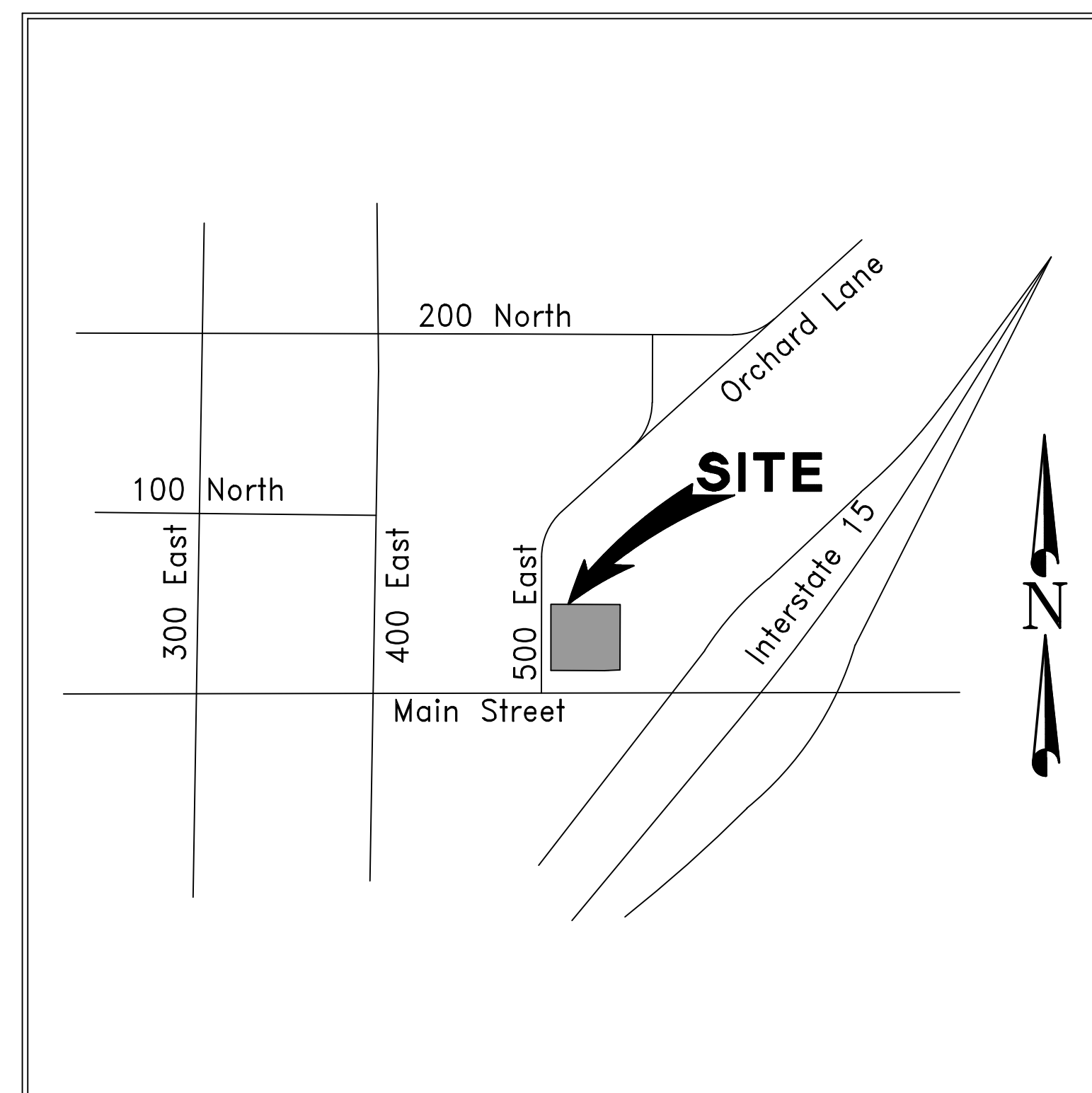


38 NORTH 500 EAST SANTAQUIN, UTAH

SITE 043-0320

SITE IMPROVEMENT PLANS (CIVIL PACKAGE)



Vicinity Map
Not to Scale

ISSUE DATE	DESCRIPTION	REVISION
4/15/2022	CITY SUBMITTAL #1	
5/25/2022	CITY SUBMITTAL #2	A

NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS / HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

INDEX OF SHEETS		
REVISION	SHEET NO.	SHEET
		COVER SHEET
	1 of 2	ALTA/ACSM LAND TITLE SURVEY
	2 of 2	ALTA/ACSM LAND TITLE SURVEY
	A GN-1	GENERAL NOTES
	A DM-1	SITE DEMOLITION PLAN
	A SP-1	SITE IMPROVEMENT PLAN
	A SP-1A	SITE DRIVE THRU LAYOUT
	A SP-1B	VEHICLE QUEUING EXHIBIT
	A SP-2	SITE UTILITY PLAN
	A SP-3	SITE GRADING & DRAINAGE PLAN
	A DT-1	DRIVE THRU DETAILS (DIGITAL PLATFORM)
	A DT-2	DRIVE THRU DETAILS (DIGITAL PLATFORM)
	A DT-3	DRIVE THRU DETAILS (DIGITAL PLATFORM)
	A SD-1	SITE DETAILS (McDONALD'S)
	A SD-2	SITE DETAILS (McDONALD'S)
	A SD-3	TRASH ENCLOSURE/STORAGE BLDG. DETAILS
	A SD-4	MISCELLANEOUS SITE DETAILS
	A SD-5	MISCELLANEOUS SITE DETAILS
	A SD-6	ADA STANDARD DETAILS
	A SD-7	STORM DRAINAGE DETAILS
	A SD-8	SANTAQUIN CITY DETAILS
	A LS-1	LANDSCAPE PLAN
	A LS-2	IRRIGATION PLAN
	A EC-1	EROSION CONTROL PLAN
	A LTG-1	LIGHTING PLAN
	A2.0	BUILDING ELEVATIONS
	A2.1	BUILDING ELEVATIONS
		BUILDING COLOR ELEVATIONS

FOR
McDONALD'S CORPORATION

4643 South Ulster Street, Suite 1300
Denver, Colorado 80237
(303) 779-0444

PREPARED BY



Dominion
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000



SURVEYOR'S CERTIFICATE:

To McDonald's USA, LLC, a Delaware limited liability company, McDonald's Real Estate Company, a Delaware corporation and McDonald's Corporation, a Delaware corporation, Cottonwood Title Insurance Agency, Inc. and Chicago Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(a), 7(b), 7(c), 8, 9, 10(a), 10(b), 11, 13, 14, 16, 17, 18, 19, 20, and 21 of Table A thereof. The original fieldwork was completed on October 9, 2020.

RECORD DESCRIPTION

PARCEL 1:

A parcel of land located in PARCEL A, RIDLEY'S SUBDIVISION, a part of the Northeast quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, Utah County, Utah, described as follows:

BEGINNING at the Southwest corner of Parcel A, Ridley's Subdivision, said corner being South 00°30'50" East 2,555.26 feet along the West line of the Northeast quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian and South 89°46'05" East 559.13 feet from the North quarter corner of said Section 1; thence along the East line of 500 East Street North 00°10'03" East 217.95 feet; thence South 89°47'57" East 228.03 feet; thence South 00°14'20" West 215.67 feet to the Southerly line of said Parcel A; thence along said line the following two courses: 1) South 87°33'23" West 51.51 feet and 2) North 89°46'05" West 176.31 feet to the POINT OF BEGINNING.

PARCEL 2:

The non-exclusive easements, appurtenant to Parcel 1 above, for vehicular parking, vehicular and pedestrian ingress and egress, utilities and storm sewer lines, as created by and defined in that certain Ground Lease and Shopping Center Addendum attached thereto dated April 20, 2021, as said Ground Lease and Addendum are evidenced by a Memorandum of Lease recorded _____, 2021 as Entry No. _____ in Book _____ at Page _____, within those portions of the following described property intended for such purposes:

That parcel of land conveyed to CJM Limited Liability Limited Partnership, an Idaho limited partnership in Quit-Claim Deed recorded February 11, 2021 as Entry No. 26503:2021 in the office of the Utah County Recorder, described as follows:

A portion of a parcel of land for public right-of-way that is being vacated. Said parcel is situated in the Northeast quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian. Said portion is described as follows:

Beginning at a point located on the North right-of-way of State Highway 6 (Santaquin Main Street), which point is South 00°30'42" East 2561.97 feet along the quarter section line and North 89°29'18" East 497.19 feet from the North quarter corner of said Section 1; thence North 00°10'03" East 115 feet; thence South 89°41'02" East 31 feet; thence South 00°10'03" East 115 feet to the North right-of-way of said State Highway 6; thence North 89°41'02" West 31 feet along said right-of-way to the point of beginning.

and

Lots 1, 2, 3, 4, 5 and 6, and PARCEL A, RIDLEY'S SUBDIVISION, according to the official plat thereof as recorded in the office of the Utah County Recorder on July 31, 2020 as Entry No. 111268:2020.

EXCEPT THEREFROM the following described land:

A parcel of land located in PARCEL A, RIDLEY'S SUBDIVISION, a part of the Northeast quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, Utah County, Utah, described as follows:

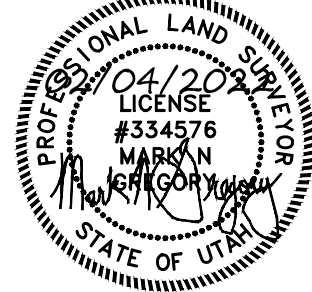
Beginning at the Southwest corner of Parcel A, Ridley's Subdivision, said corner being South 00°30'50" East 2,555.26 feet along the West line of the Northeast quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian and South 89°46'05" East 559.13 feet from the North quarter corner of said Section 1; thence along the East line of 500 East Street North 00°10'03" East 217.95 feet; thence South 89°47'57" East 228.03 feet; thence South 00°14'20" West 215.67 feet to the Southerly line of said Parcel A; thence along said line the following two courses: 1) South 87°33'23" West 51.51 feet and 2) North 89°46'05" West 176.31 feet to the point of beginning.

FIELD DESCRIPTION (Subject Property)

A parcel of land being proposed Lot 7, Ridley's Subdivision, Plat B, said parcel located in Parcel A, Ridley's Subdivision, a part of the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, Utah County, Utah, described as follows:

BEGINNING at the Southwest Corner of Parcel A, Ridley's Subdivision, said corner being South 00°30'50" East 2,555.26 feet along the west line of the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian and South 89°46'05" East 559.13 feet from the North Quarter Corner of said Section 1, and thence along the east line of 500 East Street North 00°10'03" East 217.63 feet; thence South 89°49'57" East 246.18 feet; thence South 00°10'03" West 214.64 feet to the southerly line of said Parcel A; thence along said line the following two courses: 1) South 87°33'23" West 69.94 feet and 2) North 89°46'05" West 176.31 feet to the POINT OF BEGINNING. Said parcel contains 53,496 square feet or 1.228 acres, more or less.

Date: February 4, 2022



Mark N Gregory
P.L.S.No. 334576

NARRATIVE:

The purpose of this survey is retrace Parcel A, Ridley's Subdivision in order to perform an ALTA/NSPS Land Title Survey on a portion of said Parcel A. The North and South Quarter Corners of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian and said Ridley's Subdivision plat are used to control the location of said subdivision as shown hereon.

The vertical benchmark for this survey is the Utah County monument found marking the South Quarter Corner of said Section 20, Township 5 South, Range 1 West, Salt Lake Base and Meridian, elevation 5078.38.

A commitment for title insurance prepared by Cottonwood Title Insurance Agency, Inc. (File No. 129278-WHF, dated March 26, 2021) was provided and relied upon for this survey.

Table A, Item 20 was specified to include statements if the title exceptions "affect" or "do not affect" the subject property as detailed in the McDonald's Survey Order Form and Minimum Requirements. These statements are shown in (parenthesis).

BASIS OF BEARING:

The basis of bearing for this survey is South 00°30'50" East between the North and South Quarter Corners of said Section 20 per the plat of Ridley's subdivision.

SURVEYOR'S NOTES:

- 1. This survey complies with the requirements set forth in the McDonald's Survey Order Form and Minimum Requirements.
- 2. The subject property is located in a Zone Designation of X by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 0975F, with a date of identification of July 17, 2002, for Community No. 49049C in Utah County, State of Utah, which is the current Flood Insurance Rate Map for the community in which the subject property is situated. No map has been printed for this area.
- 3. A zoning report or letter was not provided. The subject property is located in a C1 General Commercial District. Per Title 10 of the Santaquin City Code. Per Chapter 10.20.120 the front maximum setback is 10 feet. the minimum side and rear yard set back is 0 or 10 if shared or 5 feet. The web site address for Santaquin City is https://www.santaquin.org/.
- 4. There are no parking spaces located on the subject property.
- 5. There is no observed evidence of current earth moving work, building construction or building additions.
- 6. There are no proposed changes in right-of-way lines and no observed evidence of recent street or sidewalk construction.
- 7. No field delineation of wetlands was provided and no markers were observed at the time of this survey.

SCHEDULE B - EXCEPTIONS:

Cottonwood Title Insurance Agency, Inc. File No. File No. 129278-WHF, dated March 26, 2021.

Exceptions No. 1-8: Will be eliminated and the (affect on the subject property can not be determined from the information provided)

Exception No. 9: Taxes (affect the subject property)

Exception No. 10: Intentionally deleted by the Title Company

Exception No. 11: The Land is located within the boundaries of Santaquin City, Central Utah Water Conservancy, Wasatch Mental Health Special Service District, South Utah Valley Animal Special Service District, Utah Valley Dispatch Special Service District, and is subject to any and all charges and assessments levied thereunder. Survey findings: The subject property is within the blanket areas indicated. (affects the subject property)

Exception No. 12: Certificate of Incorporation establishing the creation of the Santaquin Special Service District recorded May 17, 2007 as Entry No. 72904:2007. Survey findings: The subject property is located within the boundary of the District cited and is subject to its terms. (affects the subject property)

Exception No. 13: Certificate of Creation of the Utah Valley Dispatch Special Service District recorded October 22, 2008 as Entry No. 114949:2008. Survey findings: The subject property is located within the boundary of the District cited and is subject to its terms. (affects the subject property)

Exception No. 14: Certificate of Creation of the Santaquin Community Development and Renewal Agency recorded December 8, 2010 as Entry No. 106901:2010. Survey findings: The subject property is located within the boundary of the Agency cited and is subject to its terms. (affects the subject property)

Exception No. 15: Certificate of Creation of the Santaquin Special Service District for Road Maintenance recorded June 26, 2014 as Entry No. 43844:2014. Survey findings: The subject property is located within the boundary of the District cited and is subject to its terms. (affects the subject property)

Exception No. 16: Resolution No. 10-04-2019 recorded October 7, 2019 as Entry No. 101935:2019. Survey findings: The subject property is located within the boundary of the Development Area cited and is subject to its terms. (affects the subject property)

Exception No. 17: Minerals of whatsoever kind, subsurface and surface substances that may be produced from the Land. Survey findings: The issues cited in this exception are not matters of survey. (the affect on the subject property can not be determined from the information provided)

Exception No. 18: Claim, right, title or interest to water or water rights whether or not shown by the public records. Survey findings: (the affect on the subject property can not be determined from the information provided)

Exceptions No. 19 - 27: Intentionally deleted by Title Company

Exception No. 28: Rights of tenant(s) in the Land... Survey findings: (the affect on the subject property can not be determined from the information provided)

Exception No. 29: Any lien, or right to a lien... Survey findings: (the affect on the subject property can not be determined from the information provided)

Exception No. 30: Easements, notes and restrictions as shown on the plat of Ridley's Subdivision, recorded July 31, 2020 as Entry No. 111268:2020. Survey findings: The Easements shown on the subdivision plat that are on the subject property are shown. (affect the subject property)

Exception No. 31: Subject to the following matters disclosed on that certain survey prepared by Dominion Engineering Associates, L.C., having been certified under the date of December 17, 2020, as Project No. 3308-03, by Mark N. Gregory, a Professional Land Surveyor holding License No. 334576: a. Evidence of excavation; b. 4" concrete wall; c. 14" concrete pipe; d. 12" concrete pipe; e. 4" concrete head walls & f. concrete ditch. Survey findings: The conditions described are shown on the subject property. (affect the subject property)

Exception No. 32: Taxes for Parcel No. 32-003-0104. Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 33: Taxes for Parcel No. 51-649-0001 under previous Parcel No. 32-003-0085. Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 34: Taxes for Parcel No. 51-649-0002 under previous Parcel No. 32-003-0121. Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 35: Taxes for Parcel No. 51-649-0003 under previous Parcel No. 32-003-008. Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 36: Taxes for Parcel No. 51-649-0004 under previous Parcel No. 32-003-0085. Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 37: Taxes for Parcel No. 51-649-0005 under previous Parcel No. 32-003-0086. Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 38: Taxes for Parcel No. 51-649-0006 under previous Parcel No. 32-003-0092. Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 39: Survey findings: The parcel indicated is a part of the subject property. (affects the subject property)

Exception No. 40: Same as Exception 11 (affects the subject property)

Exception No. 41: Same as Exception 12 (affects the subject property)

Exception No. 42: Same as Exception 13 (affects the subject property)

Exception No. 43: Same as Exception 14 (affects the subject property)

Exception No. 44: Same as Exception 15 (affects the subject property)

Exception No. 45: Same as Exception 16 (affects the subject property)

Exception No. 46: Same as Exception 17 (the affect on the subject property can not be determined from the information provided)

Exception No. 47: Same as Exception 18 (the affect on the subject property can not be determined from the information provided)

Exception No. 48: Right of Way Easement in favor of the Mountain States Telephone and Telegraph Company recorded January 8, 1929, as Entry No. 191, in Book 269, at Page 466. Survey findings: The area indicated does not include the subject property. (does not affect)

Exception No. 49: Right of Way Easement in favor of the Mountain States Telephone and Telegraph Company, recorded January 8, 1929, as Entry No. 192, in Book 269, at Page 466. Survey findings: The area indicated does not include the subject property. (does not affect)

Exception No. 50: Rights of access to I-15 have been relinquished to the State Road Commission of Utah by Warranty Deed recorded September 21, 1964 as Entry No. 14234 in Book 985 at Page 538 of official records. Survey findings: The subject property is not adjacent to I-15. (does not affect)

Exception No. 51: Easement in favor of Summit Creek Irrigation Company recorded September 21, 1964, as Entry No. 14235, in Book 985, at Page 54. Survey findings: The area described is not on the subject property. (does not affect)

Exception No. 52: Rights of access to I-15 have been relinquished to the State Road Commission of Utah by Warranty Deed recorded February 5, 1965 as Entry No. 1818 in Book 999 at Page 618 of official records. Survey findings: The area described does not include the subject property. (does not affect)

Exception No. 53: Any right, title or interest of the East Santaquin Irrigation Company as disclosed by that certain Warranty Deed recorded October 18, 1966 as Entry No. 11979 in Book 10662 at Page 446. Survey findings: The location described is not on the subject property. (does not affect)

Exception No. 54: Easements for irrigation and incidental purposes as disclosed by that certain Final Order of Condemnation, dated October 13, 1967 and recorded October 25, 1967 as Entry No. 11640 in Book 1094 at Page 280. Survey findings: (affect on the subject property can not be determined from the information provided)

Exception No. 55: An easement for irrigation and incidental purposes recorded October 13, 1981 as Entry No. 29732 in Book 1942 at Page 722. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 56: An easement for irrigation and incidental purposes recorded September 15, 1981 as Entry No. 27112 in Book 1937 at Page 623. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 57: Easement for an irrigation ditch recorded September 15, 1981, as Entry No. 27113, in Book 1937, at Page 624. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 58: Right of Way Easement recorded January 19, 1982, as Entry No. 1364, in Book 1960, at Page 140. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 59: An easement for ingress, egress, and pipeline purposes recorded November 19, 1986 as Entry No. 39643 in Book 2358 at Page 557. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 60: Rights of access to I-15, US-91 and Highway 6 have been relinquished to the Utah Department of Transportation by Quit Claim Deed recorded November 4, 1991 as Entry No. 43533 in Book 2851 at Page 76. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 61: Easement in favor of PacifiCorp, dba Utah Power & Light Company recorded January 7, 1998, as Entry No. 1462, in Book 4486, at Page 684. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 62: An easement for irrigation and incidental purposes recorded April 7, 2011 as Entry No. 27219:2011. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 63: Easement and Road Maintenance Agreement recorded December 30, 2015 as Entry No. 116714:2015. Survey findings: Describes the road along the west side of the subject property. (does not affect)

Exception No. 64: Same as Exception 16 (affects the subject property)

Exception No. 65: Any rights, interest or easements in favor of the public, or others entitled thereto, to use for street, public utilities, and incidental purposes, that portion of the Land lying within the bounds of former Orchard Lane or 100 North Street. Survey findings: (affect on the subject property can not be determined from the information provided)

Exception No. 66: Terms, conditions, easements, restrictions... recorded February 27, 2020 as Entry No. 25172:2020. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 67: A Ground Lease recorded April 3, 2020 as Entry No. 43653:2020; a Leasehold Construction Deed of Trust recorded April 3, 2020 as Entry Number 43654:2020 & a Request for Copy of Notice of Default and Notice of Sale recorded April 3, 2020 as Entry No. 43658:2020. Survey findings: All three documents reference "future Lot 1, of the forthcoming Ridley's Subdivision" which is northwest across the road from the subject property. (does not affect)

Exception No. 68: A Right-of-Way and Easement Grant, in favor of Questar Gas Company dba Dominion Energy Utah recorded April 9, 2020, as Entry No. 46152:202. Survey findings: The location described and shown is not on the subject property. (does not affect)

Exception No. 69: Right-of-Way and Easement Grant, in favor of Questar Gas Company dba Dominion Energy Utah recorded April 9, 2020, as Entry No. 46155:2020. Survey findings: The location described and shown is not on the subject property. (does not affect)

Exception No. 70: Survey findings: Easements, notes and restrictions as shown on the plat of Ridley's Subdivision, recorded July 31, 2020 as Entry No. 111268:2020. Survey findings: Same as Exception 30 and are shown. (affect the subject property)

Exception No. 71: The UCC Financing Statement recorded August 10, 2020 as Entry No. 116576:2020. Survey findings: The document references "future Lot 1, of the forthcoming Ridley's Subdivision" which is northwest across the road from the subject property. (does not affect)

Exception No. 72: The Resolution 08-05-1010 Approving a Re-Conveyance of Property to CJM Property recorded September 23, 2020 as Entry No. 145899:2020. Survey findings: The document references the area of the public road westerly of the subject property. (does not affect)

Exception No. 73: Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws. Survey findings: The issues cited in this exception are not matters of survey. (the affect on the subject property can not be determined from the information provided)

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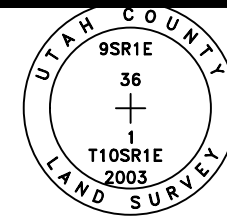
DRAWN	MNG 11/20	CHECKED	DOM 11/20
DESIGNED		PROJECT ENGINEER	
APPROVED		DLP	
		PROJECT MANAGER	

MCDONALD'S USA, LLC
SANTAQUIN CITY, UTAH COUNTY, UTAH

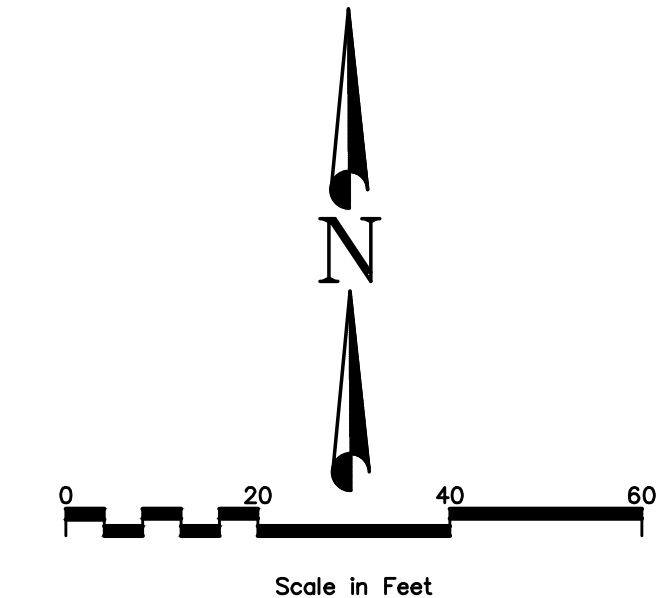
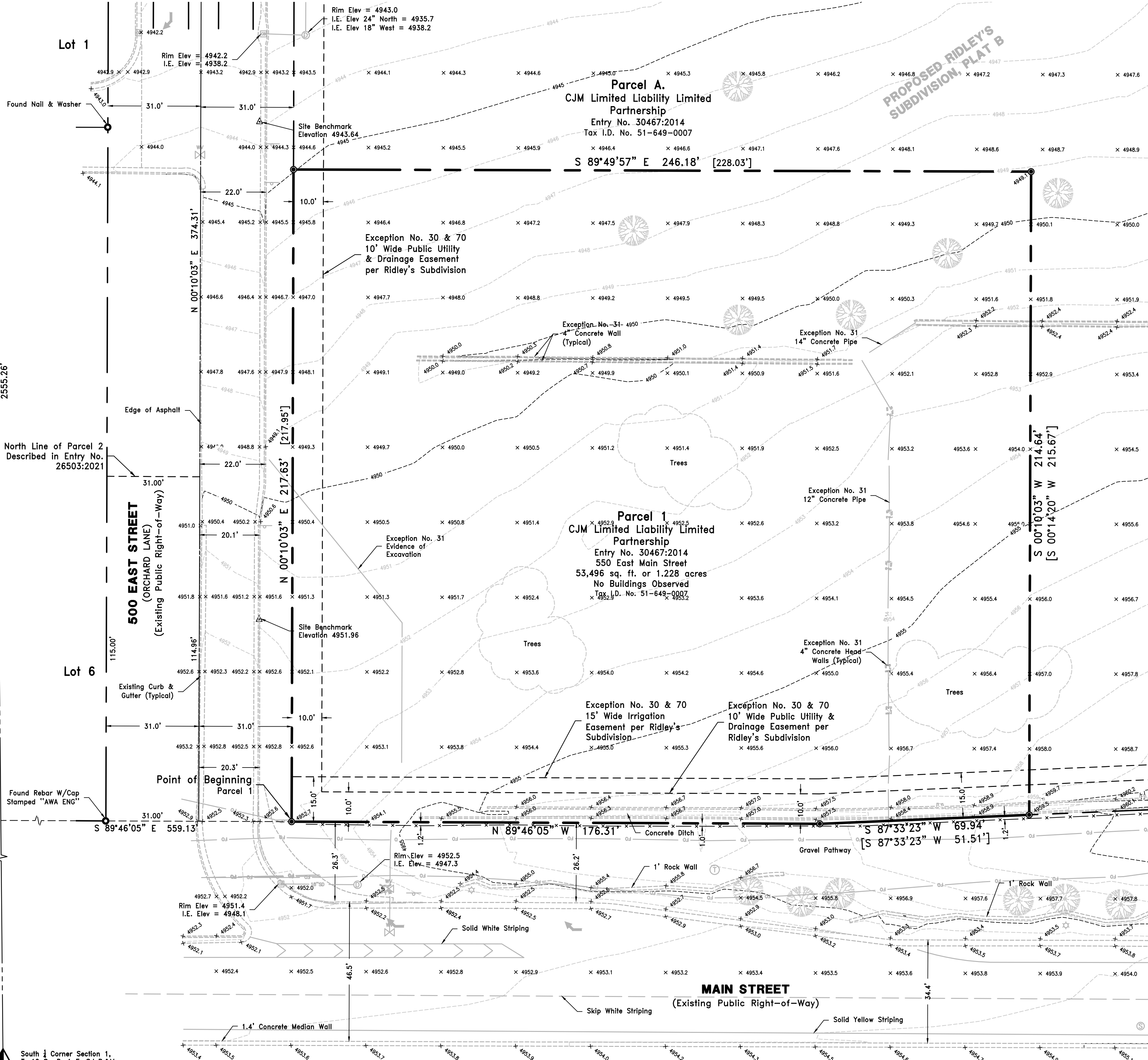
Dominion
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000

IN THE NE 1/4 SECTION 1, T10S, R1E, SLB&M
ALTA/NSPS LAND TITLE SURVEY LC 43-0320

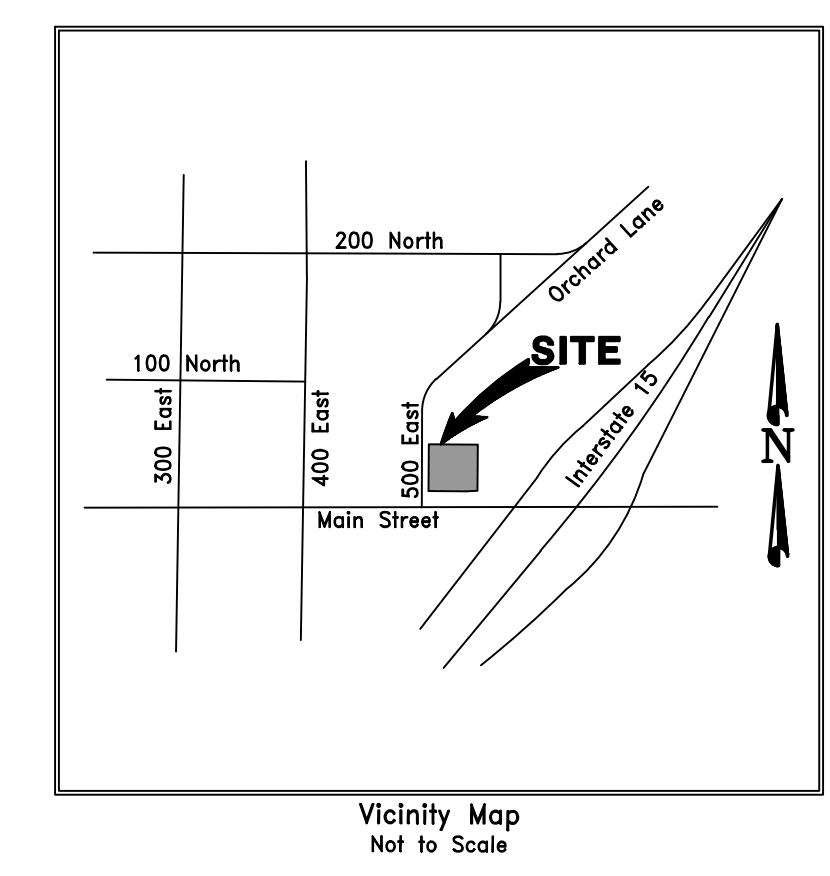
PROJECT NO. 3308-03			
SHEET NO. 1 of 2			
2	Update boundary & benchmark	BJE	2.3.22
1	New Title Com & Extra Item 20	JDP	7.19.21
NO.	REVISIONS	BY	DATE
FILE NAME: SCALE: 1"=20'			



North 1/4 Corner Section 1,
T. 10 S., R. 1 E., S.L.B.&M. Found
Utah County Brass Monument



- LEGEND**
- Section Corner Monument (As Noted)
 - Property Boundary Line
 - Right-of-Way Line
 - Section Line
 - Centerline
 - Easement Line
 - Set Rebar W/ Cap Stamped "DOMINION ENGINEERING" (Unless Otherwise Noted)
 - Found Property Monument (As Noted)
 - Edge of Existing Improvements (As Noted)
 - Existing Wire Fence
 - Existing Storm Drain Line
 - Existing Water Line
 - Existing Fiber Optic Line
 - Existing Elevation Contour Line
 - Existing Electric Box, Meter, Light Pole
 - Existing Water Valve, Man Hole Fire Hydrant
 - Existing Catch Basin
 - Existing Irrigation Valve
 - Existing Fiber Optic Box
 - Existing Deciduous Tree



UTILITY COMPANIES

Telephone	CenturyLink	1-800-603-6000
Power	Rocky Mountain Power	1-888-221-7070
Natural gas	Dominion Energy	1-800-323-5517
Sewer	Santaquin City	801-754-3211
Water	Santaquin City	801-754-3211

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DRAWN	MNG 11/20	CHECKED	DOM 11/20
DESIGNED		PROJECT ENGINEER	
APPROVED		DLP	
		PROJECT MANAGER	

MCDONALD'S USA, LLC
SANTAQUIN CITY, UTAH COUNTY, UTAH

DOMINION
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000

IN THE NE 1/4 SECTION 1, T10S, R1E, SLB&M
ALTA/NSPS LAND TITLE SURVEY LC 43-0320

PROJECT NO.	3308-03		
SHEET NO.	2 of 2		
NO.	REVISIONS	BY	DATE
2	Update boundary & benchmark	BJE	2.3.22
1	New Title Com & Extra Item 20	JDP	7.19.21

FILE NAME: SCALE: 1"=20'

GENERAL NOTES

GENERAL NOTES:

- 1. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING: THE CITY OF SANTAQUIN DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE STATED. ALL AMENDMENTS THERETO TO DATE, AND THE UTAH PUBLIC WORKS GENERAL CONDITIONS AND STANDARD SPECIFICATIONS FOR CONSTRUCTION IN ITS LATEST EDITION, THE M.U.T.C.D. MANUAL FOR STRIPING, UDOT FOR SIGNING AND TRAFFIC CONTROL, AND THE MANUAL FOR EROSION CONTROL, WHERE APPLICABLE.
2. PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL CONTACT THE CITY OF SANTAQUIN FOR A PRE-CONSTRUCTION MEETING.
3. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE.
4. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
5. THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. IT SHALL BE EXPECTED THAT PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.

THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTING IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR PECULIAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.

- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHTS-OF-WAY, EASEMENTS, AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL AT THE TIME OF BIDDING, AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS.
8. CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK.

IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.

- 9. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES, AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.
11. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.
12. THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY REMOVAL OF SURVEY STAKING.
13. THE CONTRACTOR AGREES THAT:
A. THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.
B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
C. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
D. THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL PAYMENT.
E. THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.
F. UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTORS EXPENSE.
G. CONTRACTOR IS RESPONSIBLE FOR MATERIAL TESTING, TESTING RESULTS MUST BE SUBMITTED TO THE CITY OF SANTAQUIN.

- 14. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
15. DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE, WITH A WATER TRUCK.
16. FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
18. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
19. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
20. THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL; ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

- 21. WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.
22. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE ON ALL PARTS AND WORKMANSHIP.

CLEARING AND GRADING NOTES:

- 1. CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH THE CITY OF SANTAQUIN STANDARD SPECIFICATIONS.
2. THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON TOPO SURVEY PERFORMED BY DOMINION ENGINEERING.
3. CONTRACTOR SHALL TAKE NECESSARY MEASURES TO PREVENT EROSION ONTO ADJACENT PROPERTY AND IN DRAINAGE FACILITIES. CONTRACTOR RESPONSIBLE TO CONTROL DUST AND MUD ON SURROUNDING STREETS.

DEWATERING NOTES:

- 1. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND WATER LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.

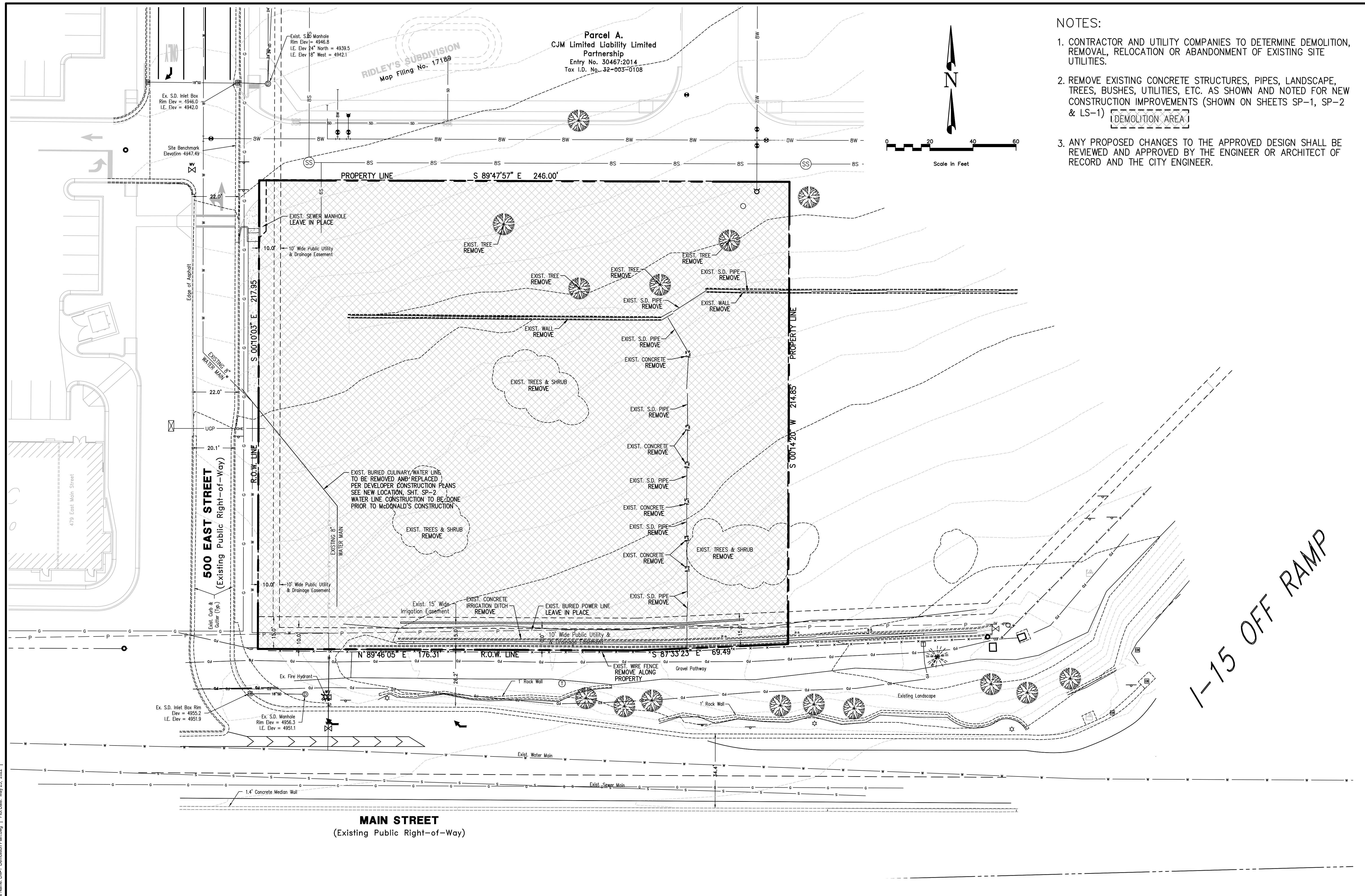
UNDERGROUND UTILITIES:

- 1. THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THESE LOCATIONS TO BE EITHER TRUE OR EXACT. PRIOR TO CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES, SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OR WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION/ELEVATION MUST BE MADE PRIOR TO CONSTRUCTION.
2. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGE UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
3. THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH OSHA STANDARDS AND REQUIREMENTS.
4. PRIOR TO OPENING AN EXCAVATION, CONTRACTOR SHALL ENDEAVOR TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS; I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC. WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING; AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.
5. IN CASES OF HIGH GROUNDWATER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO USE RUBBER GASKET JOINTS ON ALL PRE CAST PIPES. THE COST FOR RUBBER GASKET JOINTS SHALL BE INCLUDED IN THE UNIT PRICES OF PIPE.
6. THE CONTRACTOR SHALL PROVIDE CLAY DAMS IN UTILITY TRENCHES TO PREVENT CHANNELING OF SUBSURFACE WATER, DURING AND AFTER CONSTRUCTION. CONTRACTOR CLAY DAMS AT THE TOP OF GRADE BREAKS AND AT THE FOLLOWING INTERVALS:
TRENCHES WITH SLOPES < 10% = DAMS AT 500' INTERVALS
TRENCHES WITH SLOPES ≥ 10% = DAMS AT 100' INTERVALS
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS OF THE CITY OF SANTAQUIN FOR H-20 LOAD REQUIREMENTS.
8. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER AND STREET PAVING.

GENERAL EROSION CONTROL NOTES

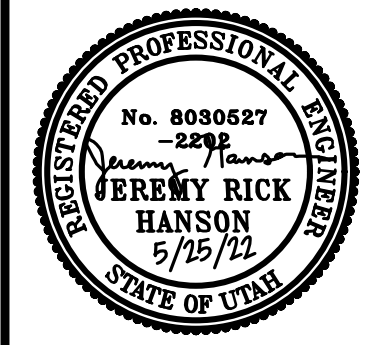
- 1. PRE CONSTRUCTION MEETING IS REQUIRED WITH THE CITY PRIOR TO DISTURBANCE.
2. IN THE EVENT A CHANGE OCCURS ON THIS APPROVED SITE PLAN WHICH INVOLVES ENLARGING THE AREA OF DISTURBANCE, THE CONTRACTOR SHALL CONTACT THE CITY OF SANTAQUIN EROSION CONTROL INSPECTOR PRIOR TO THE DISTURBANCE.
3. THE CONTRACTOR WILL FILL OUT "EROSION AND SEDIMENT CONTROL PLAN" INSPECTION AND MAINTENANCE FORM EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT AND/OR A HEAVY SNOW MELT. PROVIDE COPIES OF MAINTENANCE FORM TO THE CITY OF SANTAQUIN EROSION CONTROL INSPECTOR AND OWNER AT WEEKLY CONSTRUCTION MEETINGS.
4. THE CONTRACTOR WILL COMPLY WITH THE INSTALLATION AND MAINTENANCE OF THE "BEST MANAGEMENT PRACTICE" (BMP) USED ON THE EROSION AND SEDIMENT CONTROL PLANS UNTIL THE REVEGETATION BOND HAS BEEN 100% RELEASED.
5. THE CONTRACTOR SHALL OBTAIN THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY AND PROVIDE EVIDENCE TO THE CITY AT THE PRE CONSTRUCTION MEETING.
6. THE CONTRACTOR WILL MAINTAIN STREETS TO BE FREE FROM SOIL AND DEBRIS 24 HOURS PER DAY, SEVEN DAYS A WEEK.
7. THE CONTRACTOR WILL MAINTAIN THE EROSION CONTROL DEVICES UNTIL THE GROUND COVER HAS BEEN ESTABLISHED.
8. DUST CONTROL MEASURES WILL BE ON SITE AND IN WORKING ORDER WHEN SOIL IS DISTURBED. DUST CONTROL WILL BE USED 24 HOURS, SEVEN DAYS PER WEEK AS CONDITIONS DICTATE. THE CONTRACTOR WILL INCREASE EQUIPMENT AS NEEDED TO CONTROL DUST.
9. THE CONTRACTOR WILL PREVENT SEDIMENTS FROM ENTERING UTILITIES BY INSTALLING FILTER FABRIC AROUND STRUCTURES.
10. VEGETATION WILL BE DISPOSED OF IN ONE OR MORE OF THE FOLLOWING WAYS:
HAULING TO APPROVED LAND FILL
SHREDDING
CHIPPING
BURNING WITH APPROVED PERMIT
BRUSH MAY BE STOCKPILED AT TOES OF FILLS FOR TEMPORARY EROSION CONTROL.
11. REMOVE NATIVE TREES WITHIN AREAS OF DISTURBANCE ONLY.
12. ALL EXCAVATED MATERIAL MUST BE KEPT WITHIN THE "LIMITS OF MASS GRADING DISTURBANCE".
13. PLACE GEOTEXTILE STYLE SILT FENCES PRIOR TO ANY EXCAVATIONS INDICATED BY THE EROSION CONTROL DRAWINGS. THE EROSION/SEDIMENTATION CONTROL (E.S.C.) MEASURES SHOWN ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED.

REGISTERED PROFESSIONAL ENGINEER No. 8030527-2498 JEREMY RICK HANSON 5/15/12 STATE OF UTAH	
DOMINION Engineering Associates, L.C. 5984 South Green Street Murray, Utah 84123 801-713-3000	
PREPARED BY:	MCDONALD'S CORPORATION K90C DRIVE - JAY BROOK, UTAH 84051 THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MCDONALD'S CORPORATION. THE CONTRACT DOCUMENTS WILL BE REPRODUCED WITHOUT WRITTEN AUTHORIZATION FROM MCDONALD'S CORPORATION. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCDONALD'S CORPORATION.
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STD. ISSUE DATE:	
REVIEWED BY:	
DATE REVIEWED:	
DATE ISSUED:	
TITLE: MCDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH	
DESCRIPTION: GENERAL NOTES	
SHEET NO. GN-1	
REV. A	5/25/22
REV	DATE
REVISIONS PER CITY REVIEW COMMENTS	
	DESCRIPTION
	BY
	RJU



- NOTES:
1. CONTRACTOR AND UTILITY COMPANIES TO DETERMINE DEMOLITION, REMOVAL, RELOCATION OR ABANDONMENT OF EXISTING SITE UTILITIES.
 2. REMOVE EXISTING CONCRETE STRUCTURES, PIPES, LANDSCAPE, TREES, BUSHES, UTILITIES, ETC. AS SHOWN AND NOTED FOR NEW CONSTRUCTION IMPROVEMENTS (SHOWN ON SHEETS SP-1, SP-2 & LS-1) [DEMOLITION AREA]
 3. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.

REV	DATE	REVISIONS PER CITY COMMENTS	DESCRIPTION
A	5/25/22		



DOMINION
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000

PREPARED BY: MCDONALD'S CORPORATION
KFC DRIVE - JAY BROOK, ILLINOIS 60501
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OFFICE ADDRESS: DENVER REGION: 4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237

TITLE: MCDONALD'S SITE IMPROVEMENT PLANS
SANTAQUIN, UTAH
DESCRIPTION: SITE DEMOLITION PLAN

SHEET NO: DM-1

SITE ID: 043-0320 38 NORTH 500 EAST, SANTAQUIN, UTAH

UTILITY CONTACTS		
WATER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
STORM	SANTAQUIN CITY - JON LUNDELL	801-754-1974
SEWER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
ELECTRIC POWER	ROCKY MOUNTAIN POWER	1-888-221-7070
GAS	DOMINION ENERGY - DAVE CHRISTENSEN	801-853-6586
TELEPHONE	CENTURYLINK	801-974-8130
HEALTH DEPT.	UTAH COUNTY HEALTH DEPARTMENT	801-851-7332

SITE DEMOLITION PLAN

NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS / HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

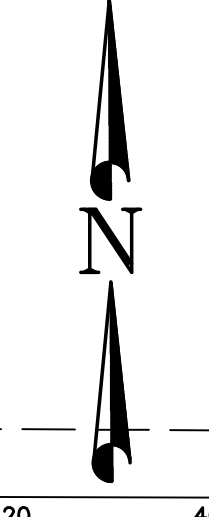


UTILITY NOTE
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND.

Parcel A.
CJM Limited Liability Limited Partnership
 Entry No. 30467:2014
 Tax I.D. No. 32-003-0108

RIDLEY'S SUBDIVISION
 Map Filing No. 17189

Temporary Detention Pond
 (By Developer)



SITE PLAN NOTES SCHEDULE

- 1 BUILDING SERIES 4597 W/PP
- 1a TRASH ENCLOSURE AND STORAGE BUILDING, SEE DETAILS SHEET SD-3
- 2 3rd PADMOUNT TRANSFORMER AND METER BOX PER ROCKY MOUNTAIN POWER STANDARDS & SPECIFICATIONS APPROXIMATE LOCATION - FIELD VERIFY (BY R.M.P. - COORDINATED THROUGH CONTRACTOR)
- 3 CT ELECTRICAL CABINET (BY ROCKY MOUNTAIN POWER COORDINATED THROUGH CONTRACTOR)
- 4 DIGITAL MAIN MENU BOARD, SEE DETAILS, SHEET DT-2
- 5 ORDER HERE CANOPY, SEE DETAIL, SHT. SD-3
- 6 VEHICLE DETECTOR LOOP, SEE DETAILS, SHEET DT-1
- 6a VEHICLE DETECTOR LOOP AT DRIVE-THRU WINDOWS
- 7 DIGITAL PRE-BROWSE MENU BOARD, SEE DETAILS, SHEET DT-2
- 8 "DOUBLE ARM GATEWAY"/HEIGHT DETECTOR SIGN, (REVERSE ARM) SEE DETAILS, SHEET SD-2
- 9 4" CONCRETE FILLED BOLLARD, SEE DETAIL, SHEET SD-1
- 10 HANDRAIL/GUARDRAIL
- 11 DIRECTIONAL SIGN (APPROX. LOCATION), SEE DETAILS, SHT. SD-2
- 11a MONUMENT SIGN (APPROXIMATE LOCATION)
 NOTE: MONUMENT SIGN MUST HAVE AT LEAST ONE FOOT PEDESTAL WITH THE ILLUMINATED CABINET NOT TO EXCEED 5 FEET IN HEIGHT. FOR A TOTAL OF 6 FEET IN HEIGHT. MAXIMUM SIZE IS 80 SQ. FT. SEE SEPERATE SIGN PACKAGE PLANS
- 12 INTERGRAL CONCRETE CURB & GUTTER, SEE DETAIL 2, SHT. SD-4
- 13 TAPER CURB DOWN TO 1/4" ABOVE FLOWLINE (BOTH SIDES)
- 14 6" HIGH/6" WIDE CONCRETE CURB WALL
- 15 24" CONCRETE CURB AND GUTTER, (18" LIP TO FLOWLINE) SEE DETAIL 1, SHEET SD-4 SEE SHEET SP-3 FOR SPILL GUTTER LOCATIONS
- 16 4" THICK CONCRETE WALK, HANDICAP RAMPS, PATIO AREA, ETC.
- 17 6" CONCRETE SLAB, REINFORCED WITH FIBERMESH OR EQUIVALENT, SEE SECTION DETAIL 12, SHEET SD-4
- 17a 5" CONCRETE SLAB, REINFORCED WITH FIBERMESH OR EQUIVALENT, SEE SECTION DETAIL 11, SHEET SD-4
- 18 HANDICAP RAMPS (TYP. 6.5' RUNNING LENGTH) PER ADA STANDARDS, SEE DETAILS, SHEET SD-8
- 19 HANDICAP PARKING SIGNS (2 TOTAL-1 VAN PER ADA STNDS.) SEE SHEET SD-7
- 20 HANDICAP SYMBOL (TYP. OF 2) PAINTED PER ADA STNDS.
- 21 FREEZELESS YARD HYDRANT WITH THREADED WATER CONNECTION
- 22 1" PVC CONDUIT FOR POWER TO STORAGE BUILDING
- 23 EXTERNAL GAS METER AND PRESSURE REGULATOR
- 24 CONCRETE DELIVERY RAMP AND HANDICAP RAMP
- 25 ASPHALT PAVING (TYP.) SEE SECTION DETAIL, SHEET SD-4
- 26 OUTDOOR LOT LIGHT (APPROX. LOCATION), SEE SHEET LTG-1
- 27 1,500 GAL. GREASE INTERCEPTOR (SEWER), SEE CONFIGURATION DETAILS, SHT. SD-5
- 28 SAMPLING MANHOLE (SEWER), SEE DETAIL SHEET SD-5
- 29 STORM DRAIN CURB INLET BOX, STORM DRAIN MANHOLE
- 30 WALL TYPE INDICATOR VALVE (WIV) AND FIRE DEPARTMENT CONNECTION (FDC), SEE SHT. SP-2
- 31 "KNOX BOX" PER FIRE DEPARTMENT STANDARDS & SPECS.
- 32 SEE SHEET SP-1A FOR ALL PAINT MARKINGS (TYP.) AND DRIVE-THRU SIGNAGE LOCATION DETAILS
- 32a ROLL FORWARD SIGNAGE, SEE SHEET SP-1A
- 32b MOBILE ORDER SIGN, SEE SHEET SP-1A
- 33 WATER METER BOX
- 34 CONCRETE WHEEL STOP (TYP. OF 2)
- 35 LANDSCAPE AREA, SEE SHT. LS-1
- 36 8" WIDE POURED IN PLACE CONCRETE RETAINING WALL, SEE DETAIL, SHT. SD-4
- 37 2" CONCRETE CHAMFER (TYPICAL)
- 38 PROPOSED FIRE HYDRANT BY DEVELOPER
- 39 72" DIA. CONCRETE MANHOLE FOR STORMTECH SYSTEM
- 40 5 FT. WIDE CONCRETE SIDEWALK BY McDONALD'S TO NEW SIDEWALK (BY DEVELOPER) FOR PUBLIC ACCESS
- 41 5 FT. WIDE CONCRETE SIDEWALK AND H.C. RAMP AS SHOWN ALONG 500 EAST STREET (BY DEVELOPER)
- 42 29' WIDE ASPHALT ACCESS DRIVE BY DEVELOPER
- 43 PAINT GRAPHICS WHITE DIRECTIONAL PAINT MARKINGS AROUND SITE

PROJECT DATA CHART

SANTAQUIN CITY ZONING	COMMERCIAL
TOTAL GROSS ACREAGE	1.23 ACRES (53,491 S.F.)
TOTAL GROSS RESTAURANT AND STORAGE BUILDING TOTAL GROSS AREA	5,406 S.F. (10.11%)
TOTAL GROSS HARDSCAPE AREA	37,214 S.F. (69.57%)
TOTAL PROP. LANDSCAPE	10,872 S.F. (20.32%)
PARKING REQUIREMENTS: 1 STALL PER 125 SQ. FT. OF TOTAL BUILDING SQUARE FOOTAGE 5,250 ÷ 125 = 42 STALLS REQUIRED	
PROVIDED PARKING STALLS	44

GENERAL NOTES:

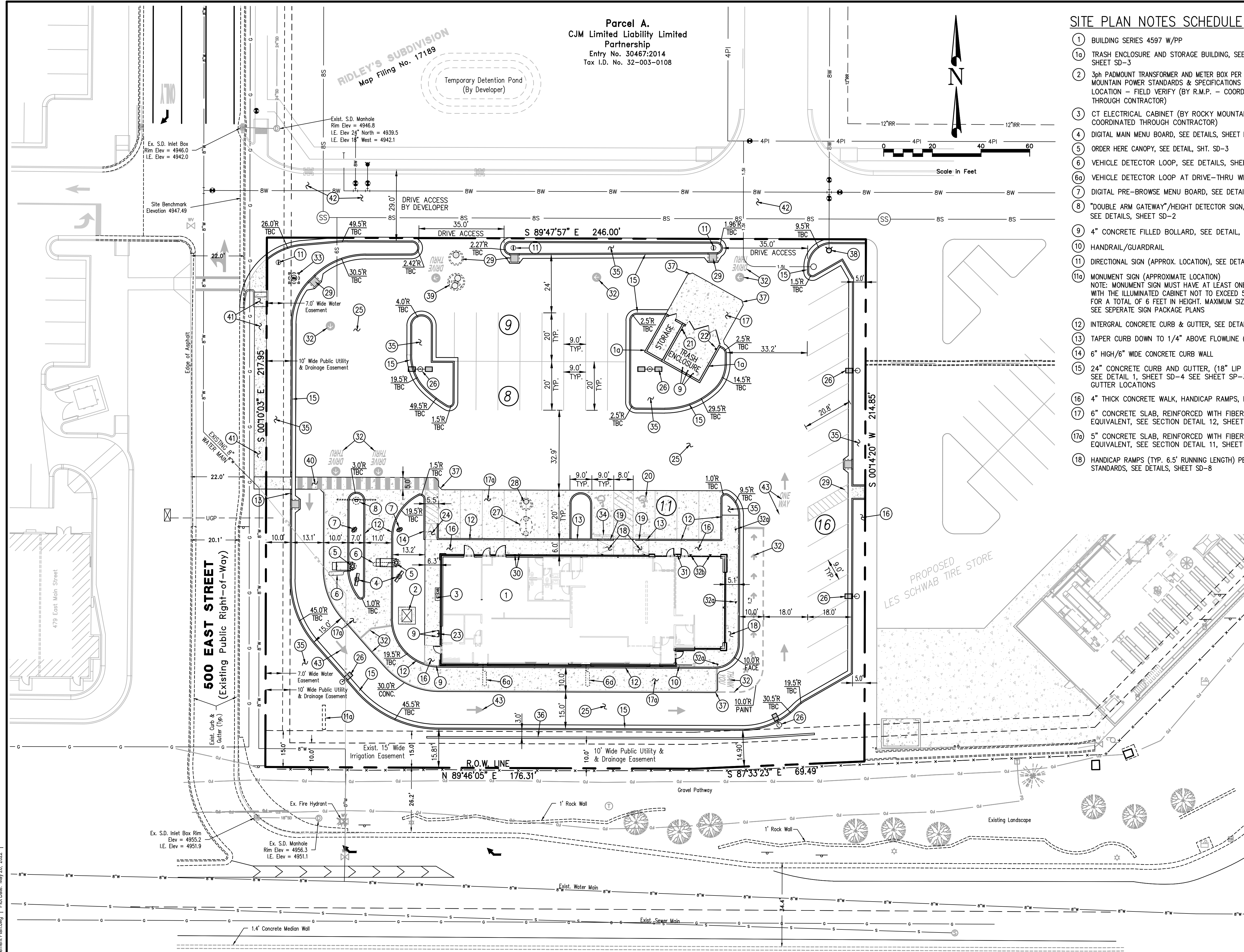
1. ALL HANDICAP ACCESS WALKWAYS TO BE CONSTRUCTED PER ADA STANDARDS AND SPECIFICATIONS (I.E.-MAX. 5% TRAVEL SLOPE AND MAX. 2% CROSS SLOPE) SEE SHEET SD-8 FOR ADA DETAILS AND ADDITIONAL CONSTRUCTION INFORMATION.
2. ALL APPLICABLE ELEMENTS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES WILL BE ADHERED TO.
3. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.
4. FOLLOW ALL RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT BY TERRACON CONSULTANTS, INC., DATED 11/9/2020
5. ALL CONCRETE SURFACE TO BE SEAL-COATED PER McDONALD'S REQUIREMENTS.
6. ALL PARKING STALLS AND DRIVE LANE DIMENSIONS ARE TO FACE OF CURB WHERE APPLICABLE.
7. CONTRACTOR TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. THIS INCLUDES EXTERIOR DOORS, SELF-SERVE BEVERAGE BAR AND DRIVE-THRU WINDOWS. SIGNAGE PACKAGE SUPPLIED BY:
 FORREST PERMA-SIGN 1-800-214-8765
 9292 1st STREET, BOX 588 NEW ROCHELLE, NY 10802

NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS / HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.



