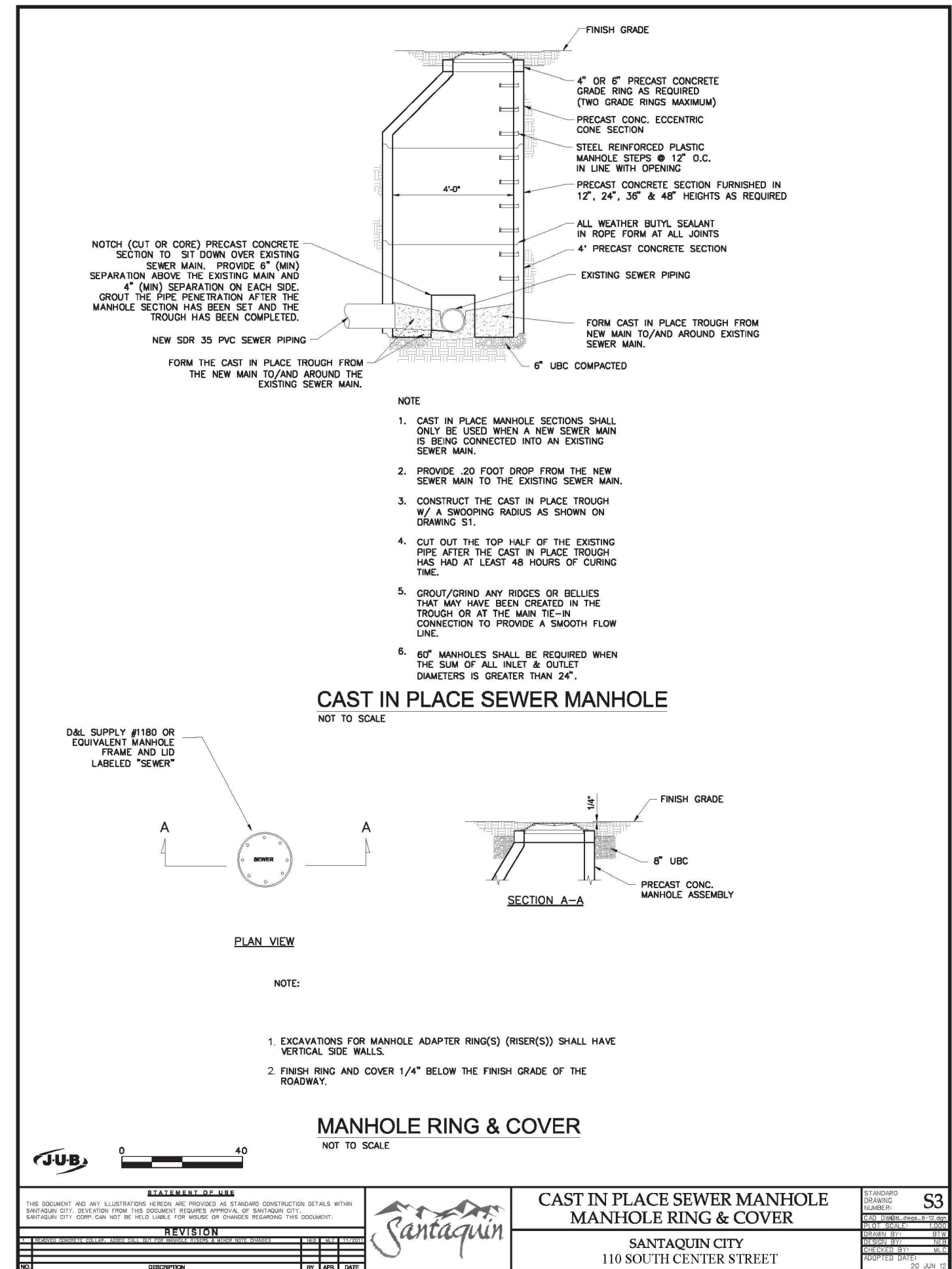
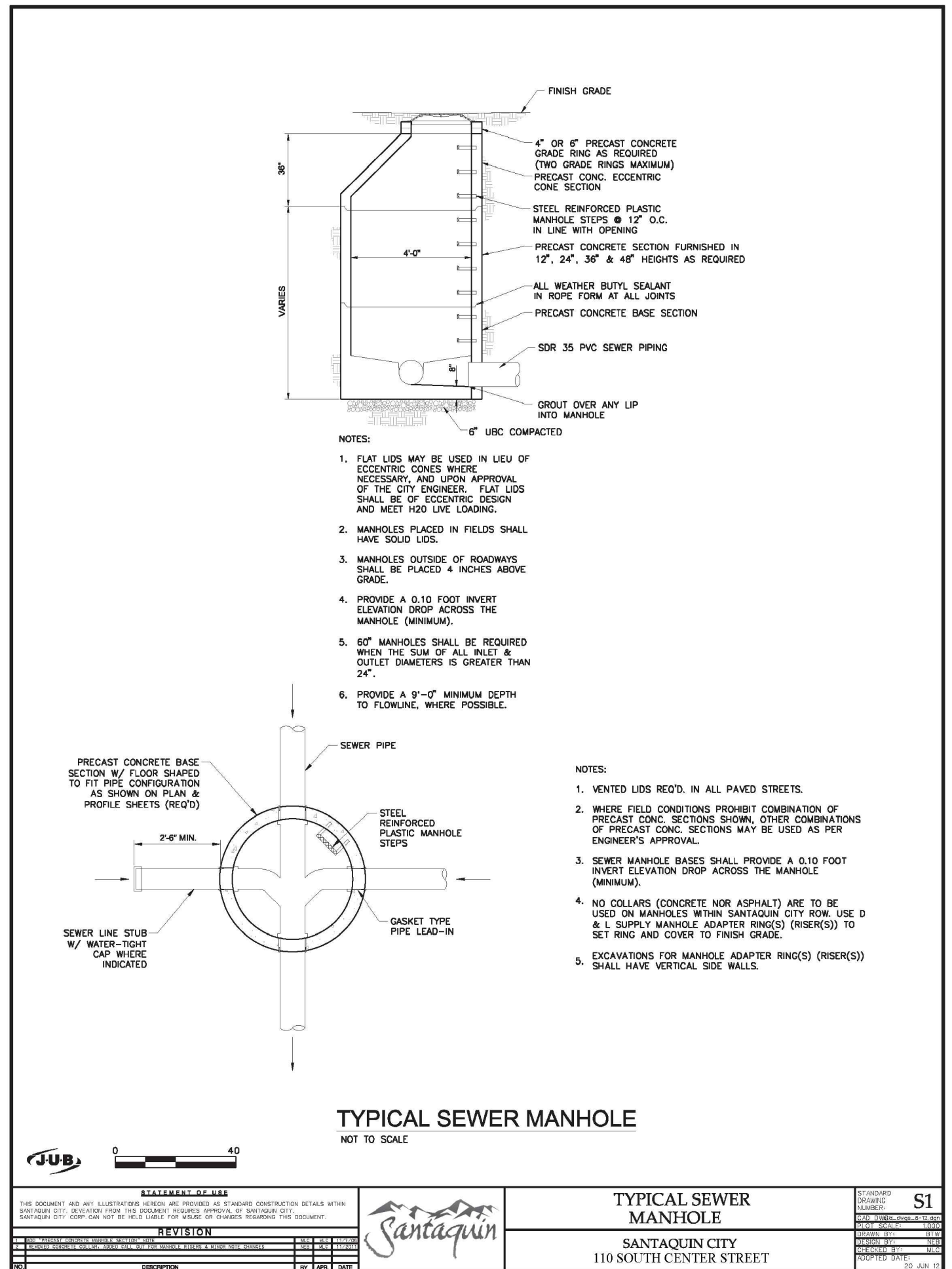
