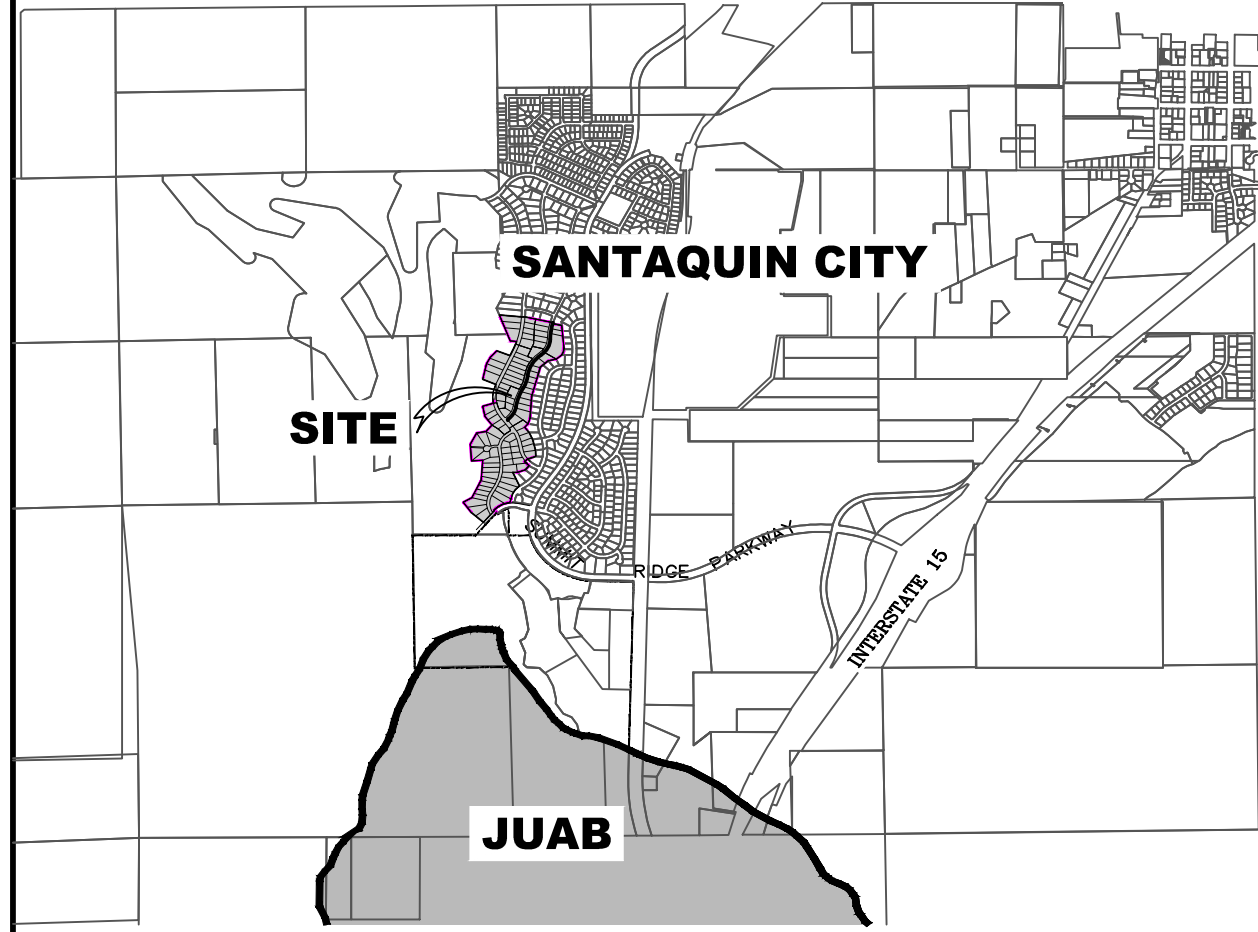


**VICINITY MAP**



**The Vistas West @ Summit Ridge  
- PRELIMINARY PLAT -  
March 22**

Santaquin, Utah County, Utah

AREA BREAKDOWN	
TOTAL PLAT ACREAGE	48.19 ACRES
TOTAL LOT ACREAGE	40.28 ACRES
TOTAL ROW ACREAGE	6.22 ACRES
TOTAL OPEN SPACE	1.69 ACRES
ZONE	PC - PLANNED COMMUNITY
DENSITY	1.97 / .40 ac
NUMBER OF LOTS	95 LOTS

**PROJECT DEVELOPER**

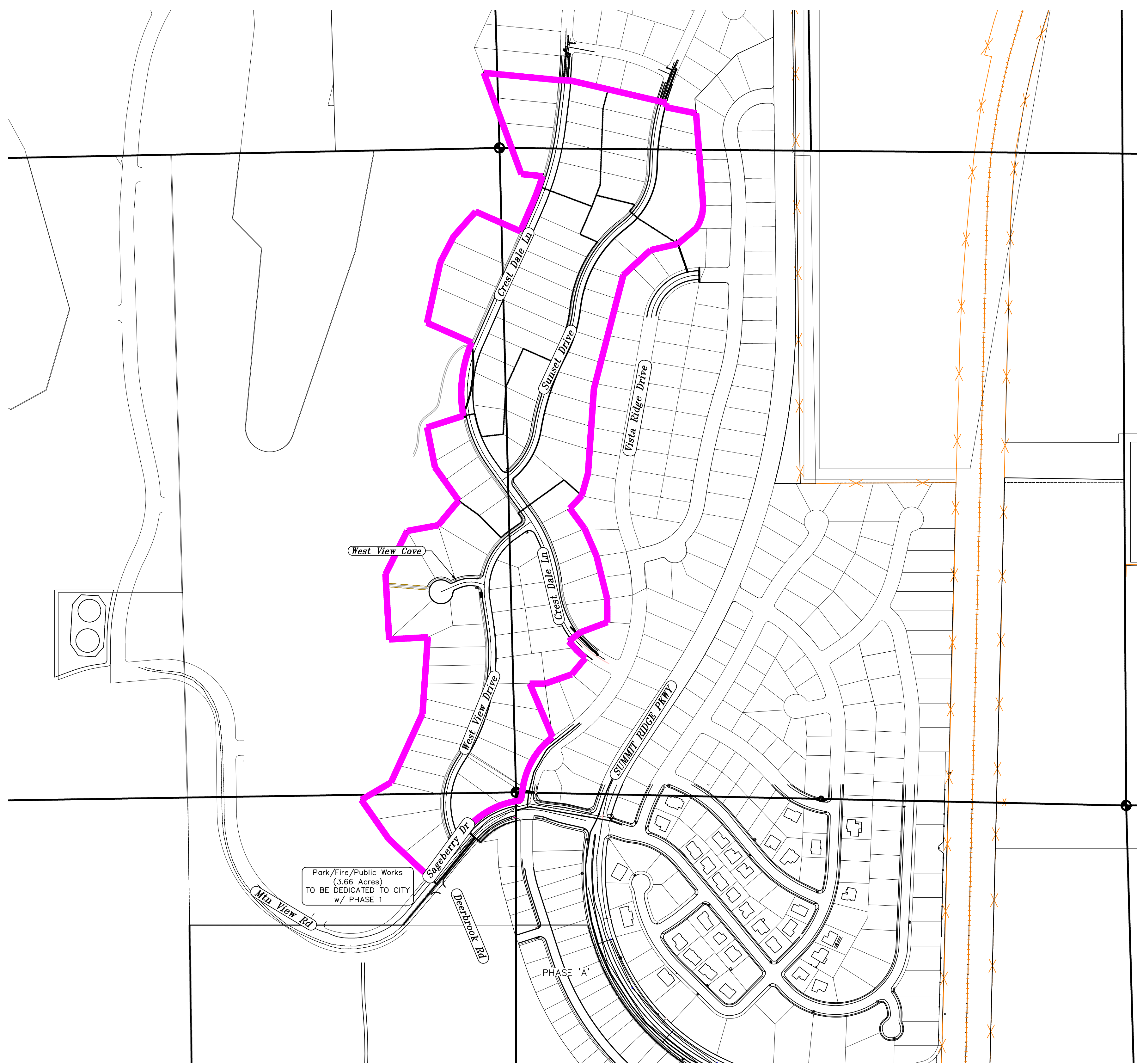
**David Simpson**  
| 801-376-1966 |  
Woodsprings@gmail.com  
407 N Main Street Springville, UT 84663

**PROJECT ENGINEER & SURVEYOR**

REGION ENGINEERING & SURVEYING  
1776 NORTH STATE STREET #110  
OREM, UTAH 84057  
PH - 801.376.2245

region  
Engineering & Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com

- ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS
- NCBU TO BE LOCATED IN PHASE 1 (3 BOX) AND PHASE 5 (3 BOX)
- PHASES 1, 3 AND 4 TO BE BUILT CONCURRENTLY TO ALLOW FOR PROPER UTILITY LOOPING
- PHASE 2 AND 5 TO BE BUILT CONCURRENTLY AND AFTER PHASE 1, 3 AND 4 FOR PROPER TRAFFIC AND UTILITY LOOPING
- PHASE 3 AND PHASE 4 SEWER AND STORM DRAIN MUST BE CONSTRUCTED AT THE SAME TIME OR PRIOR TO PHASE 1



- NOTES:**
- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
  - ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
  - ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND SHEET DT-02 UNLESS OTHERWISE NOTED.
  - 16" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P.I. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
  - ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
  - ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
  - ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

**NOTES TO CONTRACTOR:**  
CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.  
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**THE VISTAS WEST @ SUMMIT RIDGE  
- PRELIMINARY PLAT -**  
LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022

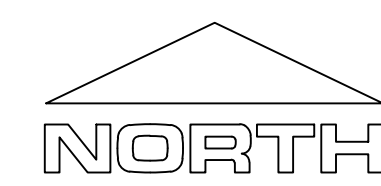
PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
COVER SHEET & NOTES

SHEET:  
CS-01



TITLE DESCRIPTION

A PARCEL OF LAND IN THE SOUTHERN PORTION OF SECTION 10, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 10, THENCE ALONG SAID SECTION LINE SOUTH 89° 05' 23" WEST FOR A DISTANCE OF 200.98 FEET AND SOUTH 157.24 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 39° 29' 43" WEST FOR A DISTANCE OF 245.43 FEET TO A POINT ON A LINE; THENCE NORTH 46° 40' 43" WEST FOR A DISTANCE OF 230.22 FEET TO A POINT ON A LINE; THENCE NORTH 34° 58' 36" WEST FOR A DISTANCE OF 196.81 FEET TO A POINT ON A LINE; THENCE NORTH 59° 34' 28" EAST FOR A DISTANCE OF 141.33 FEET TO A POINT ON A LINE; THENCE NORTH 24° 39' 14" EAST FOR A DISTANCE OF 311.57 FEET TO A POINT ON A LINE; THENCE NORTH 03° 56' 17" EAST FOR A DISTANCE OF 315.48 FEET TO A POINT ON A LINE; THENCE SOUTH 86° 47' 00" WEST FOR A DISTANCE OF 159.30 FEET TO A POINT ON A LINE; THENCE NORTH 03° 13' 01" WEST FOR A DISTANCE OF 268.44 FEET TO A POINT ON A LINE; THENCE NORTH 26° 32' 16" EAST FOR DISTANCE OF 199.53 FEET TO A POINT ON A LINE; THENCE NORTH 79° 31' 09" EAST FOR A DISTANCE OF 130.22 FEET TO A POINT ON A LINE; THENCE NORTH 39° 45' 10" EAST FOR A DISTANCE OF 132.00 FEET TO A POINT ON A LINE; THENCE NORTH 35° 29' 00" WEST FOR A DISTANCE OF 168.34 FEET TO A POINT ON A LINE; THENCE NORTH 11° 13' 00" WEST FOR A DISTANCE OF 167.42 FEET TO A POINT ON A LINE; THENCE NORTH 72° 16' 35" EAST FOR A DISTANCE OF 156.40 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE; THENCE ALONG SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 33° 42' 36", HAVING A RADIUS OF 524.50 FEET, AND WHOSE LONG CHORD BEARS NORTH 06° 33' 58" EAST FOR A DISTANCE OF 304.16 FEET TO A POINT ON THE INTERSECTION WITH A NON-TANGENTIAL LINE; THENCE NORTH 66° 15' 00" WEST FOR A DISTANCE OF 200.87 FEET TO A POINT ON A LINE; THENCE NORTH 12° 19' 23" EAST FOR A DISTANCE OF 255.06 FEET TO A POINT ON A LINE; THENCE NORTH 27° 19' 22" EAST FOR A DISTANCE OF 120.23 FEET TO A POINT ON A LINE; THENCE NORTH 41° 38' 48" EAST FOR A DISTANCE OF 136.61 FEET TO A POINT ON A LINE; THENCE SOUTH 66° 15' 00" EAST FOR A DISTANCE OF 200.80 FEET TO A POINT ON A LINE; THENCE NORTH 22° 47' 50" EAST 199.56 FEET TO A POINT ON A LINE; THENCE NORTH 18° 23' 54" EAST FOR A DISTANCE OF 45.13 FEET TO A POINT ON A LINE; THENCE NORTH 84° 25' 20" WEST FOR A DISTANCE OF 87.88 FEET TO A POINT ON A LINE; THENCE NORTH 20° 21' 00" WEST FOR A DISTANCE OF 444.77 FEET TO A POINT ON A LINE; THENCE SOUTH 84° 25' 20" EAST FOR A DISTANCE OF 310.67 FEET TO A POINT ON A LINE; THENCE SOUTH 87° 58' 56" EAST FOR A DISTANCE OF 49.07 FEET TO A POINT ON A LINE; THENCE SOUTH 76° 51' 00" EAST FOR A DISTANCE OF 405.30 FEET TO A POINT ON A LINE; THENCE SOUTH 11° 34' 14" WEST FOR A DISTANCE OF 17.63 FEET TO A POINT ON A LINE; THENCE SOUTH 78° 25' 46" EAST FOR A DISTANCE OF 127.69 FEET TO A POINT ON A LINE; THENCE SOUTH 04° 26' 00" EAST FOR A DISTANCE OF 366.03 FEET TO THE BEGINNING OF A CURVE; THENCE ALONG SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 37° 42' 01", HAVING A RADIUS OF 175.00 FEET, AND WHOSE LONG CHORD BEARS SOUTH 14° 25' 00" WEST FOR A DISTANCE OF 113.08 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE; THENCE SOUTH 50° 11' 00" WEST FOR A DISTANCE OF 98.31 FEET TO A POINT ON A LINE; THENCE SOUTH 77° 04' 00" WEST FOR A DISTANCE OF 115.22 FEET TO A POINT ON A LINE; THENCE SOUTH 47° 28' 27" WEST FOR A DISTANCE OF 151.76 FEET TO A POINT ON A LINE; THENCE SOUTH 14° 32' 00" WEST FOR A DISTANCE OF 483.46 FEET TO A POINT ON A LINE; THENCE SOUTH 04° 00' 00" WEST FOR A DISTANCE OF 349.19 FEET TO A POINT ON A LINE; THENCE SOUTH 15° 39' 00" WEST FOR A DISTANCE OF 95.30 FEET TO A POINT ON A LINE; THENCE SOUTH 43° 02' 20" WEST FOR A DISTANCE OF 72.26 FEET TO A POINT ON A LINE; THENCE SOUTH 36° 14' 25" EAST FOR A DISTANCE OF 103.37 FEET TO A POINT ON A LINE; THENCE SOUTH 23° 32' 07" EAST FOR A DISTANCE OF 122.67 FEET TO A POINT ON A LINE; THENCE SOUTH 13° 56' 44" EAST FOR A DISTANCE OF 182.42 FEET TO A POINT ON A LINE; THENCE SOUTH 00° 19' 24" EAST FOR A DISTANCE OF 95.97 FEET TO A POINT ON A LINE; THENCE SOUTH 69° 30' 14" WEST FOR A DISTANCE OF 118.52 FEET TO A POINT ON A LINE; THENCE SOUTH 51° 58' 00" WEST FOR A DISTANCE OF 60.00 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE; THENCE ALONG SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 12° 55' 18", HAVING A RADIUS OF 430.00 FEET, AND WHOSE LONG CHORD BEARS SOUTH 44° 29' 39" EAST FOR DISTANCE OF 96.77 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE; THENCE SOUTH 39° 56' 39" WEST FOR A DISTANCE OF 87.60 FEET TO A POINT ON A LINE; THENCE SOUTH 70° 43' 21" WEST FOR A DISTANCE OF 116.32 FEET TO A POINT ON A LINE; THENCE SOUTH 89° 50' 37" WEST FOR A DISTANCE OF 62.79 FEET TO A POINT ON A LINE; THENCE SOUTH 23° 07' 06" EAST FOR A DISTANCE OF 238.31 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE; THENCE ALONG SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 43° 18' 23", HAVING A RADIUS OF 330.00 FEET, AND WHOSE LONG CHORD BEARS SOUTH 30° 11' 58" WEST FOR A DISTANCE OF 243.53 FEET; THENCE SOUTH 08° 32' 47" WEST FOR A DISTANCE OF 39.91 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE; THENCE ALONG SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 73° 40' 17", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS SOUTH 45° 22' 17" WEST FOR A DISTANCE OF 17.99 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE; THENCE ALONG SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 42° 43' 19", HAVING A RADIUS OF 340.00 FEET, AND WHOSE LONG CHORD BEARS SOUTH 60° 51' 25" WEST FOR A DISTANCE OF 247.69 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE; THENCE SOUTH 50° 26' 43" EAST A DISTANCE OF 8.55 FEET TO THE POINT OF BEGINNING.

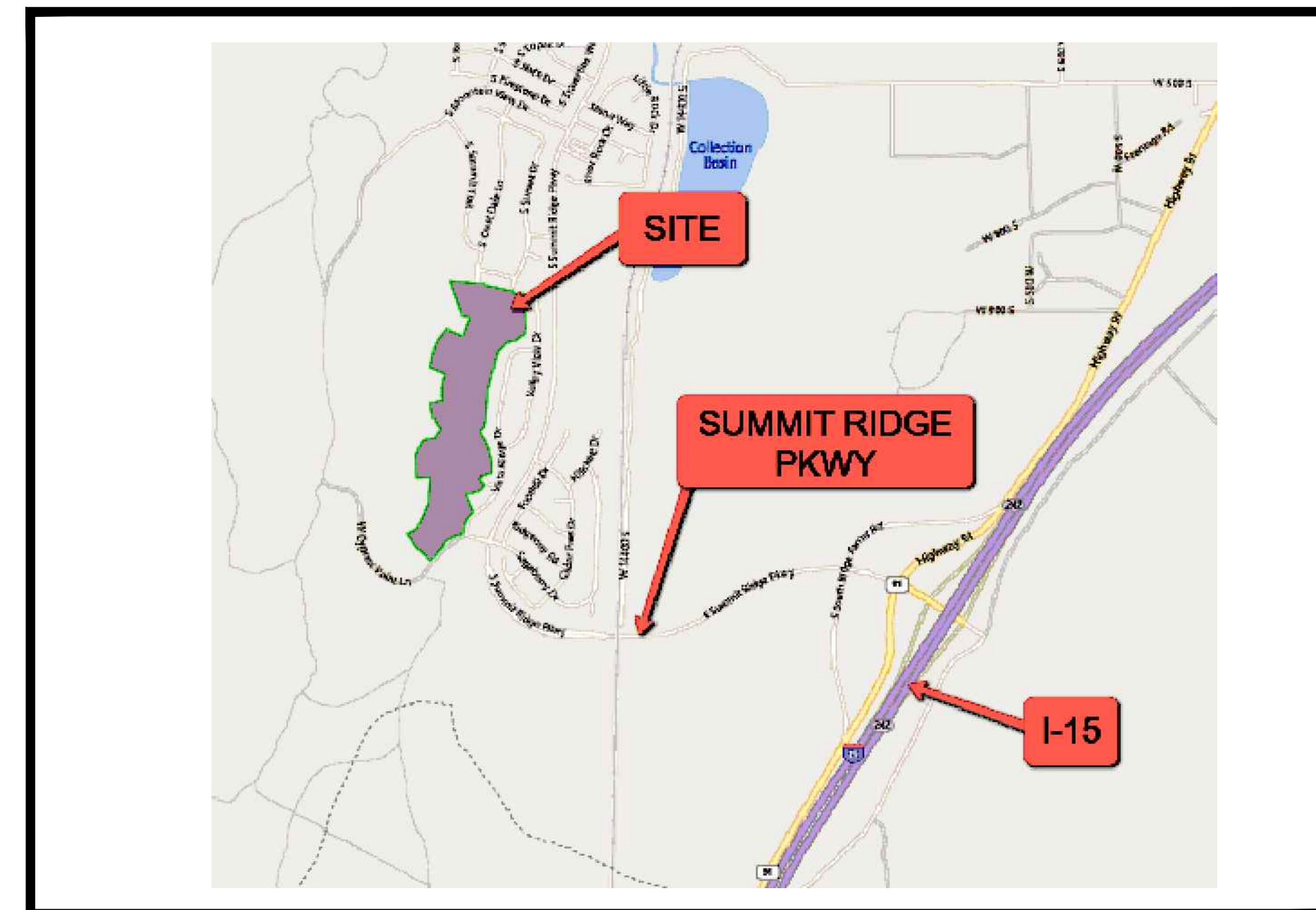
ITEMS CORRESPONDING TO SCHEDULE B-II

1-8. GENERAL EXCEPTIONS, NOT PLOTTED

- 9. MECHANICS' AND/OR MATERIALMEN'S LIEN CLAIMS IF EITHER WORK IS STARTED, ANY MATERIAL DELIVERED OR SERVICE RENDERED, PRIOR TO THE RECORDATION OF THE SECURITY INSTRUMENT TO BE INSURED.  
LOSS OF PRIORITY UNDER THIS PROVISION MAY JEOPARDIZE THE COMPANY'S ABILITY TO INSURE UNDER AN ALTA OWNER'S OR LENDERS POLICY.  
THE STATE CONSTRUCTION REGISTRY DISCLOSES THE FOLLOWING PRELIMINARY NOTICE(S): (A) ENTRY NO. 9256871, FILED JANUARY 3, 2022, BY GSH GEOTECHNICAL, INC.. (SURVEYOR NOTES: THIS DOCUMENT CALLS OUT PARCELS 32:015:0035 AND 32:0022:0007. THESE PARCELS LIE TO THE WEST AND SOUTH OF THIS PARCEL, BUT DO NOT INCLUDE IT. DOES NOT AFFECT THIS PARCEL, NOT SHOWN ON PLAT)
- 10. RIGHTS OF WAY IN FAVOR OF UTAH POWER AND LIGHT COMPANY FOR THE SANTAQUIN TINTIC TRANSMISSION LINE, AS DISCLOSED IN THAT CERTAIN WARRANTY DEED, RECORDED ON FEBRUARY 10, 1913, AS ENTRY NO. 821, IN BOOK 137, AT PAGE 79, UTAH COUNTY RECORDER'S OFFICE.(SURVEYOR NOTES: THIS IS A BLANKET EASEMENT OVER THE SOUTHERN PORTION OF THIS PROPERTY THAT FALLS IN SECTION 15, SHOWN ON PLAT)
- 11. THE TERMS, CONDITIONS, EFFECTS, AND STIPULATIONS OF A GRANT OF EASEMENT AND AGREEMENT DATED JANUARY 18, 2001, BY AND BETWEEN SOUTH COUNTY DEVELOPMENT, LC AND THE STATE OF UTAH ACTING THROUGH THE SCHOOL AND INSTITUTIONAL TRUST LANDS ADMINISTRATION. SAID GRANT OF EASEMENT AND AGREEMENT WAS RECORDED ON JANUARY 25, 2001, AS ENTRY NO. 6254:2001 IN THE UTAH COUNTY RECORDER'S OFFICE.  
(A) TERMINATION AND AMENDMENT TO GRANT OF EASEMENT AND AGREEMENT, RECORDED ON SEPTEMBER 4, 2002, AS ENTRY NO. 102768:2002 IN THE UTAH COUNTY RECORDER'S OFFICE. (SURVEYOR NOTES: THIS EASEMENT IS LOCATED IN THE SOUTHERLY PORTION OF THIS PROPERTY, SHOWN ON PLAT)
- 12. A TEMPORARY CONSTRUCTION EASEMENT IN FAVOR OF SANTAQUIN CITY FOR A NON-EXCLUSIVE AND TEMPORARY RIGHT-OF-WAY AND EASEMENT TO FACILITATE THE CONSTRUCTION OF CERTAIN INFRASTRUCTURE IMPROVEMENTS WITHIN THE SUMMIT RIDGE PLANNED COMMUNITY. SAID TEMPORARY CONSTRUCTION EASEMENT WAS RECORDED ON DECEMBER 5, 2001, AS ENTRY NO. 126549:2001, UTAH COUNTY RECORDER'S OFFICE. (ALSO RECORDED ON DECEMBER 24, 2001 AS ENTRY NO. 225902 IN BOOK 430 AT PAGE 892 IN THE JUAB COUNTY RECORDER'S OFFICE) (SURVEYOR NOTES: THIS IS A BLANKET EASEMENT OVER SECTIONS 9, 10, 15 & 16, NOT SHOWN ON PLAT)
- 13. AN ORDINANCE AMENDING THE ZONING MAP OF SANTAQUIN CITY KNOWN AS ORDINANCE NO. 12-1-2000 WHICH WAS RECORDED ON DECEMBER 26, 2000 AS ENTRY NO. 102458:2000 IN THE UTAH COUNTY RECORDER'S OFFICE.  
(A) FIRST AMENDMENT TO ANNEXATION AND DEVELOPMENT AGREEMENT RECORDED ON OCTOBER 31, 2006 AS ENTRY NO. 144933:2006 IN THE UTAH COUNTY RECORDER'S OFFICE AND THEN RECORDED ON OCTOBER 31, 2006 AS ENTRY NO. 00245622 IN BOOK 0499 AT PAGE 0125 IN THE JUAB COUNTY RECORDER'S OFFICE.  
(B) SECOND AMENDMENT TO ANNEXATION AND DEVELOPMENT AGREEMENT FOR SUMMIT RIDGE RECORDED ON APRIL 21, 2020 AS ENTRY NO. 52340:2020 IN THE UTAH COUNTY RECORDER'S OFFICE.  
(C) AGREEMENT OF EXPIRATION OF ANNEXATION AND DEVELOPMENT AGREEMENT FOR SUMMIT RIDGE RECORDED ON DECEMBER 18, 2020 AS ENTRY NO. 202292:2020 IN THE UTAH COUNTY RECORDER'S OFFICE.(SURVEYOR NOTES: ALL OF PROPERTY INCLUDED IN DESCRIPTION)
- 14. THE RIGHTS OF TENANTS AND/OR PARTIES IN POSSESSION OF THE SUBJECT LAND UNDER UNRECORDED LEASES, RENTAL OR OCCUPANCY AGREEMENTS AND ANY CLAIMS THEREUNDER.(SURVEYOR NOTES: NOT A SURVEY MATTER)
- 15. MATTERS AS SET FORTH ON THE CERTAIN SURVEY FOR LGI HOMES UTAH, A UTAH LIMITED LIABILITY COMPANY, PRO-TITLE AND ESCROW, INC., AND FIRST AMERICAN TITLE COMPANY, PREPARED BY ROBBIN J. MULLEN, DATED DECEMBER 14, 2021, AS PROJECT NO. UNKNOWN. (SURVEYOR NOTES: THIS SURVEY IS A PORTION OF THAT LARGER SURVEY)
- 16. MINERALS OF WHATSOEVER KIND, SUBSURFACE AND SURFACE SUBSTANCES, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND AND GRAVEL IN, ON, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B. THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED. (SURVEYOR NOTES: NOT PLOTTABLE, NOT SHOWN ON PLAT)
- 17. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT THE MATTERS ARE SHOWN BY THE PUBLIC RECORDS. (SURVEYOR NOTES: NOT PLOTTABLE, NOT SHOWN ON PLAT)
- 18. MASTER DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AND RESERVATIONS OF EASEMENTS FOR SUMMIT RIDGE COMMUNITIES, RECORDED ON SEPTEMBER 1, 2006 AS ENTRY NO. 115136:2006 IN THE UTAH COUNTY RECORDER'S OFFICE.  
(A) FIRST AMENDMENT TO MASTER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS AND RESERVATION OF EASEMENTS FOR SUMMIT RIDGE COMMUNITIES A PLANNED COMMUNITY DEVELOPMENT IN SANTAQUIN, UTAH RECORDED ON AUGUST 14, 2019 AS ENTRY NO. 77782:2019 IN THE UTAH COUNTY RECORDER'S OFFICE. (ALSO RECORDED ON AUGUST 14, 2019 AS ENTRY NO. 291619 IN BOOK 591 AT PAGE 16 IN THE JUAB COUNTY RECORDER'S OFFICE)  
(B) SECOND AMENDMENT TO RESIDENTIAL DESIGN GUIDELINES FOR SUMMIT RIDGE COMMUNITIES A PLANNED COMMUNITY DEVELOPMENT IN SANTAQUIN, UTAH RECORDED ON SEPTEMBER 1, 2020 AS ENTRY NO. 132794:2020 IN THE UTAH COUNTY RECORDER'S OFFICE. (ALSO RECORDED ON SEPTEMBER 1, 2020 AS ENTRY NO. 295982 IN BOOK 600 AT PAGE 1135 IN THE JUAB COUNTY RECORDER'S OFFICE)  
(C) SUPPLEMENTAL DECLARATION RELEASING AND WITHDRAWING PROPERTY FROM THE MASTER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS AND RESERVATION OF EASEMENTS FOR SUMMIT RIDGE COMMUNITIES AND AMENDMENT NO. 2 TO THE MASTER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS AND RESERVATION OF EASEMENTS FOR SUMMIT RIDGE COMMUNITIES A PLANNED COMMUNITY DEVELOPMENT IN SANTAQUIN, UTAH RECORDED ON FEBRUARY 8, 2021 AS ENTRY NO. 23190:2021 IN THE UTAH COUNTY RECORDER'S OFFICE. (ALSO RECORDED ON FEBRUARY 8, 2021 AS ENTRY NO. 298710 IN BOOK 605 AT PAGE 1623 IN THE JUAB COUNTY RECORDER'S OFFICE)  
(D) SECOND SUPPLEMENTAL DECLARATION RELEASING AND WITHDRAWING PROPERTY FROM THE MASTER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS AND RESERVATION OF EASEMENTS FOR SUMMIT RIDGE COMMUNITIES AND AMENDMENT NO. 3 TO THE MASTER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS AND RESERVATION OF EASEMENTS FOR SUMMIT RIDGE COMMUNITIES A PLANNED COMMUNITY DEVELOPMENT IN SANTAQUIN, UTAH RECORDED ON SEPTEMBER 17, 2021 AS ENTRY NO. 161723:2021 IN THE UTAH COUNTY RECORDER'S OFFICE. (SURVEYOR NOTES: THIS DOCUMENT INCLUDES ALL OF THIS PROPERTY. THE EASEMENTS ARE NOT DESCRIBED SO CANNOT BE PLOTTED, NOT SHOWN ON PLAT)
- 19-26. VARIOUS EXCEPTIONS THAT DO NOT HAVE SPECIFIC EASEMENTS TO PLOT. NOT PLOTTABLE, NOT SHOWN.

THE VISTAS WEST AT SUMMIT RIDGE

LOCATED IN THE WEST 1/2 OF SECTION 15, NE 1/4 SECTION 16, E 1/2 OF SECTION 9 AND THE W 1/2 OF SECTION 10, TOWNSHIP 10 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN  
Santiquin, Utah County, UT



Vicinity Map

based upon Title Commitment No. 38268-P FROM PRO-TITLE AND ESCROW, INC, bearing an effective date of February 3, 2022, 7:30 am.