UTILITY NOTE
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND.



MAIN STREET
 (Existing Public Right-of-Way)

UTILITY CONTACTS

WATER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
STORM	SANTAQUIN CITY - JON LUNDELL	801-754-1974
SEWER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
ELECTRIC POWER	ROCKY MOUNTAIN POWER	1-888-221-7070
GAS	DOMINION ENERGY - DAVE CHRISTENSEN	801-853-6586
TELEPHONE	CENTURYLINK	801-974-8130
HEALTH DEPT.	UTAH COUNTY HEALTH DEPARTMENT	801-851-7332

SITE IMPROVEMENT PLAN

REVISIONS PER CITY REVIEW COMMENTS

REV	DATE	DESCRIPTION
A	5/25/22	

REGISTERED PROFESSIONAL ENGINEER
 No. 8080527
 JEREMY RICK
 HANSON
 5/15/18
 STATE OF UTAH

PREPARED BY: **McDONALD'S CORPORATION**
 1000 DRIVE - JAM BROOK, ILLINOIS 60501
 THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF McDONALD'S CORPORATION. NO PART OF THESE DRAWINGS OR SPECIFICATIONS ARE TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN AUTHORIZATION OF McDONALD'S CORPORATION. ANY UNAUTHORIZED USE OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO McDONALD'S CORPORATION.

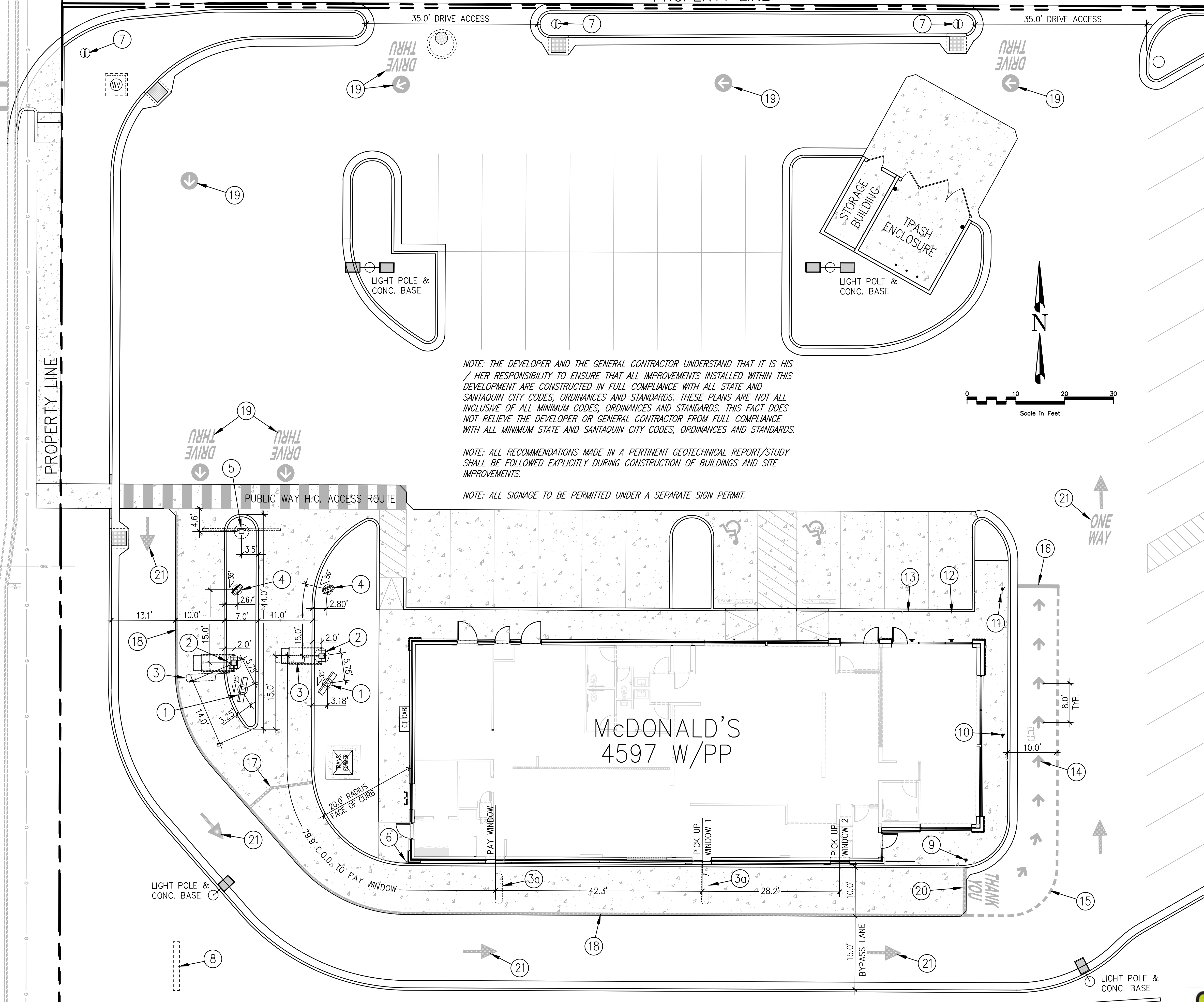
DATE ISSUED: _____
 DATE REVIEWED: _____
 DATE REVISION: _____
 DATE ISSUE DATE: _____

SHEET NO. **SP-1**

500 EAST STREET

29' WIDE ACCESS DRIVE

PROPERTY LINE



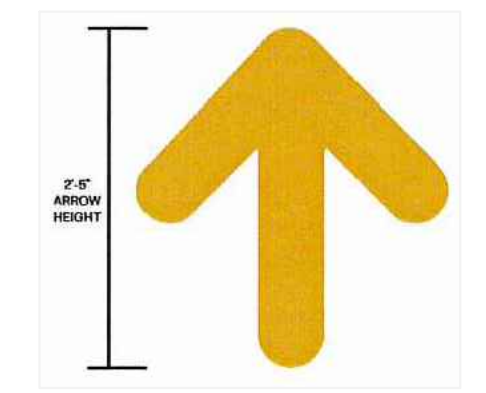
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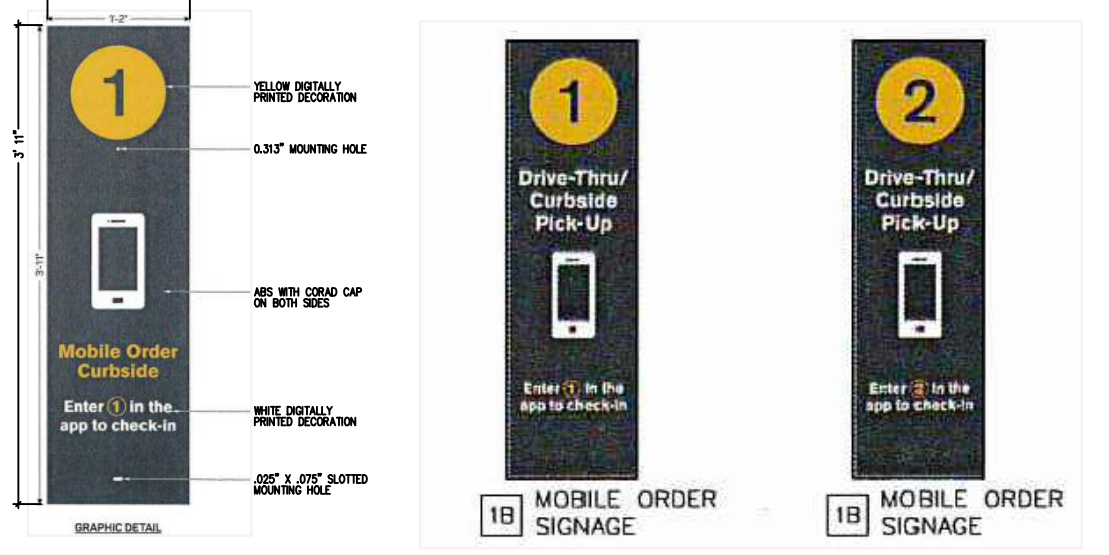
NOTE: ALL SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT.

SITE PLAN NOTES SCHEDULE

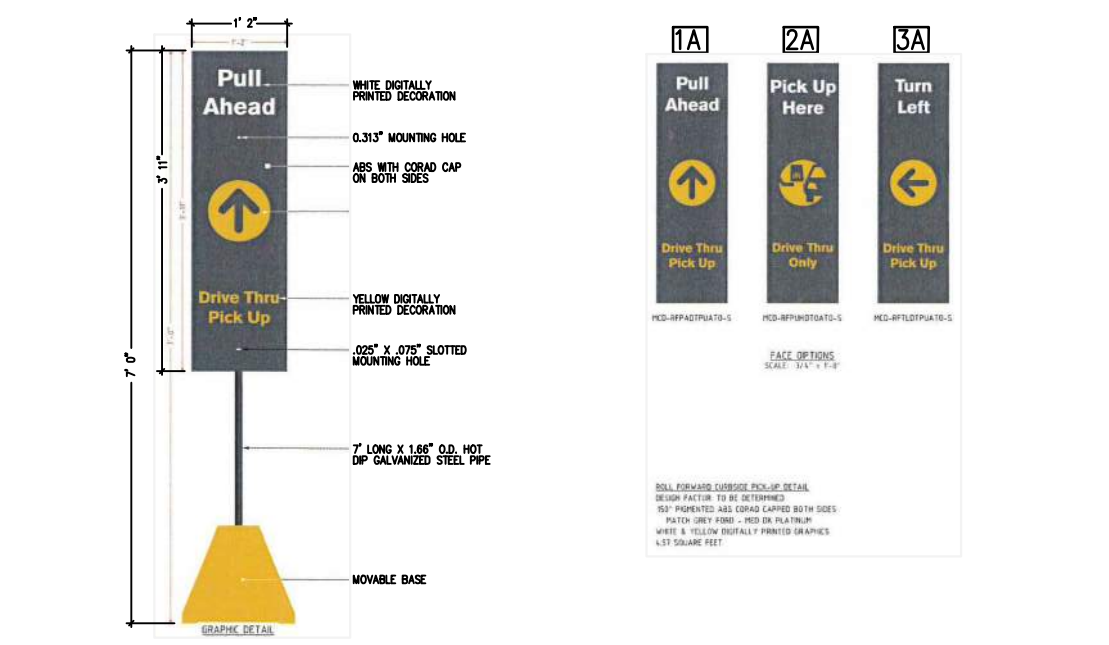
- 1 DIGITAL MAIN MENU BOARD, SEE DETAILS, SHEET DT-2
- 2 ORDER HERE CANOPY, SEE DETAIL, SHT. SD-2
- 3 VEHICLE DETECTOR LOOP, SEE DETAILS, SHEET DT-1
- 3a VEHICLE DETECTOR LOOP AT DRIVE-THRU WINDOWS
- 4 DIGITAL PRE-BROWSE MENU BOARD, SEE DETAILS, SHEET DT-2
- 5 "DOUBLE ARM GATEWAY" /HEIGHT DETECTOR SIGN WITH "ANY LANE/ANY TIME" SIGN ATTACHED, SEE DETAILS, SHT. SD-1
- 6 4" CONCRETE FILLED BOLLARD, SEE DETAIL, SHEET SD-1
- 7 DIRECTIONAL SIGN (APPROX. LOCATION), SEE DETAILS, SHT. SD-2
- 8 MONUMENT SIGN (APPROXIMATE LOCATION)
- 9 ROLL FORWARD TURN LEFT SIGN - SEE DETAIL 3A THIS SHEET
- 10 ROLL FORWARD PULL AHEAD SIGN - SEE DETAIL 1A THIS SHEET
- 11 ROLL FORWARD PICK UP SIGN - SEE DETAIL 2A THIS SHEET
- 12 MOBILE ORDER SIGN 1 - SEE DETAIL 1B THIS SHEET
- 13 MOBILE ORDER SIGN 2 - SEE DETAIL 1B THIS SHEET
- 14 ROLL FORWARD DIRECTIONAL ARROW PAVEMENT MARKING (TYP.) SEE DETAIL THIS SHEET
- 15 ROLL FORWARD 6-INCH YELLOW DASHED STRIPING PER MCDONALD'S STANDARDS
- 16 ROLL FORWARD 8-INCH YELLOW STRIPE PER MCDONALD'S STANDARDS
- 17 6-INCH YELLOW STRIPING (MERGE POINT) PER MCDONALD'S STANDARDS
- 18 6-INCH YELLOW STRIPING (TYP.) PER MCDONALD'S STANDARDS
- 19 PAINT GRAPHICS, MARKINGS PAINTED PMS123 YELLOW AROUND SITE (TYP.) PER MCDONALD'S STANDARDS
- 20 8-INCH YELLOW STRIPING (TYP.) PER MCDONALD'S STANDARDS
- 21 PAINT GRAPHICS WHITE DIRECTIONAL PAINT MARKINGS AROUND SITE



PAINT ARROW
NOT TO SCALE



MOBILE ORDER SIGNAGE
NOT TO SCALE



ROLL FORWARD SIGNAGE
NOT TO SCALE



UTILITY NOTE
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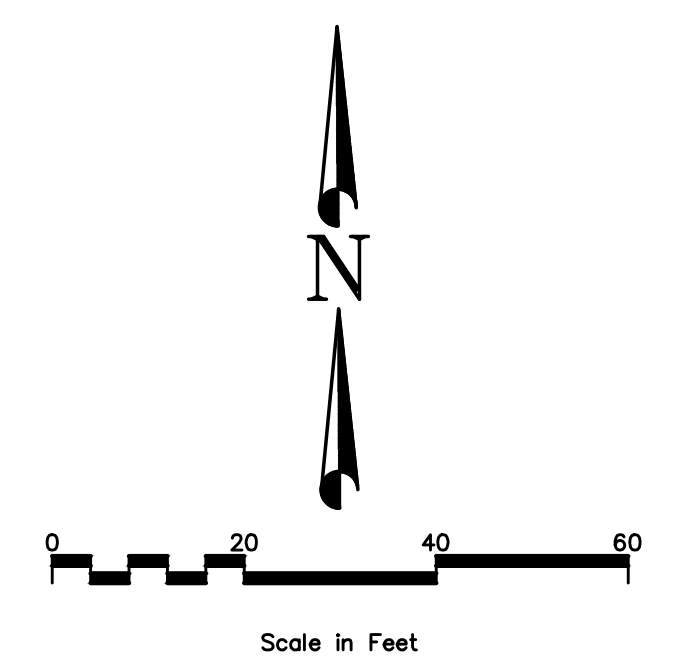
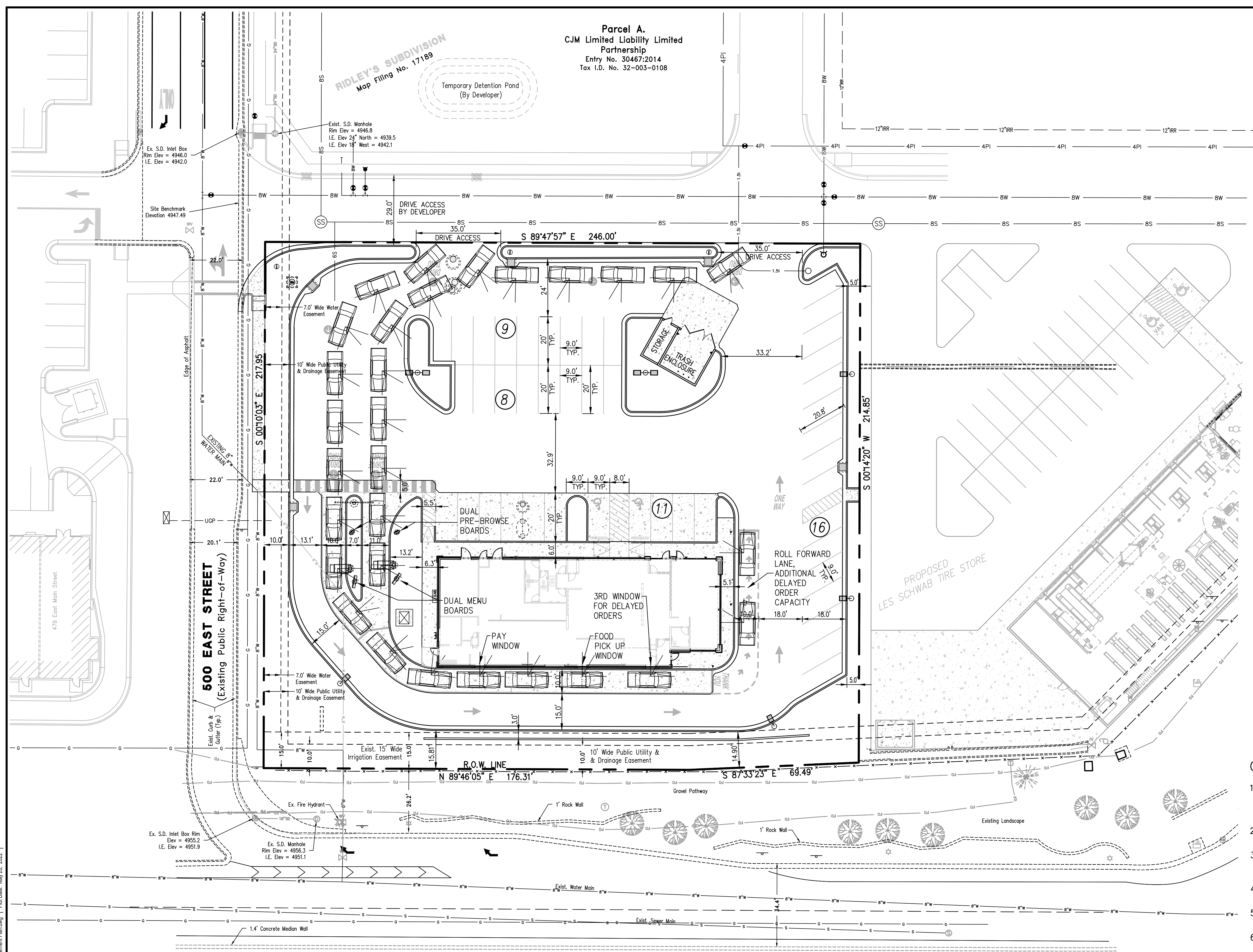
NO.	REVISIONS PER CITY REVIEW COMMENTS	DATE	DESCRIPTION	RJU	BY
A	5/25/22				

	<p>REGISTERED PROFESSIONAL ENGINEER No. 8080527 JEREMY RICK HANSON 5/15/24 STATE OF UTAH</p>
<p>DOMINION Engineering Associates, L.C. 5084 South Green Street Murray, Utah 84123 801-713-3000</p>	<p>PREPARED BY: MCDONALD'S CORPORATION 6901 KROC DRIVE, JAY BROOK, ILLINOIS 60501 THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY INFORMATION OF MCDONALD'S CORPORATION. THE CONTRACT DOCUMENTS WILL BE PREPARED WITHOUT WRITING, AND INFORMATION FROM THESE DRAWINGS WILL BE RELEASED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF MCDONALD'S CORPORATION. THE CONTRACT DOCUMENTS WILL BE PREPARED AND NOT BE SUBJECT FOR USE OR A CONTRACT FOR THE PROJECT OR ANY PART THEREOF WITHOUT THE WRITTEN CONSENT OF MCDONALD'S CORPORATION.</p>
<p>DATE ISSUED: _____ DATE REVIEWED: _____ REVIEWED BY: _____ STD. ISSUE DATE: _____</p>	<p>OFFICE ADDRESS: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237 DENVER REGION: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237</p>
<p>TITLE: MCDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH DESCRIPTION: SITE DRIVE-THRU LAYOUT PLAN</p>	<p>SHEET NO. SP-1A</p>

Parcel A.
CJM Limited Liability Limited
Partnership
Entry No. 30467:2014
Tax I.D. No. 32-003-0108

RIDLEY'S SUBDIVISION
Map Filing No. 17189

Temporary Detention Pond
(By Developer)



QUEUING SUMMARY

VEHICLE CAPACITY BEFORE MENU BOARDS = 19 VEHICLES
 VEHICLE CAPACITY FROM MENU BOARDS TO PICK UP WINDOW = 8 VEHICLES
 DELAYED ORDER CAPACITY (THIRD WINDOW AND ROLL FORWARD LANE) = 3 VEHICLES
 TOTAL ON SITE QUEUING CAPACITY = 30 VEHICLES

PROJECT DATA CHART

SANTAQUIN CITY ZONING	COMMERCIAL
TOTAL GROSS ACREAGE	1.23 ACRES (53,491 S.F.)
TOTAL GROSS RESTAURANT AND STORAGE BUILDING TOTAL GROSS AREA	5,406 S.F. (10.11%)
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PROVIDED PARKING STALLS	44

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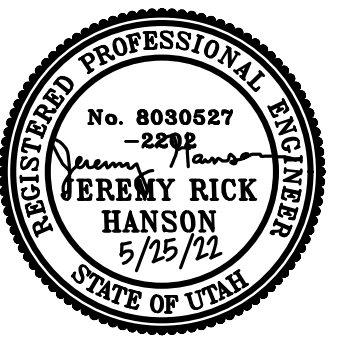
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UTILITY CONTACTS

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STORM	SANTAQUIN CITY - JON LUNDELL	801-754-1974
SEWER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
ELECTRIC POWER	ROCKY MOUNTAIN POWER	1-888-221-7070
GAS	DOMINION ENERGY - DAVE CHRISTENSEN	801-853-6586
TELEPHONE	CENTURYLINK	801-974-8130
HEALTH DEPT.	UTAH COUNTY HEALTH DEPARTMENT	801-851-7332

VEHICLE QUEUING EXHIBIT

REV	DATE	DESCRIPTION
A	5/25/22	REVISIONS PER CITY REVIEW COMMENTS



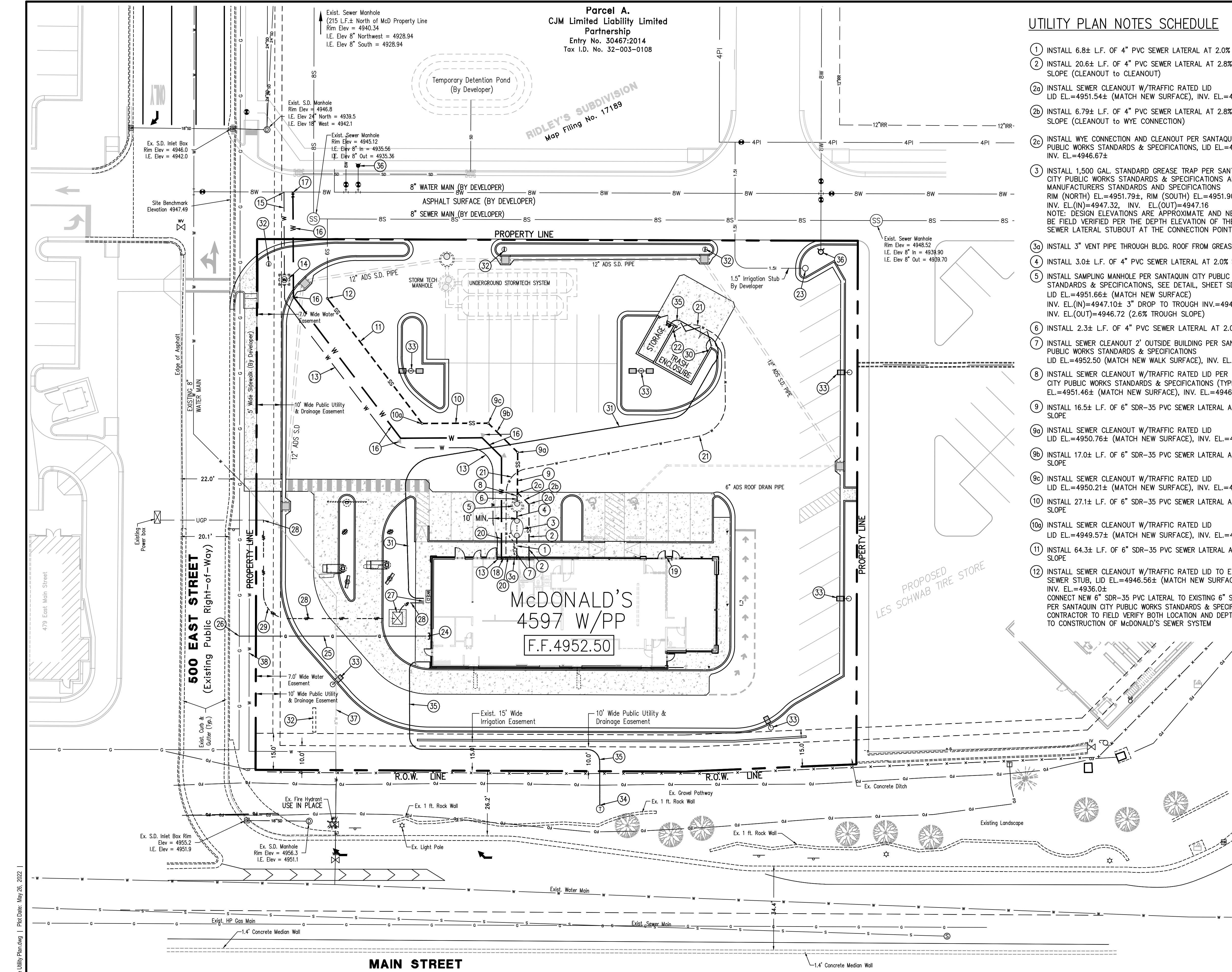
DOMINION
 Engineering Associates, L.C.
 5084 South Green Street
 Murray, Utah 84123 801-713-3000

PREPARED BY:
McDONALD'S CORPORATION
 1000 DRIVE - JAY BROOK LUNDS 6001
 THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF McDONALD'S CORPORATION. THE CONTRACT DOCUMENTS WERE PREPARED WITHOUT WRITTEN AUTHORIZATION BY THE CONTRACTOR. ANY REUSE OR REPRODUCTION OF THESE DRAWINGS OR SPECIFICATIONS FOR ANY OTHER PROJECT OR AT ANY OTHER TIME WITHOUT THE WRITTEN AUTHORIZATION OF McDONALD'S CORPORATION IS STRICTLY PROHIBITED.

DRAWN BY	DATE
REVIEWED BY	DATE
DATE REVIEWED	DATE ISSUED

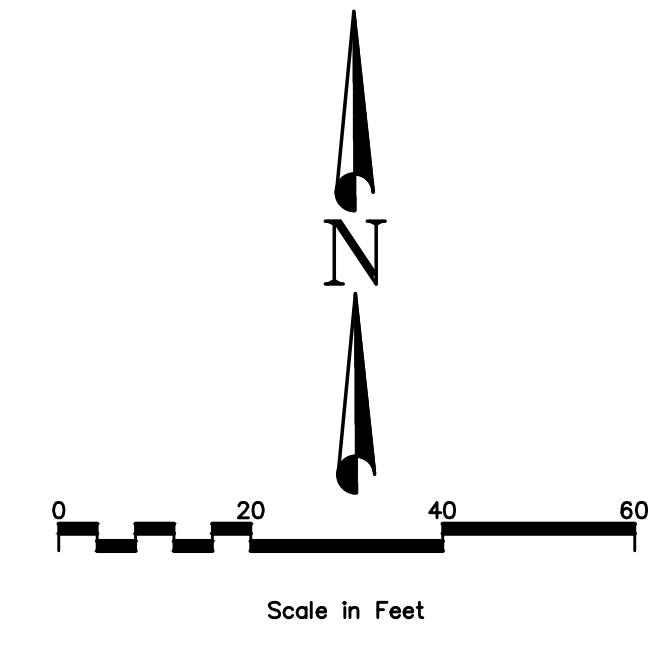
TITLE: **McDONALD'S SITE IMPROVEMENT PLANS**
 DESCRIPTION: **SANTAQUIN, UTAH VEHICLE QUEUING EXHIBIT**

SHEET NO. **SP-1B**



UTILITY PLAN NOTES SCHEDULE

- 1 INSTALL 6.8± L.F. OF 4" PVC SEWER LATERAL AT 2.0% SLOPE
- 2 INSTALL 20.6± L.F. OF 4" PVC SEWER LATERAL AT 2.8% SLOPE (CLEANOUT TO CLEANOUT)
- 2a INSTALL SEWER CLEANOUT W/TRAFFIC RATED LID LID EL.=4951.54± (MATCH NEW SURFACE), INV. EL.=4946.86±
- 2b INSTALL 6.79± L.F. OF 4" PVC SEWER LATERAL AT 2.8% SLOPE SLOPE (CLEANOUT TO WYE CONNECTION)
- 2c INSTALL WYE CONNECTION AND CLEANOUT PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS, LID EL.=4951.470, INV. EL.=4946.67±
- 3 INSTALL 1,500 GAL. STANDARD GREASE TRAP PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS AND MANUFACTURERS STANDARDS AND SPECIFICATIONS RIM (NORTH) EL.=4951.79±, RIM (SOUTH) EL.=4951.90± INV. EL.(IN)=4947.32, INV. EL.(OUT)=4947.16 NOTE: DESIGN ELEVATIONS ARE APPROXIMATE AND NEED TO BE FIELD VERIFIED PER THE DEPTH ELEVATION OF THE EXIST. SEWER LATERAL STUBOUT AT THE CONNECTION POINT
- 3a INSTALL 3" VENT PIPE THROUGH BLDG. ROOF FROM GREASE TRAP
- 4 INSTALL 3.0± L.F. OF 4" PVC SEWER LATERAL AT 2.0% SLOPE
- 5 INSTALL SAMPLING MANHOLE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS, SEE DETAIL, SHEET SD-6 LID EL.=4951.66± (MATCH NEW SURFACE) INV. EL.(IN)=4947.10± 3" DROP TO TROUGH INV.=4946.85 INV. EL.(OUT)=4946.72 (2.6% TROUGH SLOPE)
- 6 INSTALL 2.3± L.F. OF 4" PVC SEWER LATERAL AT 2.0% SLOPE
- 7 INSTALL SEWER CLEANOUT 2' OUTSIDE BUILDING PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS LID EL.=4952.50 (MATCH NEW WALK SURFACE), INV. EL.=4947.44±
- 8 INSTALL SEWER CLEANOUT W/TRAFFIC RATED LID PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS (TYPICAL) LID EL.=4951.46± (MATCH NEW SURFACE), INV. EL.=4946.67±
- 9 INSTALL 16.5± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT MIN. 8.5% SLOPE
- 9a INSTALL SEWER CLEANOUT W/TRAFFIC RATED LID LID EL.=4950.76± (MATCH NEW SURFACE), INV. EL.=4945.26±
- 9b INSTALL 17.0± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT MIN. 8.5% SLOPE
- 9c INSTALL SEWER CLEANOUT W/TRAFFIC RATED LID LID EL.=4950.21± (MATCH NEW SURFACE), INV. EL.=4943.81±
- 10 INSTALL 27.1± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT 8.5% SLOPE
- 10a INSTALL SEWER CLEANOUT W/TRAFFIC RATED LID LID EL.=4949.57± (MATCH NEW SURFACE), INV. EL.=4941.49±
- 11 INSTALL 64.3± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT 8.5% SLOPE
- 12 INSTALL SEWER CLEANOUT W/TRAFFIC RATED LID TO EXIST. 6" SEWER STUB, LID EL.=4946.56± (MATCH NEW SURFACE) INV. EL.=4936.0± CONNECT NEW 6" SDR-35 PVC LATERAL TO EXISTING 6" SEWER STUB PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS CONTRACTOR TO FIELD VERIFY BOTH LOCATION AND DEPTH PRIOR TO CONSTRUCTION OF McDONALD'S SEWER SYSTEM
- 13 INSTALL 163± L.F. OF 2" POLYETHYLENE WATERLINE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
- 14 INSTALL 2" WATER METER AND VALVE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
- 15 INSTALL 34.0± L.F. OF 2" POLYETHYLENE WATERLINE AND MAKE TAP CONNECTION TO EXISTING 8" WATER MAIN PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
- 16 INSTALL 200± L.F. OF 6" PVC C900 WATER LINE W/TRACER WIRE, INSTALL 45' BENDS AND THRUST BLOCKING AS SHOWN (FIRE PROTECTION) AT MIN. 4 FT. COVER TO TOP OF PIPE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECS.
- 17 INSTALL 8"x 6"x 8" TAPPING TEE WITH 6" GATE VALVE AND CONNECT NEW 6" PVC C900 WATER LINE (FIRE) TO EXIST. 8" WATER MAIN PER SANTAQUIN CITY PUBLIC WORKS DEPT. STANDARDS & SPECIFICATIONS ALL JOINTS TO HAVE ADEQUATE THRUST BLOCKING
- 18 INSTALL WALL TYPE INDICATOR VALVE (WIV) PER FIRE DEPT. REQUIREMENTS
- 19 INSTALL KNOX BOX PER FIRE DEPARTMENT REQUIREMENTS
- 20 INSTALL FIRE DEPT. CONNECTION (FDC) PER FIRE DEPT. REQUIREMENTS
- 21 INSTALL 153± L.F. OF 3/4" POLYETHYLENE WATER LINE AT MIN. 4' COVER FROM THE MAIN BUILDING TO HOSE BIBB IN TRASH ENCLOSURE
- 22 INSTALL FREEZE-PROOF HOSE BIBB WITH BACKFLOW PREVENTOR
- 23 EXISTING 1.5" PVC IRRIGATION PIPE CONNECTION, INSTALL IRRIGATION METER PER SANTAQUIN CITY STANDARDS
- 24 INSTALL EXTERNAL GAS METER - APPROXIMATE LOCATION
- 25 INSTALL 77± L.F. OF GAS LINE - APPROXIMATE LOCATION, CONTRACTOR TO COORDINATE SIZE AND LOCATION WITH GAS COMPANY
- 26 GAS LINE CONNECTION POINT TO EXIST. GAS LINE (APPROX. LOCATION) CONTRACTOR TO FIELD VERIFY EXACT LOCATION, TYPE AND SIZE OF EXISTING GAS LINE BEFORE NEW LINE TO BUILDING IS INSTALLED
- 27 NEW 3ph PADMOUNT TRANSFORMER AND CT CABINET (CONTRACTOR TO PROVIDE) PER ROCKY MOUNTAIN POWER STANDARDS & SPECIFICATIONS (CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER)
- 28 INSTALL UNDERGROUND POWER SERVICE CONDUITS FROM CT CABINET TO NEW TRANSFORMER AND FROM TRANSFORMER TO CONNECTION POINT (CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER)
- 29 CONDUIT ELBOWS TO BE FIBERGLASS WITH MINIMUM 4 FT. RADIUS PER ROCKY MOUNTAIN POWER STANDARDS
- 30 INSTALL 1-INCH CONDUIT RISER FOR POWER TO TRASH ENCLOSURE
- 31 INSTALL 243± L.F. OF 1" CONDUIT FOR POWER TO TRASH ENCLOSURE AND STORAGE BUILDING
- 32 INSTALL CONDUIT TO THE BUILDING FOR POWER ON ALL NEW DIRECTIONAL SIGNS AND NEW MONUMENT SIGN - TYPICAL (SEPARATE SIGN PERMIT)
- 33 INSTALL LOT LIGHTING POLES, SEE DETAILS, SHT. LTG-1
- 34 EXISTING TELEPHONE BOX - USE IN PLACE (POSSIBLE CONNECTION POINT FOR COMMUNICATION CONDUIT TO NEW BUILDING)
- 35 INSTALL 140± L.F. OF COMMUNICATION CONDUIT PER CENTURYLINK COMMUNICATIONS STANDARDS & SPECIFICATIONS
- 36 EXISTING FIRE HYDRANT (BY DEVELOPER) - LEAVE IN PLACE
- 37 EXISTING WATER MAIN TO BE RELOCATED BY DEVELOPER, SEE DEVELOPMENT IMPROVEMENT PLANS
- 38 PROPOSED WATER MAIN TO BE RELOCATED BY DEVELOPER, SEE DEVELOPMENT IMPROVEMENT PLANS



NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS / HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.



UTILITY NOTE
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND.

UTILITY CONTACTS		
WATER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
STORM	SANTAQUIN CITY - JON LUNDELL	801-754-1974
SEWER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
ELECTRIC POWER	ROCKY MOUNTAIN POWER	1-888-221-7070
GAS	DOMINION ENERGY - DAVE CHRISTENSEN	801-853-6586
TELEPHONE	CENTURYLINK	801-974-8130
HEALTH DEPT.	UTAH COUNTY HEALTH DEPARTMENT	801-851-7332

SITE UTILITY PLAN

Job # 3308
Path P:\MCDONALD\SJ\SanQuin\CAD | File Name: SP-2_Site Utility Plan.dwg | Plot Date: May 26, 2022 |

	<p>REGISTERED PROFESSIONAL ENGINEER No. 8080527 JEREMY RICK HANSON 5/15/18 STATE OF UTAH</p>	<p>REVISIONS PER CITY REVIEW COMMENTS</p>	<p>REVISIONS PER CITY REVIEW COMMENTS</p>	<p>REVISIONS PER CITY REVIEW COMMENTS</p>	<p>REVISIONS PER CITY REVIEW COMMENTS</p>
<p>DATE</p>	<p>DATE</p>	<p>DATE</p>	<p>DATE</p>	<p>DATE</p>	<p>DATE</p>
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<p>DESCRIPTION</p>	<p>DESCRIPTION</p>	<p>DESCRIPTION</p>	<p>DESCRIPTION</p>	<p>DESCRIPTION</p>	<p>DESCRIPTION</p>
<p>BY</p>	<p>BY</p>	<p>BY</p>	<p>BY</p>	<p>BY</p>	<p>BY</p>
<p>5/25/22</p>	<p>5/25/22</p>	<p>5/25/22</p>	<p>5/25/22</p>	<p>5/25/22</p>	<p>5/25/22</p>
<p>A</p>	<p>A</p>	<p>A</p>	<p>A</p>	<p>A</p>	<p>A</p>

PREPARED BY: **DOMINION Engineering Associates, L.C.**
5084 South Green Street, Murray, Utah 84123 801-713-3000

PREPARED FOR: **MCDONALD'S CORPORATION**
KFC DRIVE - JAM BROOK, LINDSEY 60501
THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MCDONALD'S CORPORATION. THE CONTRACT DOCUMENTS WILL BE PREPARED WITHOUT FURTHER INFORMATION. THE CONTRACT DOCUMENTS WILL BE PREPARED AND USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE CONTRACT DOCUMENTS. ANY REUSE OR REPRODUCTION OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF MCDONALD'S CORPORATION IS STRICTLY PROHIBITED.

OFFICE ADDRESS: 4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237
DENVER REGION: 4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237

DRAWN BY: _____
DATE: _____

STANDARD: _____
DATE: _____

REVIEWED BY: _____
DATE: _____

DATE REVIEWED: _____
DATE: _____

DATE ISSUED: _____
DATE: _____

TITLE: **MCDONALD'S SITE IMPROVEMENT PLANS**
SANTAQUIN, UTAH
DESCRIPTION: **SITE UTILITY PLAN**

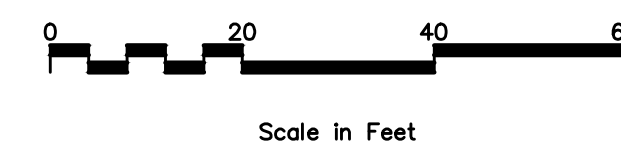
SHEET NO. **SP-2**

SITE ID: 043-0320 38 NORTH 500 EAST, SANTAQUIN, UTAH

Parcel A.
CJM Limited Liability Limited Partnership
Entry No. 30467:2014
Tax I.D. No. 32-003-0108

RIDLEY'S SUBDIVISION
Map Filing No. 17189

Temporary Detention Pond
(By Developer)



GRADING PLAN NOTES SCHEDULE

- 1 INSTALL 3'x3' CURB INLET CATCH BASIN WITH FRAME AND FLAT GRATE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS, SEE DETAIL SD-1, SHT. SD-8 GRATE EL.=4949.73 INV.(OUT) EL.=4947.23 SUMP EL.=4944.23
- 2 INSTALL 89.9± L.F. OF 12" ADS PIPE AT 4.3% SLOPE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECS.
- 3 INSTALL 3'x3' CURB INLET CATCH BASIN WITH FRAME AND FLAT GRATE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS, SEE DETAIL SD-1, SHT. SD-8 GRATE EL.=4945.82 INV.(OUT) EL.=4943.32 SUMP EL.=4940.32
- 4 INSTALL 55.7± L.F. OF 12" ADS PIPE AT 2.0% SLOPE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
- 5 INSTALL 5' DIA. S.D. MANHOLE WITH SOLID LID PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS LID EL.=4947.56 INV.(IN-W) EL.=4942.21 INV.(IN-E) EL.=4942.21 INV.(OUT) EL.=4937.60
- 6 INSTALL 4.9± L.F. OF 15" ADS PIPE AT 2.0% SLOPE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECS.
- 7 INSTALL 72" DIA. PRECAST CONCRETE FLAT FLOOR BASE MANHOLE WITH CONCRETE WEIR PER SANTAQUIN CITY PUBLIC STANDARDS & SPECIFICATIONS, AND MANUFACTURER'S SPECIFICATIONS. LID TO MATCH FINISH GRADE. LID EL.= 4947.2± INV.(IN) EL.= 4937.50 INV.(OUT) EL.= 4937.50 BOTTOM CONC. FLOOR EL.= 4936.50 SEE DETAILS SHEET SD-7
- 8 INSTALL MC-4500 STORMTECH WATER DETENTION SYSTEM WITH ISOLATOR ROW AT 45.72 FT. LONG, WITH 10 CHAMBERS AND END CAPS AND SECOND ROW AT 41.69 FT. LONG WITH 9 CHAMBERS AND END CAPS AS SHOWN PER MANUFACTURER'S AND SANTAQUIN CITY STANDARDS & SPECIFICATIONS SEE DETAILS SHEET SD-7
- 9 INSTALL 3'x3' CURB INLET CATCH BASIN WITH FRAME AND FLAT GRATE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS, SEE DETAIL SD-1, SHT. SD-8 GRATE EL.=4950.62 INV. EL.=4946.83 SUMP EL.=4943.83
- 10 INSTALL 99.0± L.F. OF 12" ADS PIPE AT 1.0% SLOPE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECS.
- 11 INSTALL 3'x3' CURB INLET CATCH BASIN WITH FRAME AND FLAT GRATE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS, SEE DETAIL SD-1, SHT. SD-8 GRATE EL.=4948.34 INV. EL.=4945.84 SUMP EL.=4942.84
- 12 INSTALL 78.6± L.F. OF 12" ADS PIPE AT 1.7% SLOPE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECS.
- 13 INSTALL 3'x3' CURB INLET CATCH BASIN WITH FRAME AND FLAT GRATE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS, SEE DETAIL SD-1, SHT. SD-8 GRATE EL.=4947.13 INV. EL.=4944.49 SUMP EL.=4941.49
- 14 INSTALL 20.0± L.F. OF 12" ADS PIPE AT 11.4% SLOPE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECS.
- 15 INSTALL 2.0± L.F. OF 6" ADS ROOF DRAIN PIPE AND ADS 45' BEND AT 3.0% SLOPE, INV. EL.(OUT OF BLDG.)=4950.50
- 16 INSTALL 51.3± L.F. OF 6 INCH ADS ROOF DRAIN PIPE AT 3.8% SLOPE INV. EL. (OUT OF 45' BEND)=4950.44±
- 17 INSTALL ADS ROOF DRAIN PIPE CLEANOUT LID EL.=4950.99±, INV. EL.(IN-OUT)=4948.49±
- 18 INSTALL 69.0± L.F. OF 6 INCH ADS ROOF DRAIN PIPE AT 2.4% SLOPE CONNECT INTO CURB INLET CATCH BASIN AT INV. EL.=4946.83
- 19 REVERSE PAN GUTTER (HATCHED AREA - TYPICAL)
- 20 TAPER CURB DOWN TO BOTTOM OF RAMP ELEVATION
- 21 LANDING AREA (5'x5' MIN.) PER ADA STANDARDS AND SPECIFICATIONS, TYPICAL ALL DOORS, TOP AND BOTTOM H.C. RAMPS, SEE DETAILS, SHEET SD-SD-6
- 22 8-INCH WIDE CONCRETE RETAINING WALL, SEE DETAIL, SHT. SD-4

GENERAL NOTES:

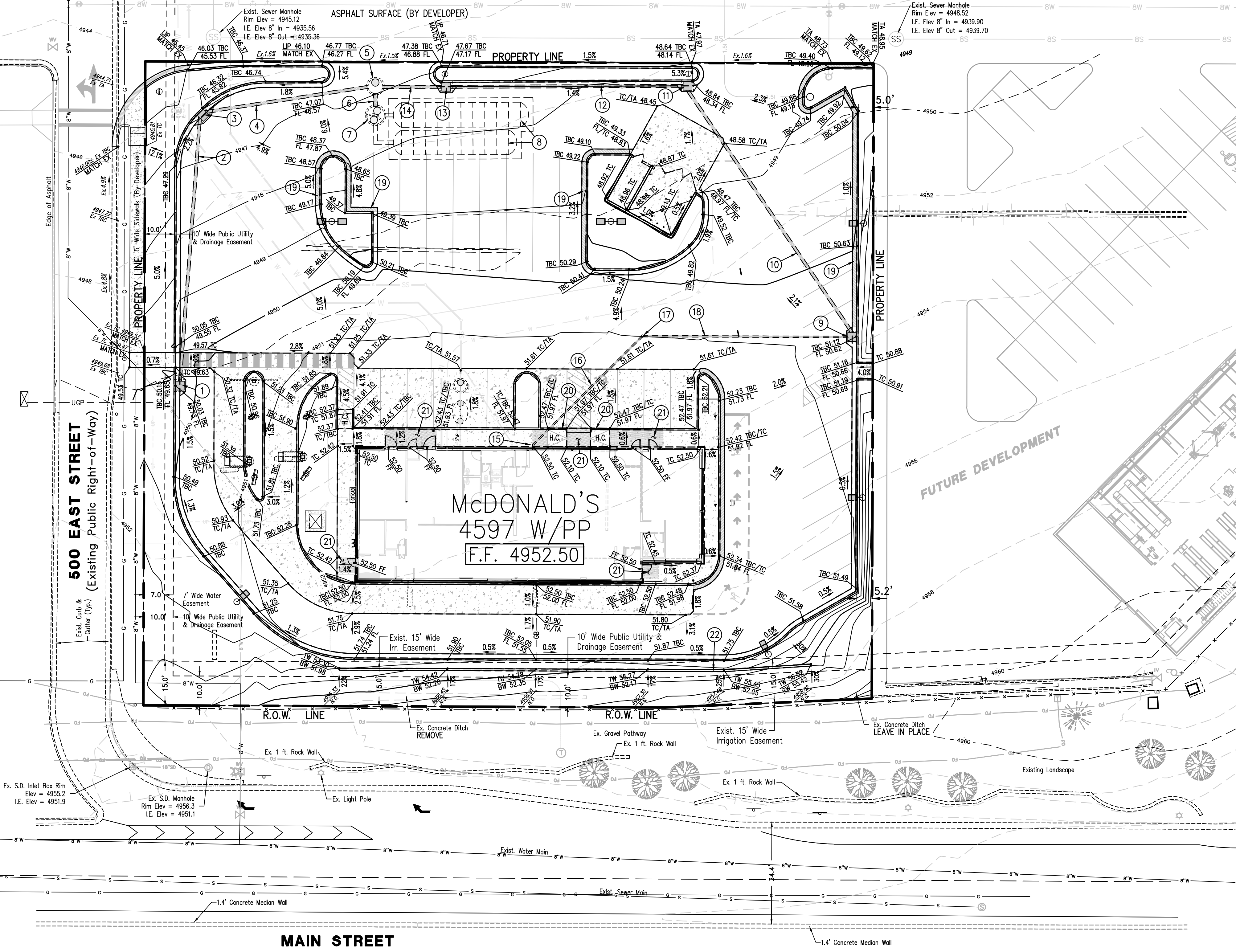
1. ALL HANDICAP ACCESS WALKWAYS TO BE CONSTRUCTED PER ADA STANDARDS AND SPECIFICATIONS (I.E.-MAX. 5% TRAVEL SLOPE AND MAX. 2% CROSS SLOPE) SEE SHEET SD-8 FOR ADA DETAILS AND ADDITIONAL CONSTRUCTION INFORMATION.
2. ALL APPLICABLE ELEMENTS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES WILL BE ADHERED TO.
3. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.
4. FOLLOW ALL RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT BY TERRACON CONSULTANTS, INC., DATED 11/9/2020
5. ALL CONCRETE SURFACE TO BE SEAL-COATED PER McDONALD'S REQUIREMENTS.
6. ALL PARKING STALLS AND DRIVE LANE DIMENSIONS ARE TO FACE OF CURB WHERE APPLICABLE.
7. CONTRACTOR TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. THIS INCLUDES EXTERIOR DOORS, SELF-SERVE BEVERAGE BAR AND DRIVE-THRU WINDOWS. SIGNAGE PACKAGE SUPPLIED BY:
FORREST PERMA-SIGN 1-800-214-8765
9292 1st STREET, BOX 588 www.forrestpermosigns.com
NEW ROCHELLE, NY 10802

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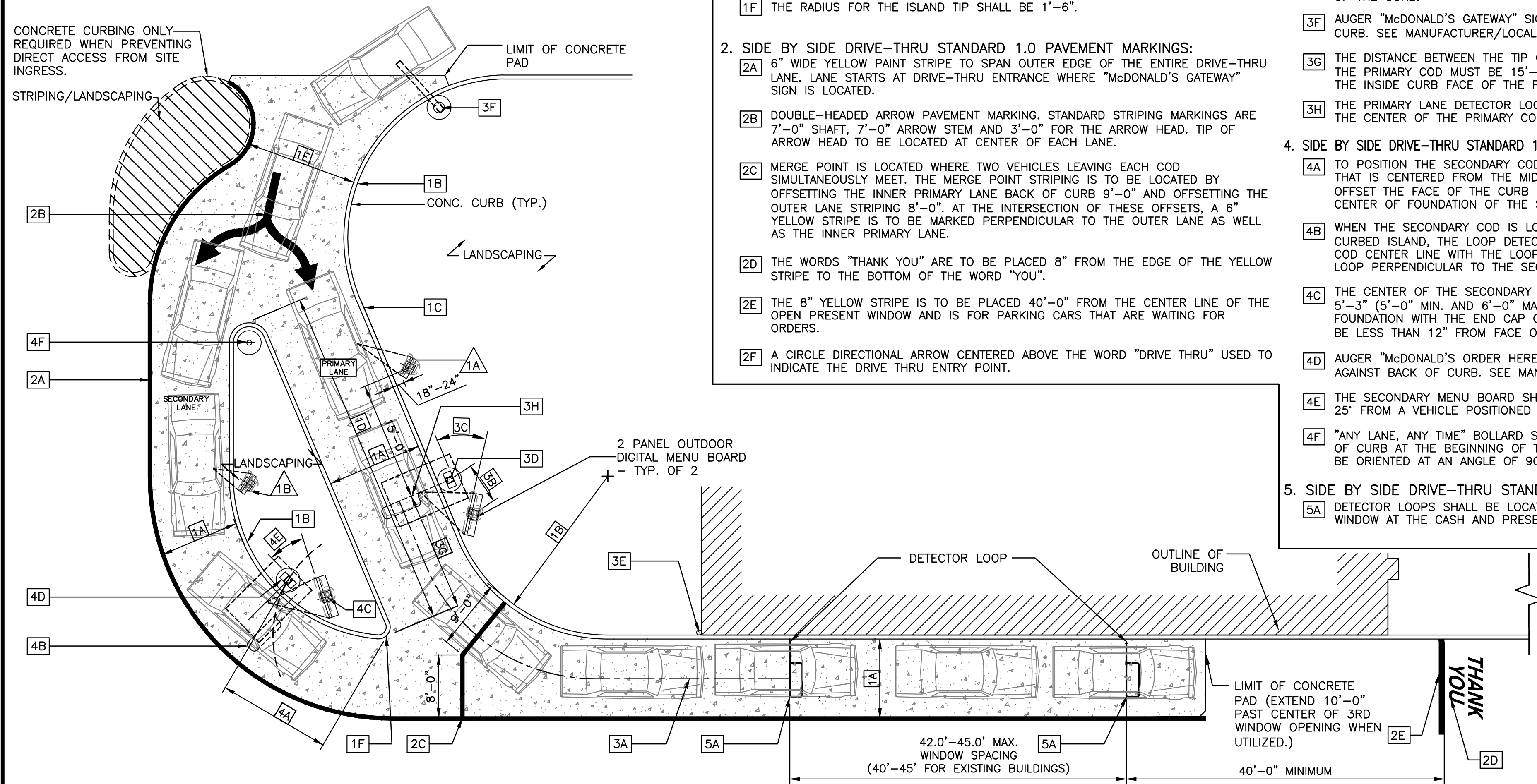


SITE GRADING-DRAINAGE PLAN

UTILITY CONTACTS		
WATER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
STORM	SANTAQUIN CITY - JON LUNDELL	801-754-1974
SEWER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
ELECTRIC POWER	ROCKY MOUNTAIN POWER	1-888-221-7070
GAS	DOMINION ENERGY - DAVE CHRISTENSEN	801-853-6586
TELEPHONE	CENTURYLINK	801-974-8130
HEALTH DEPT.	UTAH COUNTY HEALTH DEPARTMENT	801-851-7332

REGISTERED PROFESSIONAL ENGINEER No. 8080527 JEREMY RICK HANSON 5/12/12 STATE OF UTAH	REVISIONS PER SANTAQUIN CITY REVIEW COMMENTS	RJU	BY
PREPARED BY: DOMINION Engineering Associates, L.C. 5084 South Green Street Murray, Utah 84123 801-713-3000	DATE	5/12/22	
PREPARED FOR: MCDONALD'S CORPORATION 1000 DRYDEN - JAM BROOK, ILLINOIS 60061 THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MCDONALD'S CORPORATION. NO PART OF THESE DRAWINGS OR SPECIFICATIONS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCDONALD'S CORPORATION. THE CONTRACT DOCUMENTS WILL BE PREPARED AND PROVIDED TO THE CONTRACTOR FOR USE ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE CONTRACT DOCUMENTS. NO OTHER USE OR REPRODUCTION IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF MCDONALD'S CORPORATION.	DATE ISSUED		
DRAWN BY: MCDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH	DATE		
REVIEWED BY: SITE GRADING-DRAINAGE PLAN	DATE		
DATE REVIEWED	DATE		
DATE ISSUED	DATE		
SITE ADDRESS 043-0320 38 NORTH 500 EAST, SANTAQUIN, UTAH	OFFICE ADDRESS DENVER REGION: 4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237		
SHEET NO. SP-3			

THE LAYOUT OF THE DRIVE-THRU LANES SHOWN IN THIS DETAIL ILLUSTRATES DRIVE-THRU DESIGN PRINCIPLES.