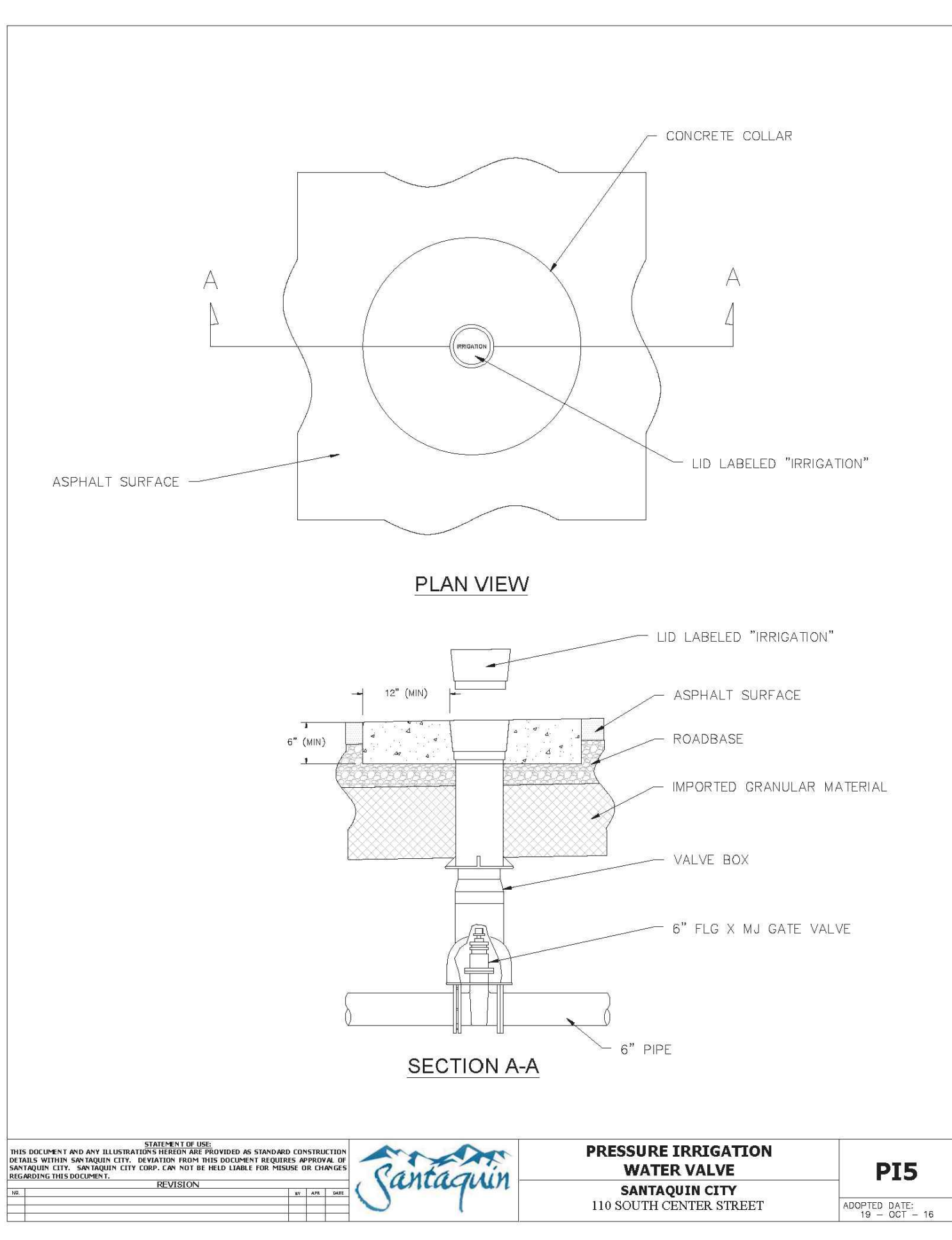
**130 SOUTH STREET CHURCH SUBDIVISION**  
SANTAQUIN, UTAH COUNTY UTAH