**Surveyor's Certification**

To PRO-TITLE AND ESCROW, INC.:

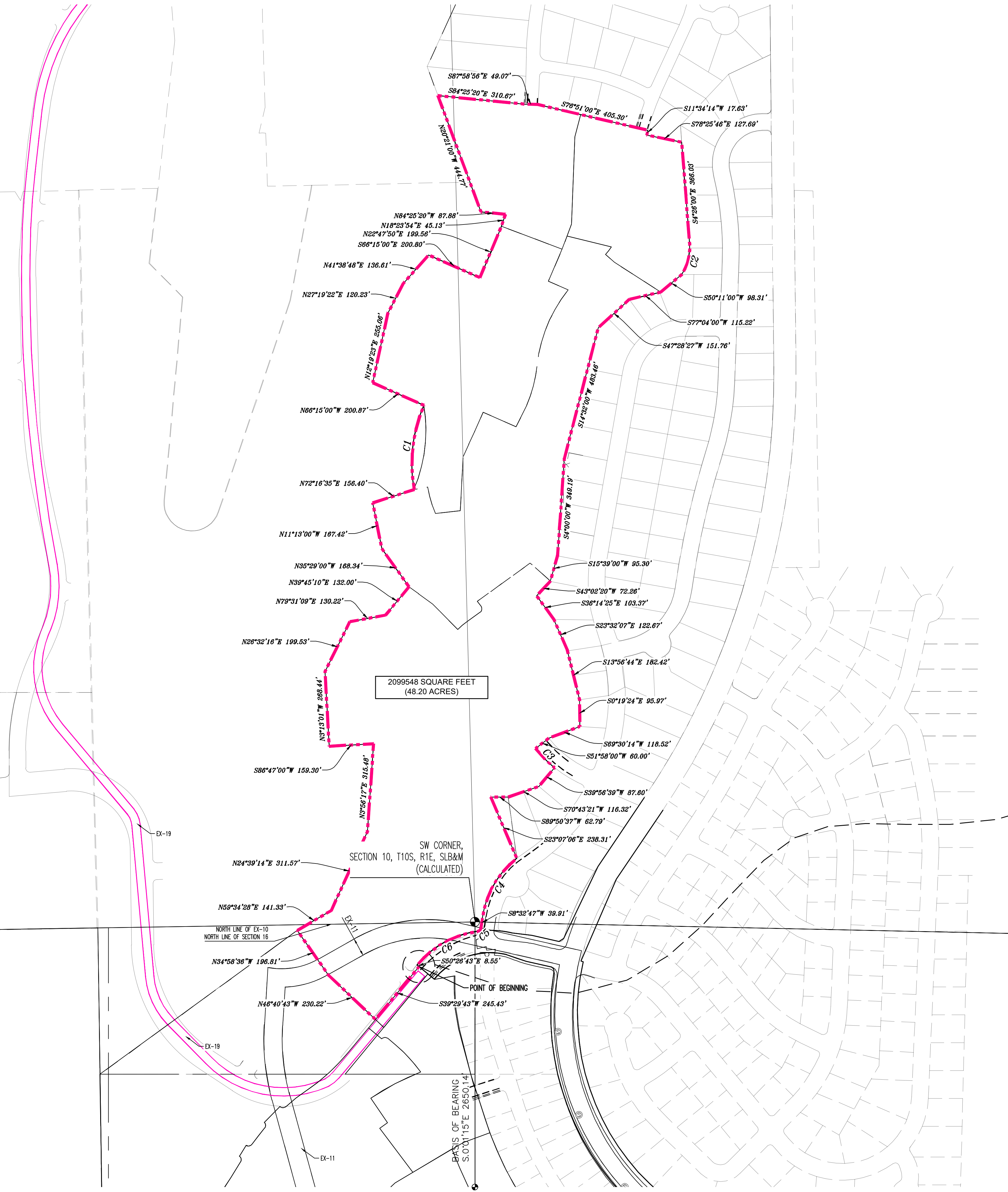
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. The field work was completed on December 14, 2021.

*Robbin J. Mullen*

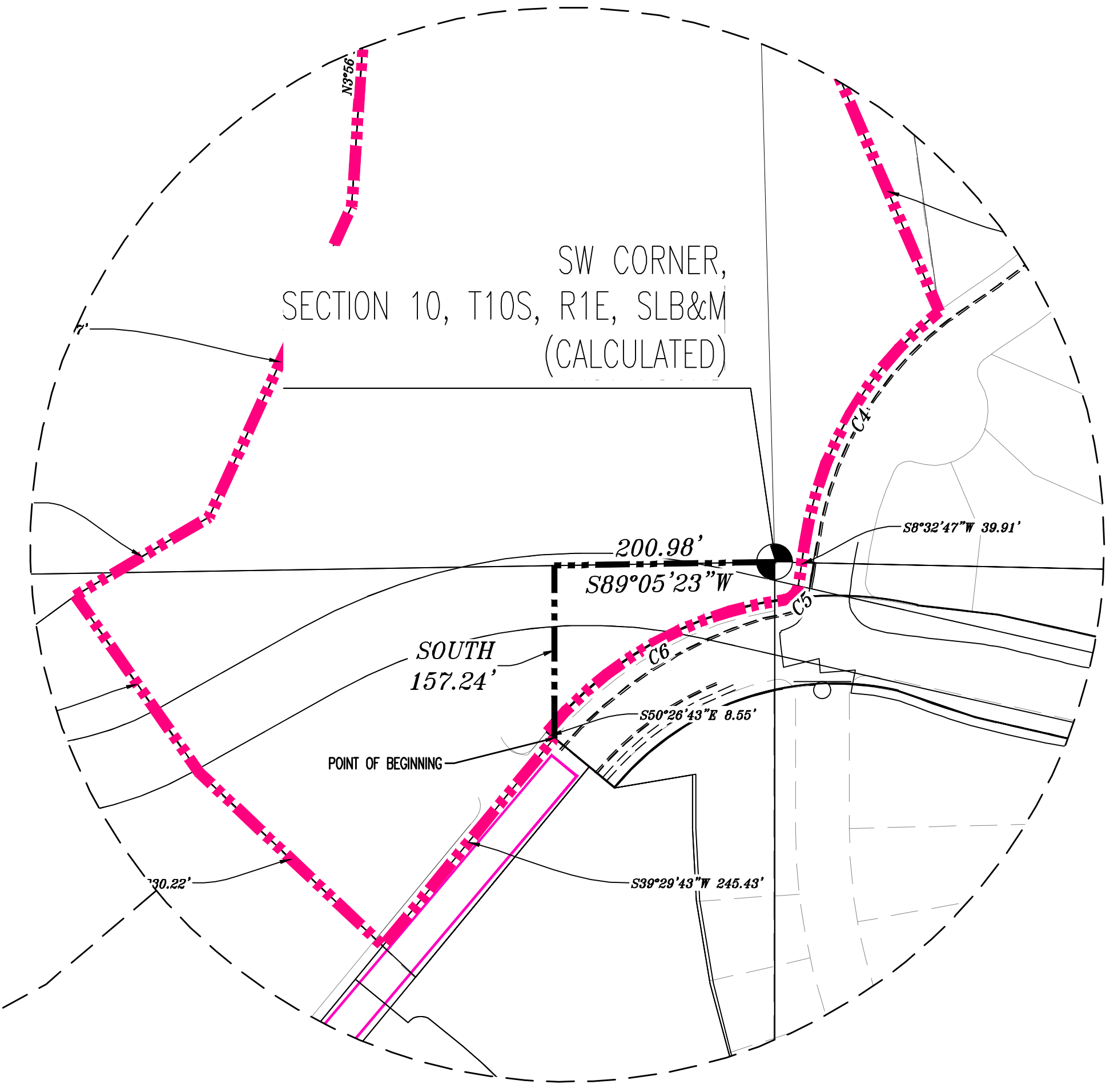
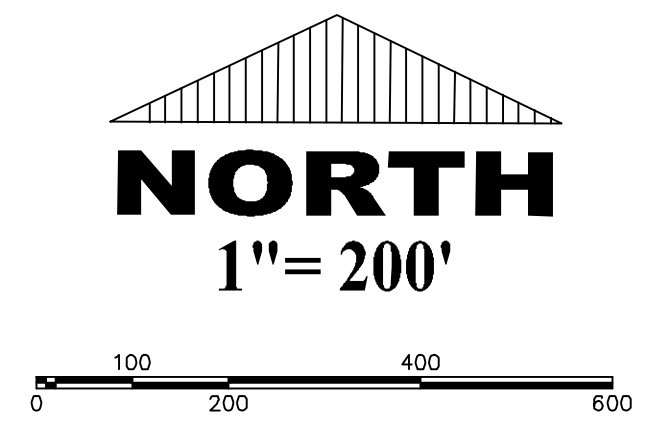
Surveyor's signature

Robbin J. Mullen  
1776 North State St #110  
Orem, UT 84057  
(801) 367-5274

Surveyor License #368356  
Date of last revision: Jan. 06, 2022



CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	308.59'	524.50'	304.16'	N6°33'58\"E	33°42'36\"
C2	115.15'	175.00'	113.08'	S14°25'00\"W	37°42'01\"
C3	96.98'	430.00'	96.77'	S44°29'39\"E	12°55'18\"
C4	249.43'	330.00'	243.53'	S30°11'58\"W	43°18'23\"
C5	19.29'	15.00'	17.99'	S45°22'17\"W	73°40'17\"
C6	253.52'	340.00'	247.69'	S60°51'25\"W	42°43'19\"



**Legend of Symbols & Abbreviations**

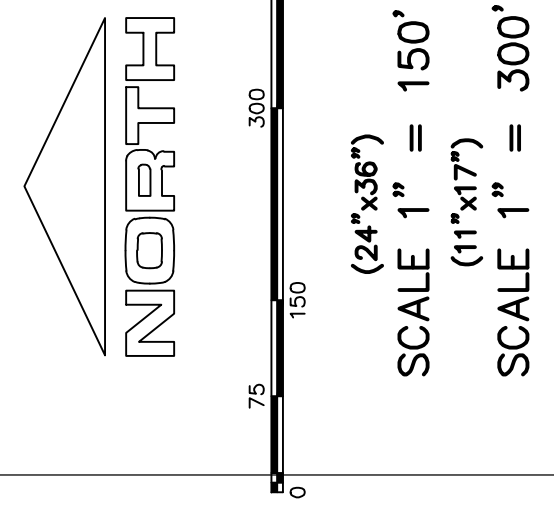
- FENCE
- IRON PIN SET
- R/W RIGHT OF WAY
- C/L CENTERLINE
- FOUND MONUMENT
- ⊥ SIGN
- (M) MEASURED
- (R) RECORDED
- ⚑ FLAGPOLE
- ♿ ADA PARKING
- REC. RECORDED
- CALC. CALCULATED
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- ACCESS POINT OF ACCESS
- ⊙ POWER POLE
- ⊕ LIGHT POLE
- ⊞ TRANSFORMER
- ⊞ ELECTRIC METER
- ⊞ GAS VALVE
- ⊞ GAS METER
- ⊞ WATER METER
- ⊞ WATER VALVE
- ⊞ HYDRANT
- ⊞ WATER MANHOLE
- ⊞ STORM MANHOLE
- ⊞ CATCH BASIN (SQUARE)
- ⊞ CATCH BASIN (ROUND)
- ⊞ SANITARY MANHOLE
- ⊞ SANITARY CLEANOUT

2099548 SQUARE FEET  
(48.20 ACRES)

SW CORNER,  
SECTION 10, T10S, R1E, SLB&M  
(CALCULATED)

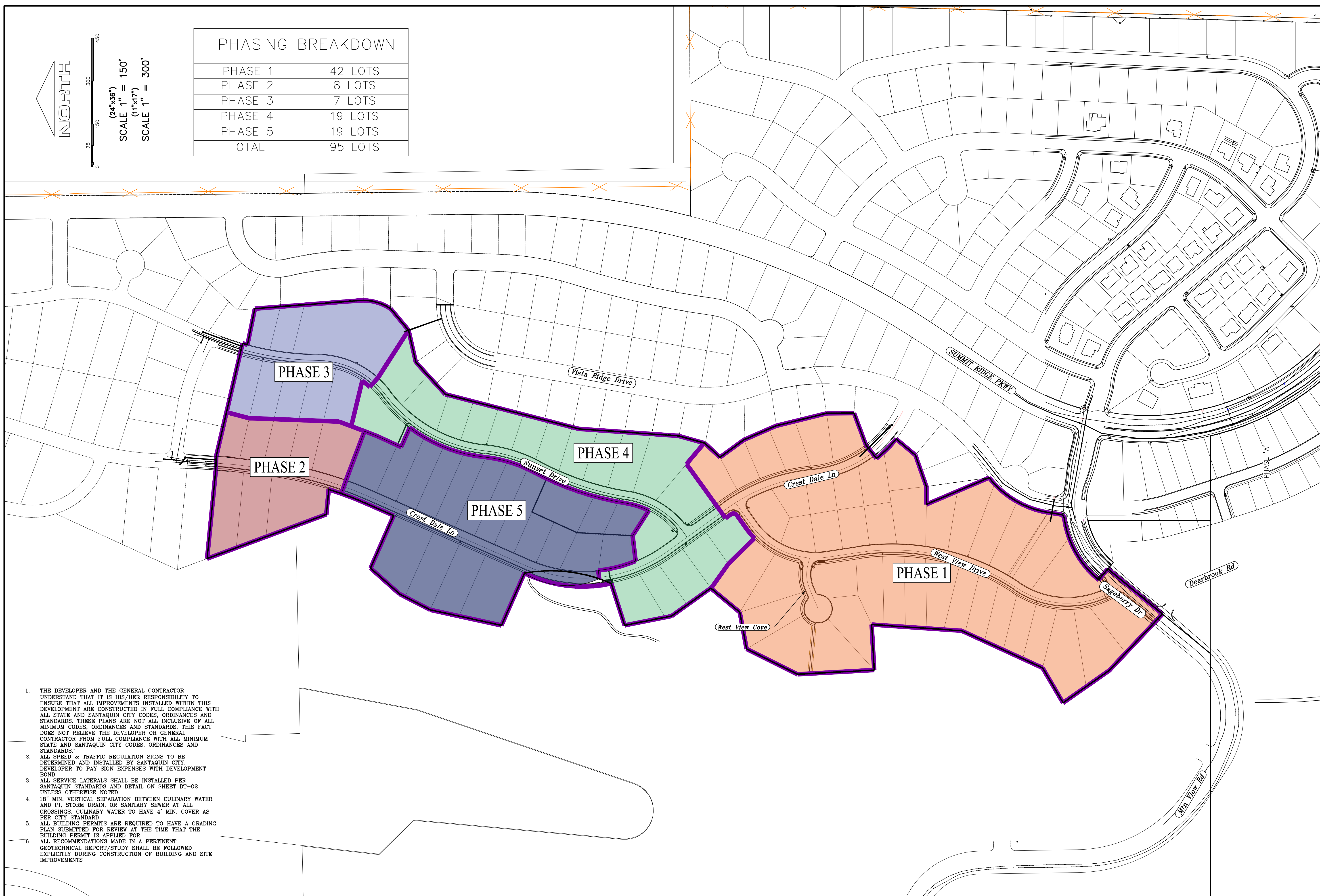
POINT OF BEGINNING

W 1/4 SEC 15, T10S,  
R1E, SLB&M  
FOUND 3" BRASS CAP



(24"x36")  
 SCALE 1" = 150'  
 (11"x17")  
 SCALE 1" = 300'

PHASING BREAKDOWN	
PHASE 1	42 LOTS
PHASE 2	8 LOTS
PHASE 3	7 LOTS
PHASE 4	19 LOTS
PHASE 5	19 LOTS
TOTAL	95 LOTS



1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-02 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

**region**  
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 regiondesignllc.com

**THE VISTAS WEST @ SUMMIT RIDGE**  
**PHASE 1**  
 LOCATED IN SW PORTION SECTION 10,  
 TOWNSHIP 6 SOUTH  
 RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

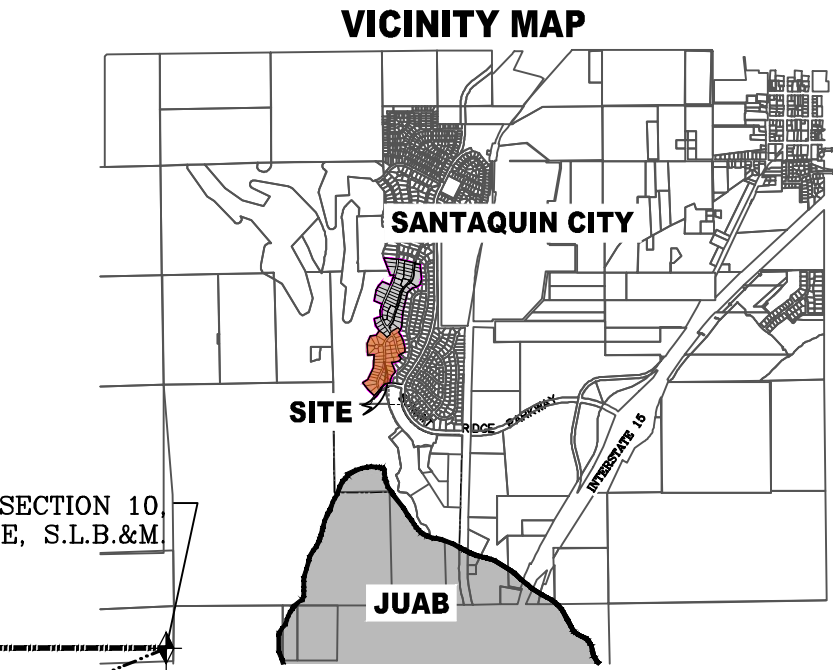
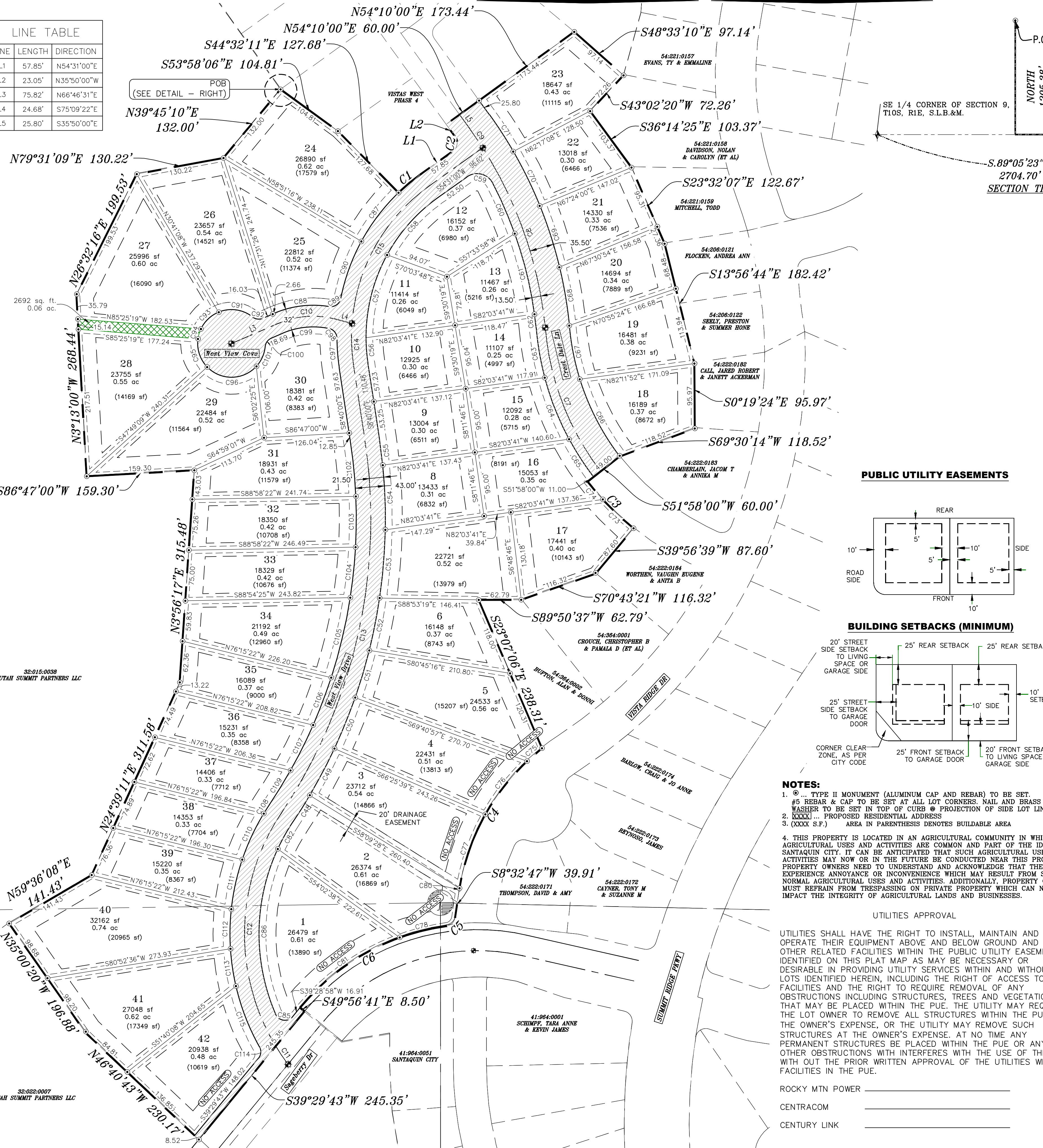
DATE: 3.25.2022  
 PROJECT #

REVISIONS:	
1	
2	
3	

SHEET NAME:  
 PHASE PLAN  
 SHEET:  
**PH-01**

# THE VISTAS WEST @ SUMMIT RIDGE PHASE 1

LINE	LENGTH	DIRECTION
L1	57.85'	N54°31'00"E
L2	23.05'	N35°50'00"W
L3	75.82'	N66°46'31"E
L4	24.68'	S75°09'22"E
L5	25.80'	S35°50'00"E

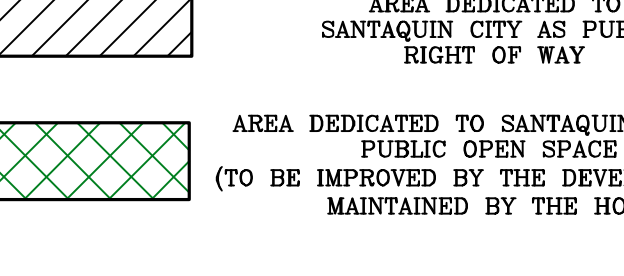


AREA BREAKDOWN	
TOTAL PLAT ACREAGE	20.50 ACRES
TOTAL LOT ACREAGE	18.09 ACRES
TOTAL ROW ACREAGE	2.35 ACRES
TOTAL OPEN SPACE	0.06 ACRES
ZONE	PC - PLANNED COMMUNITY
DENSITY	2.05 / DU
NUMBER OF LOTS	42 LOTS

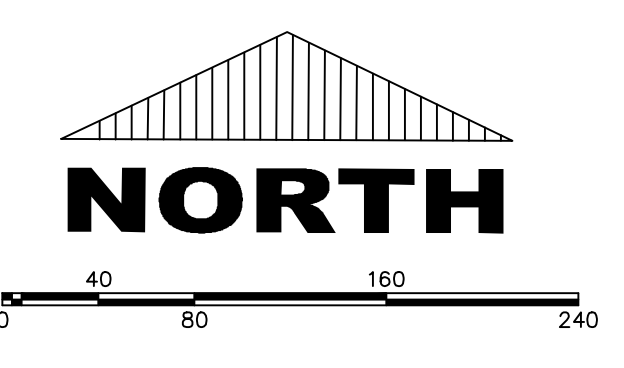
**PROJECT DEVELOPER**  
David Simpson  
1 801-376-1966  
WoodSpring@gmail.com  
407 N Main Street Springville, UT 84663

**PROJECT ENGINEER & SURVEYOR**  
REGION ENGINEERING & SURVEYING  
1776 NORTH STATE STREET #110  
OREM, UTAH 84057  
PH - 801.376.2245

- LEGEND**
- FOUND SECTION COR. AS NOTED
  - SET 5/8" IRON PIN TO BE SET AT ALL LOT CORNERS
  - FOUND CLASS 1 STREET MONUMENT
  - SET STREET MONUMENT
  - PROPERTY BOUNDARY
  - CENTERLINE
  - RIGHT-OF-WAY LINE
  - LOT LINE
  - SECTION LINE
  - PUBLIC UTILITY EASEMENT
  - CALCULATED POINT (NOT SET)
  - NDCBU (4'x8' POSTAL EASEMENT)
  - AREA DEDICATED TO SANTAQUIN CITY AS PUBLIC RIGHT OF WAY
  - AREA DEDICATED TO SANTAQUIN CITY AS PUBLIC OPEN SPACE (TO BE IMPROVED BY THE DEVELOPER AND MAINTAINED BY THE HOA)



**BASIS OF BEARING**  
THE BASIS OF BEARING FOR THE VISTAS @ SUMMIT RIDGE IS ON THE SECTION LINE BETWEEN THE SW CORNER OF SECTION 10 AND THE S 1/4 CORNER OF SECTION 19, T10S, R1E, S.L.B.&M. WITH THE BEARING BEING S89°05'23"W ALONG SAID LINE.



(24"x36")  
SCALE 1" = 80'  
(11"x17")  
SCALE 1" = 160'

**DOMINION ENERGY ACCEPTANCE**  
DOMINION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION'S RIGHT OF WAY DEPARTMENT AT 1-800-366-8532.

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
DOMINION ENERGY COMPANY  
BY- \_\_\_\_\_  
TITLE- \_\_\_\_\_

- NOTES:**
1. ... TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET.
  2. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
  3. (XXXX) - PROPOSED RESIDENTIAL ADDRESS
  4. THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

**UTILITIES APPROVAL**  
UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

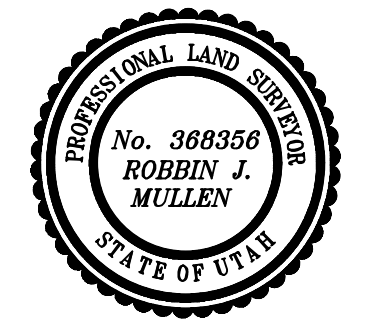
ROCKY MTN POWER \_\_\_\_\_  
CENTRACOM \_\_\_\_\_  
CENTURY LINK \_\_\_\_\_

## Surveyor's Certificate

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

## Boundary Description

VISTAS WEST - PHASE 1  
BEGINNING AT A POINT ON A LINE THAT IS S.89°05'23"W, A DISTANCE OF 236.39 FEET ALONG THE SECTION LINE AND NORTH 1205.38 FEET FROM THE SOUTHWEST CORNER OF SECTION 10, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN;  
THENCE, S 53° 58' 06" E FOR A DISTANCE OF 104.81 FEET TO A POINT ON A LINE.  
THENCE, S 44° 32' 11" E FOR A DISTANCE OF 127.68 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.  
SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 08° 23' 13", HAVING A RADIUS OF 296.50 FEET, AND WHOSE LONG CHORD BEARS N 50° 19' 24" E FOR A DISTANCE OF 43.36 FEET.  
THENCE, N 54° 31' 00" E FOR A DISTANCE OF 57.85 FEET TO THE BEGINNING OF A CURVE.  
SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 90° 21' 00", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS N 09° 20' 30" E FOR A DISTANCE OF 21.28 FEET.  
THENCE, N 35° 50' 00" W FOR A DISTANCE OF 23.05 FEET TO A POINT ON A LINE.  
THENCE, N 54° 10' 00" E FOR A DISTANCE OF 60.00 FEET TO A POINT ON A LINE.  
THENCE, N 54° 10' 00" E FOR A DISTANCE OF 72.26 FEET TO A POINT ON A LINE.  
THENCE, S 48° 33' 10" E FOR A DISTANCE OF 97.14 FEET TO A POINT ON A LINE.  
THENCE, S 43° 02' 20" W FOR A DISTANCE OF 72.26 FEET TO A POINT ON A LINE.  
THENCE, S 36° 14' 25" E FOR A DISTANCE OF 103.37 FEET TO A POINT ON A LINE.  
THENCE, S 23° 32' 07" E FOR A DISTANCE OF 122.67 FEET TO A POINT ON A LINE.  
THENCE, S 13° 56' 44" E FOR A DISTANCE OF 182.42 FEET TO A POINT ON A LINE.  
THENCE, S 00° 19' 24" E FOR A DISTANCE OF 62.79 FEET TO A POINT ON A LINE.  
THENCE, S 23° 07' 06" E FOR A DISTANCE OF 238.31 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.  
SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 43° 18' 23", HAVING A RADIUS OF 330.00 FEET, AND WHOSE LONG CHORD BEARS S 30° 11' 58" W FOR A DISTANCE OF 243.53 FEET.  
THENCE, S 08° 32' 47" E FOR A DISTANCE OF 39.91 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.  
SAID CURVE TURNING TO THE RIGHT THROUGH 73° 40' 17", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS S 45° 22' 17" W FOR A DISTANCE OF 17.99 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.  
SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 42° 43' 19", HAVING A RADIUS OF 340.00 FEET, AND WHOSE LONG CHORD BEARS S 60° 51' 25" W FOR A DISTANCE OF 247.69 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE.  
THENCE, S 49° 56' 41" E FOR A DISTANCE OF 8.50 FEET TO A POINT ON A LINE.  
THENCE, S 39° 29' 43" W FOR A DISTANCE OF 245.35 FEET TO A POINT ON A LINE.  
THENCE, N 46° 40' 43" W FOR A DISTANCE OF 230.17 FEET TO A POINT ON A LINE.  
THENCE, N 35° 00' 20" W FOR A DISTANCE OF 196.88 FEET TO A POINT ON A LINE.  
THENCE, N 59° 36' 08" E FOR A DISTANCE OF 141.43 FEET TO A POINT ON A LINE.  
THENCE, N 24° 39' 11" E FOR A DISTANCE OF 311.58 FEET TO A POINT ON A LINE.  
THENCE, N 03° 56' 17" E FOR A DISTANCE OF 315.48 FEET TO A POINT ON A LINE.  
THENCE, S 86° 47' 00" W FOR A DISTANCE OF 159.30 FEET TO A POINT ON A LINE.  
THENCE, N 03° 13' 00" W FOR A DISTANCE OF 268.44 FEET TO A POINT ON A LINE.  
THENCE, N 26° 32' 14" W FOR A DISTANCE OF 198.55 FEET TO A POINT ON A LINE.  
THENCE, N 79° 31' 09" E FOR A DISTANCE OF 130.22 FEET TO A POINT ON A LINE.  
THENCE, N 39° 45' 10" E FOR A DISTANCE OF 132.00 FEET TO THE POINT OF BEGINNING  
CONTAINING 20.50 ACRES OF LAND AND 42 LOTS



DATE \_\_\_\_\_ SURVEYOR (See Seal Below)

**OWNERS DEDICATION**  
KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HERON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HERON FOR PERPETUAL USE OF THE PUBLIC.  
IN WITNESS WHEREOF WE HAVE HERUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

**LIMITED COMPANY ACKNOWLEDGEMENT**  
STATE OF UTAH  
COUNTY OF UTAH  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE \_\_\_\_\_ OF A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

MY COMMISSION EXPIRES \_\_\_\_\_ A NOTARY PUBLIC COMMISSIONED IN UTAH  
NOTARY ADDRESS \_\_\_\_\_ PRINTED FULL NAME OF NOTARY \_\_\_\_\_

**ACCEPTANCE BY LEGISLATIVE BODY**  
THE \_\_\_\_\_ OF COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

APPROVED MAYOR OF SANTAQUIN \_\_\_\_\_  
ATTEST \_\_\_\_\_  
ENGINEER (See Seal Below) \_\_\_\_\_ CLERK-RECORDER (See Seal Below) \_\_\_\_\_