1 DRIVE THRU LAYOUT GUIDELINES
 OMB 1" = 10'-0"

SIDE BY SIDE DRIVE-THRU STANDARD 1.0

1. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 CURBING DETAILS:

- 1A DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0". LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0".
- 1B THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0".
- 1C PRIMARY LANE CURBING SHOULD BE AS STRAIGHT AS POSSIBLE. (LESS CURVING, THE BETTER).
- 1D THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 35'-45'. THE LENGTH OF THE ISLAND FROM THE COD ALLOWS FOR THREE CARS IN THE SECONDARY LANE, TWO IN THE PRIMARY LANE AND ONE AT THE COMMITMENT POINT.
- 1E ENTRANCE LANE ENTERING THE SIDE BY SIDE DRIVE-THRU IS TO BE 14'-0" MIN.
- 1F THE RADIUS FOR THE ISLAND TIP SHALL BE 1'-6".

2. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 PAVEMENT MARKINGS:

- 2A 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE. LANE STARTS AT DRIVE-THRU ENTRANCE WHERE "McDONALD'S GATEWAY" SIGN IS LOCATED.
- 2B DOUBLE-HEADED ARROW PAVEMENT MARKING. STANDARD STRIPING MARKINGS ARE 7'-0" SHAFT, 7'-0" ARROW STEM AND 3'-0" FOR THE ARROW HEAD. TIP OF ARROW HEAD TO BE LOCATED AT CENTER OF EACH LANE.
- 2C MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH COD SIMULTANEOUSLY MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 9'-0" AND OFFSETTING THE OUTER LANE STRIPING 8'-0". AT THE INTERSECTION OF THESE OFFSETS, A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE.
- 2D THE WORDS "THANK YOU" ARE TO BE PLACED 8" FROM THE EDGE OF THE YELLOW STRIPE TO THE BOTTOM OF THE WORD "YOU".
- 2E THE 8" YELLOW STRIPE IS TO BE PLACED 40'-0" FROM THE CENTER LINE OF THE OPEN PRESENT WINDOW AND IS FOR PARKING CARS THAT ARE WAITING FOR ORDERS.
- 2F A CIRCLE DIRECTIONAL ARROW CENTERED ABOVE THE WORD "DRIVE THRU" USED TO INDICATE THE DRIVE THRU ENTRY POINT.

3. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 EQUIPMENT POSITIONING FOR PRIMARY LANE:

- 3A MIN. 60'-0" (+5', 60'-65") LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE COD FACE AND THE CENTER LINE OF THE OPEN ORDER BOOTH WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20'-0" INCREMENTS (±5' FOR 80', 100', AND 120') TO A MAX OF 120'. 100'-0" IS OPTIMAL.
- 3B THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION IS TO BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE COD FOUNDATION.
- 3C THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° TO 35° ANGLE (35° PREFERRED) FROM A CAR POSITIONED AT THE COD AND WITH 100% VISIBILITY.
- 3D AUGER "McDONALD'S ORDER HERE CANOPY" COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
- 3E A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB.
- 3F AUGER "McDONALD'S GATEWAY" SIGN FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
- 3G THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY COD MUST BE 15'-0". THIS MEASUREMENT IS TAKEN PARALLEL TO THE INSIDE CURB FACE OF THE PRIMARY LANE.
- 3H THE PRIMARY LANE DETECTOR LOOP SHOULD BE PERPENDICULAR TO THE CENTER OF THE PRIMARY COD.

4. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 EQUIPMENT POSITIONING FOR SECONDARY LANE:

- 4A TO POSITION THE SECONDARY COD, DRAW AN ARC WITH A 14' RADIUS THAT IS CENTERED FROM THE MIDPOINT OF THE ISLAND TIP. THEN OFFSET THE FACE OF THE CURB BY 24" TO DETERMINE THE LOCATION OF CENTER OF FOUNDATION OF THE SECONDARY COD.
- 4B WHEN THE SECONDARY COD IS LOCATED AT 14'-0" FROM THE TIP OF THE CURBED ISLAND, THE LOOP DETECTOR IS TO BE 2'-0" FORWARD OF THE COD CENTER LINE WITH THE LOOP FACING FORWARD AND THE DETECTOR LOOP PERPENDICULAR TO THE SECONDARY COD WHEN POSSIBLE.
- 4C THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHALL BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM CENTER OF THE COD FOUNDATION WITH THE END CAP OF THE SECONDARY MENU BOARD NOT BE LESS THAN 12" FROM FACE OF CURB.
- 4D AUGER "McDONALD'S ORDER HERE CANOPY" COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
- 4E THE SECONDARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° FROM A VEHICLE POSITIONED AT THE COD AND WITH 100% VISIBILITY.
- 4F "ANY LANE, ANY TIME" BOLLARD SIGN MUST BE A MIN. OF 1'-6" FROM FACE OF CURB AT THE BEGINNING OF THE LANDSCAPE ISLAND. BOLLARD SIGN IS TO BE ORIENTED AT AN ANGLE OF 90° FROM THE CURB.

5. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 DETECTOR LOOP:

- 5A DETECTOR LOOPS SHALL BE LOCATED AT THE CENTER OF THE OPENING WINDOW AT THE CASH AND PRESENTER BOOTHS.

SIDE BY SIDE DRIVE-THRU STANDARD 1.0 FEATURES:

1. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 EQUIPMENT:

- 1A PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB (18" TO 24" PREFERRED). THE DISTANCE BETWEEN THE PRIMARY COD AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE COD FOUNDATION. THE ANGLE (APPROXIMATELY 50°) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD.
- 1B PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB (18" PREFERRED). THE DISTANCE BETWEEN THE SECONDARY COD AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG FACE OF THE CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE COD FOUNDATION. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD (PREFERRED 35°).

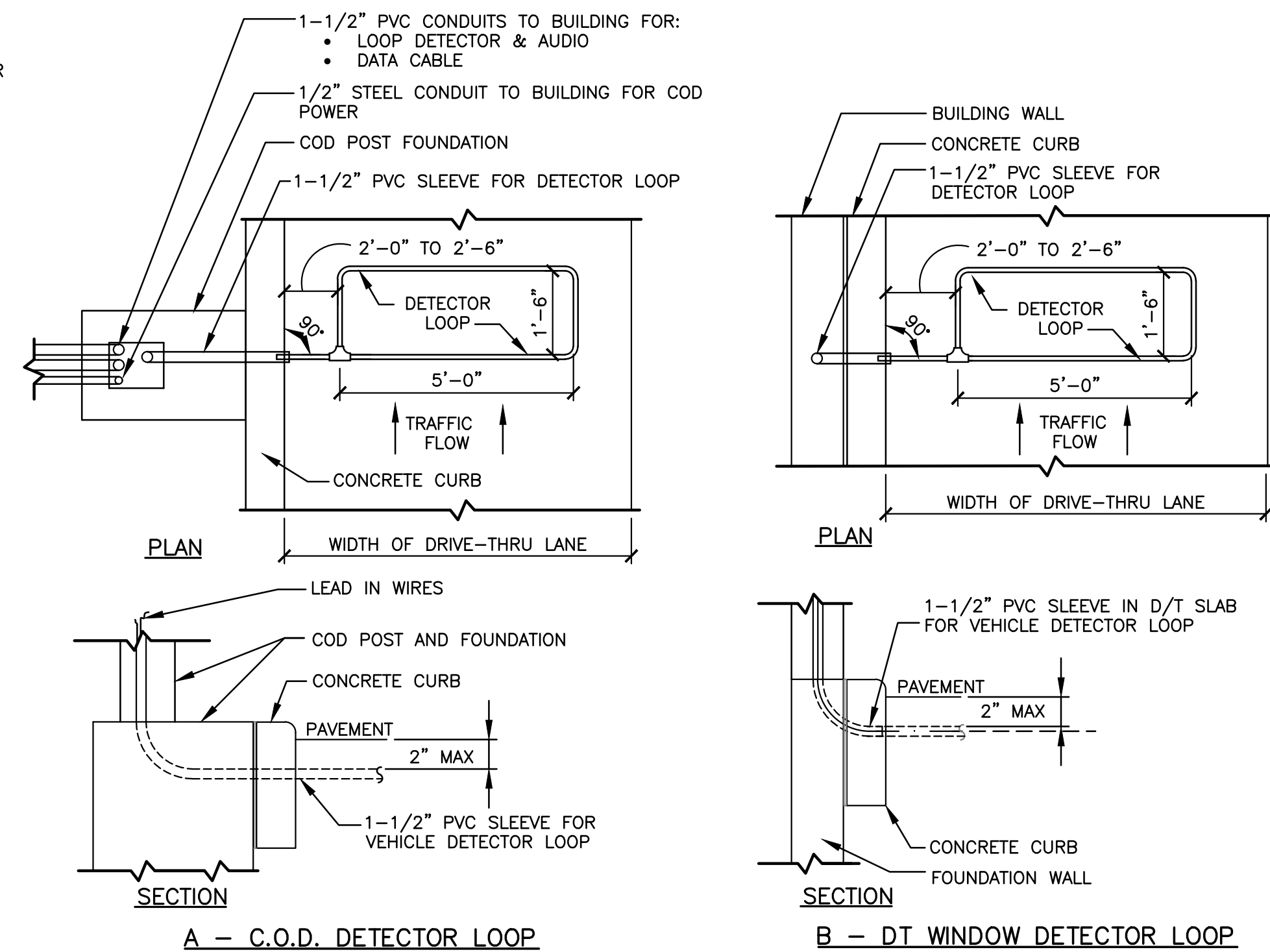
GENERAL NOTES

- 1. **DRIVE-THRU ELEMENTS:** COD, DRIVE-THRU PYLON/CLEARANCE POLE AND BOLLARD SIGN SHALL BE CONSISTENT WITH THE STANDARD BUILDING DESIGN DRIVE-THRU ELEMENTS. OTHER DESIGNS MAY NOT BE USED.
- 2. CONTRACTOR SHALL COORDINATE WITH APPLICABLE PLANS, McDONALD'S AREA CONSTRUCTION MANAGER, CONTENT SUPPLIER AND SIGNAGE SUPPLIER TO DETERMINE EXACT LOCATION, ORIENTATION, MOUNTING HEIGHTS, AND NUMBER OF BOARDS AND OTHER DRIVE-THRU ELEMENTS TO BE INSTALLED AT THIS SITE. ALL WORK TO BE COORDINATED WITH OTHER TRADES.
- 3. CONTACT McDONALD'S AREA CONSTRUCTION MANAGER FOR DRIVE-THRU ELEMENT FOOTING AND WIRING REQUIREMENTS NOT SHOWN. (INFORMATION ALSO AVAILABLE THROUGH VENDOR WEBSITES) SIGNAGE MANUFACTURER TO PROVIDE FOOTING ANCHORS & TEMPLATES TO G.C. PRIOR TO FOUNDATION POURING.
- 4. SEE DETAIL 2 THIS SHEET FOR DETECTOR LOOP INFORMATION, DETAIL 3 THIS SHEET FOR LOW VOLTAGE CONDUIT DIAGRAM AND DETAIL 4 THIS SHEET FOR DRIVE THRU POWER DIAGRAM; VENDOR'S SPECIFICATIONS SHALL GOVERN UPON ANY DISCREPANCIES.
- 5. CONTRACTOR TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR, CONTENT SUPPLIER AND THE SIGN SUPPLIER.
- 6. CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP.
- 7. CONTRACTOR SHALL VERIFY CONDUIT SIZES REQUIRED BY VEHICLE LOOP DETECTOR SUPPLIER.
- 8. IF 12" MIN. CLEARANCE CANNOT BE ATTAINED OR IF THERE IS A HIGH CHANCE OF AN IMPACT, A BOLLARD MAY BE INSTALLED TO PROTECT THE APPROPRIATE BOARD(S). 100% VISIBILITY OF THE BOARD(S) IS REQUIRED AFTER BOLLARD PLACEMENT.
- 9. MENU BOARDS SHALL BE PLACED TO ALLOW FRONT ACCESS CLEARANCE: 100% ACCESS IS REQUIRED.

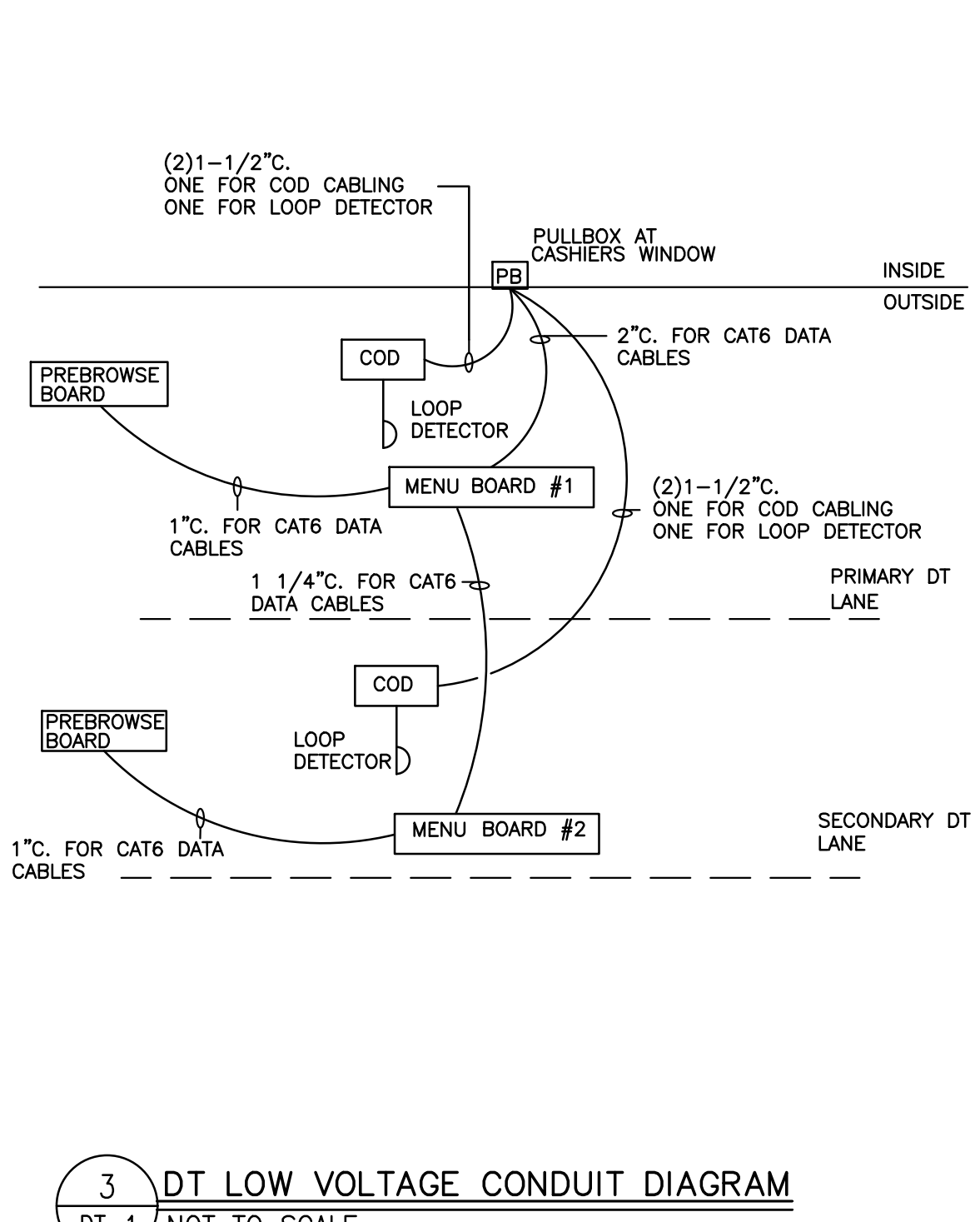
REFERENCE ONLY

NOTES

- 1. VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
- 2. CENTER VEHICLE DETECTOR LOOP IN DRIVE THRU LANE. INSTALL PER MFR. RECOMMENDATIONS.
- 3. NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2" OF LOOP.
- 4. **DETECTOR LOOP MANUFACTURERS:** DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWINGS COMPANIES OR EQUAL.
 SM: 1-800-328-0033
 HME: 1-800-848-4468
- 5. **DETECTOR LOOP MATERIAL:** PVC TUBING 1/2" I.D. 100 PSI LOOP MADE FROM ONE LENGTH OF THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
- 6. **DETECTOR LOOP CONSTRUCTION:** FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PIGTAILED AS DETAILED.



2 DETECTOR LOOP DETAILS
 DT-2 NOT TO SCALE

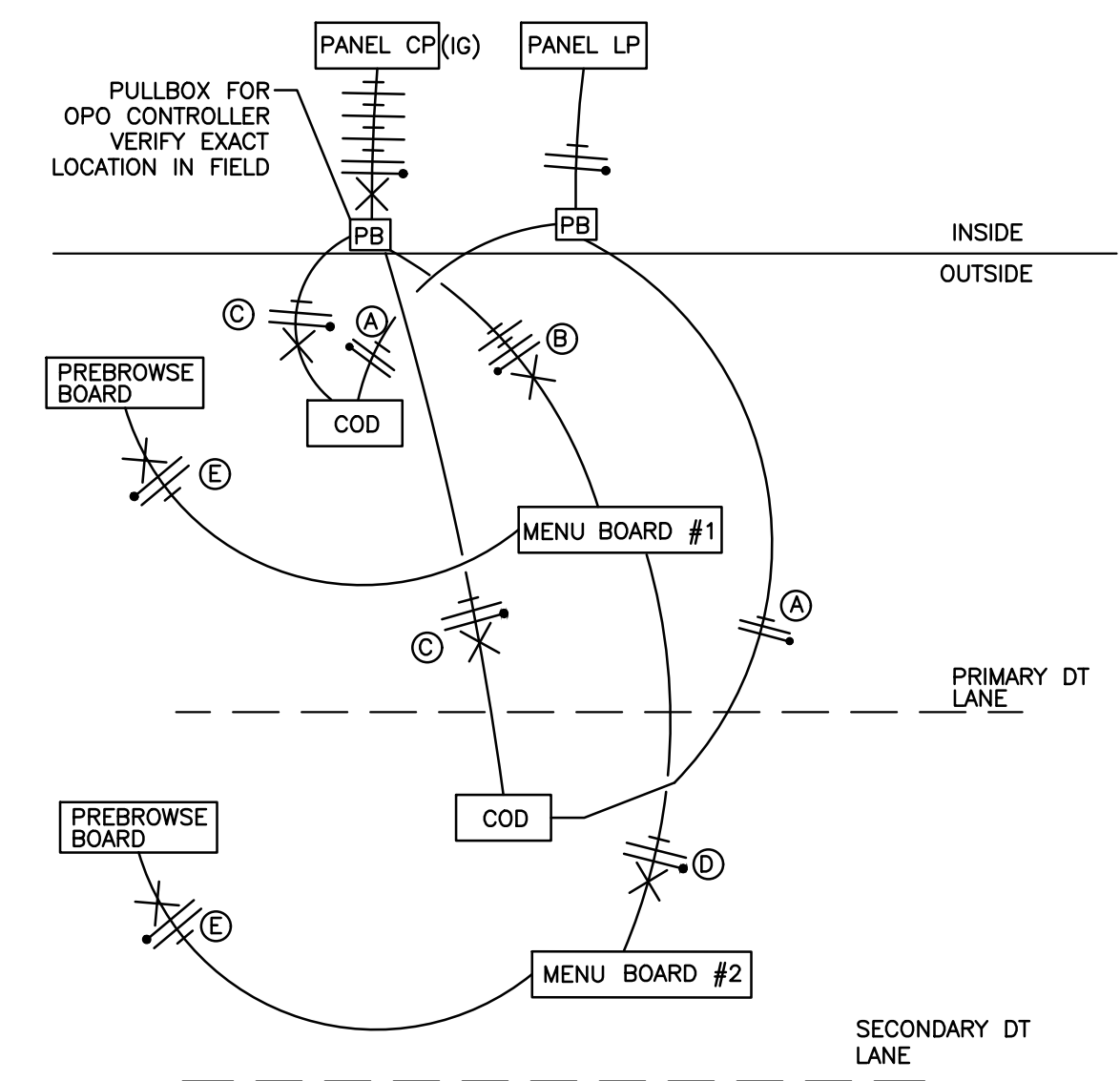


3 DT LOW VOLTAGE CONDUIT DIAGRAM
 DT-1 NOT TO SCALE

NOTE:

- * VERIFY EXACT CIRCUITS & QUANTITIES OF CIRCUITS WITH PANEL SCHEDULES AND MANUFACTURERS INSTALLATION INSTRUCTIONS.
- FOR EXISTING LOCATIONS:
 * VERIFY EXISTING CP PANEL HAS AMPACITY AND SUFFICIENT SPACES/SPACE FOR TWO (2) NEW 20A/1P CIRCUITS. UPGRADE CP PANEL TO 42 CIRCUITS IF NECESSARY.
- * VERIFY EXISTING PULLBOXES ARE SIZED FOR NEW CONDUIT ROUTING. MODIFY PULLBOXES IF NECESSARY.

- A 2#12 & 1#12 GND. TO LP-1 FOR COD CANOPY LIGHTING.
- B 4#12 & 1#12 GND & 1#12 ISOLATED GND., TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
- C 2#12 & 1#12 GND & 1#12 ISOLATED GND., TO CP FOR ISOLATED GROUND POWER TO COD'S. EACH COD SHALL BE ON ITS OWN SEPARATE CIRCUIT.
- D 2#12 & 1#12 GND & 1#12 ISOLATED GND., TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
- E 2#12 & 1#12 GND & 1#12 ISOLATED GND., TO CP FOR ISOLATED GROUND POWER TO FOR PRESELL BOARDS AND MEDIA PLAYER.



4 DRIVE THRU POWER DIAGRAM
 DT-1 NOT TO SCALE

NO.	DATE	REVISIONS	PER	CITY	REVIEW	COMMENTS	DESCRIPTION
A	5/25/22						

REGISTERED PROFESSIONAL ENGINEER
 No. 8080527
 JEREMY RICK
 HANSON
 5/25/22
 STATE OF UTAH

DOMINION
 Engineering Associates, L.C.
 5684 South Green Street
 Murray, Utah 84123 801-713-3000

PREPARED BY: [Signature]

McDONALD'S CORPORATION
 1000 DRIVE - 5th FLOOR, SUITE 500
 DENVER, CO 80202

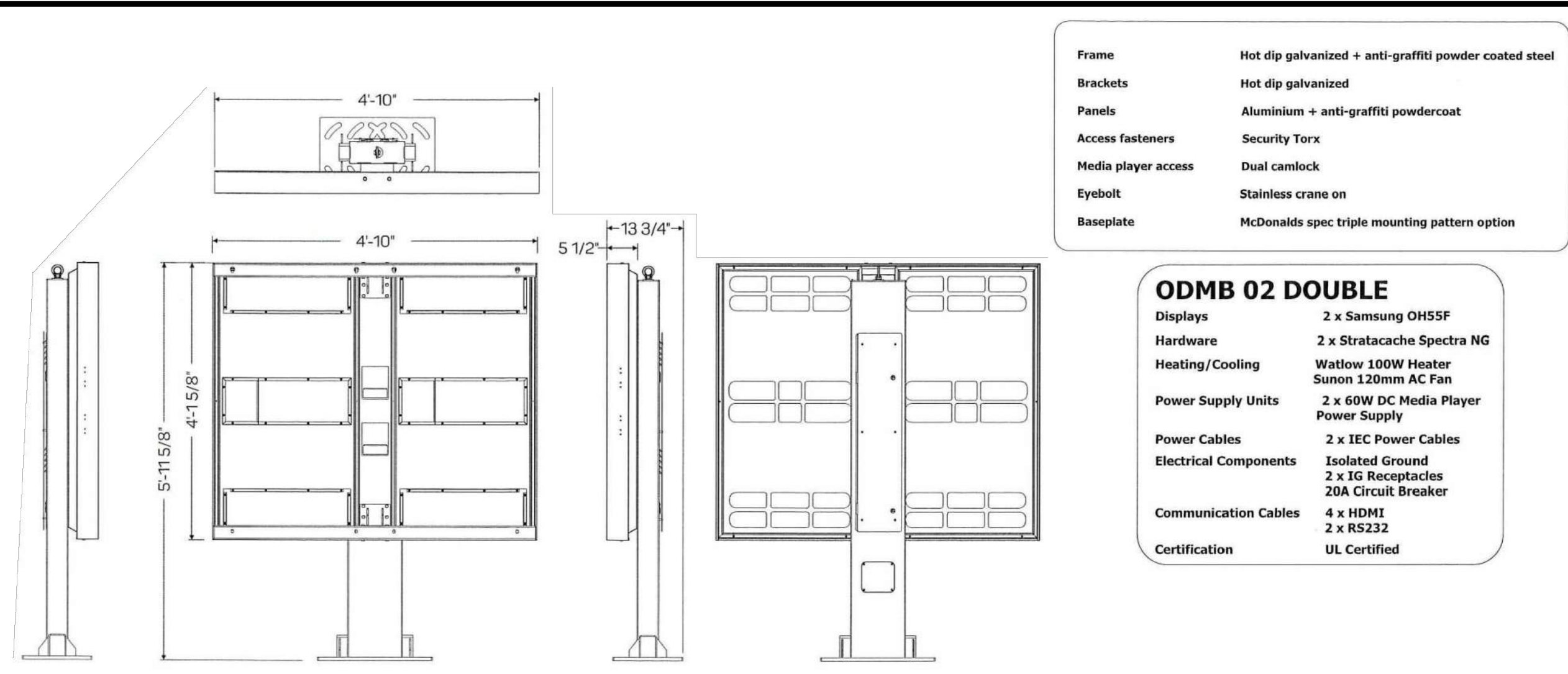
THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF McDONALD'S CORPORATION. NO PART OF THESE DRAWINGS OR SPECIFICATIONS MAY BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN AUTHORIZATION OF McDONALD'S CORPORATION. THE CONTRACT DOCUMENTS FOR THIS PROJECT SHALL BE THE FINAL AUTHORITY FOR THE CONTRACT DOCUMENTS. FOR MORE INFORMATION, CONTACT THE PROJECT MANAGER.

OFFICE ADDRESS: DENVER REGION: 4643 S. ILLUSTER ST., SUITE 1300, DENVER, CO 80237

TITLE: **McDONALD'S SITE IMPROVEMENT PLANS**
 SANTAQUIN, UTAH

DESCRIPTION: **DRIVE-THRU DETAILS**
DIGITAL PLATFORM STANDARDS

SHEET NO. **DT-1**



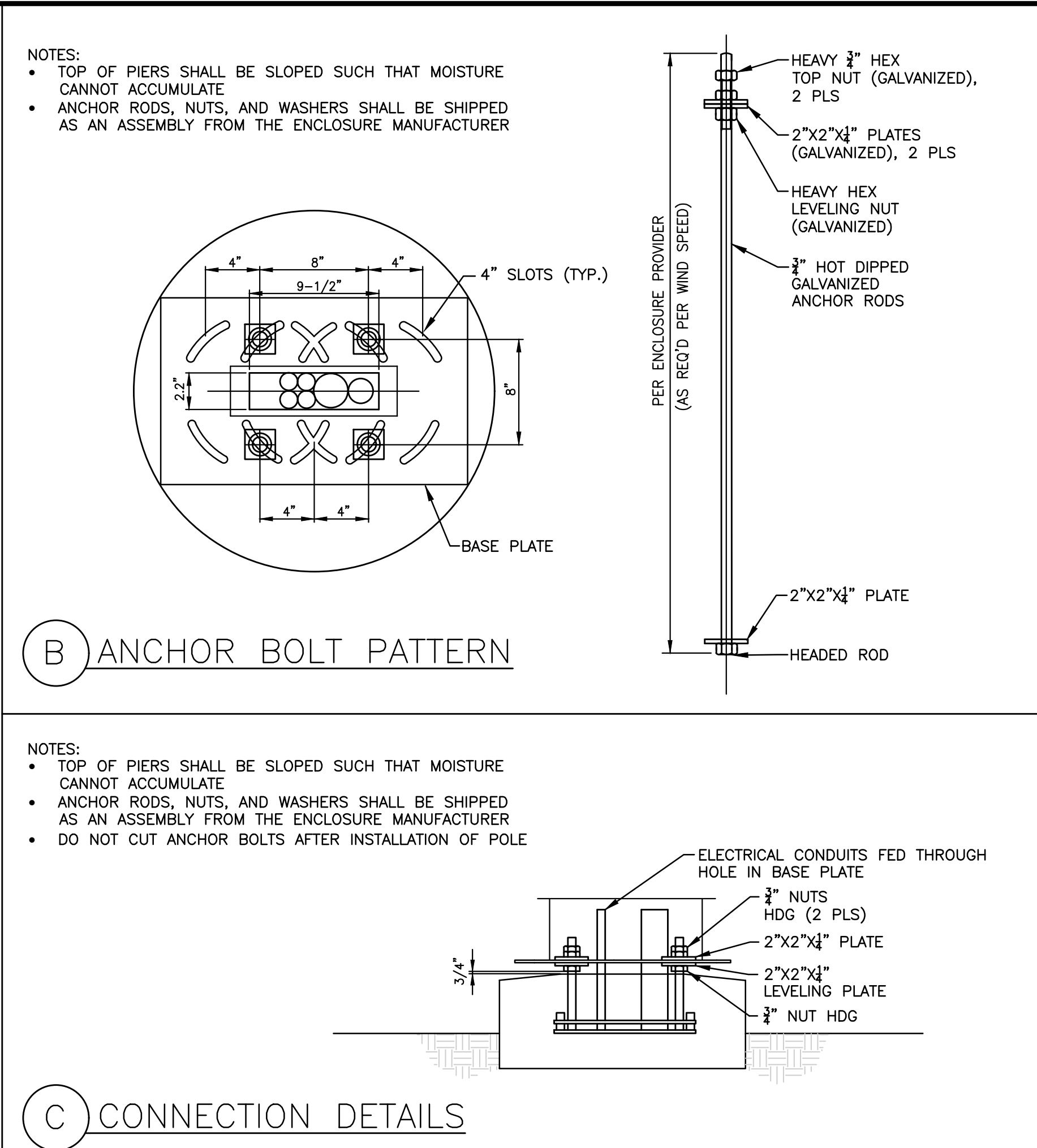
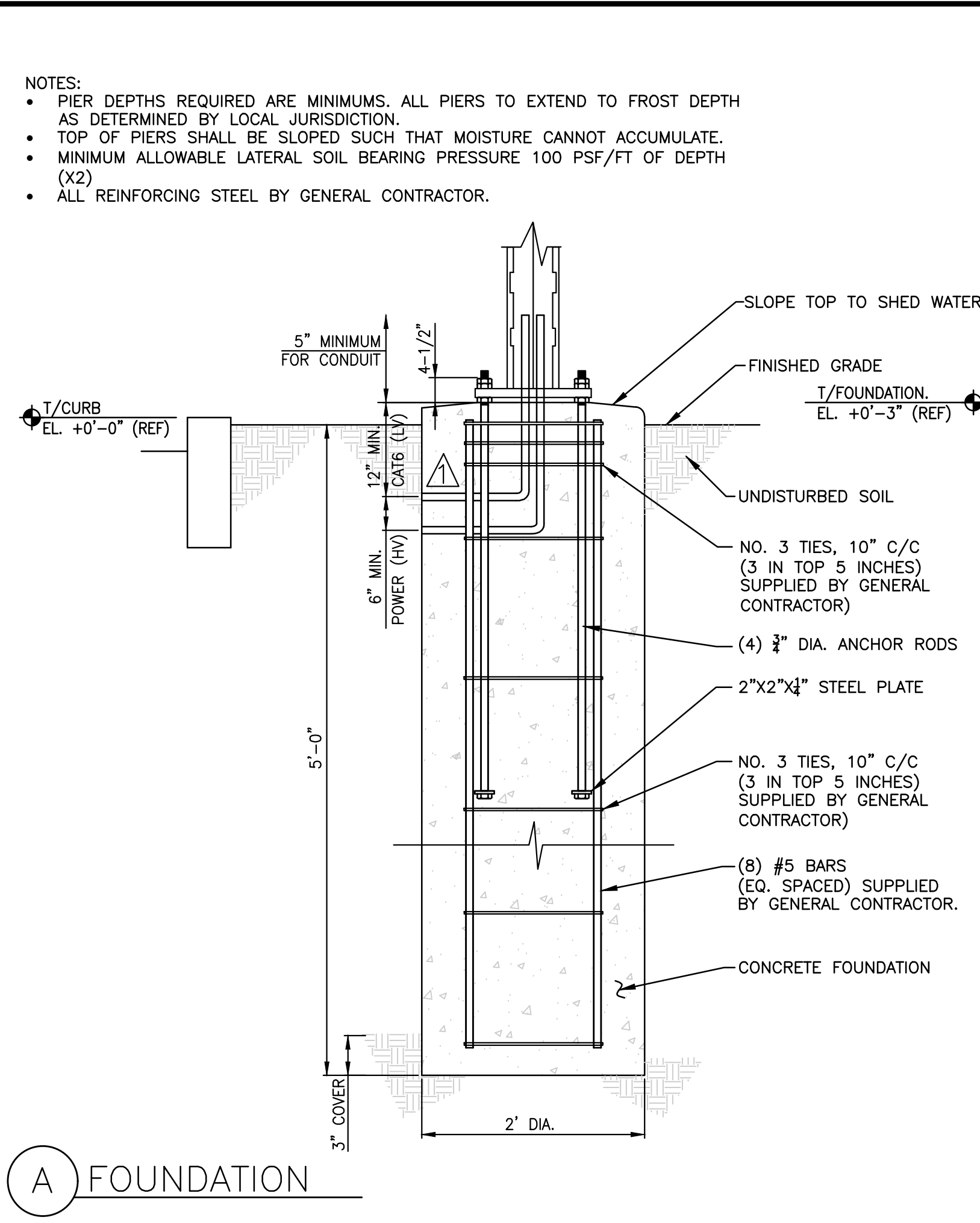
ODMB 02 DOUBLE

Displays	2 x Samsung OH55F
Hardware	2 x Stratacache Spectra NG
Heating/Cooling	Watlow 100W Heater Sunon 120mm AC Fan
Power Supply Units	2 x 60W DC Media Player Power Supply
Power Cables	2 x IEC Power Cables
Electrical Components	Isolated Ground 2 x 1G Receptacles 20A Circuit Breaker
Communication Cables	4 x HDMI 2 x RS232
Certification	UL Certified

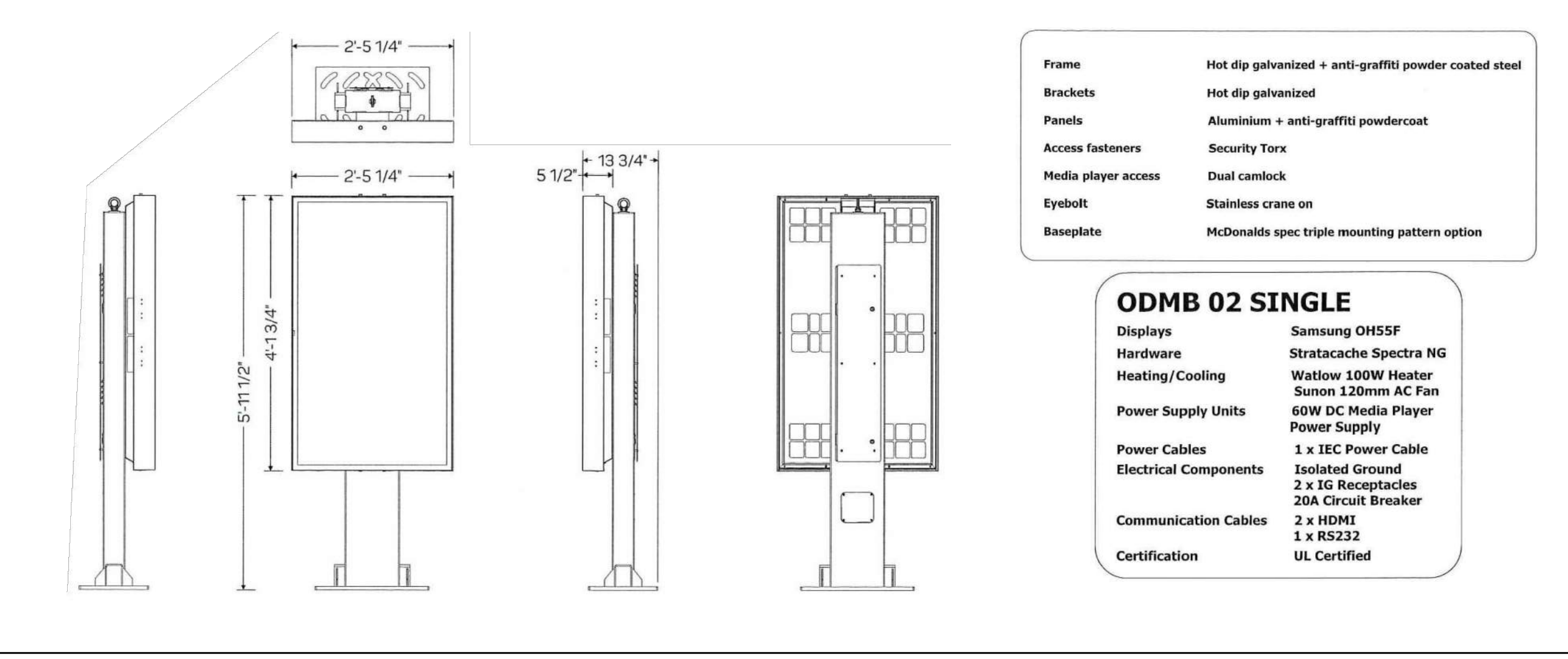
GENERAL NOTES
 -THE FOLLOWING CODES WERE USED IN DESIGN:
 -IBC 2015
 -ASCE 7-10
 -ACI 318-14
 -WIND SPEED 115 MPH (ULTIMATE WIND SPEED)
 -EXPOSURE C
 -50 PSF SNOW LOADING
 -ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
 -MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100 PSF/FT (X2)
 -SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER, IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING IN TO ACCOUNT ACTUAL SITE SOIL CONDITIONS
 -TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
CONCRETE:
 -ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE
 -ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE

MINIMUM CONCRETE STRENGTH (F'C=3,000 PSI) SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
 -USE OF ADMIXTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
 -AIR ENTERTAINMENT SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS 2.6-A AND 2.13-A
 -WATER CONTENT RATIO SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
 -FOUNDATION CONCRETE TO BE TESTED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
 -PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL
 -REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5 PERFORMED BY GENERAL CONTRACTOR
 -ANCHOR RODS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
 -DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.11-E
 -CAST CONCRETE DIRECTLY AGAINST EXCAVATED HOLE SIDES
 -ASTM A-615, GR 60 REBAR, BLACK

STEEL:
 -STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy=35 KSI)
 -HSS ROUND SECTION: ASTM A500 GRADE B (Fy= 42 KSI)
 -HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy= 46 KSI)
 -HEADED ANCHOR RODS ASTM F1554 GR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 GR 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.
 -STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
 -REINFORCEMENT: ASTM A615 GRADE 60- BY GENERAL CONTRACTOR
 -NUTS: ASTM A563A, HEAVY HEX
 -WASHERS: ASTM F844 A36
 -USE ASTM A153 CLASS C OT DIPPED GALVANIZED BOLTS AND FASTENERS.
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 -NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
 -DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE
 -AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION
 -ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1
 -REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION



1 DIGITAL MENU BOARD
 F1.0 SCALE: NONE



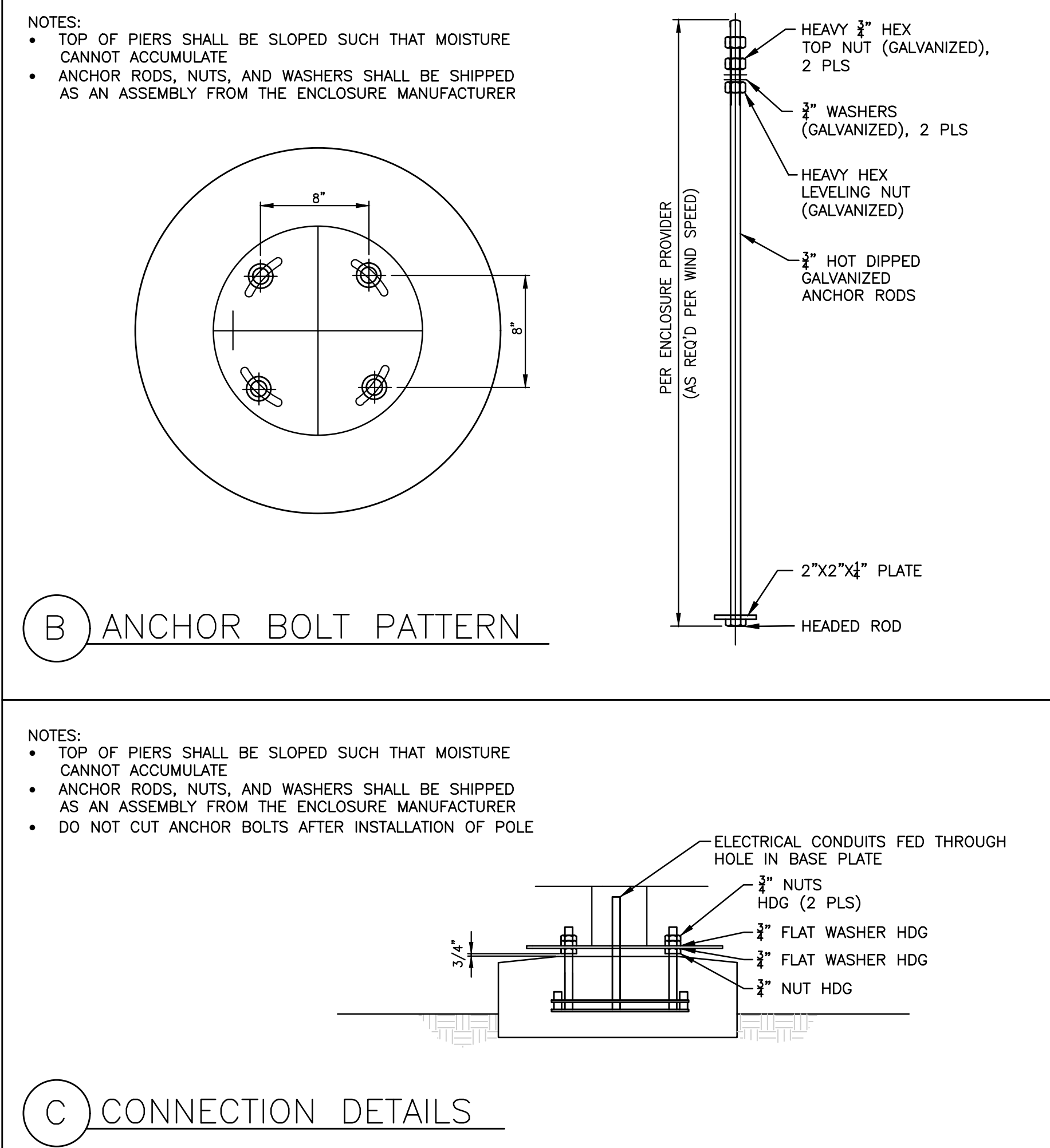
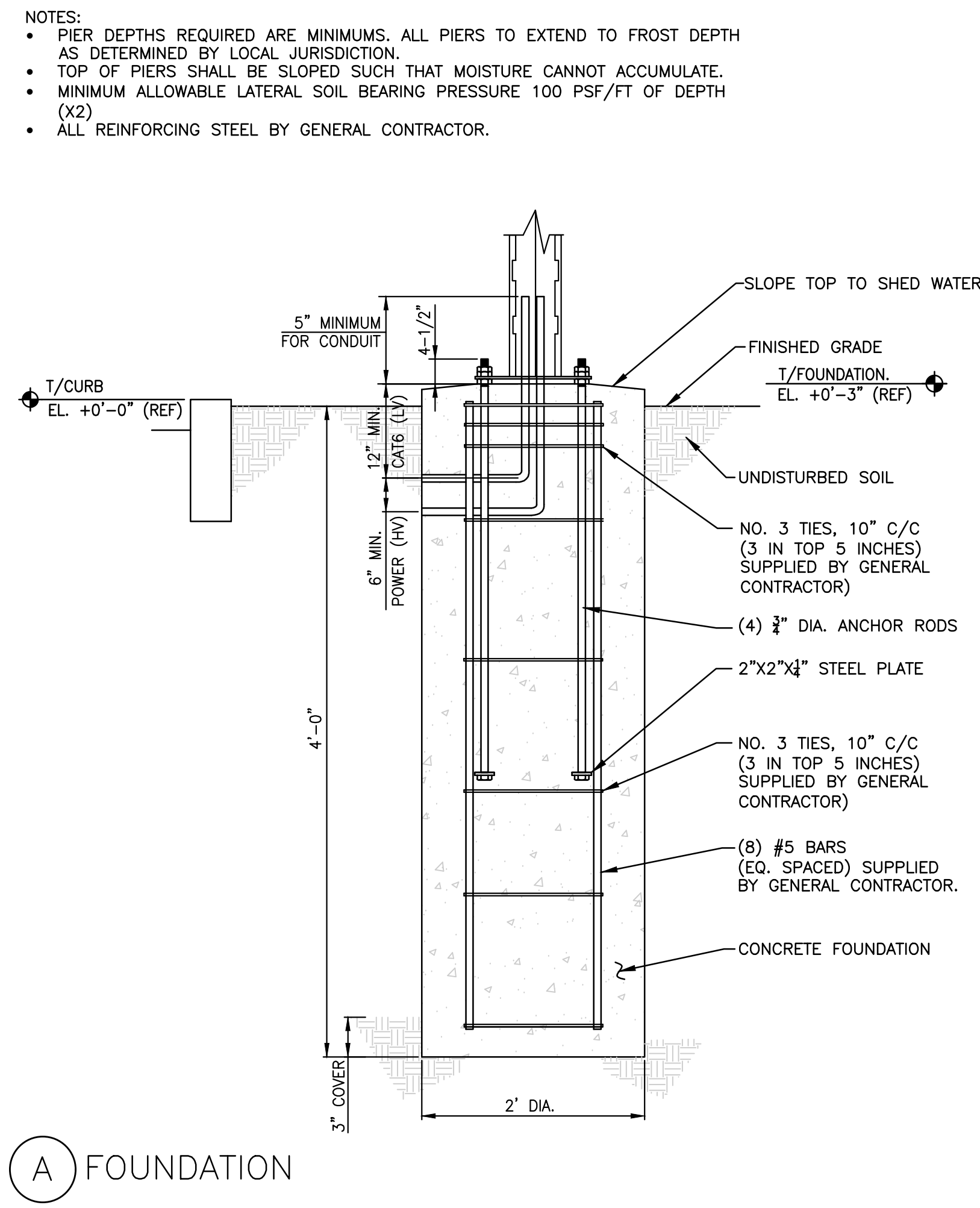
ODMB 02 SINGLE

Displays	Samsung OH55F
Hardware	Stratacache Spectra NG
Heating/Cooling	Watlow 100W Heater Sunon 120mm AC Fan
Power Supply Units	60W DC Media Player Power Supply
Power Cables	1 x IEC Power Cable
Electrical Components	Isolated Ground 2 x 1G Receptacles 20A Circuit Breaker
Communication Cables	2 x HDMI 1 x RS232
Certification	UL Certified

GENERAL NOTES
 -THE FOLLOWING CODES WERE USED IN DESIGN:
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 -ASCE 7-10
 -ACI 318-14
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 -ASTM A-615, GR 60 REBAR, BLACK

STEEL:
 -STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy=35 KSI)
 -HSS ROUND SECTION: ASTM A500 GRADE B (Fy= 42 KSI)
 -HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy= 46 KSI)
 -HEADED ANCHOR RODS ASTM F1554 GR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 GR 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.
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 -WASHERS: ASTM F844 A36
 -USE ASTM A153 CLASS C OT DIPPED GALVANIZED BOLTS AND FASTENERS.
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 -REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION



2 DIGITAL PRE-BROWSE BOARD
 F1.0 SCALE: NONE



NO.	REV	DATE	REVISIONS PER CITY REVIEW COMMENTS	DESCRIPTION	RJU	BY
	A	5/25/22				

REGISTERED PROFESSIONAL ENGINEER
 No. 8030627
 JERRY RICK
 HANSON
 5/15/17
 STATE OF UTAH

DOMINION
 Engineering Associates, L.C.
 5684 South Green Street
 Murray, Utah 84123 801-713-3000

PREPARED BY: [Signature]

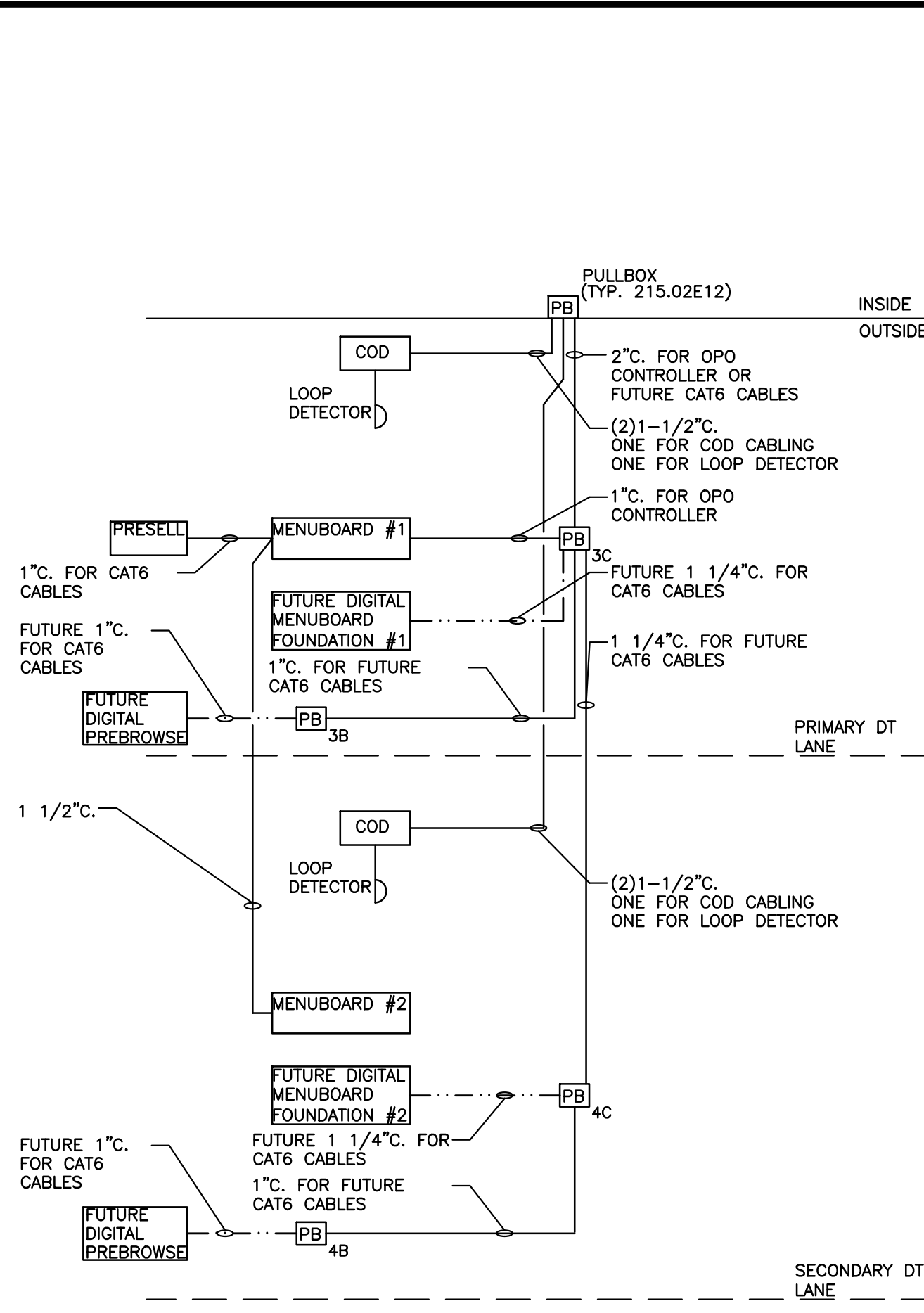
FILE NAME: D:\1-2 Foundation Plans.dwg | Plot Date: May 25, 2022 |

TITLE: McDonald's Site Improvement Plans
 SANTAQUIN, UTAH
 DESCRIPTION: DRIVE-THRU DETAILS
 DIGITAL PLATFORM STANDARDS-FOUNDATIONS

