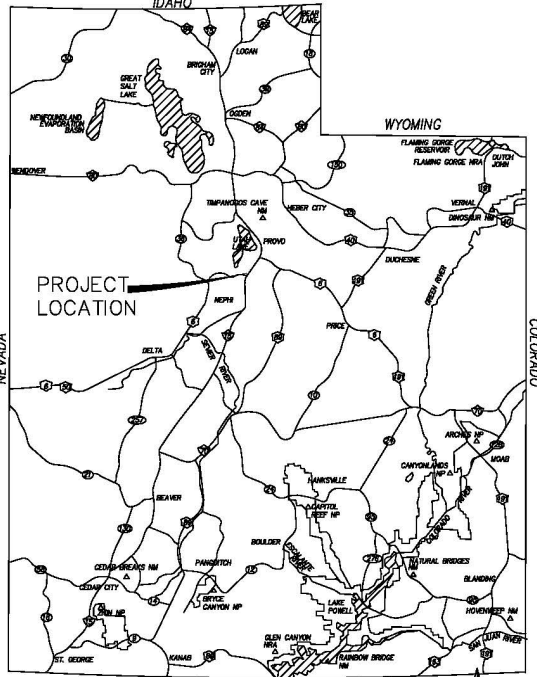


SITE DEVELOPMENT CONSTRUCTION PLANS

STRATTON ACRES SUBDIVISION PHASE 1

REVISIONS			
#	DESCRIPTION	DATE	SHEETS AFFECTED

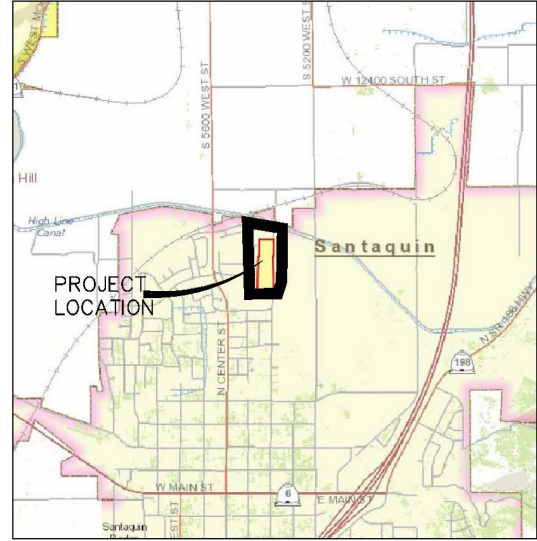


VICINITY MAP

LOCATION
 CENTER OF THE NORTHWEST QUARTER
 OF SECTION 36
 TOWNSHIP 9 SOUTH, RANGE 1 EAST,
 SALT LAKE BASE AND MERIDIAN
 SANTAQUIN, UTAH COUNTY, UTAH

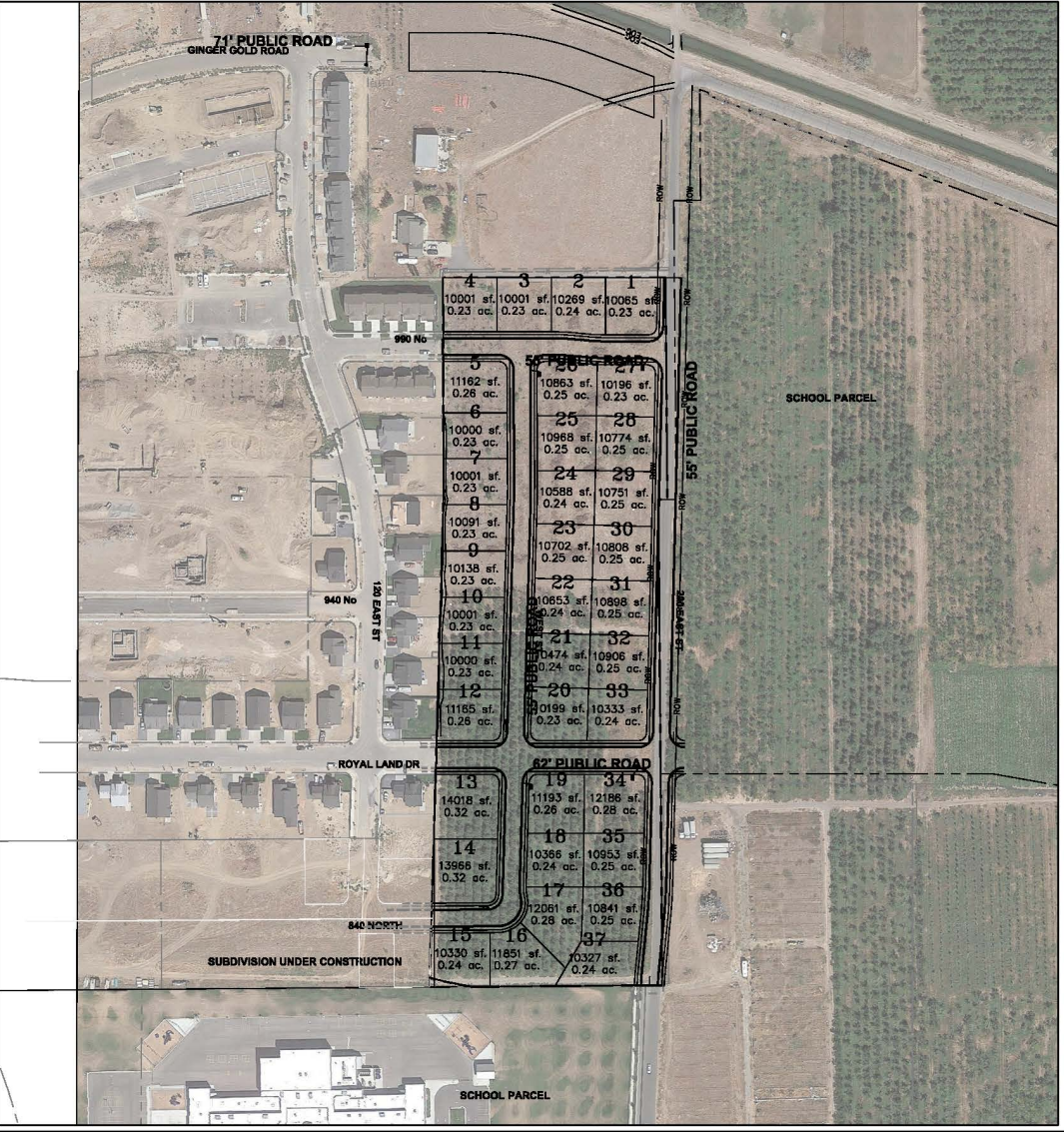
PRELIMINARY
 MAY 11th, 2021

INDEX OF SHEETS	
1	TITLE SHEET
1A	PROJECT NOTES
	BOUNDARY SURVEY
	PLAT
2	EXISTING CONDITIONS/DEMOLITION PLAN
3	OVERALL SITE PLAN
G1-G3	GRADING SHEETS (1"=30')
U1	CULINARY WATER UTILITY PLAN
U2	SANITARY SEWER UTILITY PLAN
U3	STORM WATER UTILITY PLAN
U4	IRRIGATION UTILITY PLAN
SS1	LIGHTING / SIGNAGE /STRIPING PLAN
PP1	WEST ROAD 0+00 to 8+00
PP2	WEST ROAD 8+00 to 12+00
PP3	EAST ROAD 0+00 to 8+00
PP4	EAST ROAD 8+00 to 16+50
PP5	GINGER ROAD 0+00 to 7+50
PP6	NORTH ROAD 0+00 to 4+75
PP7	SOUTH ROAD 0+00 to 4+50
SWPPP	STORM WATER POLLUTION PREVENTION PLAN
ER1-ER2	EROSION CONTROL NOTES AND DETAILS
D1	STREET DETAILS
D2	SANITARY SEWER DETAILS
D3	CULINARY WATER DETAILS
D4	STORM WATER DETAILS
D5	PRESSURIZED IRRIGATION DETAILS
D6	STREET LIGHT AND SIGNAGE DETAILS



PROPERTY OWNER:
 STRATTON ACRES LLC
 KAMERON SPENCER
 847 E DRAPER MEADOW LANE
 DRAPER, UTAH 84028
 801-338-4546

ENGINEER:
 GATEWAY CONSULTING INC.
 PAUL WATSON
 PO BOX 951065
 RIVERTON, UTAH 84095
 801-694-5848



NOTE:
 The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.

LEGEND

SEWER LINE	EXISTING SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING SEWER LINE	EXISTING SEWER LINE
STORM LINE	EXISTING STORM LINE	EXISTING STORM LINE
DRAINAGE SHIELD	EXISTING DRAINAGE SHIELD	EXISTING DRAINAGE SHIELD
STORM APPARATUS	EXISTING STORM LINE	EXISTING STORM LINE
WATER LINE	EXISTING WATER LINE	EXISTING WATER LINE
WATER APPARATUS	EXISTING WATER LINE	EXISTING WATER LINE
FIRE HYDRANT	EXISTING FIRE HYDRANT	EXISTING FIRE HYDRANT
IRRIGATION LINE	EXISTING IRRIGATION LINE	EXISTING IRRIGATION LINE
IRRIGATION APPARATUS	EXISTING IRRIGATION LINE	EXISTING IRRIGATION LINE
DRAINAGE DIRECTION	EXISTING DRAINAGE DIRECTION	EXISTING DRAINAGE DIRECTION

ZONE	R-10
LOTS	37
ACREAGE	12.39ac.
ACREAGE LOTS	9.19ac.
ACREAGE ROW	3.20ac.
DENSITY	3 lots to the ac.

GATEWAY CONSULTING, Inc.
 P.O. BOX 951065 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
 paul@gatewayconsultingllc.com

CIVIL ENGINEERING • CONSULTING • LAND PLANNING
 CONSTRUCTION MANAGEMENT



BOUNDARY SURVEY

(A) A parcel of land located within the NW¼ of Section 36, Township 9 South, Range 1 East, Salt Lake Base & Meridian, more particularly described by metes and bounds as follows:

Beginning at a point that lies S 00°20'15" E 1371.20 feet along the Quarter Section Line and 27.63 feet West from the North Quarter Corner of Section 36, Township 9 South, Range 1 East, S.L.B.&M.; thence S 00°33'21" E 156.60 feet along the West line of a Warranty Deed as recorded in Utah County Recorder's office Entry No. 56278; thence N 89°24'42" E 10.35 feet along the South line said Warranty Deed to the West line of 5200 West Street the following 2 courses, (1) S 00°24'57" E 500.88 feet; (2) thence S00°19'44"E 155.45 feet; thence S 89°40'02" W 181.50 feet; thence S 00°19'44" E 127.73 feet; thence N 80°00'00" W 274.06 feet; thence West 613.21 feet to the centerline of 5350 West Street; thence N 01°24'42" E along said centerline 1,270.54 feet to the South right-of-way line of the Strawberry Highline Canal; thence S 69°41'13" E 1,083.56 feet to the point of beginning.

The above described parcel of land contains 1,122,030 square feet, or 25.76 acres more or less (as described).

(B) A parcel of land located within the NW¼ of Section 36, Township 9 South, Range 1 East, Salt Lake Base & Meridian, more particularly described by metes and bounds as follows:

Beginning at a point that lies N 89°32'33" E along the Quarter Section line from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, S.L.B.&M.; thence N 89°32'46" E 338.48 feet to the centerline of 5350 West St; thence N 01°24'42" E along said centerline 1,307.34 feet; thence West 394.77 feet; thence S 00°27'24" E 412.86 feet; thence S 89°32'36" W 32.02 feet to the West boundary line of The Orchards Subdivision Plat "G-1"; thence along said boundary line S 01°41'33" W 880.29 feet; thence along a curve turning to the left with an arc length of 80.60', with a radius of 790.07', (with a chord bearing of S 78°05'20" E, and a chord length of 80.56') to the point of beginning.

The above described parcel of land contains 531,767 square feet, or 12.21 acres more or less (as described).

(C) A parcel of land located within the NW¼ of Section 36, Township 9 South, Range 1 East, Salt Lake Base & Meridian, more particularly described by metes and bounds as follows:

Beginning at a point that lies 1319.30 feet North and 1022.92 feet East from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, S.L.B.&M.; Said point also being a corner of the Orchards Subdivision Plat "A-11", thence North 364.99 feet along said subdivision line; thence East 75.94 feet; thence North 14.76 feet to the South line of a Warranty Deed as recorded in Utah County Recorder's office Entry No. 46207:2007; thence along said Warranty Deed the following 3 courses, (1) East 135.19 feet; (2) thence along a curve turning to the right with an arc length of 164.33' and a radius of 490.00', (with a chord bearing of S 79°57'29" E, and a chord length of 163.56'); (3) thence S 69°54'59" E 210.73 feet to the centerline of W 5350 St; thence along said centerline S 01°24'42" W 278.95 feet; thence West 563.23 feet to the point of beginning.

The above described parcel of land contains 200,062 square feet, or 4.59 acres more or less (as described).

(D) A parcel of land located within the NW¼ of Section 36, Township 9 South, Range 1 East, Salt Lake Base & Meridian, more particularly described by metes and bounds as follows:

Beginning at a point on the West line of Deed Entry No. 20349-2000 in the Utah County Recorder's Office located N 89°32'33" E along the Quarter Section line 1098.90 feet and North 1690.31 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, S.L.B.&M.; thence North 70.98 feet along said Deed line; thence East 135.25 feet; thence along a curve turning to the right with an arc length of 189.29' and a radius of 540.06', (with a chord bearing of S 79°57'24" E and a chord length of 188.32') to the Southerly right-of-way line of Strawberry Highline Canal; thence along said right-of-way line S 69°54'19" E 186.69 feet to the centerline of W 5350 St; thence along said centerline S 01°24'42" W 74.91 feet; thence N 69°54'59" W 210.73 feet; thence with a curve turning to the left with an arc length of 164.33' and a radius of 490.00', (with a chord bearing of N 79°57'29" W, and a chord length of 163.56'); thence West 135.19 feet to the point of beginning.

The above described parcel of land contains 36,292 square feet, or 0.83 acres more or less (as described).

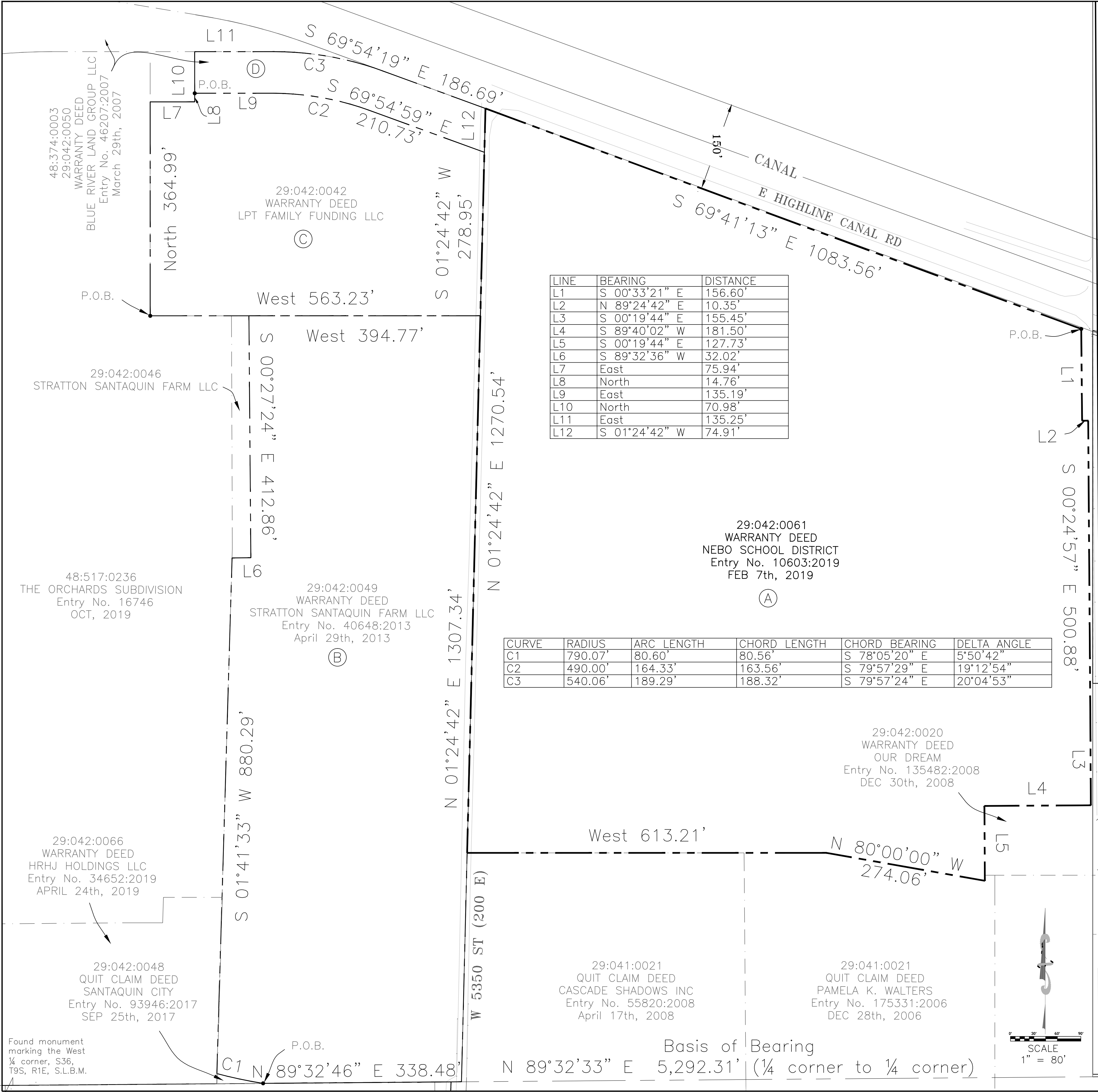
LINE	BEARING	DISTANCE
L1	S 00°33'21" E	156.60'
L2	N 89°24'42" E	10.35'
L3	S 00°19'44" E	155.45'
L4	S 89°40'02" W	181.50'
L5	S 00°19'44" E	127.73'
L6	S 89°32'36" W	32.02'
L7	East	75.94'
L8	North	14.76'
L9	East	135.19'
L10	North	70.98'
L11	East	135.25'
L12	S 01°24'42" W	74.91'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	790.07'	80.60'	80.56'	S 78°05'20" E	5°50'42"
C2	490.00'	164.33'	163.56'	S 79°57'29" E	19°12'54"
C3	540.06'	189.29'	188.32'	S 79°57'24" E	20°04'53"



LEGEND

- SECTION LINE ————
- PARENT PARCEL ————
- AFFECTED PARCEL - - - - -
- OTHER DEED LINE - - - - -



48:374:0003
WARRANTY DEED
BLUE RIVER LAND GROUP LLC
Entry No. 46207:2007
March 29th, 2007

29:042:0042
WARRANTY DEED
LPT FAMILY FUNDING LLC

29:042:0046
STRATTON SANTAQUIN FARM LLC

48:517:0236
THE ORCHARDS SUBDIVISION
Entry No. 16746
OCT, 2019

29:042:0049
WARRANTY DEED
STRATTON SANTAQUIN FARM LLC
Entry No. 40648:2013
April 29th, 2013

29:042:0061
WARRANTY DEED
NEBO SCHOOL DISTRICT
Entry No. 10603:2019
FEB 7th, 2019

29:042:0020
WARRANTY DEED
OUR DREAM
Entry No. 135482:2008
DEC 30th, 2008

29:042:0066
WARRANTY DEED
HRHJ HOLDINGS LLC
Entry No. 34652:2019
APRIL 24th, 2019

29:042:0048
QUIT CLAIM DEED
SANTAQUIN CITY
Entry No. 93946:2017
SEP 25th, 2017

29:041:0021
QUIT CLAIM DEED
CASCADE SHADOWS INC
Entry No. 55820:2008
April 17th, 2008

29:041:0021
QUIT CLAIM DEED
PAMELA K. WALTERS
Entry No. 175331:2006
DEC 28th, 2006

Found monument marking the West ¼ corner, S36, T9S, R1E, S.L.B.M.

Found monument marking the East ¼ corner, S36, T9S, R1E, S.L.B.M.

COPYRIGHT
AGREEMENT OF CIS PROFESSIONAL LAND SURVEYING FOR THE PREPARATION OF THIS SURVEY. THIS SURVEY IS THE PROPERTY OF CIS PROFESSIONAL LAND SURVEYING. NO PART OF THIS SURVEY MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM CIS PROFESSIONAL LAND SURVEYING.

SURVEYOR'S NOTE & CERTIFICATION
CIS PROFESSIONAL LAND SURVEYING
4850 SOUTH 1000 WEST, SUITE 100
SALT LAKE CITY, UT 84119
PHONE 435.680.0816
FAX 435.680.0816
EMAIL: CORY@CISPLS.COM

LICENSE NO.
CIS PROFESSIONAL LAND SURVEYING
STATE OF UTAH
CORY I. SQUIRE
No. 5561206
CORY I. SQUIRE

NO.	REVISIONS	BY	DATE
1	PRELIM	LSP	02/20/21

PREPARED BY
CIS PROFESSIONAL LAND SURVEYING
1026 NORTH 300 WEST
NEPHI, UTAH 84648
PHONE 435.680.0816
EMAIL: CORY@CISPLS.COM

PREPARED FOR
NEBO SCHOOL DISTRICT
CLIENT ADDRESS

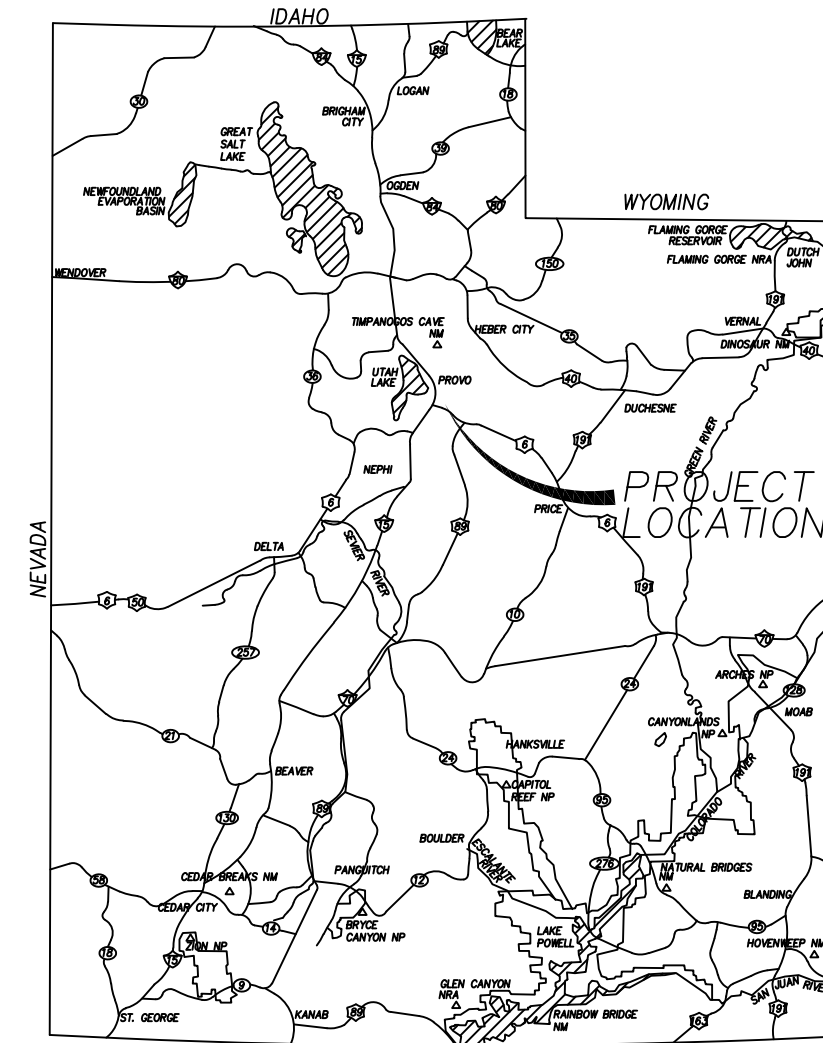
SITE LOCATION
LOCATED WITHIN N¼ SECTION 36,
TOWNSHIP 9 SOUTH, RANGE 1
EAST,
SALT LAKE BASE & MERIDIAN
PROJECT ADDRESS

SHEET 1 OF 1

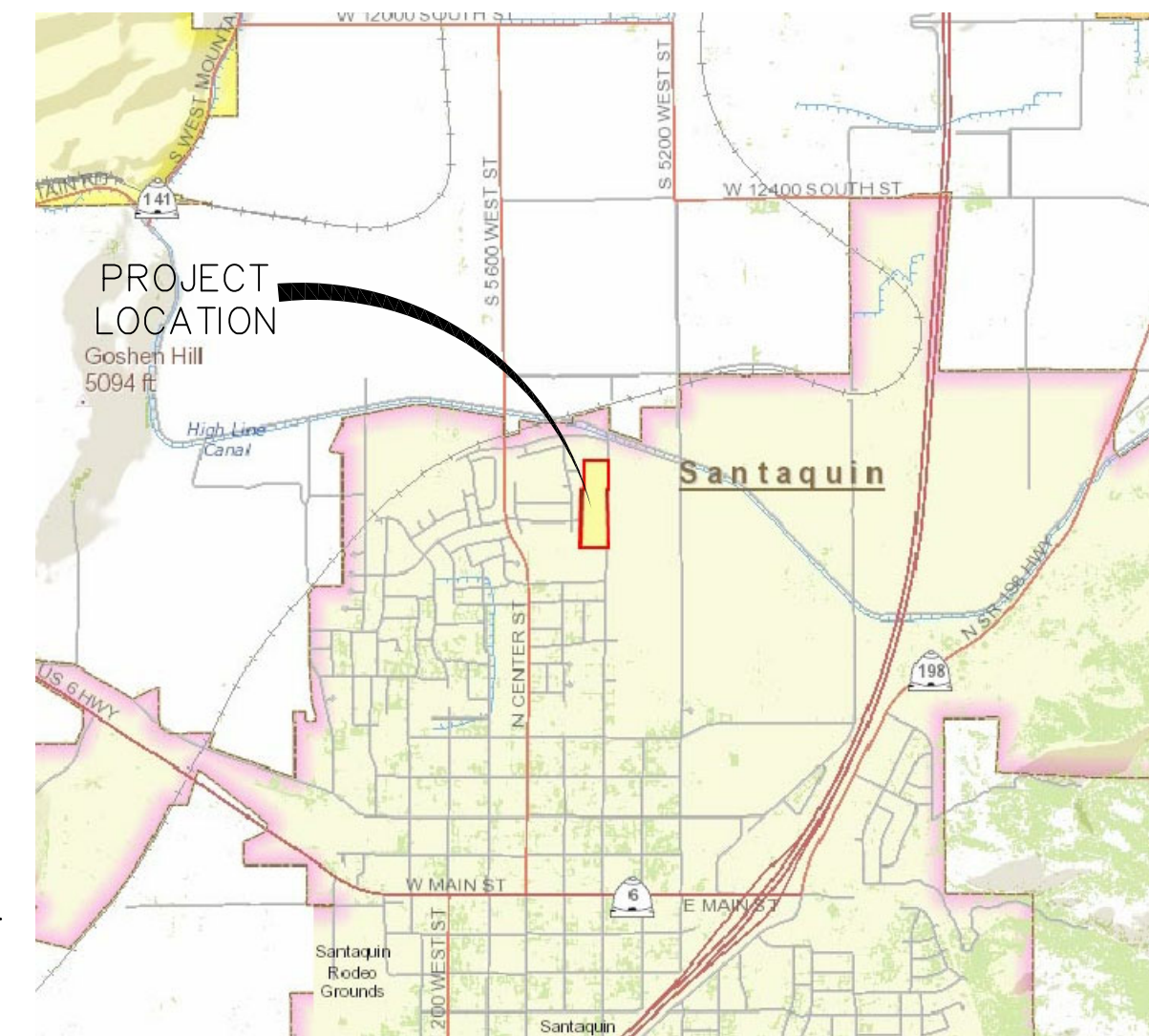
STRATTON ACRES SUBDIVISION PHASE 1

PROJECT LOCATED IN THE SOUTH HALF OR THE NORTHWEST CORNER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

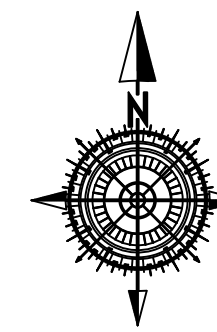
PRELIMINARY PLAT



VICINITY MAP



VICINITY MAP



SURVEYOR'S CERTIFICATE

I, _____ DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH
PEGP CONSULTING, LLC AND THAT I HOLD LICENSE NO. 9679988 AS PRESCRIBED UNDER THE
LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL
LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), I
HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED
BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS
AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT. AND THE PLAT IS STRATTON
ACRES SUBDIVISION PHASE 1, SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE
DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN
DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM
RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY
ME ON THE GROUND.

BOUNDARY DESCRIPTION

Beginning at the southeast corner of Lot 209 of The Orchards Plat G-1, Entry Number 102759:2019, Map Number 16746; said point being North 89°32'33" East, along the section line, 1146.15 feet and North 317.94 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; said West Quarter Corner of Section 36 being South 89°32'33" West, along the section line, 5292.30 feet from the East Quarter Corner of said Section 36; and running thence along the easterly boundary line of said The Orchards Plat G-1 the following two (2) calls; thence North 01°38'35" E, 595.10 feet; thence North 00°13'13" West, 139.06 feet to a point at the southeast corner of the Apple Hollow at The Orchards Plat A-11, Entry Number 12754:2019, Map Number 16860; thence North 00°13'13" West, along the easterly boundary line of said Apple Hollow at The Orchards Plat A-11, 258.32 feet; thence East, 411.19 feet; thence South 00°27'27" East, 409.77 feet; thence South 89°32'33" West, 16.49 feet; thence South 00°27'27" East, 896.96 feet to a point the quarter section line; thence South 89°32'33" West, along said quarter section line, 351.58 feet to a point on a non-target 790.00 foot radius curve to the right; thence 79.47 feet along said curve through a central angle of 05°45'50" (chord bears North 78°07'37" West, 79.44 feet); thence North 01°38'35" East, 301.17 feet to the point of beginning.