# THE VISTAS WEST @ SUMMIT RIDGE PHASE 1

\_\_\_\_\_  
UTAH COUNTY, UTAH  
SCALE: 1" = 80 FEET

NOTARY PUBLIC SEAL \_\_\_\_\_ CITY-COUNTY ENGINEER SEAL \_\_\_\_\_ COUNTY-RECORDER SEAL \_\_\_\_\_

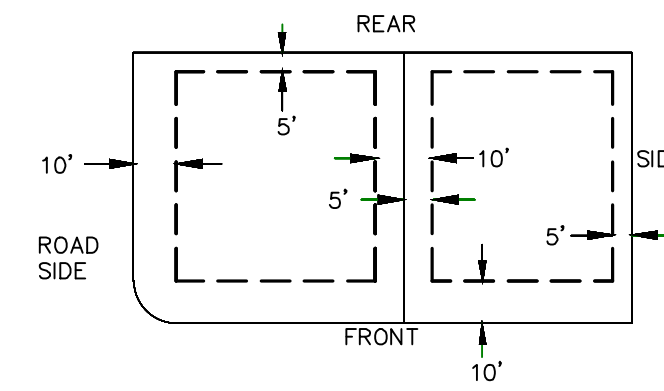
# THE VISTAS WEST @ SUMMIT RIDGE PHASE 1

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	43.40'	296.50'	43.36'	N50°19'24"E	8°23'13"
C2	23.65'	15.00'	21.28'	N9°20'30"E	90°21'00"
C3	96.98'	430.00'	96.77'	S44°29'39"E	12°55'18"
C4	249.43'	330.00'	243.53'	S30°11'58"W	43°18'23"
C5	19.29'	15.00'	17.99'	S45°22'17"W	73°40'17"
C6	253.52'	340.00'	247.69'	S60°51'25"W	42°43'19"
C7	230.85'	405.50'	227.74'	S21°05'05"E	32°37'03"
C8	283.69'	605.07'	281.10'	S19°10'50"E	26°51'47"
C9	34.01'	605.07'	34.00'	S34°13'20"E	31°3'13"
C10	86.37'	130.00'	84.79'	N85°48'34"E	38°04'06"
C11	32.33'	320.00'	32.32'	S34°04'52"E	5°47'21"
C12	363.38'	320.00'	344.17'	S1°20'40"W	65°03'44"
C13	579.15'	780.00'	565.94'	S12°36'16"W	42°32'33"
C14	62.24'	275.00'	62.11'	S21°05'58"E	12°58'06"
C15	241.02'	275.00'	233.38'	S29°24'33"W	50°12'55"
C17	46.94'	298.50'	46.89'	S29°22'15"W	9°00'35"
C18	45.57'	801.50'	45.56'	S32°14'49"W	3°15'27"
C19	78.06'	801.50'	78.03'	S27°49'41"W	5°34'49"
C20	81.28'	801.50'	81.24'	S22°07'58"W	5°48'37"
C21	72.72'	801.50'	72.69'	S16°37'42"W	5°11'54"
C22	79.04'	801.50'	79.00'	S11°12'15"W	5°39'00"
C23	101.17'	801.50'	101.10'	S4°45'48"W	7°13'56"
C24	95.52'	801.50'	95.47'	S2°16'02"E	6°49'43"
C25	41.76'	801.50'	41.76'	S7°10'27"E	2°59'07"
C26	37.89'	253.50'	37.85'	S42°3'08"E	8°33'46"
C27	127.49'	253.50'	126.15'	S14°18'14"W	28°48'56"
C28	114.17'	253.50'	113.21'	S41°36'51"W	25°48'19"
C29	44.43'	26.00'	39.22'	N76°31'46"W	97°54'27"
C30	81.26'	591.69'	81.20'	N23°38'21"W	7°52'09"
C31	122.85'	591.69'	122.63'	N13°45'23"W	11°53'47"

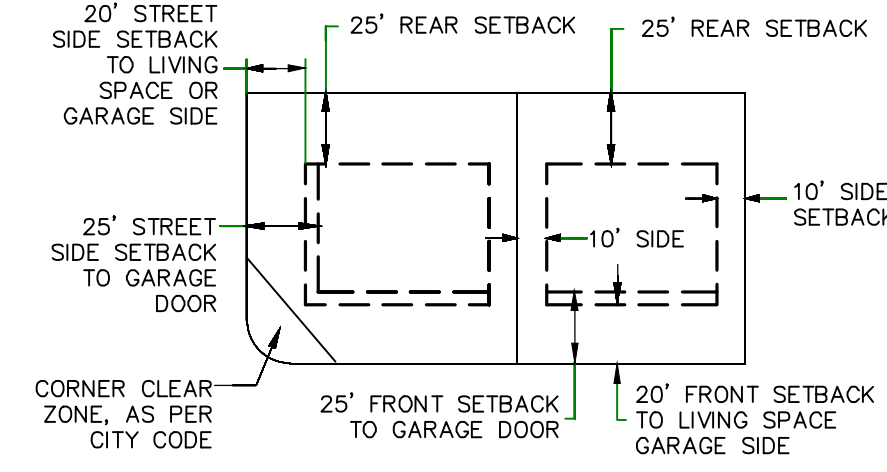
CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C32	21.01'	591.69'	21.01'	N6°47'27"W	2°02'05"
C33	74.13'	419.00'	74.03'	N9°50'40"W	10°08'13"
C34	97.99'	419.00'	97.77'	N21°36'47"W	13°24'01"
C35	66.56'	419.00'	66.49'	N32°51'49"W	9°06'04"
C36	129.25'	370.00'	128.59'	S27°19'30"E	20°00'51"
C37	80.99'	370.00'	80.83'	S11°02'49"E	12°32'31"
C38	87.43'	640.50'	87.36'	S9°36'11"E	7°49'15"
C39	95.41'	640.50'	95.32'	S17°46'51"E	8°32'05"
C40	89.23'	640.50'	89.16'	S26°02'22"E	7°58'56"
C41	64.87'	640.50'	64.84'	S32°55'55"E	5°48'10"
C42	62.39'	430.00'	62.34'	S46°47'54"E	8°18'48"
C43	34.58'	430.00'	34.57'	S40°20'15"E	4°36'30"
C44	29.35'	330.00'	29.34'	S49°18'17"W	5°05'46"
C45	100.15'	330.00'	99.76'	S38°03'46"W	17°23'16"
C46	116.19'	330.00'	115.59'	S19°16'55"W	20°10'26"
C47	71.20'	340.00'	71.07'	S76°13'08"W	11°59'53"
C48	3.74'	330.00'	3.74'	S8°52'15"W	0°38'55"
C49	182.32'	340.00'	180.14'	S54°51'28"W	30°43'26"
C50	46.94'	298.50'	46.89'	S29°22'15"W	9°00'35"
C51	30.67'	15.00'	25.60'	N81°55'50"W	11°08'54"
C52	251.23'	298.50'	243.88'	N0°45'17"E	48°13'21"
C53	90.90'	296.50'	90.54'	S37°20'50"W	17°33'54"
C54	82.65'	146.00'	81.55'	S82°59'31"W	32°26'00"
C55	23.05'	15.00'	20.85'	S55°10'37"W	88°03'48"
C56	90.14'	296.50'	89.80'	S19°51'19"W	17°25'10"
C57	52.71'	50.00'	50.30'	N81°54'37"W	60°24'08"
C58	16.10'	15.00'	15.34'	N82°28'01"W	61°30'55"
C59	36.94'	50.00'	36.10'	S46°43'30"W	42°19'38"
C60	15.40'	50.00'	15.34'	S16°44'06"W	17°39'10"
C61	45.36'	50.00'	43.82'	S18°04'55"E	51°58'52"

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C62	81.63'	50.00'	72.86'	N89°09'26"E	93°32'26"
C63	43.20'	296.50'	43.16'	S4°29'34"E	8°20'54"
C64	20.44'	15.00'	18.90'	S39°21'46"E	78°05'19"
C65	69.28'	114.00'	68.21'	N84°11'03"E	34°49'03"
C66	16.10'	15.00'	15.34'	N36°01'04"E	61°30'55"
C67	32.40'	50.00'	31.84'	N23°49'25"E	37°07'37"
C68	81.47'	758.50'	81.43'	S5°35'23"E	6°09'15"
C69	75.03'	758.50'	75.00'	S0°19'17"W	5°40'04"
C70	75.03'	758.50'	75.00'	S5°59'20"W	5°40'04"
C71	121.52'	758.50'	121.39'	S13°24'45"W	9°10'46"
C72	75.03'	758.50'	75.00'	S20°50'10"W	5°40'04"
C73	75.03'	758.50'	75.00'	S26°30'14"W	5°40'04"
C74	14.94'	341.50'	14.94'	S32°37'19"W	2°30'26"
C75	60.07'	758.50'	60.06'	S31°36'24"W	4°32'17"
C76	75.15'	341.50'	75.00'	S25°03'50"W	12°36'31"
C77	75.15'	341.50'	75.00'	S12°27'19"W	12°36'31"
C78	58.57'	341.50'	58.50'	S11°41'15"W	9°49'38"
C79	55.78'	341.50'	55.72'	S8°21'20"E	9°21'32"
C80	17.99'	15.00'	16.93'	S5°08'01"W	68°43'23"
C81	96.52'	341.50'	96.20'	S21°07'55"E	16°11'37"

### PUBLIC UTILITY EASEMENTS



### BUILDING SETBACKS (MINIMUM)



**THE VISTAS WEST @ SUMMIT RIDGE  
PHASE 1**

UTAH COUNTY, UTAH

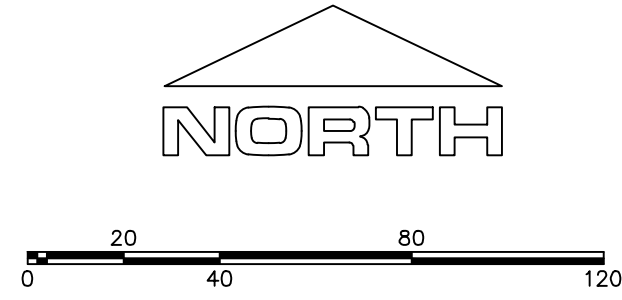
SCALE: 1" = 80 FEET

NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	COUNTY-RECORDER SEAL
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This form approved by Utah County and the municipalities therein.

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P.I. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

- ① RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- ② STOP/STREET SIGN
- ③ SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ④ CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ⑤ P.I. SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ⑥ PROVIDE 12" MINUS RIP-RAP AT END OF CURBING - APPROX 10'
- ⑦ ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- ⑧ STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- ⑨ NDCBU (3 BOXES)
- ⑩ 10' TRAIL
- ⑪ SPLIT RAIL (3 RAIL) FENCING ALONG OPEN SPACE TO BE PLACED AT PROPERTY LINE



(24"x36")  
SCALE 1" = 40'  
(11"x17")  
SCALE 1" = 80'

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

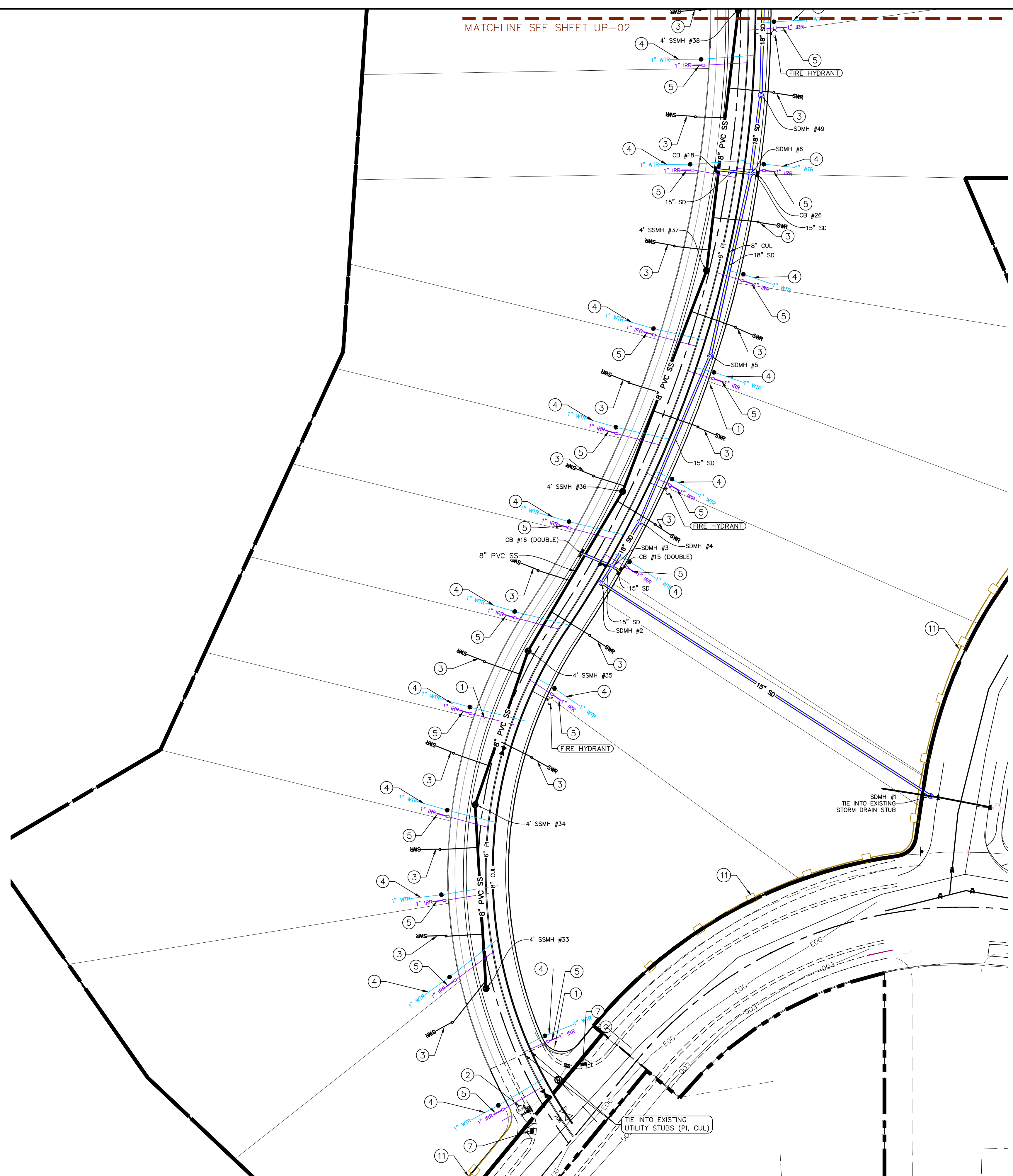
**LEGEND**

- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- SD- EXISTING DEED LINE
- SS- EXISTING STORM MAIN
- SS- EXISTING SEWER MAIN
- SS- EXISTING WATER MAIN
- SS- EXISTING P.I. MAIN
- SS- EXISTING CONCRETE
- SS- P.I./WAT./SEWER LATERAL
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED CURB & GUTTER
- PROPOSED LOT LINE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- PROPOSED STORM MAIN
- PROPOSED CUL MAIN
- PROPOSED P.I. MAIN
- PROPOSED SEWER MAIN
- PROPOSED WAT./PI./SEWER SERVICE LATERALS
- ⊙ RESIDENTIAL STREET LIGHT
- ⊙ PROPOSED VALVE (WAT./PI)
- ⊙ PROPOSED SEWER MANHOLE
- ⊙ PROPOSED STORM INLET/MANHOLE
- ⊙ PROPOSED ADA RAMP
- ⊙ PROPOSED STOP/STREET SIGN
- ⊙ PROPOSED FIRE HYDRANT
- ⊙ FOUND SECTION COR. AS NOTED
- ⊙ SET 5/8" IRON PIN TO BE SET AT ALL LOT CORNERS
- ⊙ FOUND CLASS I STREET MONUMENT
- ⊙ SET STREET MONUMENT
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- PUBLIC UTILITY EASEMENT
- SECTION LINE

**NOTES TO CONTRACTOR:**

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MATCHLINE SEE SHEET UP-02

**region**  
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regiondesignllc.com

**THE VISTAS WEST @ SUMMIT RIDGE**  
**PHASE 1**  
LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022

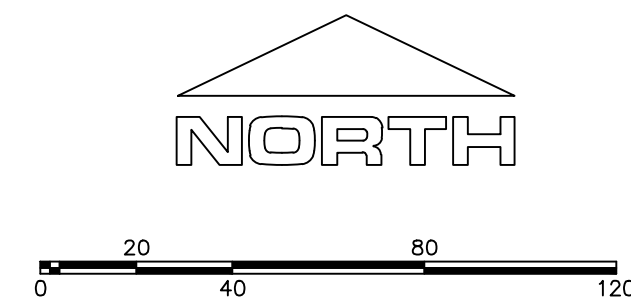
PROJECT #

REVISIONS:

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SHEET NAME:  
UTILITY PLANS  
SHEET:  
UP-01

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7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.



(24"x36")  
SCALE 1" = 40'  
(11"x17")  
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- 11 SPLIT RAIL (3 RAIL) FENCING ALONG OPEN SPACE - TO BE PLACED AT PROPERTY LINE
- 12 6' TAN VINYL FENCE (DROP 3' @ SETBACK LINES) ALONG ADJOINING PRIVATE PROPERTY ADJOINING PROPERTY OWNERS TO OWN/MAINTAIN FENCE -- FENCE TO BE INSTALLED FULLY ON LOT OWNER PROPERTY (OFFSET FROM PROPERTY LINE 12") - SEE SHEET DT-01

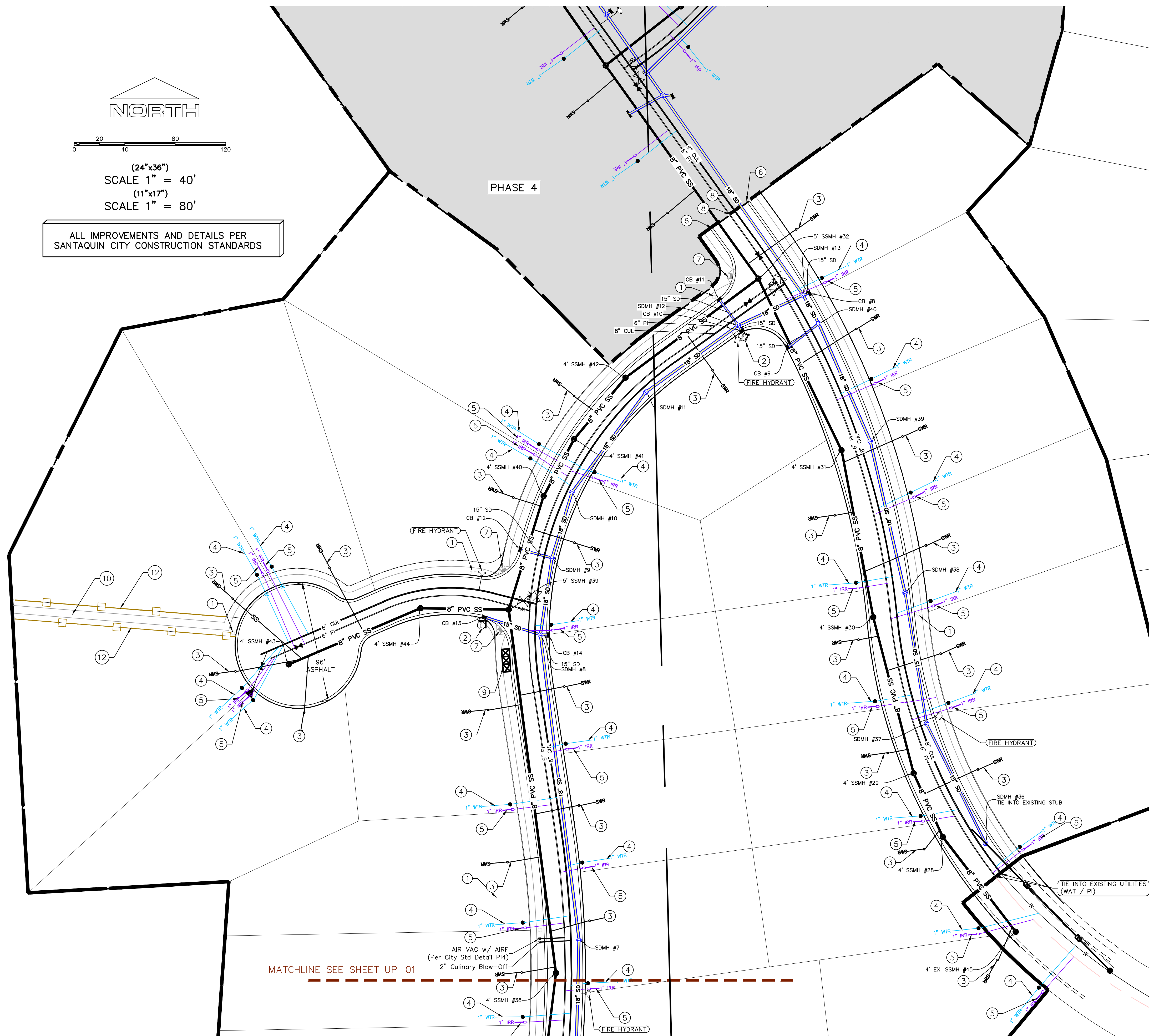
**LEGEND**

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- EXISTING WATER MAIN
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MATCHLINE SEE SHEET UP-01

AIR VAC w/ AIRF (Per City Std Detail PI4)  
2" Culinary Blow-Off

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**THE VISTAS WEST @ SUMMIT RIDGE**  
**PHASE 1**  
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TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022

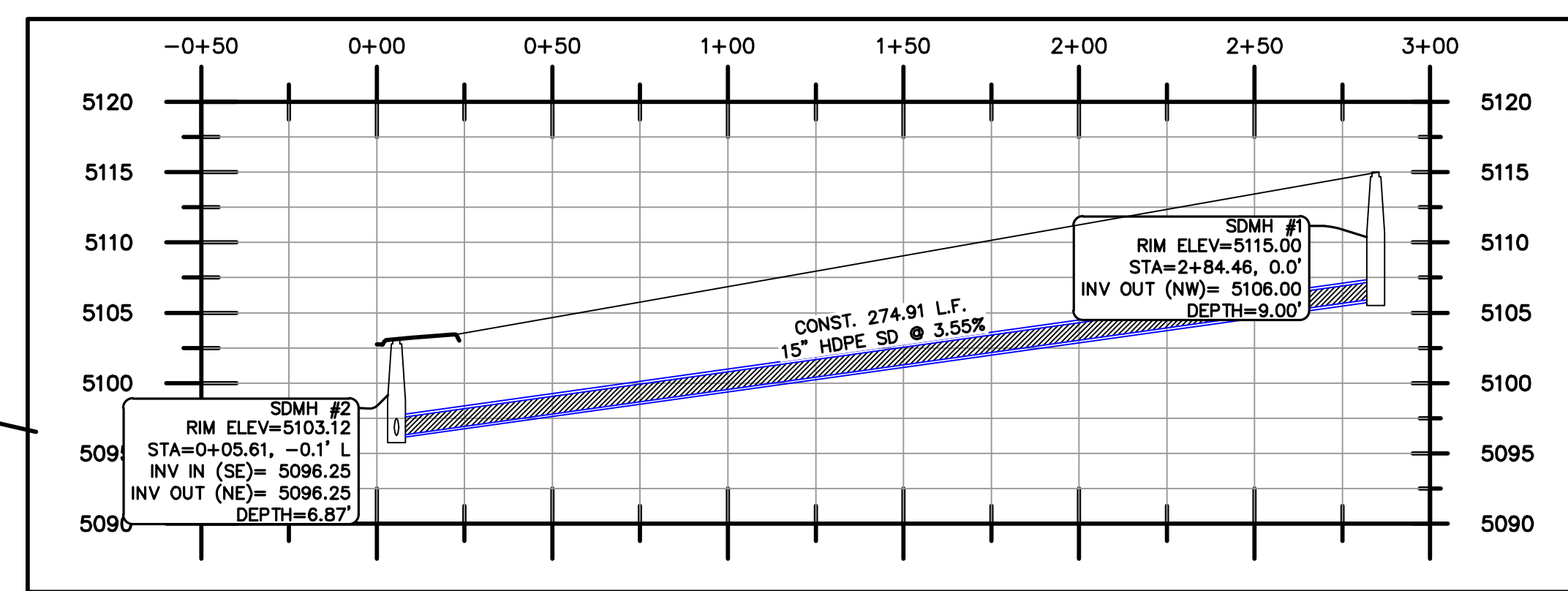
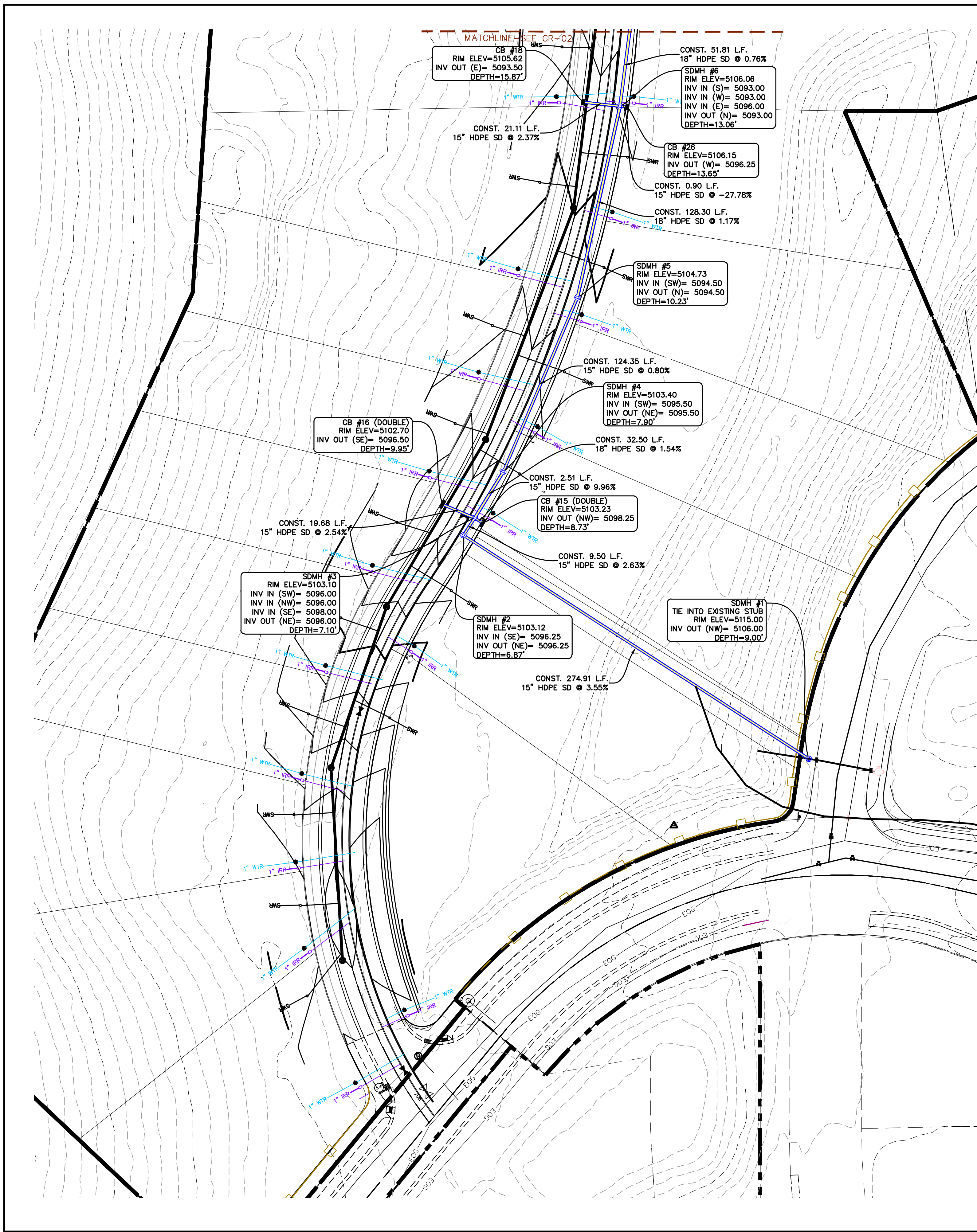
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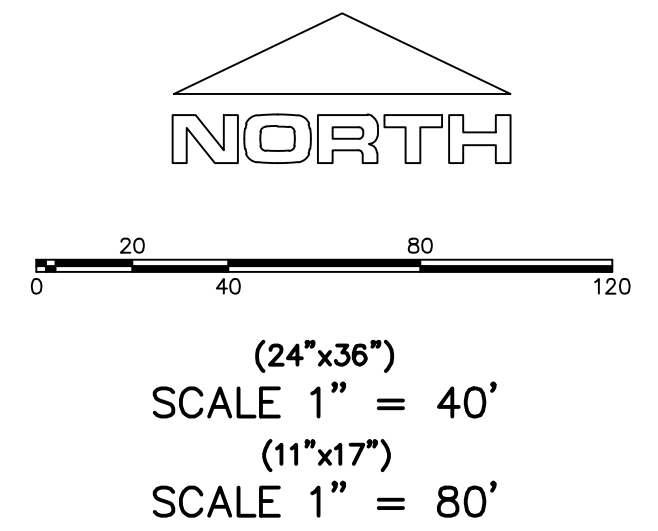
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SHEET NAME:  
UTILITY PLANS  
SHEET:  
UP-02





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RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