**EROSION CONTROL PLAN**

Scale: 1"=50'  
Date: 03/17/26  
SWP1







**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

**EVANS & ASSOCIATES ARCHITECTURE**  
11576 SOUTH STATE STREET, SUITE 103B, DRAPER, UTAH 84020 801-553-8272

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P: (801) 756-4504; david@exceliv.com

**DAVID W. PETERSON**  
DWP  
REGISTERED PROFESSIONAL ENGINEER  
No. 270393  
STATE OF UTAH

REVISIONS	
Rev.	Description

**130 SOUTH STREET CHURCH SUBDIVISION**

SANTAQUIN, UTAH COUNTY UTAH

Drawn by: D.W.P.	<b>DETAIL SHEET</b>	Scale: NTS
Designed by: D.W.P.		Date: 03/17/26
Checked by: D.W.P.		D3

**ENBRIDGE GAS UTAH ACCEPTANCE**

Questar Gas Company, dba Enbridge Gas Utah ("Enbridge"), approves this plat solely to confirm that the plat contains public utility easements. This approval does not (a) affect any right Enbridge has under Title 54, Chapter 8a, a recorded easement or right-of-way, prescriptive rights, or any provision of law; (b) constitute acceptance of any terms contained in any portion of the plat; and (c) guarantee any terms or waive Enbridge's right to require additional easements for gas service.