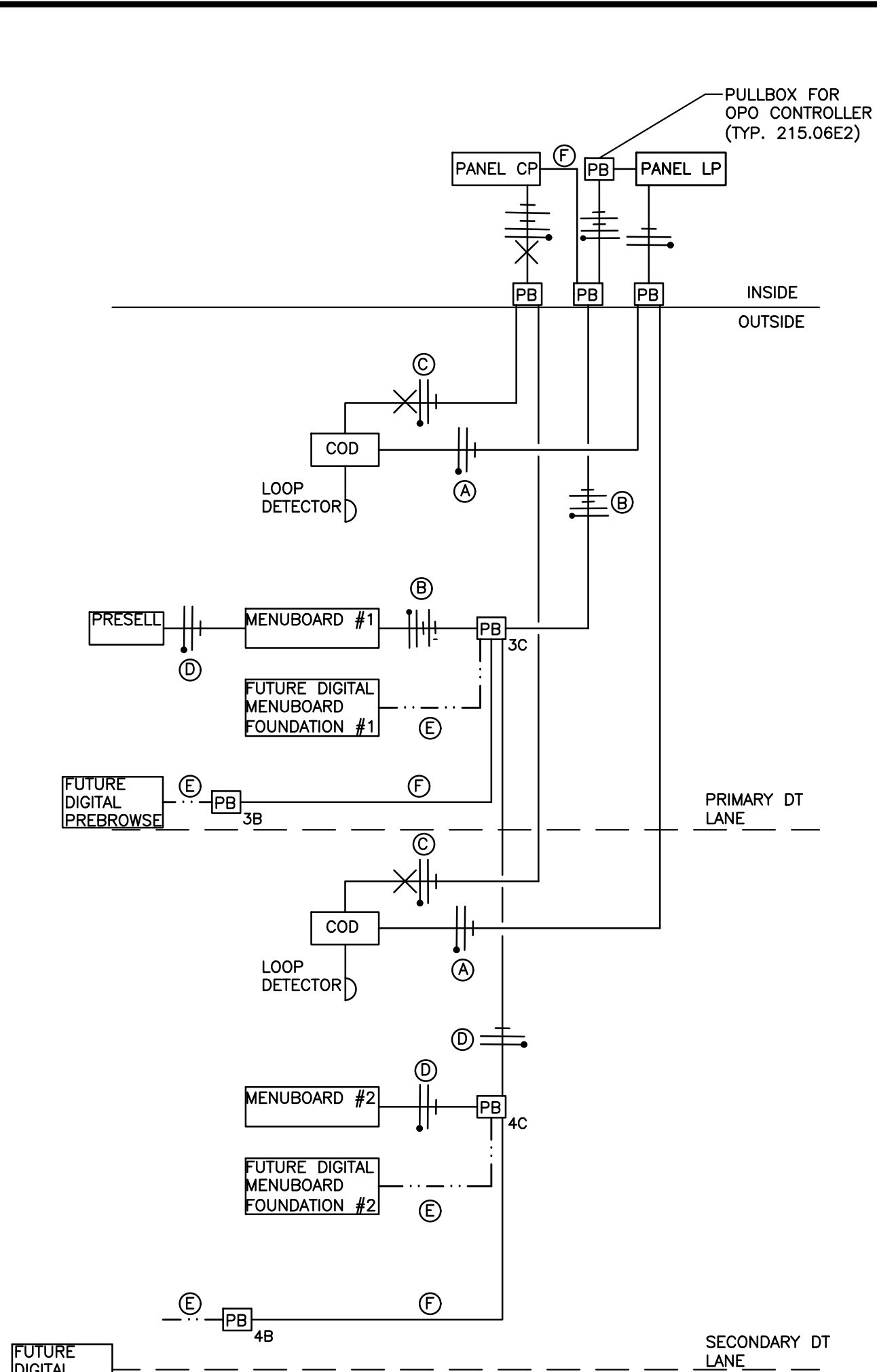
SHEET NO. DT-2

DRAWN BY: [Signature]
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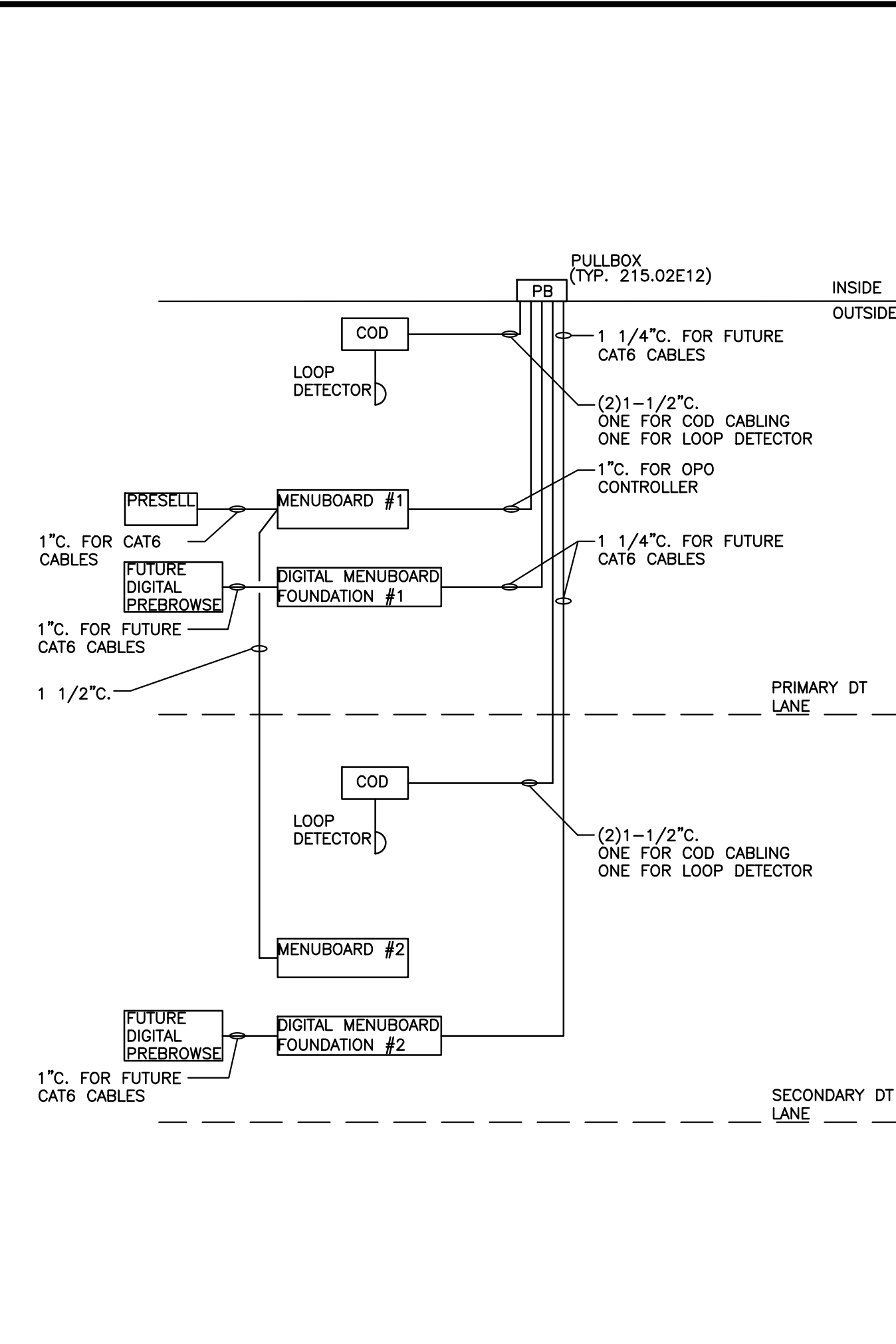
OFFICE ADDRESS: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237
 DENVER REGION: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237



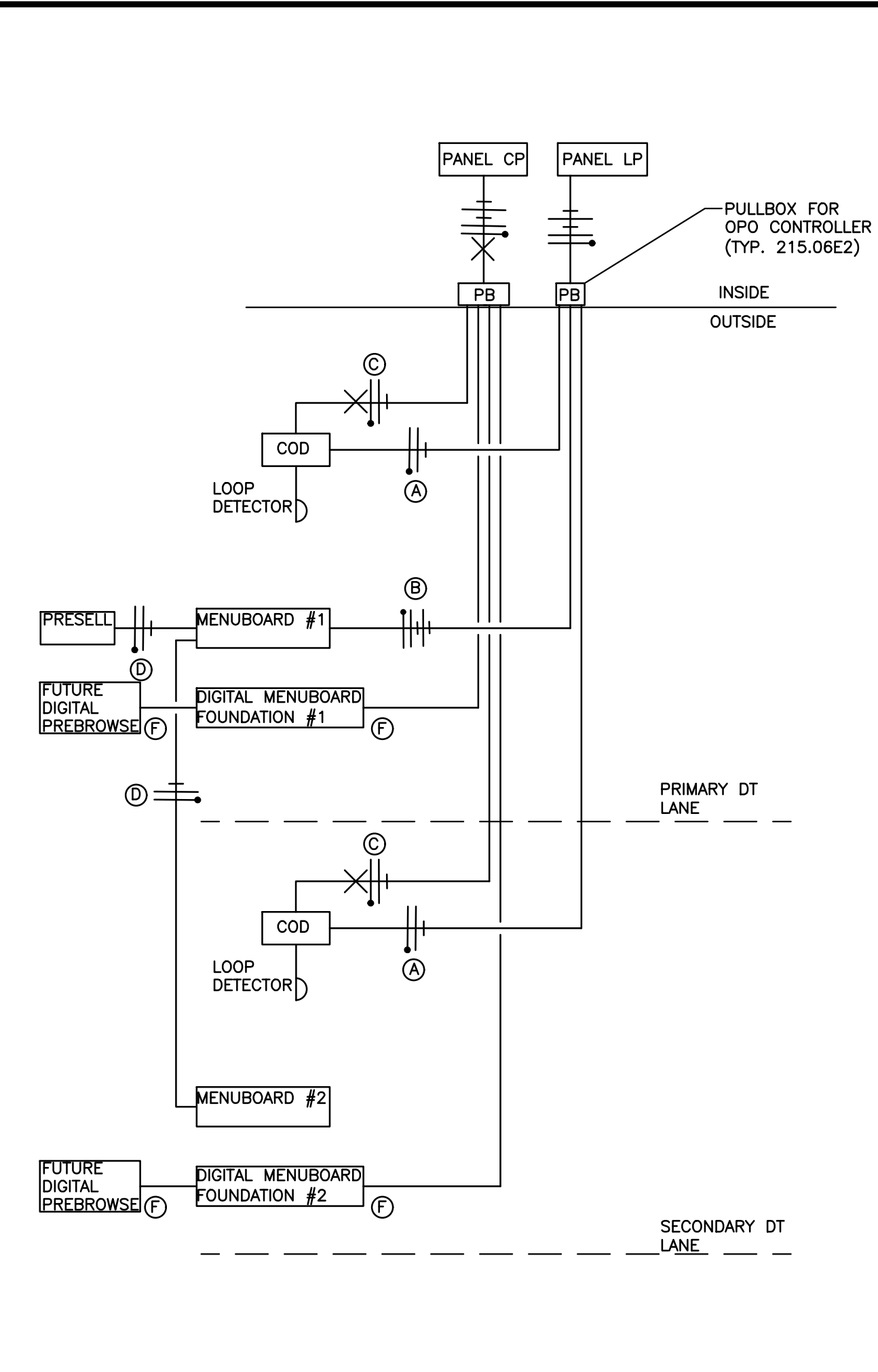
1 DT LOW VOLTAGE CONDUIT DIAGRAM (OPTION 1.0)
E-DT NOT TO SCALE



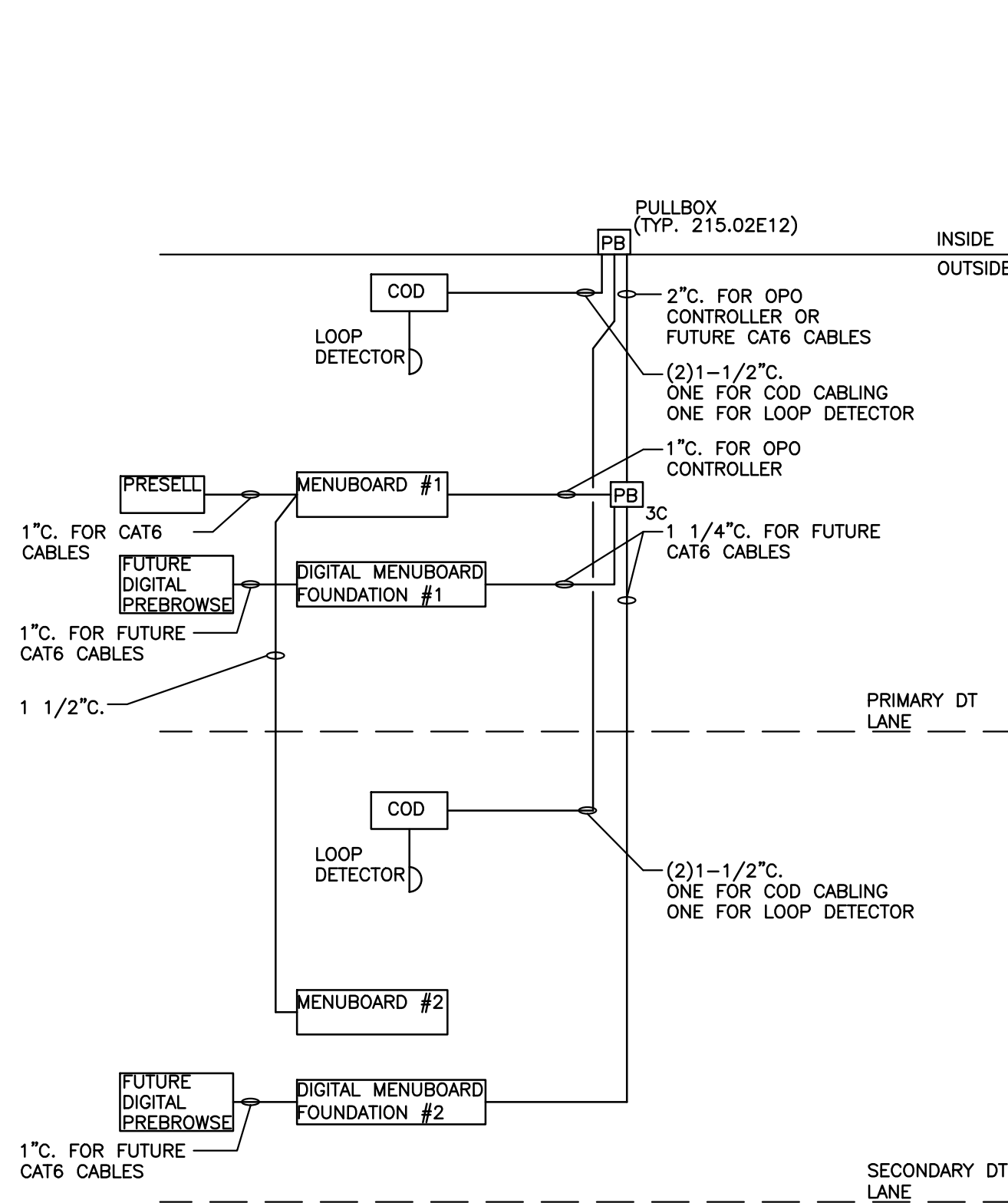
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E-DT NOT TO SCALE



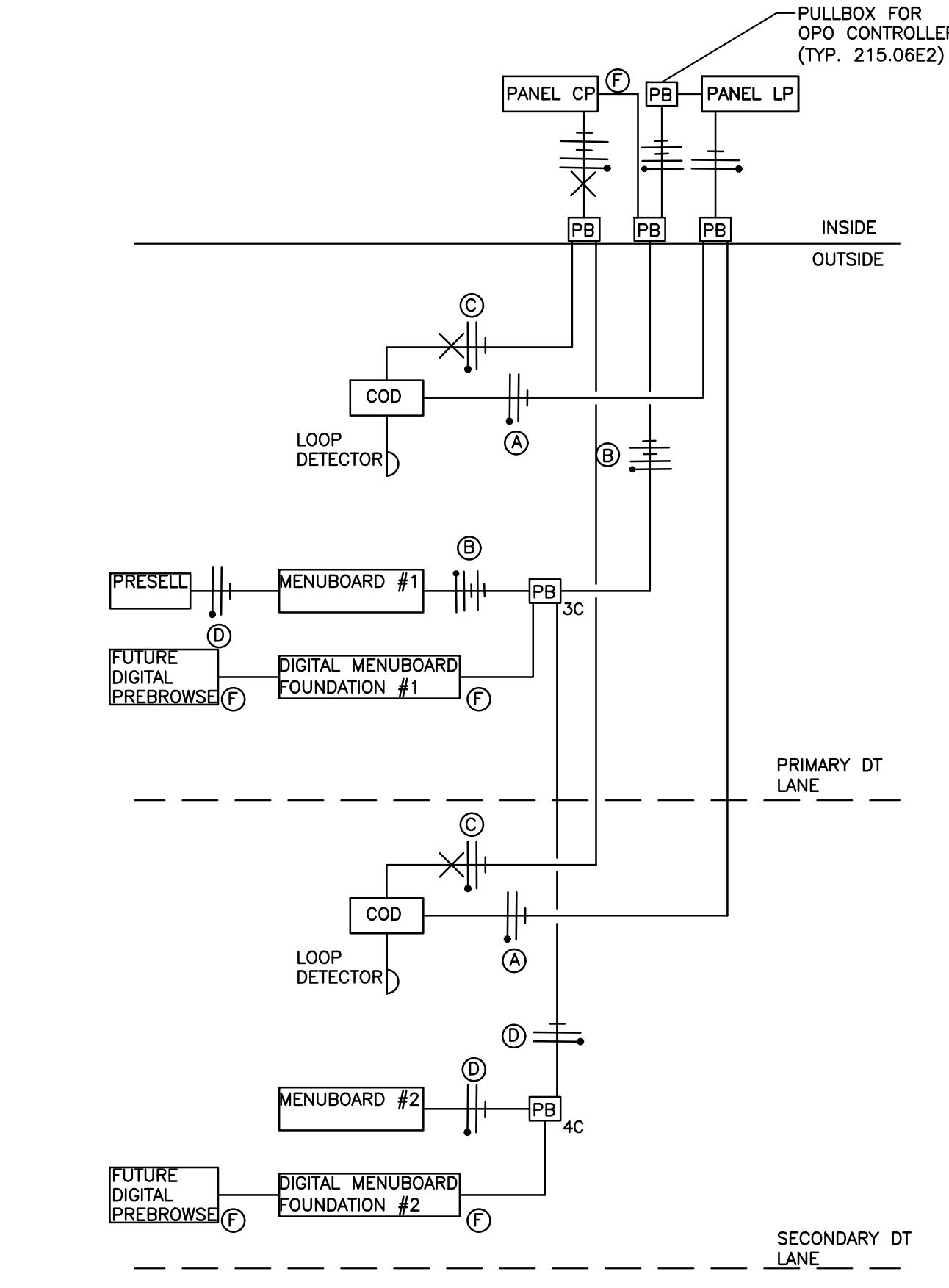
3 DT LOW VOLTAGE CONDUIT DIAGRAM (OPTION 2.0A)
E-DT NOT TO SCALE



4 DT POWER DIAGRAM (OPTION 2.0A)
E-DT NOT TO SCALE



5 DT LOW VOLTAGE CONDUIT DIAGRAM (OPTION 2.0B)
E-DT NOT TO SCALE



6 DT POWER DIAGRAM (OPTION 2.0B)
E-DT NOT TO SCALE

GENERAL NOTES:

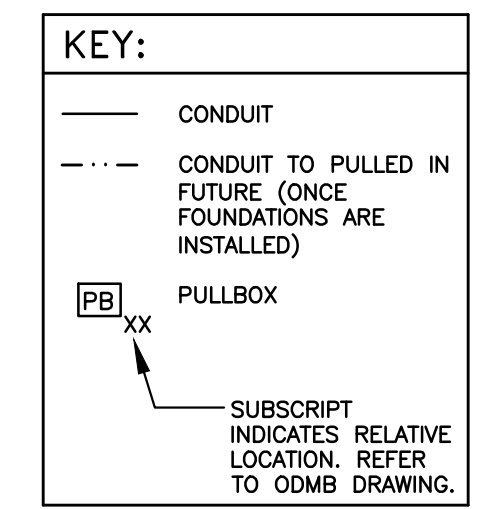
- COORDINATE ALL CONDUIT AND CIRCUITING REQUIREMENTS WITH MANUFACTURER'S INSTALL INSTRUCTIONS.
- ALL PULLBOXES/HANDHOLES SHOWN SHALL BE A MINIMUM OF TIER 8 QUARTZITE OR EQUAL.

ELECTRICAL POWER NOTES:

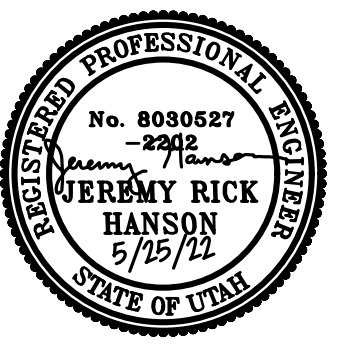
- PROVIDE TWO (2) SPARE 20A/1P BREAKERS WITHIN CP PANEL FOR FUTURE OUTDOOR DIGITAL MENUBOARDS
- MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR TRADITIONAL OPO MENUBOARDS REQUIRES SEPARATE DEDICATED NEUTRALS ARE PROVIDED TO MENU BOARD AND PRESELL BOARD FOR EACH CIRCUIT (PLC AND LIGHTING)

POWER DIAGRAMS TAGS:

- ② 2#12 & 1#12 GND., TO LP-1 FOR COD CANOPY LIGHTING (TYP. LP-1:23)
- ④ 4#12 & 1#12 GND., 3/4" TO LP-1 FOR OPO MENU BOARD #1 LIGHTING AND PLC (TYP. LP-1:23,25).
- ③ 2#12 & 1#12 GND & 1#12 ISOLATED GND., TO CP FOR ISOLATED GROUND POWER TO COD'S. EACH COD SHALL BE ON ITS OWN SEPARATE CIRCUIT (TYP. CP:14,18).
- ② 2#12 & 1#12 GND., TO LP-1 FOR OPO MENU BOARD #2 AND PRESELL BOARD LIGHTING (TYP. LP-1:23)
- ③ FUTURE 3/4" CONDUIT FOR FUTURE OUTDOOR DIGITAL MENUBOARD OR PRESELL POWER.
- ③ 3/4" CONDUIT WITH PULL STRINGS FOR FUTURE MENUBOARD OR PRESELL BOARD POWER.



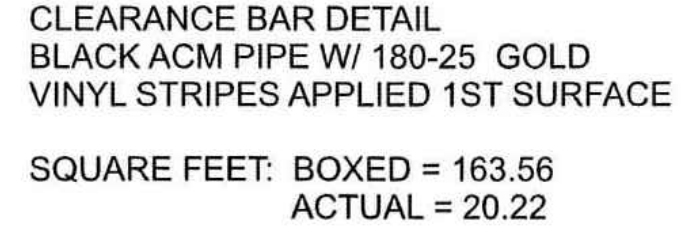
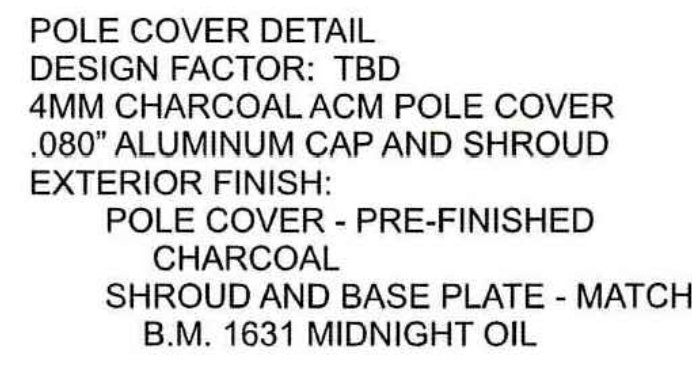
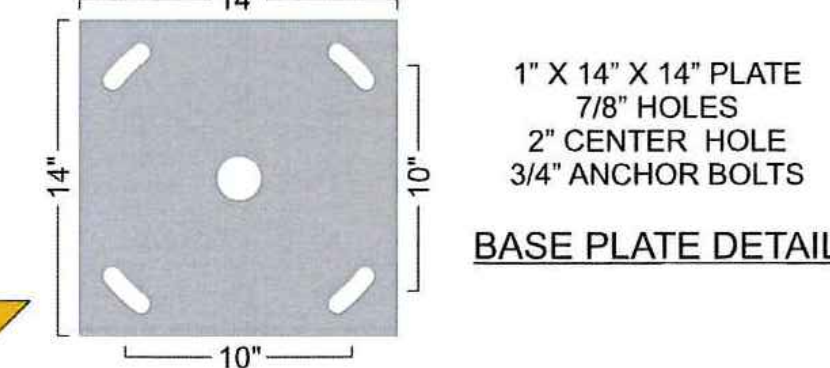
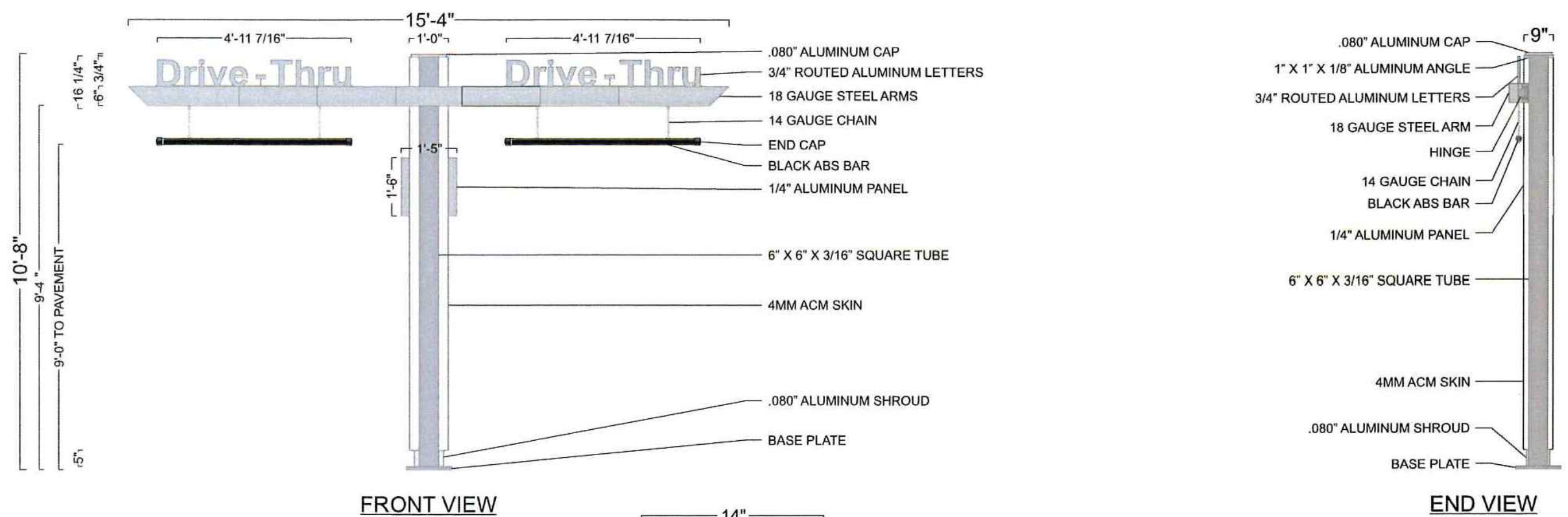
REV	DATE	REVISIONS PER CITY	REVIEW COMMENTS	RJU	BY
A	5/25/22				



DOMINION
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000

PREPARED BY: **McDONALD'S CORPORATION**
KFC DRIVE - 1440 BROOK HILLS BLVD. #021
DENVER, CO 80237

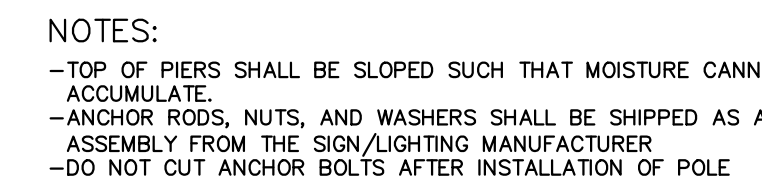
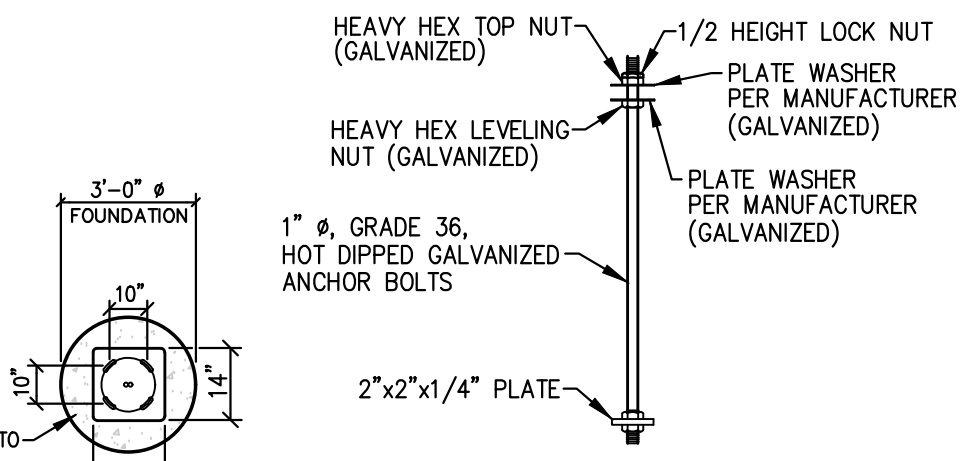
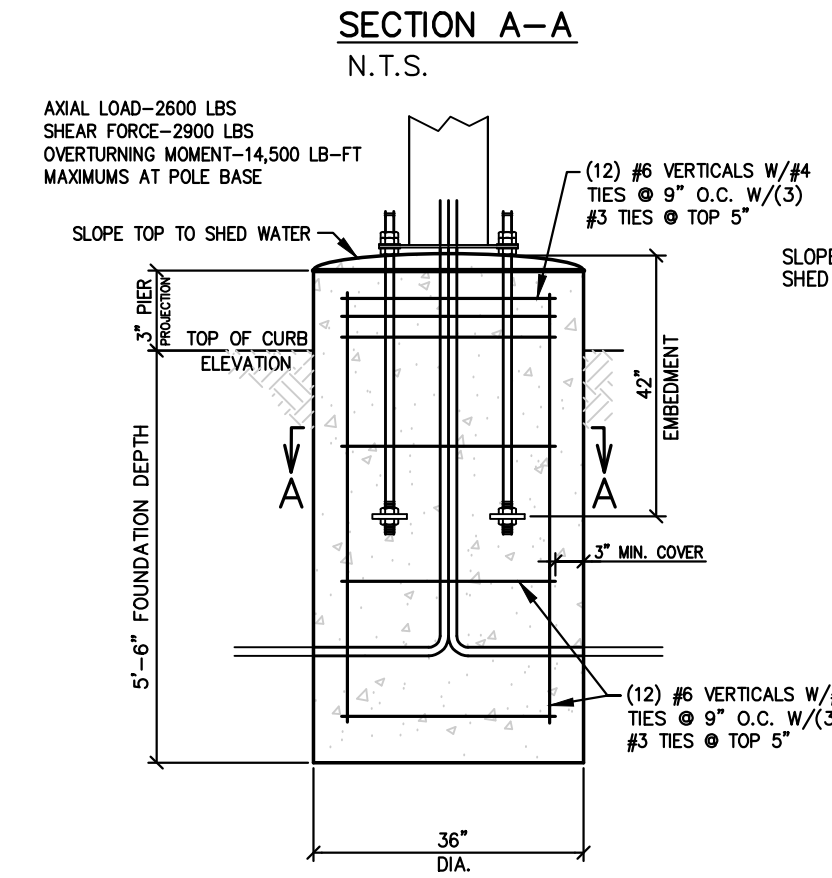
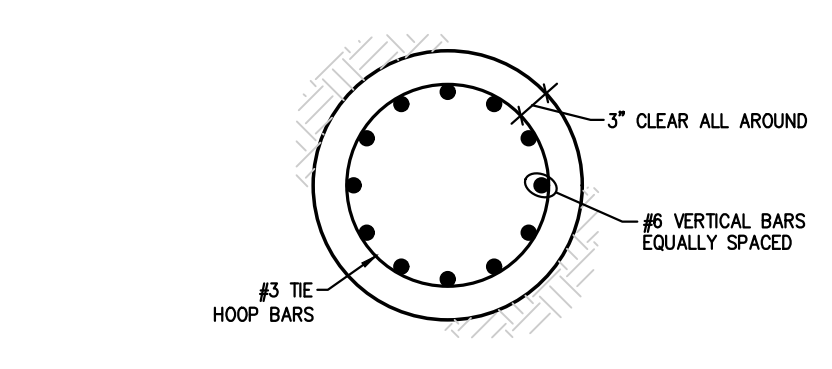
TITLE: **McDONALD'S SITE IMPROVEMENT PLANS**
SANTAQUIN, UTAH
DESCRIPTION: **DRIVE-THRU DETAILS**
DRIVE-THRU WIRING DETAILS
SITE ID: 043-0320 | 38 NORTH 500 EAST, SANTAQUIN, UTAH



PANEL DETAIL
 1/4\"/>

SWING ARM DETAIL
 DESIGN FACTOR: TBD
 18 GAUGE STEEL ARM WITH HINGE
 W/ 1ST SURFACE PAINT AND VINYL DECORATION:
 ■ MATCH PMS 123 C GOLD - SWING ARM
 ■ 7725-12 BLACK - "CLEARANCE 9 FEET" COPY

"DRIVE-THRU" LETTER DETAIL
 3/4\"/>

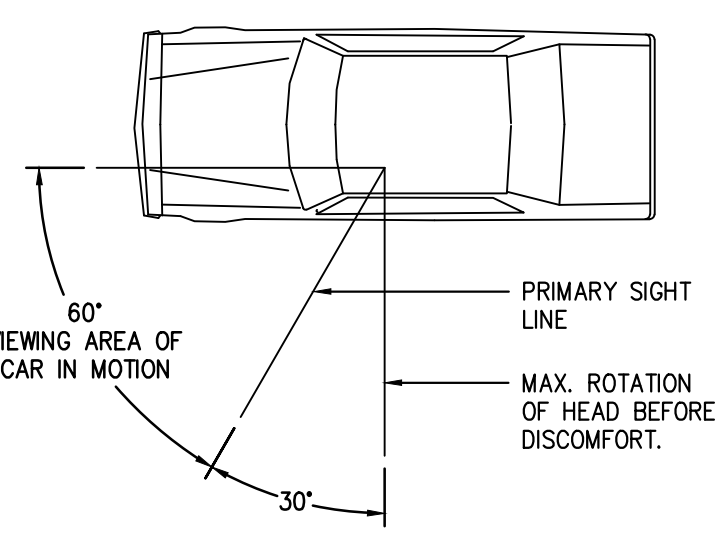


DOUBLE ARM GATEWAY/CLEARANCE SIGN BASE FOUNDATION DETAIL

WIND SPEED: 115 MPH EXPOSURE "C"

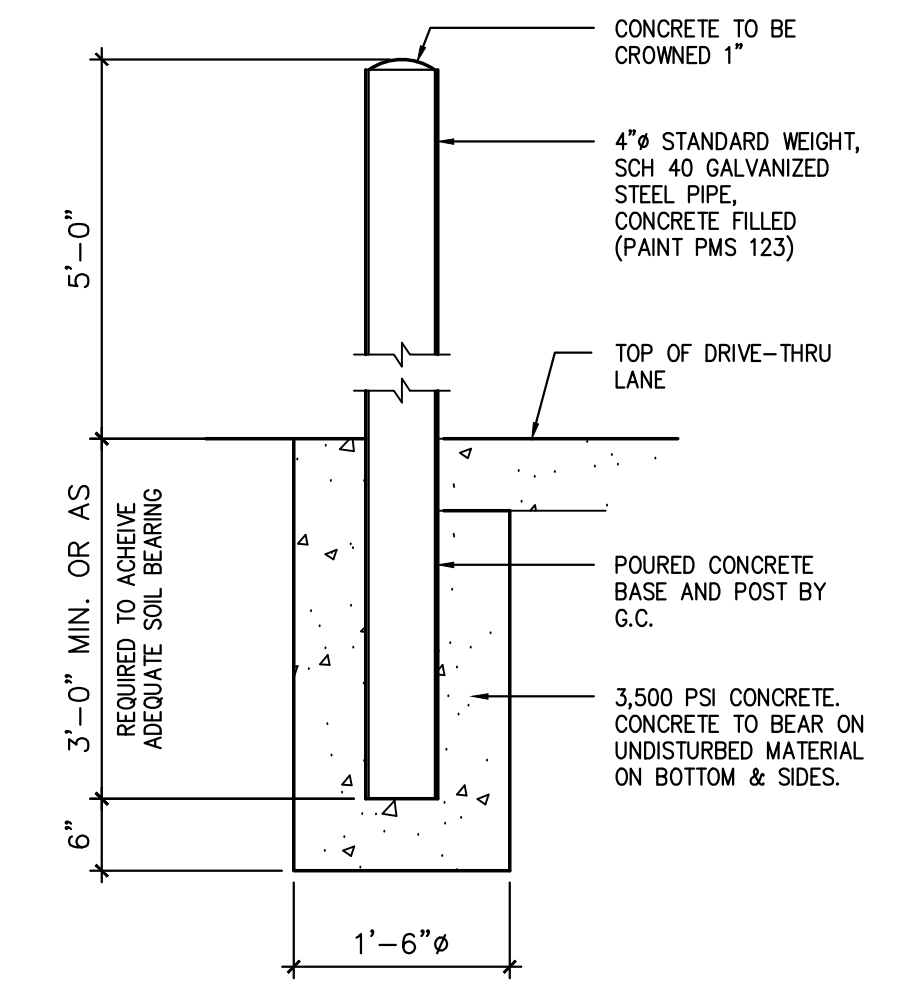
GENERAL NOTES:

- THE FOLLOWING CODES WERE USED IN DESIGN:
 -IBC 2015
 -ASCE 7-10
 -ACI 318-14
 - WIND SPEED 115 MPH (ULTIMATE WIND SPEED)
 -EXPOSURE C
 - 50 PSF SNOW LOADING
 - ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
 - MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100 PSF/FT (X2)
 - SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER, IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING IN TO ACCOUNT ACTUAL SITE SOIL CONDITIONS
 - TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
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 - MINIMUM CONCRETE STRENGTH (F'c=3,000 PSI) SHALL CONFORM WITH McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
 - USE OF ADMIXTURES SHALL CONFORM TO McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
 - AIR ENTERTAINMENT SHALL CONFORM WITH McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS 2.6-A AND 2.13-A
 - WATER CONTENT RATIO SHALL CONFORM TO McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
 - FOUNDATION CONCRETE TO BE TESTED PER McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
 - PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
 - REINFORCEMENT PLACEMENT SHALL CONFORM TO McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5 PERFORMED BY GENERAL CONTRACTOR
 - ANCHOR RODS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
 - DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.11-E
 - CAST CONCRETE DIRECTLY AGAINST EXCAVATED HOLE SIDES
 - ASTM A-615, GR 60 REBAR, BLACK
- STEEL:**
- STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy=35 KSI)
 - HSS ROUND SECTION: ASTM A500 GRADE B (Fy= 42 KSI)
 - HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy= 46 KSI)
 - HEADED ANCHOR RODS ASTM F1554 GR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 GR 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.
 - STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
 - REINFORCEMENT: ASTM A615 GRADE 60- BY GENERAL CONTRACTOR
 - NUTS: ASTM A563A; HEAVY HEX
 - WASHERS: ASTM F844 A36
 - USE ASTM A153 CLASS C OT DIPPED GALVANIZED BOLTS AND FASTENERS.
 - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 - NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL
 - DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE
 - AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION
 - ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1
 - REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION



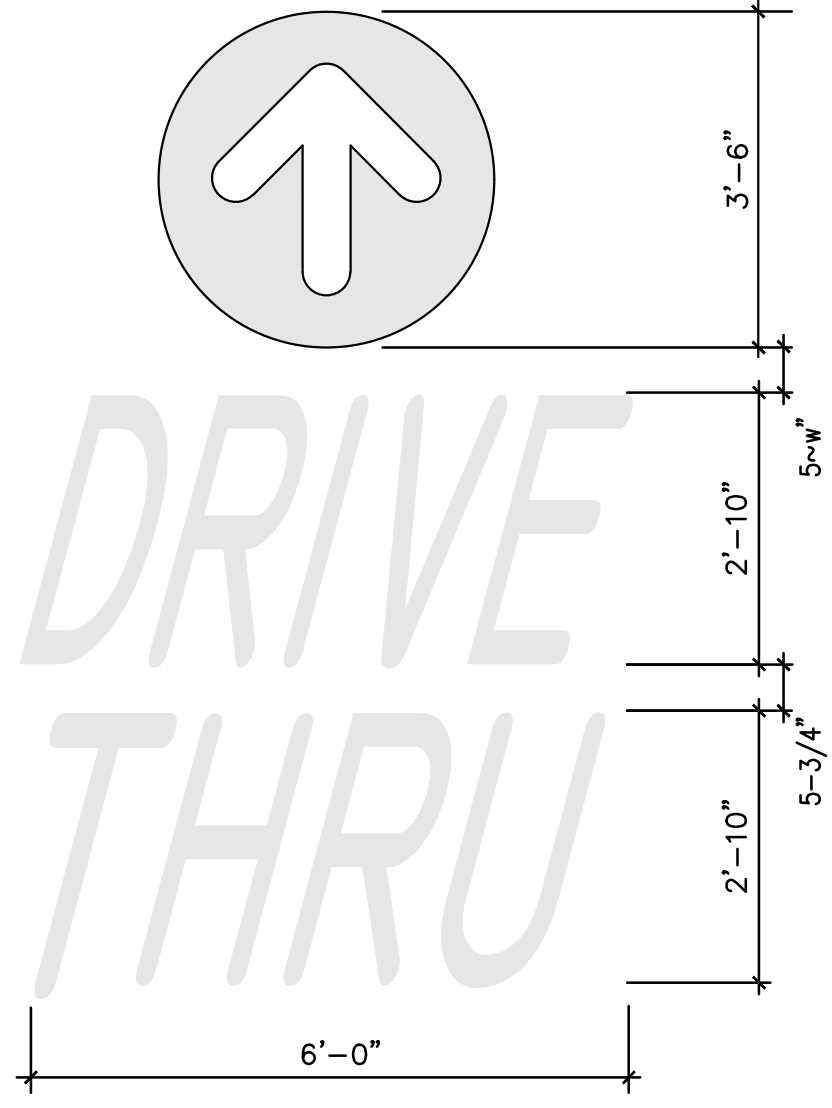
VEHICLE SIGHT LINES

N.T.S.



DRIVE THRU BOLLARD FOUNDATION

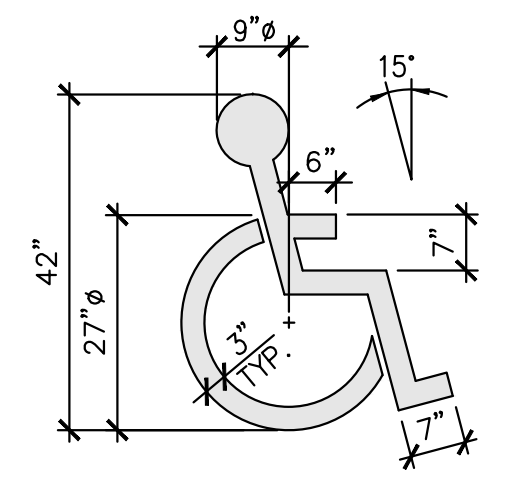
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PAINTED "DRIVE THRU"

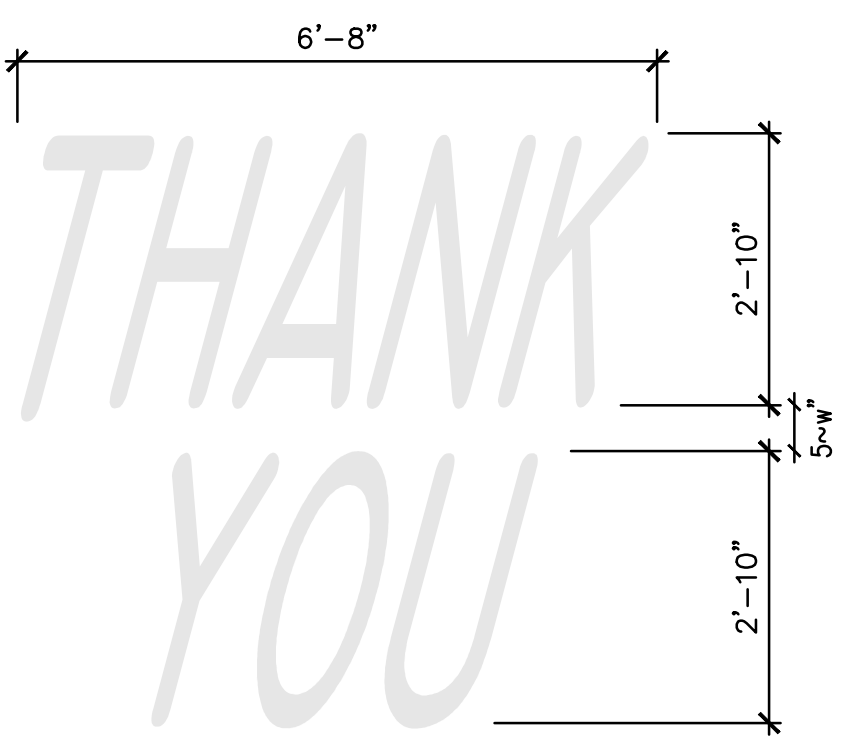
N.T.S.

NOTE: ALL TEXT AND ARROWS SHALL BE PAINTED YELLOW (PMS 123)



PAINTED HANDICAPPED PARKING SYMBOL

N.T.S.



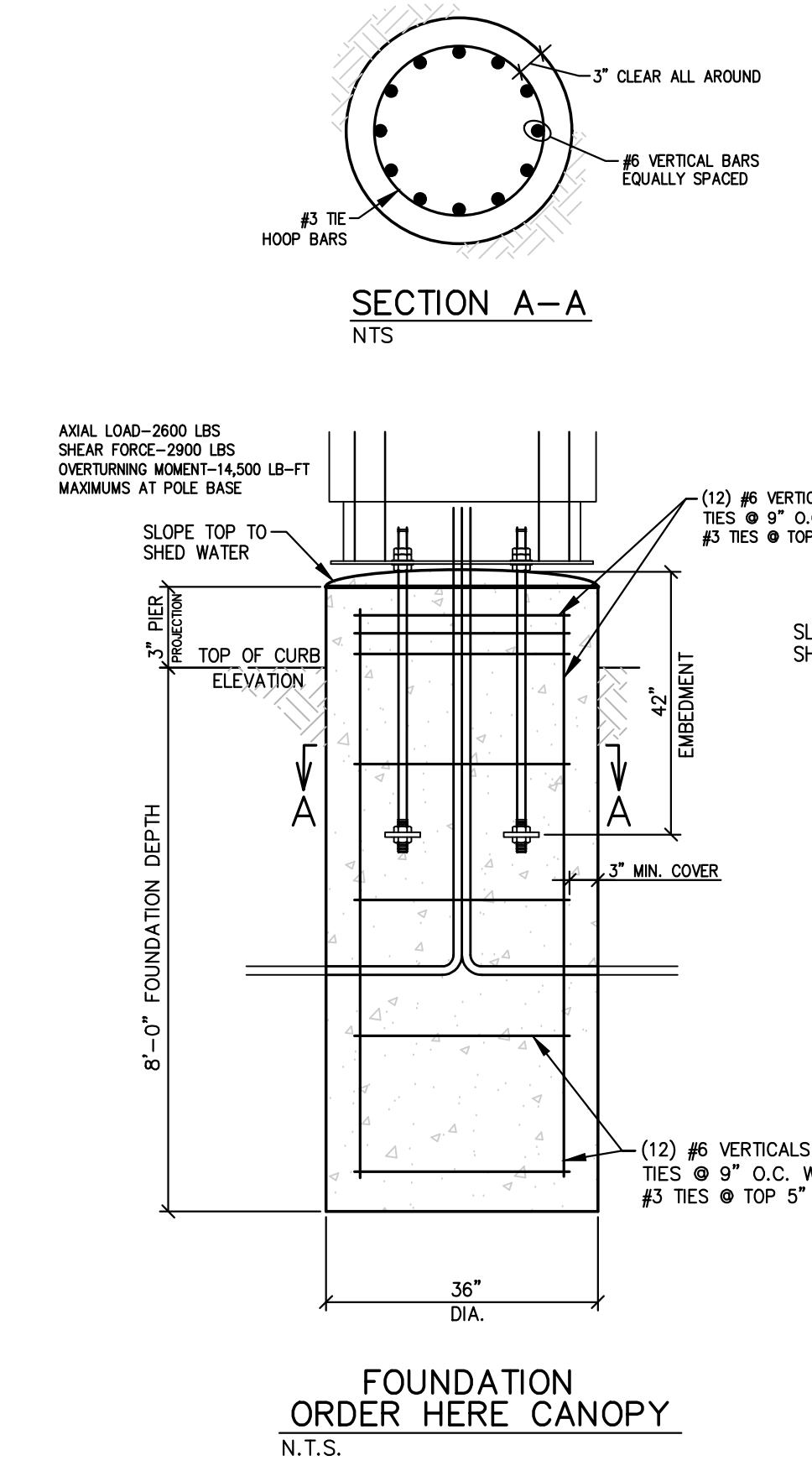
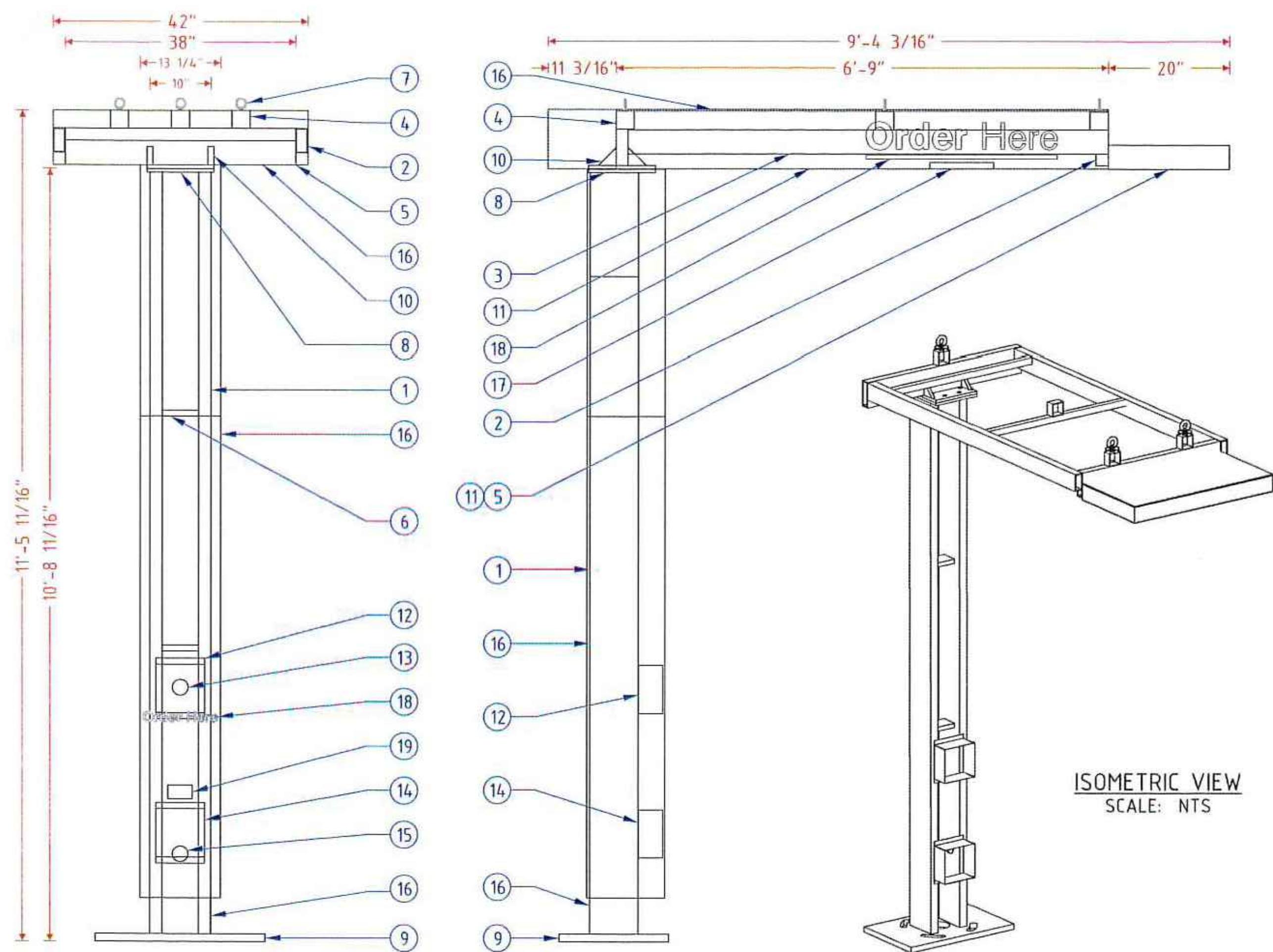
PAINTED "THANK YOU"

N.T.S.