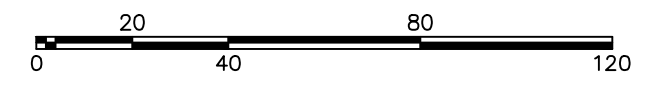
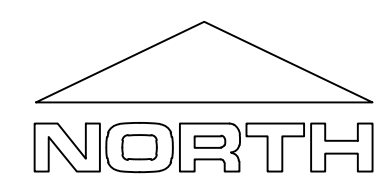
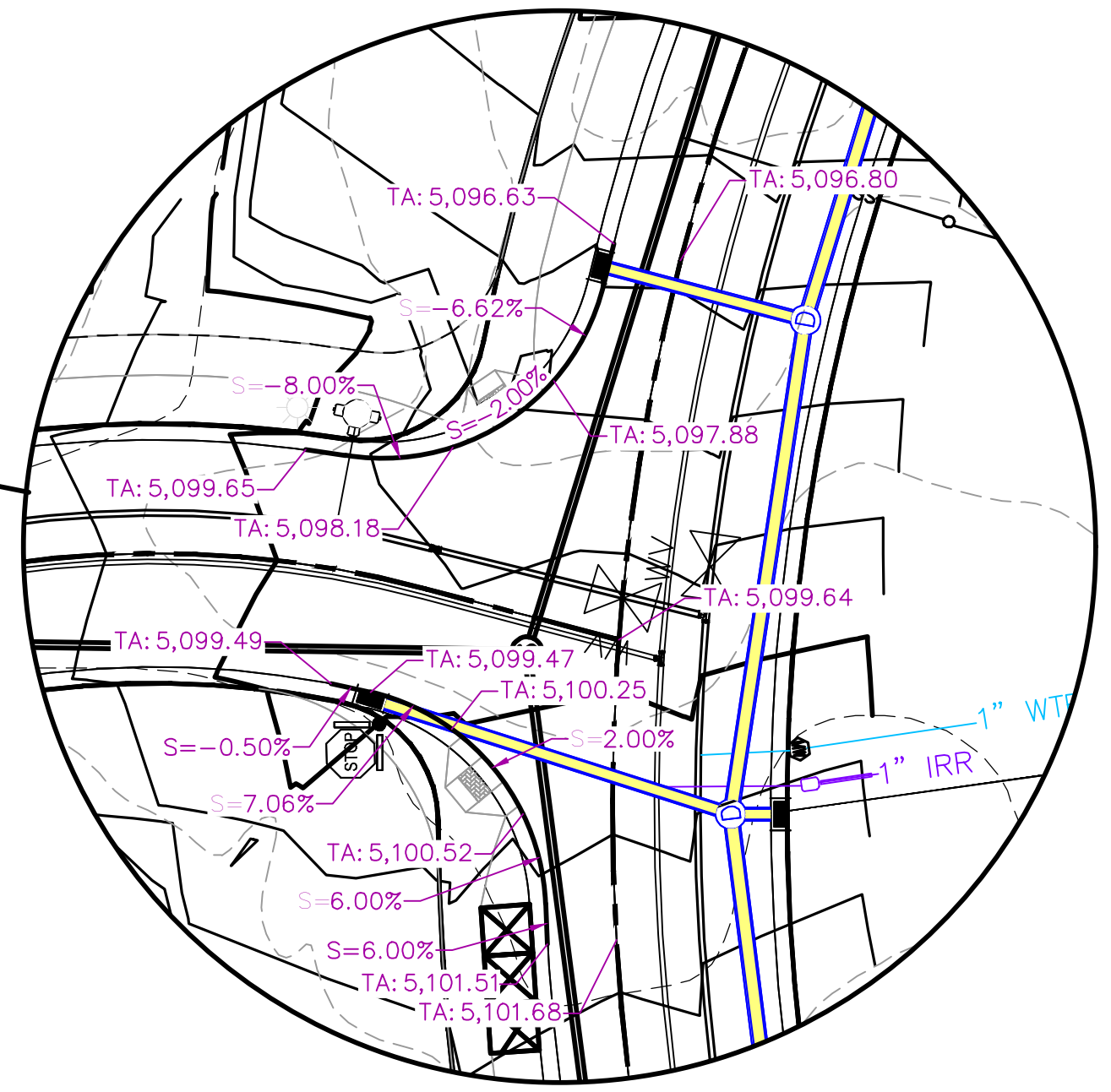
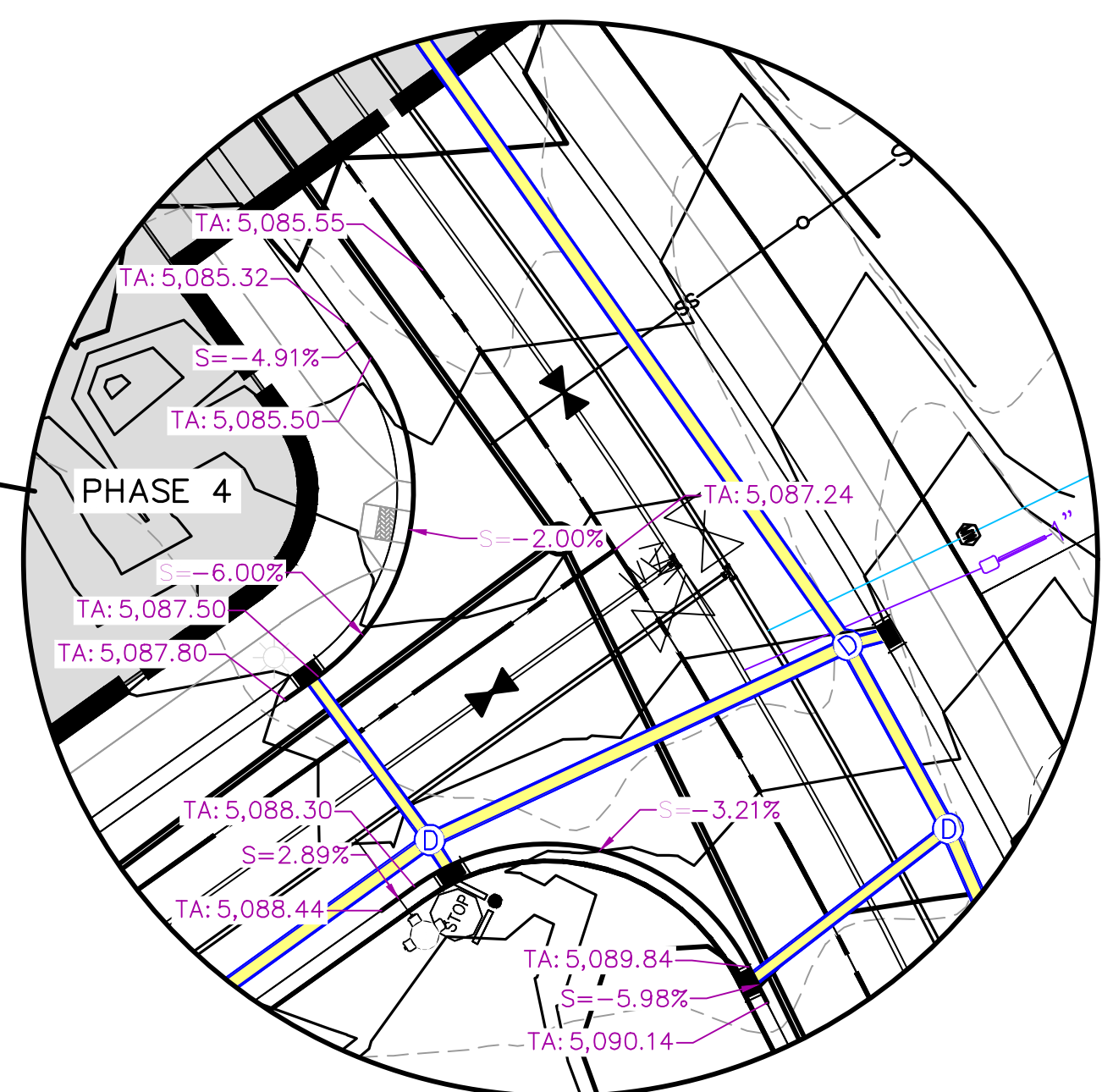
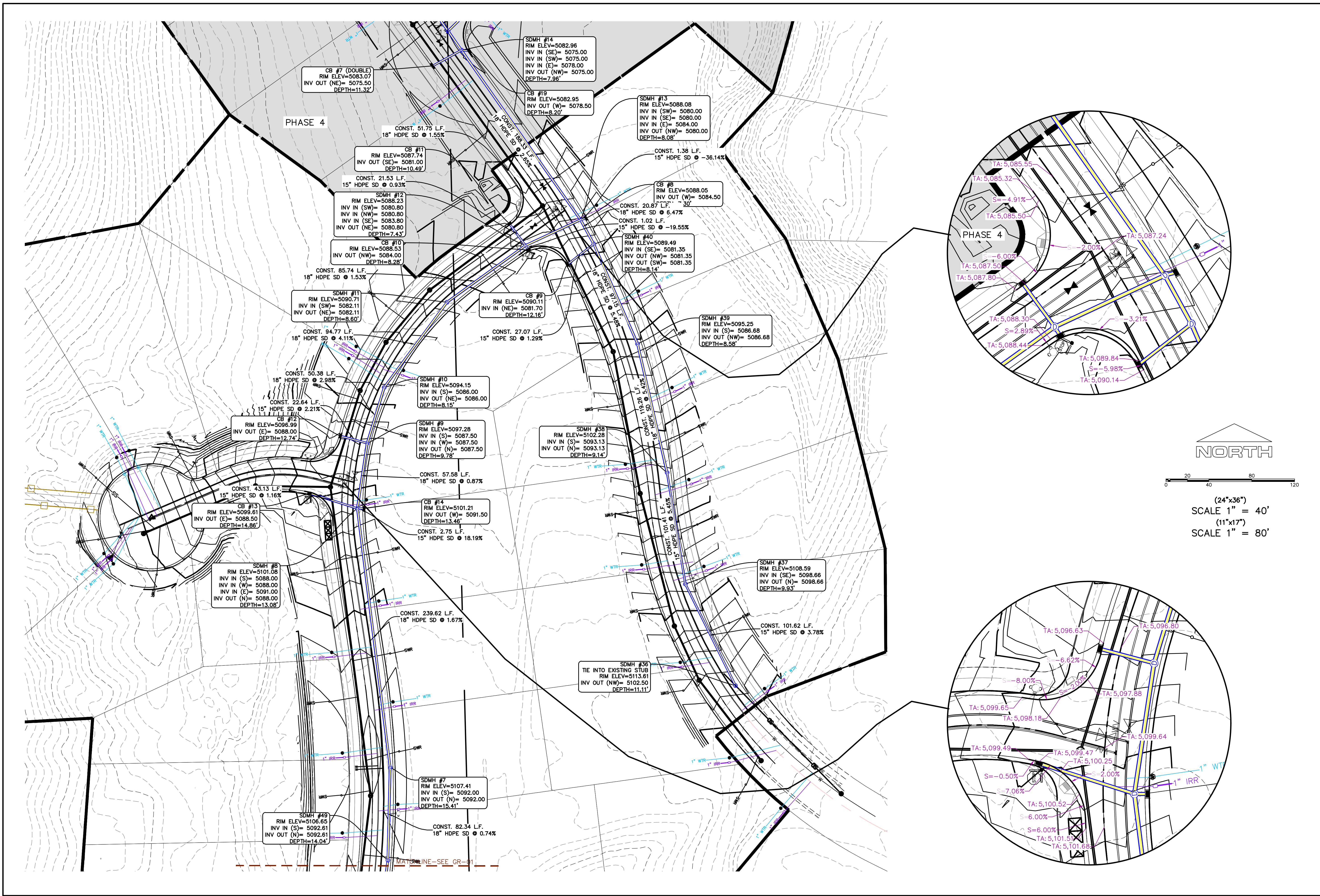
DATE: 3.25.2022

PROJECT #

REVISIONS:

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SHEET NAME:  
GRADING PLANS  
SHEET:  
**GR-01**



(24"x36")  
 SCALE 1" = 40'  
 (11"x17")  
 SCALE 1" = 80'



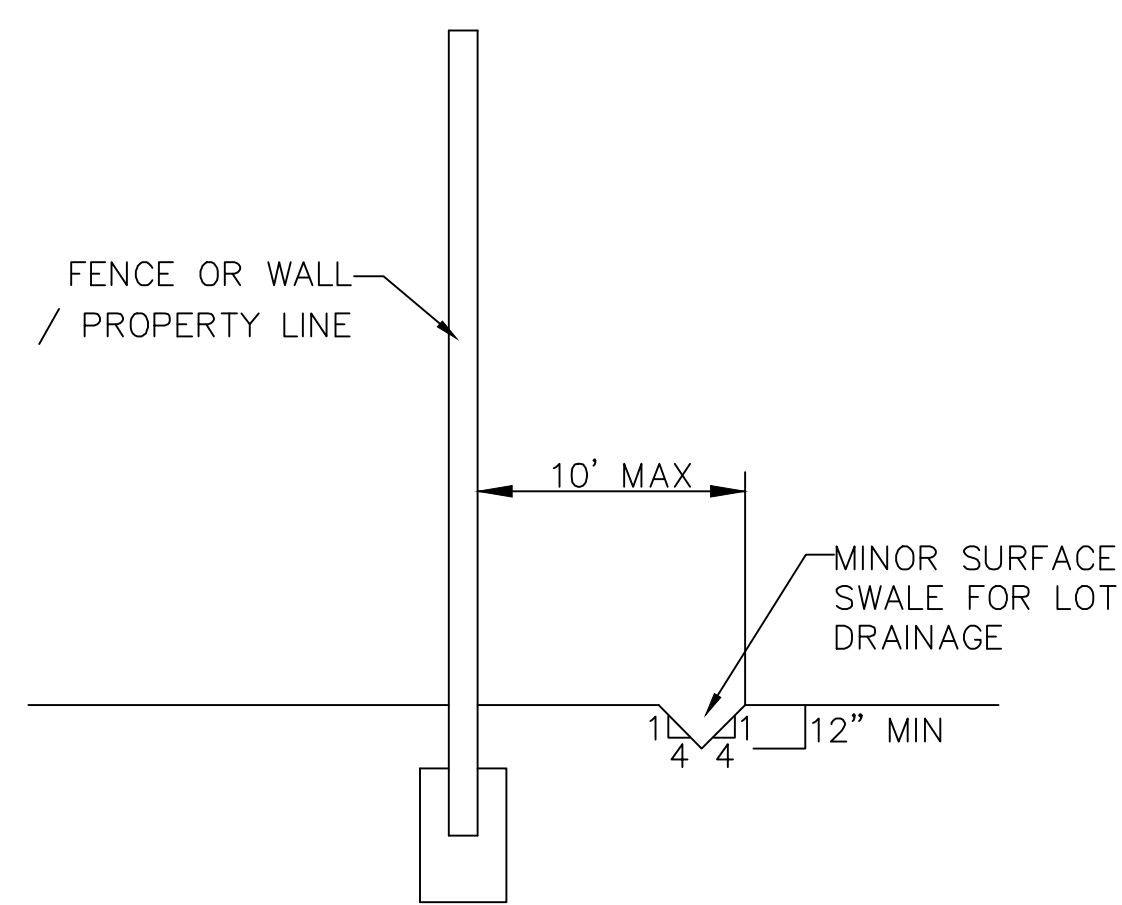
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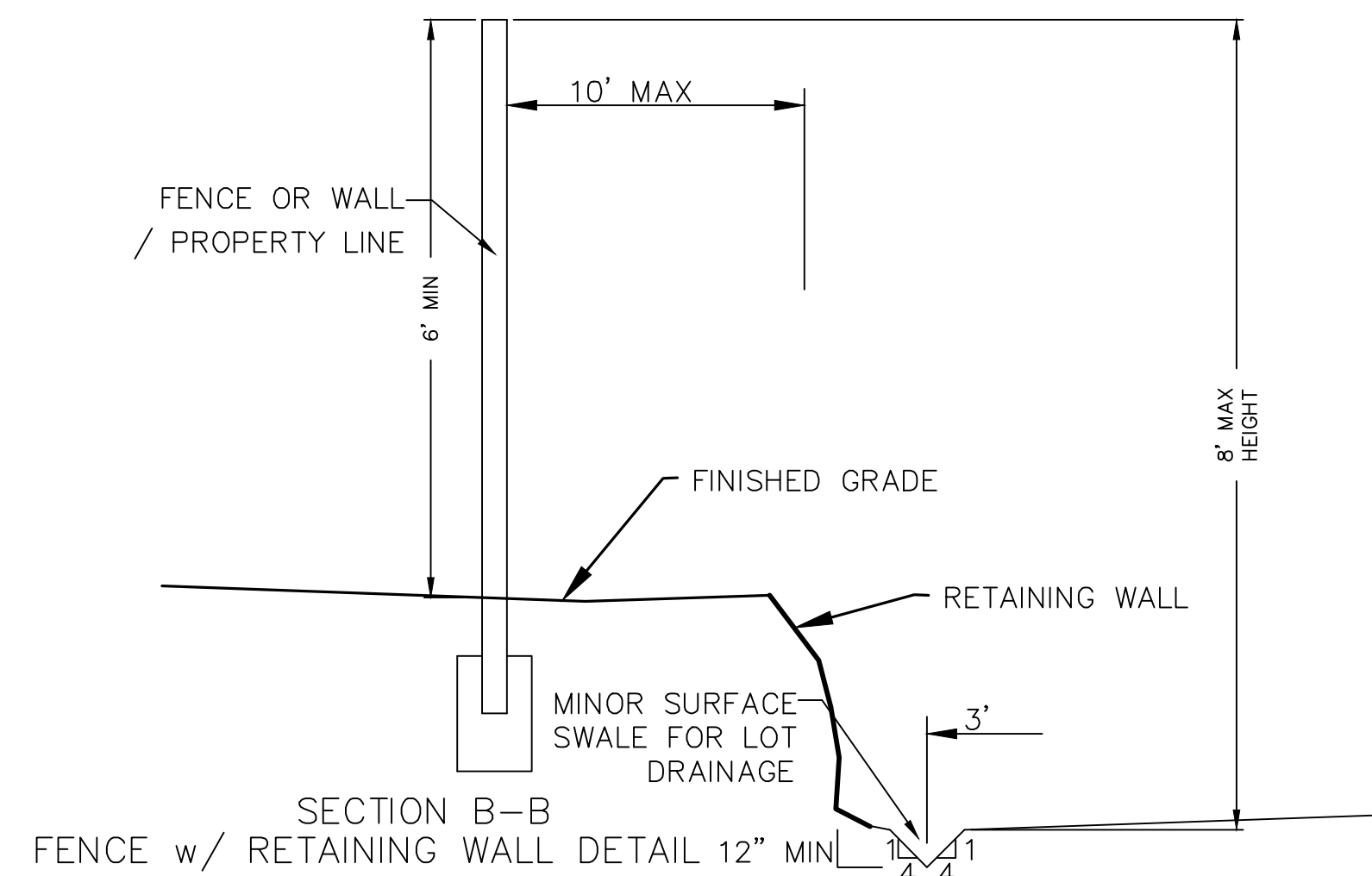
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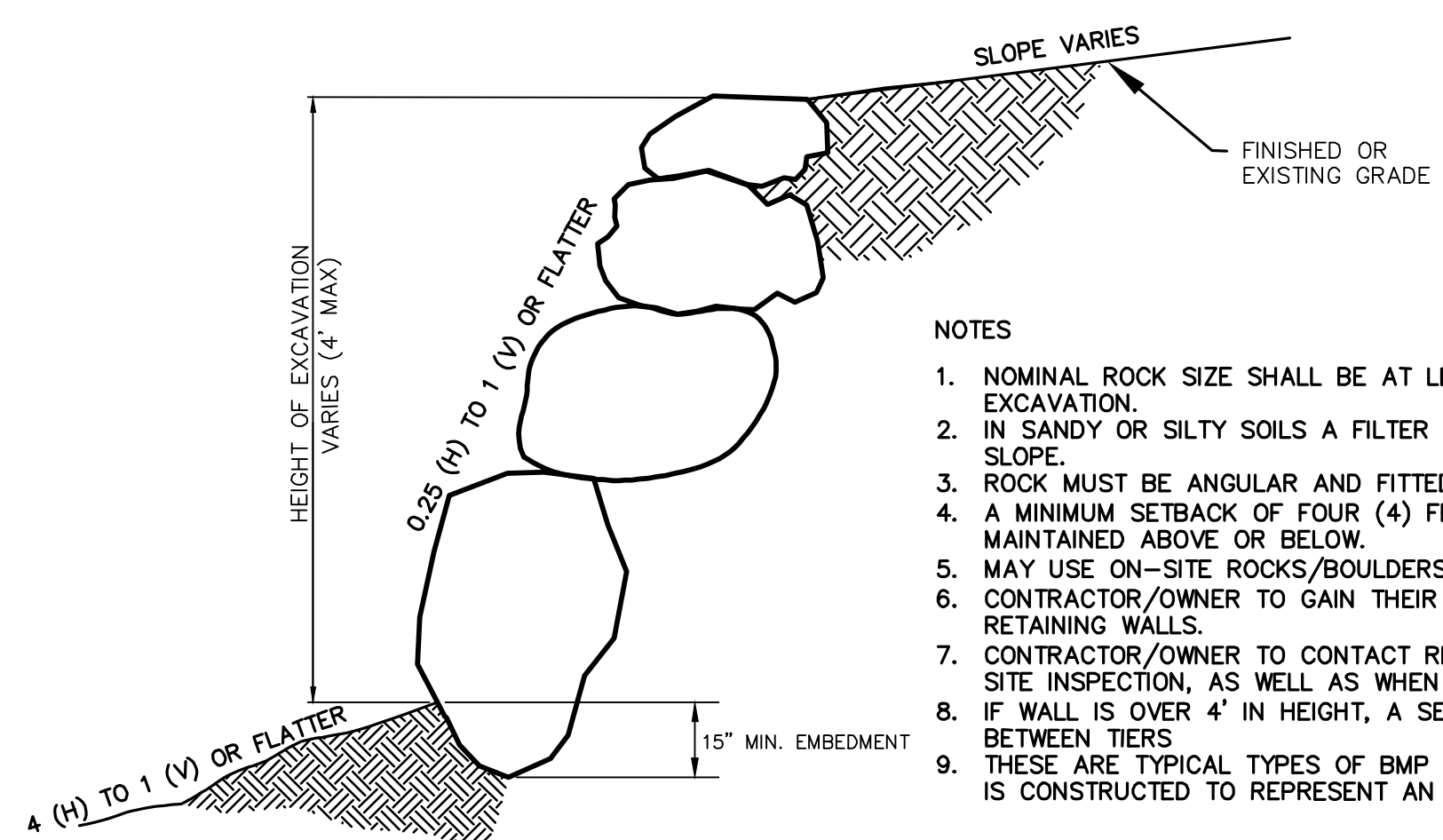
SHEET NAME:  
 GRADING PLANS  
 SHEET:  
**GR-02**



SECTION C-C  
FENCE DETAIL



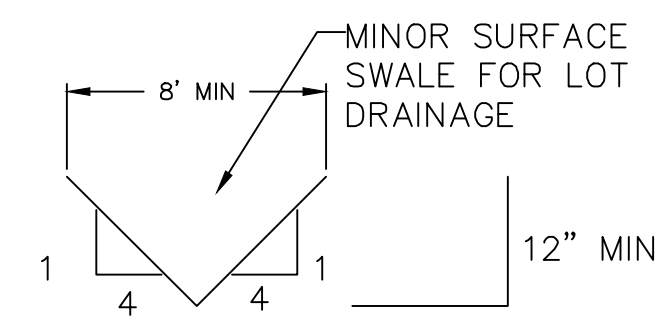
SECTION B-B  
FENCE w/ RETAINING WALL DETAIL 12\"/>



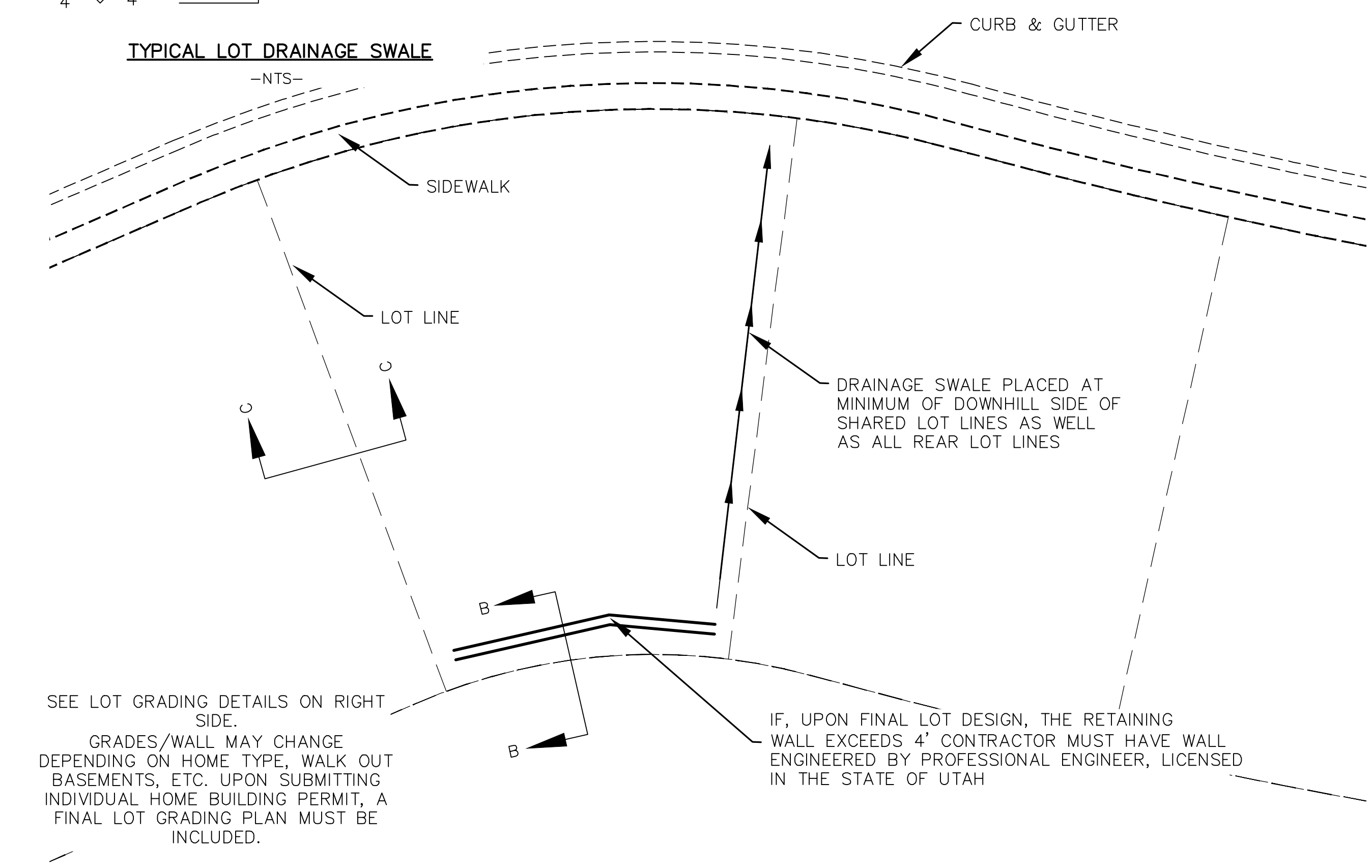
ROCK FACED SLOPE GUIDELINES  
EXCAVATION  
-NTS-

NOTES

1. NOMINAL ROCK SIZE SHALL BE AT LEAST ONE THIRD (1/3) THE HEIGHT OF THE EXCAVATION.
2. IN SANDY OR SILTY SOILS A FILTER FABRIC SHALL BE PLACED BEHIND THE ROCK FACED SLOPE.
3. ROCK MUST BE ANGULAR AND FITTED TOGETHER TO INTERACT WITH THE ADJACENT ROCK.
4. A MINIMUM SETBACK OF FOUR (4) FEET FROM BUILDINGS OR STRUCTURES SHALL BE MAINTAINED ABOVE OR BELOW.
5. MAY USE ON-SITE ROCKS/BOULDERS IF CONDITION APPLYS
6. CONTRACTOR/OWNER TO GAIN THEIR OWN STRUCTURAL ENGINEER AND DESIGN FOR ALL RETAINING WALLS.
7. CONTRACTOR/OWNER TO CONTACT REGION ENGINEERING AFTER FIRST WALL IS PLACED FOR SITE INSPECTION, AS WELL AS WHEN FINAL PRODUCT IS COMPLETED
8. IF WALL IS OVER 4' IN HEIGHT, A SECOND TIER MUST BE PLACED WITH A 5' LANDING IN BETWEEN TIERS
9. THESE ARE TYPICAL TYPES OF BMP STORM DRAINAGE MEASURES. NOTHING ON THIS SHEET IS CONSTRUCTED TO REPRESENT AN APPROVED INDIVIDUAL LOT GRADING PLAN.



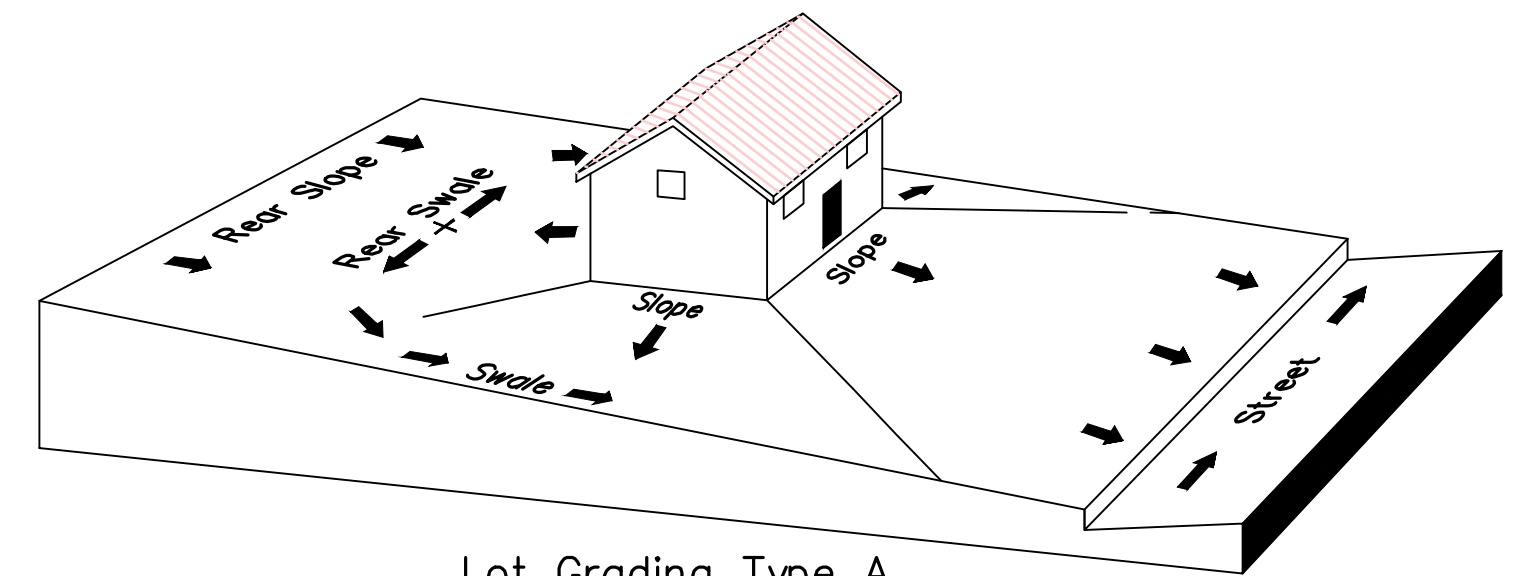
TYPICAL LOT DRAINAGE SWALE  
-NTS-



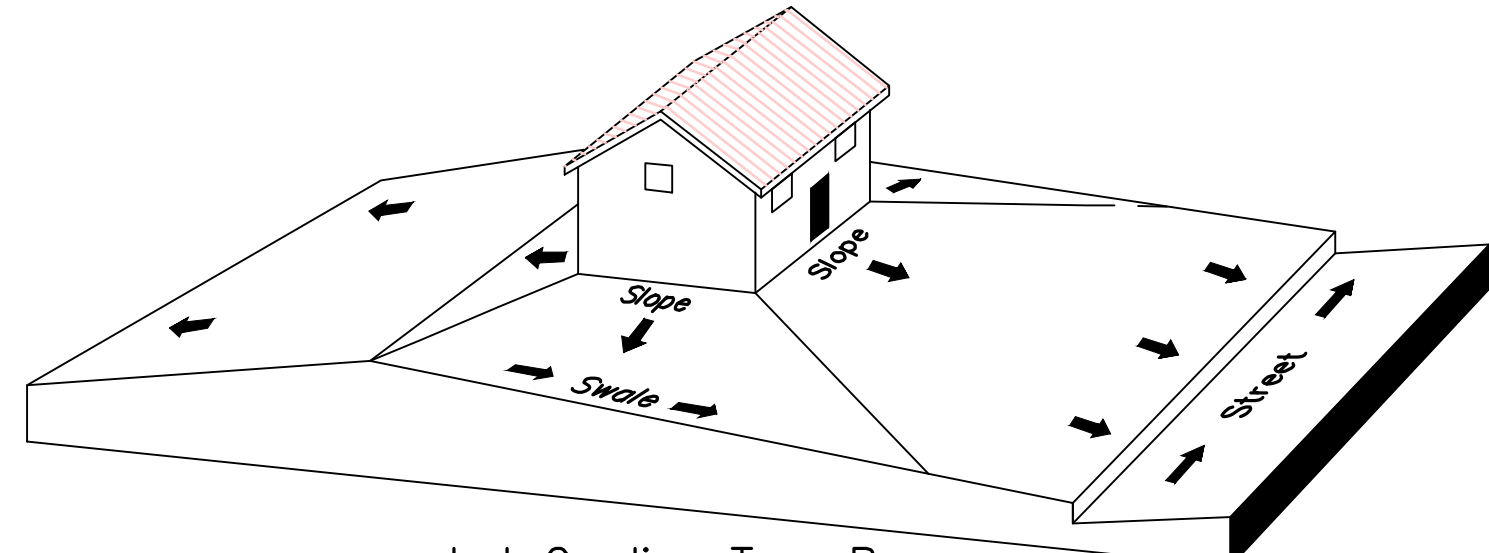
TYPICAL LOT GRADING  
-NTS-

SEE LOT GRADING DETAILS ON RIGHT SIDE.  
GRADES/WALL MAY CHANGE DEPENDING ON HOME TYPE, WALK OUT BASEMENTS, ETC. UPON SUBMITTING INDIVIDUAL HOME BUILDING PERMIT, A FINAL LOT GRADING PLAN MUST BE INCLUDED.