Contains: 12.39 Acres

DATE: _____

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HERON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20_____

NOTES:

1. TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
2. NDOBUT - NEIGHBORHOOD DELIVERY BOX UNIT.
3. ALL FRONT AND SIDE YARD LANDSCAPING MUST BE BONDED OR INSTALLED PRIOR TO RECEIVING CERTIFICATE OF OCCUPANCY.
4. ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
5. THIS PROJECTION IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURE USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON THE PROPERTY INCLUDED IN THE AGRICULTURAL PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

DOMINION ENERGY QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-368-8532.
Approved this _____ day of _____, 20_____
QUESTAR GAS COMPANY

By: _____
Title _____

CENTRACOM ACCEPTANCE

APPROVED THIS _____ DAY OF _____ A.D. 20_____
CENTRACOM COMPANY
BY: _____ TITLE _____

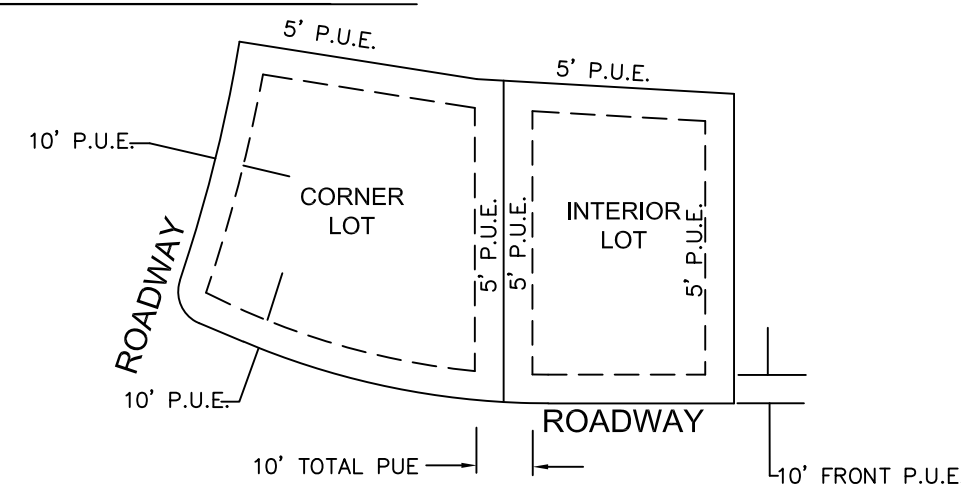
CENTURY LINK ACCEPTANCE

APPROVED THIS _____ DAY OF _____ A.D. 20_____
CENTURY LINK COMPANY
BY: _____ TITLE _____

ROCKY MOUNTAIN POWER ACCEPTANCE

APPROVED THIS _____ DAY OF _____ A.D. 20_____
ROCKY MOUNTAIN POWER COMPANY
BY: _____ TITLE _____

TYPICAL LOT P.U.E. DETAILS



INTERIOR AND CORNER LOTS UNLESS OTHERWISE NOTED ON PLAT

NOTES:
1) 10 FEET PUE FRONT AND STREET SIDES. 5 FEET PUE REAR, AND 5' PUE SIDE LOT LINES. NOT TO SCALE

SURVEYOR OF RECORD:

SURVEYOR LOGO HERE

PROJECT ENGINEER:

GATEWAY CONSULTING, inc
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF _____ S.S.
On the _____ day of _____ A.D., 20_____, personally appeared before me, the undersigned Notary Public, in and for said County of _____ in said State of Utah, _____ who after being duly sworn acknowledged to me that _____ a Limited Liability Company (), that He signed the owners dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein
MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

STRATTON ACRES LLC
KAMERON SPENCER (MANAGER)

STRATTON ACRES SUBDIVISION PHASE 1

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 5 EAST SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY ADMINISTRATIVE BODY

THE COUNTY OF UTAH APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC.
THIS _____ DAY OF _____, A.D. 20_____

APPROVED BY MAYOR _____
APPROVED _____ ENGINEER (SEE SEAL BELOW) ATTEST _____ CLERK-RECORDER (SEE SEAL BELOW)

SANTAQUIN CITY RECORDER

NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER _____

SHEET NO

1 / 2

SURVEYORS SEAL

CITY RECORDER SEAL

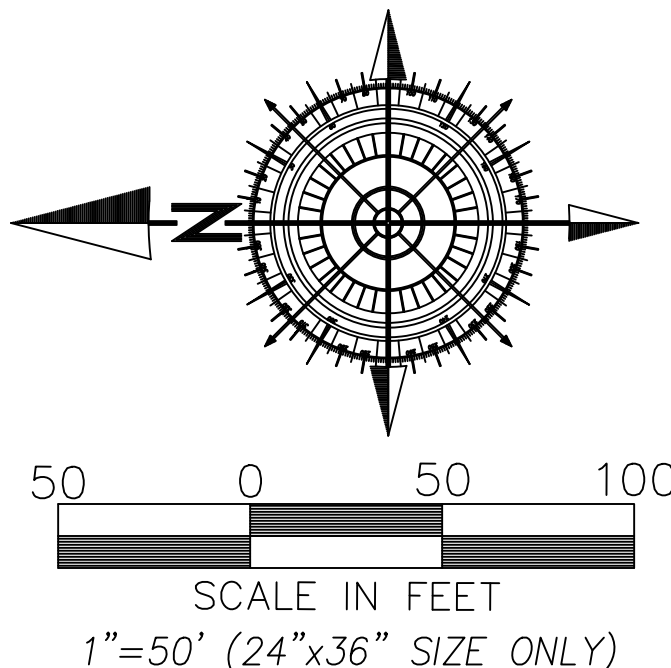
CITY-COUNTY ENGINEER SEAL

COUNTY RECORDER SEAL

STRATTON ACRES SUBDIVISION PHASE 1

PROJECT LOCATED IN THE SOUTH HALF OR THE NORTHWEST CORNER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

LOT	ADDRESS
1	XXX EAST 990 NORTH
2	XXX EAST 990 NORTH
3	XXX EAST 990 NORTH
4	XXX EAST 990 NORTH
5	XXX NORTH 120 EAST
6	XXX NORTH 120 EAST
7	XXX NORTH 120 EAST
8	XXX NORTH 120 EAST
9	XXX NORTH 120 EAST
10	XXX NORTH 120 EAST
11	XXX NORTH 120 EAST
12	XXX NORTH 120 EAST
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25	XXX NORTH 120 EAST
26	XXX NORTH 120 EAST
27	XXX NORTH 200 EAST
28	XXX NORTH 200 EAST
29	XXX NORTH 200 EAST
30	XXX NORTH 200 EAST
31	XXX NORTH 200 EAST
32	XXX NORTH 200 EAST
33	XXX NORTH 200 EAST
34	XXX NORTH 200 EAST
35	XXX NORTH 200 EAST
36	XXX NORTH 200 EAST
37	XXX NORTH 200 EAST



- LEGEND**
- PHASE BOUNDARY LINE
 - - - SECTION LINE
 - CENTER LINE
 - - - P.U.E. LINE
 - - - SETBACKS
 - EXISTING UDOT MONUMENT
 - ◆ SECTION CORNER
 - NEW ROAD MONUMENT
 - EXISTING REBAR AND CAP

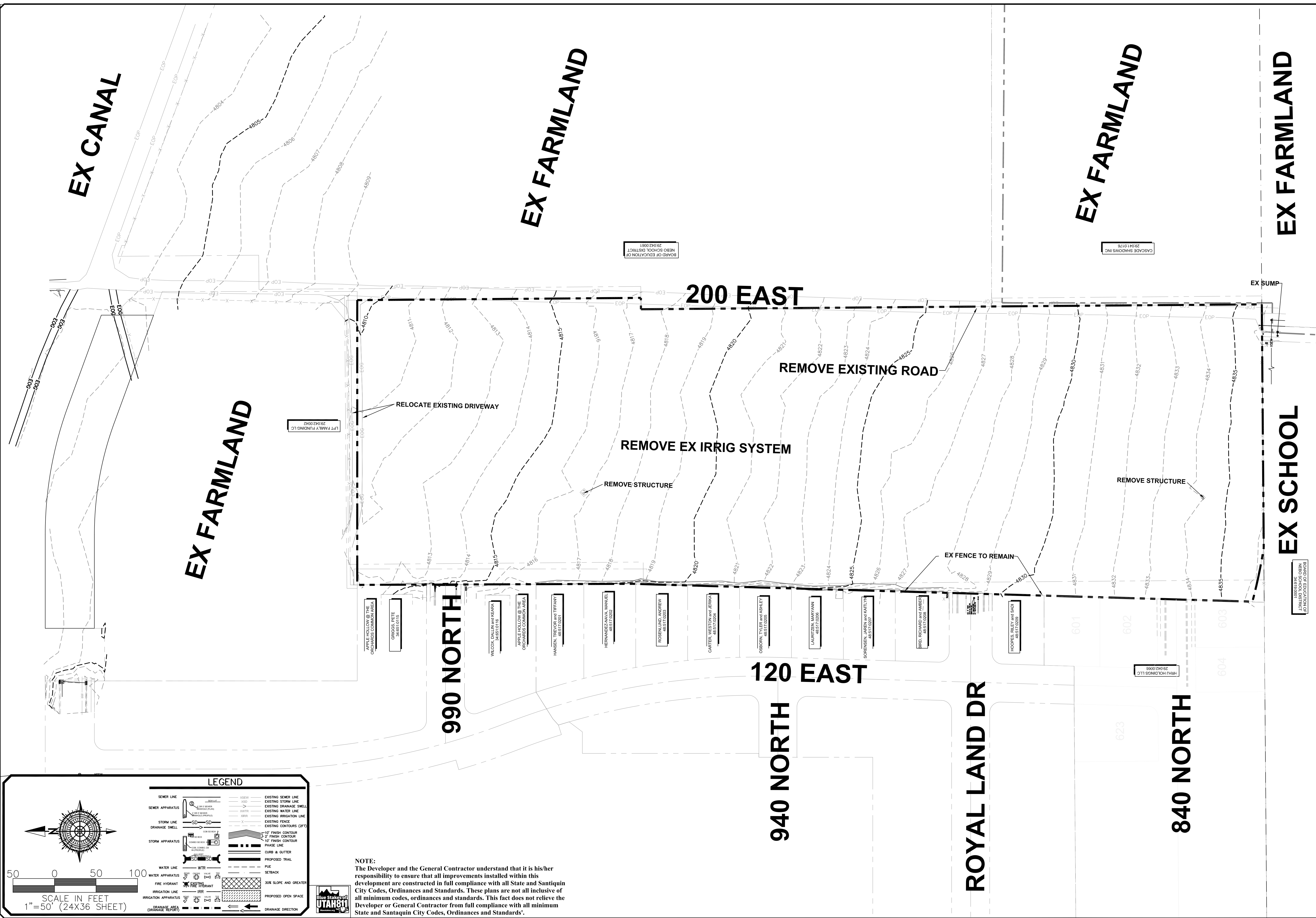
SURVEYOR OF RECORD:
SURVEYOR LOGO HERE

PROJECT ENGINEER:

GATEWAY CONSULTING, inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
 paul@gatewayconsultingllc.com

SHEET NO
2
2

SANTAQUIN CITY RECORDER
 NO. _____ BOOK _____ PAGE _____ DATE _____
 STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
 RECORDED AND FILED AT THE REQUEST OF _____
 COUNTY RECORDER



LEGEND

SEWER LINE	EXISTING SEWER LINE	10' FINISH CONTOUR
SEWER APPARATUS	EXISTING STORM LINE	2' FINISH CONTOUR
STORM LINE	EXISTING DRAINAGE SHELL	PHASE LINE
DRAINAGE SHELL	WATER	CURB & GUTTER
STORM APPARATUS	EXISTING IRRIGATION LINE	PROPOSED TRAIL
WATER LINE	EXISTING FENCE	SETBACK
WATER APPARATUS	EXISTING CONTOURS (2FT)	SOIL SLOPE AND GRATER
FIRE HYDRANT	PROPOSED OPEN SPACE	DRAINAGE DIRECTION
IRRIGATION LINE		
IRRIGATION APPARATUS		

SCALE IN FEET
1" = 50' (24X36 SHEET)

NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.



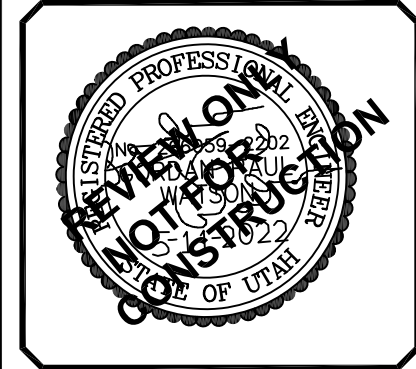
NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	OPW
DRAWN BY:	OPW
DESIGNED BY:	OPW
CHECKED BY:	OPW
SCALE:	1"=60'

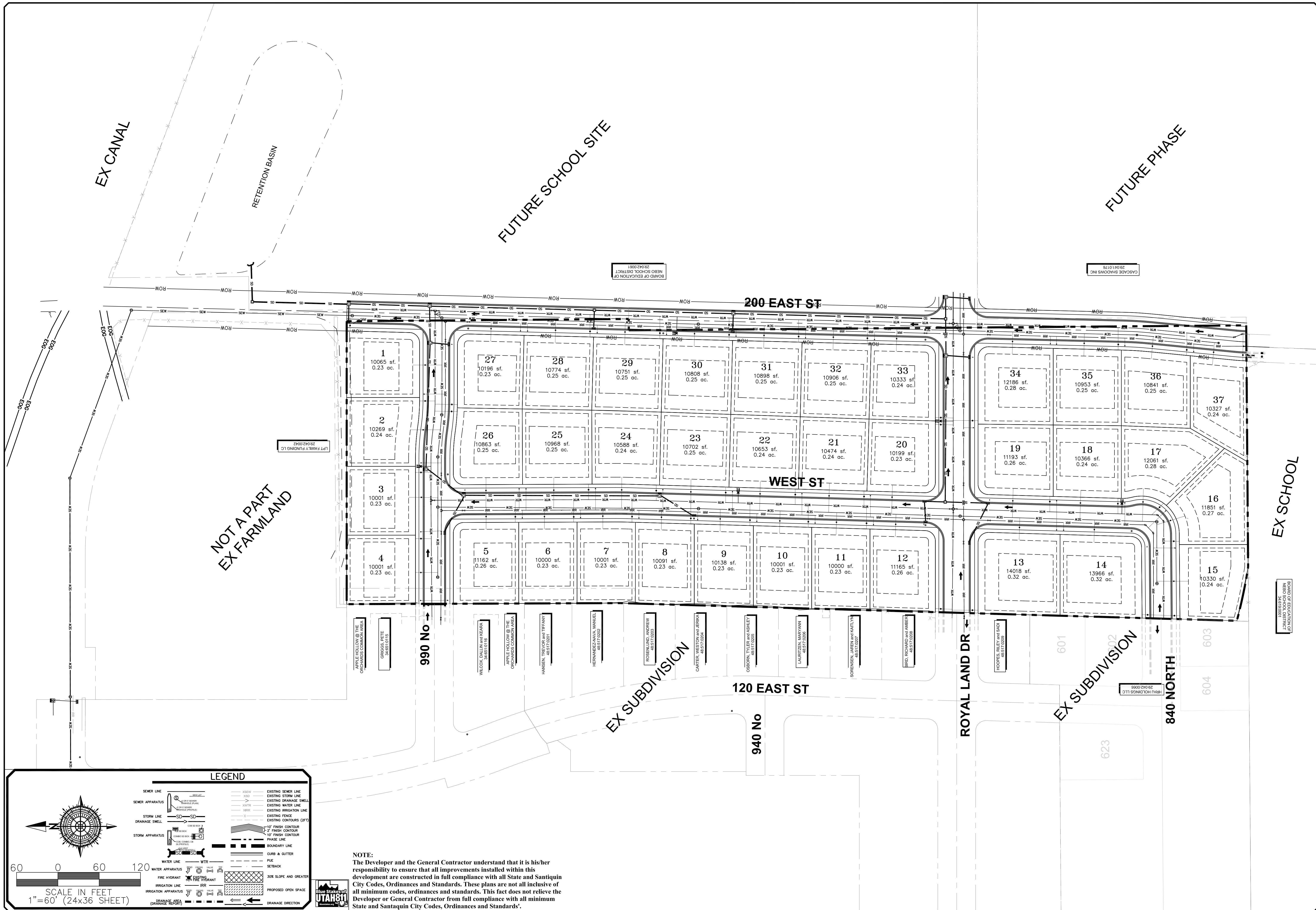
GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
 paul@gatewayconsultingllc.com
 CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

STRATTON ACRES
 PHASE 1
 EXISTING CONDITIONS
 AND DEMOLITION SHEET
 5-11-2022

SANTAQUIN CITY



SHEET NO. **2**



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: CPW
 DRAWN BY: CPW
 DESIGNED BY: CPW
 CHECKED BY: CPW
 SCALE: 1"=60'

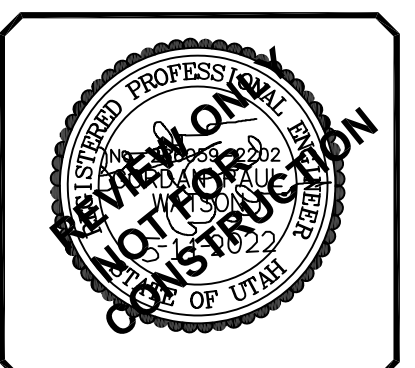
GATEWAY CONSULTING, Inc
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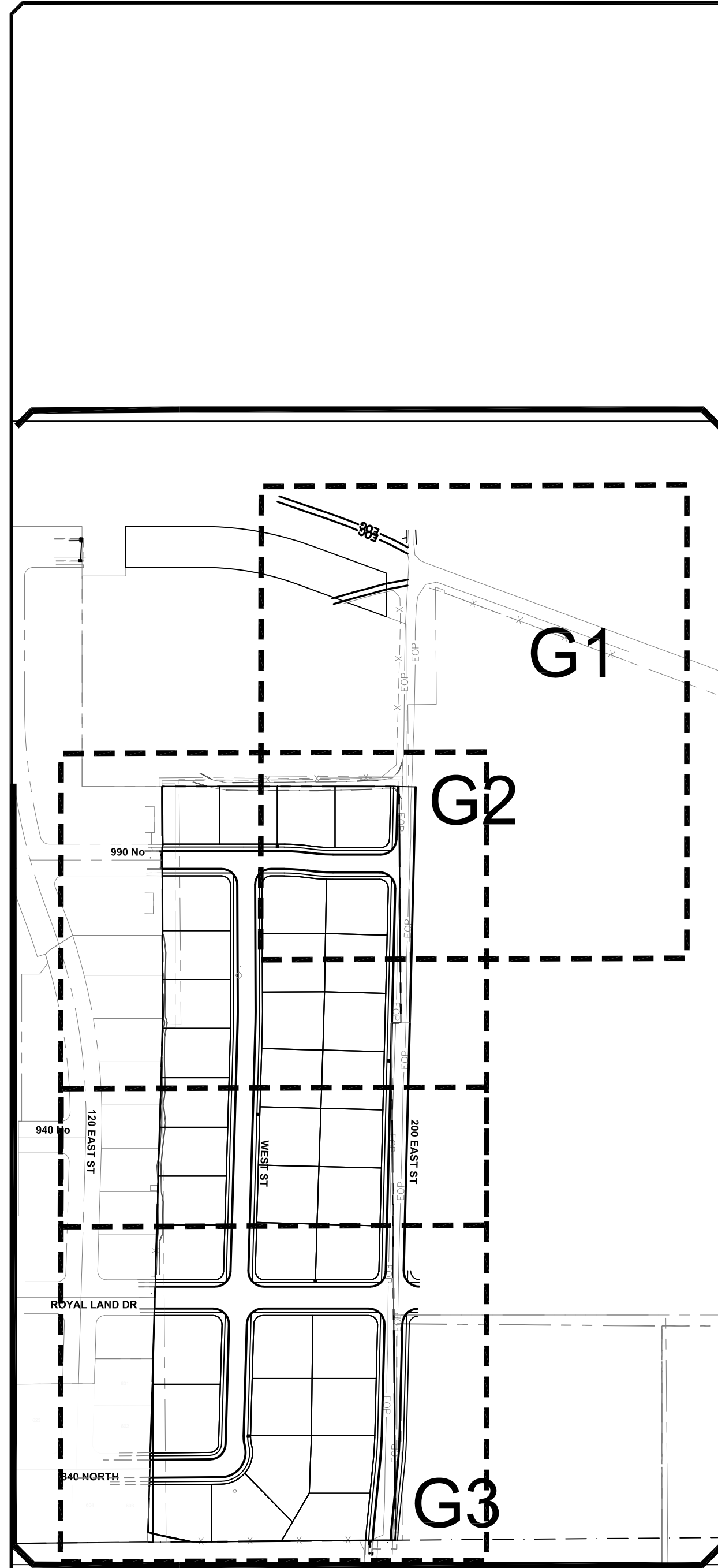
STRATTON ACRES PHASE 1
 SITE PLAN

5-11-2022

SANTAQUIN CITY



SHEET NO. 3



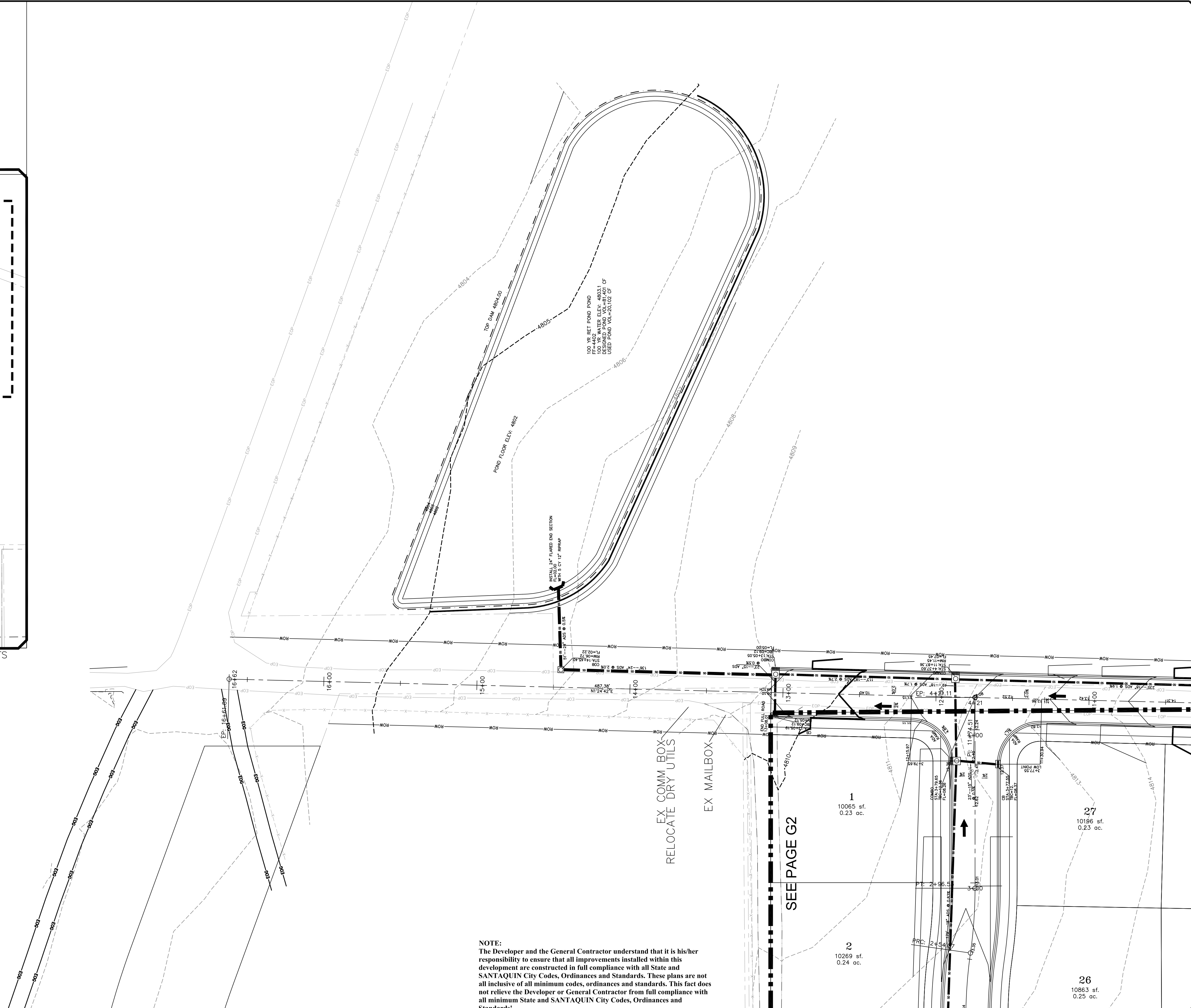
INDEX MAP

NTS

SCALE IN FEET
1"=30' (24X36 SHEET)

LEGEND

SEWER LINE	EXISTING SEWER LINE	EXISTING SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE	EXISTING STORM LINE	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SHELL	EXISTING DRAINAGE SHELL	EXISTING DRAINAGE SHELL
DRAINAGE SHELL	EXISTING WATER LINE	EXISTING WATER LINE	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE	EXISTING IRRIGATION LINE	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE	EXISTING FENCE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (PT)	EXISTING CONTOURS (PT)	EXISTING CONTOURS (PT)
FIRE HYDRANT	10' FINISH CONTOUR	10' FINISH CONTOUR	10' FINISH CONTOUR
IRRIGATION LINE	7' FINISH CONTOUR	7' FINISH CONTOUR	7' FINISH CONTOUR
IRRIGATION APPARATUS	5' FINISH CONTOUR	5' FINISH CONTOUR	5' FINISH CONTOUR
DRAINAGE AREA (DRAINAGE REPORT)	PRIME LINE	PRIME LINE	PRIME LINE
	CURB & GUTTER	CURB & GUTTER	CURB & GUTTER
	PROPOSED TRAIL	PROPOSED TRAIL	PROPOSED TRAIL
	PUE	PUE	PUE
	SETBACK	SETBACK	SETBACK
	30% SLOPE AND GREATER	30% SLOPE AND GREATER	30% SLOPE AND GREATER
	PROPOSED OPEN SPACE	PROPOSED OPEN SPACE	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION	DRAINAGE DIRECTION	DRAINAGE DIRECTION



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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: GPW
 DRAWN BY: GPW
 DESIGNED BY: GPW
 CHECKED BY: GPW
 SCALE: 1"=30'

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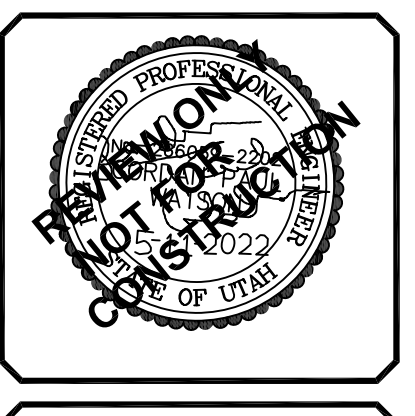
CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

**STRATTON ACRES
 PHASE 1**

GRADING

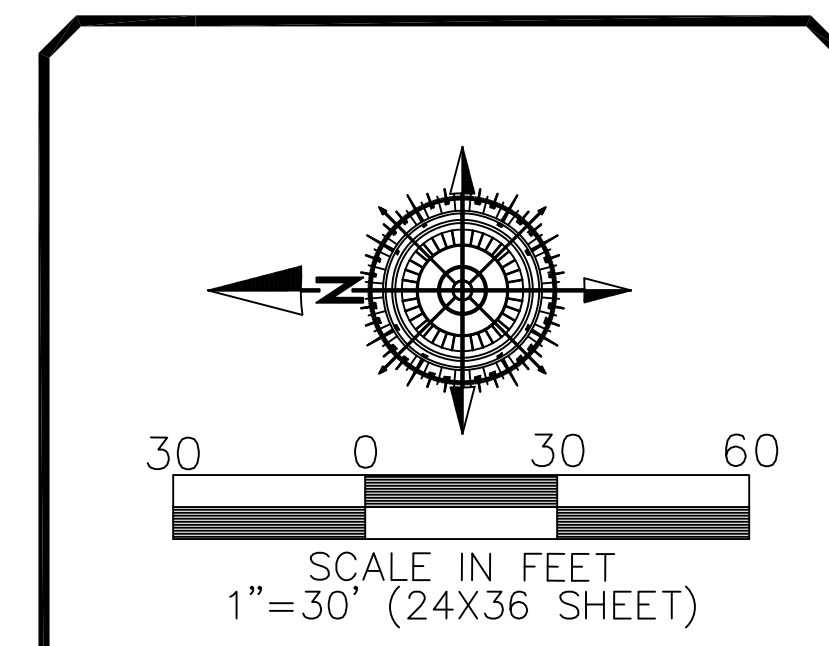
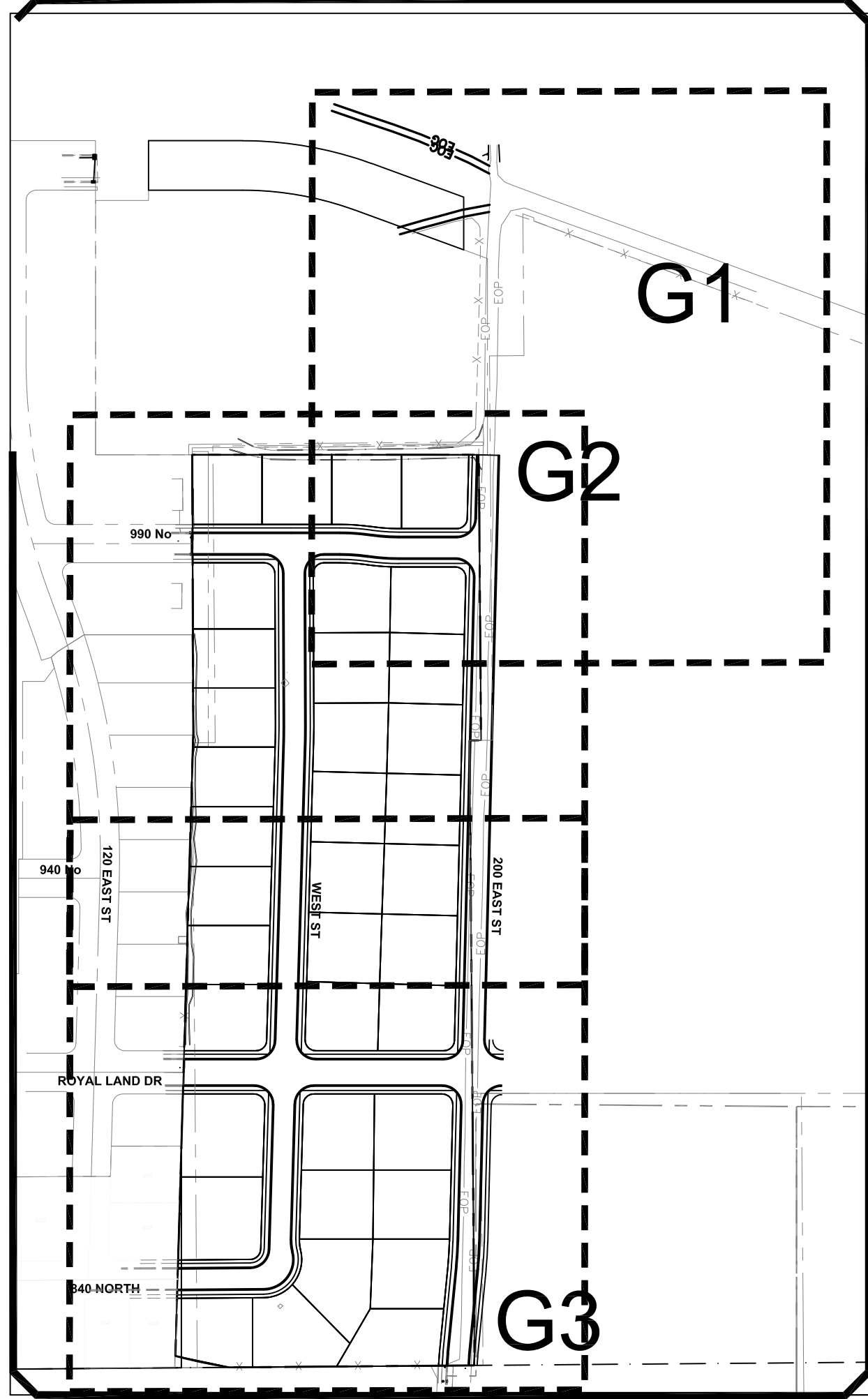
5-11-2022