NOTE: ALL TEXT SHALL BE PAINTED YELLOW (PMS 123)

SHEET NO.	SD-1	TITLE	McDONALD'S SITE IMPROVEMENT PLANS	DRAWN BY	McDONALD'S CORPORATION	PREPARED BY	McDONALD'S CORPORATION	REVIEWED BY	McDONALD'S CORPORATION	DATE ISSUED	5/25/22	REV	A	DATE	5/25/22	REVISIONS PER CITY REVIEW COMMENTS	DESCRIPTION	R/JU	BY
	DESCRIPTION		FOUNDATION AND MISCELLANEOUS DETAILS		DATE REVIEWED		5/25/22		DATE REVIEWED		5/25/22		DATE REVIEWED		5/25/22				
SITE ADDRESS			043-0320 38 NORTH 500 EAST, SANTAQUIN, UTAH			OFFICE ADDRESS			4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237										



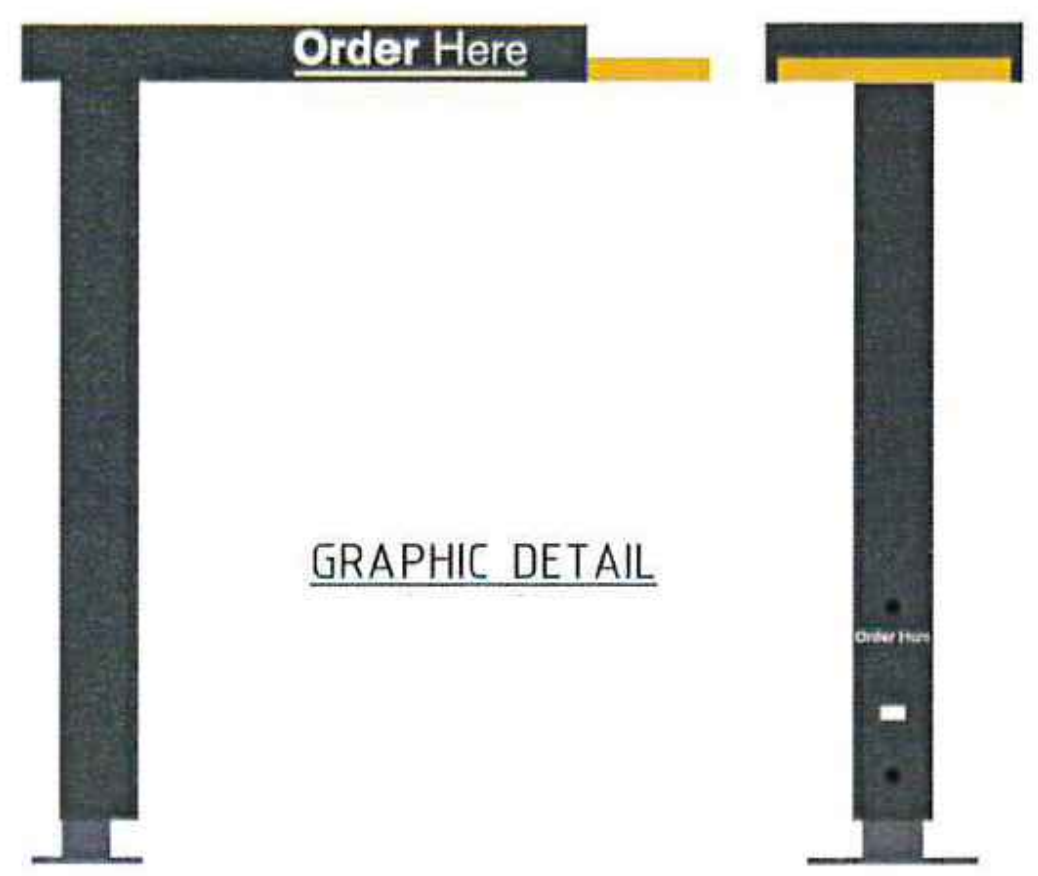
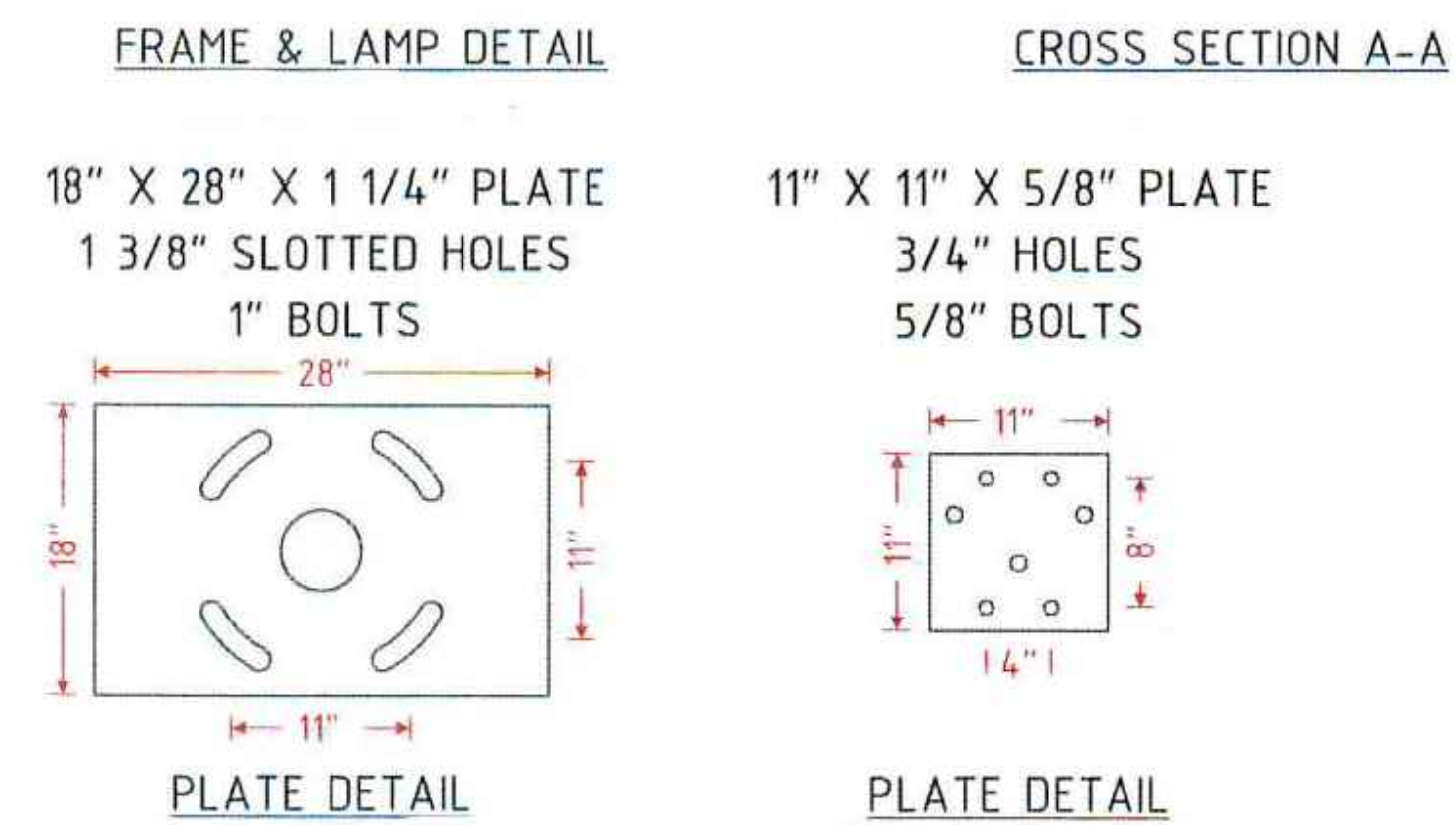


NOTES:

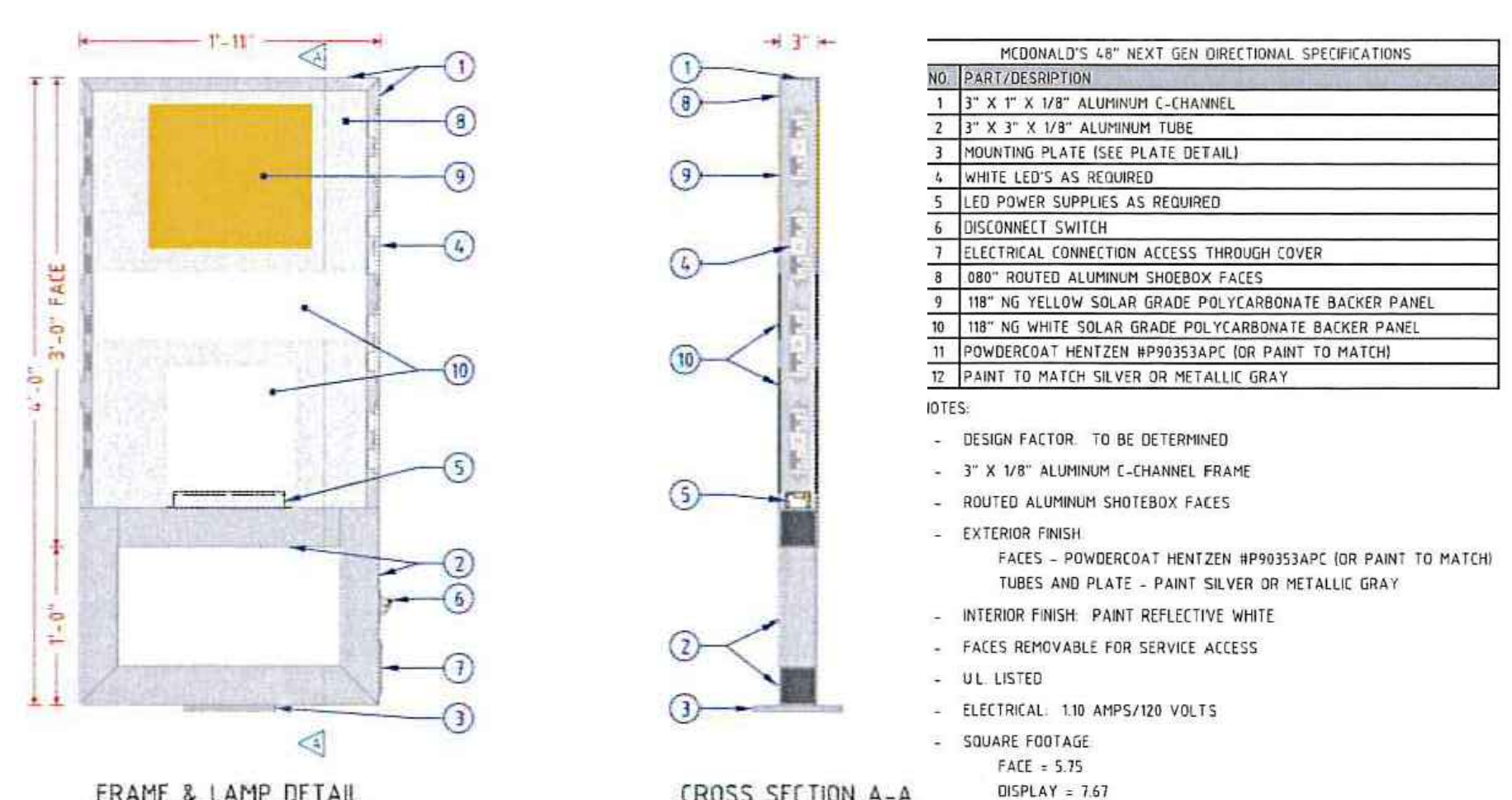
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- USE F1554 GRADE 36 BOLTS MINIMUM
- USE HOT DIPPED GALVANIZED BOLTS
- ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

GENERAL NOTES:

- THE FOLLOWING CODES WERE USED IN DESIGN:
 -IBC 2015
 -ASCE 7-10
 -ACI 318-14
- WIND SPEED 115 MPH (ULTIMATE WIND SPEED)
 -EXPOSURE C
- 50 PSF SNOW LOADING
- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100 PSF/FT (X2)
- SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER, IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING IN TO ACCOUNT ACTUAL SITE SOIL CONDITIONS
- TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)



ORDER HERE CANOPY FOUNDATION DETAIL
 N.T.S. WIND SPEED: 115 MPH EXPOSURE "C"



NO.	PART/DESCRIPTION
1	3" X 1" X 1/8" ALUMINUM C-CHANNEL
2	3" X 3" X 1/8" ALUMINUM TUBE
3	MOUNTING PLATE (SEE PLATE DETAIL)
4	WHITE LEDS AS REQUIRED
5	LED POWER SUPPLIES AS REQUIRED
6	DISCONNECT SWITCH
7	ELECTRICAL CONNECTION ACCESS THROUGH COVER
8	88# ROUTED ALUMINUM SHOEBOX FACES
9	118" NG YELLOW SOLAR GRADE POLYCARBONATE BACKER PANEL
10	118" NG WHITE SOLAR GRADE POLYCARBONATE BACKER PANEL
11	POWDERCOAT HENTZEN #PP935APC (OR PAINT TO MATCH)
12	PAINT TO MATCH SILVER OR METALLIC GRAY

NOTES:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- USE F1554 GRADE 36 BOLTS MINIMUM
- USE HOT DIPPED GALVANIZED BOLTS
- ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

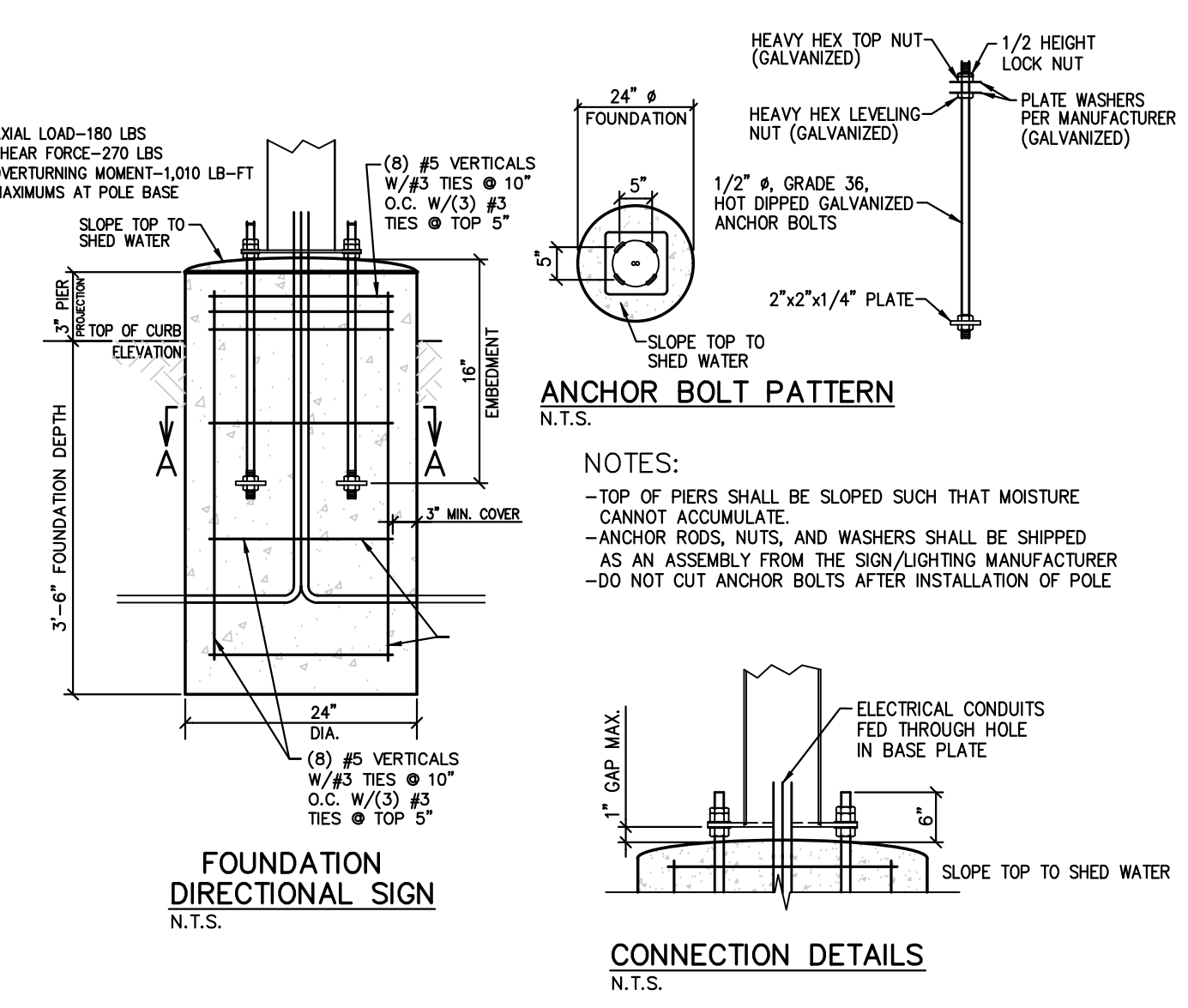
MCDONALD'S SPRINGBOARD OHC SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	2" X 8" X 3/16" RECTANGULAR TUBE
2	2" X 6" X 1/4" RECTANGULAR TUBE
3	2" X 4" X 1/4" RECTANGULAR TUBE
4	3" X 3" X 3/16" SQUARE TUBE
5	1" X 4" X 1/8" RECTANGULAR TUBE
6	C4 ALUMINUM C-CHANNEL
7	1/2" EYEBOLTS (3)
8	11" X 11" X 5/8" TOP PLATES (2) (SEE PLATE DETAILS)
9	18" X 28" X 1 1/4" BASE PLATE (SEE PLATE DETAILS)
10	3" X 3" X 3/4" GUSSETS
11	.063" ALUMINUM SKIN
12	.063" ALUMINUM BENT SP10 SPEAKER BOX HOLDER
13	SPEAKER OPENING
14	.063" ALUMINUM BENT DM 4/DM 5 MICROPHONE BOX HOLDER
15	MICROPHONE OPENING
16	ACM CLADDING
17	SLOAN LED LIGHT WITH POWER SUPPLY
18	REFLECTIVE WHITE 680-10 VINYL
19	ADA STICKER

NOTES:

- DESIGN FACTOR: TO BE DETERMINED
- 2" X 8" X 3/16 RECTANGULAR TUBE FRAME
- ACM AND .063" ALUMINUM SKIN
- EXTERIOR FINISH:
 BASE PLATE - PAINT BM 1631 MIDNIGHT OIL
 TUBE AND TOP ACM - PAINT CHARCOAL
 SPRINGBOARD TIP AND UNDERSIDE - PAINT PMS 123 C GOLD
- ACM/SKIN REMOVABLE FOR SERVICE
- U.L. LISTED
- ELECTRICAL: 0.64 AMPS/120 VOLTS



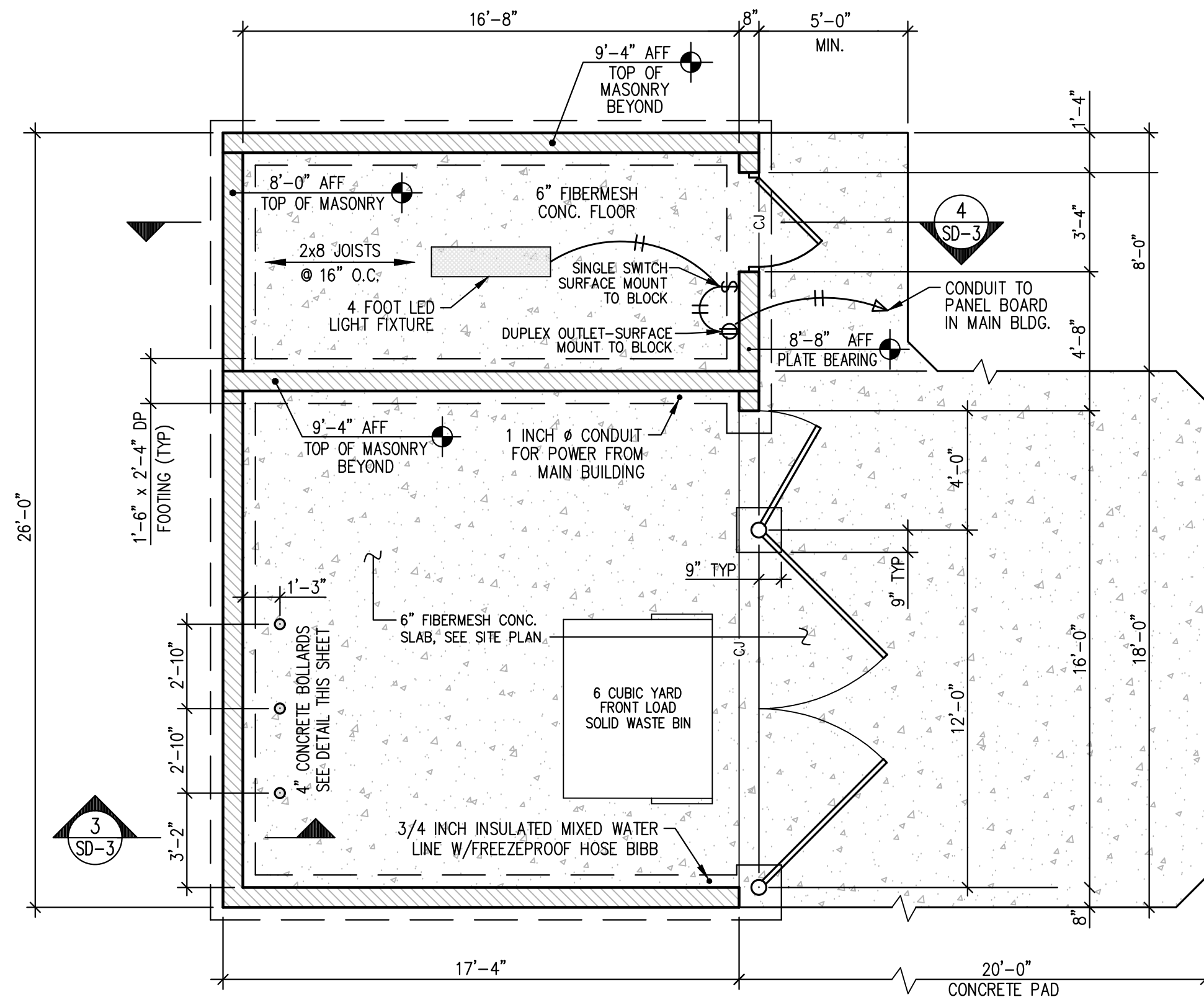
NEW GEN DIRECTIONAL SIGN DETAILS
 NOT TO SCALE WIND SPEED: 115 MPH EXPOSURE "C"



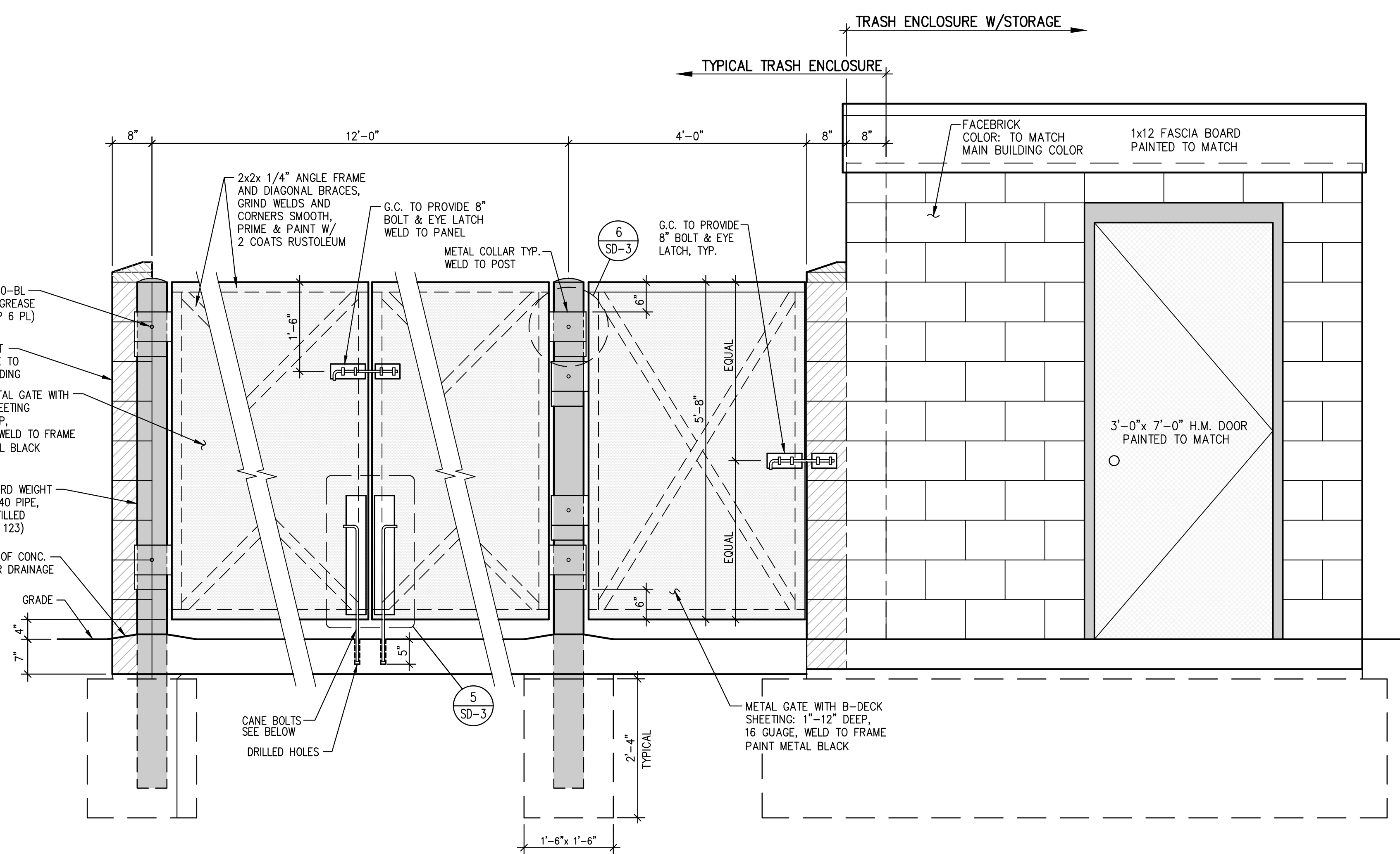
DIRECTIONAL SIGN FOUNDATION DETAIL
 N.T.S. WIND SPEED: 115 MPH EXPOSURE "C"

Job# 3308 Path P:\MCDONALDS\Site\Sanquin\CAD | File Name: SD-2_McD_Site_Details.dwg | Plot Date: May 25, 2022 |

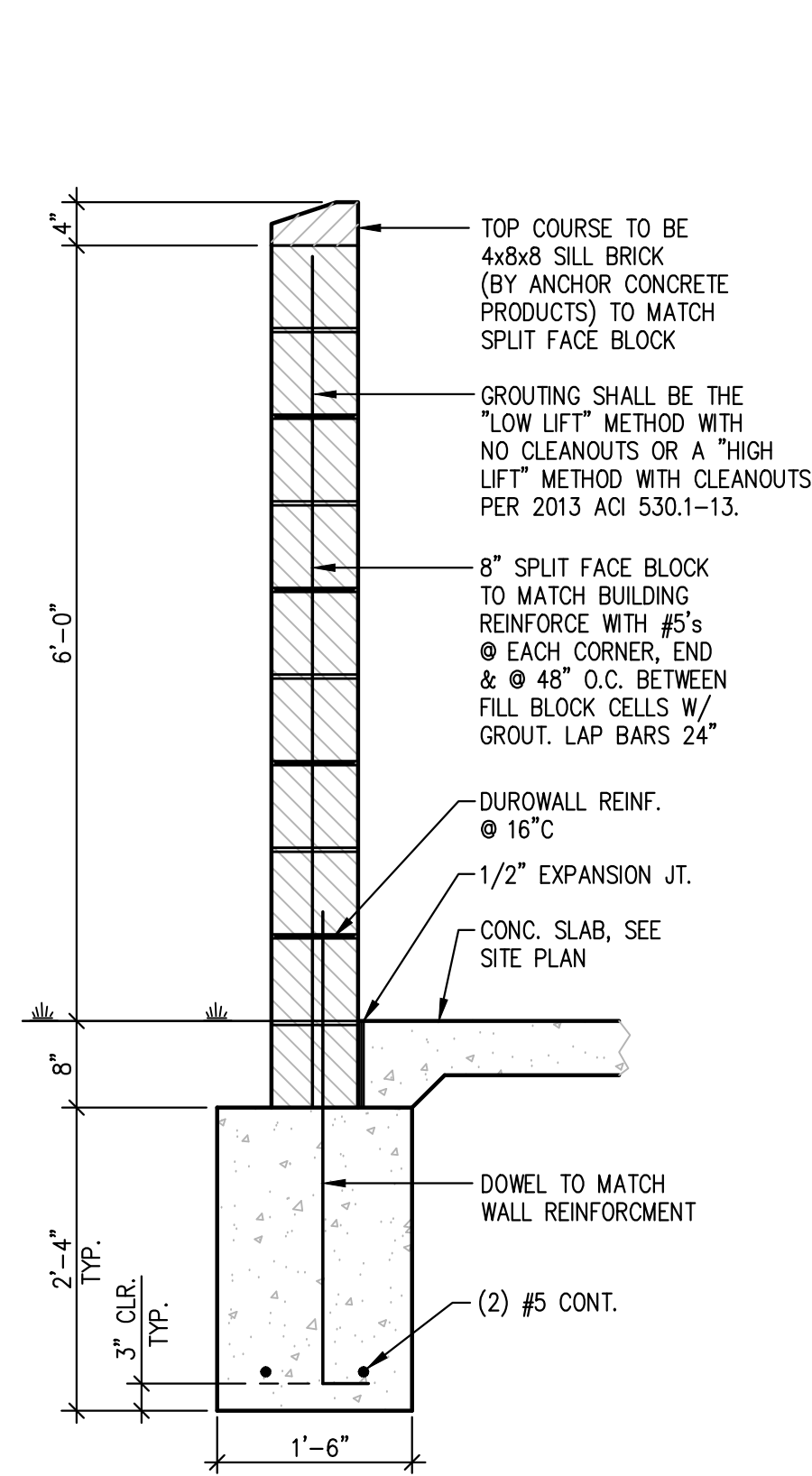
SHEET NO.	MCDONALD'S SITE IMPROVEMENT PLANS			TITLE	MCDONALD'S CORPORATION	KFC DRIVE - SAN BRUNO, UTAH 84081	THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MCDONALD'S CORPORATION. THE CONTRACT DOCUMENTS WILL BE PREPARED WITHOUT NOTICE TO ANY OTHER PARTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND LOCAL JURISDICTIONS.	DATE ISSUED	DATE REVIEWED	REVIEWED BY	DATE	REV	A	5/25/22	DATE	REVISIONS PER CITY REVIEW COMMENTS	RJU	BY
	043-0320	38 NORTH 500 EAST, SANTIAGO, UTAH	OFFICE ADDRESS											4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237	OFFICE REGION	PREPARED BY	DOMINION Engineering Associates, L.C. 5684 South Green Street Murray, Utah 84123 801-713-3000	



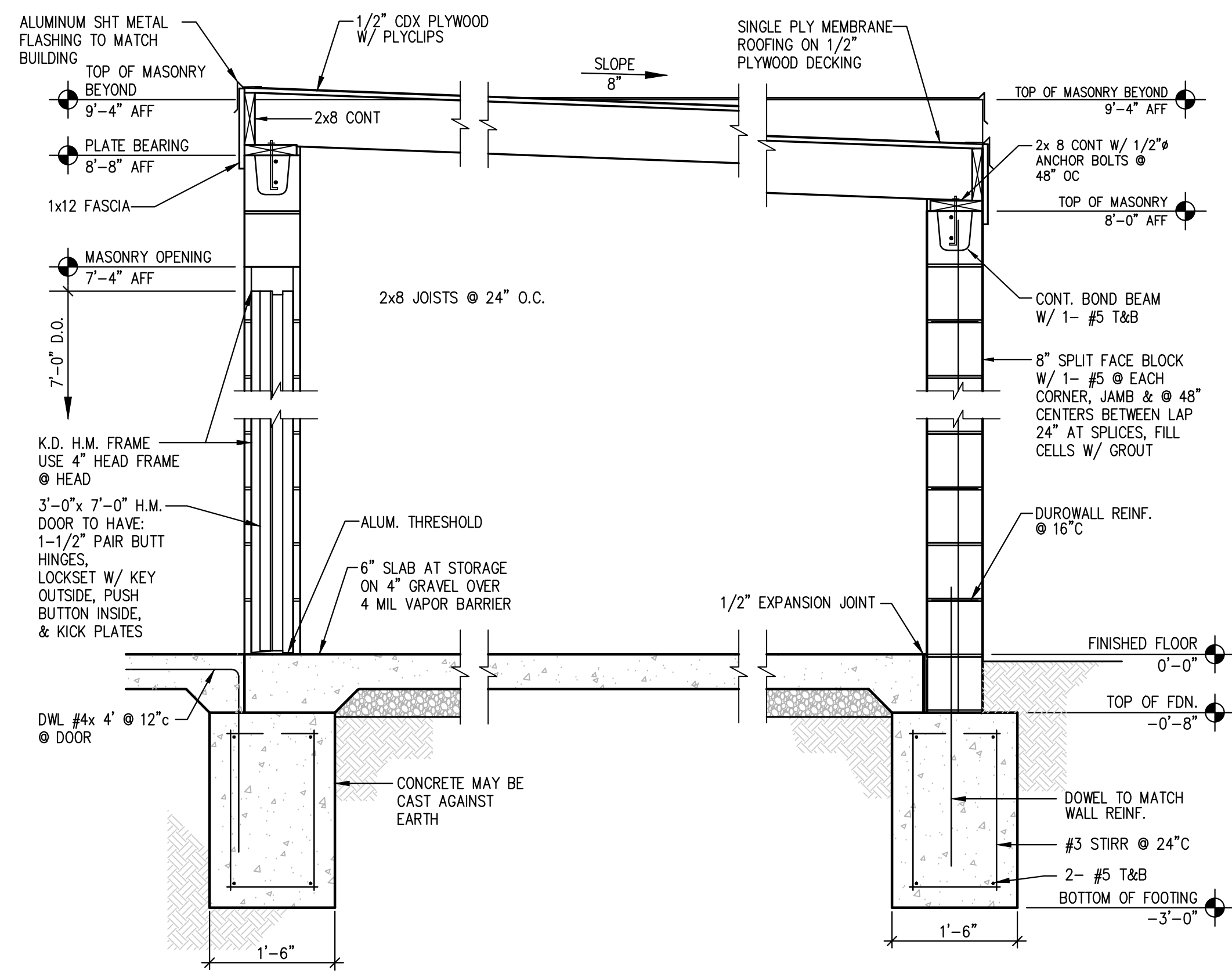
1 TRASH ENCLOSURE WITH LOCKABLE STORAGE
SD-3 1/4" = 1'-0"



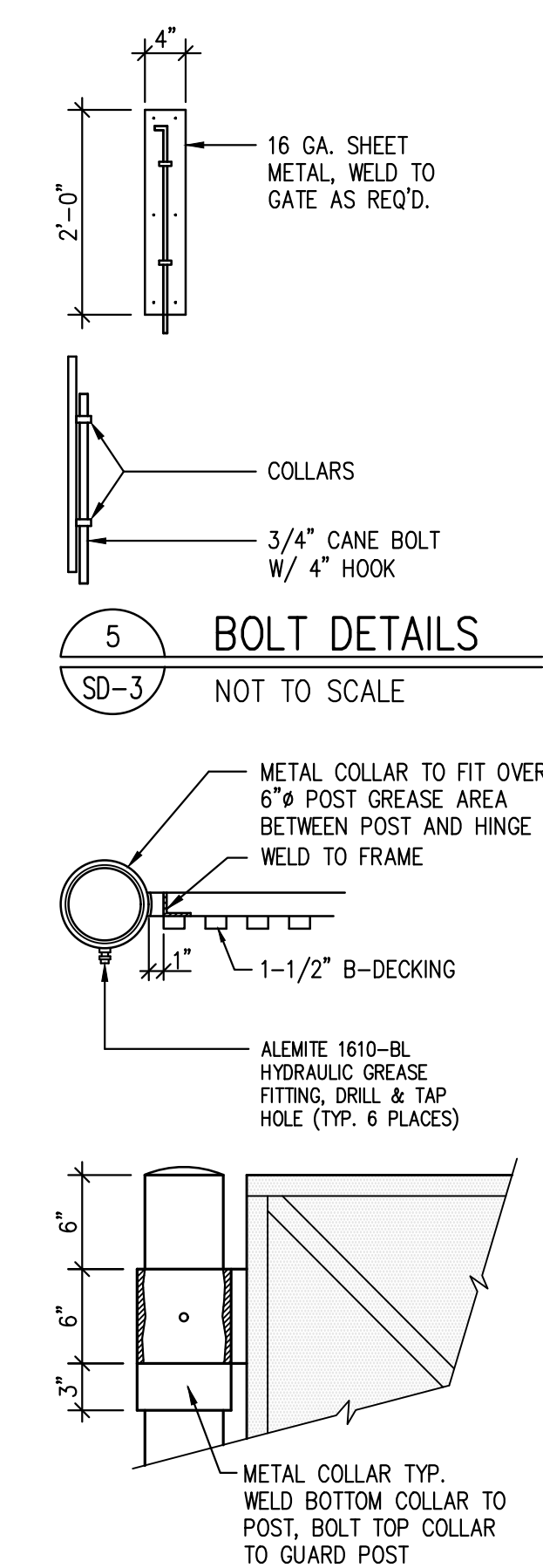
2 TRASH ENCLOSURE GATE AND MOUNTING DETAILS
SD-3 3/4" = 1'-0"



3 TYPICAL WALL SECTION
SD-3 3/4" = 1'-0"

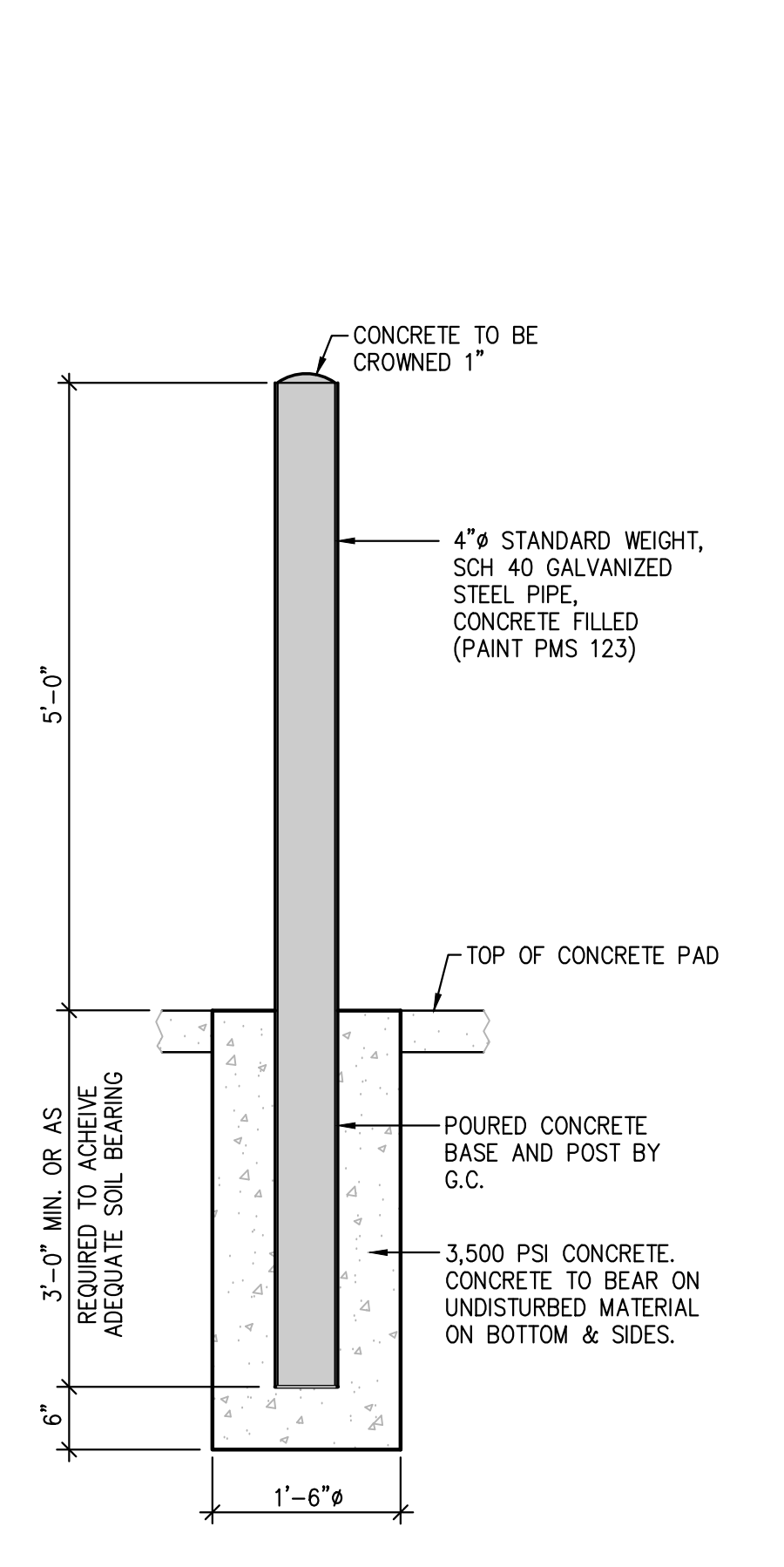


4 SECTION THRU STORAGE ROOM
SD-3 3/4" = 1'-0"



5 BOLT DETAILS
SD-3 NOT TO SCALE

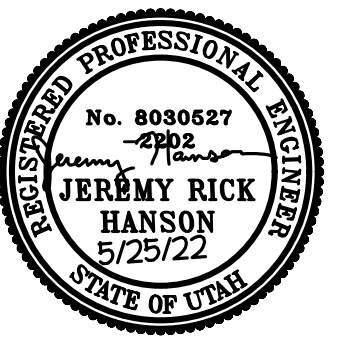
6 HINGE DETAILS
SD-3 NOT TO SCALE

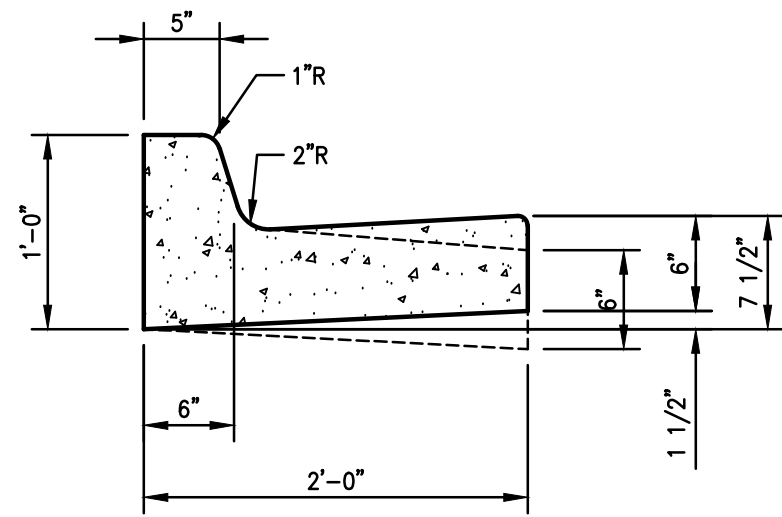


7 4\"/>

Job# 3308
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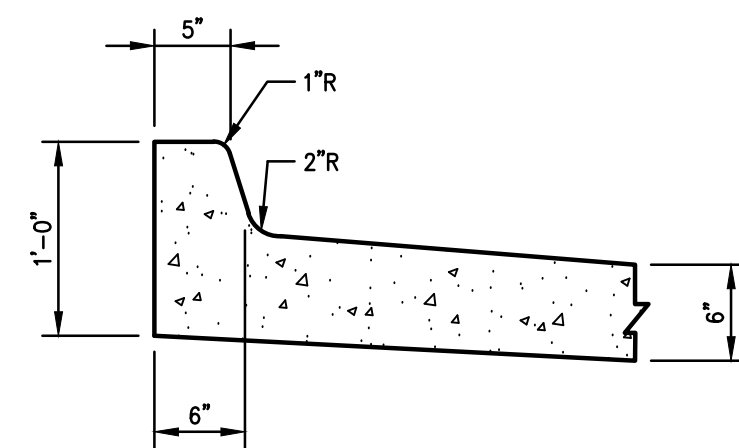
SHEET NO.	SD-3		
	TITLE	MCDONALD'S SITE IMPROVEMENT PLANS SANTOQUIN, UTAH TRASH ENCLOSURE/STORAGE BLDG. DETAILS	
PREPARED BY	MCDONALD'S CORPORATION		
DRAWN BY	KYLE DEWITT - SAN ANTONIO, ILLINOIS 60501		
STD. ISSUE DATE	REVIEWED BY	DATE REVIEWED	DATE ISSUED
OFFICE ADDRESS	DENVER REGION: 4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237		
SITE ADDRESS	38 NORTH 500 EAST, SANTAQUIN, UTAH		
REV	DATE	REVISIONS PER CITY REVIEW COMMENTS	DESCRIPTION
A	5/25/22		
RJU			
BY			



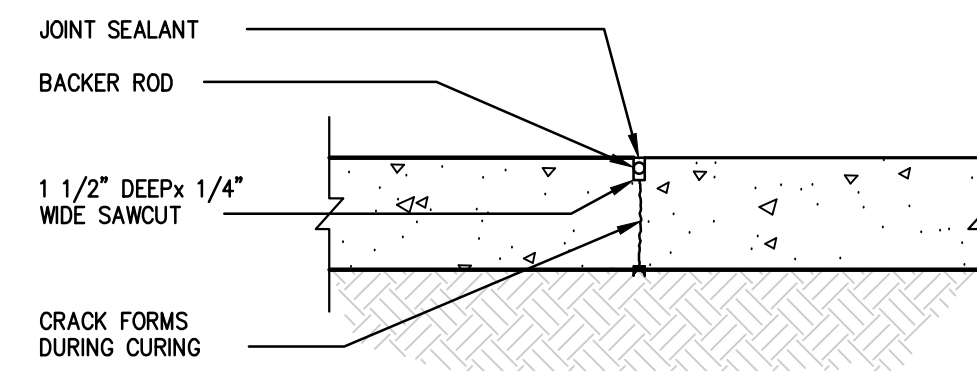


NOTES:
 1. PROVIDE CONTRACTION JOINTS @ 15' CC & EXPANSION JOINTS @ 75' CC
 2. REFER TO GRADING PLAN FOR SPILL GUTTER

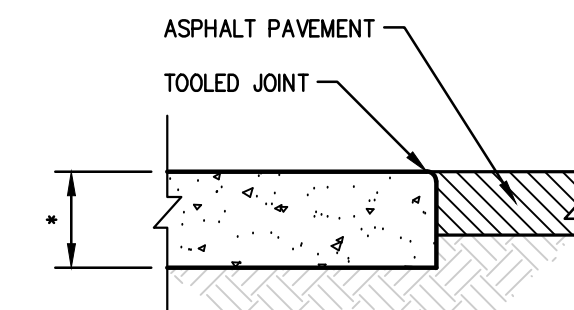
1 CONCRETE CURB & GUTTER
 SD4 1" = 1'-0"



2 INTEGRAL CONCRETE CURB & GUTTER
 SD4 1" = 1'-0"

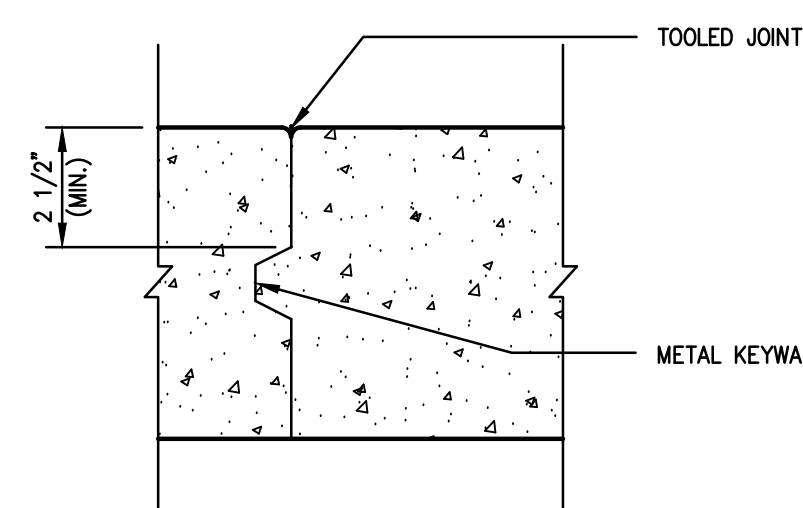


3 CONTRACTION JOINT
 SD4 1" = 1'-0"

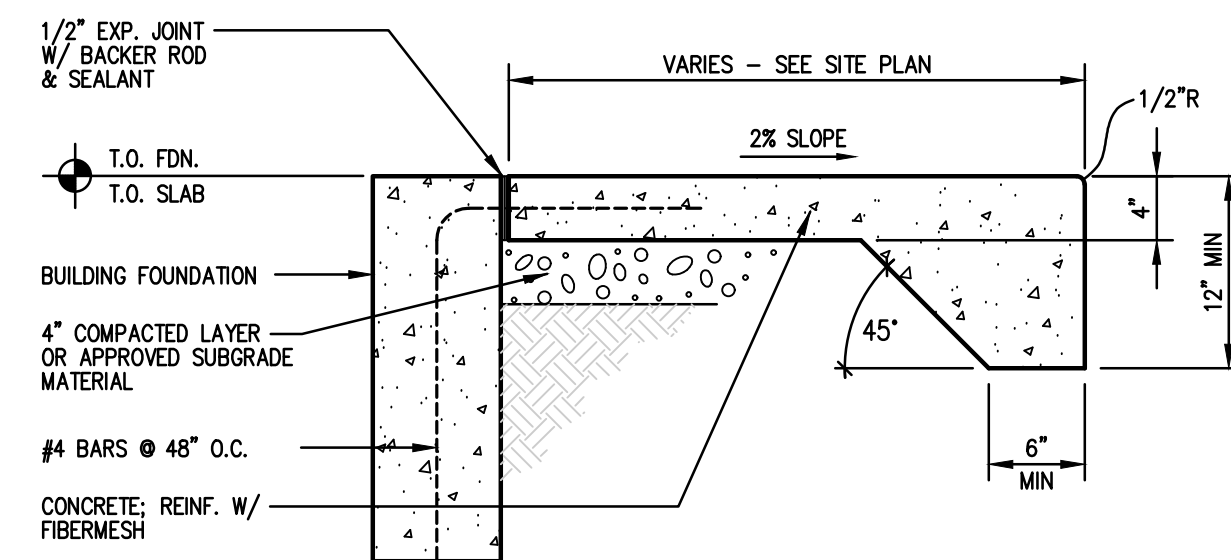


• SEE SITE PLAN

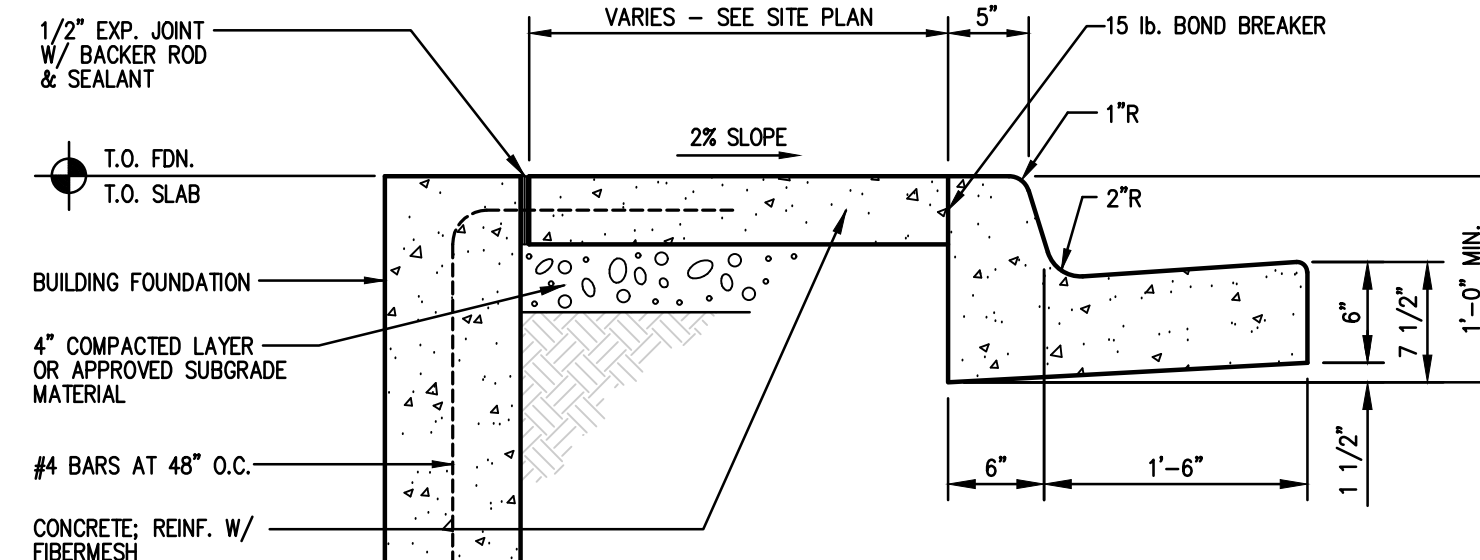
4 TERMINAL JOINT W/ASPHALT PAVEMENT
 SD4 1" = 1'-0"



5 CONSTRUCTION JOINT
 SD4 3" = 1'-0"

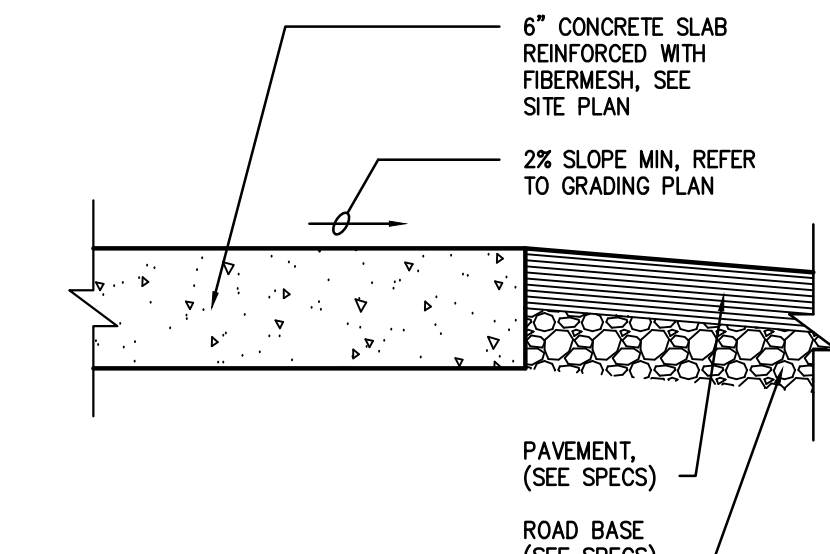


6 SIDEWALK AT BACK OF BUILDING
 SD4 1" = 1'-0"



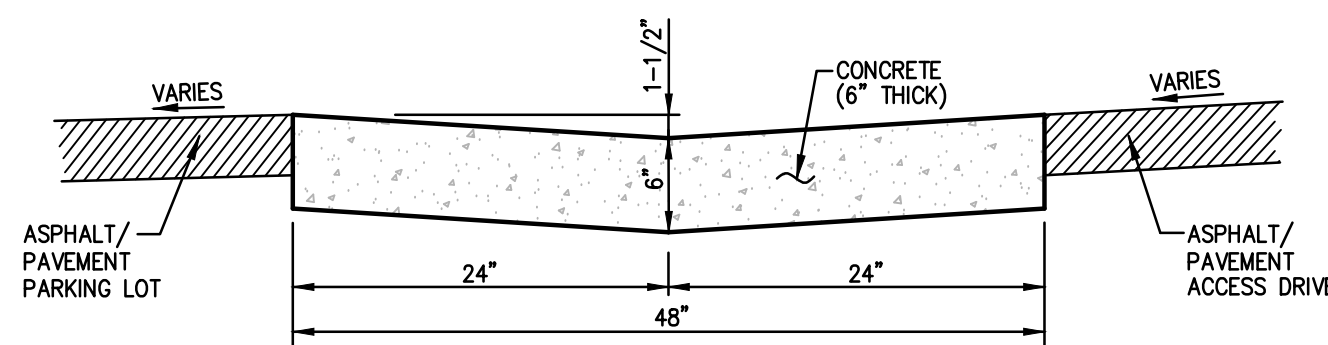
NOTES:
 1. PROVIDE CONTRACTION JOINTS AT 15' C.C. AND EXPANSION JOINTS AT 75' C.C.

7 CONCRETE BUILDING WALK
 SD4 1" = 1'-0"

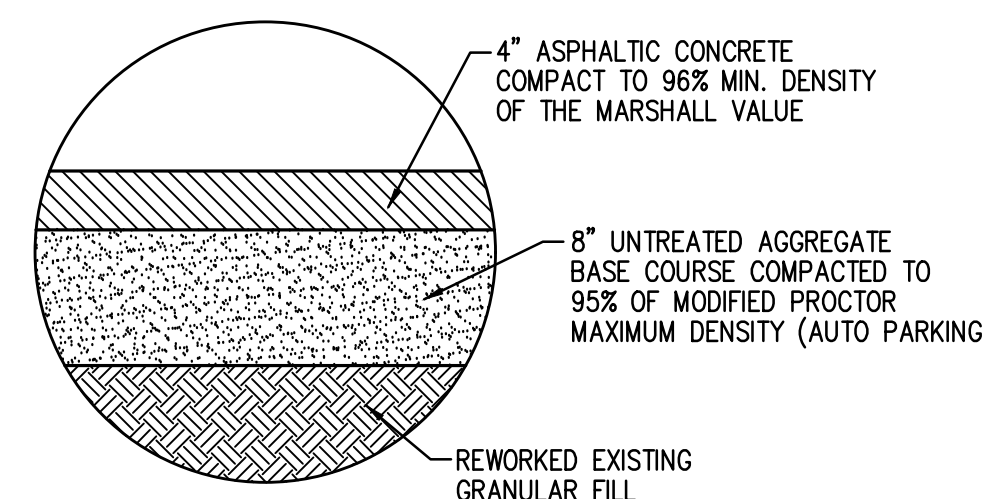


NOTE:
 SLOPE PAVEMENT FOR PROPER DRAINAGE, SEE GRADING PLAN

8 DRIVE THRU LANE DETAIL
 SD4 1-1/2" = 1'-0"

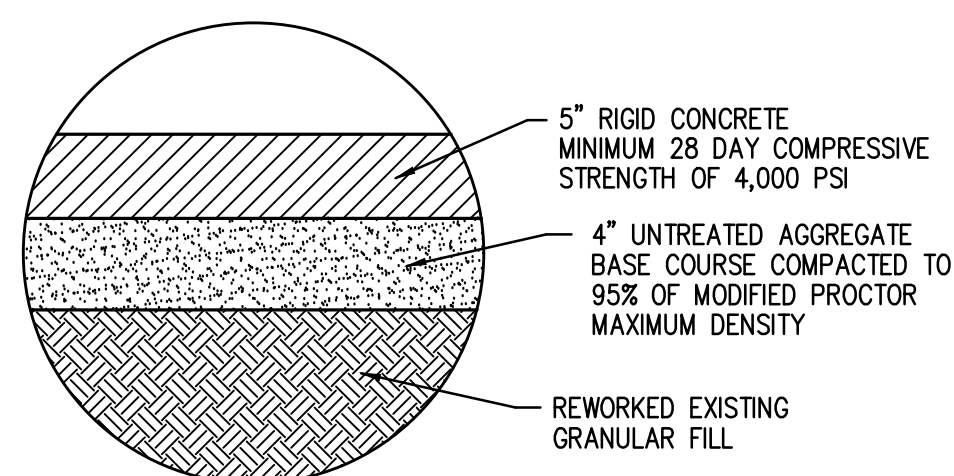


9 48" CONCRETE WATERWAY
 SD4 1" = 1'-0"



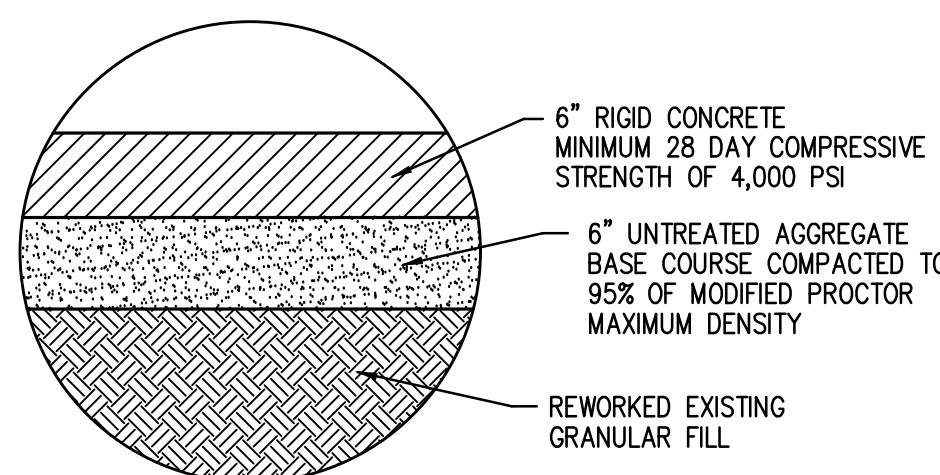
NOTE:
 SUBGRADE PREPARATION SHOULD INCLUDE REWORKING AND COMPACTING THE UPPERMOST 12-INCHES OF NATIVE SOILS TO A MINIMUM OF 95 PERCENT OF THE MDD AS DETERMINED BY ASTM D-1557.