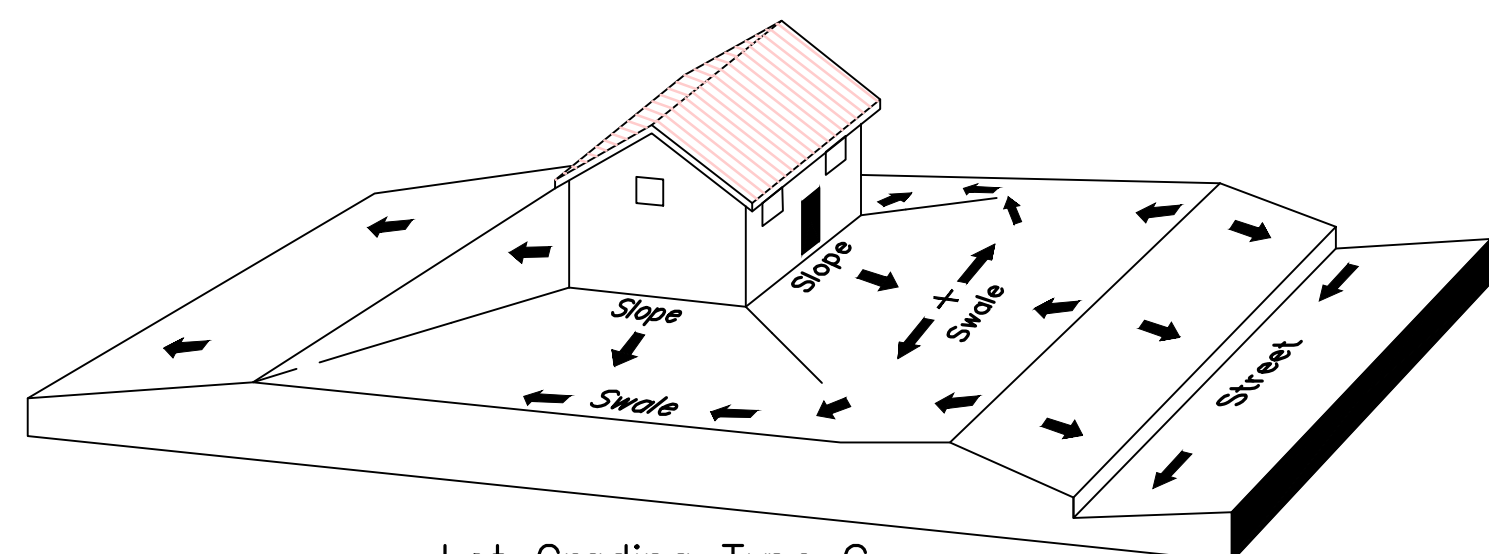
IF, UPON FINAL LOT DESIGN, THE RETAINING WALL EXCEEDS 4' CONTRACTOR MUST HAVE WALL ENGINEERED BY PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF UTAH



Lot Grading Type A  
Drainage Directed Toward Front of Building



Lot Grading Type B  
Drainage Directed Toward Front and Rear of Building



Lot Grading Type C  
Drainage Directed Toward Rear of Building

\*\* ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR \*\*

Lot Drainage -

- At minimum, 50% of roof drains shall drain towards the street.
- All side downspouts are to be diverted toward the front or rear of the lot.
- Yards to be positively graded away from all window wells
- HOA's &/or homeowners are responsible for maintaining lot line drainage pathways through their properties per drainage plan.
- All lot lines are to be maintained as drainage pathways for accumulating runoff from adjoining lots.
- All lots shall meet the International Building Code standards and drain away from the structure.

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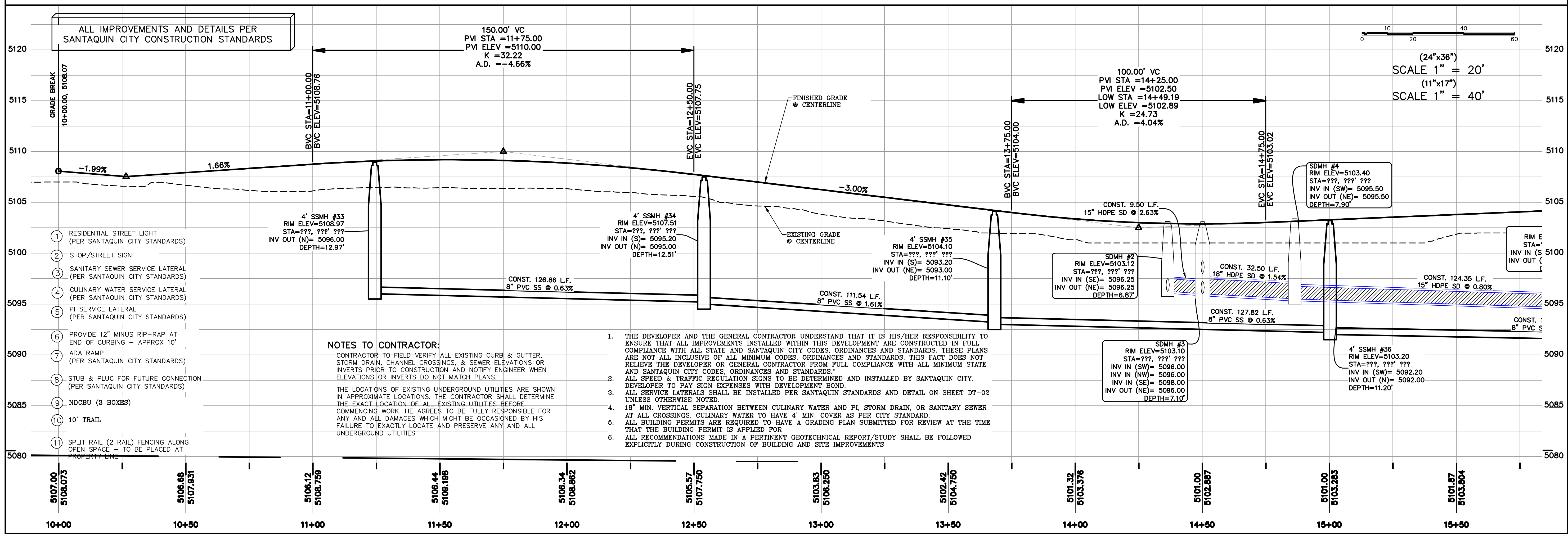
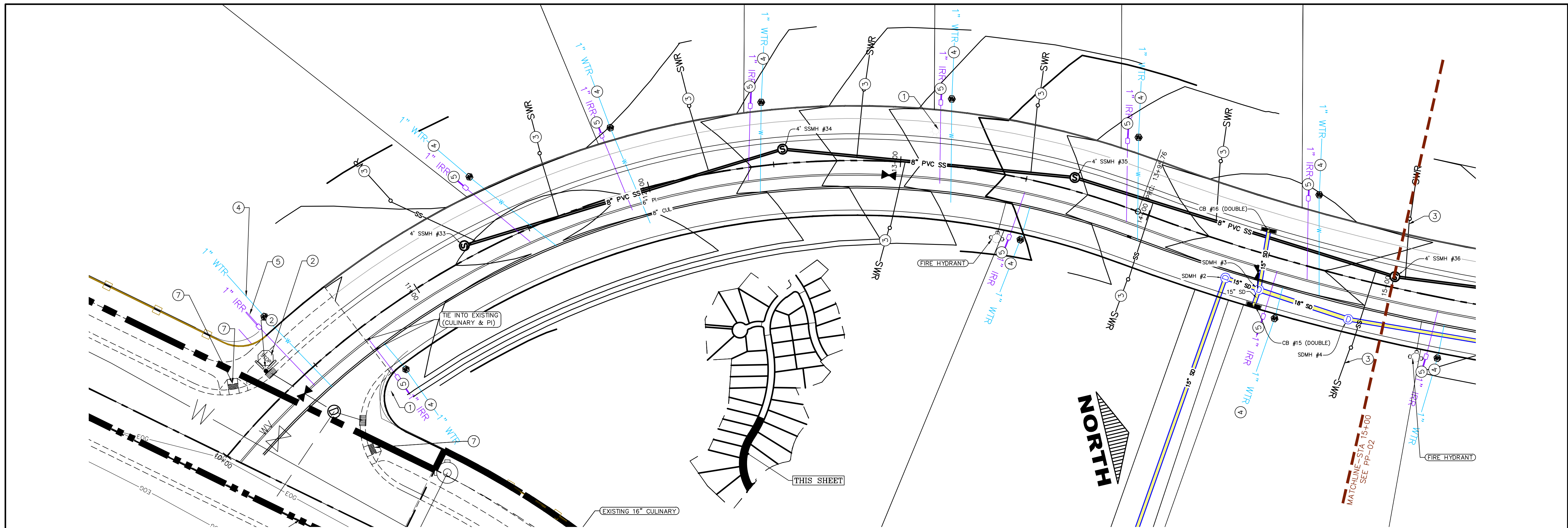
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THE VISTAS WEST @ SUMMIT RIDGE  
PHASE 1  
LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022
PROJECT #
REVISIONS:
1
2
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SHEET NAME:  
GRADING PLANS  
SHEET:  
GR-03



**THE VISTAS WEST @ SUMMIT RIDGE  
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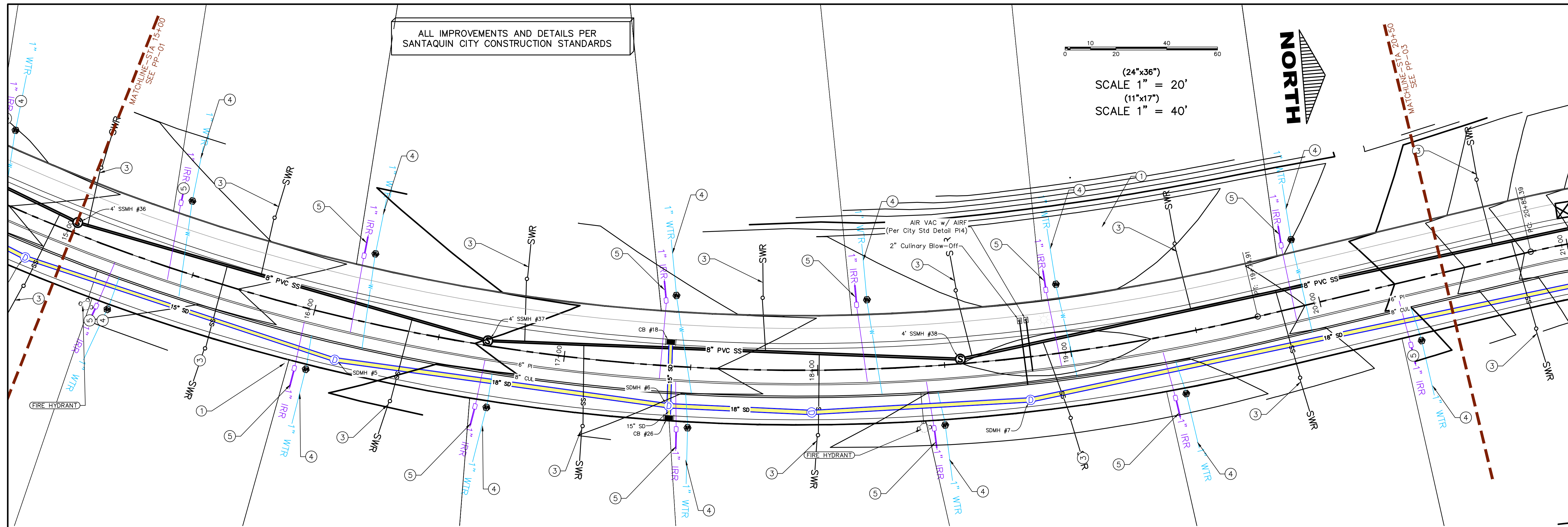
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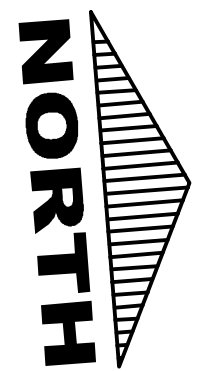
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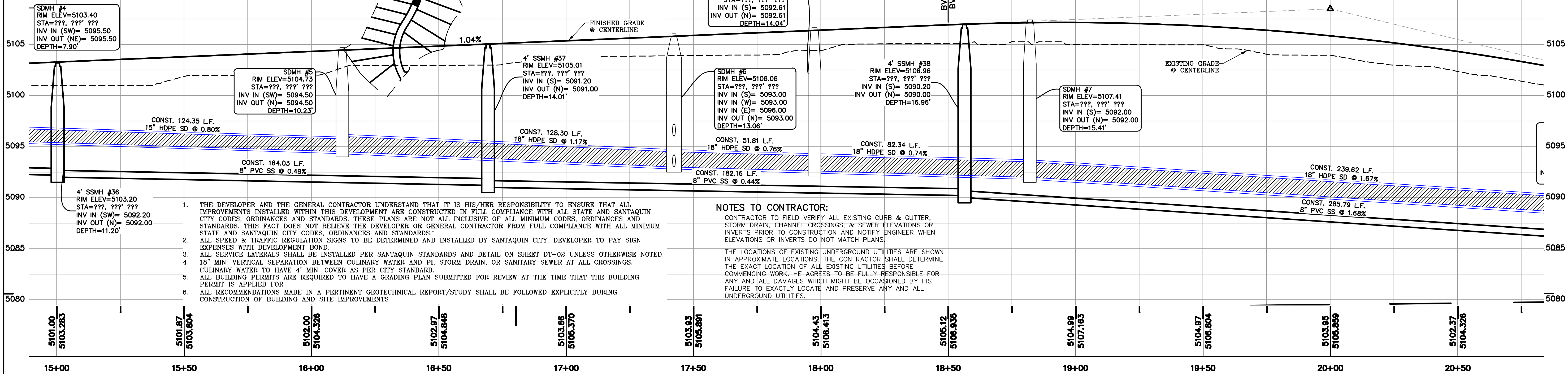
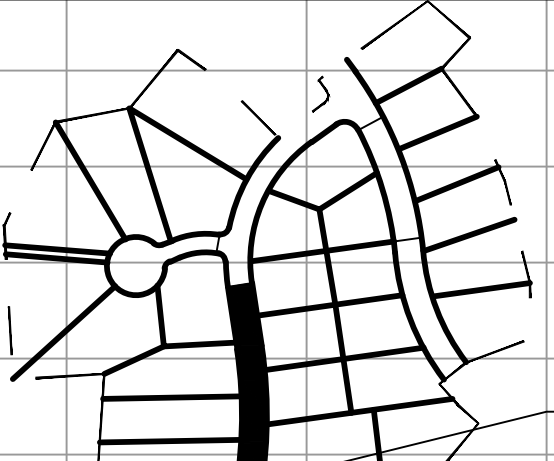
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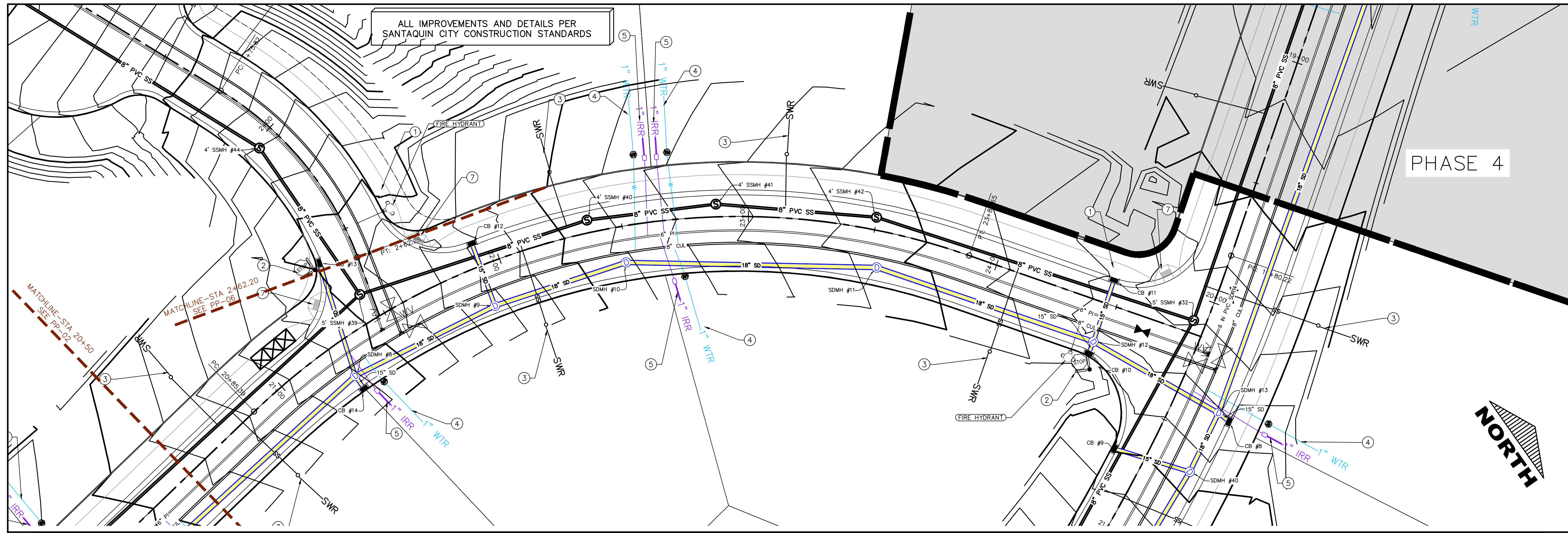


**THE VISTAS WEST @ SUMMIT RIDGE**  
**PHASE 1**  
 LOCATED IN SW PORTION SECTION 10,  
 TOWNSHIP 6 SOUTH  
 RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022  
 PROJECT #  
 REVISIONS:

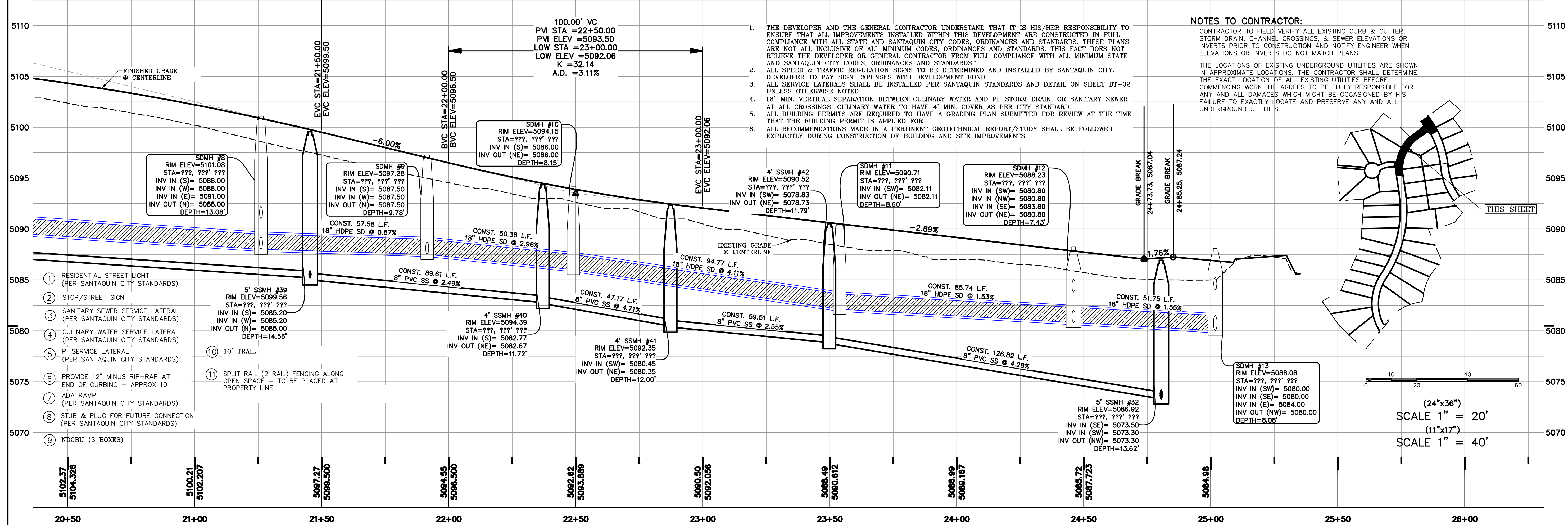
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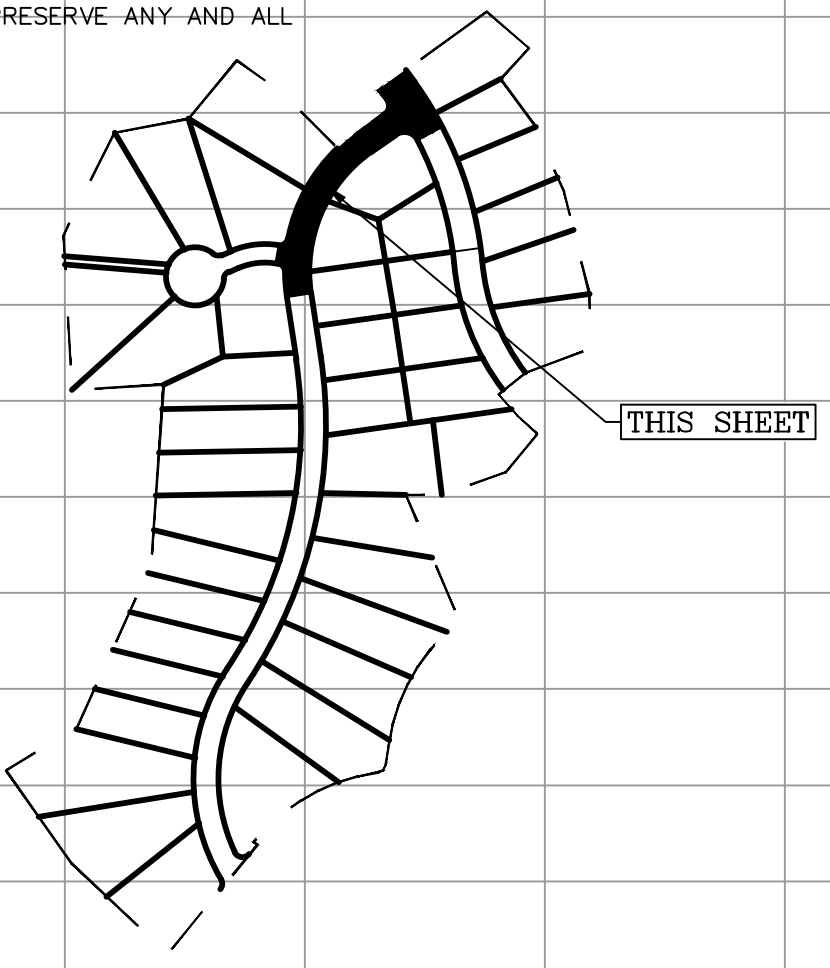
ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

PHASE 4



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(24"x36")  
 SCALE 1" = 20'  
 (11"x17")  
 SCALE 1" = 40'

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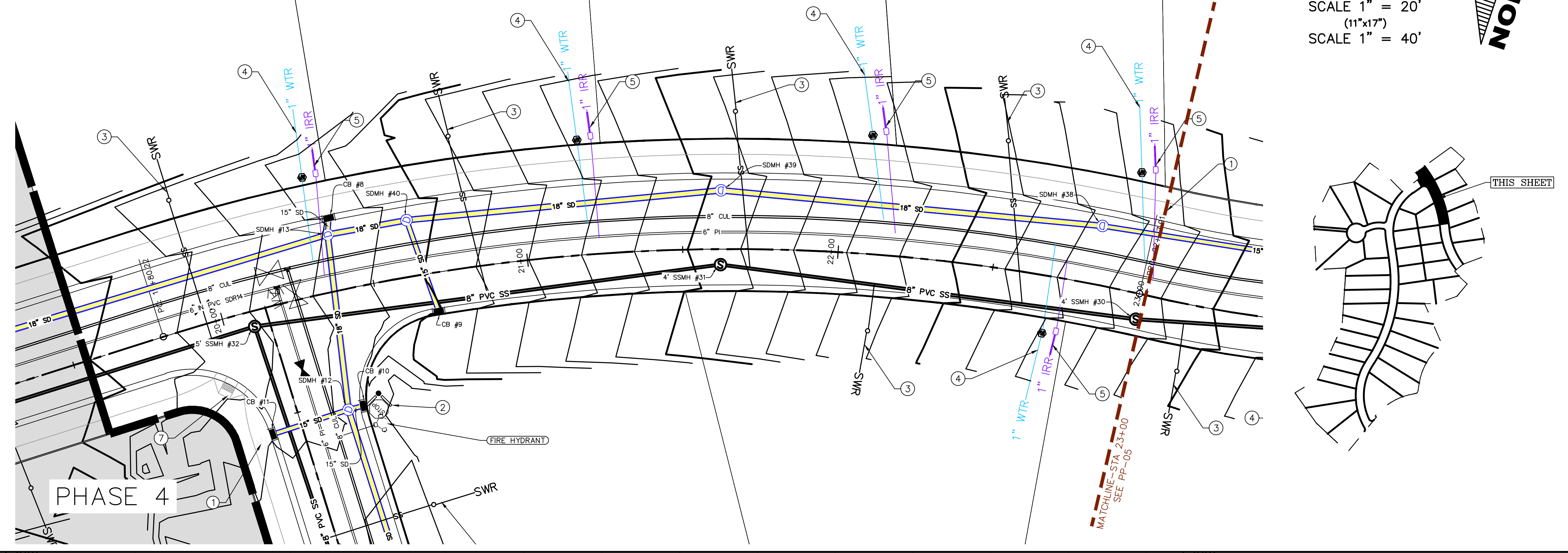
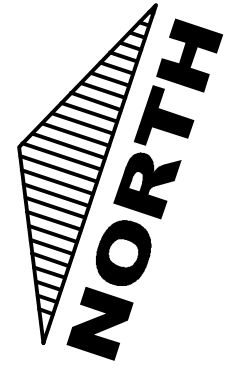
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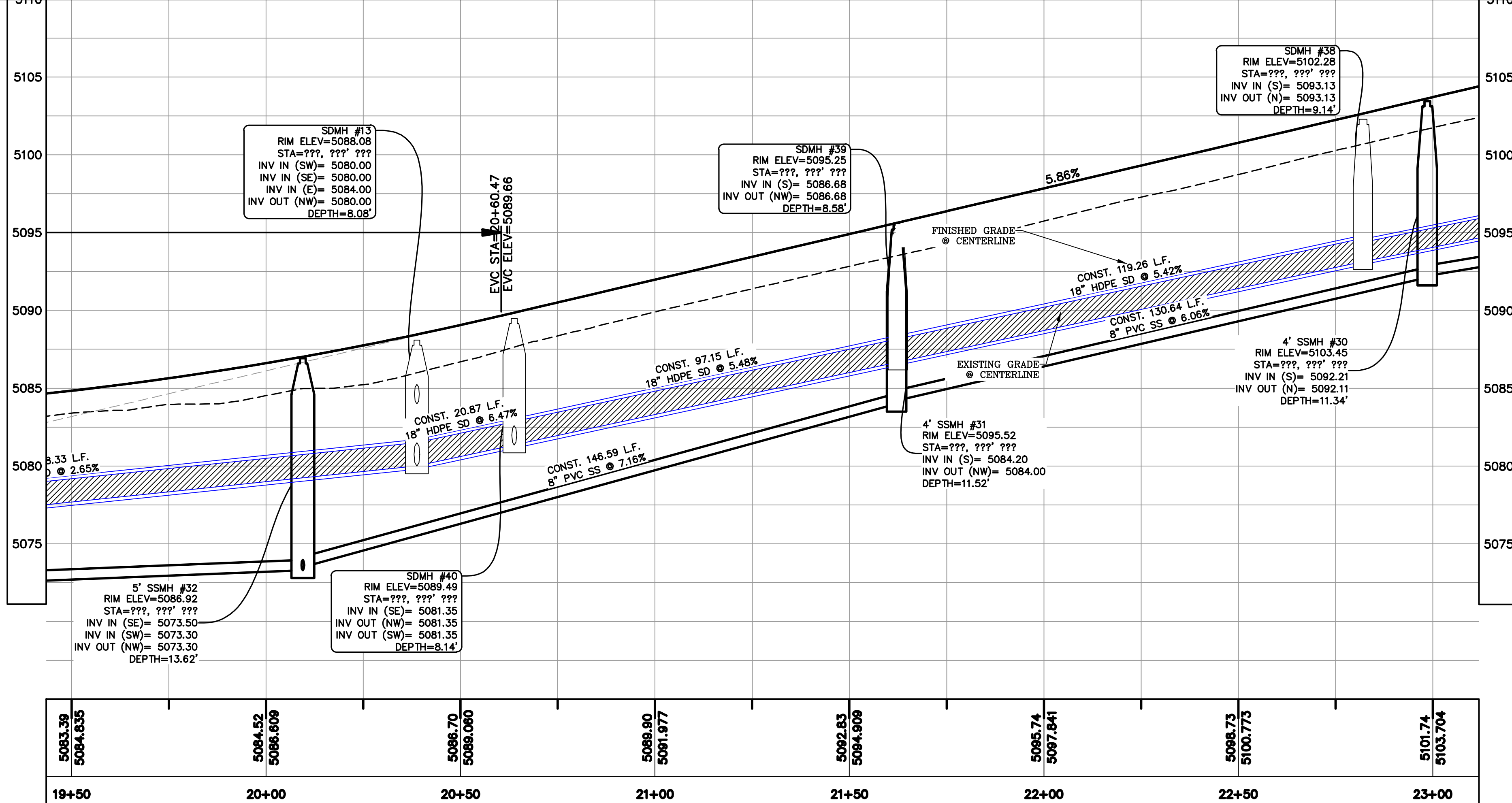
ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