SANTAQUIN CITY



SHEET NO. G1

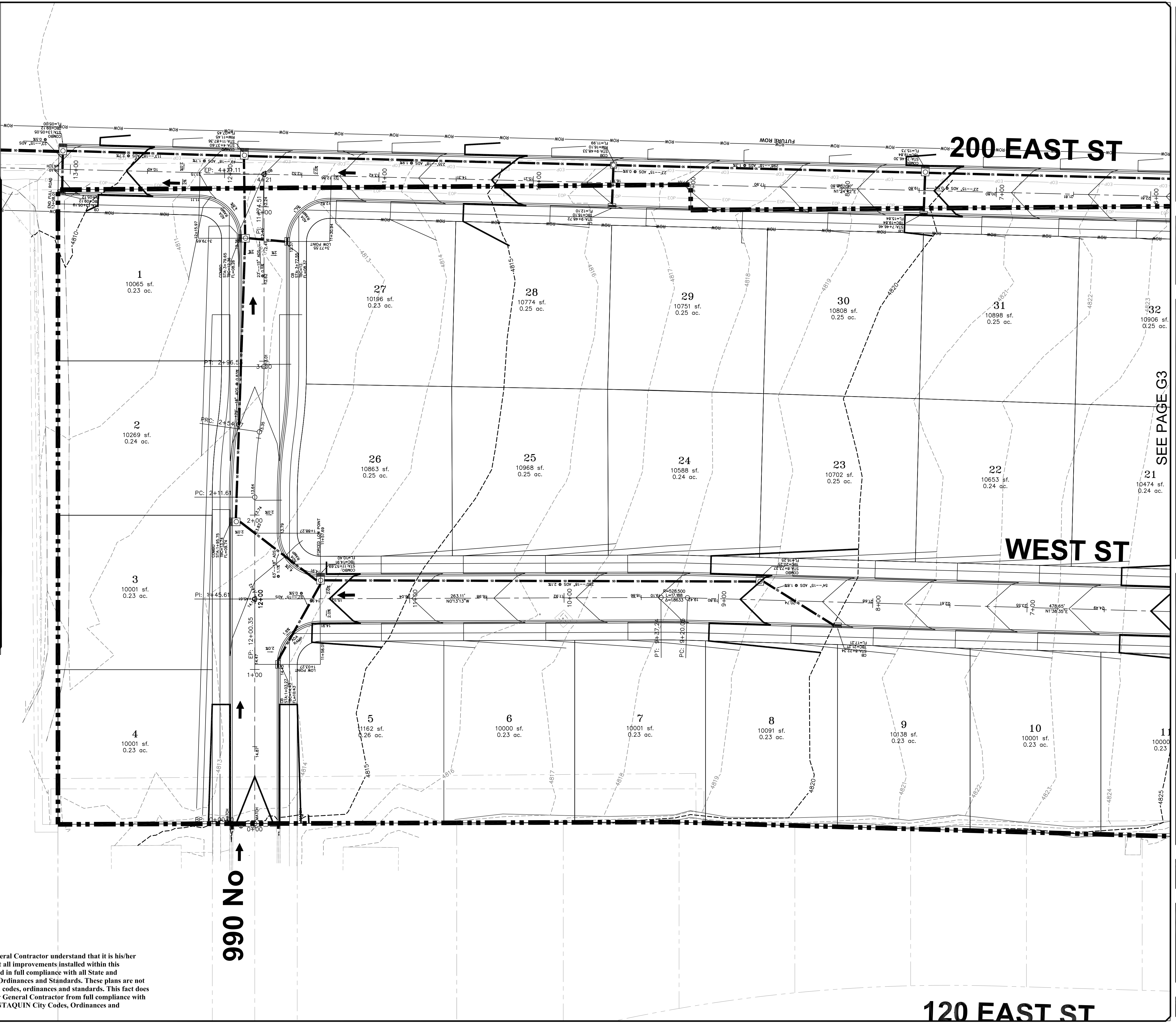
SEE PAGE G1



LEGEND

SEWER LINE	EXISTING SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SHELL	EXISTING DRAINAGE SHELL
DRAINAGE SHELL	EXISTING WATER LINE	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (PIT)	EXISTING CONTOURS (PIT)
FIRE HYDRANT	10' FINISH CONTOUR	10' FINISH CONTOUR
IRRIGATION APPARATUS	7' FINISH CONTOUR	7' FINISH CONTOUR
IRRIGATION APPARATUS	10' FINISH CONTOUR	10' FINISH CONTOUR
IRRIGATION APPARATUS	PHASE LINE	PHASE LINE
IRRIGATION APPARATUS	CURB & GUTTER	CURB & GUTTER
IRRIGATION APPARATUS	PROPOSED TRAIL	PROPOSED TRAIL
IRRIGATION APPARATUS	PUE	PUE
IRRIGATION APPARATUS	SETBACK	SETBACK
IRRIGATION APPARATUS	SOIL SLOPE AND GREATER	SOIL SLOPE AND GREATER
IRRIGATION APPARATUS	PROPOSED OPEN SPACE	PROPOSED OPEN SPACE
IRRIGATION APPARATUS	DRAINAGE DIRECTION	DRAINAGE DIRECTION

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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

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 CONSTRUCTION MANAGEMENT

**STRATTON ACRES
 PHASE 1**

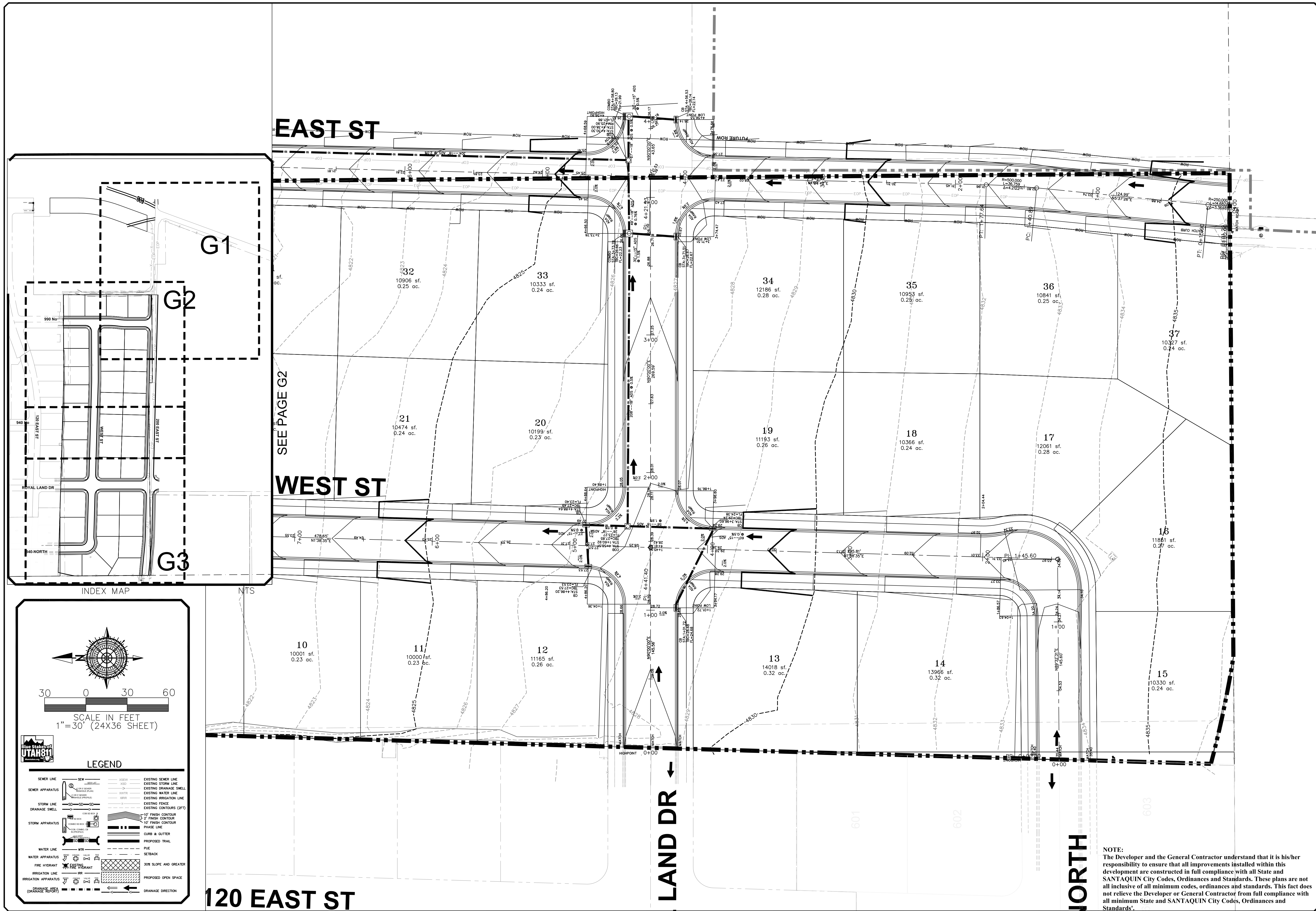
GRADING

5-11-2022

SANTAQUIN CITY



SHEET NO. G2



EAST ST

WEST ST

LAND DR

NORTH

120 EAST ST

SEE PAGE G2

G1

G2

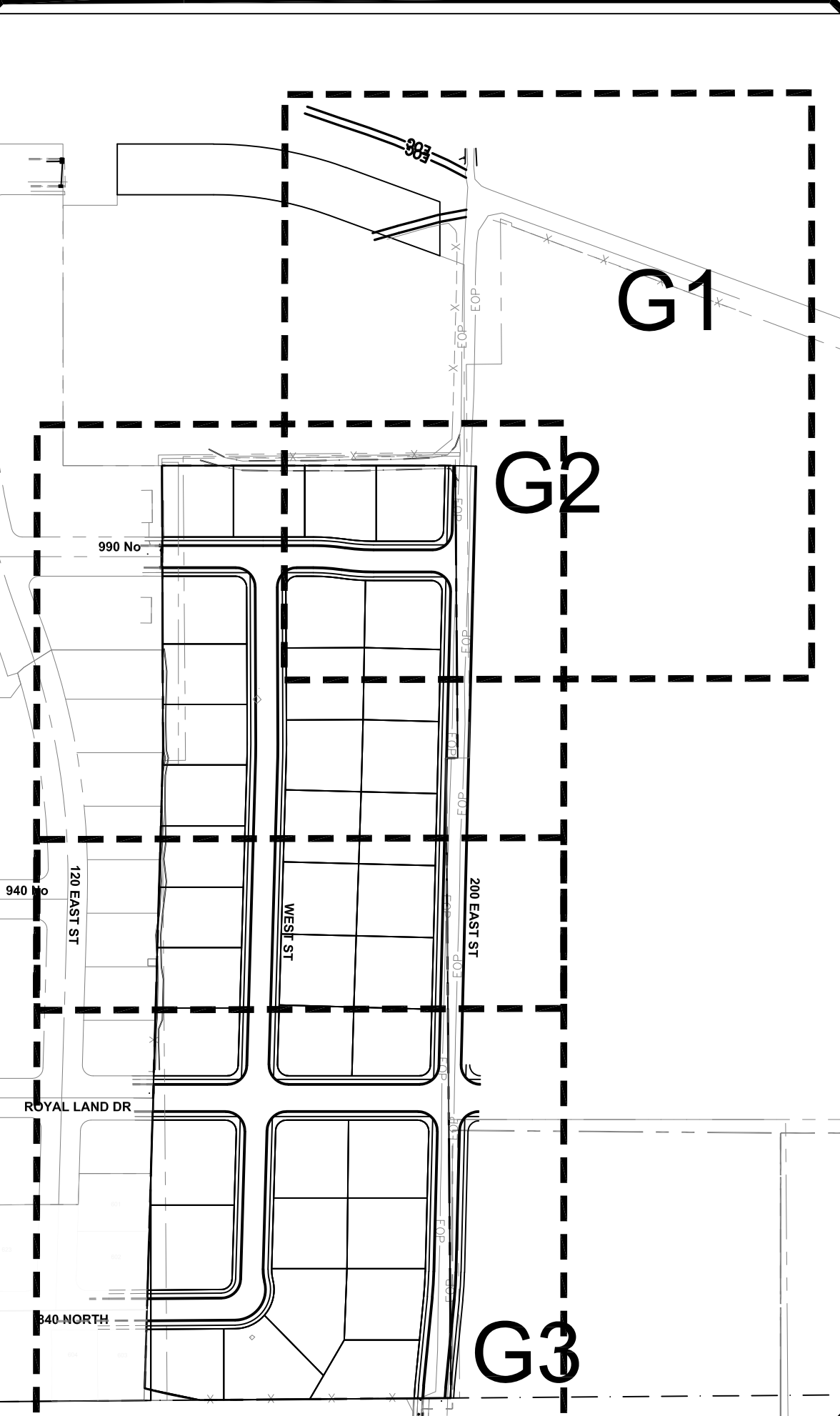
G3

Lot 32: 10906 sf. 0.25 ac.
 Lot 33: 10333 sf. 0.24 ac.
 Lot 34: 12186 sf. 0.28 ac.
 Lot 35: 10953 sf. 0.25 ac.
 Lot 36: 10841 sf. 0.25 ac.
 Lot 37: 10327 sf. 0.24 ac.

Lot 21: 10474 sf. 0.24 ac.
 Lot 20: 10199 sf. 0.23 ac.
 Lot 19: 11193 sf. 0.26 ac.
 Lot 18: 10366 sf. 0.24 ac.
 Lot 17: 12061 sf. 0.28 ac.

Lot 16: 11861 sf. 0.27 ac.
 Lot 15: 10330 sf. 0.24 ac.

Lot 10: 10001 sf. 0.23 ac.
 Lot 11: 10000 sf. 0.23 ac.
 Lot 12: 11165 sf. 0.26 ac.
 Lot 13: 14018 sf. 0.32 ac.
 Lot 14: 13966 sf. 0.32 ac.



INDEX MAP

30 0 30 60
SCALE IN FEET
1"=30' (24X36 SHEET)

LEGEND

SEWER LINE	—SEW—	EXISTING SEWER LINE	—SEW—
SEWER APPARATUS	—S—	EXISTING STORM LINE	—STO—
STORM LINE	—S—	EXISTING DRAINAGE SHELL	—DS—
DRAINAGE SHELL	—DS—	EXISTING WATER LINE	—W—
STORM APPARATUS	—S—	EXISTING IRRIGATION LINE	—IR—
WATER LINE	—W—	EXISTING FENCE	—F—
WATER APPARATUS	—W—	EXISTING CONTOURS (PNT)	—C—
FIRE HYDRANT	—FH—	10' FINISH CONTOUR	—10'—
IRRIGATION APPARATUS	—IR—	2' FINISH CONTOUR	—2'—
IRRIGATION LINE	—IR—	10' FINISH CONTOUR	—10'—
IRRIGATION APPARATUS	—IR—	PROPOSED TRAIL	—TR—
IRIGATION APPARATUS	—IR—	PUE	—PUE—
IRIGATION APPARATUS	—IR—	SETBACK	—SB—
IRIGATION APPARATUS	—IR—	30% SLOPE AND GREATER	—S—
IRIGATION APPARATUS	—IR—	PROPOSED OPEN SPACE	—OS—
IRIGATION APPARATUS	—IR—	PROP. OPEN SPACE	—OS—
IRIGATION APPARATUS	—IR—	DRAINAGE DIRECTION	—D—
IRIGATION APPARATUS	—IR—	DRAINAGE DIRECTION	—D—

NO.	DESCRIPTION	DATE	APP'D

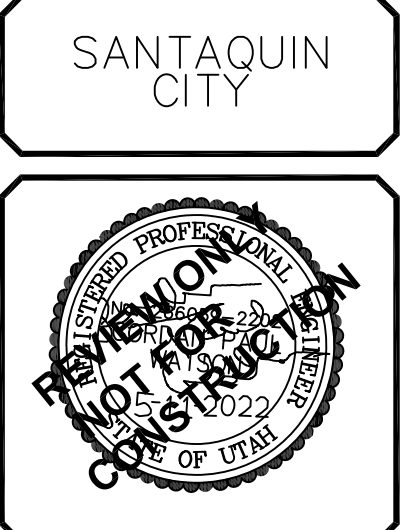
ORIG. DATE: 2-8-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

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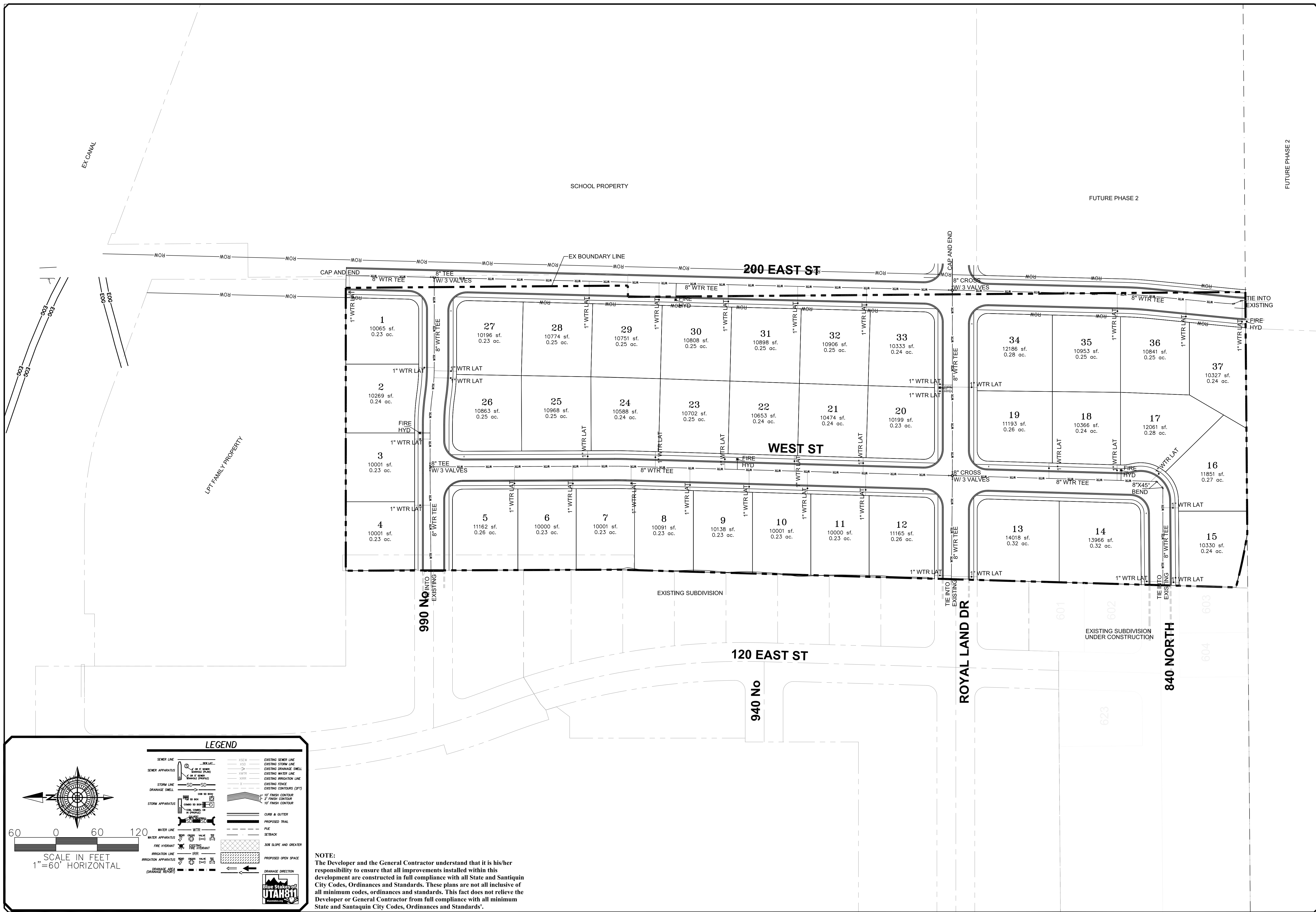
STRATTON ACRES PHASE 1
 GRADING

5-11-2022



SHEET NO. **G3**


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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: GPM
 DRAWN BY: GPM
 DESIGNED BY: GPM
 CHECKED BY: GPM
 SCALE: 1"=60'

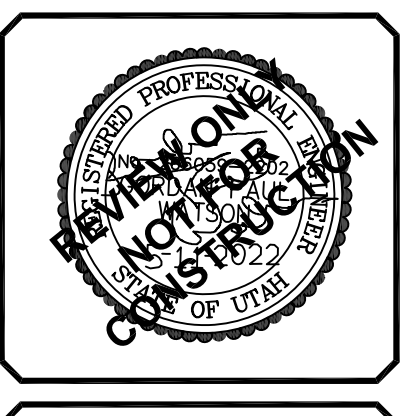
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**STRATTON ACRES
 PHASE 1**
 WATER UTILITY SHEET
 PRINT DATE: 5-11-2022

SANTAQUIN CITY



SHEET NO. **U1**

LEGEND

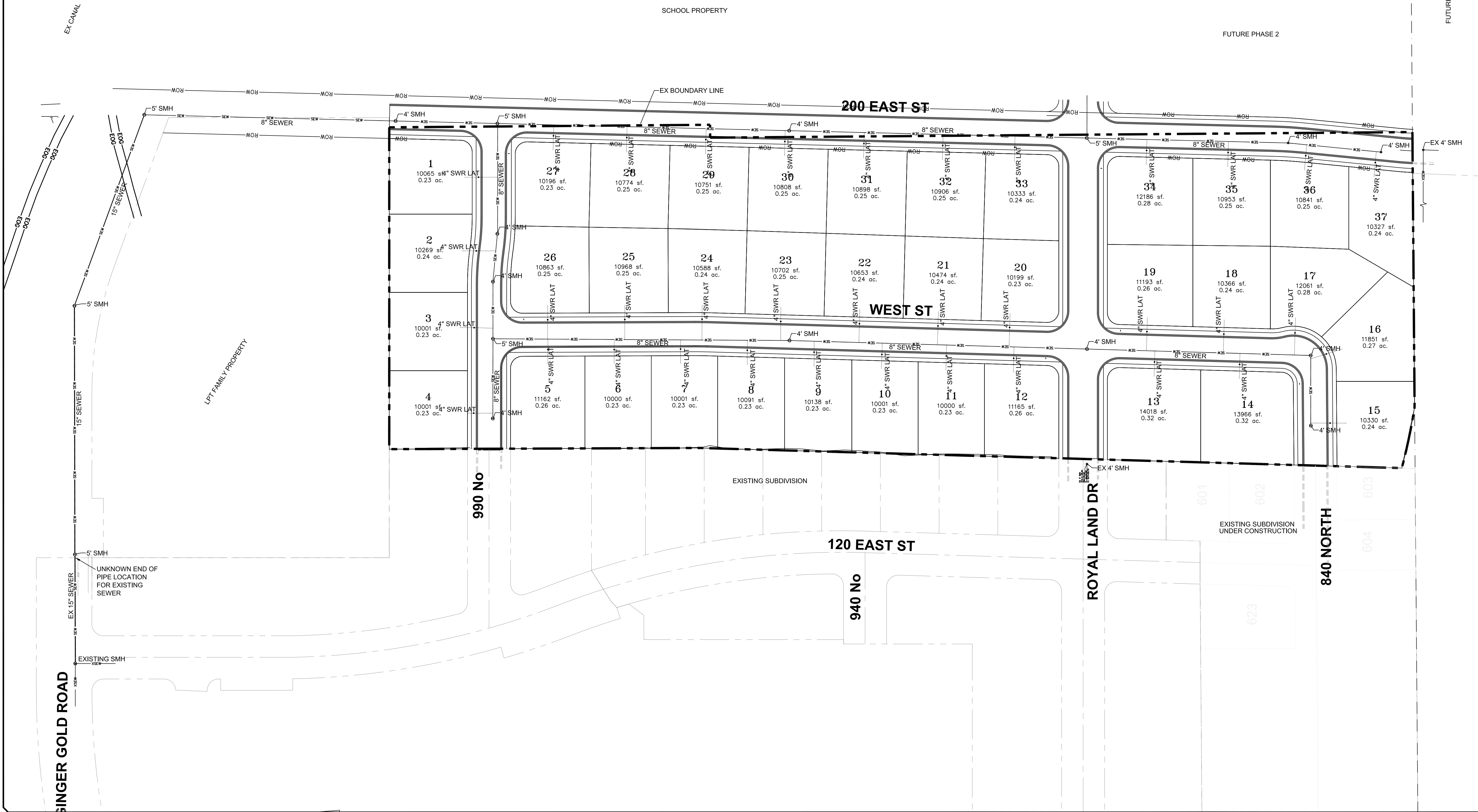
SEWER LINE
SEWER APPARATUS
STORM LINE
STORM APPARATUS
WATER LINE
WATER APPARATUS
FIRE HYDRANT
IRRIGATION LINE
IRRIGATION APPARATUS
DRAINAGE AREA (DRAINAGE REPORT)

EXISTING SENEER LINE
EXISTING STORM LINE
EXISTING DRAINAGE SHEL
EXISTING WATER LINE
EXISTING IRRIGATION LINE
EXISTING FENCE
EXISTING CONTOURS (GPT)
10' FINISH CONTOUR
5' FINISH CONTOUR
CURB & GUTTER
PROPOSED TRAIL
PUE
ZETBACK
SIDE SLOPE AND GREATER
PROPOSED OPEN SPACE

SCALE IN FEET
1"=50' HORIZONTAL

BLUE SKANS OF UTAH 611

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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: GPW
 DRAWN BY: GPW
 DESIGNED BY: GPW
 CHECKED BY: GPW
 SCALE: 1"=60'

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 CONSTRUCTION MANAGEMENT

**STRATTON ACRES
 PHASE 1**

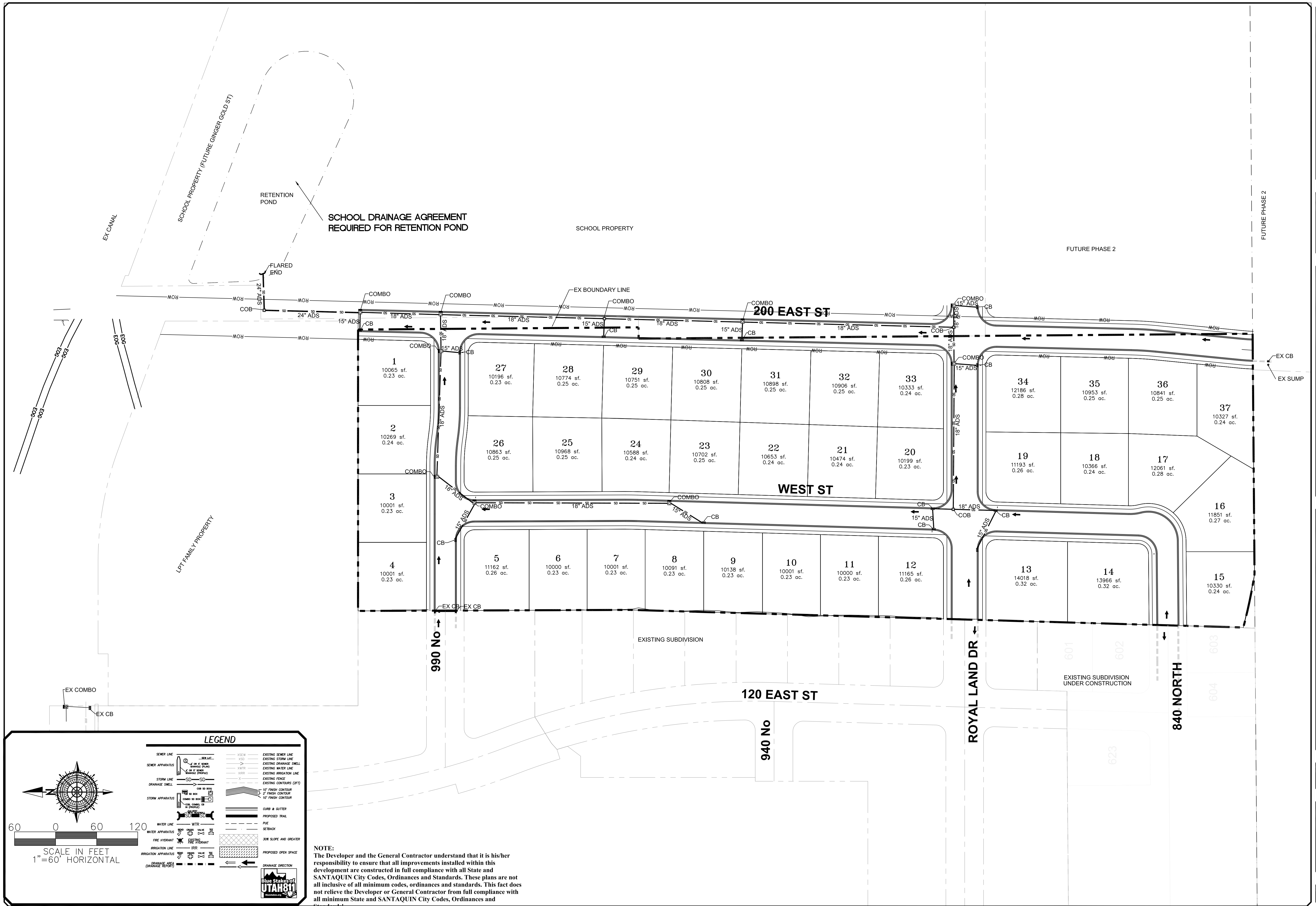
SEWER UTILITY SHEET

PRINT DATE: 5-11-2022

SANTAQUIN CITY



SHEET NO. U2



LEGEND

	SEWER LINE		EXISTING SEWER LINE
	STORM LINE		EXISTING STORM LINE
	WATER LINE		EXISTING WATER LINE
	FIRE HYDRANT		EXISTING FIRE HYDRANT
	IRRIGATION LINE		EXISTING IRRIGATION LINE
	DRAINAGE LINE		EXISTING DRAINAGE LINE
	15' FINISH CONTOUR		2' FINISH CONTOUR
	10' FINISH CONTOUR		PROPOSED TRAIL
	15' ADS		18' ADS
	24' ADS		PROPOSED OPEN SPACE
	15' ADS		DRAINAGE DIRECTION

SCALE IN FEET
1" = 60' HORIZONTAL

Blue Stakes of UTAH 831

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ORIG. DATE: 2-8-21	DATE	APP'D
SURVEY BY: GPW	DESCRIPTION	
DRAWN BY: GPW		
DESIGNED BY: GPW		
CHECKED BY: GPW		
SCALE: 1"=60'		

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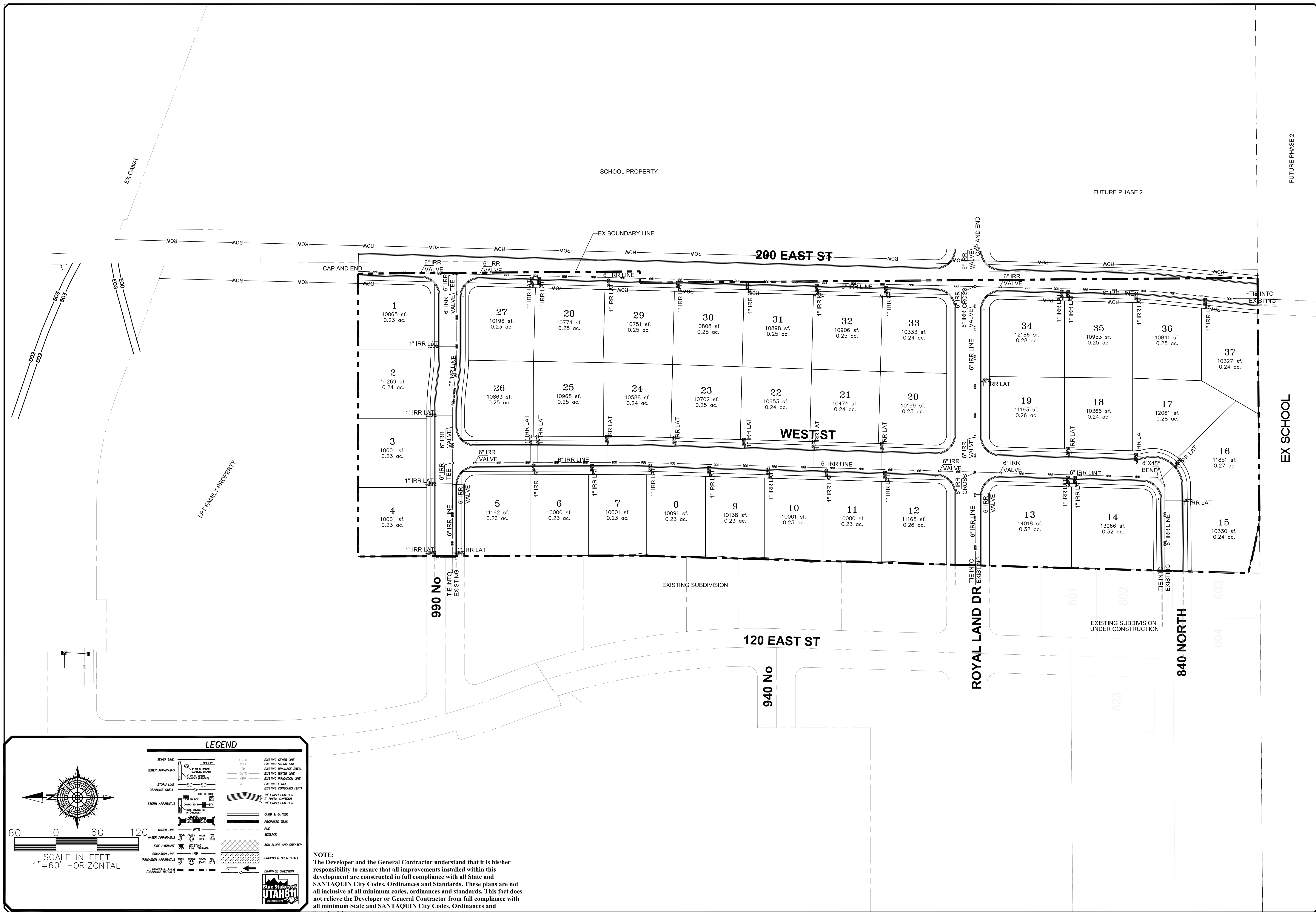
STRATTON ACRES PHASE 1
STORM UTILITY SHEET