Questar Gas Company  
dba Enbridge Gas Utah

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ By \_\_\_\_\_

Title \_\_\_\_\_

**ROCKY MOUNTAIN POWER**

- Pursuant to Utah Code Ann § 54-3-27 this plat conveys to the owner(s) or operators of utility facilities a public utility easement along with all the rights and duties described therein.
- Pursuant to Utah Code Ann § 10-9a-603 Rocky Mountain Power accepts delivery of the PUE as described in this plat and approves this plat solely for the purpose of confirming that the plat contains public utility easements and approximates the location of the public utility easements, but does not warrant their precise location. Rocky Mountain Power may require other easements in order to serve this development. This approval does not affect any right that Rocky Mountain Power has under
  - A recorded easement or right-of-way
  - The law applicable to prescriptive rights
  - Title 54, Chapter 8a, Damage to Underground Utility Facilities, or
  - Any other provision of law

ROCKY MOUNTAIN POWER \_\_\_\_\_ DATE \_\_\_\_\_

**AGRICULTURAL COMMUNITY NOTE**

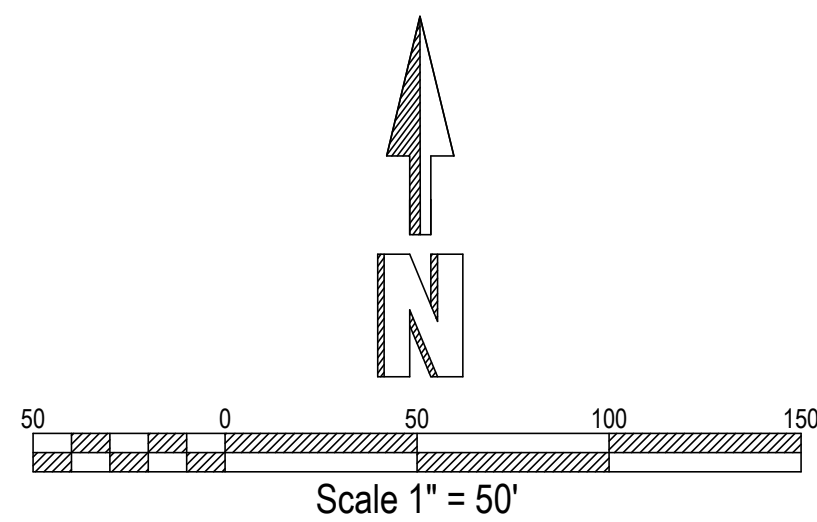
This property is located in an agricultural community in which normal agricultural uses and activities are common and part of the identity of Santaquin City. It can be anticipated that such agricultural uses and activities may now or in the future be conducted near this property. Property owners need to understand and acknowledge that they may experience annoyance or inconvenience which may result from such normal agricultural uses and activities. Additionally, property owners must refrain from trespassing on private property which can negatively impact the integrity of agricultural lands and businesses.