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PHASE 4

- ① RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
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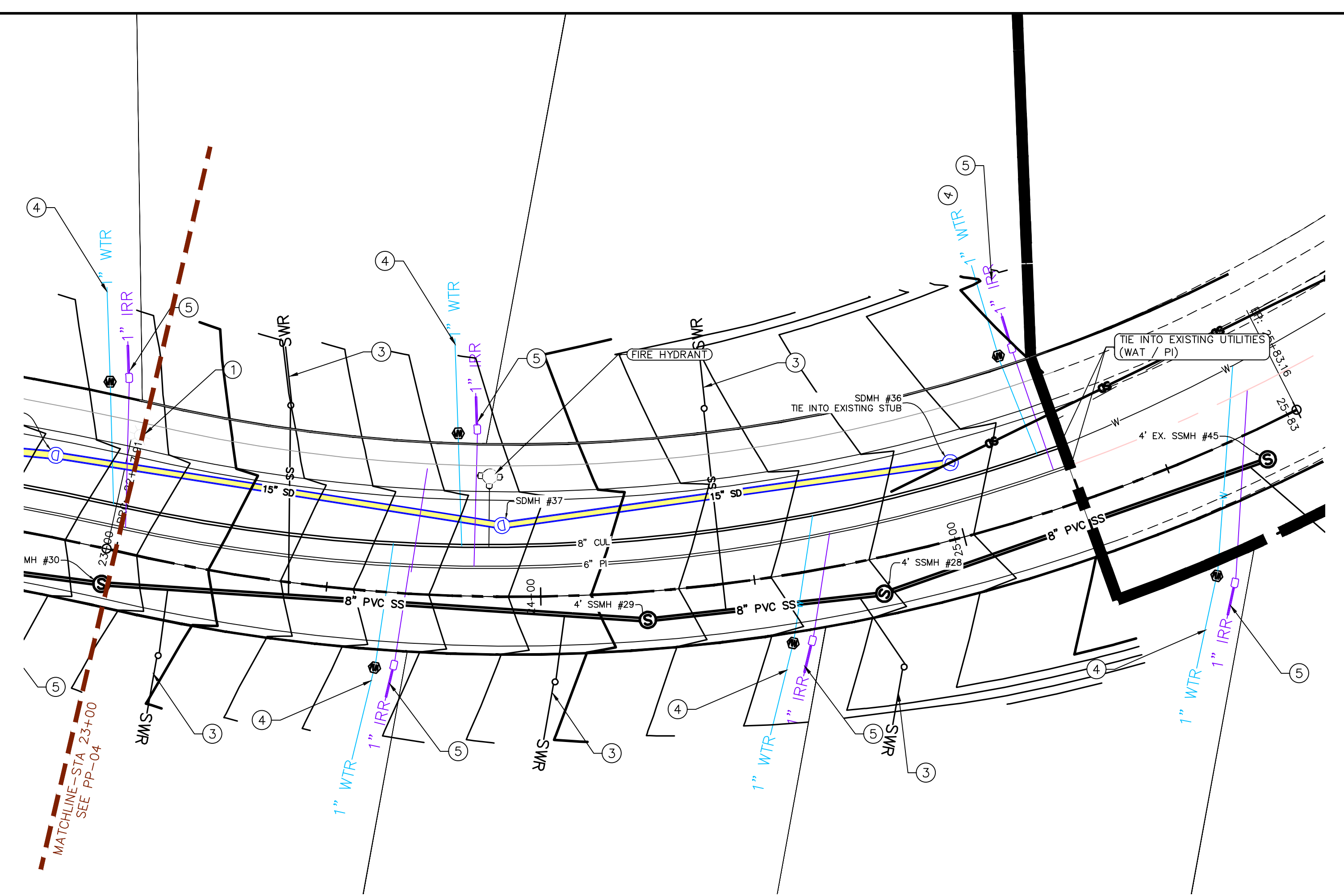
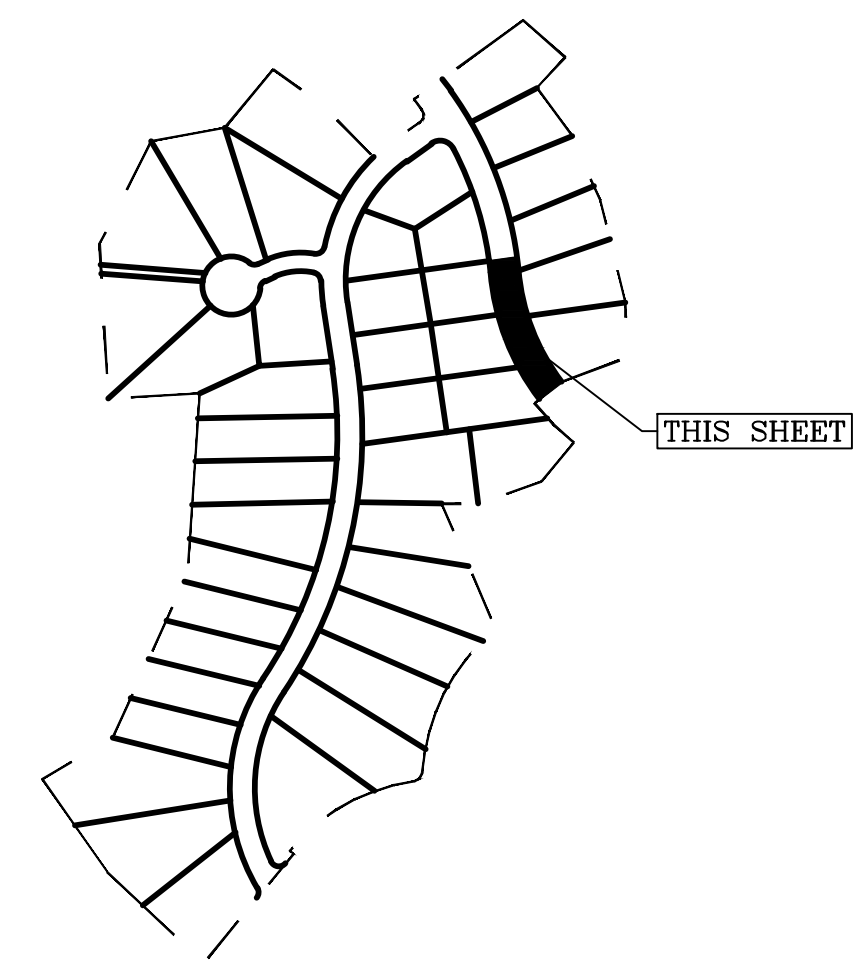
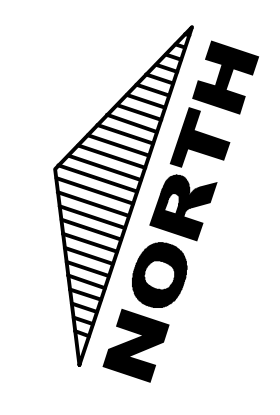
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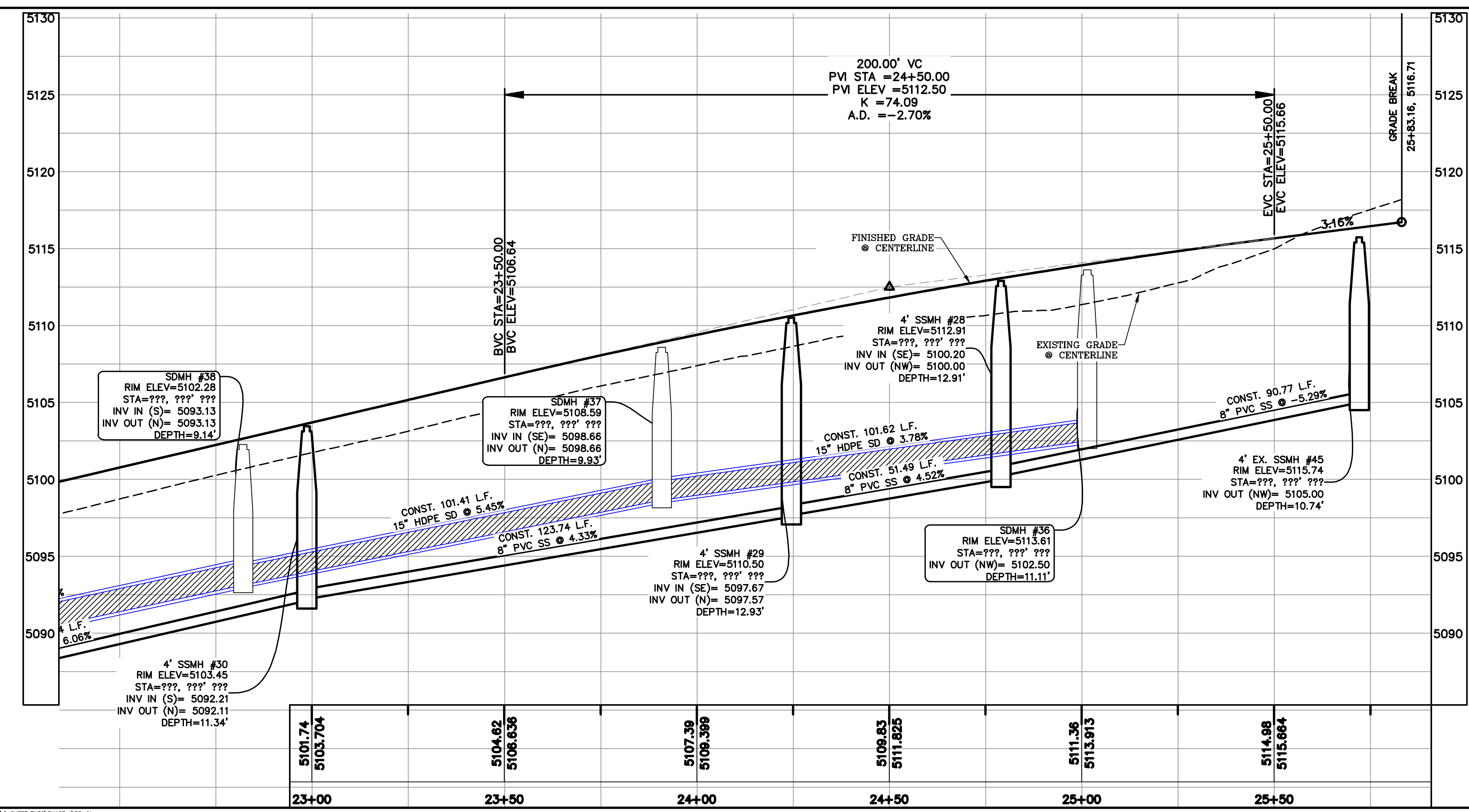
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PP-04

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS



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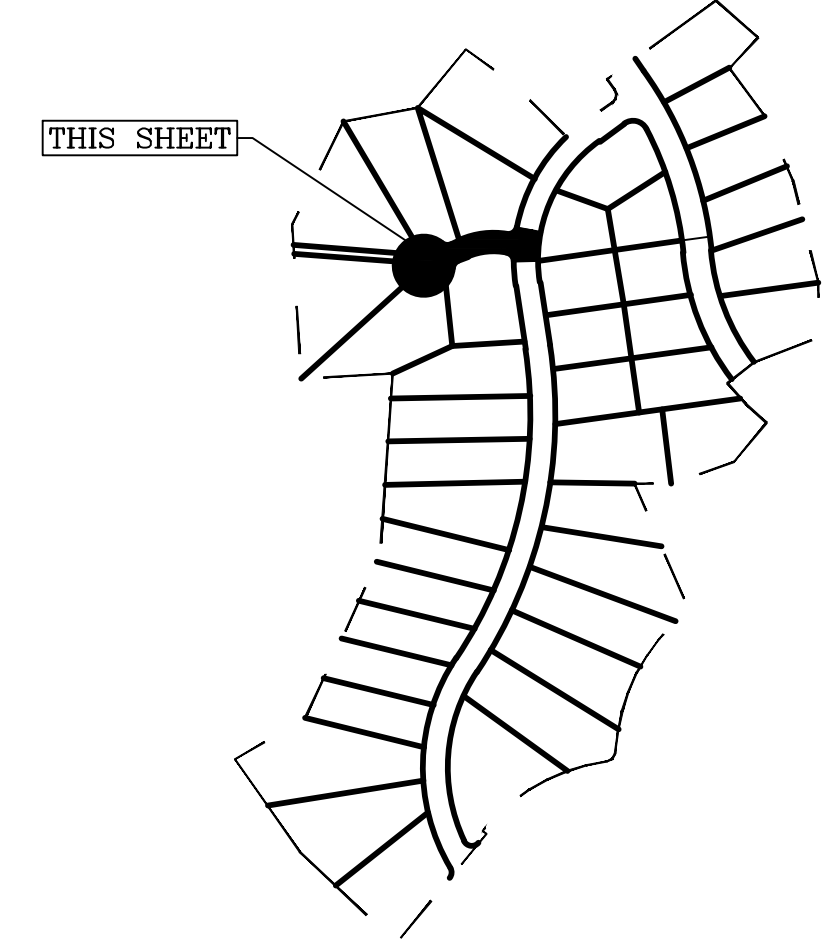
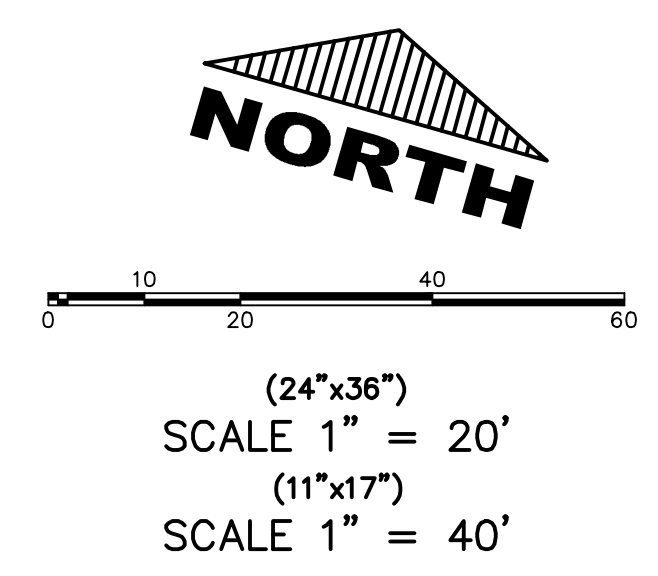
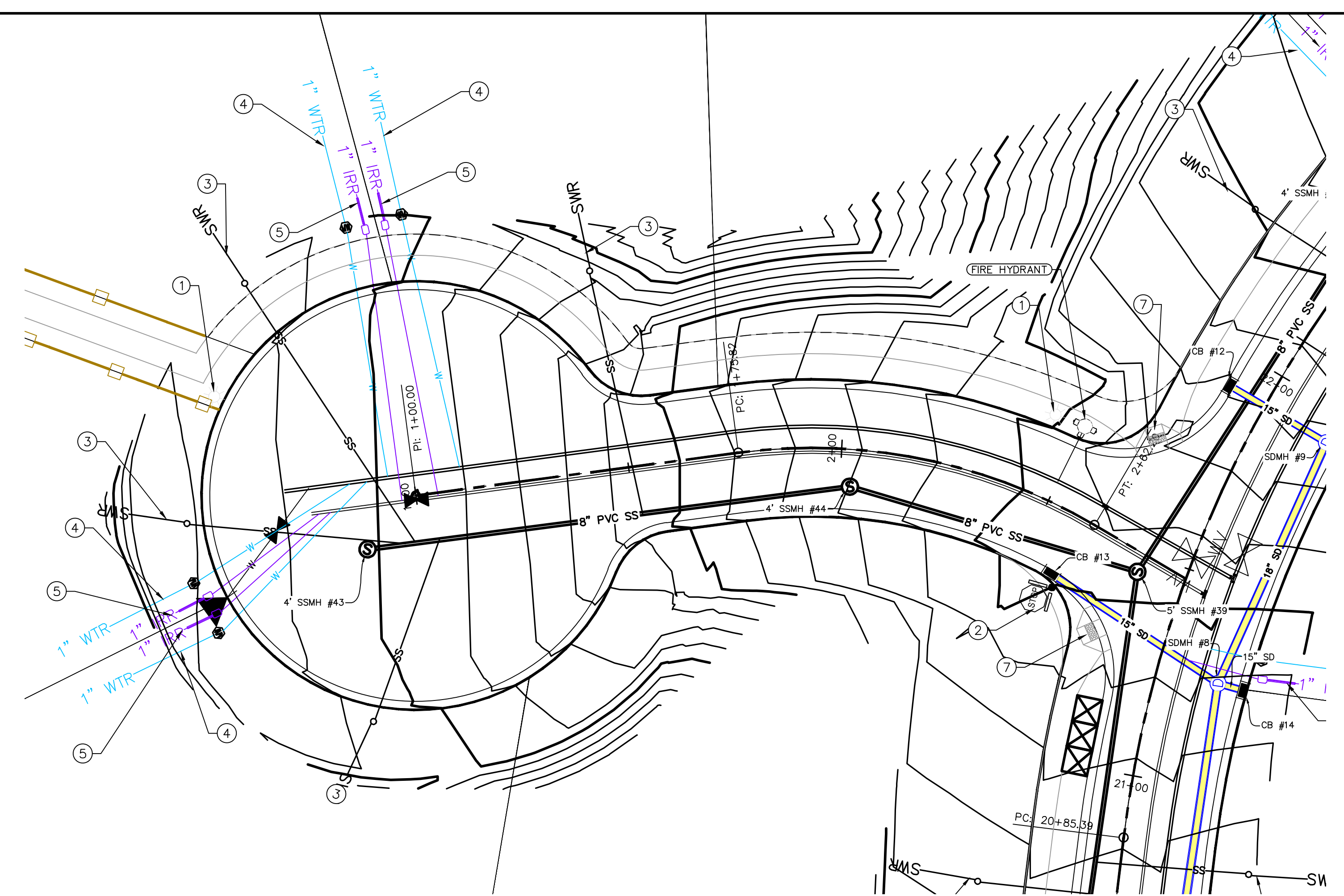
DATE: 3.25.2022  
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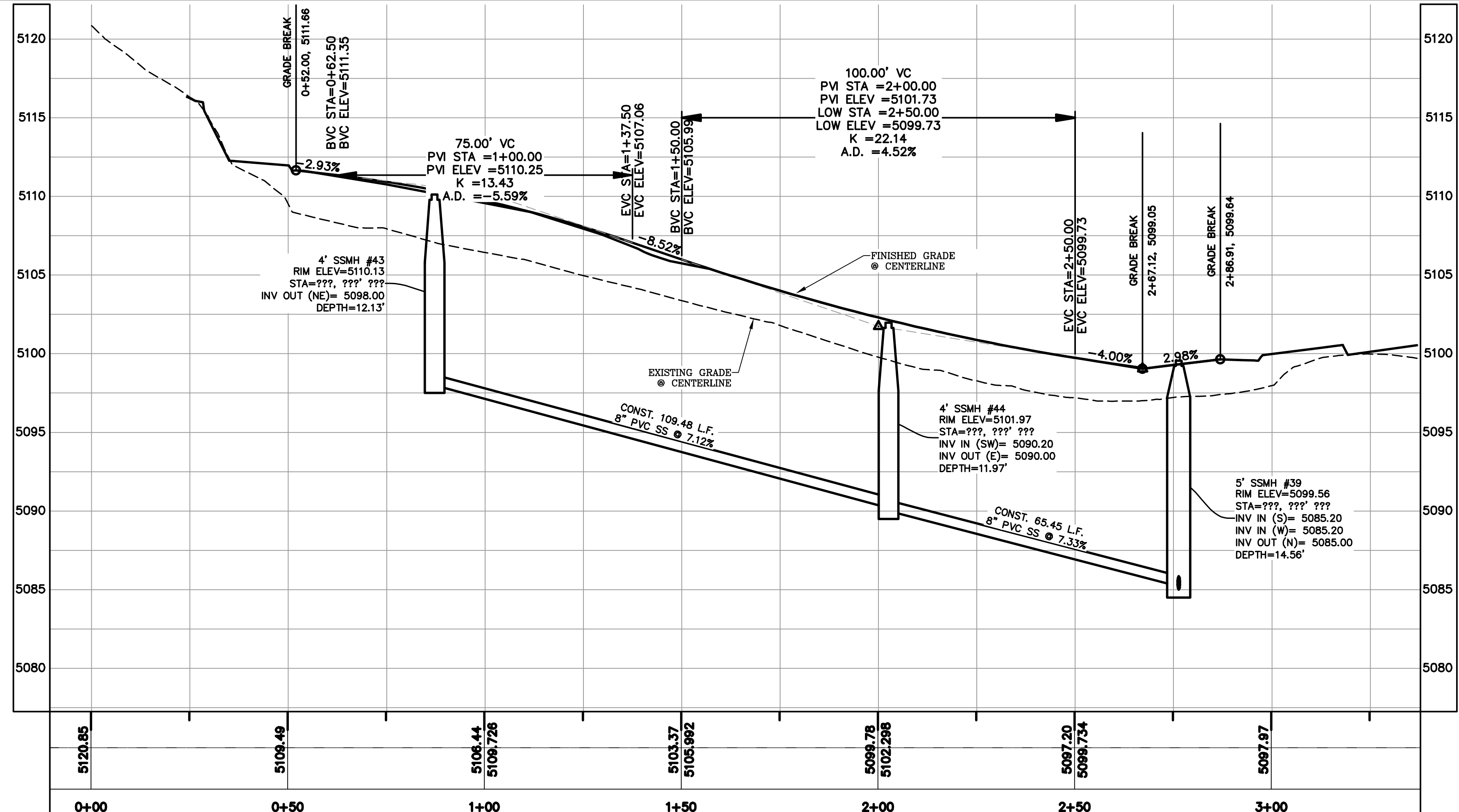
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 PLAN & PROFILE  
 SHEET:  
 PP-05



ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS



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PHASE 1**  
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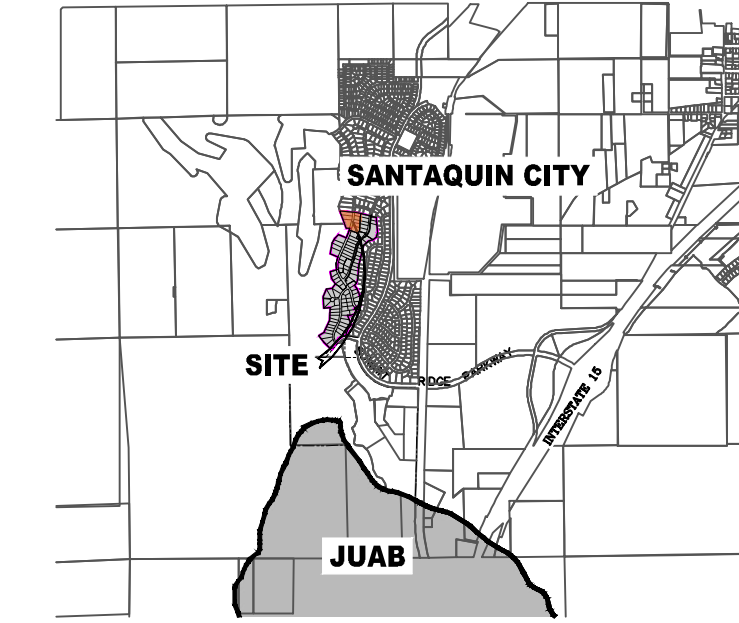
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PLAN & PROFILE  
SHEET:  
PP-06

# THE VISTAS WEST @ SUMMIT RIDGE PHASE 2

## VICINITY MAP



**Surveyor's Certificate**

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

**Boundary Description**

VISTAS WEST - PHASE 2

BEGINNING AT A POINT ON A LINE THAT IS S.88°46'03"E. A DISTANCE OF 312.59 FEET ALONG THE SECTION LINE AND NORTH 2419.54 FEET FROM THE SOUTHWEST CORNER OF SECTION 10, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN;

THENCE, N 69° 22' 18" W FOR A DISTANCE OF 232.67 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 02° 09' 47", HAVING A RADIUS OF 1195.50 FEET, AND WHOSE LONG CHORD BEARS N 18° 23' 54" E FOR A DISTANCE OF 45.13 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE.

THENCE, N 84° 25' 20" W FOR A DISTANCE OF 87.88 FEET TO A POINT ON A LINE.

THENCE, N 20° 21' 00" W FOR A DISTANCE OF 444.77 FEET TO A POINT ON A LINE.

THENCE, S 84° 25' 20" E FOR A DISTANCE OF 310.67 FEET TO A POINT ON A LINE.

THENCE, S 87° 58' 56" E FOR A DISTANCE OF 49.07 FEET TO A POINT ON A LINE.

THENCE, S 76° 51' 00" E FOR A DISTANCE OF 158.04 FEET TO A POINT ON A LINE.

THENCE, S 14° 48' 05" W FOR A DISTANCE OF 82.23 FEET TO A POINT ON A LINE.

THENCE, S 02° 06' 41" W FOR A DISTANCE OF 313.83 FEET TO A POINT ON A LINE.

THENCE, S 20° 47' 28" W FOR A DISTANCE OF 46.02 FEET TO A POINT ON A LINE.

THENCE, S 20° 47' 28" W A DISTANCE OF 49.54 FEET TO THE POINT OF BEGINNING

CONTAINING 4.19 ACRES OF LAND AND 8 LOTS

**AREA BREAKDOWN**

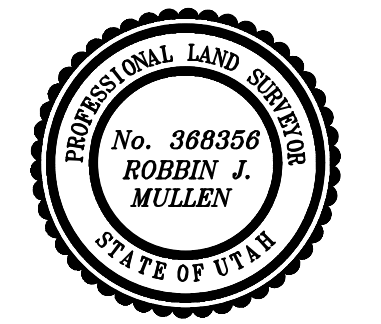
TOTAL PLAT ACREAGE	4.19 ACRES
TOTAL LOT ACREAGE	3.68 ACRES
TOTAL ROW ACREAGE	0.51 ACRES
TOTAL OPEN SPACE	ACRES
ZONE	PC - PLANNED COMMUNITY
DENSITY	1.91 / du
NUMBER OF LOTS	8 LOTS

**PROJECT DEVELOPER**

David Simpson  
801-376-1966 |  
woodsprings@gmail.com  
407 N Main Street Springville, UT 84663

**PROJECT ENGINEER & SURVEYOR**

REGION ENGINEERING & SURVEYING  
1776 NORTH STATE STREET #110  
OREM, UTAH 84057  
PH - 801.376.2245



DATE \_\_\_\_\_ SURVEYOR (See Seal Below)

**OWNERS DEDICATION**

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HERON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREOF FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HERUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

STATE OF UTAH \_\_\_\_\_  
COUNTY OF UTAH \_\_\_\_\_

**LIMITED COMPANY ACKNOWLEDGEMENT**

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE \_\_\_\_\_ OF \_\_\_\_\_ A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

MY COMMISSION EXPIRES \_\_\_\_\_ A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY ADDRESS \_\_\_\_\_ PRINTED FULL NAME OF NOTARY \_\_\_\_\_

**ACCEPTANCE BY LEGISLATIVE BODY**

THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

APPROVED MAYOR OF SANTAQUIN \_\_\_\_\_

ENGINEER (See Seal Below) \_\_\_\_\_ ATTEST \_\_\_\_\_  
CLERK-RECORDER (See Seal Below)

**THE VISTAS WEST @ SUMMIT RIDGE  
PHASE 2**

UTAH COUNTY, UTAH

SCALE: 1" = 40 FEET

NOTARY PUBLIC SEAL CITY-COUNTY ENGINEER SEAL COUNTY-RECORDER SEAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

DOMINION ENERGY COMPANY \_\_\_\_\_

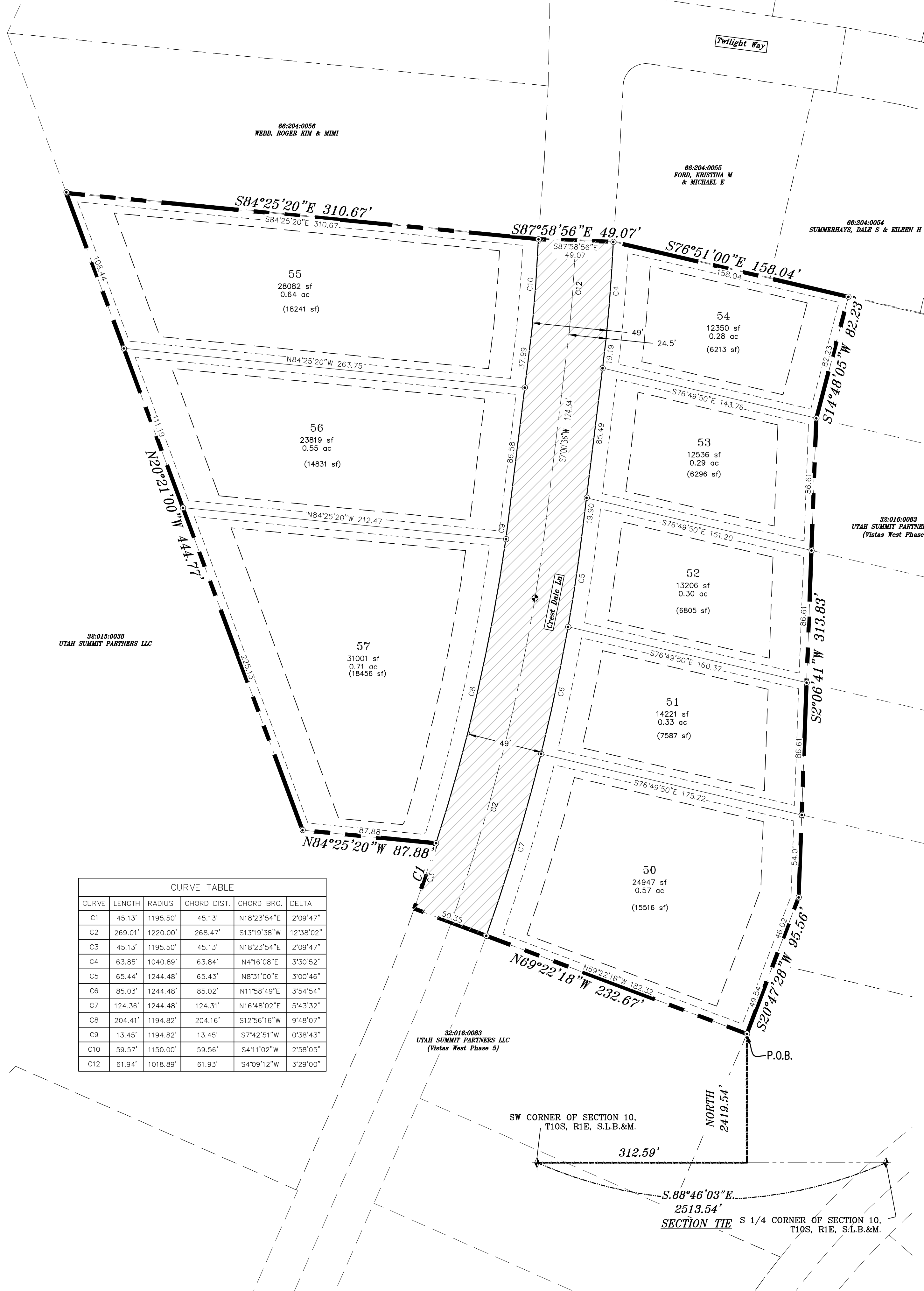
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TITLE- \_\_\_\_\_