PRINT DATE: 5-11-2022

SANTAQUIN CITY

REGISTERED PROFESSIONAL ENGINEER
PAUL J. GATEWAY
NOT FOR CONSTRUCTION
OF UTAH

SHEET NO. **U3**



LEGEND

	SEWER LINE		EXISTING SEWER LINE
	SEWER APPARATUS		EXISTING STORM LINE
	STORM LINE		EXISTING STORM LINE SHELL
	DRAINAGE SHELL		EXISTING WATER LINE
	STORM APPARATUS		EXISTING IRRIGATION LINE
	WATER LINE		EXISTING FENCE
	FIRE HYDRANT		EXISTING CONTOURS (DT)
	IRRIGATION APPARATUS		10' FINISH CONTOUR
	DRAINAGE SHELL (DRAINAGE SHELL)		2' FINISH CONTOUR
	10' FINISH CONTOUR		10' FINISH CONTOUR
	2' FINISH CONTOUR		CLASS & GUTTER
	CLASS & GUTTER		PROPOSED TRAIL
	PROPOSED TRAIL		FILE
	FILE		SETBACK
	SETBACK		SLOPE AND GREATER
	SLOPE AND GREATER		PROPOSED OPEN SPACE
	PROPOSED OPEN SPACE		DRAINAGE DIRECTION

Blue Stakes of UTAH 811

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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=60'

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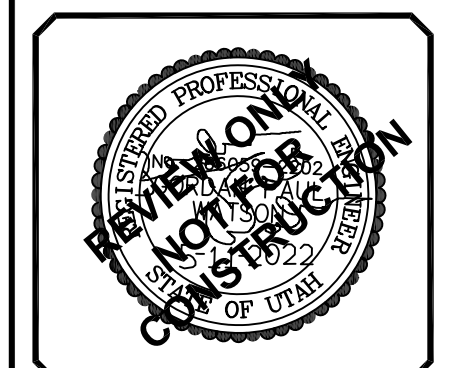
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 CONSTRUCTION MANAGEMENT

STRATTON ACRES
PHASE 1

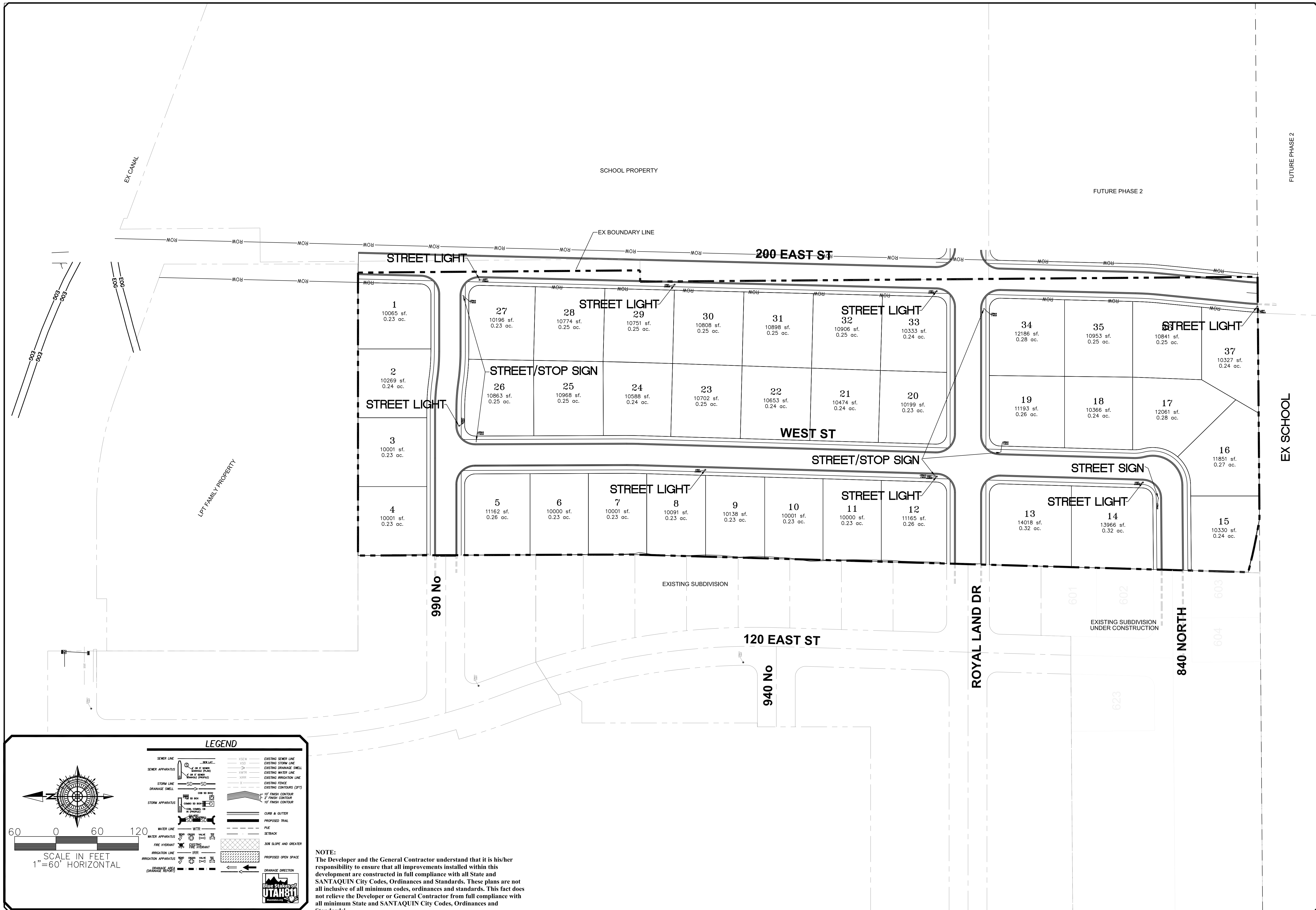
IRRIGATION UTILITY SHEET

PRINT DATE: 5-11-2022

SANTAQUIN CITY



SHEET NO. **U4**



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=60'

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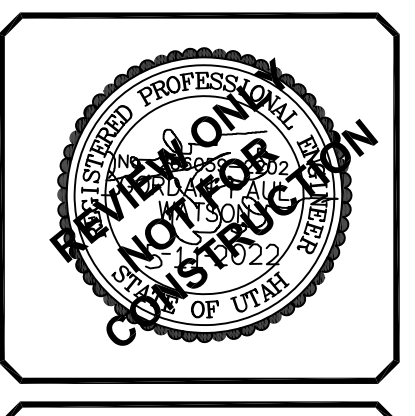
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CONSTRUCTION MANAGEMENT

STRATTON ACRES
PHASE 1

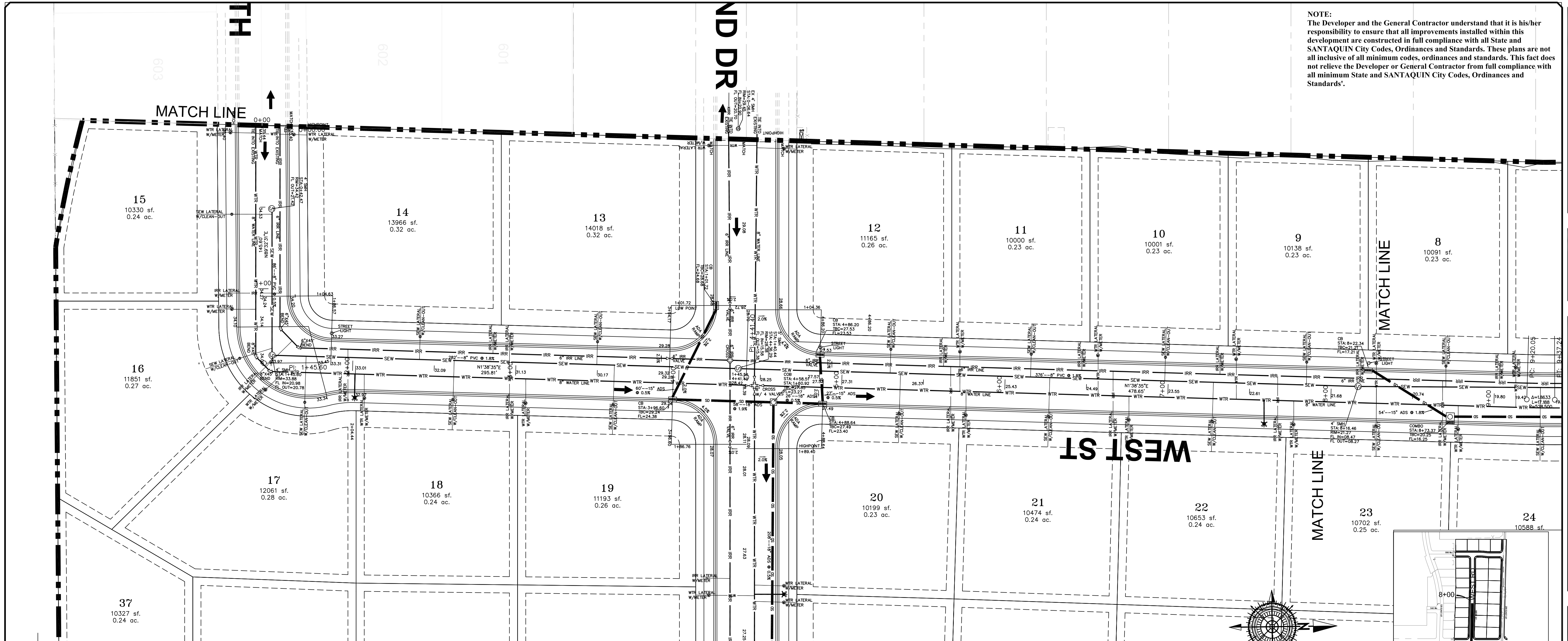
LIGHT AND SIGN PLAN

PRINT DATE: 5-11-2022

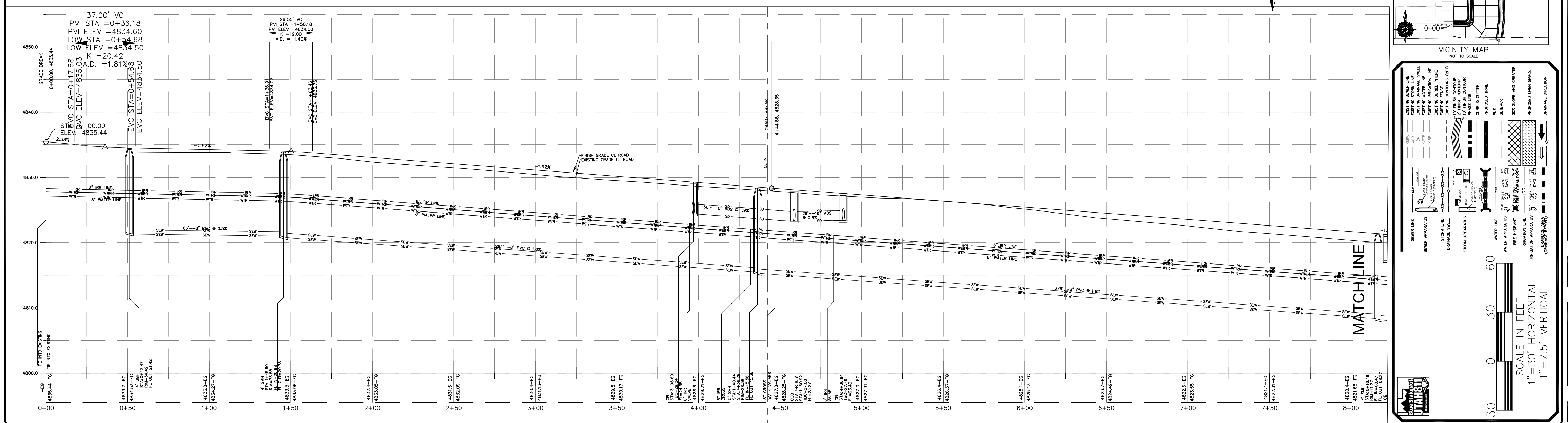
SANTAQUIN CITY



SHEET NO. **SS1**



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VICINITY MAP
 NOT TO SCALE

LEGEND

- EXISTING CENTER LINE
- EXISTING DRAINAGE SWELL
- EXISTING WATER LINE
- EXISTING BURIED PHONE
- EXISTING CONDUIT (CPT)
- PROPOSED CENTER LINE
- PROPOSED WATER LINE
- PROPOSED BURIED PHONE
- PROPOSED CONDUIT (CPT)
- PROPOSED SEWER APPARATUS
- PROPOSED STORM APPARATUS
- PROPOSED WATER APPARATUS
- PROPOSED FIRE HYDRANT
- PROPOSED RAINWATER HARVESTING
- PROPOSED OPEN SPACE
- PROPOSED DRAINAGE DIRECTION

SCALE IN FEET
 1" = 30' HORIZONTAL
 1" = 7.5' VERTICAL

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

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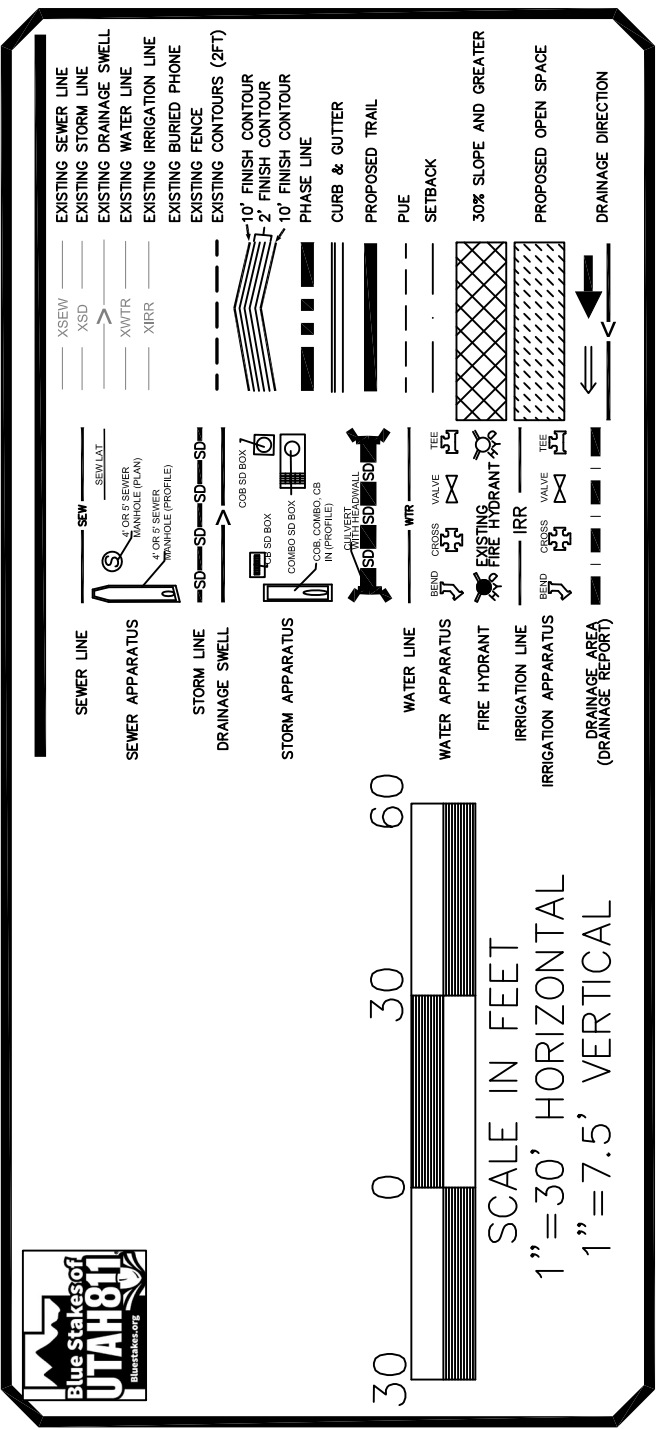
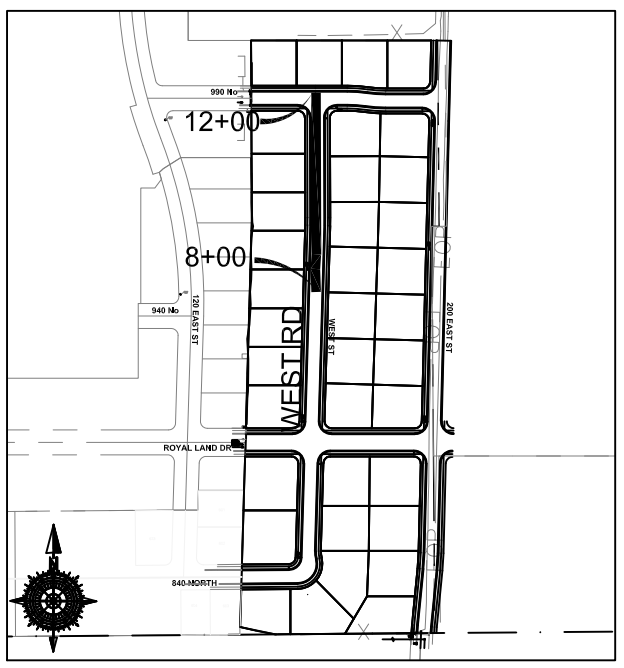
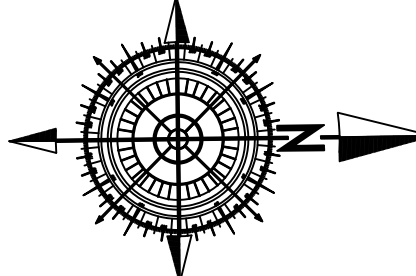
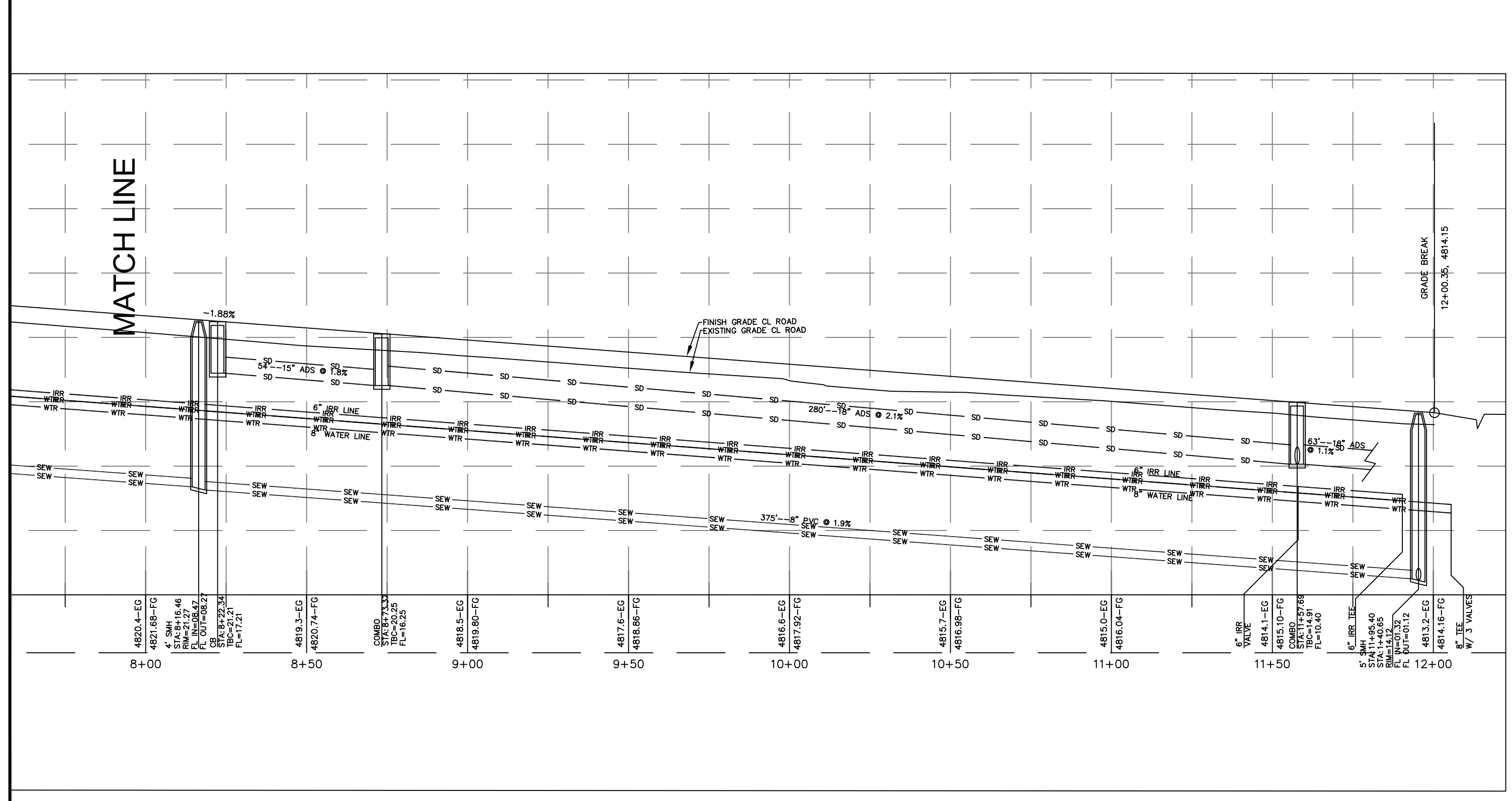
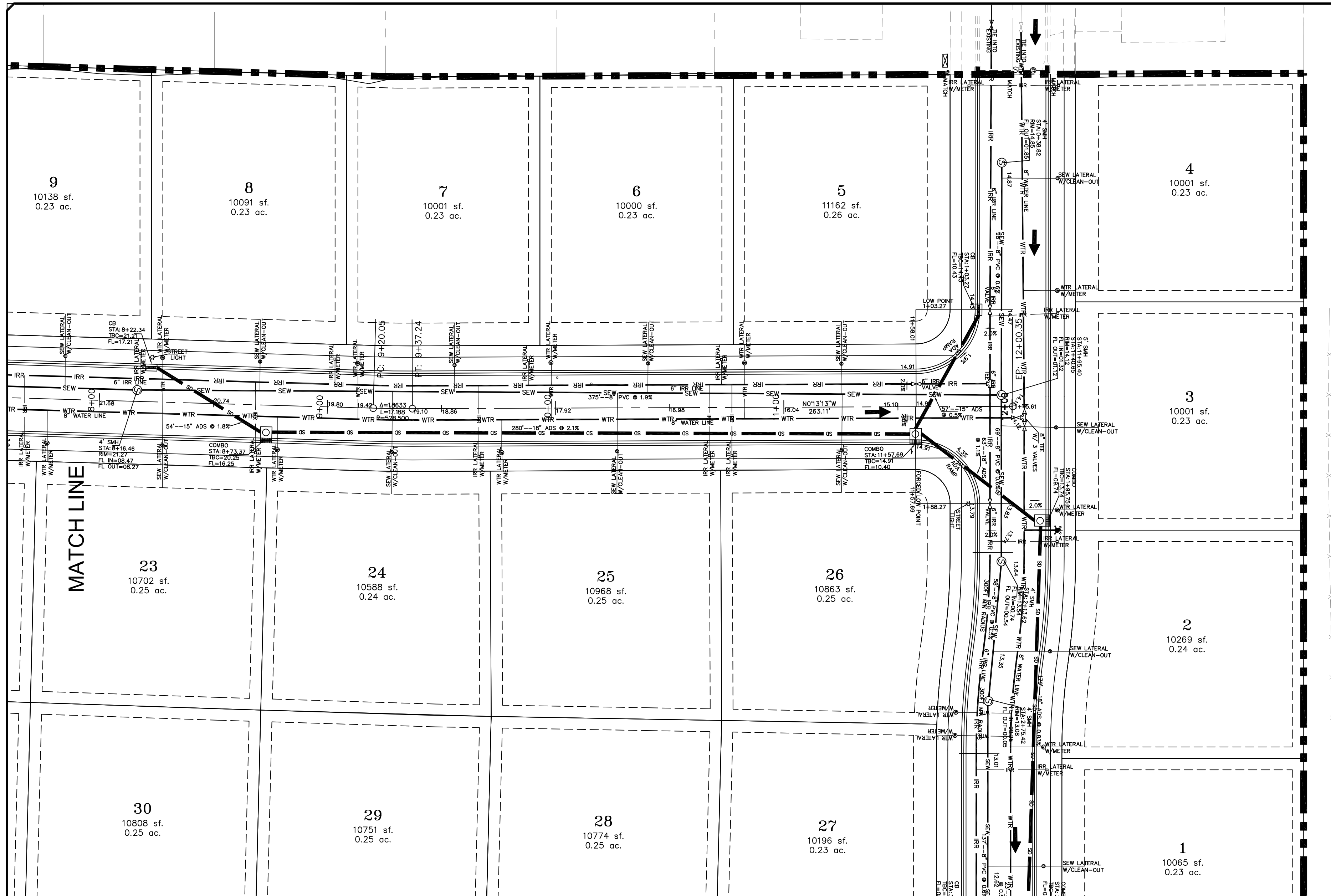
STRATTON ACRES
PHASE 1
PLAN AND PROFILE
WEST RD 0+00 TO 8+00

5-11-2022

SANTAQUIN CITY

REGISTERED PROFESSIONAL ENGINEER
PAUL J. JORDAN
 CIVIL ENGINEERING
 LICENSE NO. 39222
 STATE OF UTAH

SHEET NO. **PP1**



NOTE:
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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
 SURVEY BY: GPW
 DRAWN BY: GPW
 DESIGNED BY: GPW
 CHECKED BY: GPW
 SCALE: 1"=30'

GATEWAY CONSULTING, Inc
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 PH: (801) 694-5848
 paul@gatewayconsultingllc.com
 CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

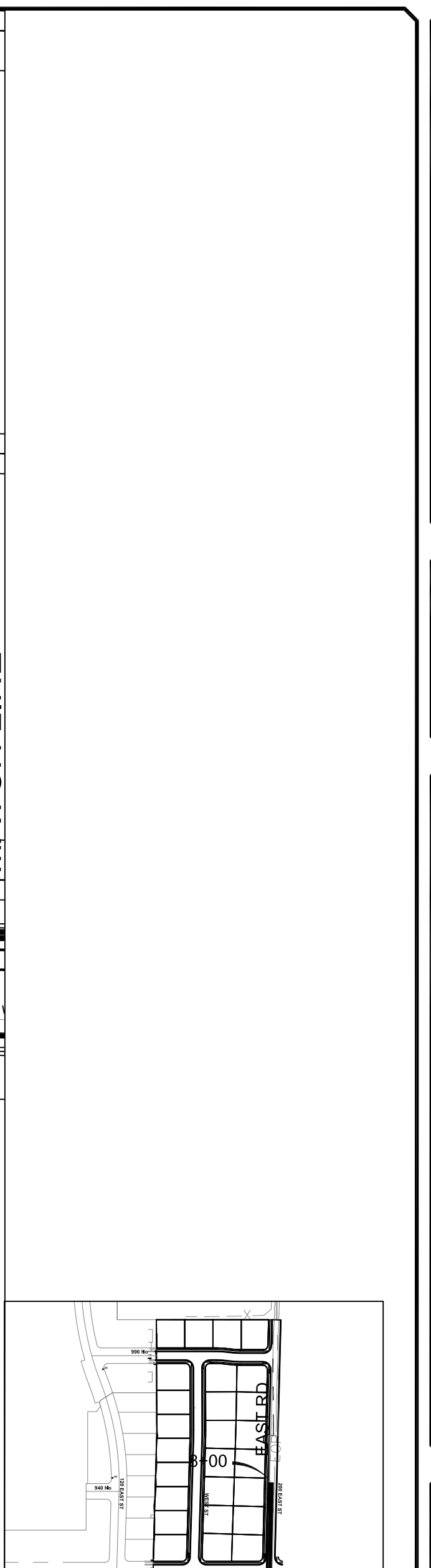
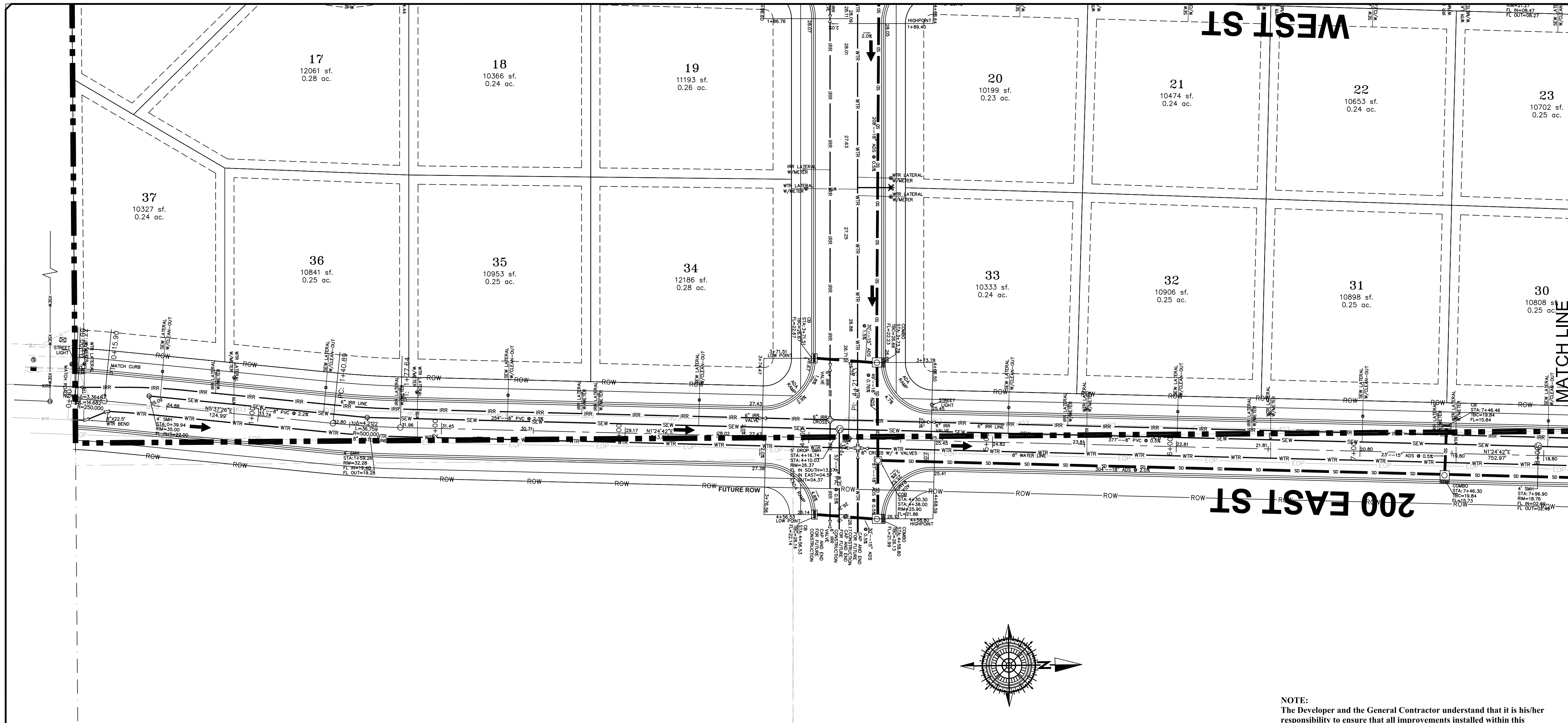
**STRATTON ACRES
 PHASE 1
 PLAN AND PROFILE
 WEST RD 8+00 TO 12+00**