**CURVE TABLE**

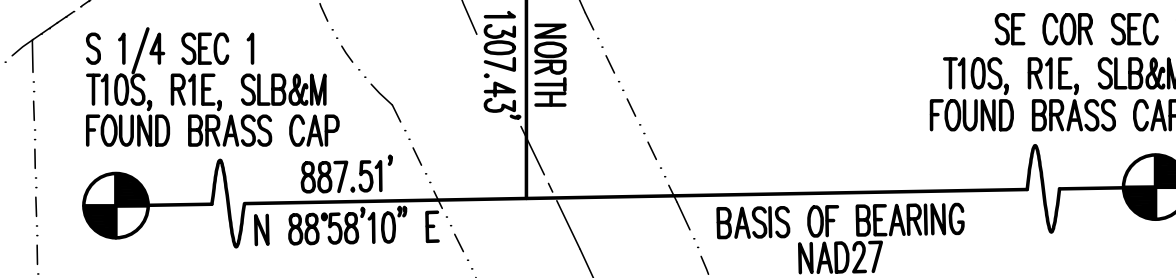
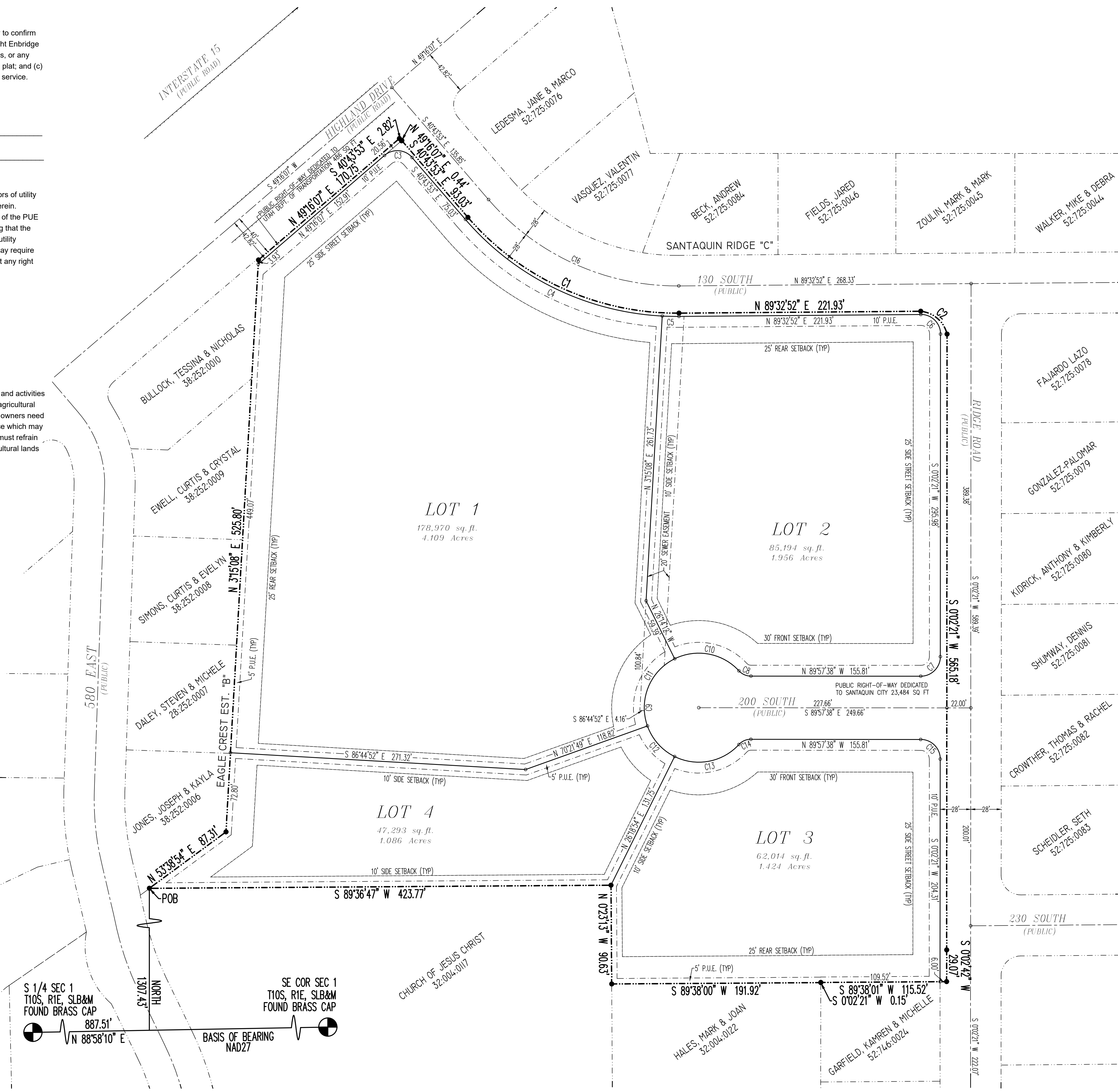
CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	253.00	219.55	49°43'15"	212.73	S 65°35'30" E
C2	27.60	34.17	70°56'12"	32.03	S 48°59'17" E
C3	18.00	28.27	90°00'00"	25.46	S 85°43'53" E
C4	256.00	206.82	46°17'18"	201.24	S 63°52'32" E
C5	256.00	15.34	3°25'57"	15.33	S 88°44'10" E
C6	18.00	28.43	90°29'29"	25.56	S 45°12'23" E
C7	18.00	28.27	90°00'01"	25.46	S 45°02'21" W
C8	15.00	12.41	47°23'47"	12.06	N 66°15'45" W
C9	50.00	239.80	274°47'34"	67.69	S 0°02'22" W
C10	50.00	64.29	73°40'21"	59.95	N 79°24'02" W
C11	50.00	72.78	83°23'58"	66.52	S 22°03'49" W
C12	50.00	38.44	44°02'55"	37.50	S 41°39'38" E
C13	50.00	64.29	73°40'19"	59.95	N 79°28'45" E
C14	15.00	12.41	47°23'47"	12.06	N 66°20'29" E
C15	18.00	28.27	89°59'59"	25.46	S 44°57'39" E
C16	228.00	197.86	49°43'15"	191.71	S 65°35'30" E