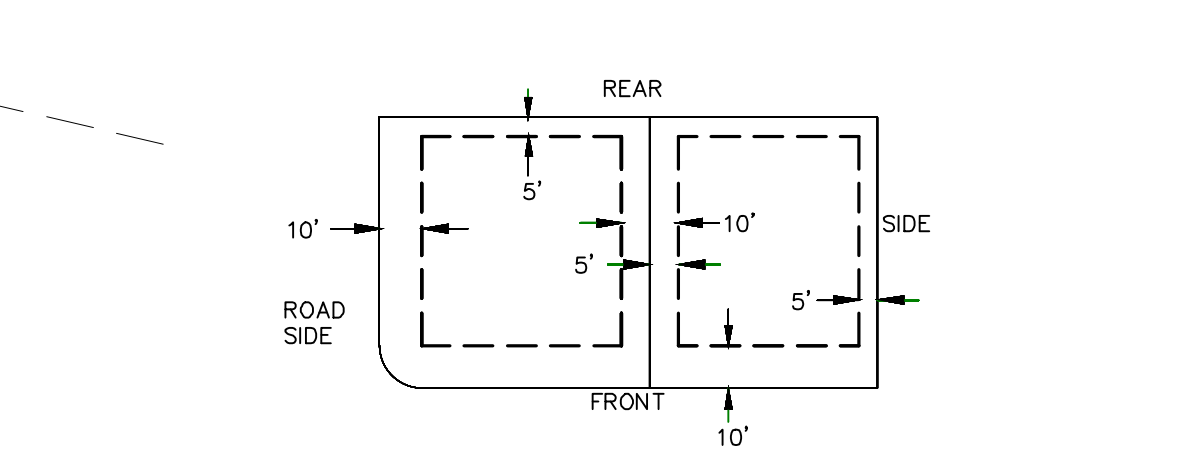
ROCKY MTN POWER \_\_\_\_\_

CENTRACOM \_\_\_\_\_

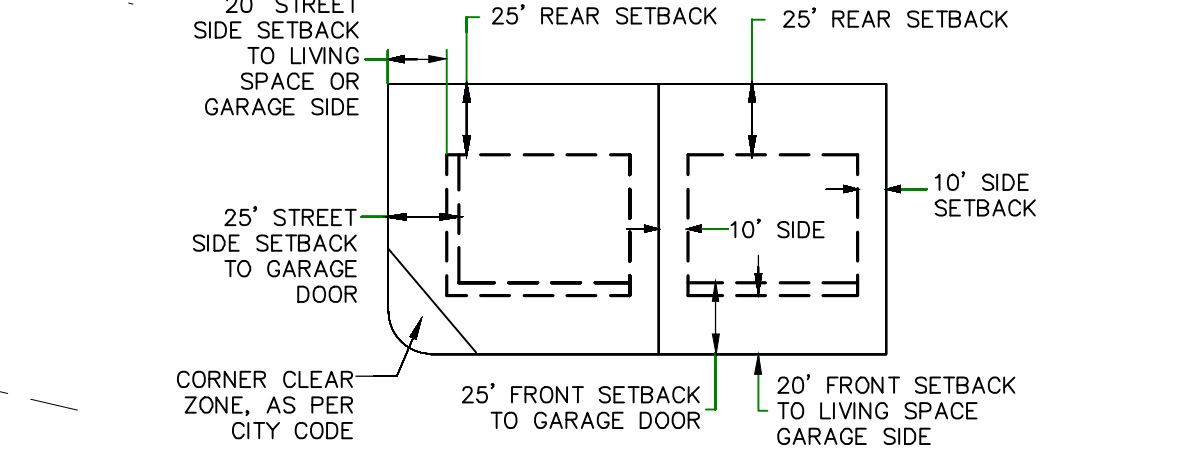
CENTURY LINK \_\_\_\_\_



### PUBLIC UTILITY EASEMENTS



### BUILDING SETBACKS (MINIMUM)



**NOTES:**

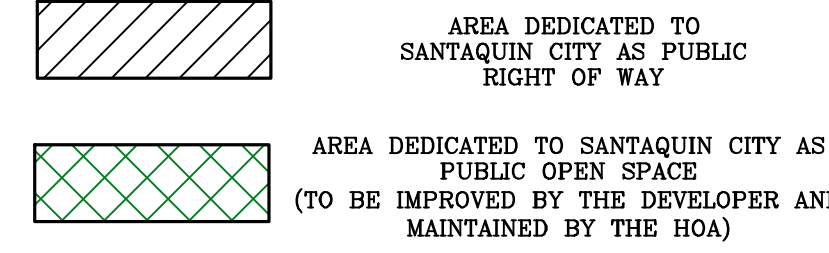
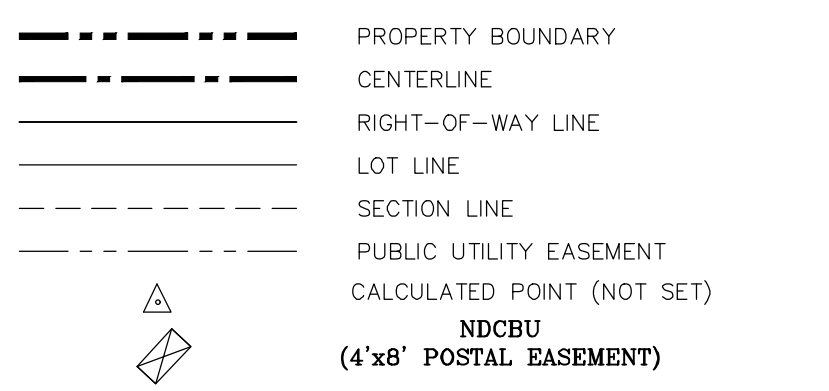
- ① ... TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET.
- #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS, NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
- XXXXX ... PROPOSED RESIDENTIAL ADDRESS
- (XXXX S.F.) AREA IN PARENTHESIS DENOTES BUILDABLE AREA
- THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM PREPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

**UTILITIES APPROVAL**

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

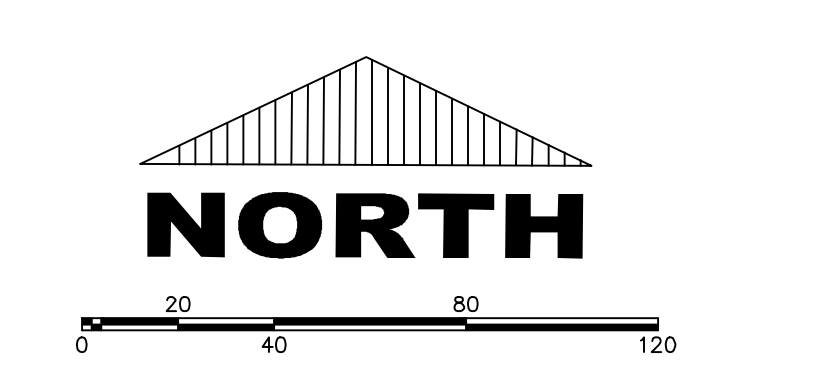
**LEGEND**

- FOUND SECTION COR. AS NOTED
- SET 5/8" IRON PIN
- TO BE SET AT ALL LOT CORNERS
- FOUND CLASS I STREET MONUMENT
- SET STREET MONUMENT



**BASIS OF BEARING**

THE BASIS OF BEARING FOR THE VISTAS @ SUMMIT RIDGE IS ON THE SECTION LINE BETWEEN THE SW CORNER OF SECTION 10 AND THE S 1/4 CORNER OF SECTION 10, T10S, R1E, S1B&M WITH THE BEARING BEING S89°05'23"W ALONG SAID LINE.



(24"x36")  
SCALE 1" = 40'  
(11"x17")  
SCALE 1" = 80'

### DOMINION ENERGY ACCEPTANCE

DOMINION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION'S RIGHT OF WAY DEPARTMENT AT 1-800-366-8532.

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

DOMINION ENERGY COMPANY \_\_\_\_\_

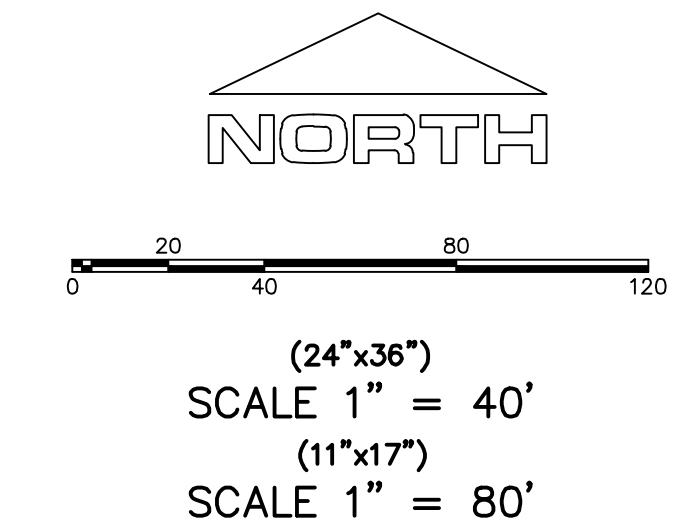
BY- \_\_\_\_\_

TITLE- \_\_\_\_\_





1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHRET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND FI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.



Engineering & Surveying  
**region**  
1776 N. State St. #110  
Orem, UT 84057  
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**THE VISTAS WEST @ SUMMIT RIDGE**  
**PHASE 2**  
LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

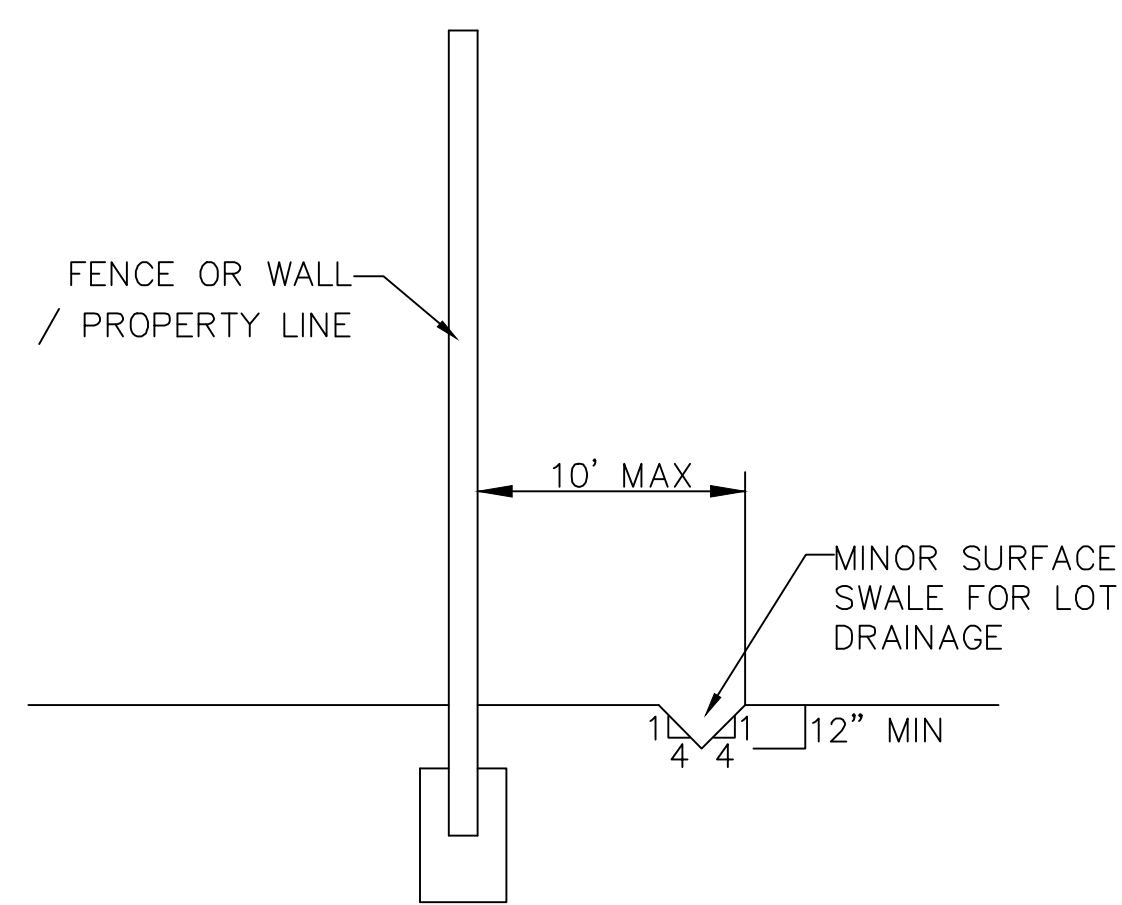
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PROJECT #

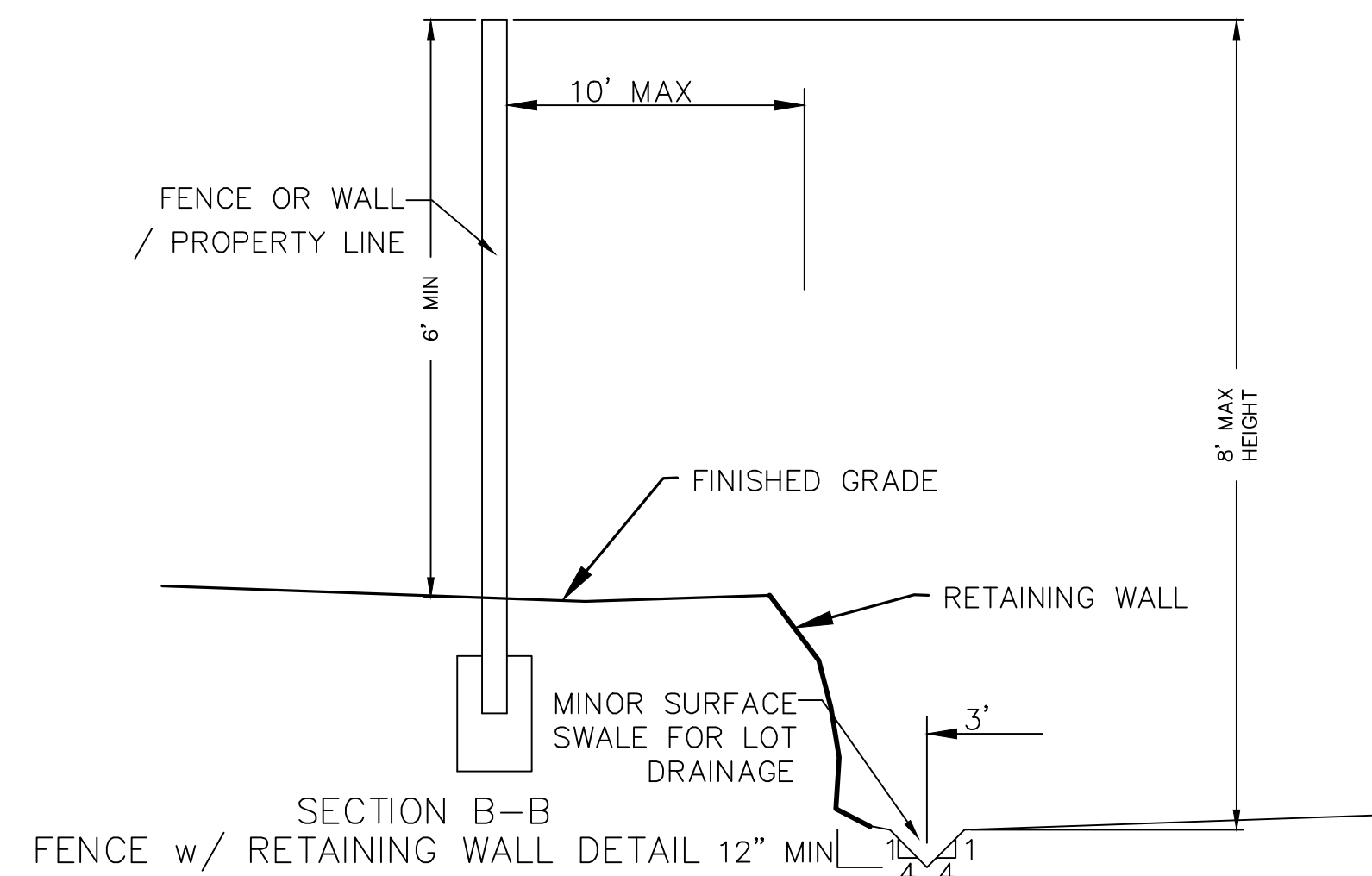
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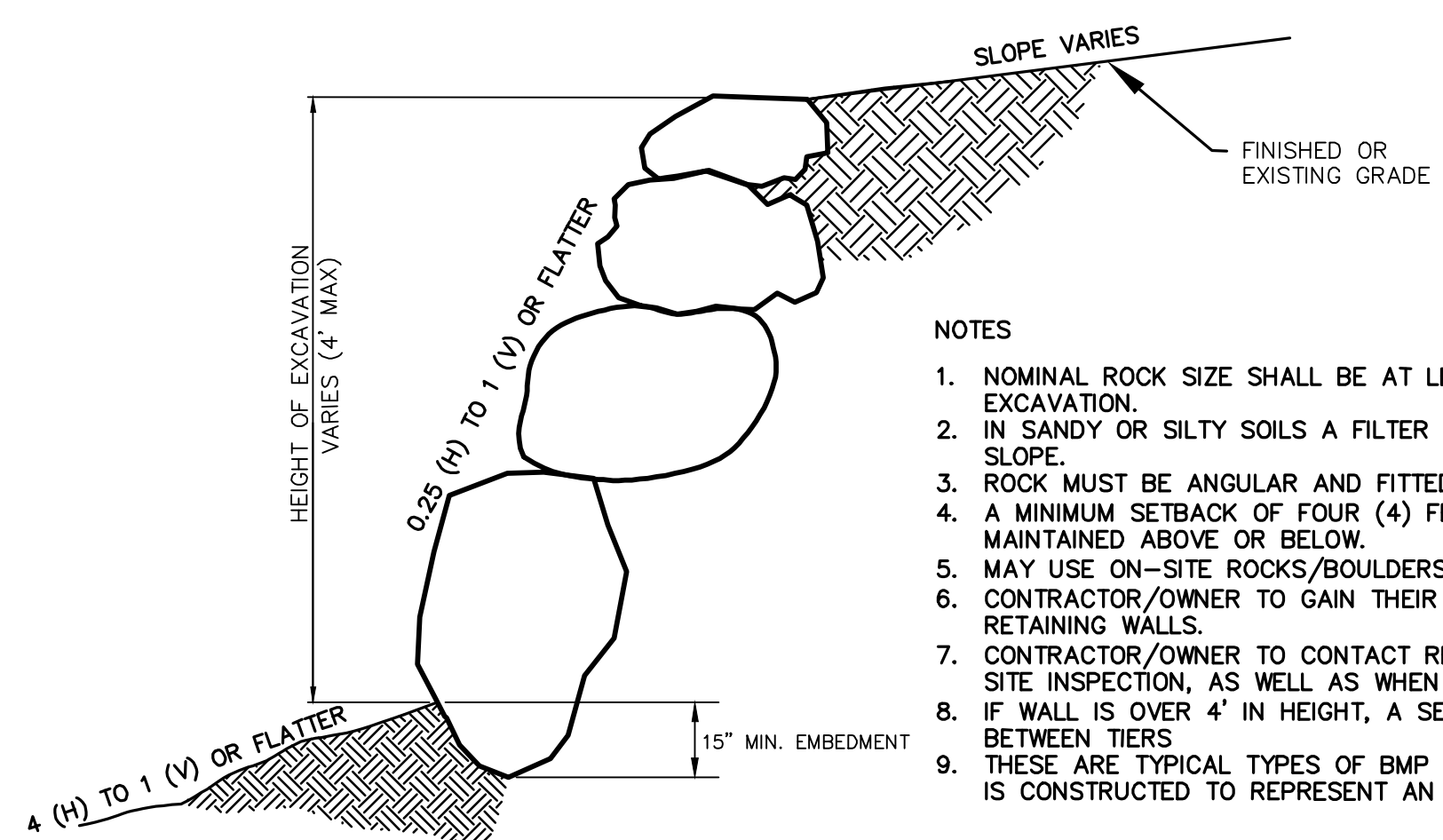
SHEET NAME:  
GRADING PLANS  
SHEET:  
**GR-01**



SECTION C-C  
FENCE DETAIL



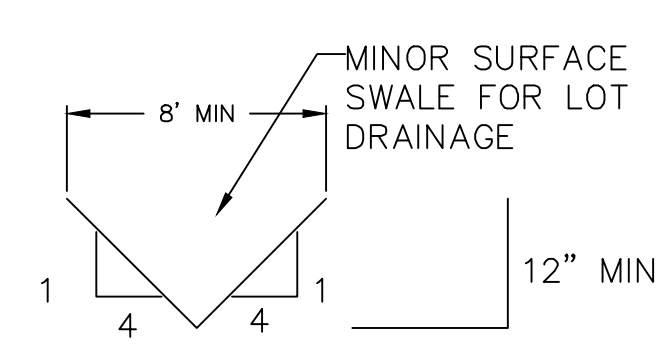
SECTION B-B  
FENCE w/ RETAINING WALL DETAIL 12" MIN



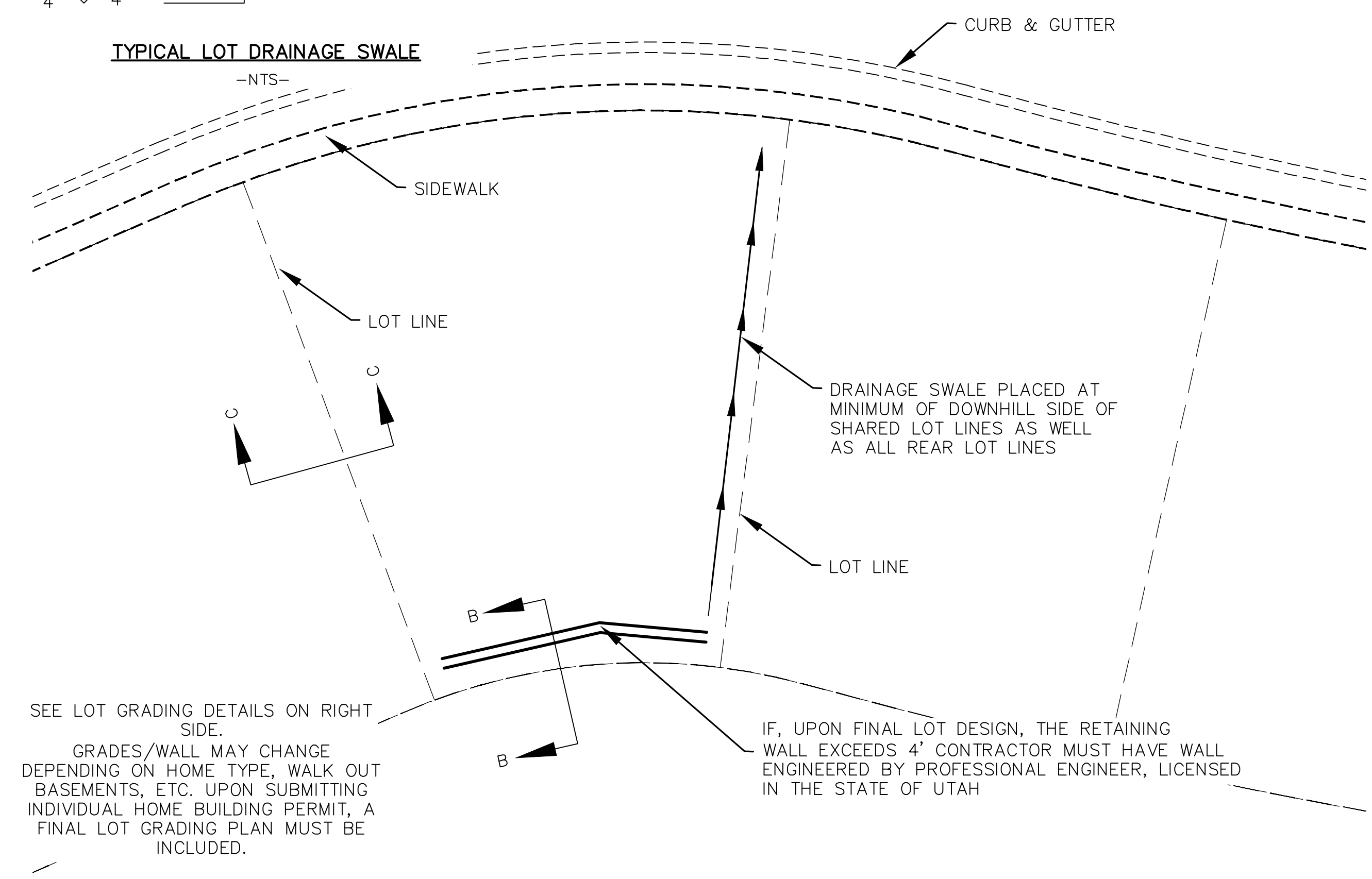
ROCK FACED SLOPE GUIDELINES  
EXCAVATION  
-NTS-

NOTES

1. NOMINAL ROCK SIZE SHALL BE AT LEAST ONE THIRD (1/3) THE HEIGHT OF THE EXCAVATION.
2. IN SANDY OR SILTY SOILS A FILTER FABRIC SHALL BE PLACED BEHIND THE ROCK FACED SLOPE.
3. ROCK MUST BE ANGULAR AND FITTED TOGETHER TO INTERACT WITH THE ADJACENT ROCK.
4. A MINIMUM SETBACK OF FOUR (4) FEET FROM BUILDINGS OR STRUCTURES SHALL BE MAINTAINED ABOVE OR BELOW.
5. MAY USE ON-SITE ROCKS/BOULDERS IF CONDITION APPLYS
6. CONTRACTOR/OWNER TO GAIN THEIR OWN STRUCTURAL ENGINEER AND DESIGN FOR ALL RETAINING WALLS.
7. CONTRACTOR/OWNER TO CONTACT REGION ENGINEERING AFTER FIRST WALL IS PLACED FOR SITE INSPECTION, AS WELL AS WHEN FINAL PRODUCT IS COMPLETED
8. IF WALL IS OVER 4' IN HEIGHT, A SECOND TIER MUST BE PLACED WITH A 5' LANDING IN BETWEEN TIERS
9. THESE ARE TYPICAL TYPES OF BMP STORM DRAINAGE MEASURES. NOTHING ON THIS SHEET IS CONSTRUCTED TO REPRESENT AN APPROVED INDIVIDUAL LOT GRADING PLAN.



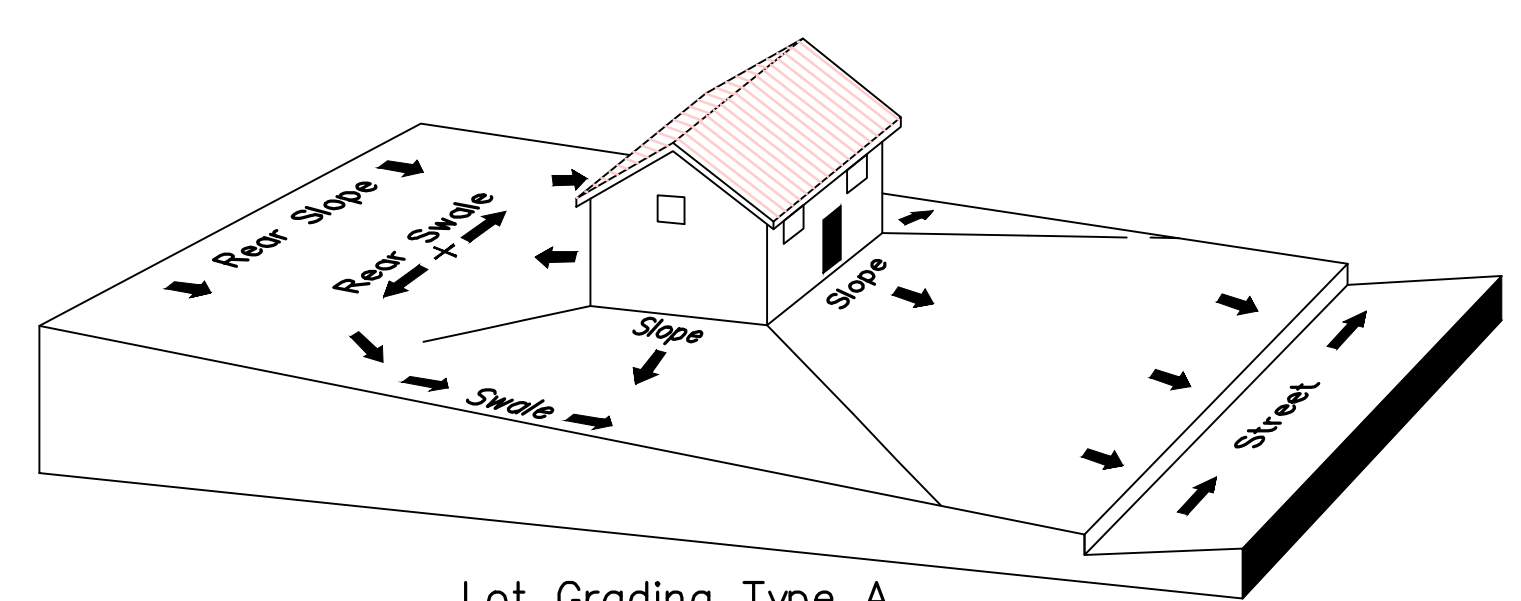
TYPICAL LOT DRAINAGE SWALE  
-NTS-



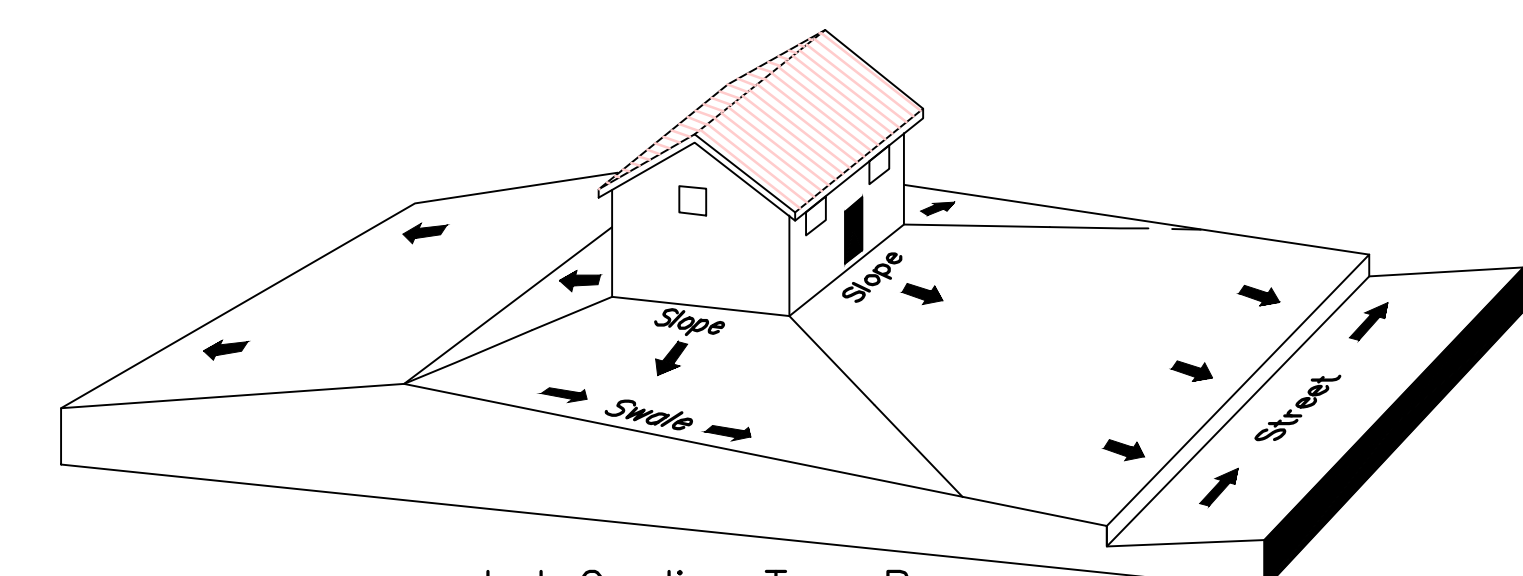
TYPICAL LOT GRADING  
-NTS-

SEE LOT GRADING DETAILS ON RIGHT SIDE.  
GRADES/WALL MAY CHANGE DEPENDING ON HOME TYPE, WALK OUT BASEMENTS, ETC. UPON SUBMITTING INDIVIDUAL HOME BUILDING PERMIT, A FINAL LOT GRADING PLAN MUST BE INCLUDED.