SANTAQUIN CITY

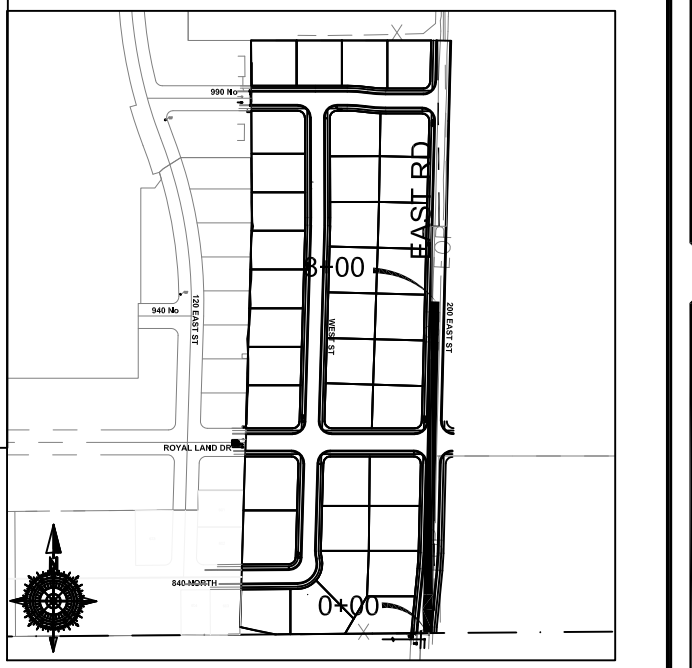


SHEET NO. PP2

5-11-2022



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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

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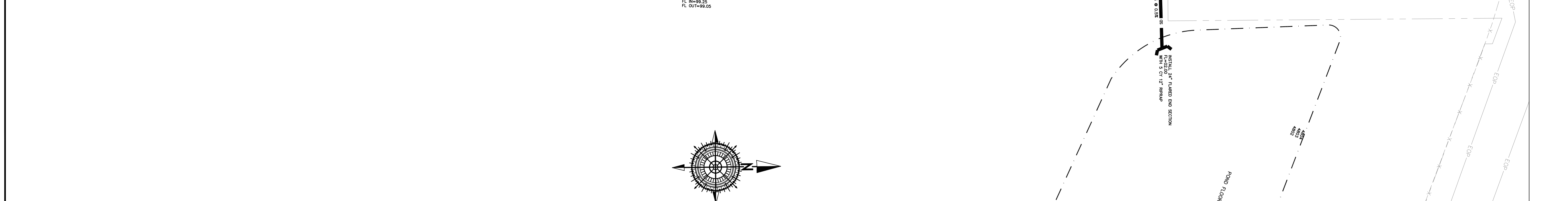
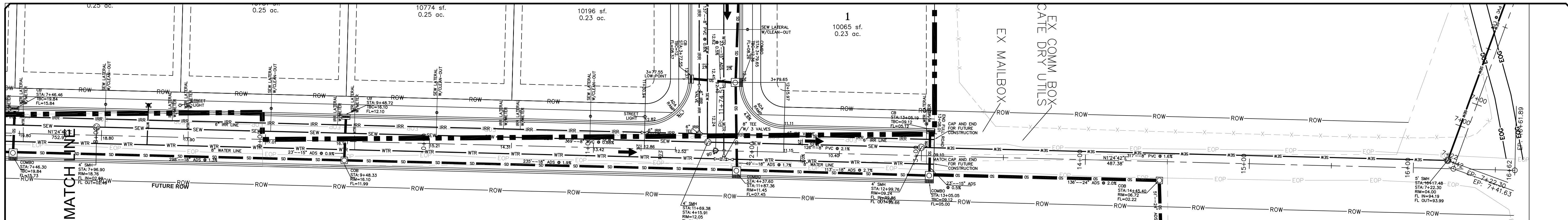
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**STRATTON ACRES
 PHASE 1
 PLAN AND PROFILE
 EAST RD 0+00 TO 8+00**

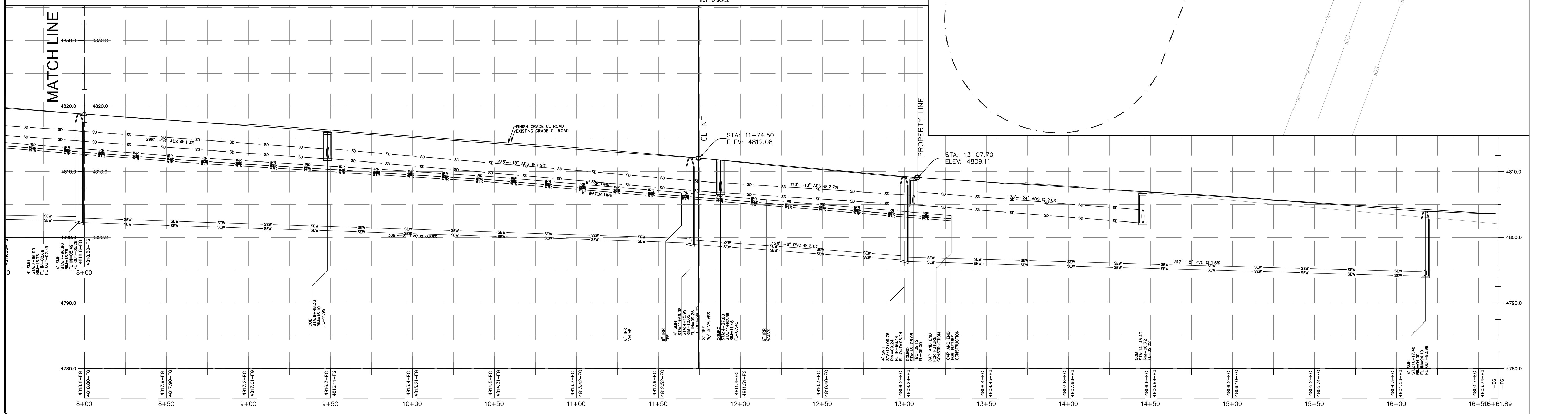
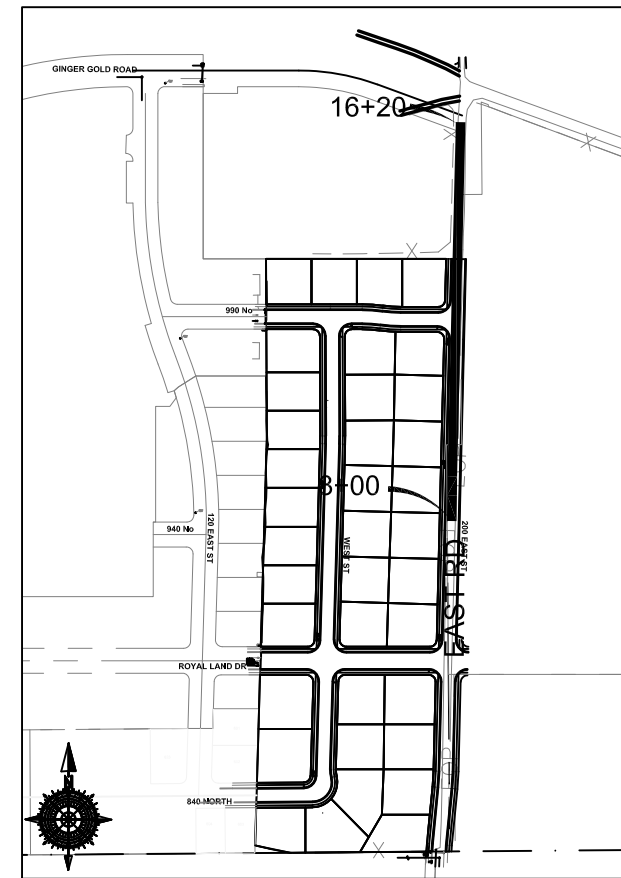
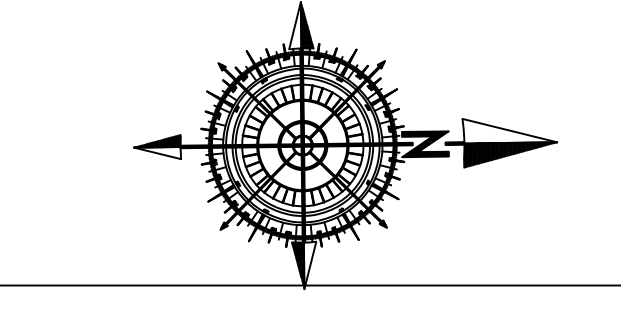
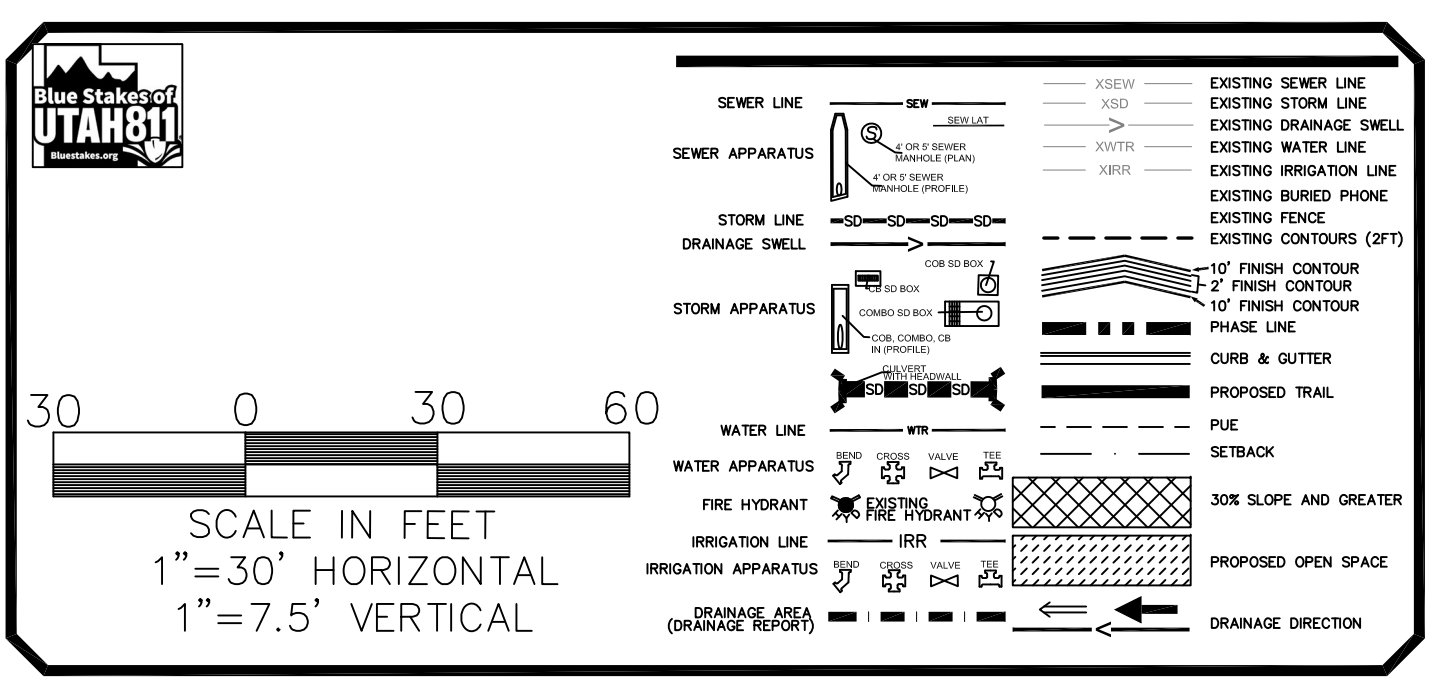
5-11-2022

SANTAQUIN CITY

SHEET NO. **PP3**



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NO.	DESCRIPTION	DATE	APP'D

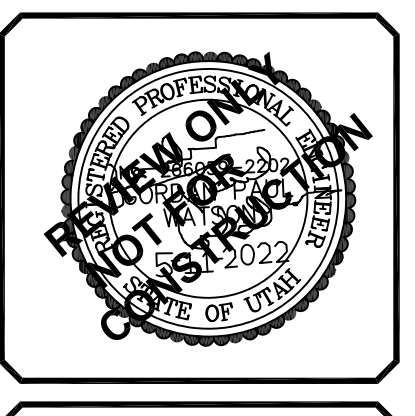
ORIG. DATE: 2-6-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

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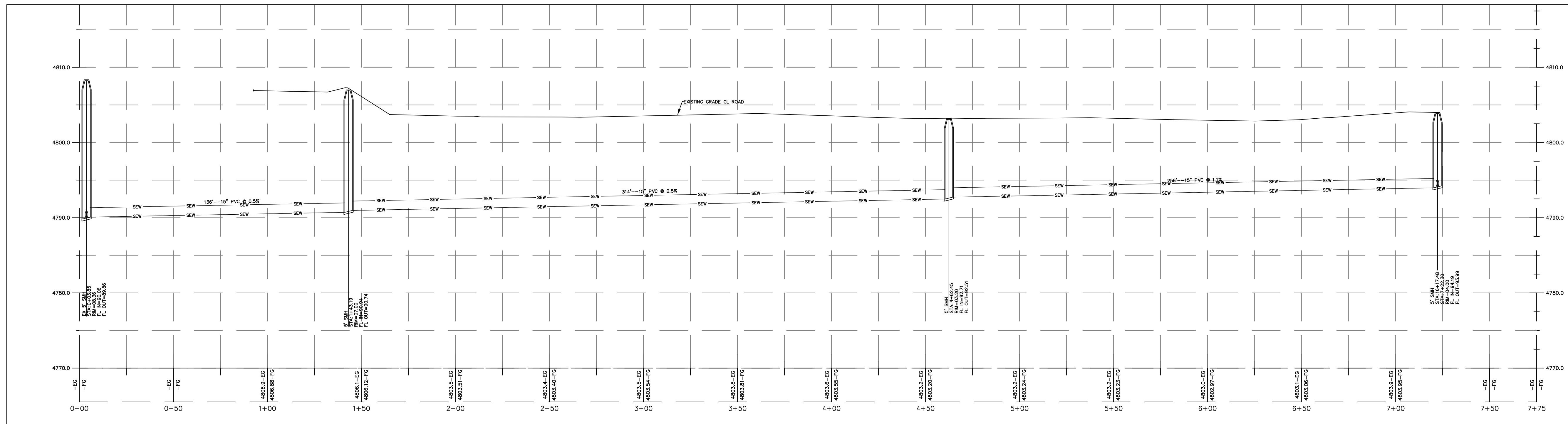
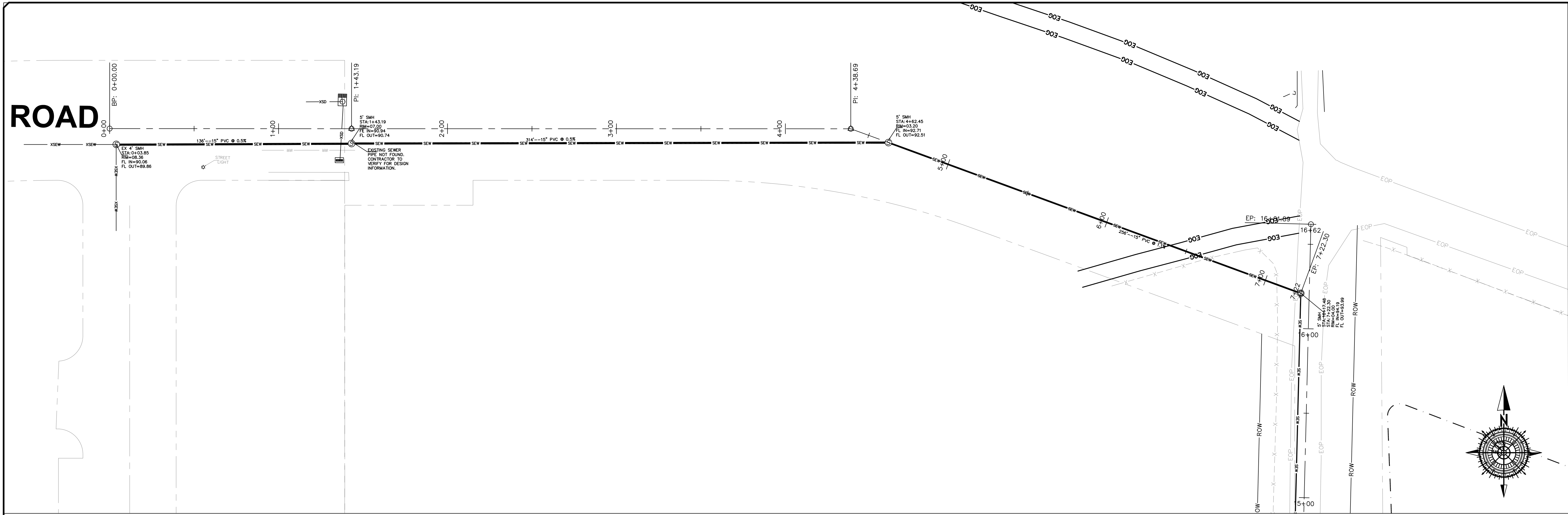
**STRATTON ACRES
 PHASE 1
 PLAN AND PROFILE
 EAST RD 8+00 TO 16+50**

5-11-2022

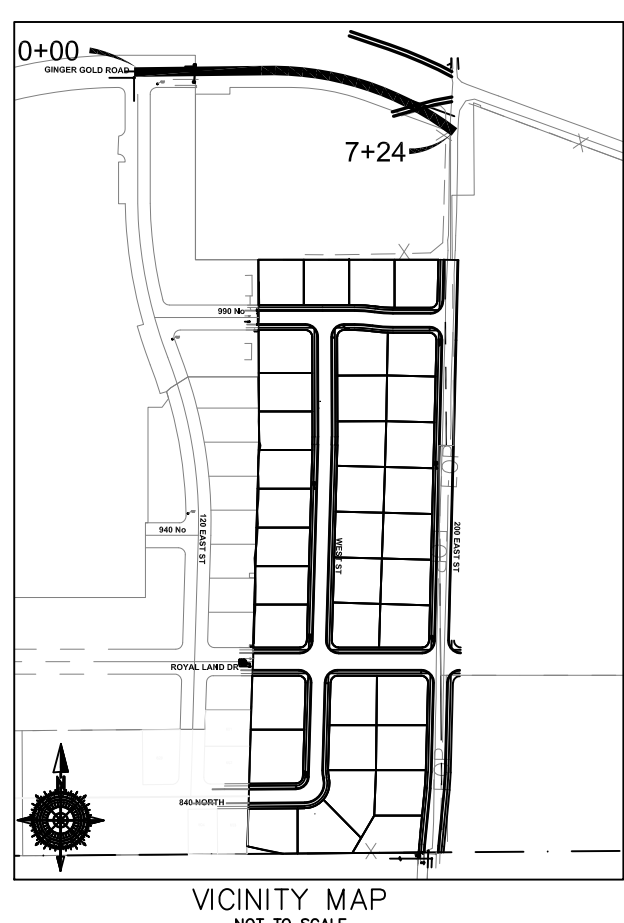
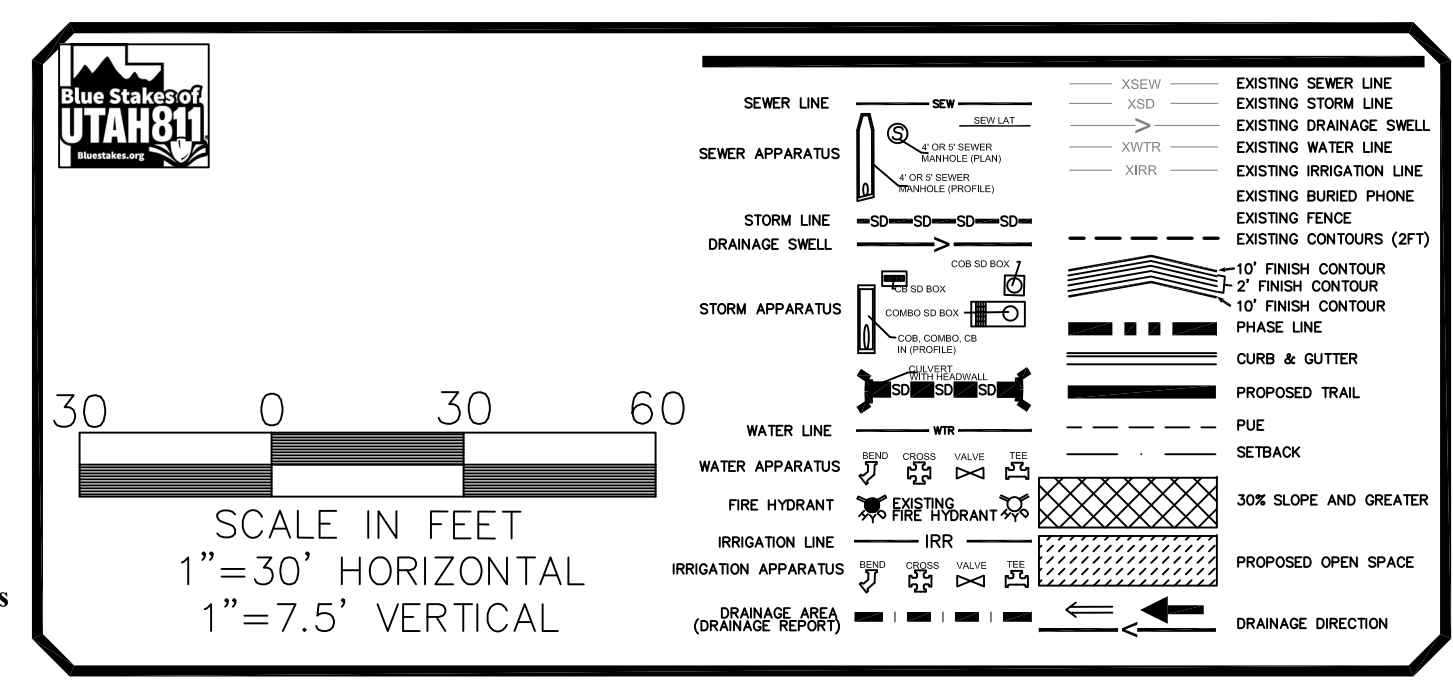
SANTAQUIN CITY



SHEET NO. PP4



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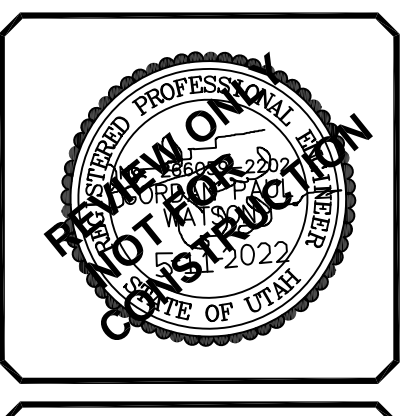
NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
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 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

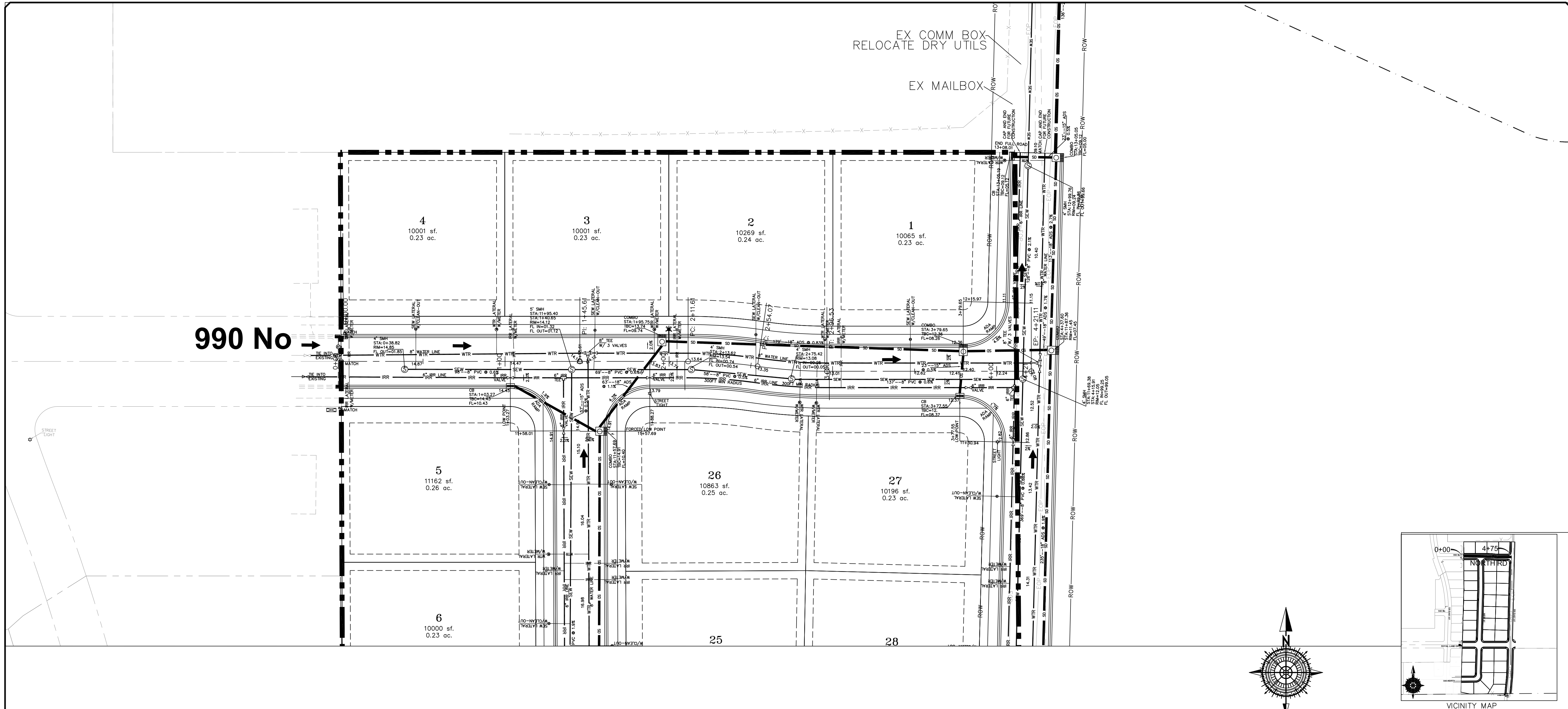
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**STRATTON ACRES
 PHASE 1**
 GINGER GOLD (OFF SITE)
 0+00 TO 7+50
 5-11-2022

SANTAQUIN CITY



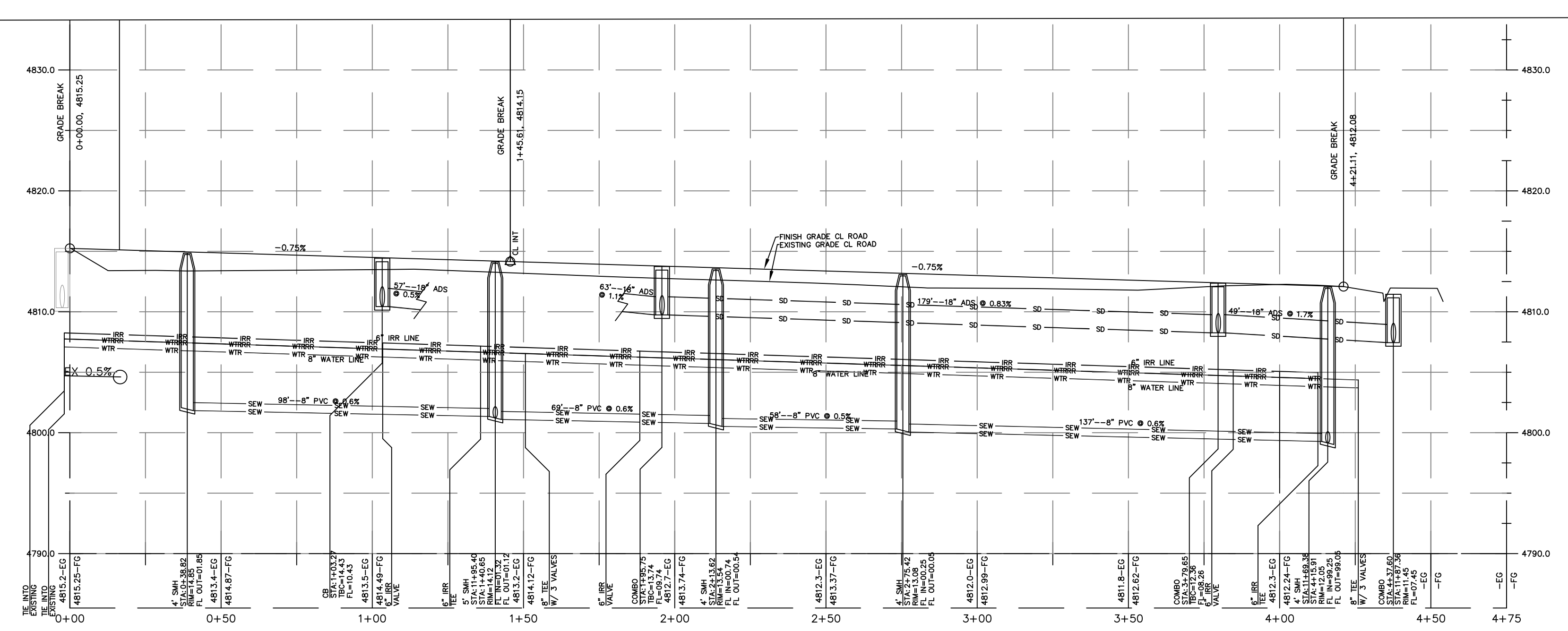
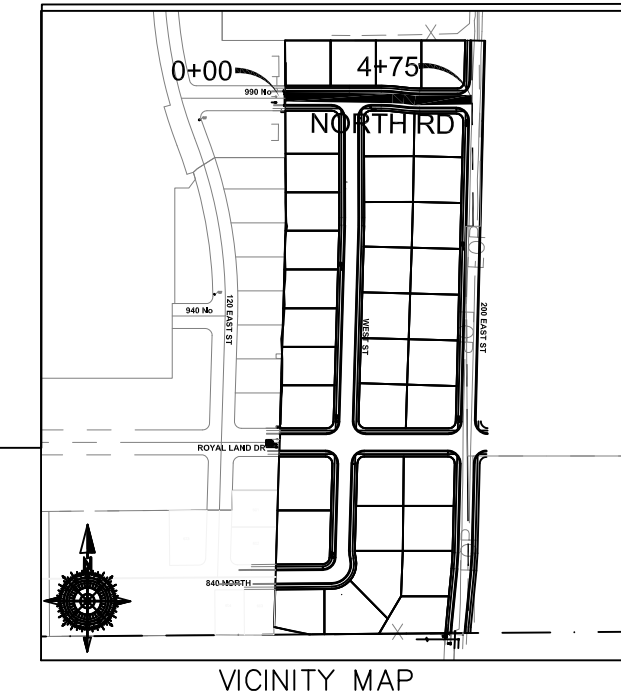
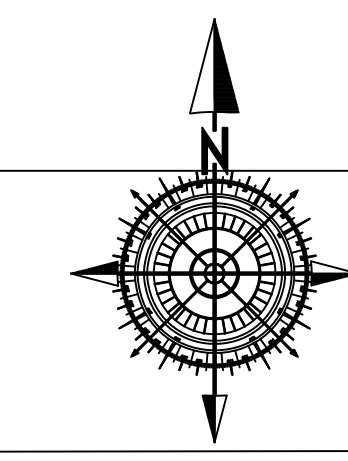
SHEET NO. PP5