10 ASPHALT FLEXIBLE PAVEMENT SECTION
 SD4 N.T.S.



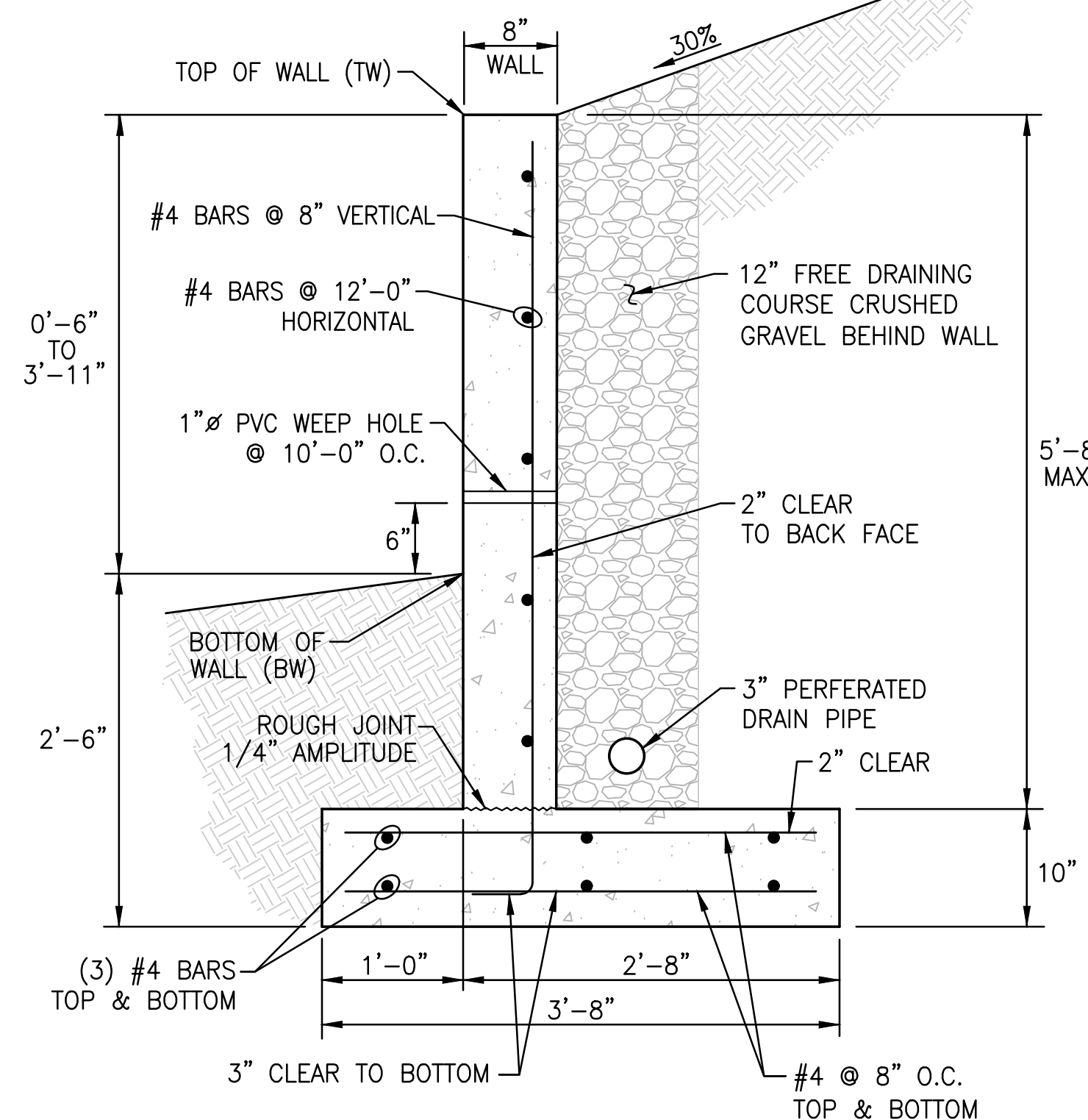
NOTE:
 SUBGRADE PREPARATION SHOULD INCLUDE REWORKING AND COMPACTING THE UPPERMOST 12-INCHES OF NATIVE SOILS TO A MINIMUM OF 95 PERCENT OF THE MDD AS DETERMINED BY ASTM D-1557.

11 CONCRETE RIGID PAVEMENT SECTION
 SD4 N.T.S.

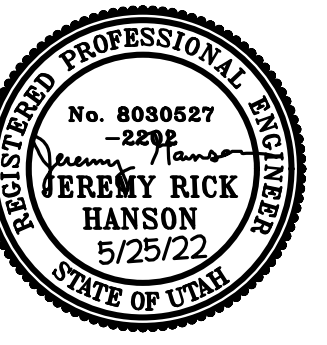


NOTE:
 SUBGRADE PREPARATION SHOULD INCLUDE REWORKING AND COMPACTING THE UPPERMOST 12-INCHES OF NATIVE SOILS TO A MINIMUM OF 95 PERCENT OF THE MDD AS DETERMINED BY ASTM D-1557.

12 CONCRETE RIGID PAVEMENT SECTION AT DUMPSTER LOCATION
 SD4 N.T.S.



13 TYPICAL CONC. RETAINING WALL DETAIL
 SD4 1" = 1'-0"



PREPARED BY: MCDONALD'S CORPORATION
 1000 DRIVE - JAY BROOK, LINDER, 60501
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 OFFICE ADDRESS: DENVER REGION: 4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237

TITLE	MCDONALD'S SITE IMPROVEMENT PLANS
DESCRIPTION	SANTAQUIN, UTAH
SHEET NO.	MISCELLANEOUS SITE DETAILS
DATE	04-3-2020
BY	SD-4
REV	5/25/22
DATE	
REVISIONS PER CITY REVIEW COMMENTS	
DESCRIPTION	

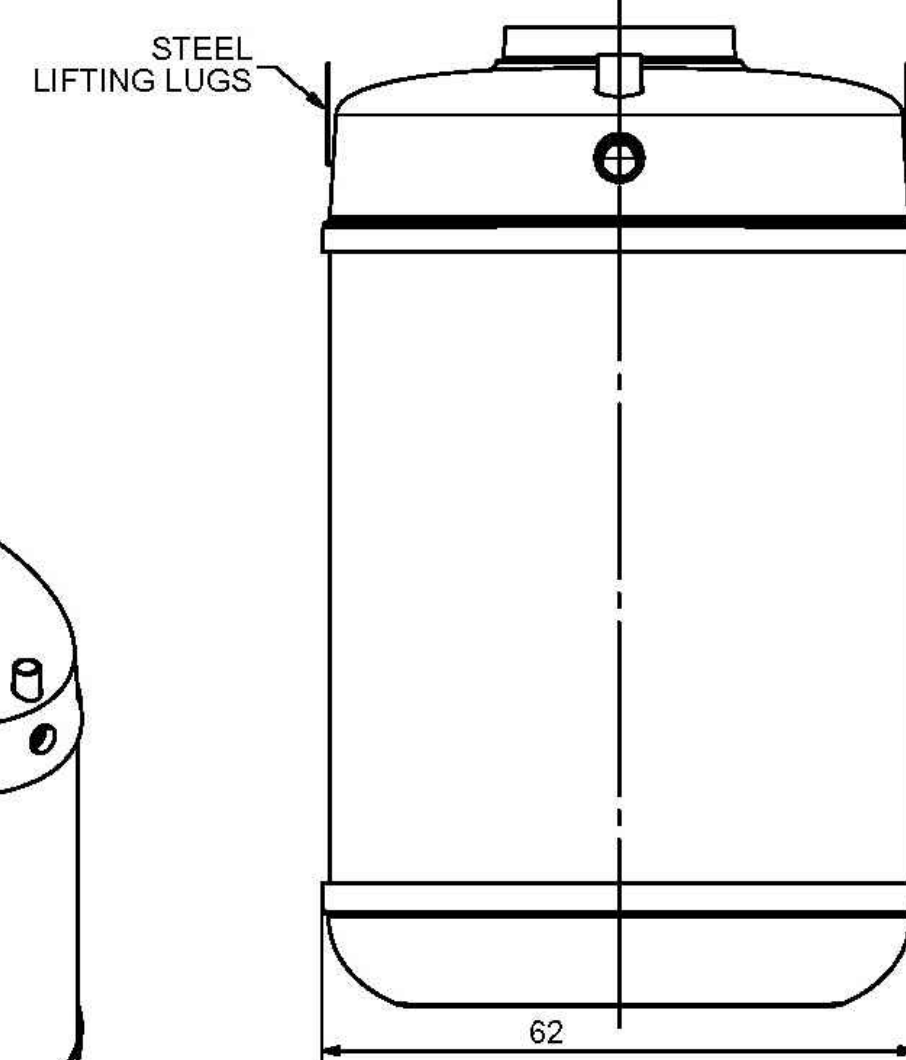
NOTES:

- FOR GRAVITY APPLICATIONS ONLY.
- ALL PROCEPTOR UNITS ARE MANUFACTURED WITH FIBERGLASS REINFORCED PLASTICS. PHYSICAL CHARACTERISTICS AND THICKNESS: POLYESTER RESIN AND E GLASS. MINIMUM THICKNESS 1/4" WALL AND 3/8" TOP AND BOTTOM BOWLS.
- ALL PROCEPTOR UNITS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTION.
- STANDARD PIPING IS SCH. 40 PVC.
- GM/COMC 500 - 3000 UNITS COME STANDARD WITH 4" INLET AND OUTLET (OTHER PIPE SIZE OPTIONS AVAILABLE ON REQUEST).
- EXTENSION COLLAR TO BE ORDERED TO MEET FINISHED GRADE. CUT ON SITE FOR FINAL ADJUSTMENT AND CALKED WITH SIKAFLEX BY CONTRACTOR FOR WATERTIGHT SEAL.
- COVERS AVAILABLE FOR H20 TRAFFIC LOADING, PEDESTRIAN LOADING OR ABOVE GROUND INSTALLATION.
- CONSULT GREEN TURTLE FOR OTHER SIZES.
- 30 YEAR WARRANTY AGAINST LEAKS, AND STRUCTURAL FAILURE.
- U.S. PATENT #5,746,912, CDN PATENT #2,195,922

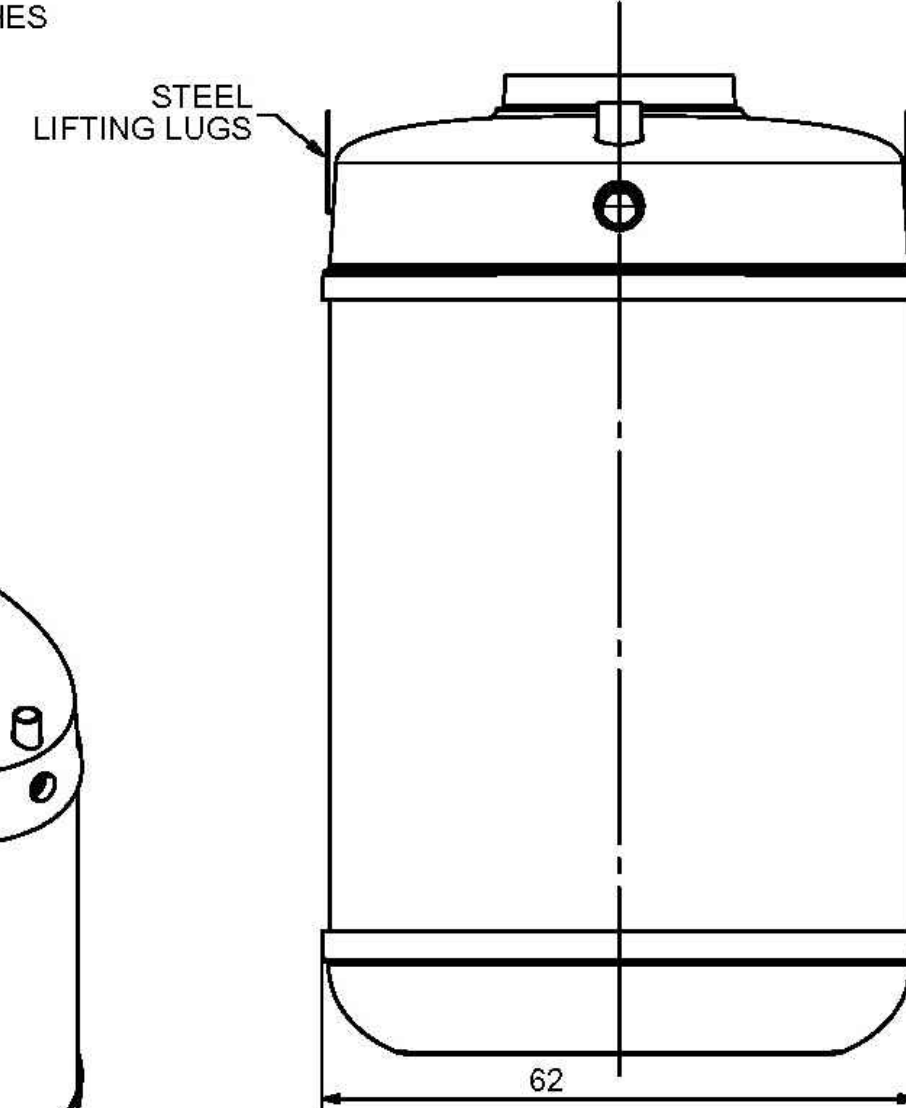
SPECIFICATIONS

PIPE SIZE: 4 INCH PVC SCH 40
 INSTALLATION: BURIED
 ACCESSWAY SIZE: 24 INCHES

OPTIONS



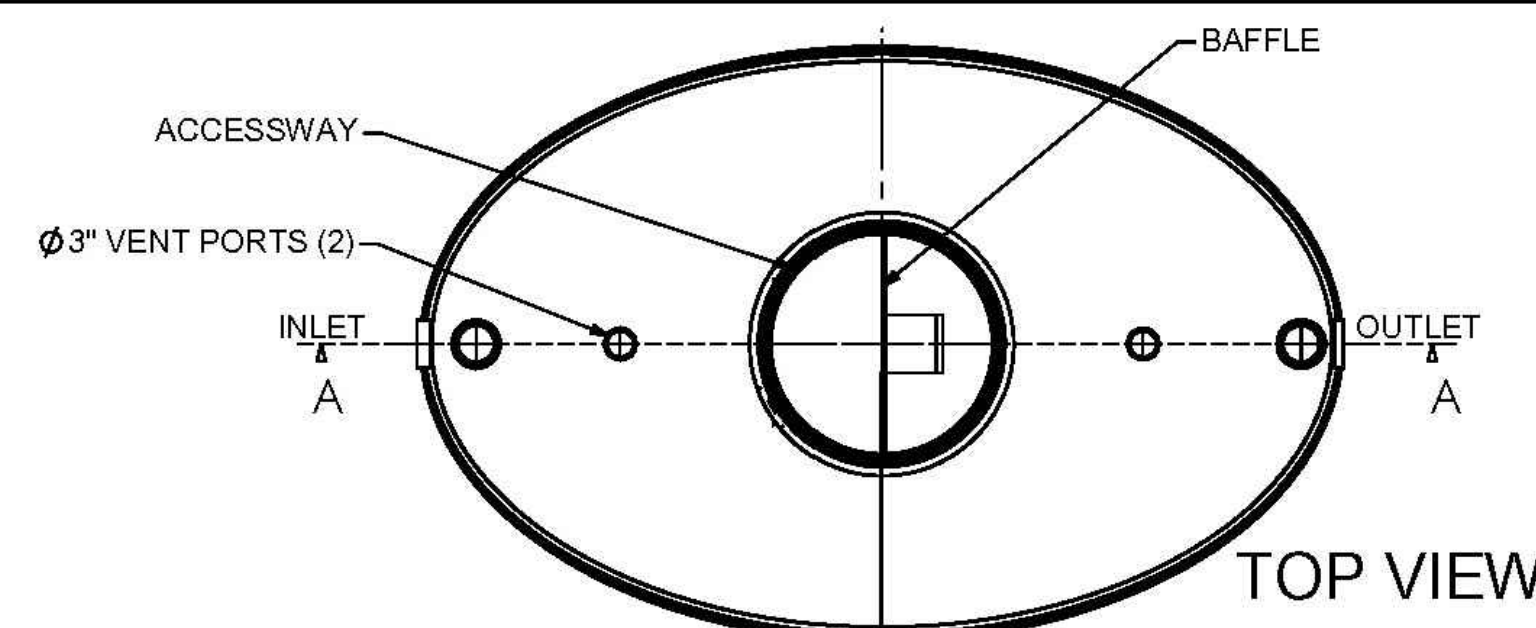
ISOMETRIC VIEW



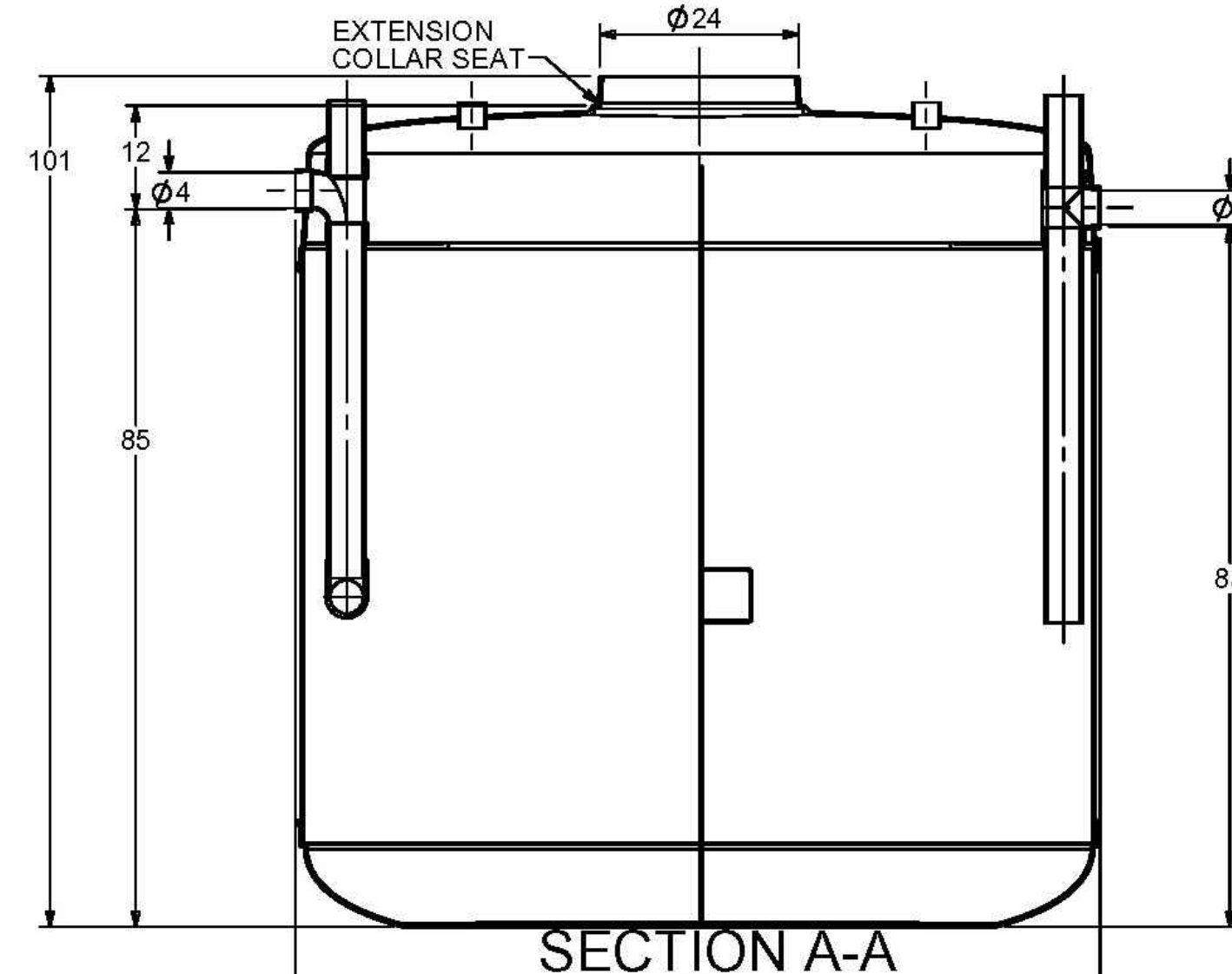
SIDE VIEW

TOTAL WET VOLUME: 1500 GAL
 MAX OIL CAPACITY: 819 GAL
 MAX SOLIDS CAPACITY: 540 GAL

CONSULT LOCAL AUTHORITIES FOR MINIMUM SIZE OF SEPARATORS



TOP VIEW



SECTION A-A

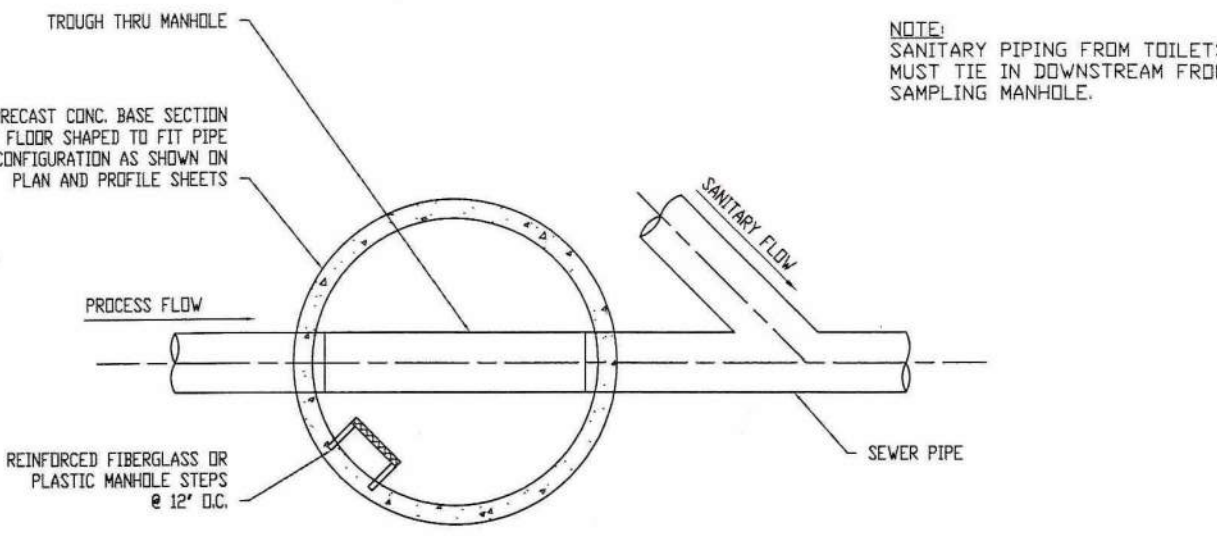
TITLE: PROCEPTOR OIL SEPARATOR OMC 1500	REV. DATE	DRAWN
ALL DIMENSIONS IN INCHES	1	
PROJECT: WO:	2	
NOTES:	3	
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SIZE: OMC NO. A OMC 1500
 SCALE: 1/8" = 1'-0"
 DO NOT SCALE DRAWING SHEET 1 OF 1

1,500 GAL. GREASE PROCEPTOR-PLAN VIEW

N.T.S.



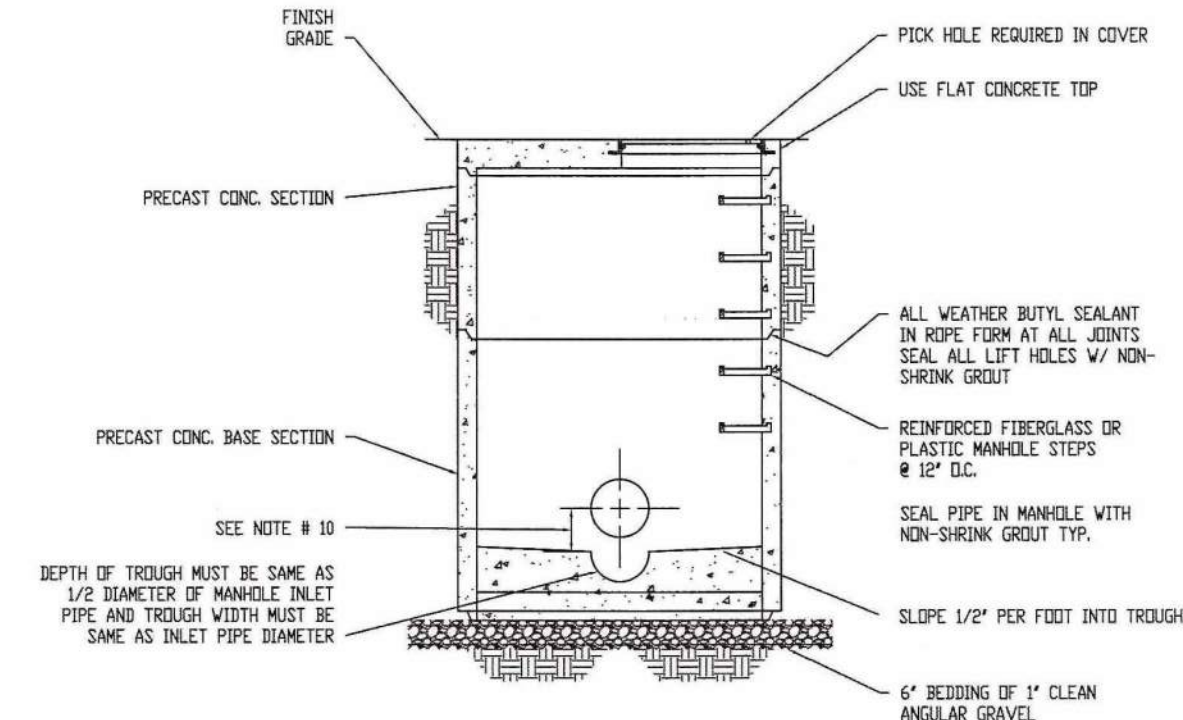
PLAN - MANHOLE

NOTES:

1. PIPING, CLEANOUT CONFIGURATION, SIZE AND TYPE OF PIPING MATERIAL AS PER CITY OR SANITARY DISTRICT. INSPECTION BY SVWRP PRIOR TO BACKFILLING IS REQUIRED.
2. WIDTH OF TROUGH IN THE MANHOLE MUST BE THE SAME SIZE AS THE INLET PIPE INTO MANHOLE. DEPTH OF TROUGH MUST BE THE SAME AS 1/2 OF INLET PIPE DIAMETER.
3. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
4. REINFORCEMENT STEEL SHALL BE ASTM A615 GRADE 60.
5. THE CONCRETE COVER OVER REINFORCEMENT STEEL SHALL BE A MINIMUM OF 1 1/2 INCHES.
6. THE STRUCTURE SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE OF UTAH.
7. THE STRUCTURE SHALL BE DESIGNED FOR THE FOLLOWING LOADING CRITERIA:
 A) WALLS DESIGNED FOR A SATURATED EQUIVALENT FLUID AT-REST SOIL PRESSURE OF 90 PSF PLUS TRUCK SURCHARGES.
 B) TRUCK LOADING USING AN AASHTO H-20 TRUCK LOAD.
8. MANHOLES OVER 4 FEET IN DEPTH WILL HAVE STAINLESS OR PLASTIC STEPS.
9. ALL MANHOLES MUST HAVE ROUND NOTCHED COVERS WITH PICK HOLE FOR REMOVAL.
10. FOR NEW CONSTRUCTION, BOTTOM OF INLET PIPE INTO MANHOLE MUST BE AT LEAST 3 INCHES ABOVE THE BOTTOM OF THE TROUGH THRU THE MANHOLE.

SAMPLING MANHOLE - EXAMPLE DETAIL

N.T.S.



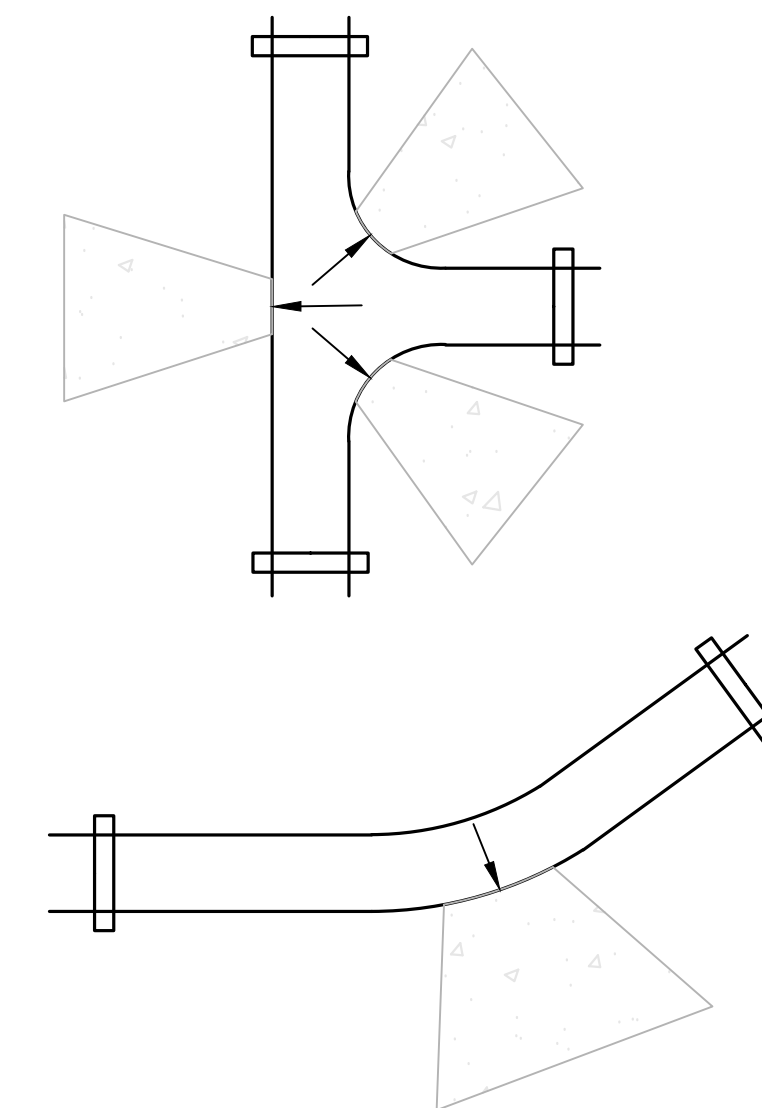
SECTION - MANHOLE

NONE

**NFPA THRUST BLOCK DATA
 THRUST BLOCK SIZE CHART**

FEATURE	SIZE (IN)	BEARING AREA FT ²
45° BEND	6"	2.9
TEE/DEAD END	6"	5.4

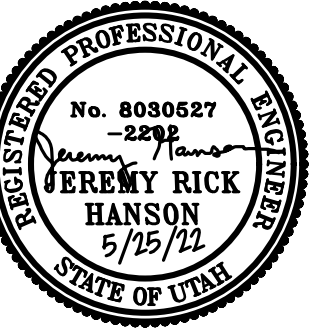
Note: See Table A.10.6.1(b) in the 2019 NFPA 24 Standards for more information.



THRUST BLOCK DETAILS

N.T.S.

REV	DATE	DESCRIPTION
A	5/25/22	REVISIONS PER CITY COMMENTS

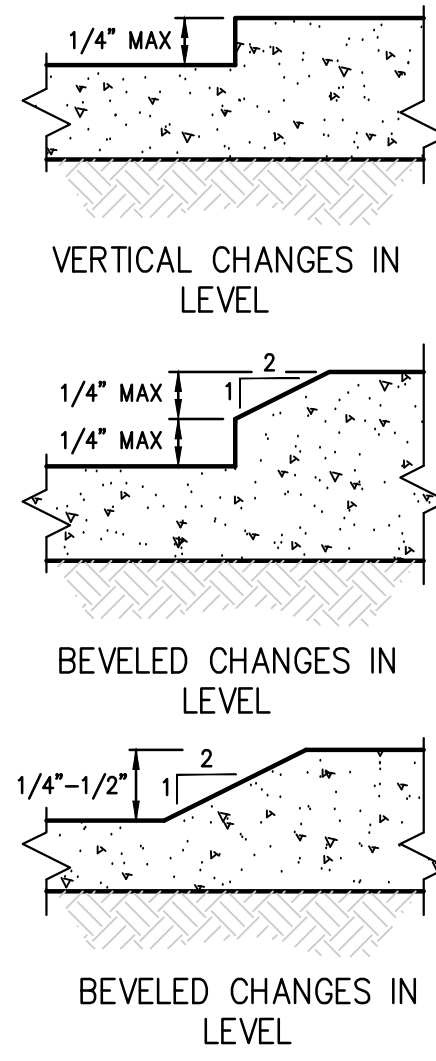


DOMINION
 Engineering Associates, L.C.
 5684 South Green Street
 Murray, Utah 84123 801-713-3000



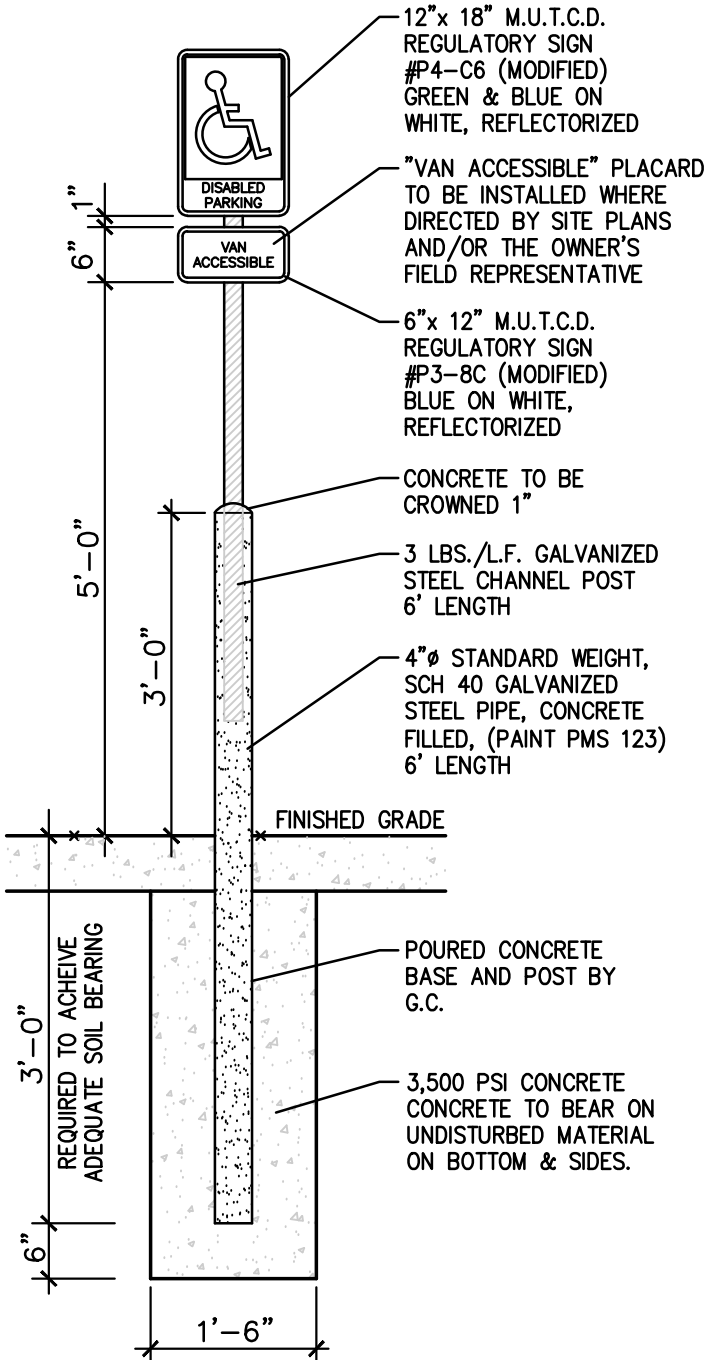
PREPARED BY: MCDONALD'S CORPORATION
 OFFICE ADDRESS: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237
 DENVER REGION: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237

TITLE: MCDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH	DESCRIPTION: MISCELLANEOUS SITE DETAILS
SHEET NO. SD-5	



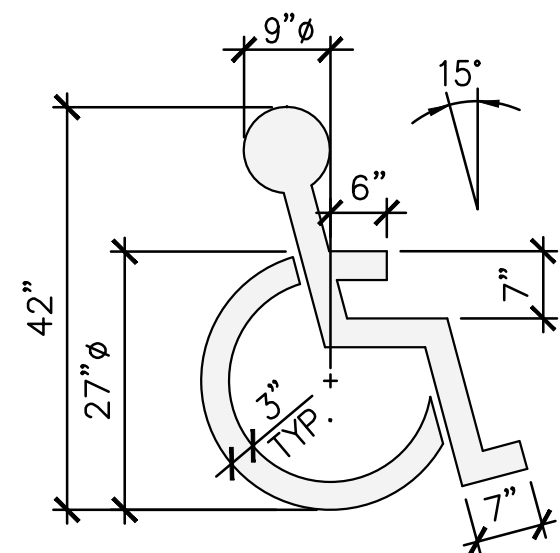
NOTE:
CHANGES IN LEVEL GREATER THAN 1/2" HIGH SHALL BE RAMPED.

ACCESSIBLE CHANGES IN LEVEL
N.T.S.

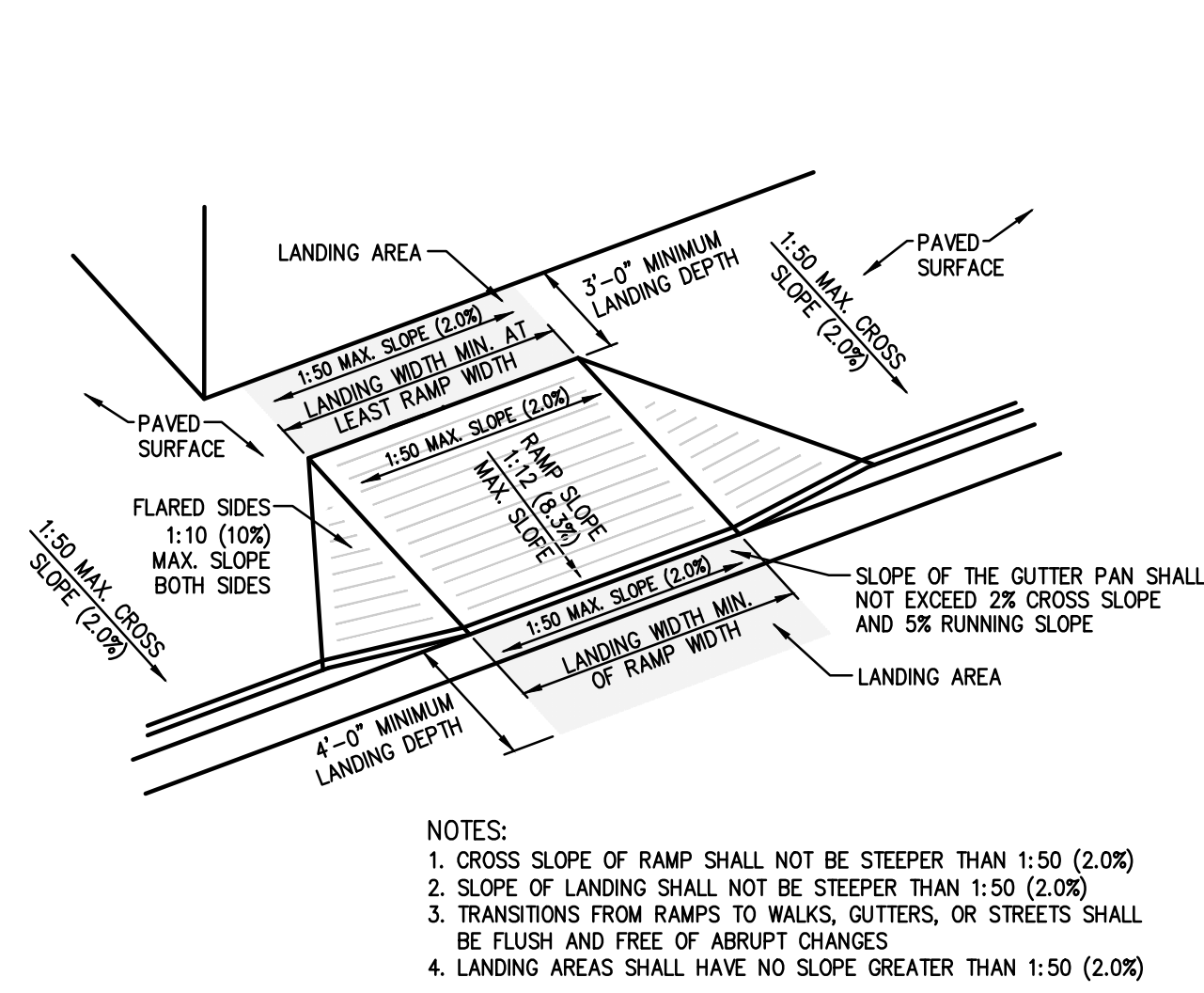


NOTE:
INSTALL CONCRETE BOLLARD WHERE VEHICLES ABUT.

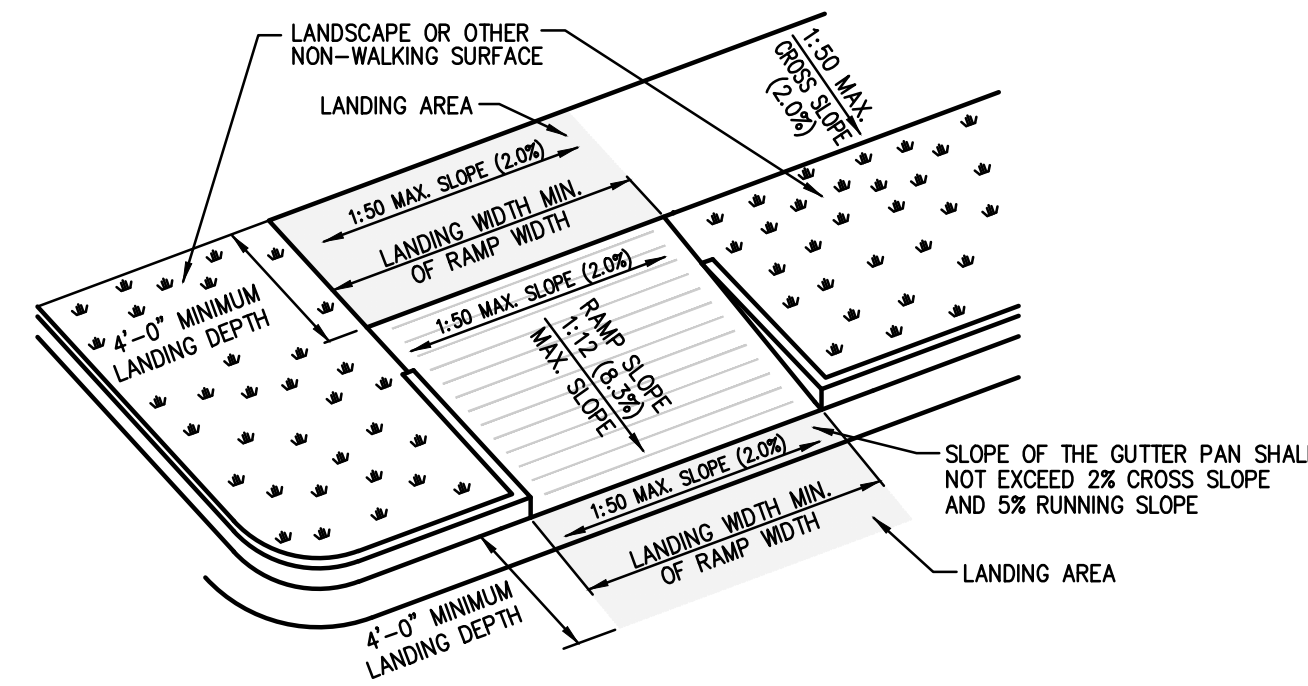
"HANDICAP PARKING-ONLY" SIGN
N.T.S.



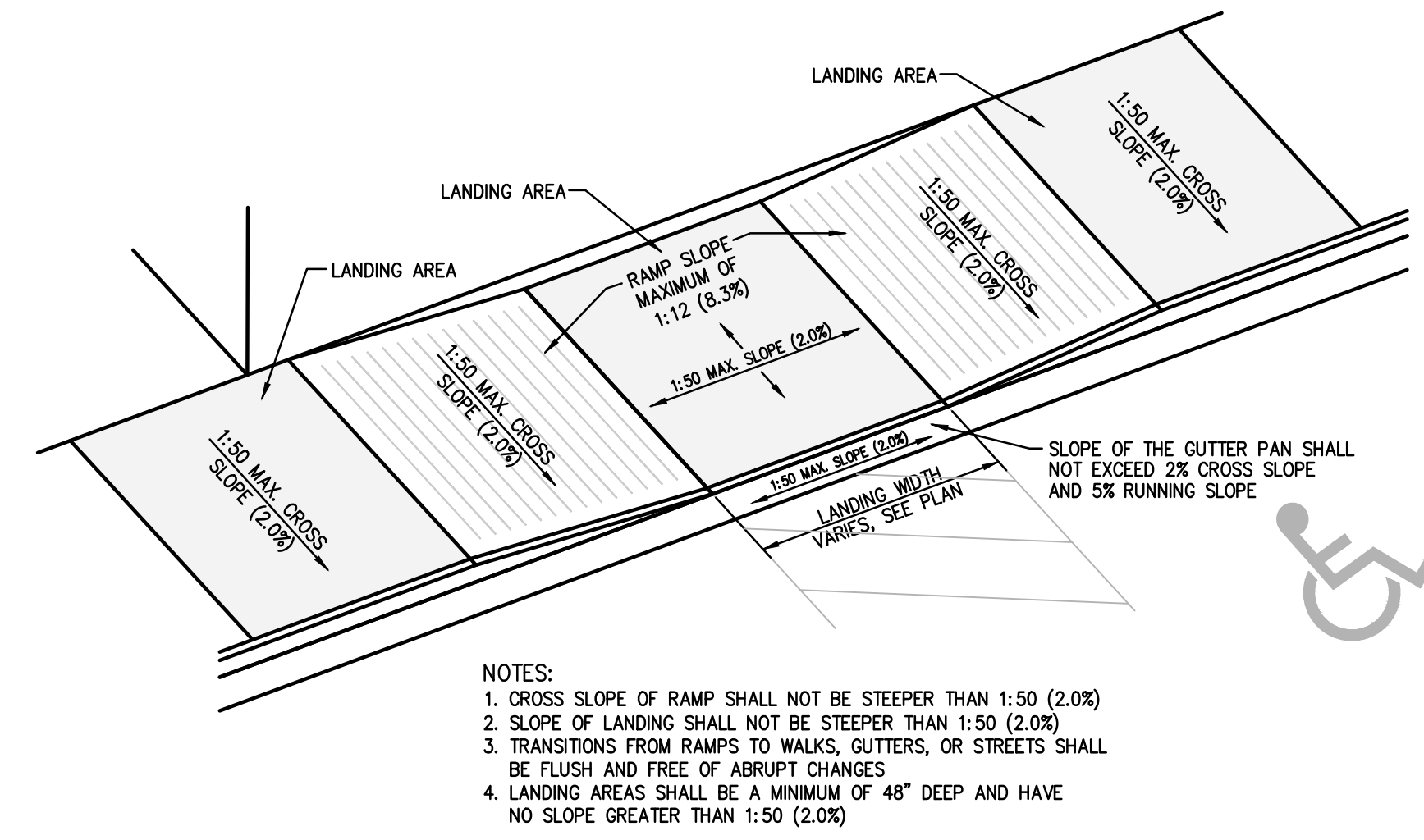
PAINTED HANDICAPPED PARKING SYMBOL (ADA)
N.T.S.



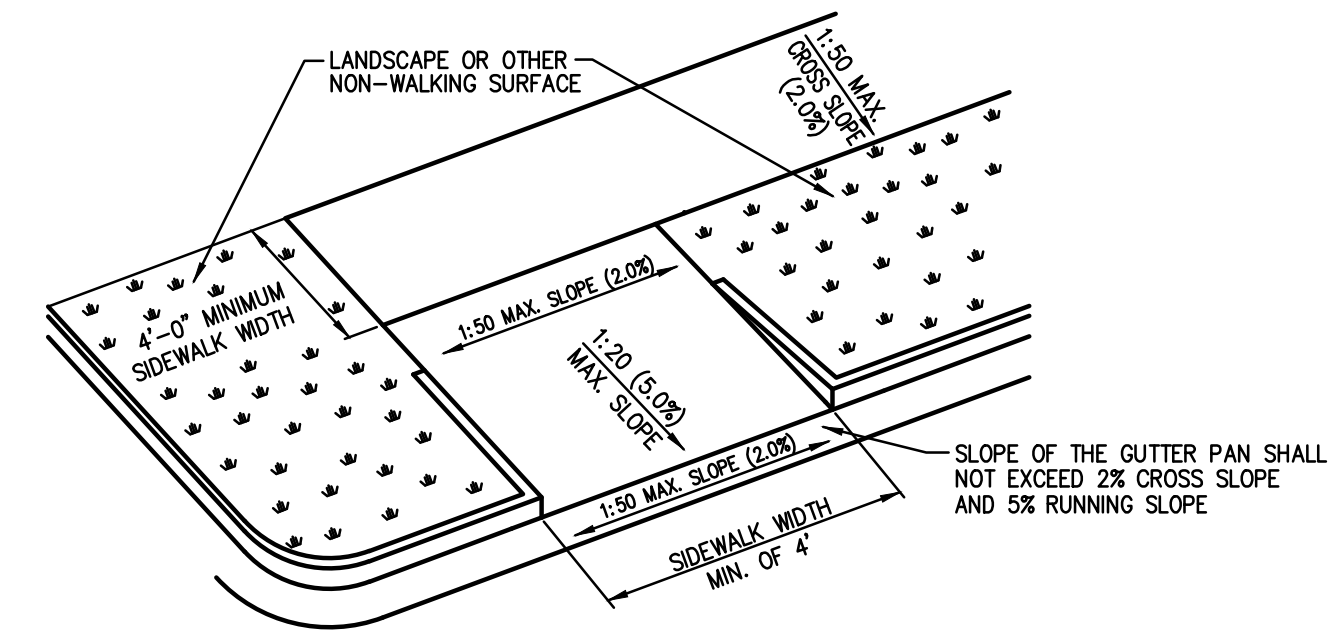
TYPICAL CURB RAMP IN PAVEMENT AREA
N.T.S.



TYPICAL CURB RAMP IN LANDSCAPE AREA
N.T.S.

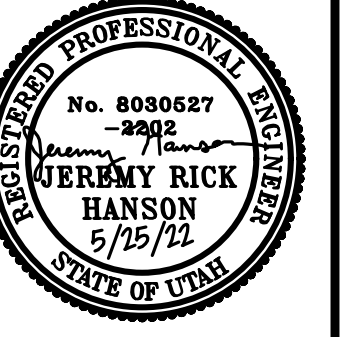


TYPICAL ACCESSIBLE PARKING RAMP
N.T.S.



TYPICAL SIDEWALK CURB-CUT IN LANDSCAPE AREA
N.T.S.

REV	DATE	DESCRIPTION
A	5/25/22	REVISIONS PER CITY REVIEW COMMENTS
RJU		BY

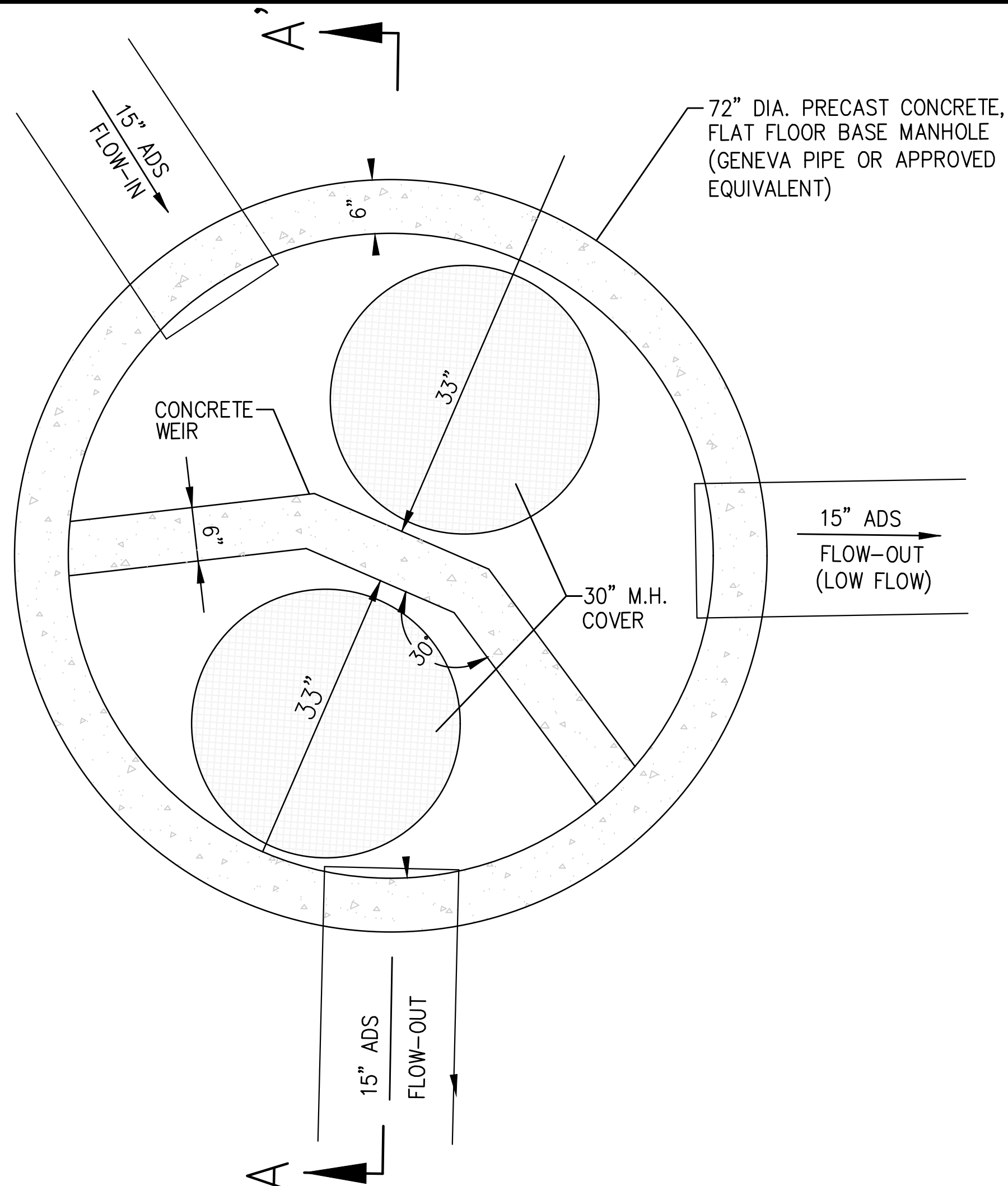


DOMINION
Engineering Associates, L.C.
5984 South Green Street
Murray, Utah 84123 801-713-3000

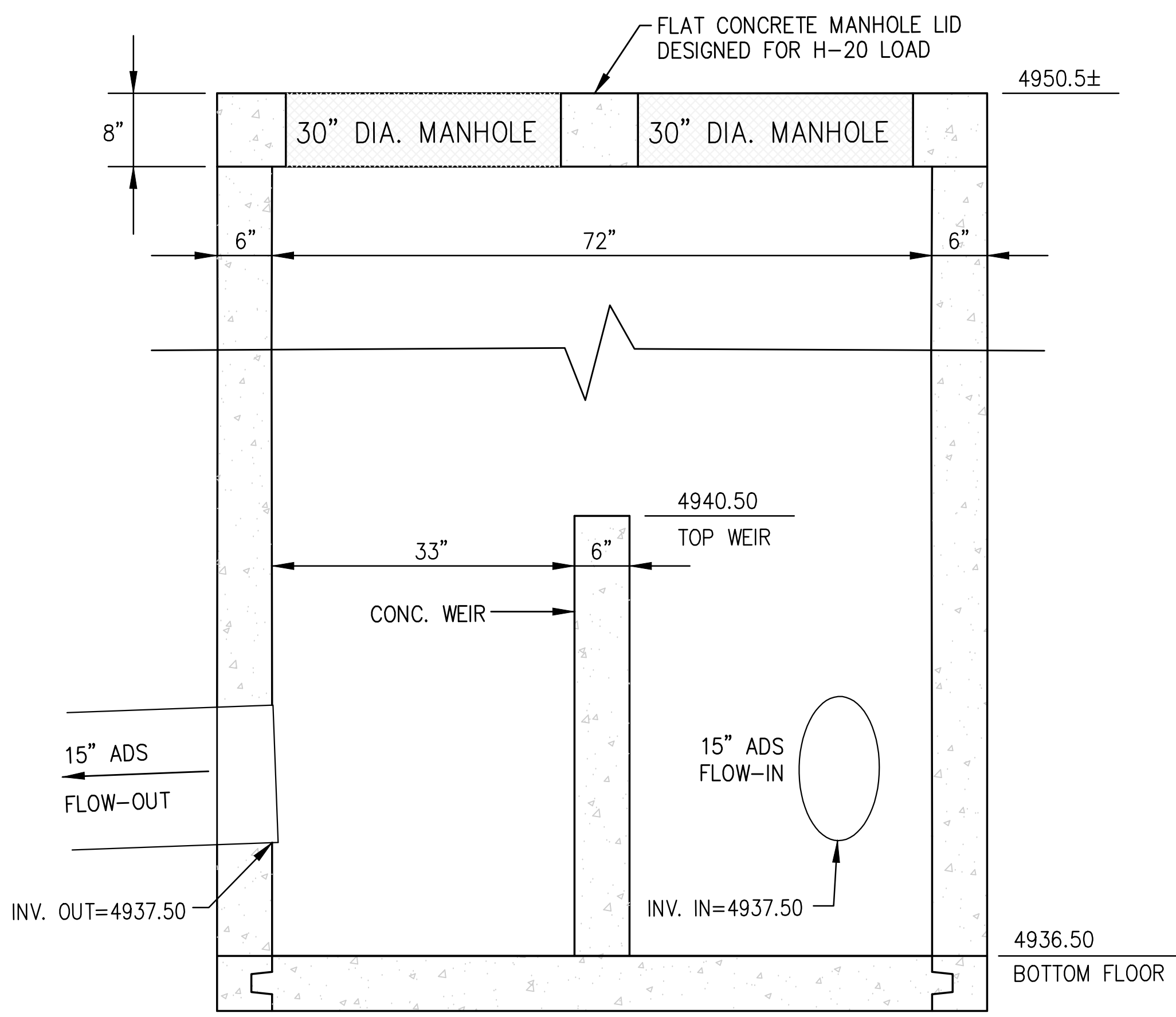
PREPARED BY:
McDONALD'S CORPORATION
KFC DRIVE - DAN BROOK, UTAH 84001
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OFFICE ADDRESS:
DENVER REGION: 4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237

TITLE	DATE
McDONALD'S SITE IMPROVEMENT PLANS	
SANTAQUIN, UTAH	
DESCRIPTION	
ADA SITE DETAILS	
SHEET NO.	
043-0320	
38 NORTH 500 EAST, SANTAQUIN, UTAH	

SD-6



PLAN VIEW
SCALE: 1"=1'-0"



SECTION A-A'
SCALE: 1"=1'-0"
72" PRECAST MANHOLE DETAIL

User Inputs

Chamber Model: MC-4500
 Outlet Control Structure: No
 Project Name: McDonald's
 Engineer: N/A
 Project Location: Utah
 Measurement Type: Imperial
 Required Storage Volume: 3700 cubic ft.
 Stone Porosity: 40%
 Stone Foundation Depth: 12 in.
 Stone Above Chambers: 12 in.
 Average Cover Over Chambers: 24 in.
 Design Constraint Dimensions: (45 ft. x 60 ft.)