**PLAT NOTES**

- All lots are buildable lots.



**VICINITY MAP**



SURVEYOR:  
**AZTEC ENGINEERING**  
732 N. 780 W. AMERICAN FORK, UT, 84003  
aztecengineering@gmail.com

**SURVEYOR'S CERTIFICATE**

I, AARON D. THOMAS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 6418780 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND IN LOTS, BLOCKS, STREETS AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE \_\_\_\_\_ (SEE SEAL BELOW)

**BOUNDARY DESCRIPTION**

Beginning at a point located North 88°58'10" East along section line 887.51 feet and North 1307.43 feet from the South Quarter Corner of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian; thence along the boundary of Eagle Crest Estates Plat "B" the following two courses and distances: 1) North 53°38'54" East 87.31 feet, and North 3°15'08" East 525.80 feet; thence North 49°16'07" East along the easterly right-of-way line of Highland Drive a distance of 170.75 feet; thence South 40°43'53" East 2.82 feet; thence North 49°16'07" East 0.44 feet; thence along the boundary of Santaquin Ridge Plat "C" the following five courses and distances: 1) South 40°43'53" East 93.03 feet, and 2) along the arc of a 253.00 foot radius curve to the left 219.55 feet through a central angle of 49°43'15" (chord bears South 65°35'30" East 212.73 feet), 3) North 89°32'52" East 221.93 feet, 4) along the arc of a 27.60 foot radius non-tangent curve to the right 34.17 feet through a central angle of 70°56'12" (chord bears South 48°59'17" East 32.03 feet), and 5) South 0°02'21" West 565.18 feet; thence along the boundary of Santaquin Ridge Plat "D" the following three courses and distances: 1) South 0°02'42" West 29.07 feet, 2) South 89°38'01" West 115.52 feet, and 3) South 0°02'21" West 0.15 feet; thence South 89°38'00" West 191.92 feet; thence North 0°23'13" West 90.63 feet; thence South 89°36'47" West 423.77 feet to the point of beginning.

Area = 397,441 sq. ft. or 9.124 Acres, Contains 2 Lot

Basis of Bearing is North 88°58'10" East along Section line from the South Quarter Corner to the Southeast Corner of said Section 1.

**OWNER'S DEDICATION**

KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNER(S) OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HERON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

MARK B. HALES \_\_\_\_\_ JOAN B. HALES \_\_\_\_\_

**ACKNOWLEDGMENT**

STATE OF UTAH S.S.  
COUNTY OF UTAH

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ WHO REPRESENTED THAT SHE IS THE OWNER OF THE ABOVE DESCRIBED PROPERTY AND HAVE THE AUTHORITY TO EXECUTE THIS INSTRUMENT.

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC (SEE SEAL BELOW)

**PLANNING COMMISSION APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_ BY THE PLANNING COMMISSION.

CHAIRMAN \_\_\_\_\_ DIRECTOR / SECRETARY \_\_\_\_\_

**CENTRACOM ACCEPTANCE**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_ BY CENTRACOM.

BY \_\_\_\_\_ TITLE \_\_\_\_\_

**CENTURY LINK ACCEPTANCE**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_ BY CENTURY LINK.

BY \_\_\_\_\_ TITLE \_\_\_\_\_

**PLAT "A"**

**130 SOUTH STREET CHURCH SUBDIVISION**

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 1,  
TOWNSHIP 10 SOUTH, RANGE 1 EAST, SLB&M

SANTAQUIN CITY \_\_\_\_\_ UTAH COUNTY, UTAH

SCALE: 1" = 50 FEET

Surveyor's Seal	Notary Public Seal	City Engineer's Seal	Clerk-Recorder Seal	County Recorder Seal
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