990 No

EX COMM BOX
RELOCATE DRY UTILS

EX MAILBOX



SCALE IN FEET
1" = 30' HORIZONTAL
1" = 7.5' VERTICAL

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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
SURVEY BY: OPW
DRAWN BY: OPW
DESIGNED BY: OPW
CHECKED BY: OPW
SCALE: 1"=30'

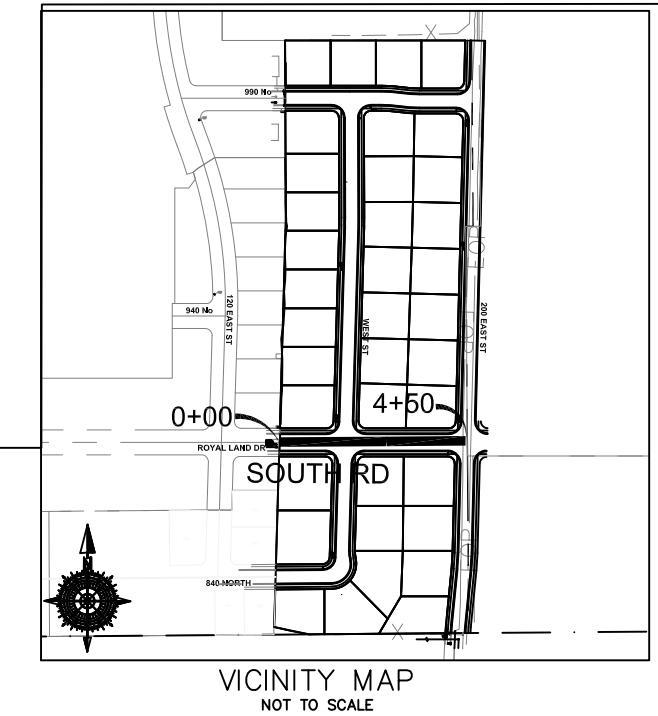
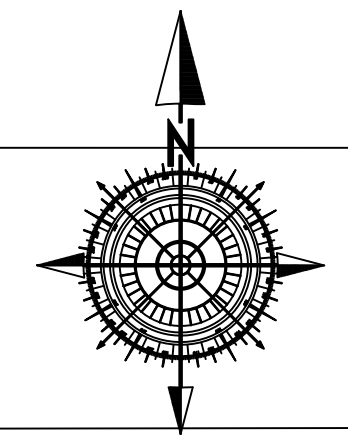
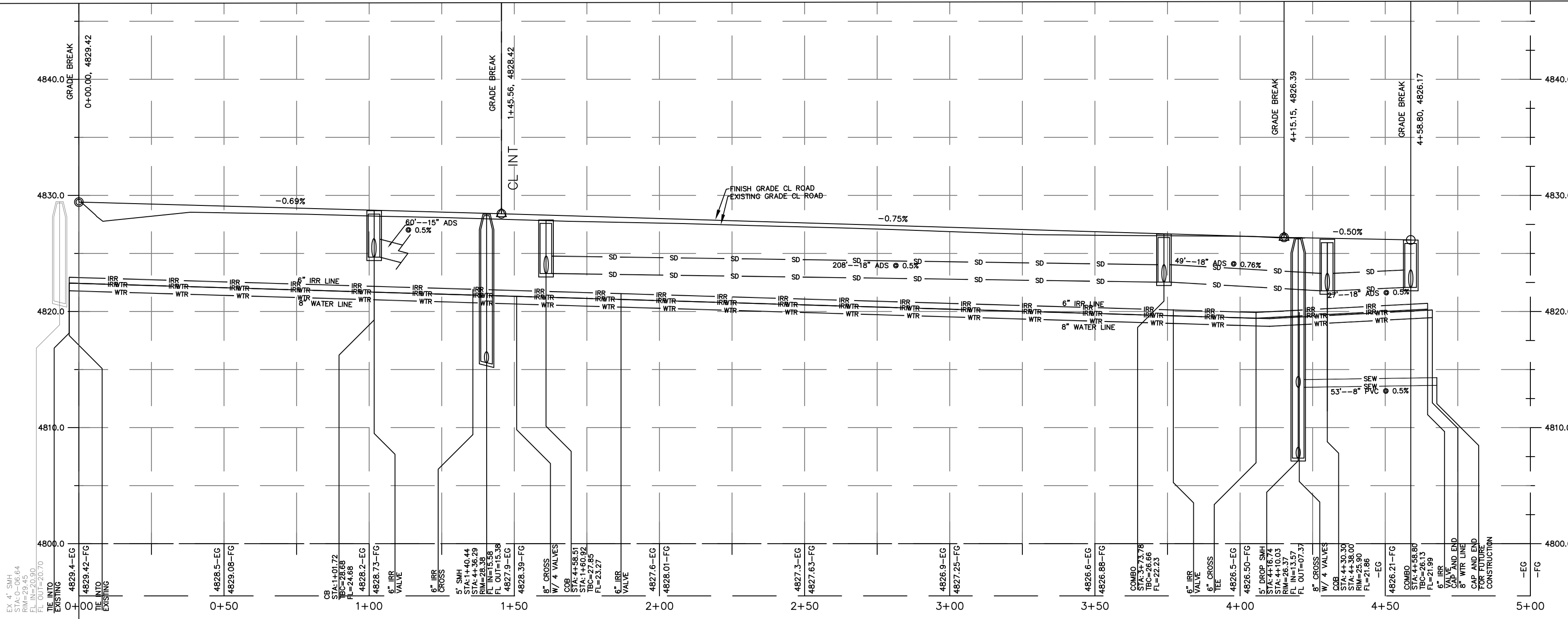
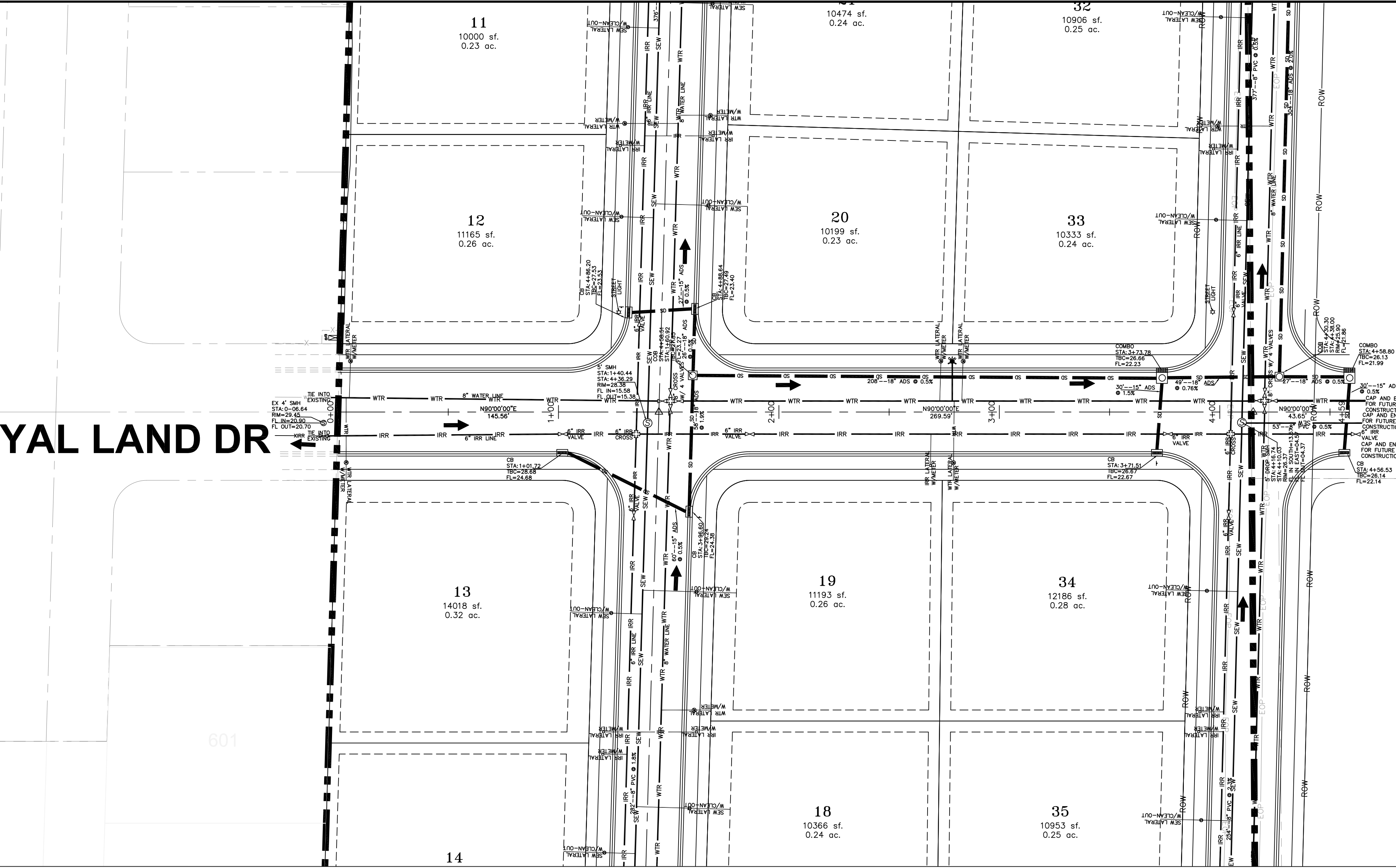
GATEWAY CONSULTING, Inc
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paul@gatewayconsultingllc.com

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CONSTRUCTION MANAGEMENT

**STRATTON ACRES
PHASE 1
PLAN AND PROFILE
NORTH RD 0+00 TO 4+75**

SANTAQUIN CITY

ROYAL LAND DR



LEGEND
SEWER LINE
SEWER APPARATUS
STORM LINE
STORM APPARATUS
WATER LINE
WATER APPARATUS
FIRE HYDRANT
PROPOSED OPEN SPACE

SCALE IN FEET
1" = 30' HORIZONTAL
1" = 7.5' VERTICAL

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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
SURVEY BY: OPW
DRAWN BY: OPW
DESIGNED BY: OPW
CHECKED BY: OPW
SCALE: 1"=30'

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CIVIL ENGINEERING * CONSULTING * LAND PLANNING
CONSTRUCTION MANAGEMENT

STRATTON ACRES
PHASE 1
PLAN AND PROFILE
SOUTH RD 0+00 TO 4+50
5-11-2022

SANTAQUIN CITY

EX CANAL

RETENTION BASIN

FUTURE SCHOOL SITE

PROPERTY LINE

SCALE IN FEET
1" = 50' HORIZONTAL
24X36 SHEETS

LEGEND

STORM LINE	EXISTING SEWER LINE	EXISTING STORM LINE
SILT FENCE	EXISTING WATER LINE	EXISTING WATER LINE
INLET PROTECTION	EXISTING BRUSH LINE	EXISTING CONTOUR (2 FT)
CHECK DAM	EXISTING CURB OF ASPHALT	EXISTING FENCE
	EXISTING OVERHEAD POWER	EXISTING OVERHEAD POWER
	10' FINISH CONTOUR	2' FINISH CONTOUR
	10' FINISH CONTOUR	2' FINISH CONTOUR
	PHASE LINE	PHASE LINE
	CURB & GUTTER	CURB & GUTTER
	STORM LINE	STORM APPARATUS

FUTURE PHASE
NOT A PART OF THIS
SUBMITTAL

200 EAST ST

WEST ST

EXISTING SUBDIVISION

120 EAST ST

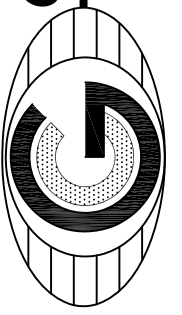
940 No

ROYAL LAND DR

840 NORTH

EXISTING SUBDIVISION

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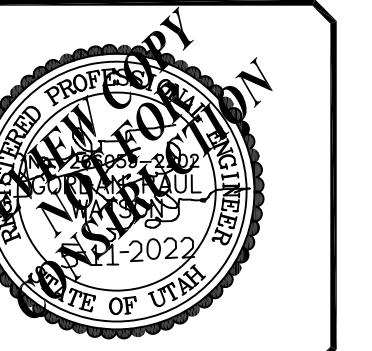


CIVIL ENGINEERING * LAND PLANNING
CONSTRUCTION MANAGEMENT

STRATTON ACRES
PHASE 1
STORM WATER POLLUTION
PREVENTION PLAN

PRINT DATE: 5-11-2022

SANTAQUIN
CITY



SHEET NO. SWPPP

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DAD

NO.	DESCRIPTION	DATE	APPD.

ORIG. DATE: 2-8-21
 SURVEY BY: GPM
 DRAWN BY: GPM
 DESIGNED BY: GPM
 CHECKED BY: GPM
 SCALE: 1"=100'

GENERAL EROSION CONTROL NOTES

DURING CONSTRUCTION

- GENERAL EROSION CONTROL NOTES:
 1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.
2. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF THE SATAQUIN CITY PUBLIC WORKS DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL DEVICES UPON INSPECTION OF PROPOSED FACILITIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREETS CLEAN AND FREE FROM DEBRIS FROM TRAFFIC FROM THE SITE.
4. ALL STORM DRAIN FACILITIES ON SITE AND ADJACENT TO THE SITE NEED TO BE PROTECTED FROM SITE RUNOFF. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY UPON INDIVIDUAL INLETS BECOMING FUNCTIONAL.
5. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED, SEEDED WITH NATIVE VEGETATION, OR LANDSCAPED. REFER TO LANDSCAPE PLANS FOR SEED MIX. AND PLANTING SPECIFICATIONS.
6. EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING ARE IN PLACE. EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATIONS. EROSION CONTROL IN PROPOSED PAVEMENT AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE.
7. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY AND REMOVED WHEN THE SITE IS PAVED.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE.
9. BLOWING DUST MUST BE CONTROLLED AT ALL TIMES. INSTALLATION OF A SILT SCREEN AND SITE WATERING SHALL BE USED TO CONTROL DUST, THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT.
11. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
12. ALL MEASURES CONTAINED IN THIS PLAN MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT. ANY NEEDED CLEANING AND REPAIRS NEED TO BE DONE IMMEDIATELY UPON DISCOVERY.
13. ALL UTILITY LINES SHALL BE CLEANED OF DIRT AND DEBRIS PRIOR TO BEING PUT IN TO SERVICE. DOWNGRADE LINES MUST BE PROTECTED FROM WASH-WATER DURING THE CLEANING TO AVOID CONTAMINATION AND COMPROMISING OUTFALL CLEANLINESS.

ADDITIONAL EROSION CONTROL NOTES

POST CONSTRUCTION

1. THE CUT SLOPES ARE PROGRAMMED AS SHOWN. TOPS OF 3:1 & 2:1 CUTS THAT OCCUR IN TOP SOIL WILL BE ROUNDED TO BLEND INTO NATURAL TERRAIN.
2. EXCAVATED MATERIAL TO BE STOCKPILED IN AREAS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR, COUNTY REVIEW ENGINEER AND COUNTY INSPECTOR.
3. CONTRACTOR SHALL CONFINE CONSTRUCTION ACTIVITY TO AREAS WITHIN THE FLAGGED LIMITS OF DISTURBANCE AND AS SHOWN ON THE PLANS AND WITHIN FIELD DESIGNATED STORAGE, STAGING ACCESS. CONSTRUCTION AND MATERIAL WASTE AREAS AS APPROVED BY THE CITY ENGINEER.
4. CONTRACTOR SHALL ABIDE BY EROSION CONTROL REQUIREMENTS AS SET FORTH HEREIN.
5. ORGANIC MATERIALS WILL BE SEPARATED, REMOVED FROM THE ROAD BEDS AND STOCKPILED IN LOCATIONS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR AND COUNTY INSPECTOR. NO ORGANIC MATERIAL WILL BE PLACED IN THE STRUCTURAL FILLS AREA.
6. AFTER CLEARING AND GRUBBING OPERATIONS, TOPSOIL IS TO BE STOCKPILED IN AREAS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR, COUNTY REVIEW ENGINEER AND COUNTY INSPECTOR. NO ORGANIC MATERIAL OR ROCK LARGER THAN 24" WILL BE PLACED IN ROADWAY FILLS. 12" MINUS IN TOP 1' OF ROADWAY.
7. NO BRUSH OR TOPSOIL SHALL BE STOCKPILED WITHIN THE ROADWAY RIGHT OF WAYS.
8. ALL FILL SLOPES WILL BE GRADED AS SHOWN OR AS DETERMINED BY A GEOTECHNICAL ENGINEER. COMPACTION OF EMBANKMENT FILLS WILL BE CONSTRUCTED TO SATAQUIN CITY ROADWAY STANDARDS. FILL AREAS SHALL BE CLEARED, GRUBBED, STRIPPED OF SOIL AND SCARIFIED PRIOR TO PLACEMENT OF SUITABLE EMBANKMENT MATERIAL.
9. ALL DISTURBED AREAS WILL BE REVEGETATED ACCORDING TO REVEGETATION / EROSION CONTROL NOTES WITH A GRASS MIXTURE AS FOLLOWS APPLIED AT A MINIMUM RATE OF 50 LBS. PLS (PURE LIVE SEED PER ACRE WITH MIX)
- | NATIVE GRASSES | |
|----------------|---------------------------------------|
| % Pure | Gross Type |
| 20.00 | Hard fescue |
| 15.00 | Pubescent wheat grass |
| 15.00 | Orchard grass (sod forming) |
| 15.00 | smooth brom grass |
| 20.00 | Stream bank wheat grass (sod forming) |
| 15.00 | Western wheat grass |
- TOPSOIL SHALL BE PLACED TO A DEPTH OF 6" ON ALL CUT AND FILL SLOPES 3:1 OR FLATTER. REVEGETATION AREAS WILL BE SEEDED AND MULCHED AS SOON AS POSSIBLE AFTER CONSTRUCTION COMPLETION.
10. SILT FENCING WILL BE HELD IN PLACE WITH 2 X 2 STAKES AND WILL BE PLACED ON THE DOWNHILL SIDES OF ALL DISTURBED AREAS AND AREAS USED FOR STOCKPILING AND TRENCHED INTO GROUND.
11. THE SILT FENCING SHALL BE INSTALLED BEFORE CLEARING AND GRUBBING AT THE TOE OF THE DISTURBED DOWNHILL SLOPE. NO GRUBBED AREA SHALL BE WITHOUT SILT FENCE PROTECTION FOR LONGER THAN 24 HOURS. THE SILT FENCE SHALL BE MONITORED AND REPLACED IF NECESSARY.
12. ALL SITE DRAINAGE SHALL BE ADEQUATELY PROVIDED FOR DURING CONSTRUCTION.
13. NATURAL VEGETATION WILL BE PRESERVED AND PROTECTED AS MUCH AS POSSIBLE AND VEGETATION REMOVAL WILL BE MINIMIZED.
14. DRAINAGE WAYS AND OUTLETS WILL BE PROTECTED FROM INCREASED FLOWS AND EROSION.
15. THE CONTRACTOR SHALL NOTIFY ALL OWNERS OF UTILITIES INCLUDING BUT NOT LIMITED TO WATER, SANITARY SEWER, TELEPHONE, ELECTRICAL, NATURAL GAS AND CABLE TELEVISION, OF THE PROPOSED CONSTRUCTION WITHIN THE UTILITIES AREA OF OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR MEETING WITH AND COORDINATING CONSTRUCTION ACTIVITIES WITH THOSE OF THE UTILITY COMPANIES INVOLVED WITH FIELD LOCATION OF ALL EXISTING UTILITIES WITHIN THE AREA OF OPERATIONS. SHOULD THE CONTRACTOR EXPERIENCE A FAILURE BY THE UTILITY COMPANIES TO COMPLY WITH THEIR RESPONSIBILITY OF RELOCATING OR ADJUSTING THEIR FACILITIES, IF ANY, THE OWNER MUST BE NOTIFIED IN WRITING. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
16. THE CONTRACTOR SHALL FOLLOW AS APPLICABLE, UNLESS STANDARDS HAVE BEEN WAIVED OR MODIFIED:
 - UNIFORM BUILDING CODE, 1997 EDITION, APPENDIX CHAPTER A33, EXCAVATING AND GRADING
 - UNIFORM FIRE CODE

17. FINISH GRADES ARE AT ROADWAY CENTERLINE, UNLESS OTHERWISE SPECIFICALLY NOTED.
18. NATIVE MATERIAL CAN BE CRUSHED AND PROCESSED ON SITE FOR ROAD BASE MATERIAL.
19. TEMP. DEBRIS PILES WILL BE LOCATED EVERY 200' AS NEEDED.
20. ALL ROADWAYS, TRENCHES, DETENTION PONDS AND/OR EXCAVATIONS OF ANY KIND REQUIRING FILL MATERIAL WILL BE INSPECTED AND APPROVED BY THE OWNERS QUALITY CONTROL FIRM PRIOR TO THE PLACEMENT OF ANY FILL MATERIAL.
21. ALL FILL OR BACK FILL, WHETHER IMPORT OR NATIVE SOILS, WILL BE TESTED FOR DENSITY, MOISTURE AND BEARING AT REGULAR INTERVALS THROUGH THE COURSE OF THE FILL PLACEMENT. ALL FILLS WILL BE PLACED IN LIFTS AS PER THE PLANS AND SATAQUIN CITY SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE TO NOTIFY THE GEOTECH 24 HOURS IN ADVANCE OF SCHEDULED FILL PLACEMENT.
22. IN THE EVENT OF DISCREPANCIES BETWEEN BID DOCUMENTS AND EXISTING ONSITE CONDITIONS, CONTRACTOR WILL 1) IMMEDIATELY HALT WORK ACTIVITY AND NOTIFY DESIGN ENGINEER OF ANY SUCH DISCREPANCIES 2) UPON RESOLUTION OF DISCREPANCIES, CONTRACTOR WILL SUBMIT COST OF CHANGED CONDITION, IF ANY. 3) PROCEED WITH WORK AFTER RECEIPT OF WRITTEN NOTICE TO COMMENCE WORK.
23. CONTRACTOR WILL, PRIOR TO INSTALLATION PREPARE AND SUBMIT PRODUCT DATA AND DETAILS FOR MATERIAL USED IN CONJUNCTION WITH THIS PRODUCT I.E. OVERFLOW STRUCTURES, DRAINAGE PIPE, FILTER FABRICS, EROSION BLANKETS, GROUT, GUARDRAILS, ROAD SIGNS, ETC.
24. CUT AND FILL SLOPES MATTING TO BE SEEDED AND TOPSOILED PRIOR TO PLACEMENT OF EROSION BLANKETS.
25. STAPLE PATTERNS ON EROSION MATS PER SUPPLIERS SPECS

EROSION CONTROL BLANKET – ALL REQUIRED GRADING AND SEEDING IN AREAS TO RECEIVE EROSION CONTROL BLANKET SHOULD BE COMPLETED AND APPROVED BEFORE PLACING THE PRODUCT. APPLY THE BLANKET WITHIN 24 HOURS AFTER SEEDING OR BEFORE PRECIPITATION FALLS. IF THE BLANKET IS NOT INSTALLED AND A PRECIPITATION EVENT OCCURS, CREATING SOIL EROSION, REPLACE ERODED MATERIAL, REWORK THE SOIL, AND RESEED BEFORE INSTALLING THE BLANKET. INSTALL THE EROSION CONTROL BLANKET OR CHANNEL LINER STRICTLY FOLLOWING MANUFACTURER'S SPECIFICATIONS. ALLOW THE BLANKET OR LINER TO LAY LOOSELY ON THE SOIL TO ACHIEVE MAXIMUM SOIL CONTACT. REMOVE ROOTS, BRANCHES, OR OTHER LOOSE OBJECTS THAT CAUSE THE BLANKET OR CHANNEL LINER TO "TENT". PLACE ROOTS AND BRANCHES ON AREAS ALREADY BLANKETED. DO NOT STRETCH THE BLANKET DURING INSTALLATION. STAPLE THE BLANKET OR LINER USING MANUFACTURER'S SPECIFICATIONS. STAPLE REQUIREMENTS VARY ACCORDING TO THE STEEPNESS AND LENGTH OF THE SLOPE. PLACE ADDITIONAL STAPLES IN AREAS SUCH AS: SWALES, BASE OF HUMPS, AGAINST ROCK OUTCROPS AND AS REQUIRED TO ACHIEVE MAXIMUM CONTACT BETWEEN THE BLANKET AND THE SOIL.

TOPSOIL – PLACE TOPSOIL JUST BEFORE SEEDING TO ELIMINATE COMPETITION FROM WEEDS, COORDINATE TOPSOIL PLACEMENT WITH THE SEEDING WINDOW.

SEEDING WINDOW – COMPLETE ALL GENERAL DISTURBED AREA SEEDING WITHIN THE APPROPRIATE SEEDING WINDOW. IF THE SEEDING IS NOT COMPLETED WITHIN THE GIVEN WINDOW, POSTPONE SEEDING UNTIL THE FOLLOWING YEAR. UNDER CERTAIN CONDITIONS, AN EXCEPTION TO THIS WINDOW MAY BE OBTAINED THROUGH THE REGION LANDSCAPE ARCHITECT. THE ENGINEER APPROVES EXCEPTIONS.

ELEVATION	SEEDING WINDOW
4000 TO 6000 FT	SEPT. 15 TO DEC. 1
ABOVE 6000 FT	SEPT. 1 TO NOV 15

NO.	DESCRIPTION	DATE	APP'D

2-8-21

ORIG. DATE: 2-8-21

SURVEY BY: _____

DRAWN BY: _____

DESIGNED BY: _____

CHECKED BY: _____

SCALE: _____

GPW

GPW

GPW

N/A


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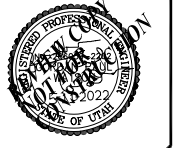


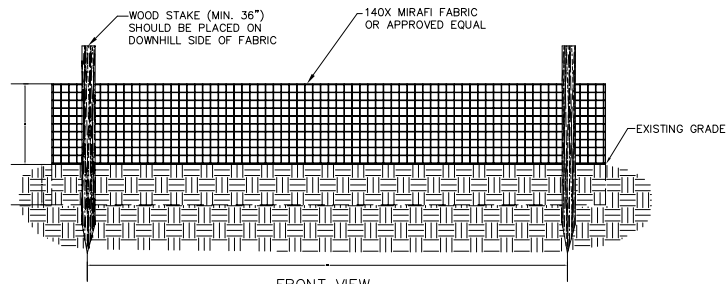
STRATTON ACRES PHASE 1

EROSION CONTROL DETAILS and NOTES

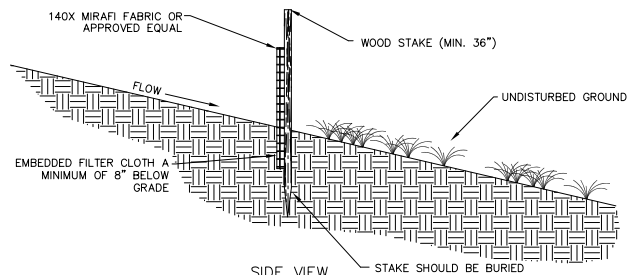
5-11-2022

SATAQUIN CITY



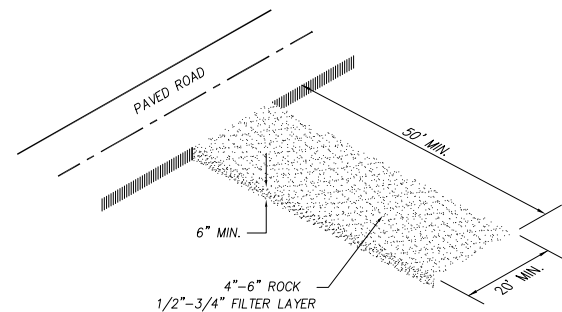


FRONT VIEW



SIDE VIEW

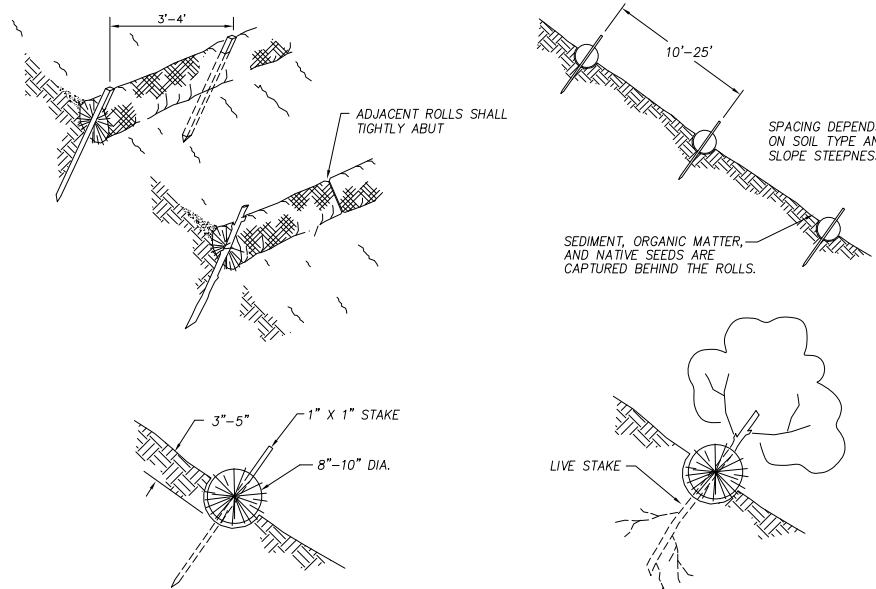
SILT FENCE DETAIL
NOT TO SCALE



NOTES:

- 1-CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%
- 2-COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN IN USE FOR MORE THEN 3 MONTHS)
- 3-PLACE COURSE AGGREGATE 1 TO 2-INCHES SIZE TO A MINIMUM DEPTH OF 8 INCHES
- 4-DAILY INSPECTIONS ARE REQUIRED FOR LOSS OF GRAVEL OR SEDIMENT. SWEEPING OF ASPHALT ROADWAY MAY BE REQUIRED TO ELIMINATE GRAVEL FROM TRACKED TO SURFACE.

VEHICLE TRACKING DETAIL
NOT TO SCALE



NOTES:

Straw wattles shall be installed as soon as construction will allow or when designated by the Engineer. Straw wattles shall be placed in shallow trenches and staked along the contour of disturbed or newly constructed slopes, in accordance with the Plans, perpendicular to the flow direction and parallel to the slope contour.

The wattles shall be installed at the intervals designated by the Engineer.

Trench construction and wattle installation shall begin from the base of the slope and work uphill. Excavated material shall be spread evenly along the uphill slope and compacted using hand tamping or other method approved by the Engineer. On gradually sloped or clay-type soils trenches shall be 2 to 3 inches deep. On loose soils, in high rainfall areas, or on steep slopes, trenches shall be 3 to 5 inches deep, or half the thickness of the wattle.