Results

System Volume and Bed Size

Installed Storage Volume: 4005.62 cubic ft.
 Storage Volume Per Chamber: 106.50 cubic ft.
 Number Of Chambers Required: 19
 Number Of End Caps Required: 4
 Chamber Rows: 2
 Maximum Length: 51.49 ft.
 Maximum Width: 19.42 ft.
 Approx. Bed Size Required: 963.11 square ft.

System Components

Amount Of Stone Required: 168.90 cubic yards
 Volume Of Excavation (Not Including Fill): 249.70 cubic yards
 Total Non-woven Geotextile Required: 389.18 square yards
 Woven Geotextile Required (excluding Isolator Row): 21.23 square yards
 Woven Geotextile Required (Isolator Row): 106.67 square yards
 Total Woven Geotextile Required: 127.91 square yards

STORMTECH MC-4500 SYSTEM DETAILS

McDonalds - Santaquin - Property
Drainage Calculations
100 Year, 24 Hour Event (Santaquin)
Proposed Detained Basin

Restriction Rate (cfs/ac)	0.00
Total Area (ac)	1.14
Total Area (sf)	49622
Infiltration rate (in/hr)	6.0
Infiltration surface length (ft)	51.0
Length of Perf Pipe (ft)	20

Land Use	%	C	Area (sf)
Roof	11	0.9	5406
Paved	69	0.9	34352
Landscaped	20	0.15	9864
		0.75	

Lapsed Time (min)	Rainfall Intensity (in/hr)	Accumulated Rainfall (in)	Accumulated Flow (cf)	Allowable Discharge (cf)	Infiltration Discharge (cf)	Required Storage (cf)
5	5.04	0.42	1304	0	42.50	1262
10	3.84	0.64	1987	0	85.00	1902
15	3.32	0.83	2577	0	127.50	2450
30	2.24	1.12	3478	0	255.00	3223
60	1.40	1.40	4347	0	510.00	3837
120	0.78	1.56	4844	0	1020.00	3824
180	0.56	1.68	5317	0	1530.00	3687
360	0.32	1.92	5862	0	3060.00	2902
720	0.19	2.28	7080	0	6120.00	960
1440	0.11	2.64	8198	0	12240.00	-4042

Summary

Required retention storage (cf)	3837
Unit storage per acre (cf/ac)	3368
Allowable release rate (cfs)	0.0000

McDonalds - Santaquin - Access Road
Drainage Calculations
100 Year, 24 Hour Event
Proposed Detained Basin - East

Restriction Rate (cfs/ac)	0.00
Total Area (ac)	0.13
Total Area (sf)	5581
Infiltration rate (in/hr)	0.0
Infiltration surface length (ft)	0.0
Length of Perf Pipe (ft)	0

Land Use	%	C	Area (sf)
Roof	0	0.9	0
Paved	100	0.9	5581
Landscaped	0	0.15	0
		0.90	

Lapsed Time (min)	Rainfall Intensity (in/hr)	Accumulated Rainfall (in)	Accumulated Flow (cf)	Allowable Discharge (cf)	Infiltration Discharge (cf)	Required Storage (cf)
15	4.01	1.00	420	0	0.00	420
30	2.70	1.35	565	0	0.00	565
60	1.67	1.67	699	0	0.00	699
360	0.35	2.08	871	0	0.00	871
720	0.20	2.41	1010	0	0.00	1010
1440	0.13	3.00	1256	0	0.00	1256

Summary

Required retention storage (cf)	1256
Unit storage per acre (cf/ac)	9801
Allowable release rate (cfs)	0.0000

Retention in Pond

Elevation	Area (ft ²)	Volume (ft ³)	Volume (ft ³)
4945.00	206	0	0
4946.00	633	420	420
4947.00	1,136	884	1,304
4948.00	1,709	1,422	2,726

HIGH WATER TOP OF POND

STORM WATER DRAINAGE CALCULATIONS

Job # 1308 Path P:\McDonalds\Santaquin\CAD | File Name: SD-7 Storm Drainage Details & Calculations | Plot Date: May 25, 2022

MCDONALD'S CORPORATION

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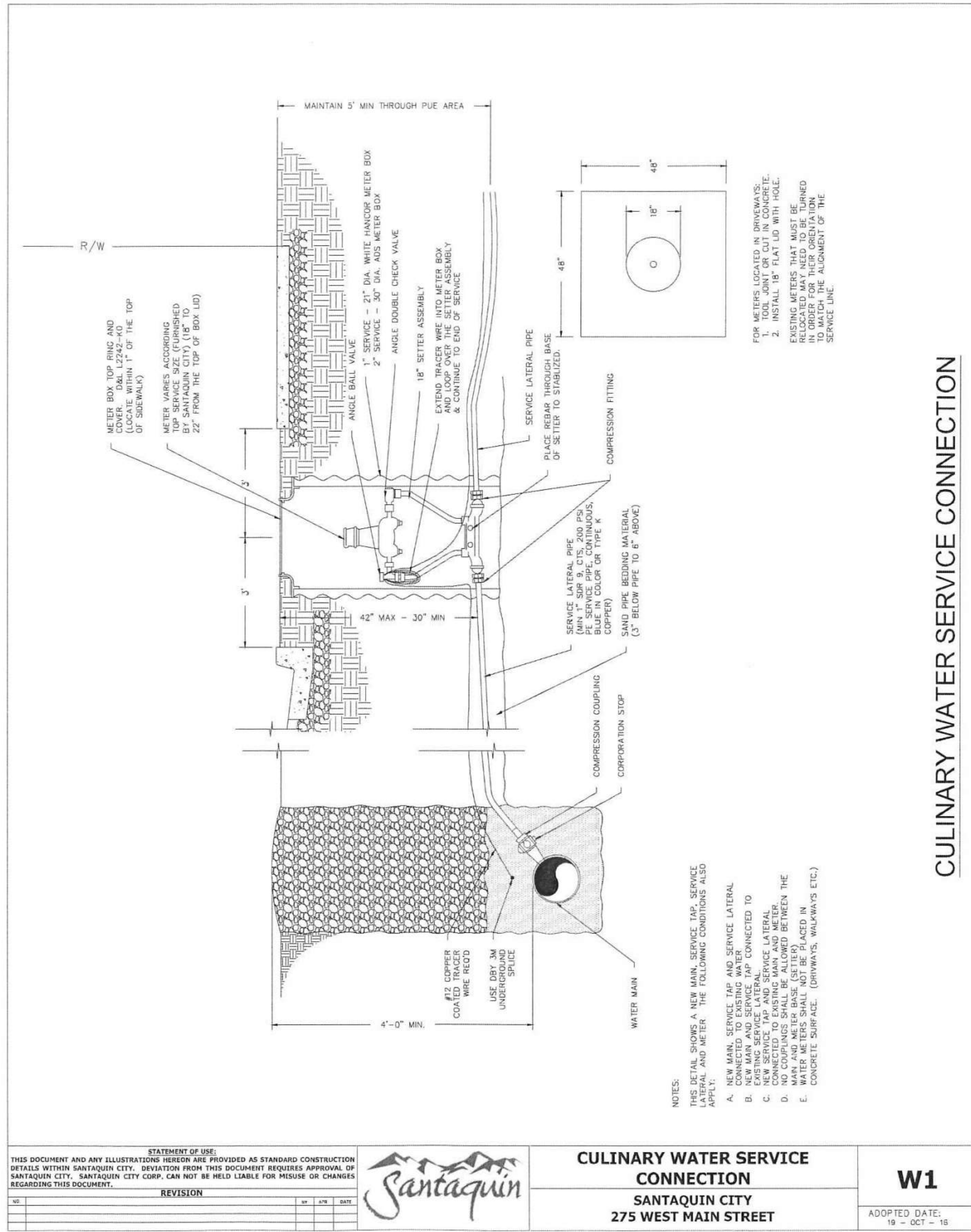
DRAWN BY	DATE	ISSUED	DATE

SITE ADDRESS: 38 NORTH 500 EAST, SANTAQUIN, UTAH
 SITE ID: 04-3-0320
 REGION: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237

5684 South Green Street
Murray, Utah 84123 801-713-3000

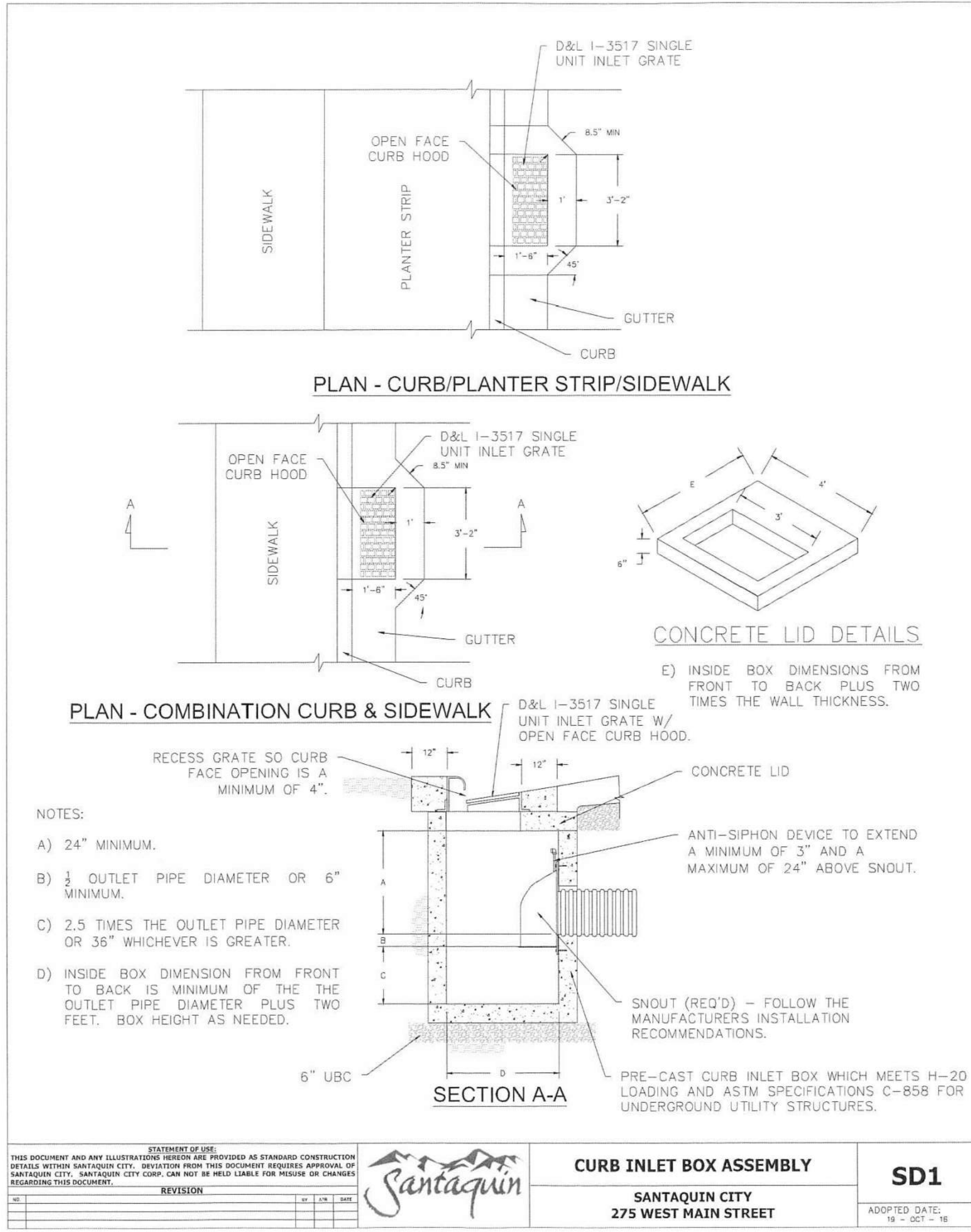
SD-7

MCDONALD'S SITE IMPROVEMENT PLANS
 SANTAQUIN, UTAH
 STORM DRAINAGE DETAILS & CALCS.



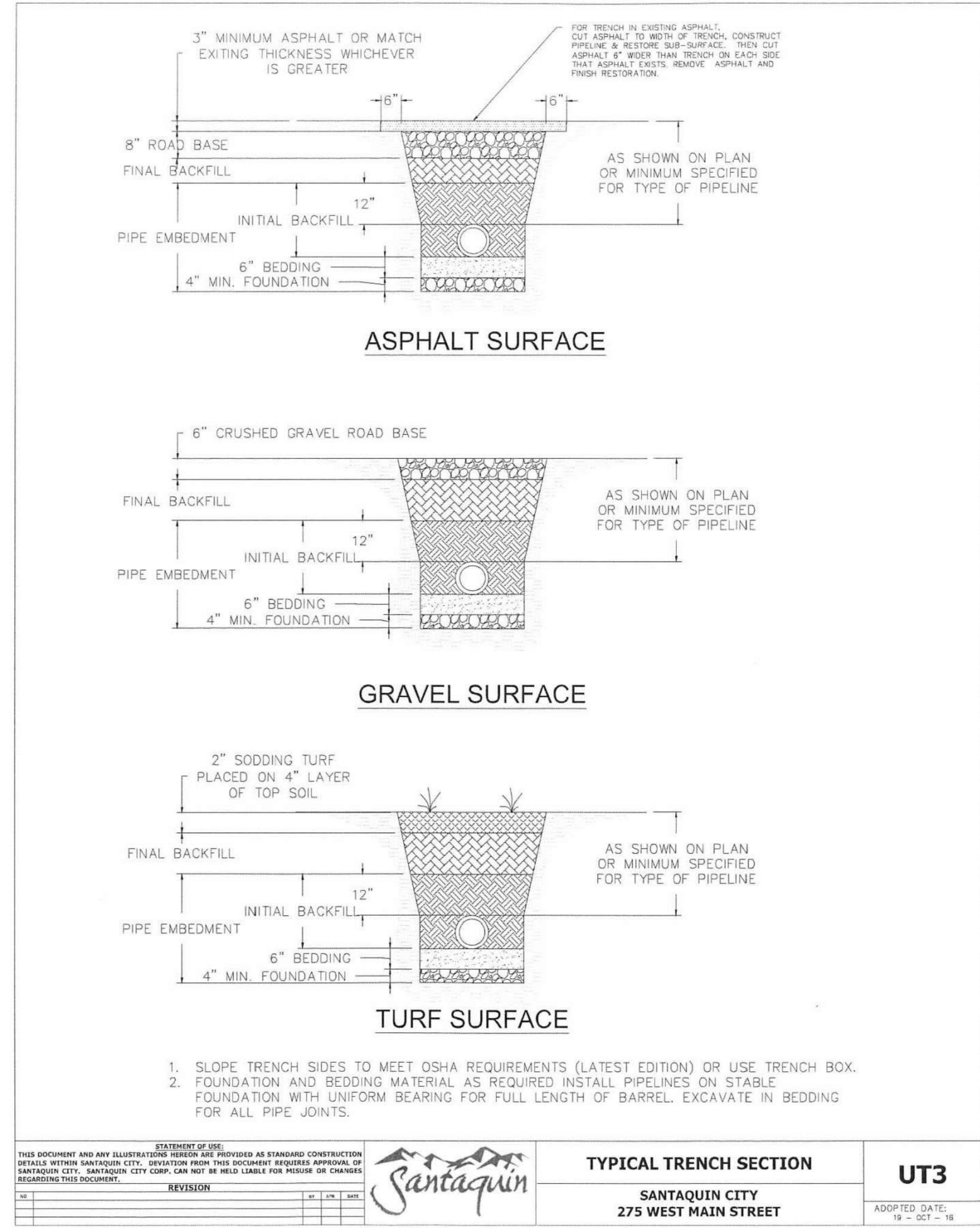
CULINARY WATER SERVICE CONNECTION

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REVISION NO. DATE BY	SANTAQUIN CITY CORP. LOGO		



CURB INLET BOX ASSEMBLY

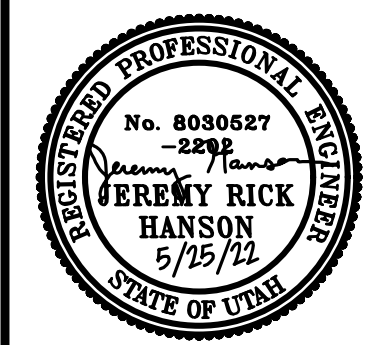
STATEMENT OF USE THIS DOCUMENT AND ANY ILLUSTRATIONS HEREIN ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN SANTAQUIN CITY. REVISION FROM THIS DOCUMENT REQUIRES APPROVAL BY SANTAQUIN CITY, SANTAQUIN CITY CORP. CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.		CURB INLET BOX ASSEMBLY SANTAQUIN CITY 275 WEST MAIN STREET	SD1 ADOPTED DATE: 19 - OCT - 18
REVISION NO. DATE BY	SANTAQUIN CITY CORP. LOGO		



TYPICAL TRENCH SECTION

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REVISION NO. DATE BY	SANTAQUIN CITY CORP. LOGO		

SHEET NO. SD-8	TITLE McDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH DESCRIPTION SANTAQUIN CITY STANDARD DETAILS	DRAWN BY STD ISSUE DATE REVIEWED BY DATE REVIEWED DATE ISSUED	PREPARED FOR MCDONALD'S CORPORATION 3500 DRIVE - JAY BROOK, UTAH 84051 THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MCDONALD'S CORPORATION. THE CONTRACT DOCUMENTS WILL BE PREPARED WITHOUT WRITING AUTHORIZATION. THE CONTRACT DOCUMENTS WILL BE PREPARED AND USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE CONTRACT DOCUMENTS. ANY REUSE OR REPRODUCTION OF ANY PART OF THESE DRAWINGS WITHOUT THE WRITTEN AUTHORIZATION OF MCDONALD'S CORPORATION IS STRICTLY PROHIBITED.	OFFICE ADDRESS DENVER REGION: 4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237	R/JU BY
					SITE ID 043-0320



PLANTING NOTES:

1. LANDSCAPE BIDS MUST BE IN A DETAILED UNIT PRICE FORMAT SHOWING COST BREAKDOWN OF ALL LANDSCAPE ELEMENTS. ANY ELEMENT MAY BE ADDED OR DELETED BY THE LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR COMPENSATION WILL BE ADJUSTED ACCORDING TO THE UNIT PRICE BIDS. ANY SUBSTITUTION MUST BE BY LANDSCAPE ARCHITECT APPROVAL. LANDSCAPE ARCHITECT WITHOUT JUSTIFICATION MAY DISALLOW BIDS AND SELECT CONTRACTOR REGARDLESS OF BID FIGURES. THE SELECTED CONTRACTOR MUST CONTACT THE OWNER'S CONSTRUCTION REPRESENTATIVE BEFORE BEGINNING CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. CONTRACTOR OR SUBCONTRACTORS PARTICIPATION IN CONSTRUCTION OF THIS PLAN MUST BE LICENSED BY THE STATE OF UTAH FOR THE TYPE OF WORK BEING PERFORMED.

2. CODES, LAWS, REGULATIONS, AND PERMITS BY FEDERAL, STATE, COUNTY AND CITY AGENCIES FOR DESIGN CONCEPT, MATERIALS AND WORKMANSHIP MUST BE RESEARCHED AND SATISFIED BY THE CONTRACTOR. REPORT ANY PROBLEMS OR REQUIREMENTS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST VERIFY THE REGULATIONS FOR AND SECURE ANY PERMITS BEFORE BEGINNING CONSTRUCTION. THE COST FOR THE PERMIT FEES MAY BE SUBMITTED TO THE OWNER FOR REIMBURSEMENT. CALL BLUE STAKES AND REFER TO DRAINAGE AND CIVIL PLANS BEFORE ANY TRENCHING OR EXCAVATION.

3. CONSTRUCTION CLEAN UP MUST BE PERFORMED DAILY, AND ALL HARDSCAPE ELEMENTS MUST BE WASHED FREE OF DIRT AND MUD ON FINAL CLEAN UP. CONSTRUCTION MUST OCCUR IN A TIMELY MANNER.

4. LANDSCAPE PLANS AND DETAIL DRAWINGS ARE SCHEMATIC ONLY. DISCREPANCIES MAY EXIST, INCLUDING BUT NOT LIMITED TO BUILDING LOCATION, PROPERTY LINES, ANY DIMENSIONS SPECIFIED OR IMPLIED. THE CONTRACTOR WILL BE REQUIRED TO ADJUST PLANS AS NECESSARY TO RETAIN CONCEPT INTEGRITY. CONTACT LANDSCAPE ARCHITECT IF DISCREPANCIES EXIST.

5. PLANT MATERIAL EXCAVATION CALL BLUE STAKE AND MAKE REFERENCE TO DRAINAGE AND CIVIL PLANS BEFORE EXCAVATION FOR PLANT MATERIAL. ALL HOLES MUST ALLOW FOR A MINIMUM OF SIX (6) INCHES OF SPECIFIED PLANTING MIX BACKFILL MATERIAL ON ALL SIDES OF ROOT BALL FOR SHRUBS, AND 3X BALL DIAMETER FOR TREES.

6. PLANT MATERIAL BACKFILL MUST BE A WELL MIXED COMBINATION OF 2/3 NATIVE SOIL, 1/3 TOPSOIL AND 1/3 ORGANIC COMPOSTED MATERIAL. DEEP WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING. ADD BACKFILL MATERIAL TO DEPRESSIONS AS NECESSARY.

7. PREPARE SUBGRADE SOIL FOR TURF AND SHRUB / PERENNIAL PLANTER BEDS BY LOOSENING SUBGRADE TO A MINIMUM DEPTH OF 4". REMOVE STICKS, ROOTS, EXTRANEIOUS MATTER, AND STONES LARGER THAN 1". THOROUGHLY BLEND SOIL TO A MINIMUM DEPTH OF 6". SOIL AMENDING SHALL INCLUDE COMPOSTED ORGANIC MATERIAL ADDED AT A RATE OF THREE CUBIC YARDS PER 1000 SQUARE FEET. ALL SOD AREAS, SHRUB BEDS, AND PERENNIAL PLANTERS SHALL HAVE THE SOIL AMENDED.

8. TOP SOIL MUST BE A PREMIUM QUALITY DARK SANDY LOAM, FREE OF ROCKS, CLODS, ROOTS, AND PLANT MATTER. THE TOPSOIL SHALL BE EVENLY SPREAD AND SMOOTH GRADED ON A CAREFULLY PREPARED AMENDED SUBGRADE. TOPSOIL SHALL BE SPREAD TO A DEPTH OF FOUR INCHES (4") IN ALL SOD AREAS, SHRUB BEDS, FLOWERING ANNUAL BEDS, AND GROUNDCOVER AREAS.

9. SOD MUST BE PREMIUM QUALITY, ULTRA GREEN, EVENLY CUT, ESTABLISHED, HEALTHY, WEED AND DISEASE FREE, AND FROM AN APPROVED SOURCE. SOD MUST BE DELIVERED AND LAID IMMEDIATELY AFTER CUTTING. SOD MUST BE LAID WITH NO GAPS BETWEEN PIECES ON A CAREFULLY PREPARED TOPSOIL LAYER. THE LAID SOD MUST BE IMMEDIATELY WATERED AFTER INSTALLATION. ANY BURNED AREAS WILL REQUIRE REPLACEMENT. ADJUST SPRINKLER SYSTEM TO ASSURE HEALTHY GREEN SURVIVAL OF THE SOD WITHOUT WATER WASTE.

10. MULCH OVER DEWITT PRO 5 WEED BARRIER WILL BE REQUIRED IN ALL LANDSCAPE BEDS FOR SHRUBS, PERENNIALS, AND ANNUALS. MULCH FOR ANNUALS AND SPREADING PERENNIAL GROUND COVER AREAS SHALL BE SOIL PEP. SEE PLANS FOR MULCH TYPES IN OTHER LANDSCAPE AREAS. MULCH SHALL BE EVENLY SPREAD ON A CAREFULLY PREPARED GRADE TO THE MINIMUM DEPTH NOTED. THE TOP OF ALL AREAS OF MULCH SHALL BE AT THE GRADE OF THE ADJACENT CURB, WALK, OR EDGE OF PAVEMENT.

11. FERTILIZER FOR SOD AREAS SHALL BE PELLETIZED, N-P-K AS APPROVED BY LANDSCAPE ARCHITECT FOR SEASONAL ADJUSTMENT. USE 20 LBS PER 5,000 SQUARE FEET OR AS PER MANUFACTURER'S SPECIFICATIONS. SPREAD EVENLY ON A CAREFULLY PREPARED TOPSOIL LAYER JUST PRIOR TO LAYING SOD.

12. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE TREE GUYING AND STAKING IN A TIMELY MANNER ONCE STAKED TREES HAVE TAKEN ROOT. NO STAKING SHALL REMAIN BEYOND A REASONABLE TIME FOR ROOT PENETRATION AND STABILIZATION.

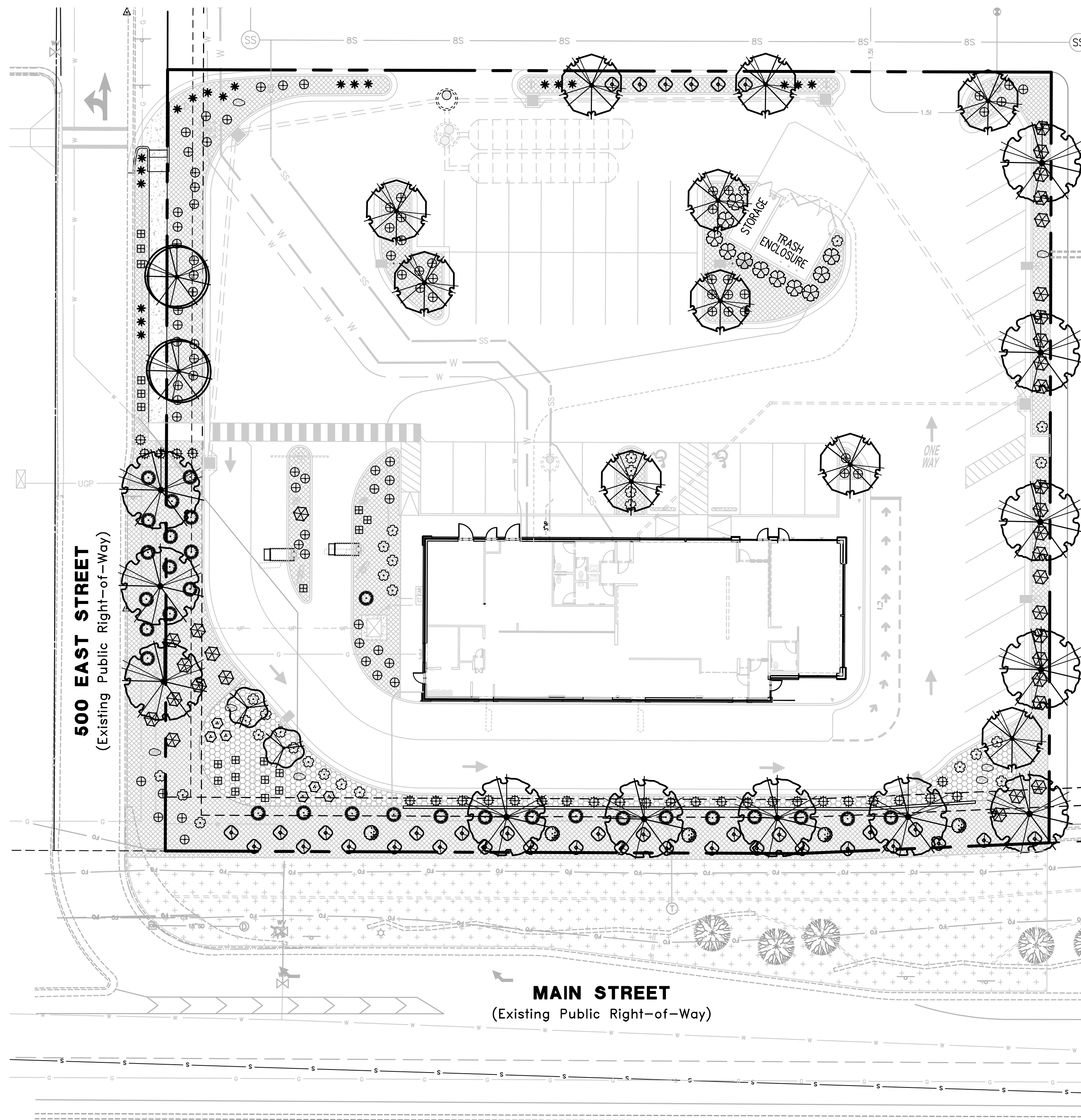
13. TREE WRAPPING MAY BE USED TO PROTECT YOUNG TREES FROM WINTER DAMAGE. TREE WRAPS SHALL ONLY BE INSTALLED IN THE FALL. IF THE CONTRACTOR INSTALLS WRAPS FOR TREE PROTECTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROMPTLY REMOVE WRAPS THE FOLLOWING SPRING.

14. LANDSCAPE MAINTENANCE MUST BE PERFORMED BY THE LANDSCAPE CONTRACTOR DURING ESTABLISHMENT (30 DAYS AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT). RESPONSIBILITIES INCLUDE WEED CONTROL, MOWING, AND IRRIGATION RUN TIME ADJUSTMENTS. NOTIFY OWNER AND CONSTRUCTION REPRESENTATIVE WHEN ESTABLISHMENT PERIOD HAS ENDED TO INSURE ONGOING MAINTENANCE. THE OWNER IS RESPONSIBLE FOR LANDSCAPE MAINTENANCE AND UPKEEP ONCE ESTABLISHMENT PERIOD HAS EXPIRED.

15. ALL PLANT MATERIAL AND LANDSCAPE ELEMENTS WILL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE. ANY ITEMS THAT ARE NOT FIRST CLASS PREMIUM QUALITY WILL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. ANY PLANT MATERIAL THAT IS NOT PREMIUM QUALITY OR APPEARS STRESSED IN ANY WAY DURING THE GUARANTEE PERIOD WILL REQUIRE REPLACEMENT. THE CONTRACTOR MUST SCHEDULE A PRE AND POST GUARANTEE MEETING WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.

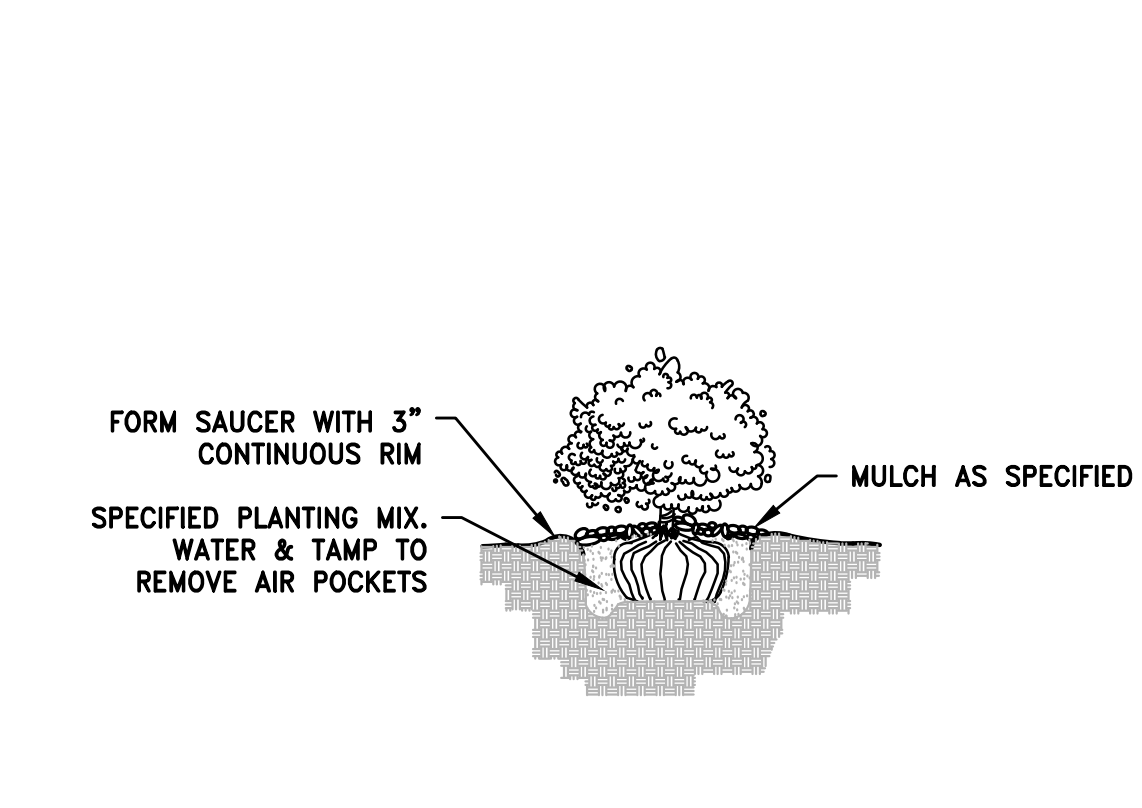
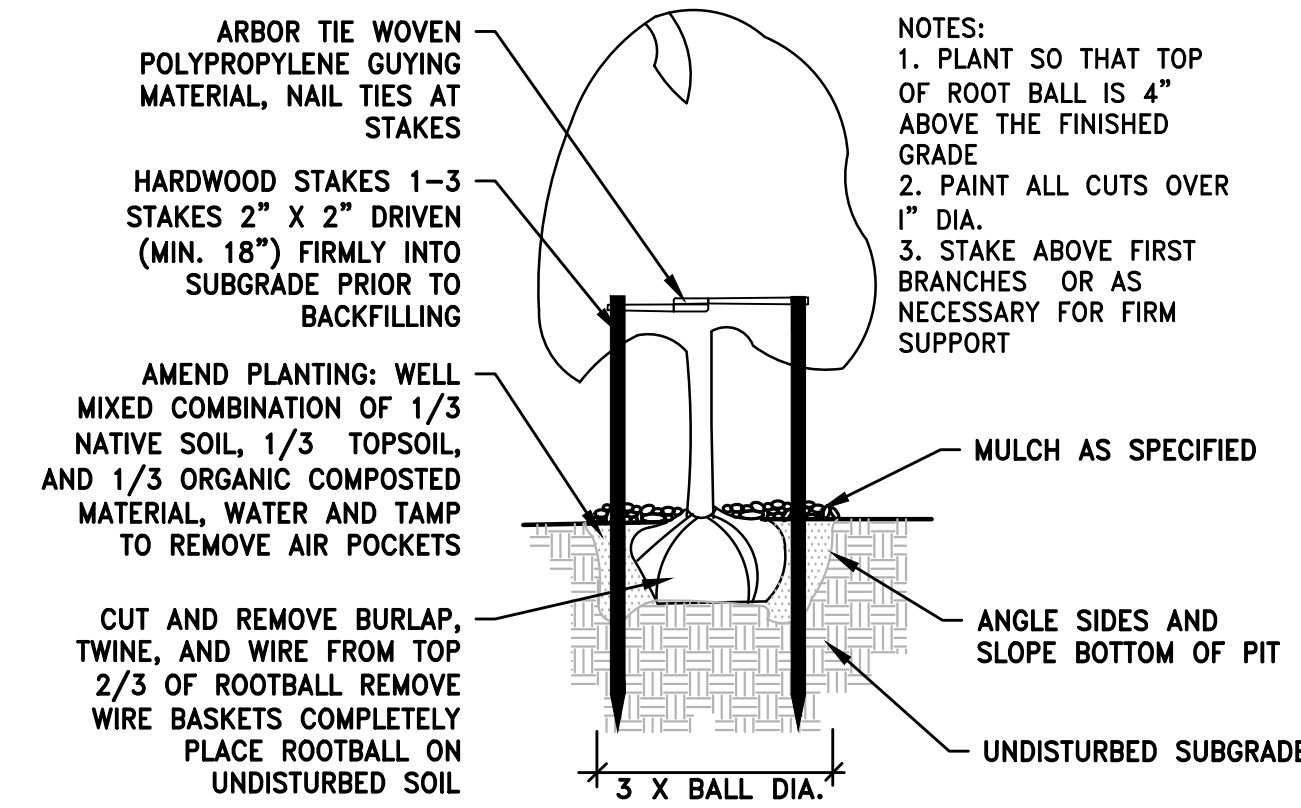
16. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL QUANTITIES LISTED ON THE PLANS AND THE AVAILABILITY OF ALL PLANT MATERIALS IN THEIR SPECIFIED SIZES PRIOR TO SUBMITTING A BID. LISTED QUANTITIES FOR MULCH AND SOD ARE PLAN VIEW QUANTITIES AND DO NOT ACCOUNT FOR ANY INCREASE IN MATERIAL NEEDED FOR SLOPES. THE CONTRACTOR MUST NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A BID IF THE CONTRACTOR DETERMINES A QUANTITY DEFICIENCY OR AVAILABILITY PROBLEM WITH SPECIFIED MATERIAL.

17. SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION CONSTRUCTION SHALL BE THE CURRENT APWA "MANUAL OF STANDARD SPECIFICATIONS".



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	CERCIS CANADENSIS 'COVEY' TM / LAVENDER TWIST EASTERN REDBUOD	15 GAL		2
	PYRUS CALLERYANA 'CHANTICLEER' / CHANTICLEER GALLERY PEAR	B & B	2" CAL	2
	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	B & B	1.75" CAL	10
	TILIA CORDATA / LITTLELEAF LINDEN	B & B	2" CAL	12
SHRUBS	BOTANICAL / COMMON NAME	CONT		
	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL		6
	CARYOPTERIS X CLANDONENSIS 'BLUE MIST' / BLUE MIST SHRUB	5 GAL		33
	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5 GAL		11
	FORSYTHIA X INTERMEDIA 'KOLGOLD' TM / MAGICAL GOLD FORSYTHIA	2 GAL		5
	PINUS MUGO 'SLOWMOUND' / MUGO PINE	5 GAL		30
	RHUS TRILOBATA 'AUTUMN AMBER' / AUTUMN AMBER SUMAC	5 GAL		36
	SPIRAEA X BUMALDA 'GOLDMOUND' / GOLD MOUND SPIRAEA	5 GAL		30
ANNUALS/PERENNIALS	BOTANICAL / COMMON NAME	CONT		
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL		28
	HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL		20
	LAVANDULA ANGSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER	1 GAL		20
	FENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS	1 GAL		80
GROUNDCOVER / MULCH				QTY
	4" DEPTH OF 1/2" TAN TO CREAM COLORED ROCK OVER DEWITT PRO5 (OR EQUAL) WEED BARRIER			11,512 SF
	4" DEPTH OF 1" GRAY CRUSHED ROCK OVER DEWITT PRO5 (OR EQUAL) WEED BARRIER			1,745 SF
	LANDSCAPE BOULDER 8-12 CF			7 BOULDERS
	EXISTING LANDSCAPE TO REMAIN			



TREE PLANTING AND STAKING
SCALE: NTS

SHRUB PLANTING
SCALE: NTS

LANDSCAPE PLAN



UTILITY NOTE
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND.

McDONALD'S CORPORATION
 1000 DAVIS - JAY BROOK, UTAH 84051
 THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF McDONALD'S CORPORATION. THE CONTRACTOR SHALL NOT REPRODUCE, COPY, OR DISSEMINATE THESE DRAWINGS OR SPECIFICATIONS TO ANY OTHER PARTY WITHOUT THE WRITTEN AUTHORIZATION OF McDONALD'S CORPORATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

McDONALD'S SITE IMPROVEMENT PLANS
 SANTAQUIN, UTAH
 LANDSCAPE PLAN

PREPARED BY: **DARRIN L. PERKES**
 No. 378426
 12/15/22
 STATE OF UTAH

DATE ISSUED: 5/25/22
 REVISIONS PER CITY REVIEW COMMENTS: A

SITE ADDRESS: 4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237
 SITE ID: 043-0320_38 NORTH 500 EAST, SANTAQUIN, UTAH

SHEET NO: **LS-1**

IRRIGATION NOTES

- IRRIGATION SYSTEM BID MUST BE IN A DETAILED UNIT PRICE FORMAT SHOWING COST BREAKDOWN FOR EACH SYSTEM COMPONENT. ANY SYSTEM ELEMENT OR COMPONENT MAY BE ADDED TO OR DELETED BY LANDSCAPE ARCHITECT AND CONTRACTOR COMPENSATION ADJUSTED ACCORDING TO THE UNIT PRICE BID. LANDSCAPE ARCHITECT WITHOUT JUSTIFICATION MAY DISALLOW BIDS AND SELECT CONTRACTORS REGARDLESS OF BID FIGURES. IRRIGATION CONTRACTOR MUST CONTACT LANDSCAPE ARCHITECT BEFORE BEGINNING CONSTRUCTION. A PRE CONSTRUCTION MEETING MAY BE REQUIRED. CONTRACTOR OR SUBCONTRACTORS PARTICIPATION IN CONSTRUCTION MUST BE LICENSED BY THE STATE OF UTAH FOR THE TYPE OF WORK BEING PERFORMED.
- IRRIGATION SYSTEM COMPONENTS MUST BE PREMIUM QUALITY ONLY AND INSTALLED TO MANUFACTURERS REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING STATE AND LOCAL LAWS FOR ALL SPECIFIED MATERIALS AND WORKMANSHIP. SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT. PROVIDE OWNER AND MAINTENANCE PERSONNEL WITH INSTRUCTION MANUAL AND ALL PRODUCTS DATA TO OPERATE, CHECK, WINTERIZE, REPAIR, AND ADJUST SYSTEM. ANY CHANGES MUST BE DOCUMENTED AND SUBMITTED TO LANDSCAPE ARCHITECT IN AN AS BUILT PLAN FORMAT.
- IRRIGATION SYSTEM GUARANTEE FOR ALL MATERIALS AND WORKMANSHIP SHALL BE ONE YEAR FROM THE TIME OF PROJECT ACCEPTANCE. GUARANTEE WILL INCLUDE, BUT IS NOT LIMITED TO WINTERIZING, SPRING ACTIVATION, REPAIR, TRENCH SETTING, BACKFILLING DEPRESSIONS, AND REPAIRING FREEZE DAMAGE. CONTRACTOR MUST CONTACT LANDSCAPE ARCHITECT TO SCHEDULE PRE AND POST GUARANTEE INSPECTION MEETINGS. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.
- IRRIGATION SYSTEM STATIC PRESSURE MUST BE CHECKED BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS. CONTACT LANDSCAPE ARCHITECT IF MEASURED STATIC PRESSURE IS UNDER 60 P.S.I. OR OVER 80 P.S.I.
- IRRIGATION SYSTEM CHECK MUST BE DONE BEFORE THE SYSTEM IS BACKFILLED. IRRIGATION MAINLINE AND EACH CONTROL VALVE SECTION MUST BE FLUSHED AND PRESSURE CHECKED. ASSURE THE COMPLETE SYSTEM HAS NO DOCUMENTED PROBLEMS AND FULL HEAD TO HEAD COVERAGE WITH ADEQUATE PRESSURE FOR SYSTEM OPERATION. ADJUST SYSTEM TO AVOID SPRAY ON BUILDING, HARDSCAPE, AND ADJACENT PROPERTY. ANY PROBLEMS OR PLAN DISCREPANCIES MUST BE REPORTED TO THE LANDSCAPE ARCHITECT.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL QUANTITIES BASED UPON THE PLAN PRIOR TO COMPLETION OF A CONSTRUCTION COST ESTIMATE. FIELD VERIFICATION OF ALL IRRIGATION PIPING AND EQUIPMENT NECESSARY TO COMPLETE CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- IRRIGATION LATERALS AND FITTINGS MUST BE SCHEDULE 40 P.V.C. THREE QUARTER (3/4) INCH MINIMUM SIZE. SOLVENT WELD ALL JOINTS AS PER MANUFACTURERS SPECIFICATIONS FOR MEASURED STATIC P.S.I. TEFLON TAPE ALL THREADED FITTINGS. THE MINIMUM DEPTH OF LINES SHALL BE TWELVE (12) INCHES. FLOWS IN G.P.M. FOR UN-SIZED LINES OR CHANGES SHALL BE (3/4 INCH-1-8 G.P.M.), (1 INCH-9-12 G.P.M.), (1 1/4 INCH-13-22 G.P.M.). ADAPT SYSTEM TO MANUAL COMPRESSION AIR BLOWOUT. THE OWNER MUST BE INFORMED ON WINTERIZING SCHEDULE FOR BLOWING OUT SYSTEM.
- IRRIGATION MAIN LINE SHALL BE SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 FITTINGS. SOLVENT WELD ALL JOINTS AS PER MANUFACTURERS SPECIFICATIONS FOR MEASURED STATIC PRESSURE. USE TEFLON TAPE ON ALL THREADED JOINTS. LINE DEPTH MUST BE TWENTY FOUR (24) INCHES MINIMUM.
- THRUST BLOCKS FOR MAINLINES 2" OR GREATER SHALL BE INSTALLED WITH A MINIMUM OF THREE AND A HALF (3 1/2) CUBIC FOOT OF CONCRETE WHEREVER A CHANGE IN DIRECTION OR A "T" OCCURS.
- CONTROL WIRE MUST BE UF-UL LISTED, COLOR CODED, COPPER CONDUCTOR, DIRECT BURIAL, USE 14 GAUGE MINIMUM WIRING WITH ALL CONNECTIONS MADE WITH WATERTIGHT RAINBIRD SPLICE-1 WATERPROOF CONNECTORS AND CONTAINED IN VALVE BOXES. PROVIDE 24" OF SLACK WIRE AT EACH REMOTE CONTROL VALVE IN VALVE BOXES AND SLACK AT ALL CHANGES IN DIRECTION. TAPE WIRE TO THE UNDERSIDE OF THE MAINLINE EVERY TWENTY (20) FEET. WIRING SHALL HAVE SEPARATE COLORS FOR COMMON, CONTROL, AND SPARE. PROVIDE ONE SPARE WIRE FOR EVERY 5 REMOTE CONTROL VALVES, WITH SPARE AVAILABLE AT ALL VALVE MANIFOLDS OR CLUSTERS. ALL SPARE WIRE SHALL BE "HOME RUN" TO THE CONTROLLER AND COMMON SHALL BE END RUN.
- RISERS FOR SPRAY HEADS AND ROTORS UP TO 7 GPM SHALL BE RAINBIRD SPX SWING PIPE (OR APPROVED EQUAL) WITH SB SERIES BARB FITTINGS. RISERS FOR HEADS OVER 7 GPM SHALL BE RAINBIRD TSJ SERIES SWING LINES (OR APPROVED EQUAL), SIZE TO MATCH INLET SIZE OF HEAD.
- CONTROL VALVES ARE TO BE INSTALLED IN HEAVY DUTY PLASTIC VANDAL PROOF BOX. SIZE BOXES ACCORDING TO VALVE NUMBERS FOR EASE OF MAINTENANCE AND REPAIR. INSTALL FOUR (4) CUBIC FEET OF PEA GRAVEL FOR SUMP IN BASE OF BOXES.
- QUICK COUPLERS SHALL BE INSTALLED WITH A LASCO 1" UNITIZED SWING JOINT ASSEMBLY AND 1" BRASS INSERT 90° ELL OUTLET, SUPPORT WITH REBAR IN EACH RETAINER LUG. INSTALL WHERE SHOWN ON THE PLANS.
- IRRIGATION SYSTEM BACKFILL MUST OCCUR ONLY AFTER SYSTEM CHECK IS COMPLETED AS SPECIFIED. USE ONLY ROCK FREE CLEAN FILL AROUND PIPES, VALVES, DRAINS, OR ANY IRRIGATION SYSTEM COMPONENTS. WATER SETTLE ALL TRENCHES AND EXCAVATIONS.
- ALL IRRIGATION PIPE RUNNING THROUGH WALLS, UNDER SIDEWALK, ASPHALT, OR OTHER HARD SURFACE SHALL BE SLEEVED PRIOR TO PAVING. IT IS THE IRRIGATION CONTRACTORS RESPONSIBILITY TO COORDINATE SLEEVING WITH CONCRETE AND PAVEMENT CONTRACTORS. SLEEVES WILL BE SCHEDULE 40 P.V.C. THE DEPTH FOR MAIN LINE SLEEVES SHALL BE TWENTY FOUR (24) INCHES MINIMUM. DEPTH FOR LATERAL SLEEVES SHALL BE TWELVE (12) INCHES MINIMUM. SLEEVES SHALL BE A MINIMUM OF TWO SIZES LARGER THAN THE PIPE TO BE SLEEVED. ALL VALVE WIRING SHALL BE CONTAINED IN SEPARATE SLEEVING.
- PLANS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO SCALE. WHERE POSSIBLE, ALL PIPING IS TO BE INSTALLED WITHIN THE PLANTING AREAS. NO TEES, ELLS, OR CHANGES IN DIRECTION SHALL OCCUR UNDER HARDSCAPE.
- SPRAY HEADS ADJACENT TO HARDSCAPE PAVING SHALL BE SPACED AWAY 1"-3". SPRAY HEADS ADJACENT TO WALLS, BUILDINGS, FENCES OR STRUCTURES SHALL BE SPACED AWAY A MINIMUM OF 6".
- THE IRRIGATION SYSTEM SHALL BE INSTALLED FOR PROPER DRAINAGE AND WINTERIZATION. NO LINE SAGS OR SADDLES SHALL OCCUR IN IRRIGATION MAIN OR LATERAL LINES. ALL PIPING SHALL HAVE A MINIMUM .5% POSITIVE SLOPE TO END OF LINES. INSTALL KING DRAINS AT ALL LOW POINTS AND ENDS OF LATERAL LINES. PROVIDE SYSTEM WITH MANUAL COMPRESSION AIR BLOWOUT ABILITY THROUGH QUICK COUPLERS. THE OWNER MUST BE INFORMED ON WINTERIZING SCHEDULE FOR BLOWING OUT SYSTEM.
- UPON COMPLETION OF IRRIGATION MODIFICATIONS, THE CONTRACTOR SHALL VISUALLY INSPECT THE IRRIGATION SYSTEM AND VERIFY THAT ALL IRRIGATION ZONES OPERATE PROPERLY. ANY UNDER IRRIGATED OR UNIRRIGATED AREAS SHALL BE IDENTIFIED, AND THE CONTRACTOR SHALL MAKE ADJUSTMENTS OR ADDITIONS TO THE SYSTEM TO CORRECT IRRIGATION DEFICIENCIES.
- DRIP SYSTEM PIPING SHALL CONSIST OF A RIGID SCHEDULE 40 PVC PIPE DISTRIBUTION SYSTEM CONNECTING DRIP IRRIGATED PLANTER AREAS. POLYTUBING OR DRIP LINE SHALL BE RUN OFF THE RIGID PVC IN EACH PLANTING AREA OR ISLAND WITH A PVC TO POLYTUBING ADAPTER. ALL POLYTUBING ENDS SHALL TERMINATE WITH A FLUSH CAP IN A DRIP BOX. NO POLYTUBING SHALL RUN UNDER PAVEMENT.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE IRRIGATION AS-BUILT DRAWINGS OF THE IRRIGATION SYSTEM TO THE OWNERS CONSTRUCTION REPRESENTATIVE. ALL IRRIGATION COMPONENTS ADDED, DELETED, OR MODIFIED IN THE FIELD SHALL BE NOTED ON THE PLAN. NOTE TAP SIZE, LINE SIZE, AND STATIC PRESSURE AT POINT OF CONNECTION.

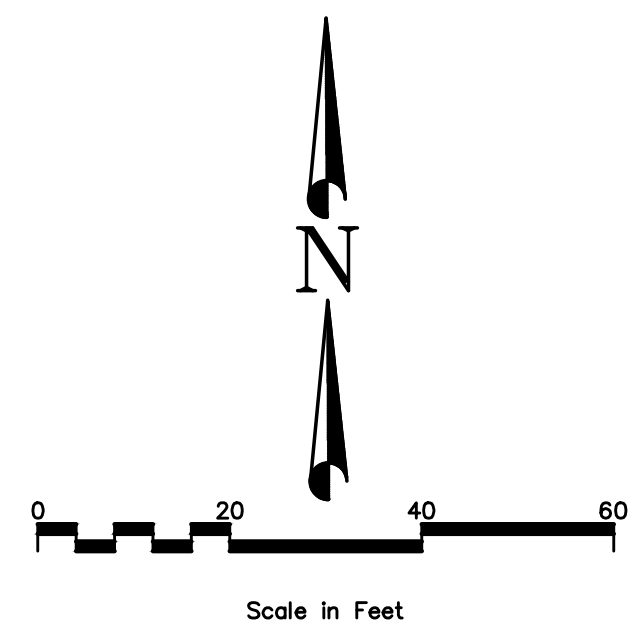
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NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.