The wattle shall be install snugly into the trench, abutting adjacent wattles tightly, end to end, without overlapping the ends. Wattles shall be staked at each end and at 4 foot centers along their entire length. When trench conditions require, pilot holes for the stakes shall be driven through the wattle and into the soil using a straight bar. Stakes shall be driven through the middle of the wattle, leaving 2 to 3 inches of the stake protruding above the wattle.

Wattles shall be inspected regularly to ensure they remain thoroughly entrenched and in contact with the soil, and immediately after a runoff producing rainfall.

STRAW WATTLE (SILT FENCE ALTERNATIVE)
NOT TO SCALE

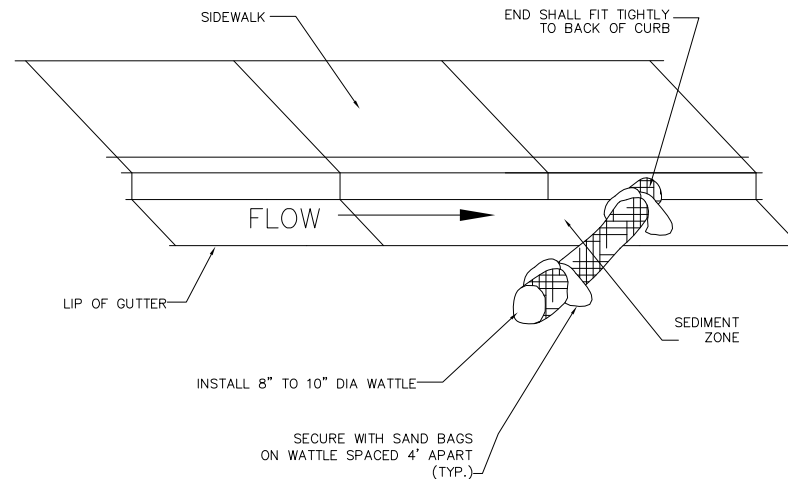
NOTE:

TYPICALLY STRAW BALES ARE NOT RECOMMENDED FOR INLET PROTECTION BARRIERS.

PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.

SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC TO BE USED TO WEIGH DOWN WATTLE IN AREAS WHERE THE WATER FLOW MAY MOVE THE WATTLE.

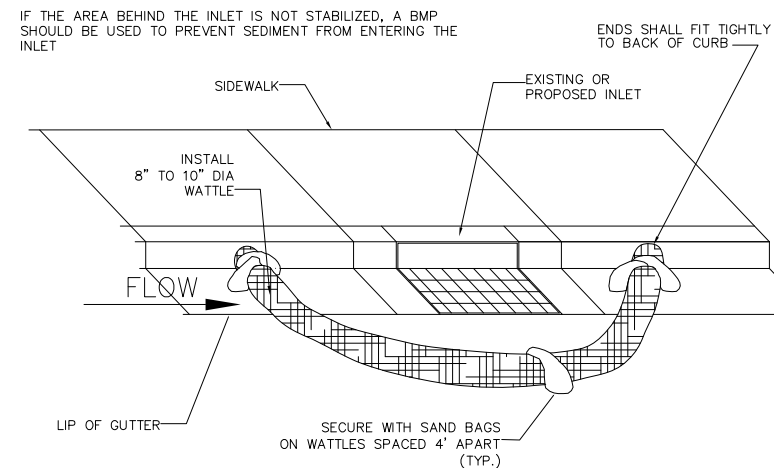
INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.



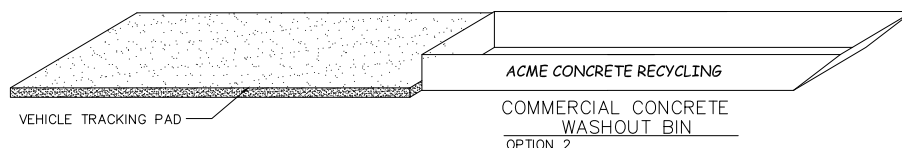
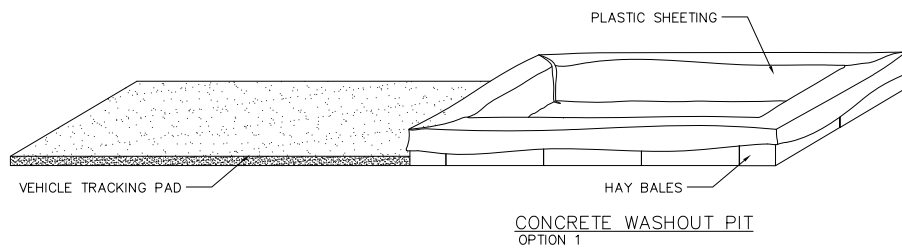
NOTE:

INSTALL GUTTER WATTLE MIDWAY BETWEEN IMPACTED INLETS AND CONSTRUCTION DISTURBANCE.

GUTTER PROTECTION SETUP



INLET PROTECTION BARRIERS
NOT TO SCALE



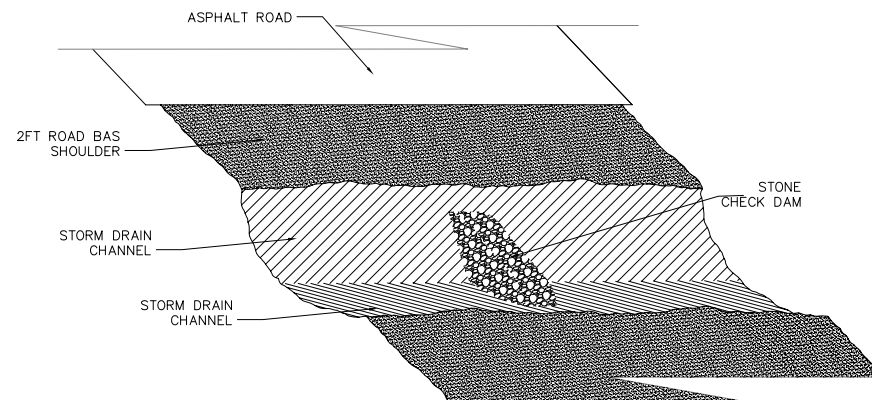
BMP

- 1-AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON SITE.
- 2-PERFORM CONCRETE TRUCK WASHOUT OFF SITE OR IN DESIGNATED AREA
- 3-DO NOT WASHOUT CONCRETE TRUCKS INTO STORM DRAIN, OPEN DITCHES, STREETS OR STREAMS
- 4-LOCATE ONSITE WASHOUT AREA MORE THEN 50 FT AWAY FROM NEAREST STORM INLET.
- 5-WASHOUT CONCRETE WASTE INTO WASHOUT PIT OR COMMERCIAL WASHOUT BIN ONLY.

USE OF CONCRETE WASHOUT

- 1-IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE CONCRETE WASHOUT AREA.
- 2-WASHOUT CONCRETE WASTE INTO PIT OR CONTAINER WHERE IT CAN SET AND LATER BE BROKEN UP AND DISPOSED OF PROPERLY
- 3-NO WASTE OR LITTER IS TO BE PERMITTED TO ACCUMULATE IN THE WASHOUT AREA. AREA SHOULD BE CLEAN AT THE END OF EACH WORK DAY.
- 4-INSTALL PROPER WASTE WATER PROTECTION AT ALL EFFECTED DOWNHILL STORM DRAINS AND INLETS
- 5-INSTALL A VEHICLE TRACKING PAD TO PROTECT THE STREETS FROM MUD AND OTHER DEBRIS FROM TRUCKS. MAKE SURE ALL TRUCKS ARE CLEAR OF MUD AND ROCK THAT CAN FALL FROM TRUCK WHILE TRAVELING ON STREETS.

CONCRETE WASHOUT AREA
NOT TO SCALE



NOTE:

- 1. PLACE A CHECK DAM AT EVERY 100 LINEAR FEET OF DRAIN CHANNEL
- 2. PLACE CHECK DAMS PERPENDICULAR TO THE FLOW LINE OF THE CHANNEL
- 3. CONSTRUCT CHECK DAMS SO THAT WATER DOES NOT FLOW AROUND THE ENDS OF THE DAM
- 4. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.

See **SATAQUIN CITY** specifications for further information.

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	N/A

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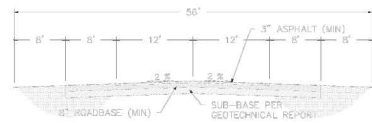
STRATTON ACRES
PHASE 1
EROSION CONTROL
DETAILS and NOTES

5-11-2022

SATAQUIN
CITY

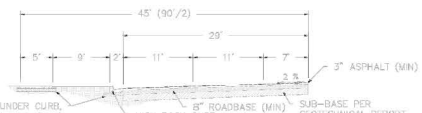


SHEET NO. **ER-2**



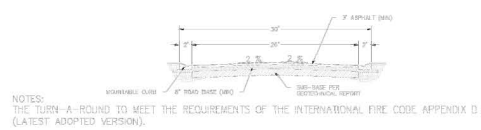
NOTES:
THE TURN-A-ROUND TO MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE APPENDIX D (LATEST ADOPTED VERSION).

55' RURAL LOCAL ROAD CROSS SECTION
NOT TO SCALE



NOTES:
1. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY REQUIRE THE ADDITION OF RIGHT TURN LANES AT INTERSECTIONS.
2. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY MODIFY THIS SECTION FOR DEVELOPMENTS WITH AVERAGE DRAINABLE SLOPE > 10%.

**5-LANE/NO PARKING
90' ARTERIAL**
NOT TO SCALE



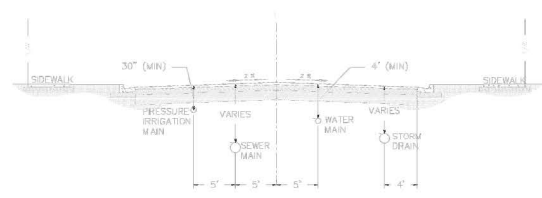
NOTES:
THE TURN-A-ROUND TO MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE APPENDIX D (LATEST ADOPTED VERSION).

26' PRIVATE STREET CROSS SECTION
NOT TO SCALE

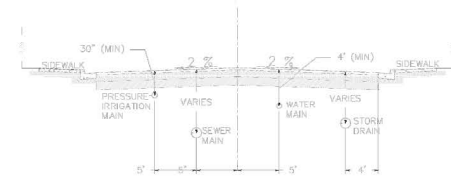
NOTES:
STANDARD ROAD CROSS SECTIONS MAY BE MODIFIED IN HILLSIDE DEVELOPMENT ZONES ACCORDING TO A DEVELOPMENT AGREEMENT.

STANDARD STREET CROSS SECTION
SANTAQUIN CITY
275 WEST MAIN STREET
CG3

NOT TO SCALE



STREET UTILITY LOCATIONS WITH PLANT STRIP

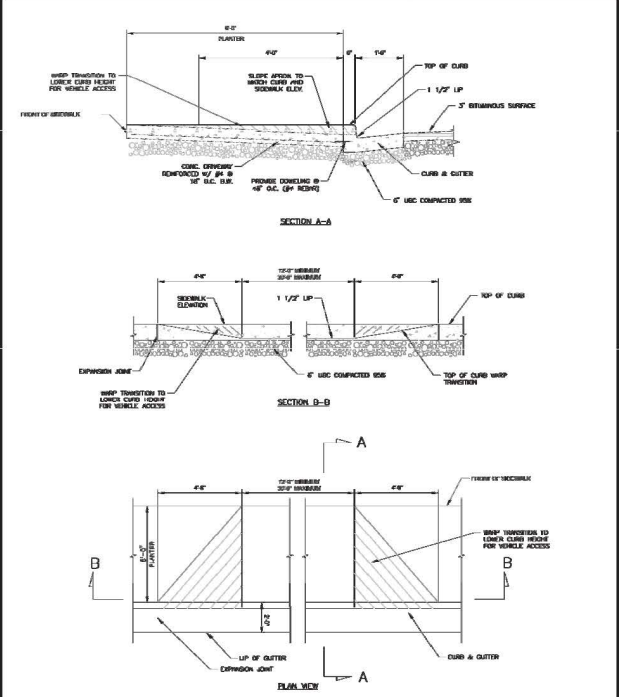


STREET UTILITY LOCATIONS SECTIONS

1. IRRIGATION MAINS SHALL BE LOCATED 10 FEET SOUTH & WEST OF CENTER OF THE STREET.
2. WATER MAINS SHALL BE LOCATED 5 FEET NORTH & EAST OF CENTER OF THE STREET.
3. SEWER MAINS SHALL BE LOCATED 5 FEET SOUTH & WEST OF THE CENTER OF THE STREET.
4. STORM DRAIN SHALL BE LOCATED 4 FEET FROM THE CURB ON NORTH & EAST SIDE OF THE STREET.
5. STORM DRAIN SHALL BE LOCATED LOWER THAN THE WATER MAIN.

STREET UTILITY LOCATIONS PROFILE VIEW
SANTAQUIN CITY
275 WEST MAIN STREET
CG4

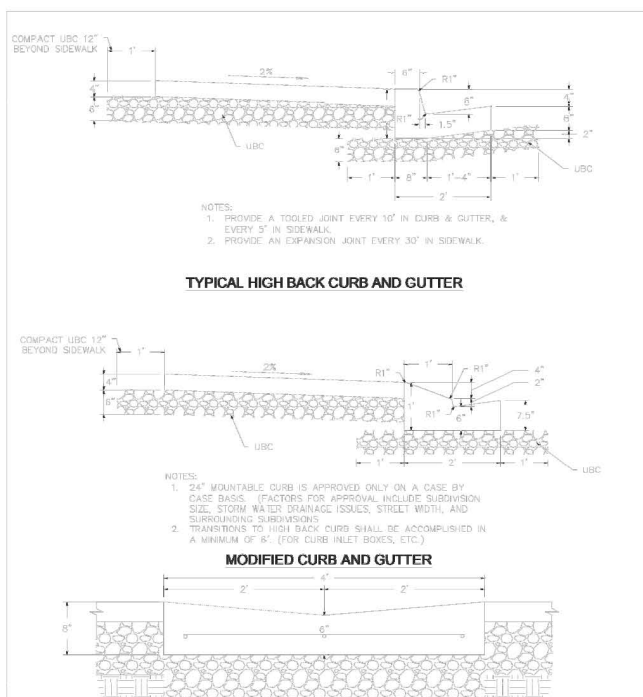
NOT TO SCALE



DRIVEWAY APPROACH WITH PARK STRIP
NOT TO SCALE

DRIVEWAY APPROACH WITH PARK STRIP
SANTAQUIN CITY
275 WEST MAIN STREET
CG3

NOT TO SCALE



TYPICAL HIGH BACK CURB AND GUTTER

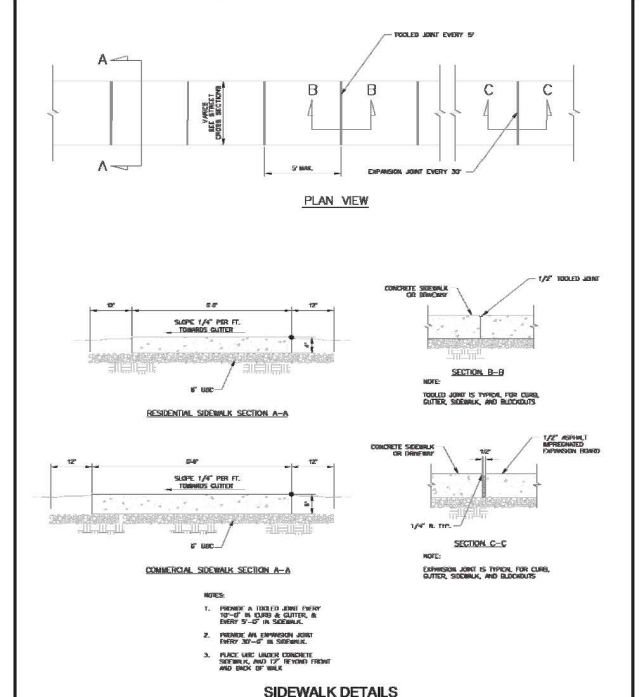
MODIFIED CURB AND GUTTER

CROSS GUTTER

CURB & GUTTER AND CROSS GUTTER DETAILS

SANTAQUIN CITY
275 WEST MAIN STREET
CG4

NOT TO SCALE



PLAN VIEW

SECTION B-B

SECTION C-C

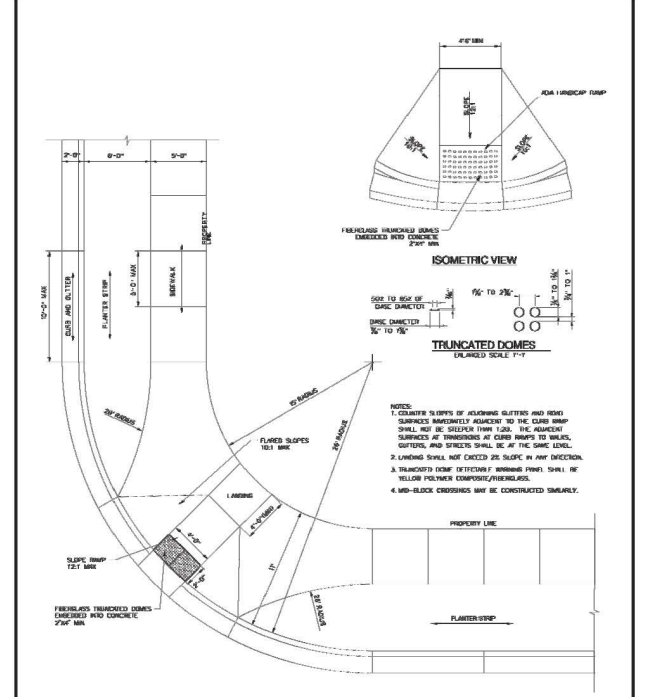
SECTION A-A

SIDEWALK DETAILS

SIDEWALK DETAILS

SANTAQUIN CITY
275 WEST MAIN STREET
CG5

NOT TO SCALE



ISOMETRIC VIEW

TRUNCATED DOME

ELEVATION VIEW

RESIDENTIAL CURB RAMP AT INTERSECTION

SANTAQUIN CITY
275 WEST MAIN STREET
CG6

NOT TO SCALE

NO.	DESCRIPTION	DATE	APP'D

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PH: (801) 694-5848
paul@gatewayconsultinginc.com

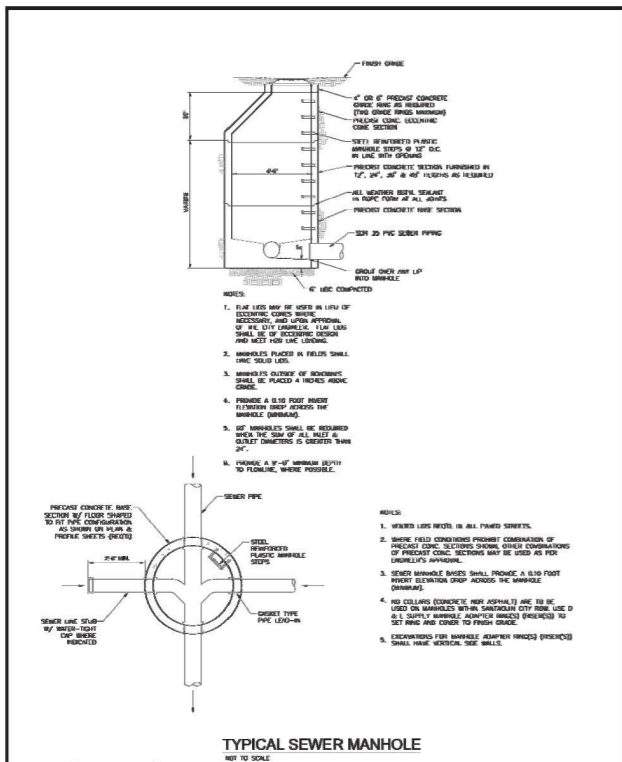
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STRATTON ACRES
PHASE 1
STREET DETAILS

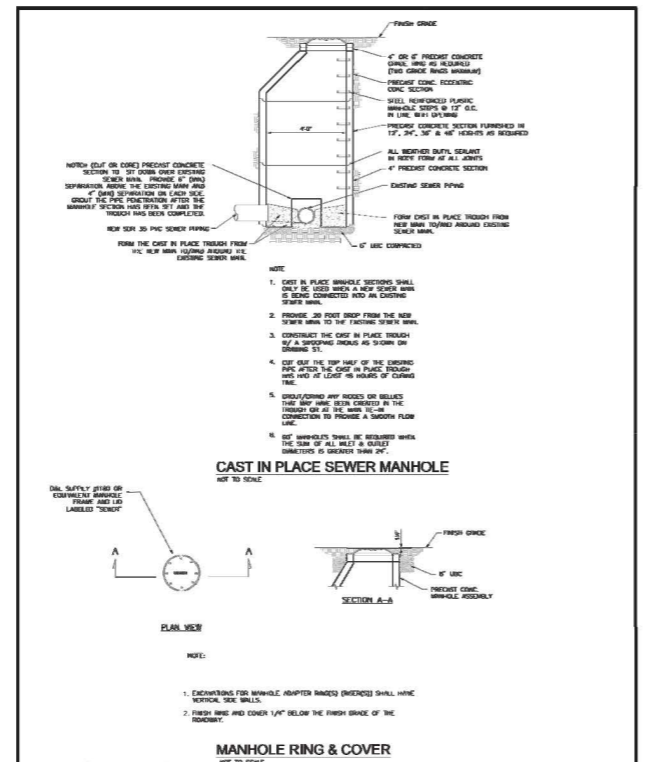
PRINT DATE: 5-11-2022

SANTAQUIN CITY

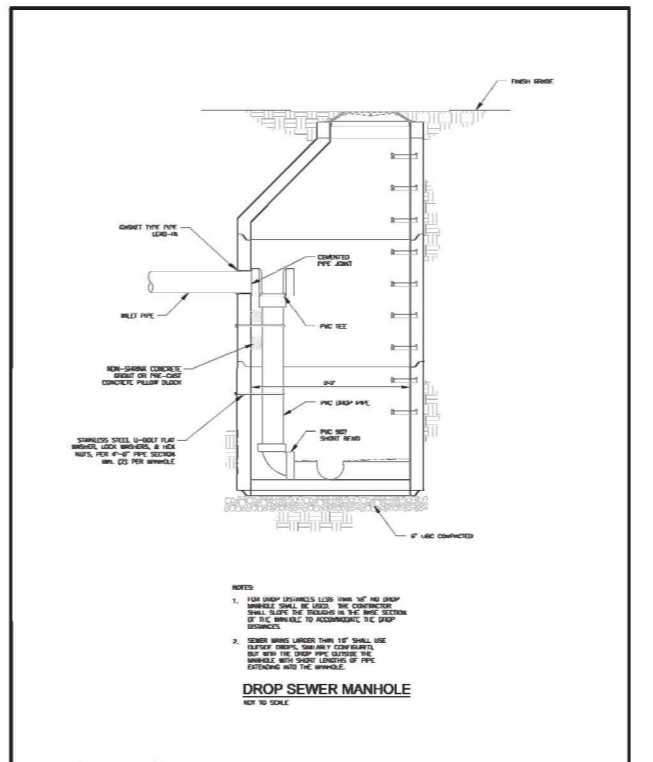




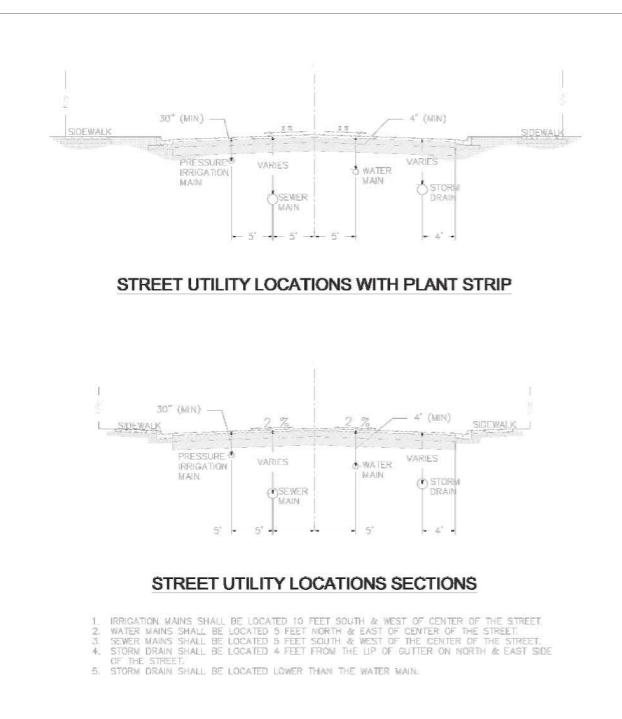
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DRAWN BY: GFW	CHECKED BY: GFW	SCALE: N/A
DESIGNED BY: GFW	DATE: 10/15/2022	



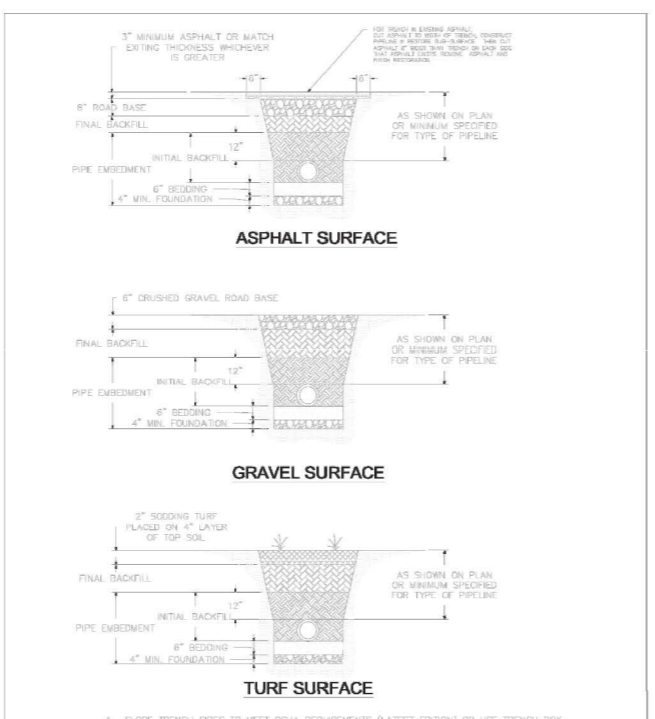
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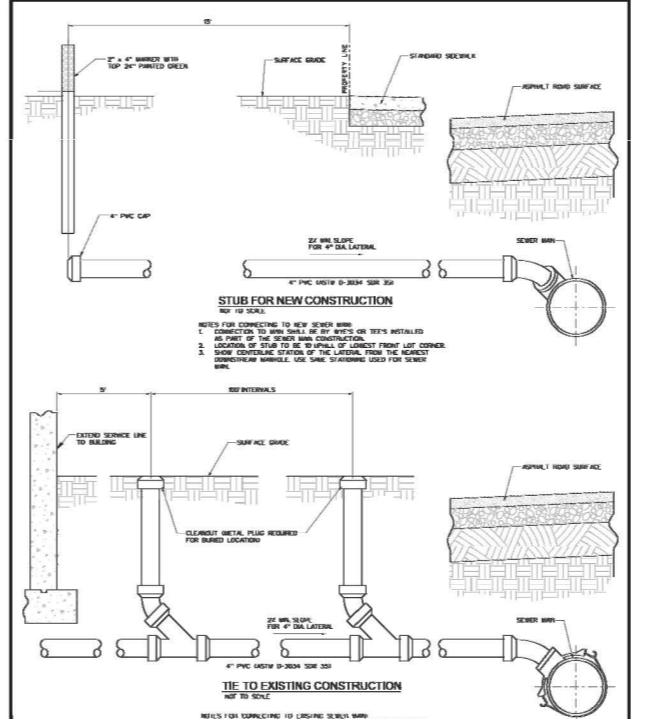
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DRAWN BY: GFW	CHECKED BY: GFW	SCALE: N/A
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DATE: 10/15/2022	PROJECT: STRATTON ACRES PHASE 1	SHEET: UT2
DRAWN BY: GFW	CHECKED BY: GFW	SCALE: N/A
DESIGNED BY: GFW	DATE: 10/15/2022	



DATE: 10/15/2022	PROJECT: STRATTON ACRES PHASE 1	SHEET: UT3
DRAWN BY: GFW	CHECKED BY: GFW	SCALE: N/A
DESIGNED BY: GFW	DATE: 10/15/2022	



DATE: 10/15/2022	PROJECT: STRATTON ACRES PHASE 1	SHEET: S2
DRAWN BY: GFW	CHECKED BY: GFW	SCALE: N/A
DESIGNED BY: GFW	DATE: 10/15/2022	

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21	SCALE: N/A
DRAWN BY: GFW	CHECKED BY: GFW
DESIGNED BY: GFW	DATE: 10/15/2022

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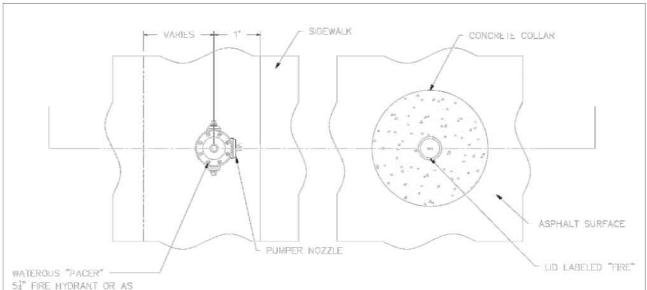
STRATTON ACRES PHASE 1 SEWER DETAILS

5-11-2022

SANTAQUIN CITY

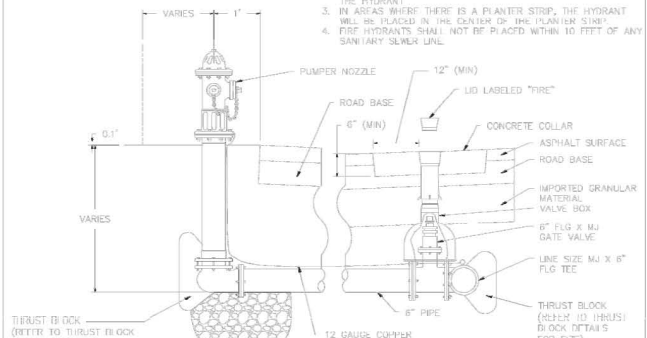


SHEET NO. D2



PLAN VIEW

- NOTES:
1. EACH HYDRANT SHALL HAVE A CLEAR ZONE OF 3 FEET ON THREE SIDES AND 6 FEET ON THE SIDE OF THE PUMP NOZZLE.
 2. HYDRANT INSTALLED WHERE THERE IS NO CURB & GUTTER SHALL HAVE BOLLARDS PLACED ON EITHER SIDE IN FRONT OF THE HYDRANT.
 3. IN AREAS WHERE THERE IS A PLANTER STRIP, THE HYDRANT SHALL BE PLACED IN THE CENTER OF THE PLANTER STRIP.
 4. FIRE HYDRANTS SHALL NOT BE PLACED WITHIN 10 FEET OF ANY SANITARY SINKER LINE.



SECTION A-A

FIRE HYDRANT & WATER VALVE DETAIL
SANTAQUIN CITY
275 WEST MAIN STREET

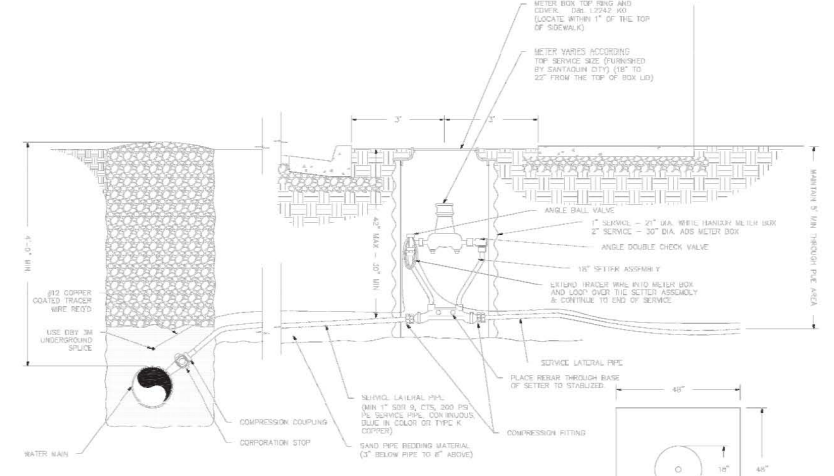
W2

NOT TO SCALE

SANTAQUIN CITY
275 WEST MAIN STREET
SANTAQUIN CITY

CULINARY WATER SERVICE CONNECTION
SANTAQUIN CITY
275 WEST MAIN STREET

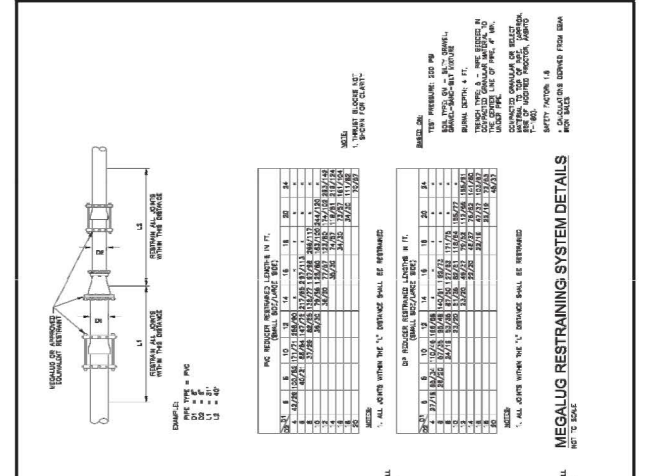
W1



- NOTES:
1. THE TRENCH SHALL BE 18" MIN. DEPTH. THE SERVICE LATERAL AND METER SHALL BE INSTALLED AS SHOWN.
 2. THE METER SHALL BE INSTALLED WITH THE SERVICE LATERAL AND METER TO THE FOLLOWING CONDITIONS ALSO APPLY:
 3. THE METER SHALL BE INSTALLED WITH THE SERVICE LATERAL AND METER TO THE FOLLOWING CONDITIONS ALSO APPLY:
 4. THE METER SHALL BE INSTALLED WITH THE SERVICE LATERAL AND METER TO THE FOLLOWING CONDITIONS ALSO APPLY:
 5. THE METER SHALL BE INSTALLED WITH THE SERVICE LATERAL AND METER TO THE FOLLOWING CONDITIONS ALSO APPLY:

CULINARY WATER SERVICE CONNECTION

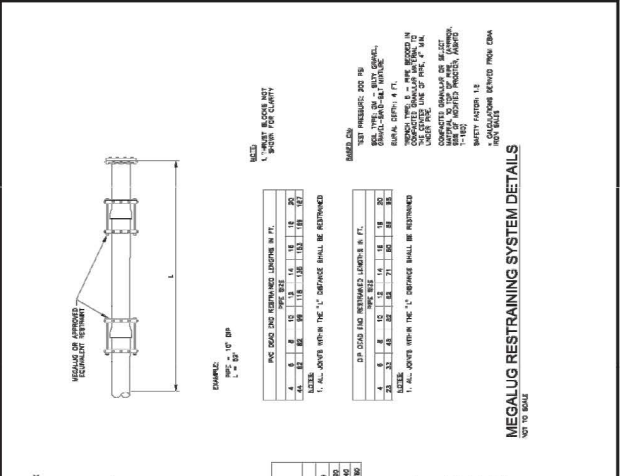
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MEGALUG RESTRAINING SYSTEM DETAILS

W5

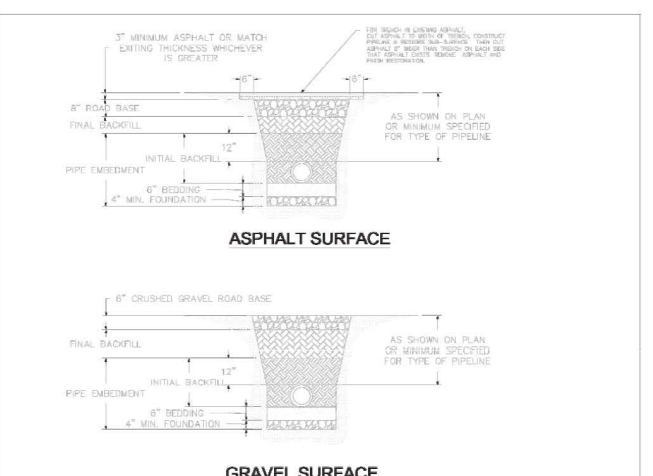
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MEGALUG RESTRAINING SYSTEM DETAILS

W6

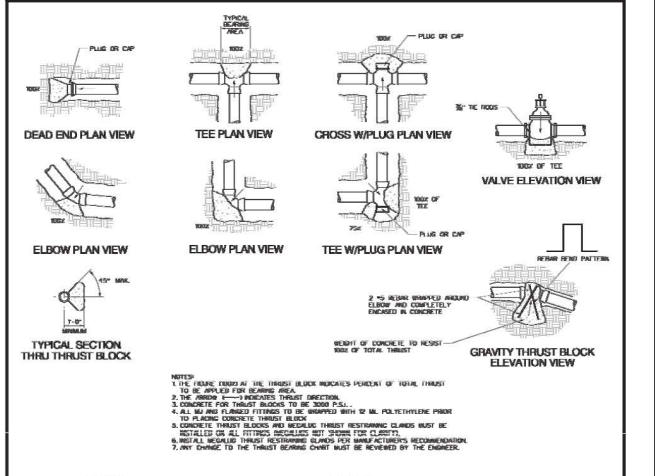
NOT TO SCALE



TYPICAL TRENCH SECTION

UT3

NOT TO SCALE



THRUST BLOCK DETAILS

UT4

NOT TO SCALE

SANTAQUIN CITY
275 WEST MAIN STREET

SANTAQUIN CITY
275 WEST MAIN STREET

SANTAQUIN CITY
275 WEST MAIN STREET

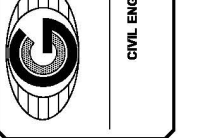
SANTAQUIN CITY
275 WEST MAIN STREET

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 DRAWN BY: GPW
 DESIGNED BY: GPW
 CHECKED BY: GPW
 SCALE: N/A

GATEWAY CONSULTING, Inc.
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STRATTON ACRES PHASE 1 WATER DETAIL

SANTAQUIN CITY



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-9-21
DESIGNED BY: GFW
CHECKED BY: GFW
SCALE: N/A

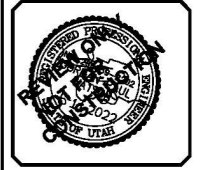
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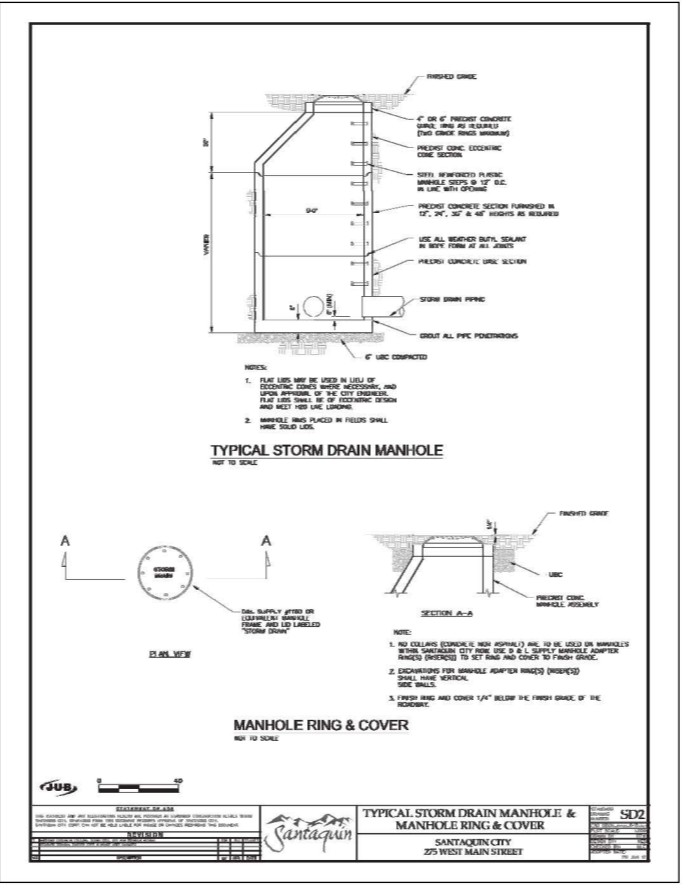
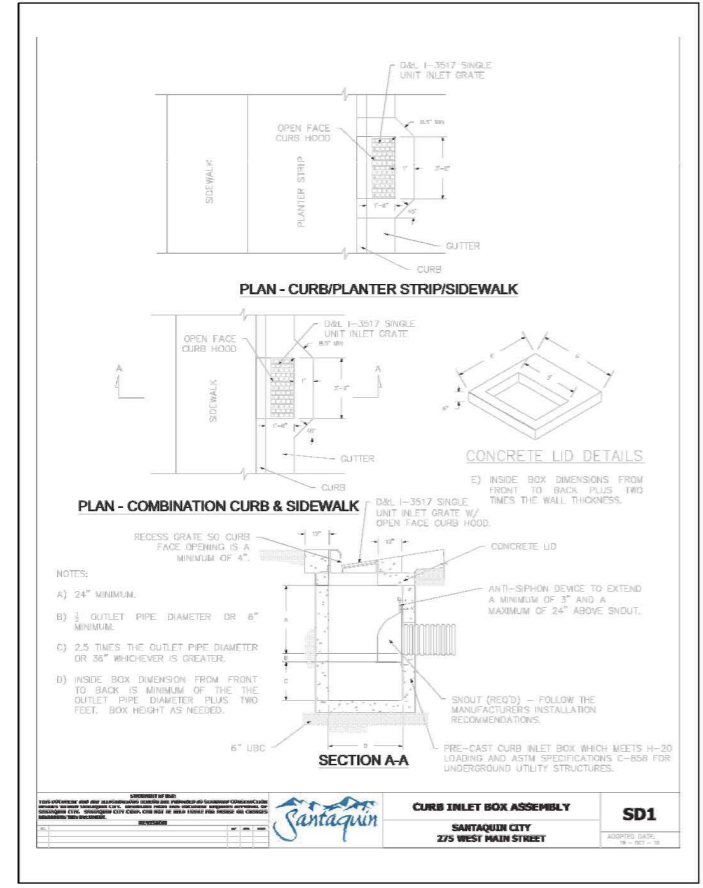
**STRATTON ACRES
 PHASE 1
 STORM DETAIL**

5-11-2022

SANTAQUIN CITY

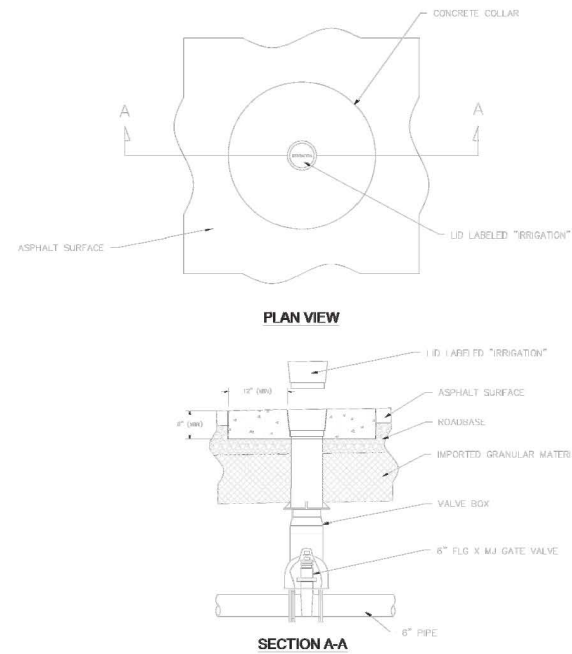


SHEET NO. D4



SD1
CURB INLET BOX ASSEMBLY
 SANTAQUIN CITY
 275 WEST MAIN STREET
 ADDRESS: DATE: 5-11-2022

SD2
TYPICAL STORM DRAIN MANHOLE & MANHOLE RING & COVER
 SANTAQUIN CITY
 275 WEST MAIN STREET

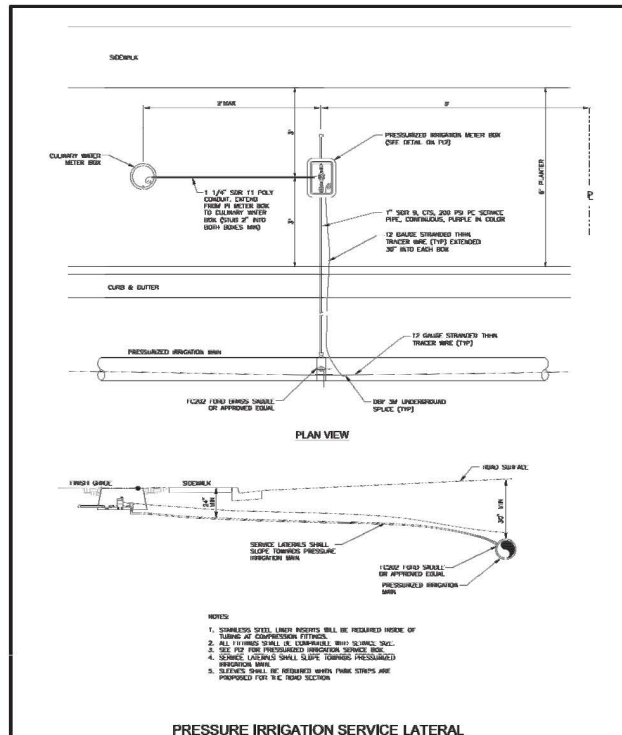


PRESSURE IRRIGATION WATER VALVE
SANTAQUIN CITY
275 WEST MAIN STREET

PI1

DATE: 10-15-18

NOT TO SCALE

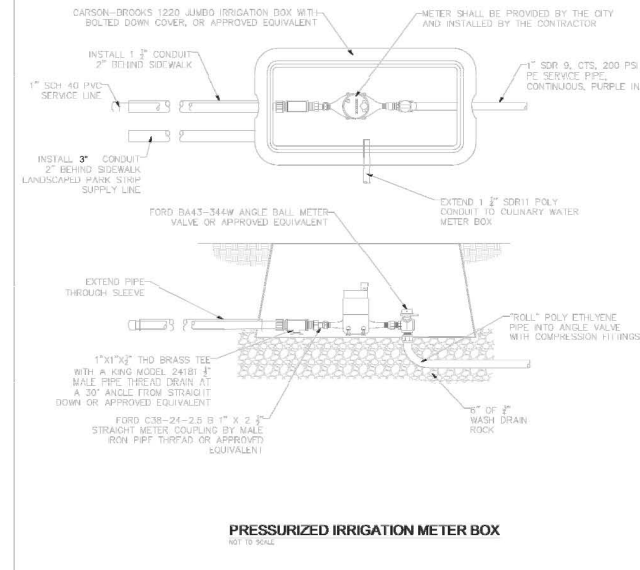


PRESSURE IRRIGATION SERVICE LATERAL
SANTAQUIN CITY
275 WEST MAIN STREET

PI1

DATE: 10-15-18

NOT TO SCALE

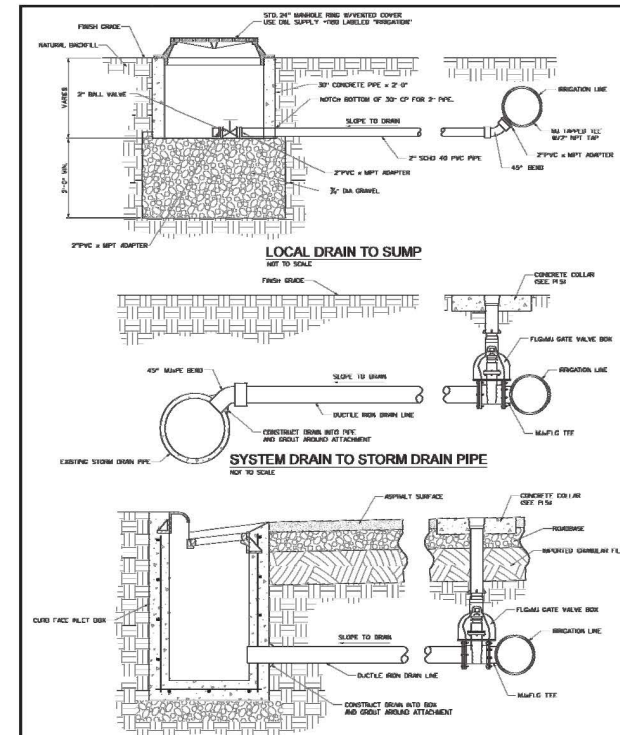


PRESSURE IRRIGATION METER BOX
SANTAQUIN CITY
275 WEST MAIN STREET

PI2

DATE: 10-15-18

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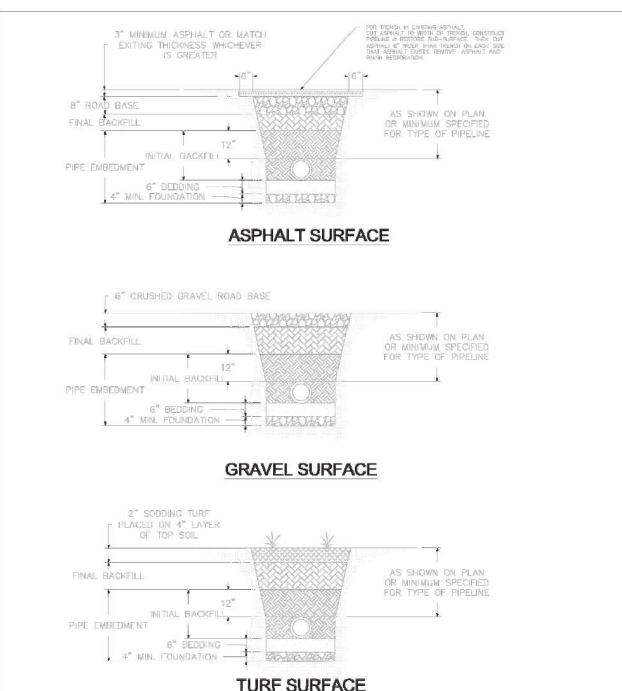


PRESSURE IRRIGATION SYSTEM DRAINS
SANTAQUIN CITY
275 WEST MAIN STREET

PI3

DATE: 10-15-18

NOT TO SCALE

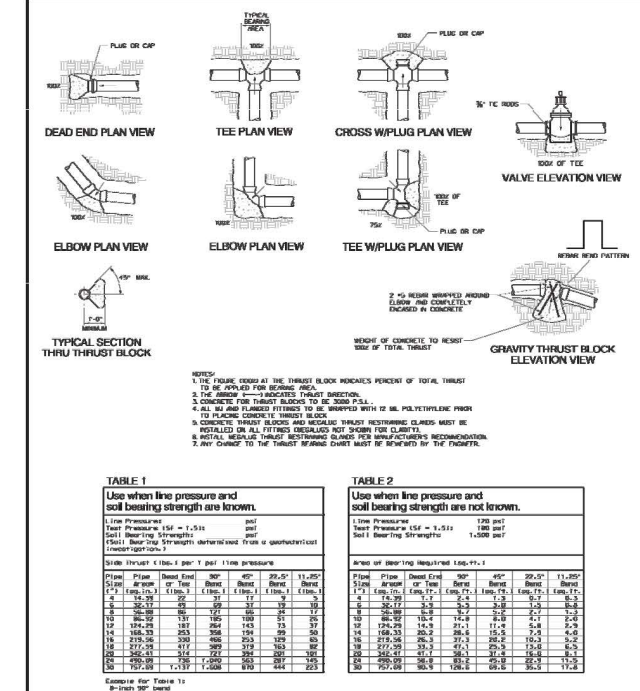


TYPICAL TRENCH SECTION
SANTAQUIN CITY
275 WEST MAIN STREET

UT3

DATE: 10-15-18

NOT TO SCALE

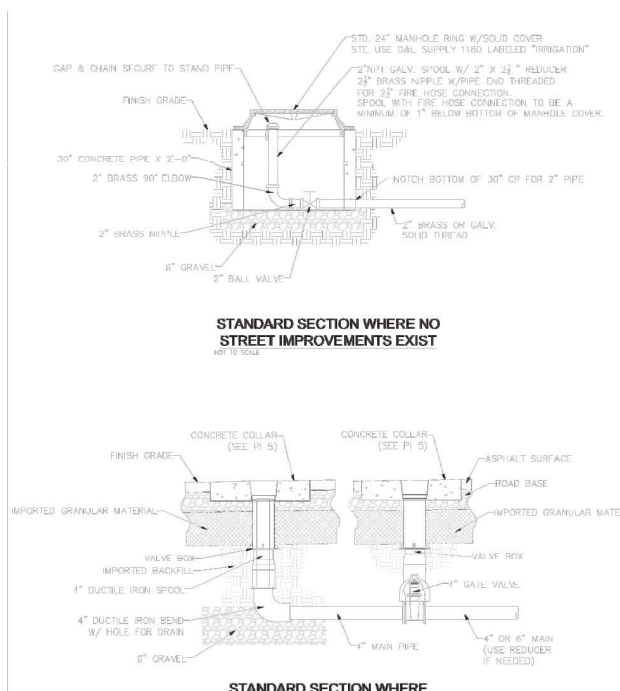


THRUST BLOCK DETAILS
SANTAQUIN CITY
275 WEST MAIN STREET

UT4

DATE: 10-15-18

NOT TO SCALE



FLUSHING, AIR INLET & REMOVAL FACILITY FOR PRESSURE IRRIGATION
SANTAQUIN CITY
275 WEST MAIN STREET

PI4

DATE: 10-15-18

NOT TO SCALE

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21	SCALE:	N/A
SURVEY BY:	GPW	CHECKED BY:	GPW
DRAWN BY:	GPW		

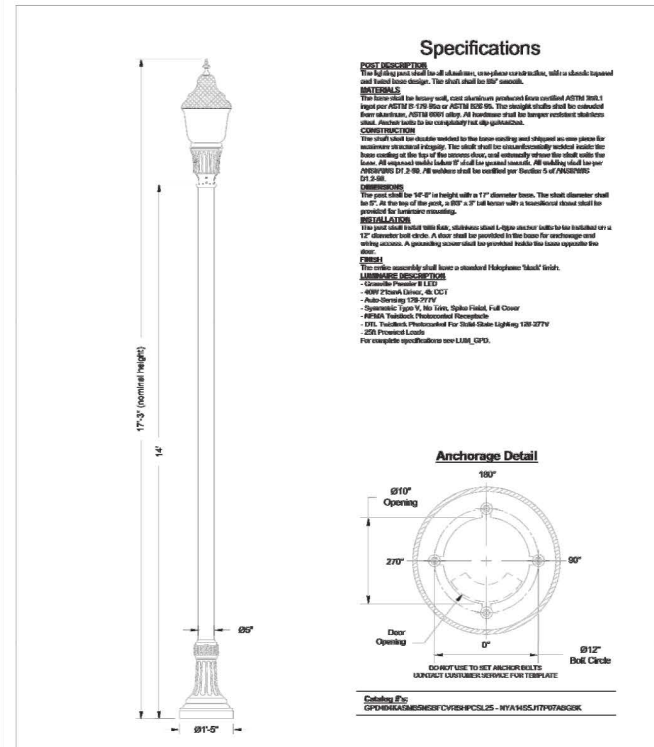
GATEWAY CONSULTING, Inc.
P.O. BOX 957005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsulting.com

**CIVIL ENGINEERING • CONSULTING • LAND PLANNING
CONSTRUCTION MANAGEMENT**

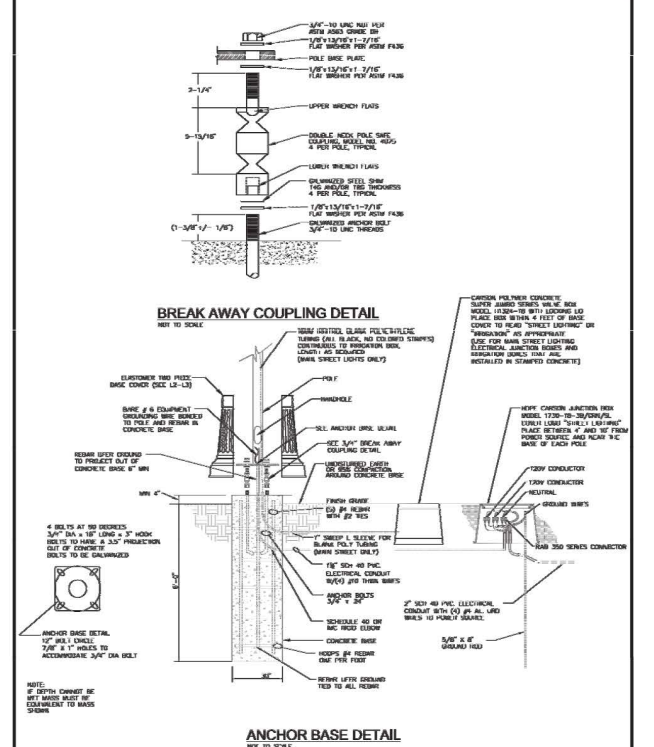
**STRATTON ACRES
PHASE 1
IRRIGATION WATER DETAILS**

5-11-2022

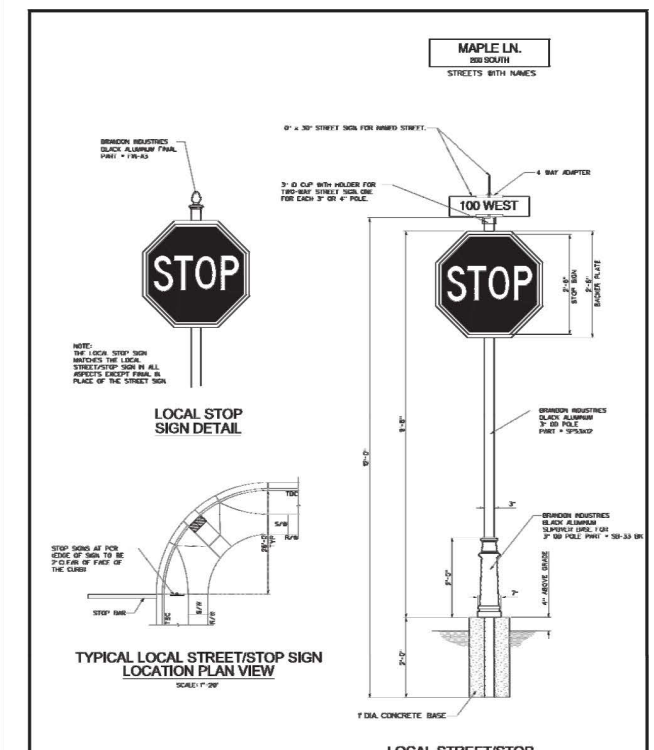
SANTAQUIN CITY



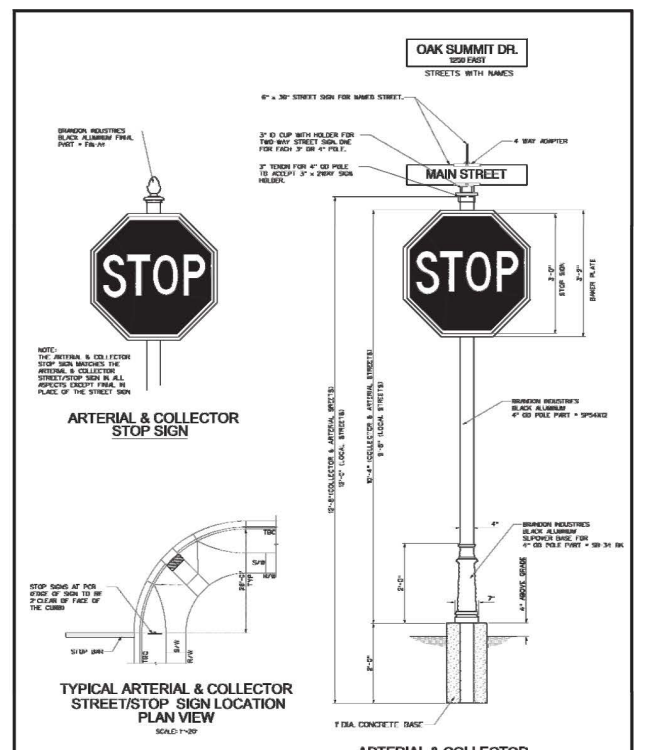
LOCAL AND COLLECTOR STREET LIGHTING DETAILS SANTAQUIN CITY 275 WEST MAIN STREET		L1 SHEET DATE: 11 OCT 2022
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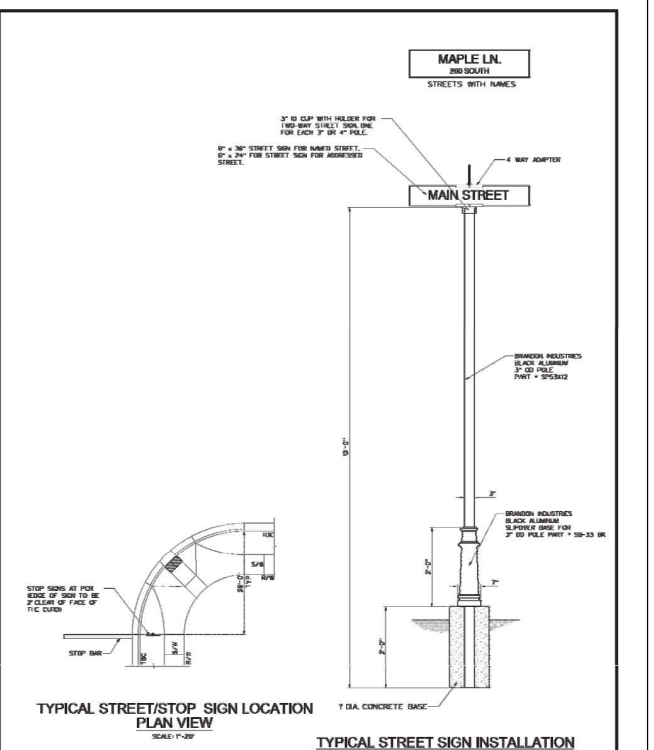
ANCHOR BASE & BREAK AWAY COUPLING SANTAQUIN CITY 275 WEST MAIN STREET		L4 SHEET DATE: 11 OCT 2022
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LOCAL STREET/STOP SIGN DETAIL SANTAQUIN CITY 275 WEST MAIN STREET		S17 SHEET DATE: 11 OCT 2022
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ARTERIAL & COLLECTOR STREET/STOP SIGN DETAIL SANTAQUIN CITY 275 WEST MAIN STREET		S18 SHEET DATE: 11 OCT 2022
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TYPICAL STREET SIGN DETAIL (NO STOP SIGN) SANTAQUIN CITY 275 WEST MAIN STREET		S19 SHEET DATE: 11 OCT 2022
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NO.	DESCRIPTION	DATE	APP'D

ORG. DATE: 2-8-21 SURVEY BY: GFW DRAWN BY: GFW DESIGNED BY: GFW CHECKED BY: GFW SCALE: N/A

GATEWAY CONSULTING, Inc.
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STRATTON ACRES
PHASE 1
LIGHT AND SIGN DETAILS
 PRINT DATE: 5-11-2022

SANTAQUIN CITY