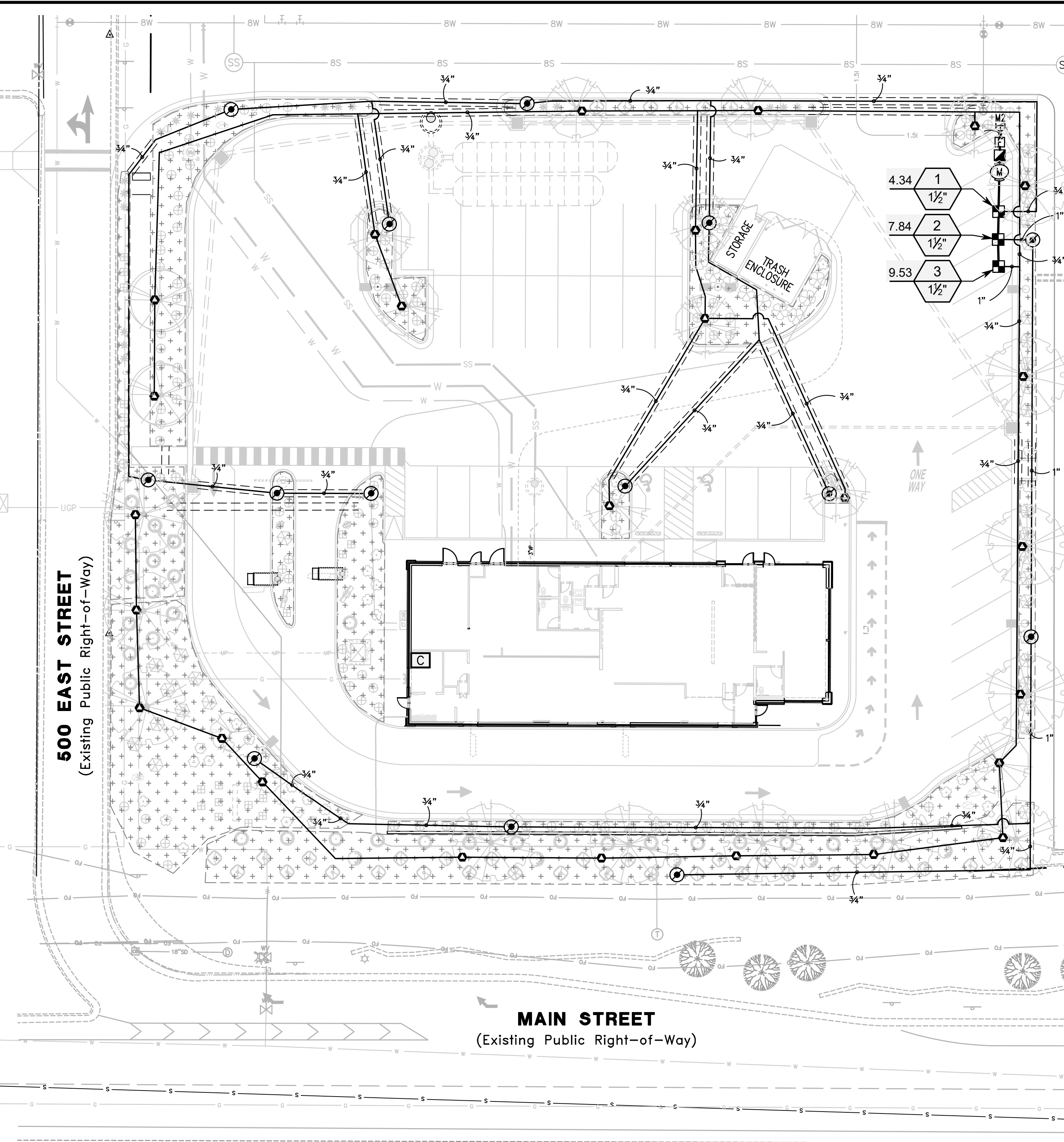
UTILITY NOTE

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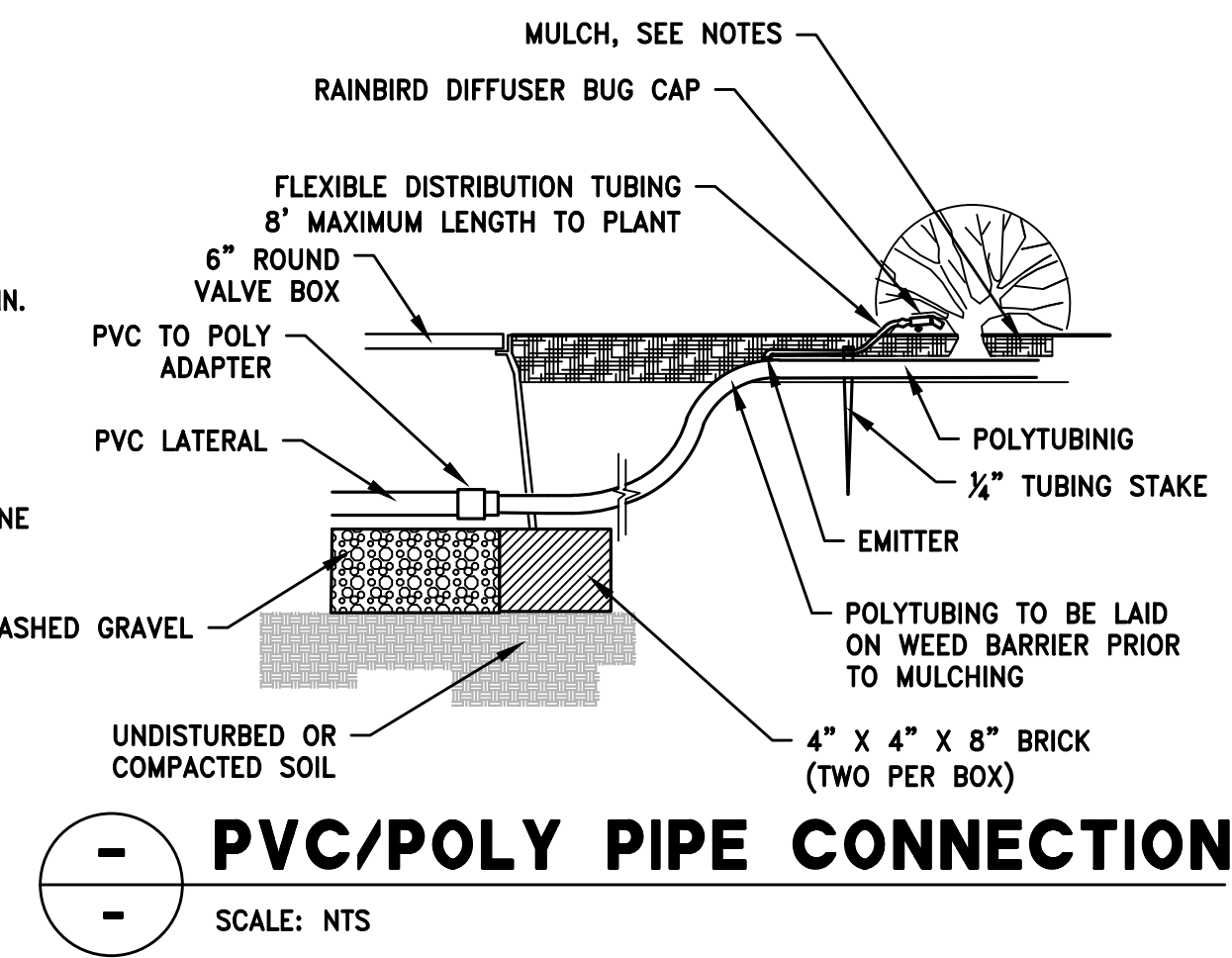
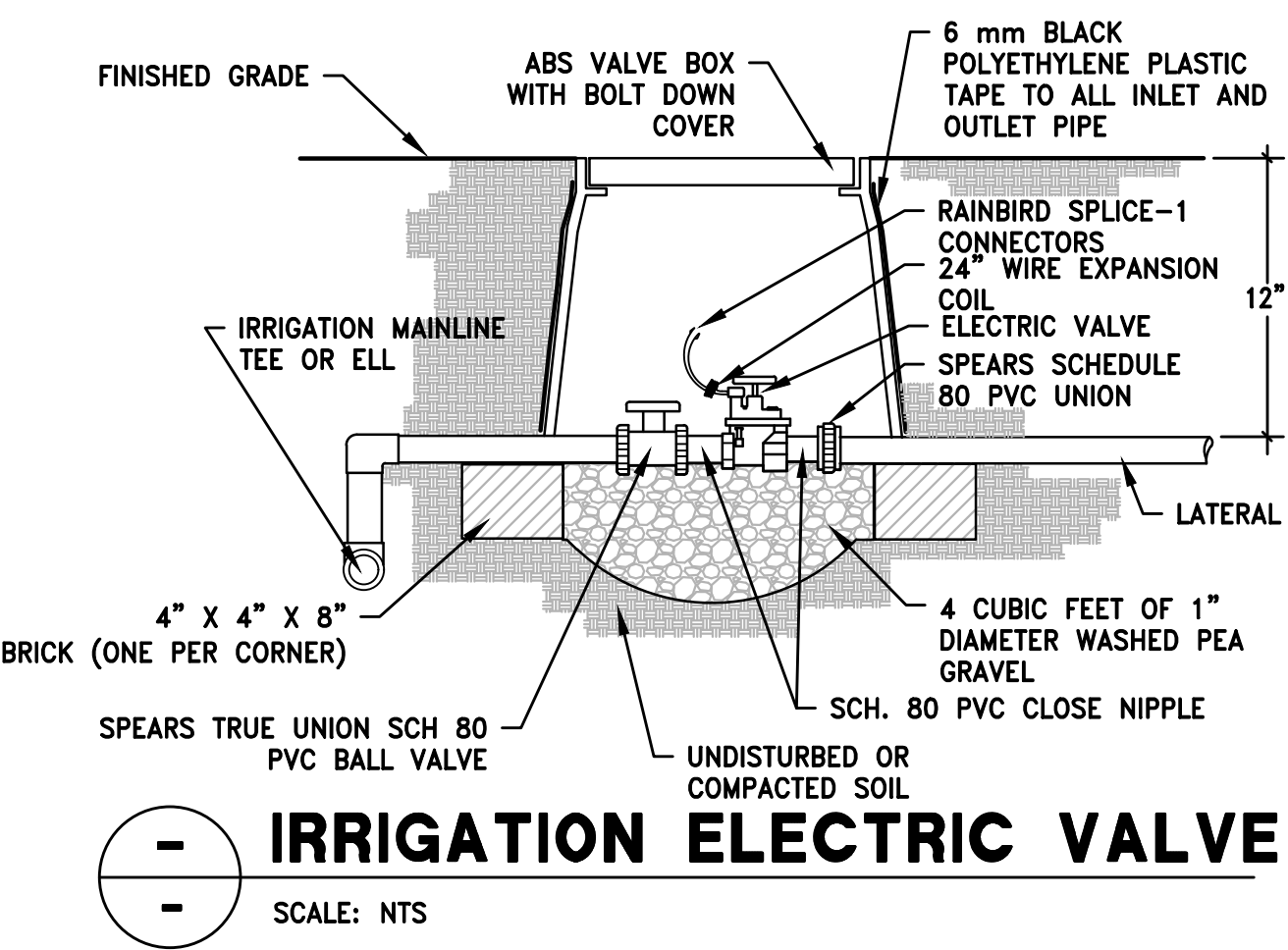
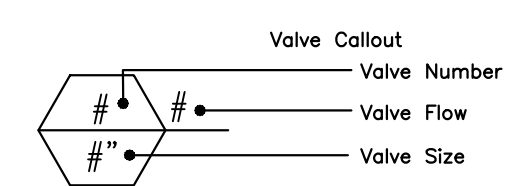
500 EAST STREET
(Existing Public Right-of-Way)

MAIN STREET
(Existing Public Right-of-Way)



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	RAIN BIRD XCZ-150-LCDR HIGH FLOW CONTROL ZONE KIT, FOR LARGE COMMERCIAL DRIP ZONES. 1-1/2" PESB-R SCRUBBER GLOBE VALVE WITH SINGLE 1-1/2" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTERS. FLOW RANGE: 1.5-62 GPM.	3
○	PIPE TRANSITION POINT IN DRIP BOX PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER IN 6" (150MM) DRIP BOX.	14
●	RAINBIRD XDF-09-12 DRIFLINE TREE RINGS 2 DRIFLINE RINGS USING 12" EMITTER SPACING @ .9 GPH, 12" SPACING FROM TRUNK TO FIRST RING AND 24" SPACING FROM TRUNK TO SECOND RING. INSTALL ONE (1) RAINBIRD PC-05 EMITTER WITH STAKE AND BUG CAP PER TREE RING FOR OPERATION INDICATOR.	26
+	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5 GPH=BLUE, 1.0 GPH=BLACK, AND 2.0 GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 0.5 GPH emitters (2 assigned to each 1 gal plant) 2.0 GPH emitters (2 assigned to each 3 gal plant) 2.0 GPH emitters (2 assigned to each 5 gal plant)	12,262 S.F. 296 292
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	RAIN BIRD 44-LRC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	1
○	RAIN BIRD PESB 1-1/2" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH SCRUBBER TECHNOLOGY FOR RELIABLE PERFORMANCE IN DIRTY WATER IRRIGATION APPLICATIONS.	1
□	RAIN BIRD ESP4M3 WITH (1) ESP-SM3 7 STATION, HYBRID MODULAR OUTDOOR CONTROLLER. FOR RESIDENTIAL OR LIGHT COMMERCIAL USE. INCLUDE LINK WIFI SMART MODULE.	1
■	AMIAD 1" FILTER AMIAD 1" MANUAL PLASTIC FILTER, NPT THREAD, STAINLESS STEEL SCREEN ELEMENT, ENGINEERED-PLASTIC MATERIAL, MAXIMUM WORKING PRESSURE 150PSI. POINT OF CONNECTION 1 1/2"	1
—	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	2,244 L.F.
---	IRRIGATION MAINLINE: PVC SCHEDULE 40	39.1 L.F.
----	PIPE SLEEVE: PVC CLASS 200 SDR 21	594.8 L.F.



IRRIGATION PLAN

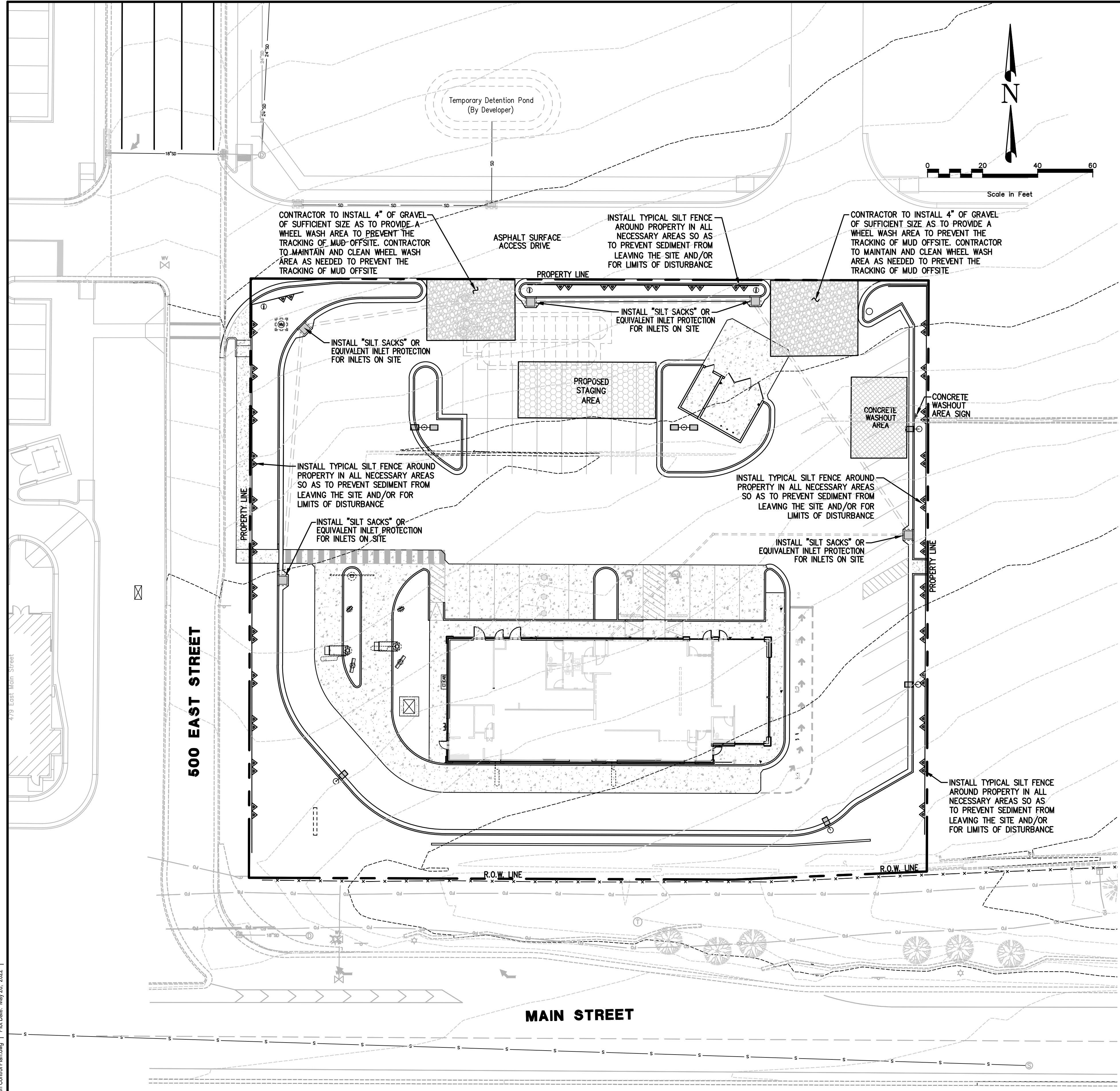
DOMINION Engineering Associates, L.C.
 5084 South Green Street
 Murray, Utah 84123 801-713-3000

PREPARED BY: **McDONALD'S CORPORATION**
 TITLE: **McDONALD'S SITE IMPROVEMENT PLANS**
 SANTIAGO, UTAH
 LANDSCAPE PLAN

DRAWN BY: _____
 STD. ISSUE DATE: _____
 REVIEWED BY: _____
 DATE REVIEWED: _____
 DATE ISSUED: _____
 OFFICE ADDRESS: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237
 DENVER REGION: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237

SHEET NO. **LS-2**
 SITE ID: 043-0320 38 NORTH 500 EAST, SANTIAGO, UTAH

Job# 3308
 Path P:\MCDONALD\Santaquin\SantaquinCAD | File Name: EC-1 Erosion Control Plan.dwg | Plot Date: May 26, 2022



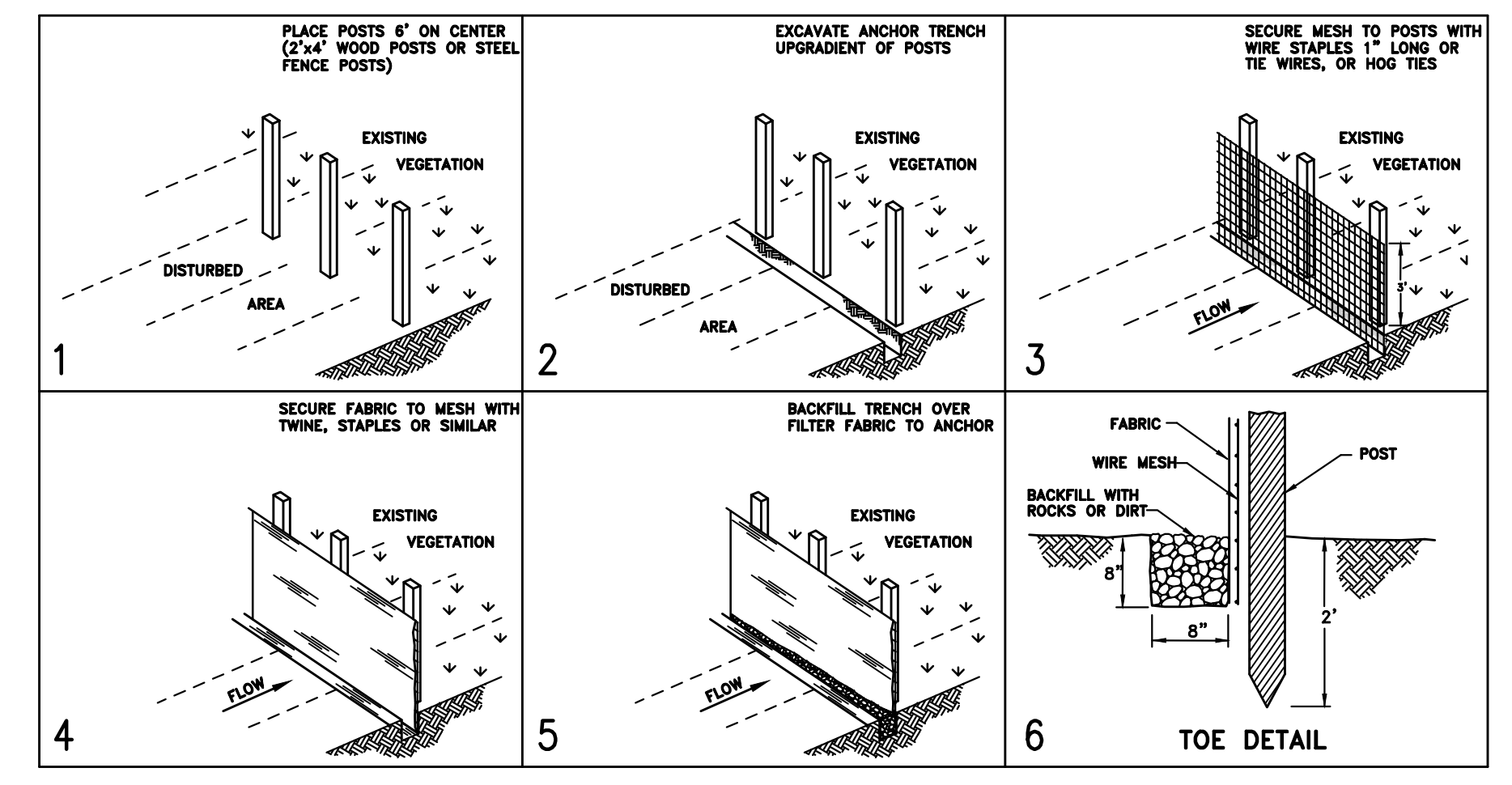
EROSION CONTROL PLAN

DEFINITION: A TEMPORARY SEDIMENT BARRIER CONSISTING OF FILTER FABRIC STRETCHED ACROSS AND SECURED TO SUPPORTING POSTS AND ENTRENCHED.

PURPOSE: TO FILTER STORM WATER RUNOFF FROM UPGRADIENT DISTURBED AREA AND TRAP SEDIMENT ON SITE.

APPLICATION:

- PERIMETER CONTROL: PLACE FENCE AT DOWNGRADIENT LIMITS OF DISTURBANCE
- SEDIMENT BARRIER: PLACE FENCE AT TOE OF SLOPE OR SOIL STOCKPILE
- PROTECTION OF EXISTING WATERWAYS: PLACE FENCE AT TOP OF STREAM BANK
- INLET PROTECTION: PLACE FENCE SURROUNDING CATCHBASINS



LIMITATIONS:

- RECOMMENDED MAXIMUM DRAINAGE AREA OF 0.5 ACRE PER 100 FEET OF FENCE
- RECOMMENDED MAXIMUM UPGRADIENT SLOPE LENGTH OF 150 FEET
- RECOMMENDED MAXIMUM UPHILL GRADE OF 2:1 (50%)
- RECOMMENDED MAXIMUM FLOW RATE OF 0.5 cfs
- PONDING SHOULD NOT BE ALLOWED BEHIND FENCE

INSTALLATION:

- PLACE POSTS 6 FOOT ON CENTER ALONG CONTOUR (OR USE PREASSEMBLED UNIT) AND DRIVE 2 FEET MINIMUM INTO GROUND. EXCAVATE AN ANCHOR TRENCH IMMEDIATELY UPGRADIENT OF POSTS.
- SECURE WIRE MESH (14 GAUGE MIN. WITH 6 INCH OPENINGS) TO UPSLOPE SIDE OF POSTS. ATTACH WITH HEAVY DUTY WIRE STAPLES 1 INCH LONG, TIE WIRES OR HOG RINGS.
- CUT FABRIC TO REQUIRED WIDTH, UNROLL ALONG LENGTH OF BARRIER AND DRAPE OVER BARRIER. SECURE FABRIC TO MESH WITH TWINE, STAPLES, OR SIMILAR, WITH TRAILING EDGE EXTENDING INTO ANCHOR TRENCH.
- BACKFILL TRENCH OVER FILTER FABRIC TO ANCHOR.

MAINTENANCE:

- INSPECT IMMEDIATELY AFTER ANY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- LOOK FOR RUNOFF BYPASSING ENDS OF BARRIERS OR UNDERCUTTING FENCE.
- REPAIR OR REPLACE DAMAGED AREAS OF THE FENCE AND REMOVE ACCUMULATED SEDIMENT.
- REANCHOR FENCE AS NECESSARY TO PREVENT SHORTCUTTING.
- REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE.

NOTES

1. THE CONTRACTOR SHALL MAINTAIN EARTHWORK SURFACES TRUE AND SMOOTH AND PROTECTED FROM EROSION. WHERE EROSION OCCURS THE CONTRACTOR SHALL PROVIDE FILL OR SHALL EXCAVATE AS NECESSARY TO RETURN EARTHWORK SURFACES TO THE GRADE AND FINISH SPECIFIED.
2. DISTURBED LAND SHALL BE KEPT TO A MINIMUM – NO SITE CLEARING OF LOT SHALL BE ALLOWED UNTIL RESPECTIVE LOT CONSTRUCTION BEGINS EXCEPT FOR FILL PLACEMENT.
3. NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT POLLUTION OF STORM WATER PER PROJECT SWPPP.

NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS / HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

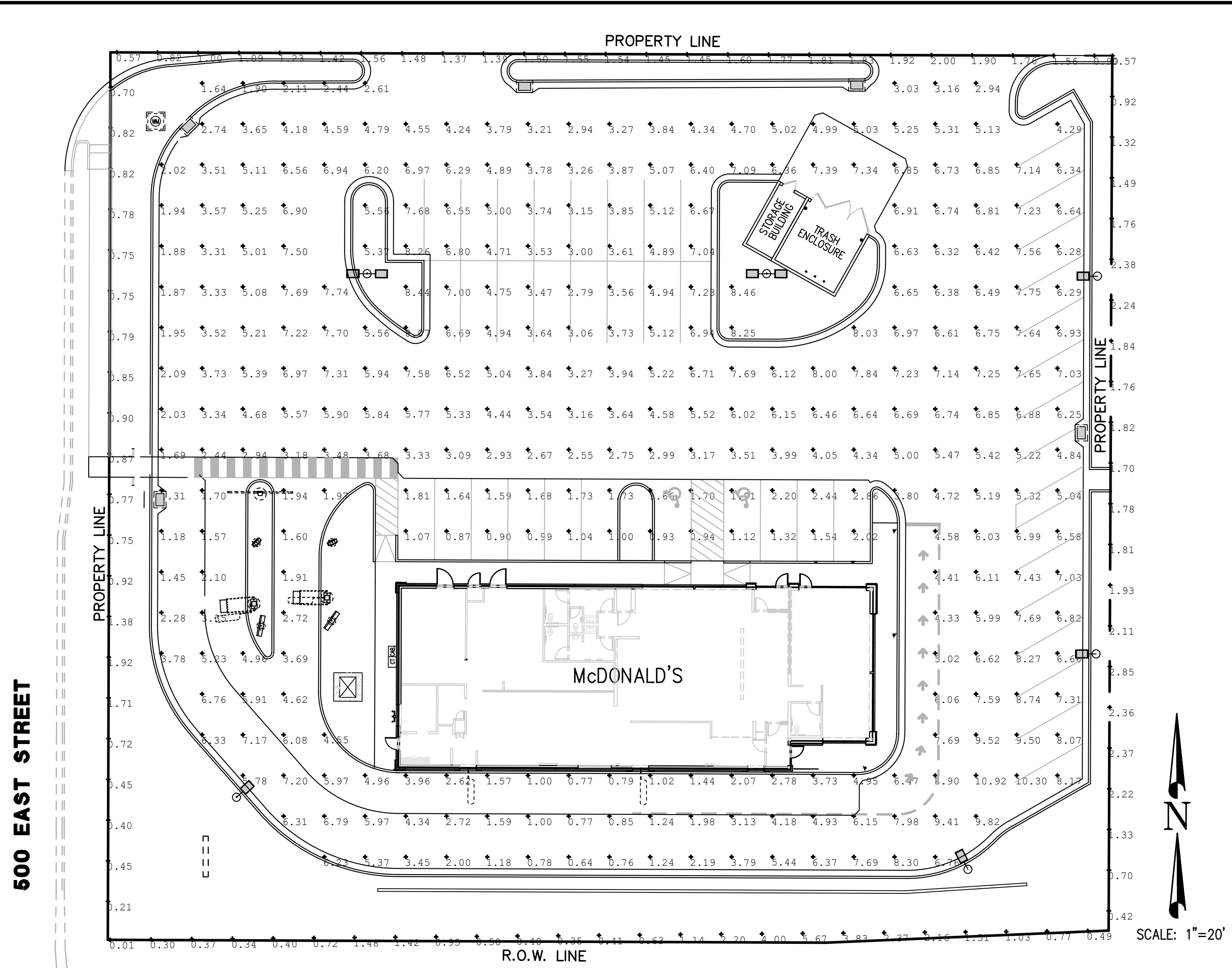
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DRAWN BY		DATE		DATE		DATE		DATE		DATE	
STD		ISSUE		REVIEWED		DATE		DATE		DATE	
<p>PREPARED FOR: MCDONALD'S CORPORATION 1000 DAVIS - 1000 BROAD BLVD. SUITE 6000 DENVER, CO 80202</p> <p>OFFICE ADDRESS: 4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237</p>											
<p>TITLE: MCDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH DESCRIPTION: EROSION CONTROL PLAN</p>											
<p>SHEET NO. EC-1</p>											





HUBBELL Outdoor Lighting

RATIO SERIES AREA/SITE LIGHTER

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

DIMENSIONS

RAR1
 5.0' (127mm) x 14.0' (356mm) x 12.0' (305mm) x 3.25" (83mm)

RAR2
 7.5' (191mm) x 19.5' (495mm) x 17.39" (442mm) x 3.25" (83mm)

ADDITIONAL INFORMATION

MOUNTING

- Arm Mount** - Fixture ships with integral arm for ease of installation. Compatible with Hubbell Outdoor E3 drill pattern.
- Knuckle** - Knuckle mount for precise aiming and control. Fits 2-3/8" tenons or pipes.
- Universal Mounting** - Universal mounting block for ease of installation. Compatible with drill patterns from 2.5" to 4.5".
- MAF** - Fits 2-3/8" OD arms. Roadway applications.
- Wall Mount** - Wall mount bracket designed for building mount applications.

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 HUBBELL Outdoor Lighting

SECURITY LIGHTING™

SES POLES SQUARE STEEL STRAIGHT POLES (SSP)

Specifications

The Square Steel Straight Pole has been successfully installed in projects of all types for over 30 years and has become the most popular and economical pole option for all site lighting applications including retail, commercial, industrial and residential projects.

The popularity of this series is due to its full offering of sizes, heights and standard colors with complete offering of mounting options, accessories and select styles/colors stocked for immediate shipping.

- Square Steel Straight Shaft
- One piece construction
- 2 3/8" OD Tenon, Open Top or Factory drilled Side Mount Options available
- Steel Base Plate
- 3 size options for anchor bolts. All anchor bolts fully galvanized with 2 nuts and washer (bolts ordered as separate line item and paper template included as component of pole)
- Square base cover available (ordered as separate line item)
- Pole finished in weather proof powder coat paint in 4 standard colors
- 3" x 5" Gasketed hand hole standard

Dimensions

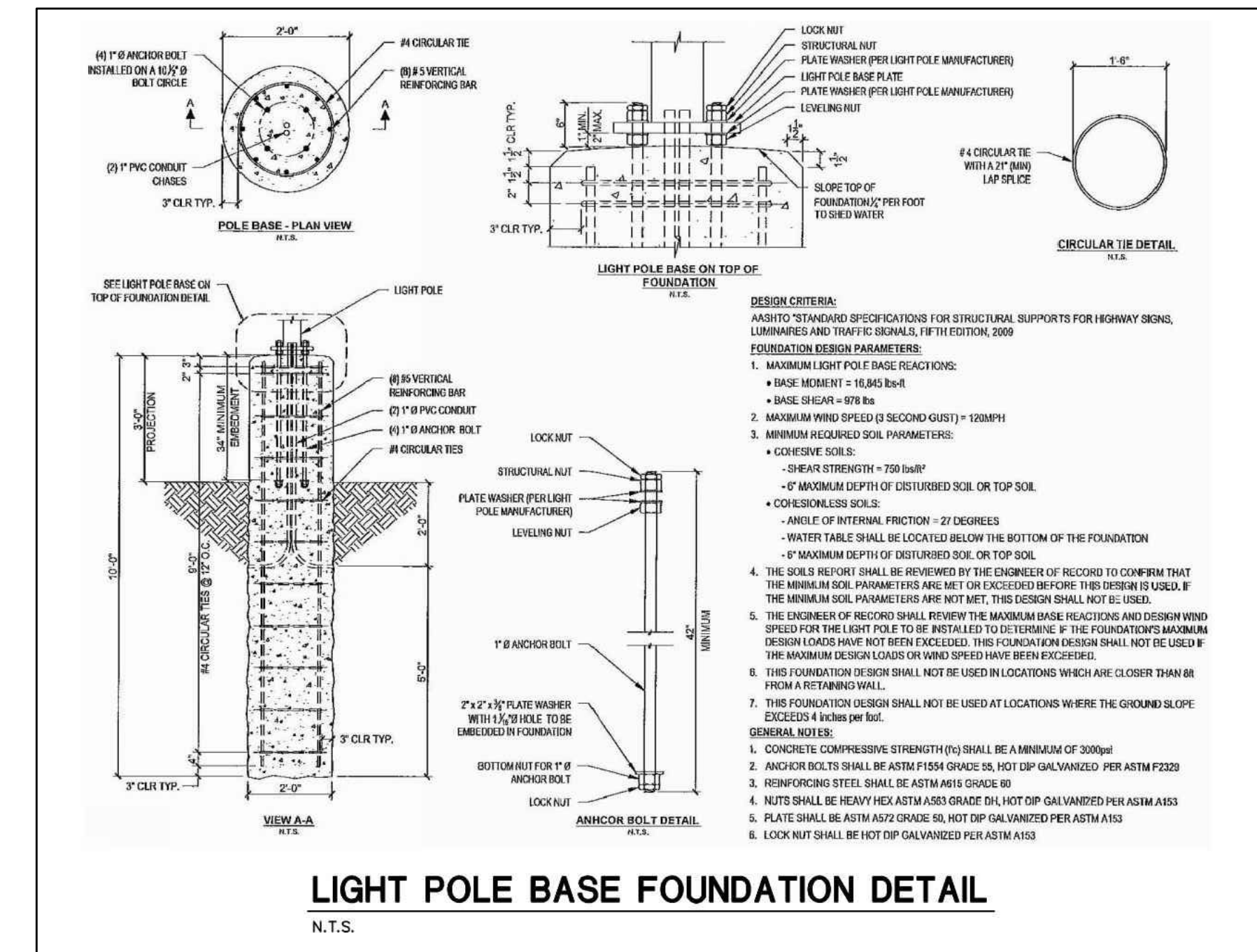
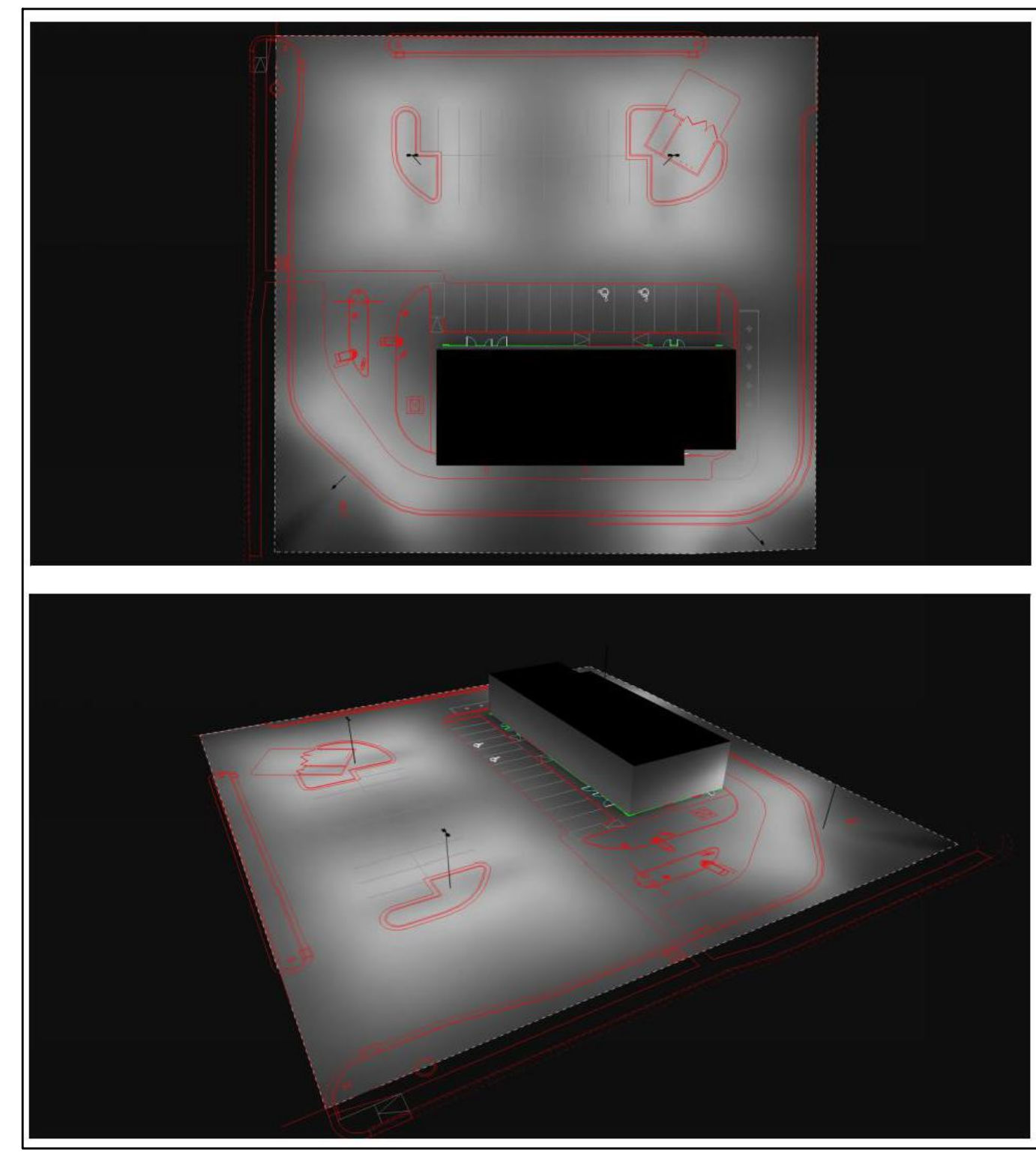
Pole Height: 10', 15', 20'

Ordering Information

Ordering Example: SES-18-40-01-TA-0-DB

Series	Height	Size	Gauge	Mounting	Drilling	Color
SES Square Steel Straight Pole	18 Feet	40 4"x4" Shaft	01 11 Gauge 1.19" thick	TA 2 3/8" OD Tenon	0 No Drilling for Tenon and Open Top Pole	DB Dark Bronze
	20 Feet	50 5"x5" Shaft	07 7 Gauge 1.79" thick	OT Open Top Pole	1 Drill Pattern 1	WH White
	22 Feet				2 Drill Pattern 2	BL Black
	25 Feet				6 Drill Pattern 6	PS Platinum Silver
	28 Feet				26 Drill Pattern 26	
					C Custom Drill Pattern	
					84 Drill Pattern Viper Small	
					83 Drill Pattern Viper Large	

Web: www.securitylighting.com
 2100 Golf Road, Suite 460, Rolling Meadows, IL 60008-4704
 Phone: 1-800-547-1177, 1-800-544-4848, Fax: 847-279-0642
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PROJECT WIND LOAD CRITERIA BASED ON ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH) 50 YEAR MEAN RECURRENCE INTERVAL.

Allowed EPA 7.2 @ Wind Load 90MPH

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	4.75	10.92	0.64	7.44	17.06
PROPERTY LINE READINGS	Illuminance	Fc	1.35	5.67	0.01	N.A.	N.A.

Luminaire Schedule

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type
☐	4	A	SINGLE	0.900	RAR2-480L-240-SK7-4W	226.9	.55	20	SES-17-40-1-GL-TA-xx (4")
☐	2	A2@180	BACK-BACK	0.900	RAR2-480L-240-SK7-4W	226.9	1.1	20	SES-17-40-1-GL-TA-xx (4")

MOUNTING HEIGHT = 20' (17' POLE & 3' BASE)
 TILT = 0

LIGHTS ARE FULL CUTOFF (ZERO LIGHT ABOVE 90°)
 CALCULATION GRIDS ARE AT GRADE (Z = 0)

THIS LAYOUT MEETS IES RECOMMENDATIONS FOR PARKING LOT LIGHTING.

SECURITY LIGHTING™

SES POLES SQUARE STEEL STRAIGHT POLES (SSP)

Accessories

Pole Cap	Tenon TA (2 3/8" OD)	Hand Hole Cover	Base Cover										
4" POLE CAP 20102389702 5" POLE CAP 20102389802 6" POLE CAP 20102389902	Note: 14 Tenons are factory installed for installation into open top poles, use TTA from top drawer.	Note: Hand hole cover included with all new poles. Replacement parts: 22104400112 + (2)23115839901 + (3)26508469902 (3"x5")	Order as a separate line item <table border="1"> <thead> <tr> <th>Catalog Number</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>SBC-4-XX</td> <td>10 1/2" Sq x 5" Deep (use on 4" sq poles)</td> </tr> <tr> <td>SBC-4L-XX</td> <td>12 1/2" Sq x 5" Deep (use on 4" sq poles)</td> </tr> <tr> <td>SBC-5-XX</td> <td>12 1/2" Sq x 5" Deep (use on 5" sq poles)</td> </tr> <tr> <td>SBC-6-XX</td> <td>12 1/2" Sq x 5" Deep (use on 6" sq poles)</td> </tr> </tbody> </table>	Catalog Number	Description	SBC-4-XX	10 1/2" Sq x 5" Deep (use on 4" sq poles)	SBC-4L-XX	12 1/2" Sq x 5" Deep (use on 4" sq poles)	SBC-5-XX	12 1/2" Sq x 5" Deep (use on 5" sq poles)	SBC-6-XX	12 1/2" Sq x 5" Deep (use on 6" sq poles)
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SBC-6-XX	12 1/2" Sq x 5" Deep (use on 6" sq poles)												

Anchorage | Order as a separate line item

3/4" x 30" x 3" Anchor Bolt TAB-30M38 qty: 4	1" x 36" x 4" Anchor Bolt TAB-36M38 qty: 4	1" x 42" Anchor Bolt TAB-36M38 qty: 4
--	--	---------------------------------------

Note: Fabricated from high tensile steel, each anchor bolt has two nuts and two washers; Galvanized anchor bolts are hot dipped; Galvanized includes threaded portion plus six inches minimum; Anchor Bolt template included with pole purchase.

Base Detail

Anchor Bolt Hex Nut
Flat Washer
Base Plate
Bolts Projection
Flat Washer Hex Nut
Level Foundation
Grout with drain Optional
Engineering of footing by others

Replacement Nut/Washer Kit
80033249902 1 1/4" TAB30 Set
80033259902 1" TAB36 Set
80033264903 1 1/4" TAB42 Set

NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS / HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS.

NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREIN ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.

2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.

3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONTACT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

SECURITY LIGHTING™

2100 Golf Road, Suite 460, Rolling Meadows, IL 60008
 1-800-544-4848

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES

SCALE: 1" = 20' 0"

DRAWN BY: BV

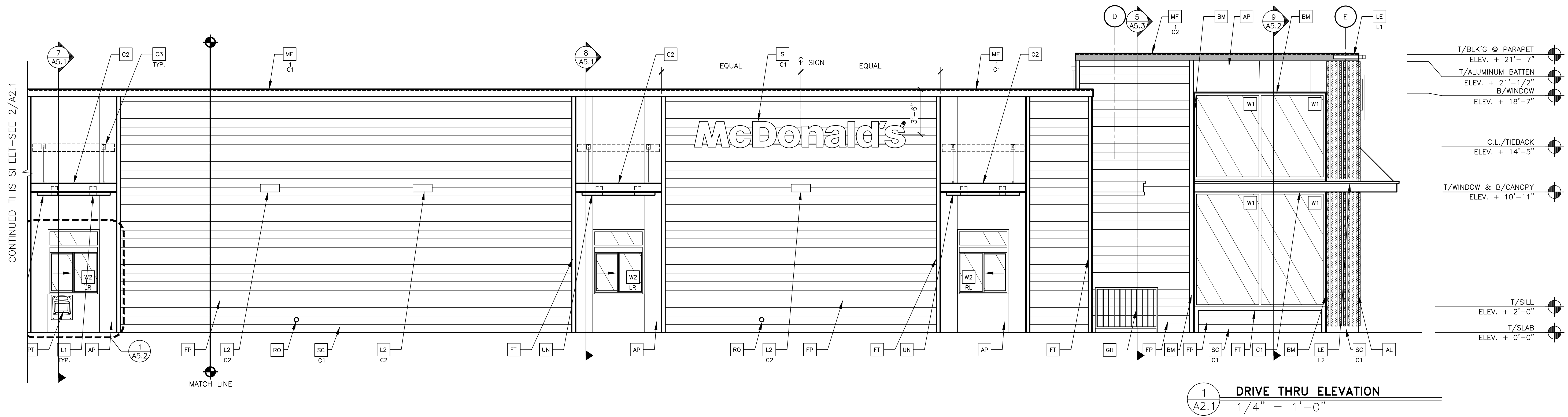
POINT-BY-POINT FOOTCANDLE PLOT FOR

McDONALD'S
 550 E. MAIN STREET
 SANTIQUIN, UTAH

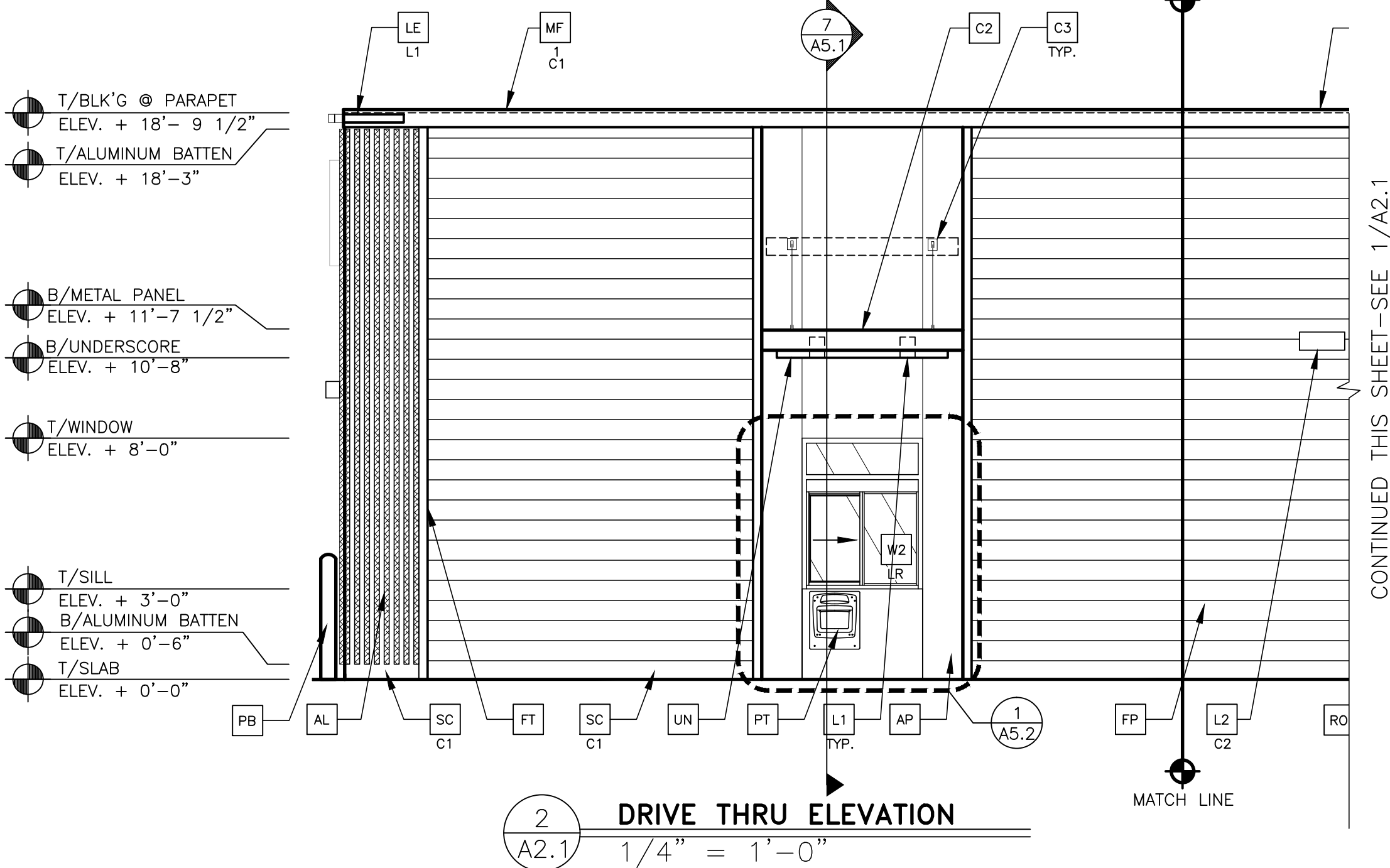
NATIONAL STORE NUMBER

DATE: 11/4/2021 DRAWING NUMBER: SL2106011.AGI

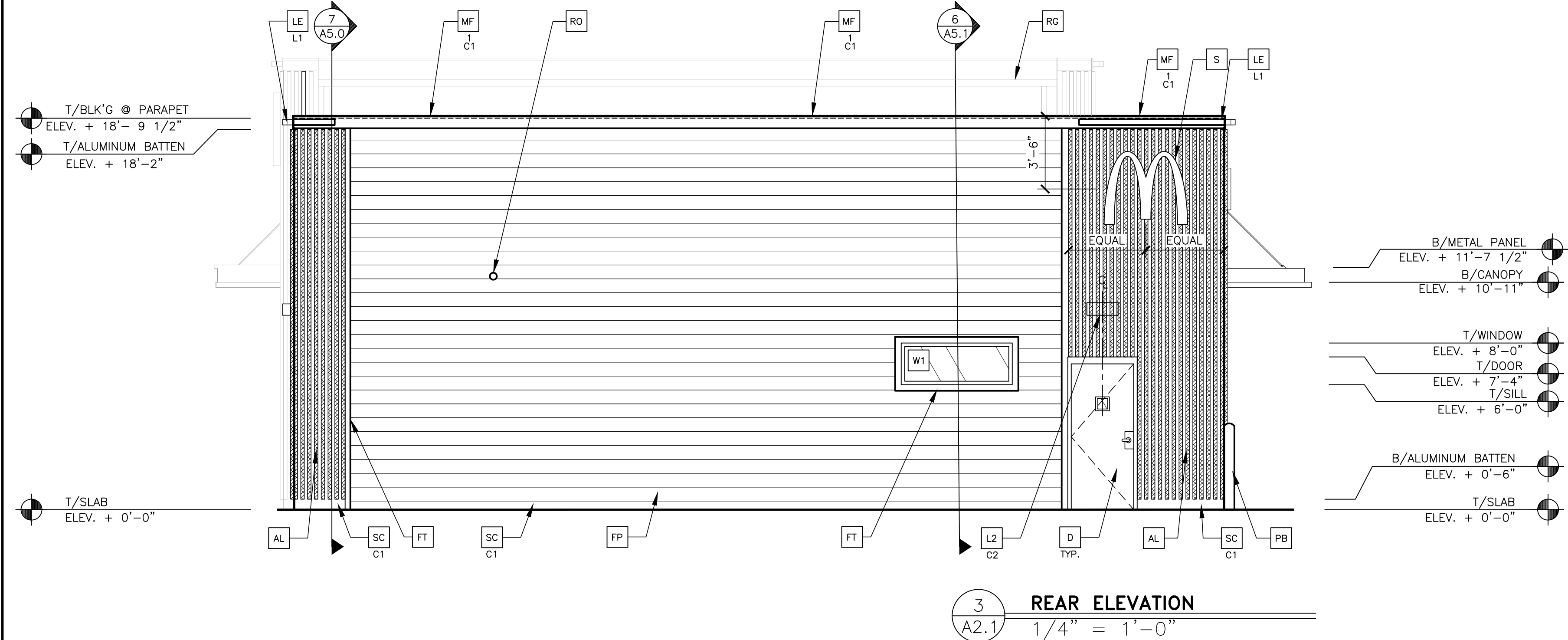
FILE NO. 3308 Path: P:\MCDONALD\Sites\Shannon\CAD	FILE NAME: LTG-1 Lighting Plan.dwg Plot Date: May 2022	PREPARED BY: JEREMY RICK HANSON 5/15/17	DATE ISSUED: _____
PROJECT: MCDONALD'S SITE IMPROVEMENT PLANS SANTIQUIN, UTAH	DESCRIPTION: SITE LIGHTING PLAN LAYOUT	DATE REVIEWED: _____	DATE ISSUED: _____
SHEET NO. LTG-1	DATE: 11/4/2021	REV: A	DATE: 5/25/22
BY: _____	REVISED BY: _____	REVISIONS PER CITY: _____	REVISIONS PER CITY: _____
BY: _____	REVISED BY: _____	REVISIONS PER CITY: _____	REVISIONS PER CITY: _____



1 DRIVE THRU ELEVATION
1/4" = 1'-0"



2 DRIVE THRU ELEVATION
1/4" = 1'-0"



3 REAR ELEVATION
1/4" = 1'-0"

KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRILL UNFINISHED, ENDCAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB,
GROUP 1, HDO BOTH FACES, APA TRADEMARKED,
COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH
SIDES AND ALL EDGES PRIOR TO INSTALLATION.
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BM BRAKE METAL PANEL
COLOR: PAINT "HARVEST MOON" #232-5 BY VALSPAR
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS.
WHEN TIEBACKS ARE INSTALLED ON METAL PANELING.
SEE DETAIL 3/A5.0
- CJ CONTROL JOINT
1-TYPE: 1 = ALPOLIC
- D HOLLOW METAL DOOR
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- FP FIBER CEMENT LAP SIDING: SMOOTH HARDI-BOARD PLANK BY
JAMES HARDIE, 8-1/4" WIDTH, 7" EXPOSURE, HZ5
COLOR: AGED PEWTER
- FT FIBER CEMENT TRIM: HARDITRIM BOARDS 4/4 SMOOTH, 1 5/8"
AND 3 1/2" WIDTH, 3/4" THICK, HZ5
COLOR: AGED PEWTER (CHECK 1 5/8" PRE-PAINT AVAILABILITY)
- GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD
- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
C1-COLOR:
C1= WHITE
C2= PLATINUM SILVER
- LE ACCENT LIGHTING - SEE ELECTRICAL
L1-LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA
1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
COLOR:
C1= WEATHERED ZINC
C2= RAL 7022
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR
MODEL: #WPT STD
CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1-COLOR:
C1= WEATHERED ZINC RACEWAY
C2= RAL 7022 RACEWAY
- SC STUCCO
C1- PAINT TO MATCH HARDIE PLANK SIDING OR GAUNTLET GRAY SW7019 BY
SHERWIN WILLIAMS
- ST CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS
FOR SPECIFICATION.
- UN METAL UNDERSCORE
COLOR: GOLD
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL
OPEN, ELECTRONIC RELEASE
COLOR: DEEP BRONZE
XX SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

STATE OF UTAH
RUSSELL TODD SWINCKE
No. 1212476
Professional Engineer
01/19/21

CORE STATES GROUP
135 Water Street, Ste. 6040
Provo, UT 84601
Phone: (801) 718-9415

PREPARED BY: McDonald's USA, LLC
DRAWN BY: B.ABDALLA
STD ISSUE DATE: 2021_06
REVIEWED BY: M.PELINI
DATE ISSUED: 06/29/21
C.S.G. PROJECT # MCD.325664

TITLE: 2019 STANDARD BUILDING
4597-PP-WOOD/WOOD
DESCRIPTION: WOOD BEARING WALLS
WOOD ROOF TRUSS FRAMING
ALPOLIC/BATTEN/METAL PANEL/HARDIE BOARD EXTERIOR FINISH
SITE ADDRESS: 36 N. ORCAHRO LANE
SANTAQUIN, UT

DATE: _____
REV: _____
DESCRIPTION: _____

BY: _____

SHEET NO. 043-0320.00.0
A2.1
ELEVATIONS



Front Elevation

Materials Legend	
	Hardie Plank (Main Building) "Aged Pewter"
	Aluminum Battens "Wood grain"
	Alpolic "RAL 7022"
	Paint (Accent) "Gautlet Gray"
	Aluminum Canopy (Prefinished Metal) "White"
	Aluminum Trellis (Prefinished Metal) "RAL 7022"
	Aluminum Trellis (Underscore) "Gold"
	Metal Coping "Weathered Zinc"
	Metal Coping "RAL 7022"
	Storefront System "Dark Bronze"



Rear Elevation



Non-Drive-Thru Side Elevation



Drive-Thru Side Elevation