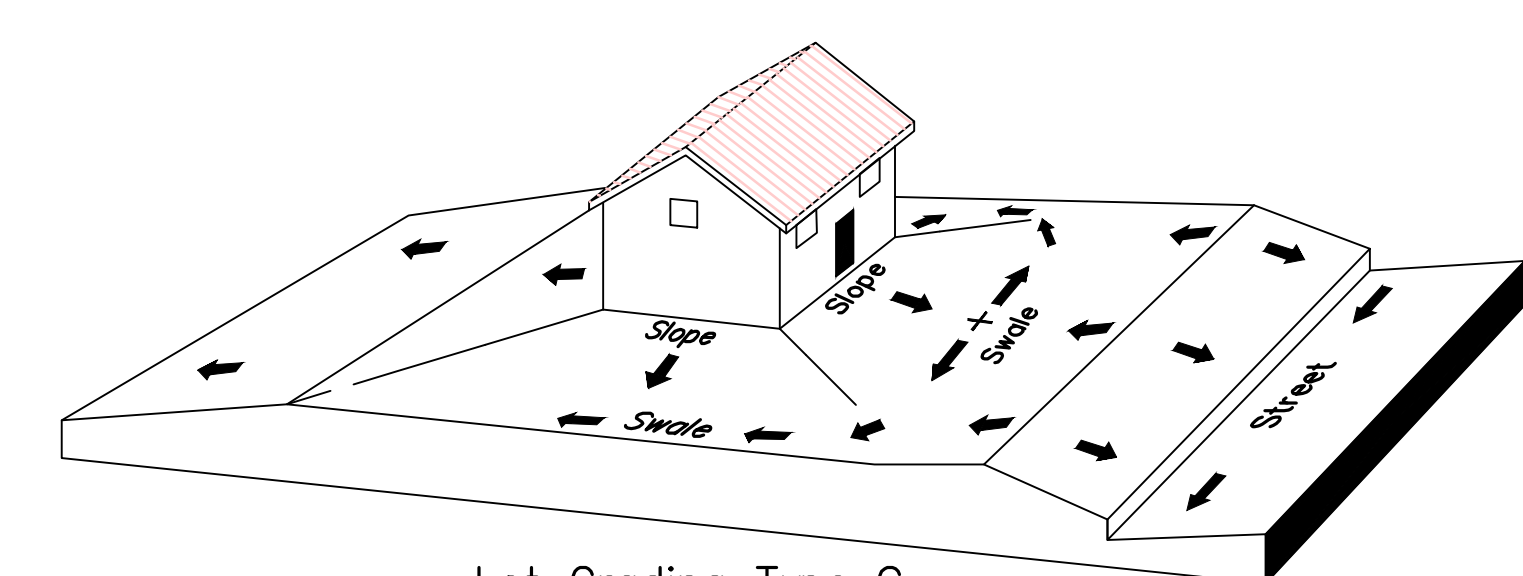
IF, UPON FINAL LOT DESIGN, THE RETAINING WALL EXCEEDS 4' CONTRACTOR MUST HAVE WALL ENGINEERED BY PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF UTAH



Lot Grading Type A  
Drainage Directed Toward Front of Building



Lot Grading Type B  
Drainage Directed Toward Front and Rear of Building



Lot Grading Type C  
Drainage Directed Toward Rear of Building

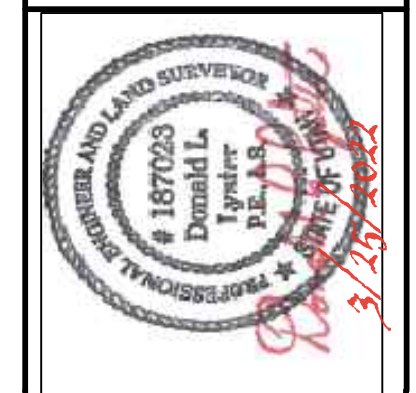
\*\* ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR \*\*

Lot Drainage -

- At minimum, 50% of roof drains shall drain towards the street.
- All side downspouts are to be diverted toward the front or rear of the lot.
- Yards to be positively graded away from all window wells
- HOA's &/or homeowners are responsible for maintaining lot line drainage pathways through their properties per drainage plan.
- All lot lines are to be maintained as drainage pathways for accumulating runoff from adjoining lots.
- All lots shall meet the International Building Code standards and drain away from the structure.

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region  
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THE VISTAS WEST @ SUMMIT RIDGE  
PHASE 2

LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022

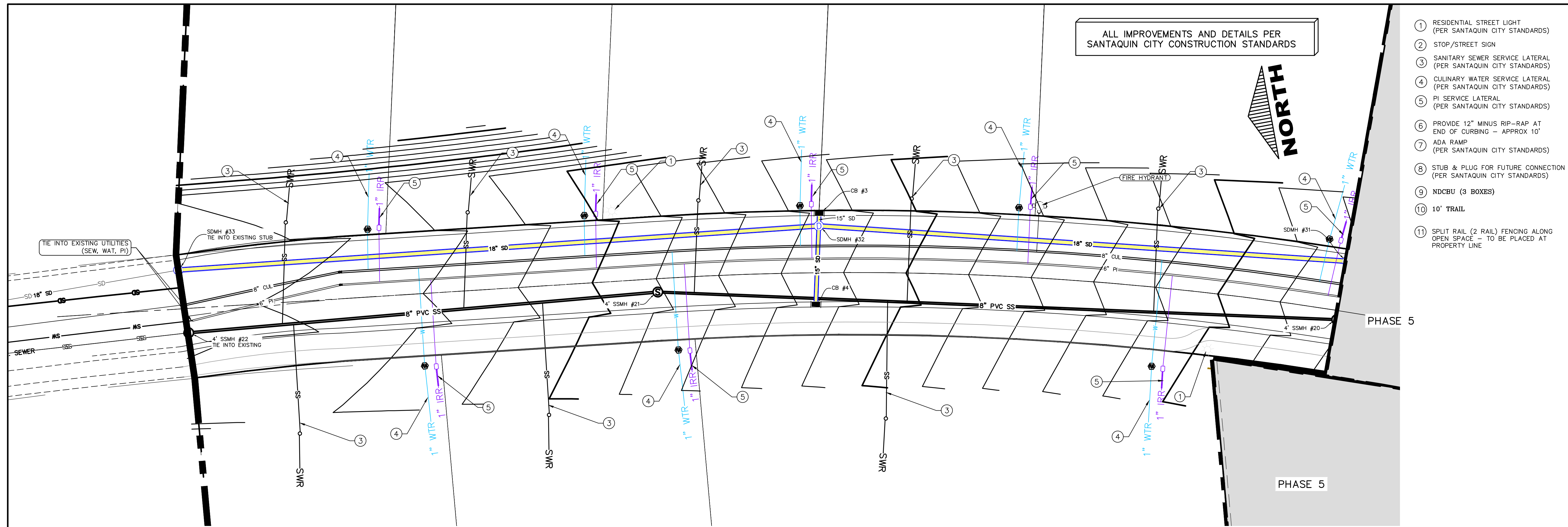
PROJECT #

REVISIONS:

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SHEET NAME:  
GRADING PLANS

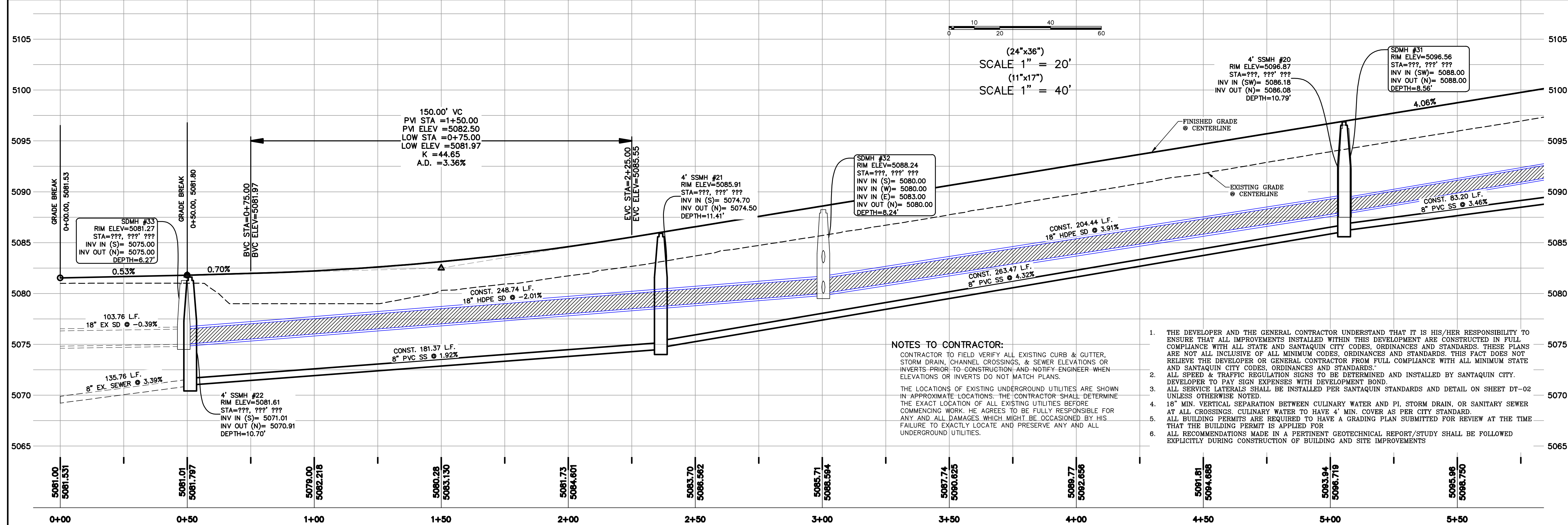
SHEET:  
GR-02



- ① RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- ② STOP/STREET SIGN
- ③ SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ④ CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ⑤ PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ⑥ PROVIDE 12" MINUS RIP-RAP AT END OF CURBING - APPROX 10'
- ⑦ ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- ⑧ STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- ⑨ NDCBU (3 BOXES)
- ⑩ 10' TRAIL
- ⑪ SPLIT RAIL (2 RAIL) FENCING ALONG OPEN SPACE - TO BE PLACED AT PROPERTY LINE

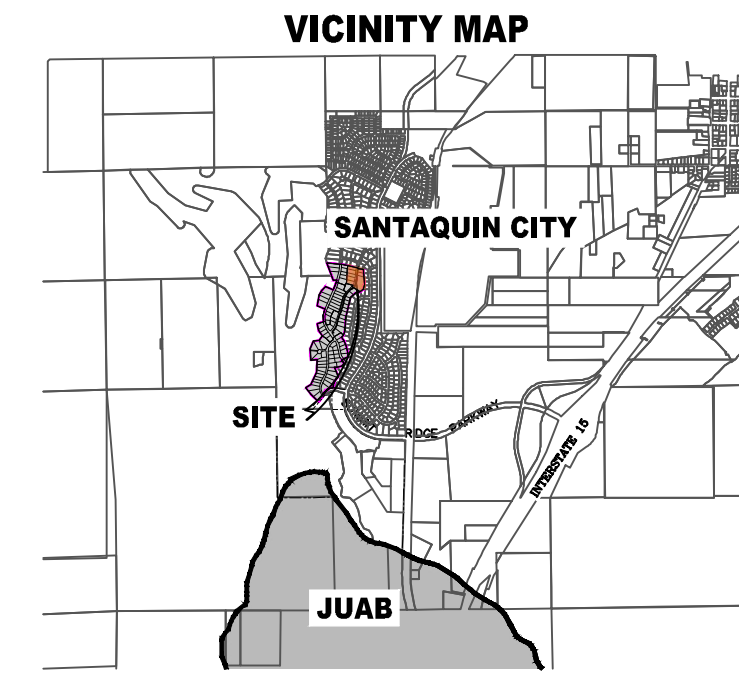
**region**  
Engineering & Surveying  
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Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com

**THE VISTAS WEST @ SUMMIT RIDGE PHASE 2**  
LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN



DATE: 3.25.2022  
PROJECT #  
REVISIONS:  
1  
2  
3  
SHEET NAME:  
PLAN & PROFILE  
SHEET:  
PP-01

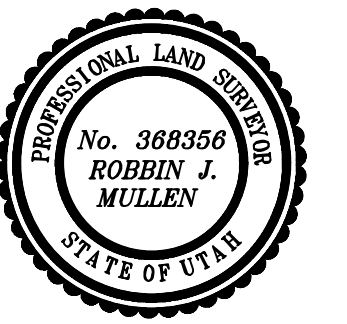
# THE VISTAS WEST @ SUMMIT RIDGE PHASE 3



AREA BREAKDOWN	
TOTAL PLAT ACREAGE	4.61 ACRES
TOTAL LOT ACREAGE	2.50 ACRES
TOTAL ROW ACREAGE	0.48 ACRES
TOTAL OPEN SPACE	1.63 ACRES
ZONE	PC - PLANNED COMMUNITY
DENSITY	1.52 / duq
NUMBER OF LOTS	7 LOTS

**PROJECT DEVELOPER**  
**David Simpson**  
 801-376-1966 |  
 Woodsprings@gmail.com  
 407 N Main Street Springville, UT 84663

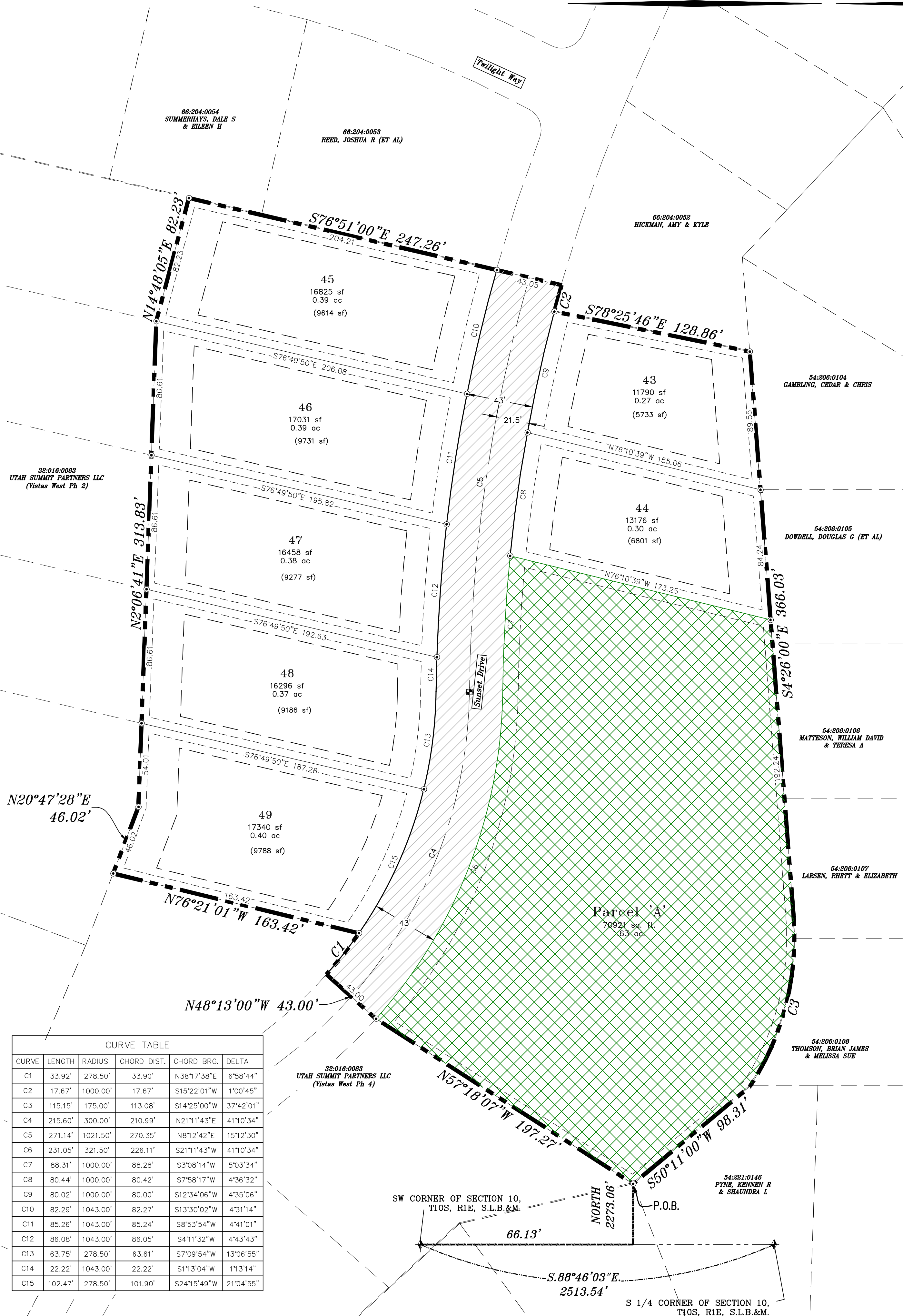
**PROJECT ENGINEER & SURVEYOR**  
**REGION ENGINEERING & SURVEYING**  
 1776 NORTH STATE STREET #110  
 OREM, UTAH 84057  
 PH - 801.376.2245



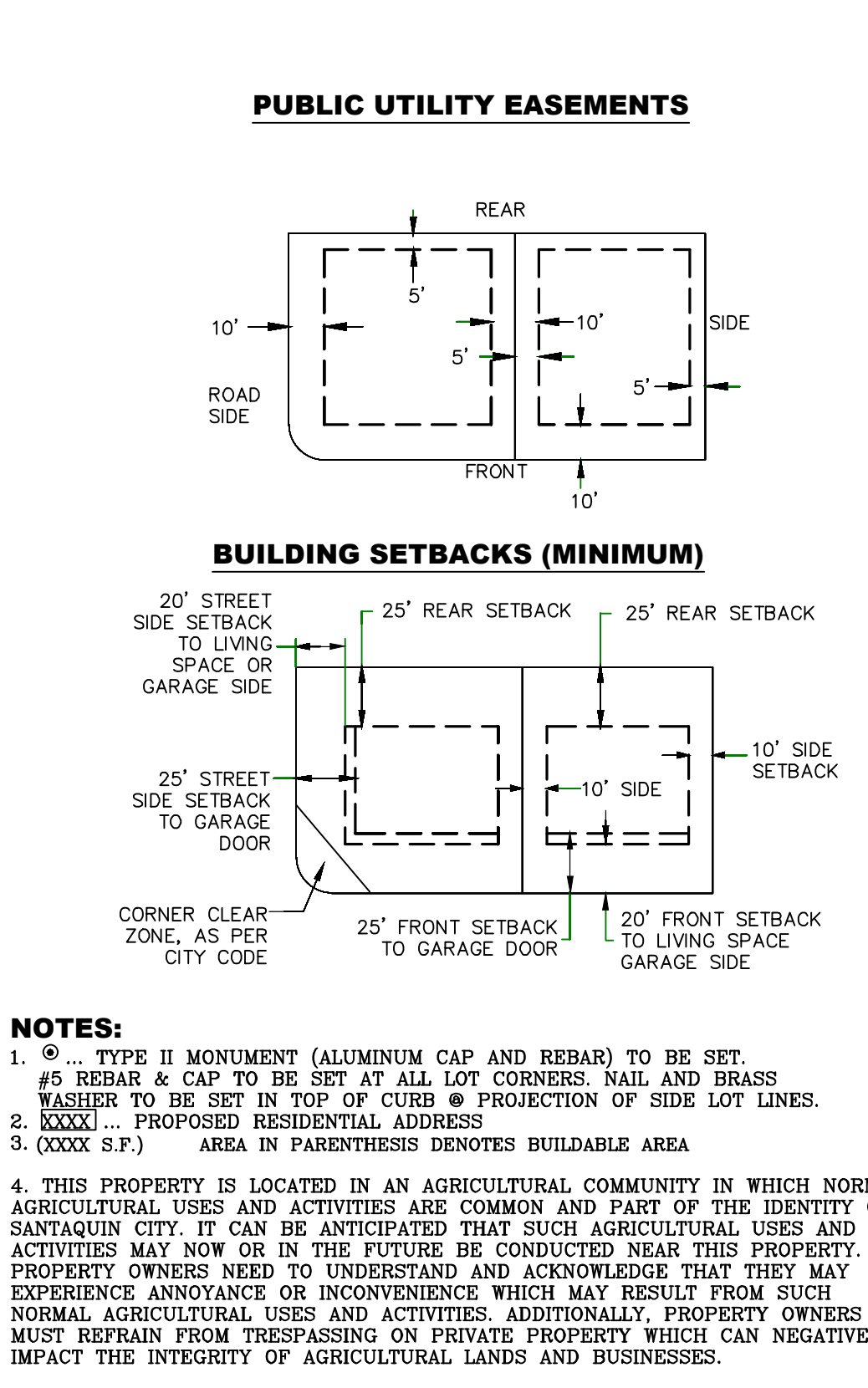
**Surveyor's Certificate**  
 I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 388356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

**Boundary Description**  
 VISTAS WEST - PHASE 3  
 BEGINNING AT A POINT ON A LINE THAT IS S 88°46'03"E. A DISTANCE OF 66.13 FEET ALONG THE SECTION LINE AND NORTH 2273.06 FEET FROM THE SOUTHWEST CORNER OF SECTION 10, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN;  
 THENCE N 57° 18' 07" W FOR A DISTANCE OF 197.27 FEET TO A POINT ON A LINE.  
 THENCE N 48° 13' 00" W FOR A DISTANCE OF 43.00 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.  
 SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 06° 58' 44", HAVING A RADIUS OF 278.50 FEET, AND WHOSE LONG CHORD BEARS N 38° 17' 38" E FOR A DISTANCE OF 33.90 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE.  
 THENCE N 78° 21' 01" W FOR A DISTANCE OF 163.42 FEET TO A POINT ON A LINE.  
 THENCE N 20° 47' 28" E FOR A DISTANCE OF 46.02 FEET TO A POINT ON A LINE.  
 THENCE N 02° 06' 41" E FOR A DISTANCE OF 313.83 FEET TO A POINT ON A LINE.  
 THENCE N 14° 48' 05" E FOR A DISTANCE OF 82.23 FEET TO A POINT ON A LINE.  
 THENCE S 78° 51' 00" E FOR A DISTANCE OF 247.26 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.  
 SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 01° 00' 45", HAVING A RADIUS OF 1000.00 FEET, AND WHOSE LONG CHORD BEARS S 15° 22' 01" W FOR A DISTANCE OF 17.67 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE.  
 THENCE S 78° 25' 46" E FOR A DISTANCE OF 128.86 FEET TO A POINT ON A LINE.  
 THENCE S 04° 28' 00" E FOR A DISTANCE OF 366.03 FEET TO THE BEGINNING OF A CURVE.  
 SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 37° 42' 01", HAVING A RADIUS OF 175.00 FEET, AND WHOSE LONG CHORD BEARS S 14° 25' 00" W FOR A DISTANCE OF 113.08 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE.  
 THENCE S 50° 11' 00" W A DISTANCE OF 98.31 FEET TO THE POINT OF BEGINNING

CONTAINING 4.61 ACRES OF LAND AND 7 LOTS



CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	33.92'	278.50'	33.90'	N38°17'38"E	6°58'44"
C2	17.67'	1000.00'	17.67'	S15°22'01"W	1°00'45"
C3	115.15'	175.00'	113.08'	S14°25'00"W	37°42'01"
C4	215.60'	300.00'	210.99'	N21°11'43"E	41°10'34"
C5	271.14'	1021.50'	270.35'	N8°12'42"E	15°12'30"
C6	231.05'	321.50'	226.11'	S21°11'43"W	41°10'34"
C7	88.31'	1000.00'	88.28'	S3°08'14"W	5°03'34"
C8	80.44'	1000.00'	80.42'	S7°58'17"W	4°36'32"
C9	80.02'	1000.00'	80.00'	S12°34'06"W	4°35'06"
C10	82.29'	1043.00'	82.27'	S13°30'02"W	4°31'14"
C11	85.26'	1043.00'	85.24'	S8°53'54"W	4°41'01"
C12	86.08'	1043.00'	86.05'	S4°11'32"W	4°43'43"
C13	63.75'	278.50'	63.61'	S7°09'54"W	1°06'55"
C14	22.22'	1043.00'	22.22'	S1°13'04"W	1°13'14"
C15	102.47'	278.50'	101.90'	S24°15'49"W	21°04'55"



**NOTES:**  
 1. (C) - TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET.  
 #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.  
 2. (XXXX) - PROPOSED RESIDENTIAL ADDRESS  
 3. (XXXX S.F.) AREA IN PARENTHESIS DENOTES BUILDABLE AREA  
 4. THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

**LEGEND**

- FOUND SECTION COR. AS NOTED
- SET 5/8" IRON PIN TO BE SET AT ALL LOT CORNERS
- FOUND CLASS I STREET MONUMENT
- SET STREET MONUMENT
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- PUBLIC UTILITY EASEMENT
- CALCULATED POINT (NOT SET)
- NDCBU (4'x8' POSTAL EASEMENT)
- AREA DEDICATED TO SANTAQUIN CITY AS PUBLIC RIGHT OF WAY
- AREA DEDICATED TO SANTAQUIN CITY AS PUBLIC OPEN SPACE (TO BE IMPROVED BY THE DEVELOPER AND MAINTAINED BY THE HOA)

**BASIS OF BEARING**  
 THE BASIS OF BEARING FOR THE VISTAS @ SUMMIT RIDGE IS ON THE SECTION LINE BETWEEN THE SW CORNER OF SECTION 10 AND THE S 1/4 CORNER OF SECTION 10, T10S, R1E, S1B&M WITH THE BEARING BEING S88°05'23"W ALONG SAID LINE.

**NORTH**

SCALE 1" = 40'  
 SCALE 1" = 80'

**UTILITIES APPROVAL**  
 UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MTN POWER \_\_\_\_\_  
 CENTRACOM \_\_\_\_\_  
 CENTURY LINK \_\_\_\_\_

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APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
 DOMINION ENERGY COMPANY  
 BY \_\_\_\_\_  
 TITLE \_\_\_\_\_

**OWNERS DEDICATION**  
 DATE \_\_\_\_\_ SURVEYOR (See Seal Below)  
 KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HERON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HERON FOR PERPETUAL USE OF THE PUBLIC.  
 IN WITNESS WHEREOF WE HAVE HERUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

**LIMITED COMPANY ACKNOWLEDGEMENT**  
 STATE OF UTAH \_\_\_\_\_ COUNTY OF UTAH \_\_\_\_\_ S.S.  
 ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE \_\_\_\_\_ OF \_\_\_\_\_ A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

MY COMMISSION EXPIRES \_\_\_\_\_ A NOTARY PUBLIC COMMISSIONED IN UTAH  
 NOTARY ADDRESS \_\_\_\_\_ PRINTED FULL NAME OF NOTARY \_\_\_\_\_

**ACCEPTANCE BY LEGISLATIVE BODY**  
 THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

APPROVED MAYOR OF SANTAQUIN \_\_\_\_\_  
 ATTEST \_\_\_\_\_  
 ENGINEER (See Seal Below) \_\_\_\_\_ CLERK-RECORDER (See Seal Below) \_\_\_\_\_

**THE VISTAS WEST @ SUMMIT RIDGE  
PHASE 3**

UTAH COUNTY, UTAH

SCALE: 1" = 40 FEET

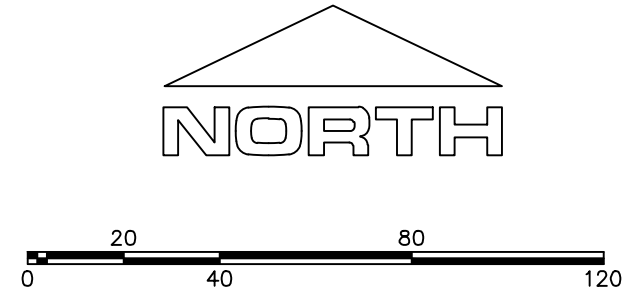
NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	COUNTY-RECORDER SEAL
--------------------	---------------------------	----------------------

SHEET 1 of 1

This form approved by Utah County and the municipalities therein.

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P.I. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

- 1 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- 2 STOP/STREET SIGN
- 3 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 4 CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 5 P.I. SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 6 PROVIDE 12" MINUS RIP-RAP AT END OF CURBING - APPROX 10'
- 7 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- 8 STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- 9 NDCBU (3 BOXES)
- 10 10' TRAIL
- 11 SPLIT RAIL (2 RAIL) FENCING ALONG OPEN SPACE - TO BE PLACED AT PROPERTY LINE



ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

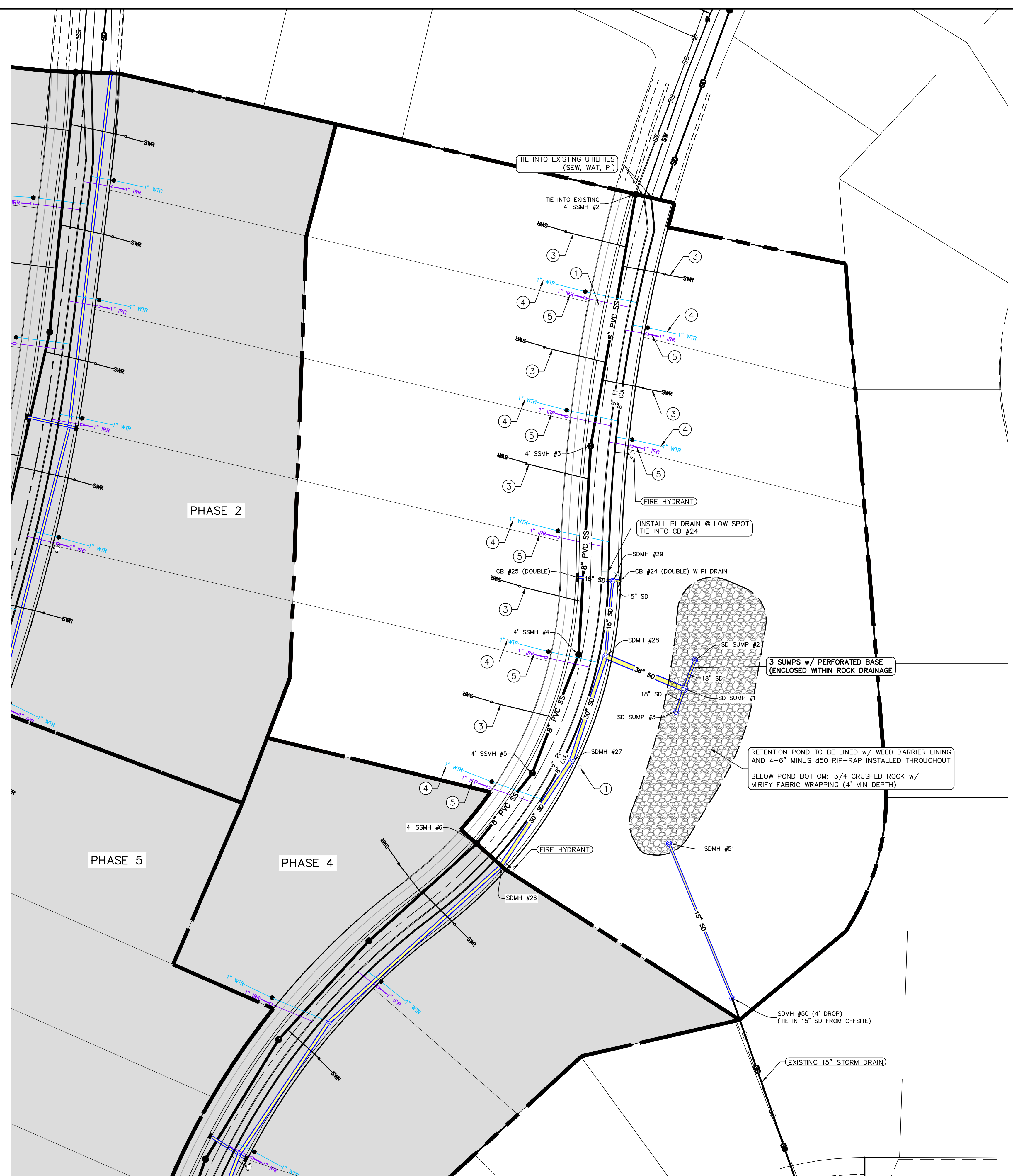
**LEGEND**

- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING DEED LINE
- SD EXISTING STORM MAIN
- SS EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING P.I. MAIN
- EXISTING CONCRETE
- P.I./WAT./SEWER LATERAL
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED CURB & GUTTER
- PROPOSED LOT LINE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- PROPOSED STORM MAIN
- PROPOSED P.I. MAIN
- PROPOSED SEWER MAIN
- PROPOSED WAT./PI/SEWER SERVICE LATERALS
- ⊙ RESIDENTIAL STREET LIGHT
- ⊙ PROPOSED VALVE (WAT./PI)
- ⊙ PROPOSED SEWER MANHOLE
- ⊙ PROPOSED STORM INLET/MANHOLE
- ⊙ PROPOSED ADA RAMP
- ⊙ PROPOSED STOP/STREET SIGN
- ⊙ PROPOSED FIRE HYDRANT
- ⊙ FOUND SECTION COR. AS NOTED
- ⊙ SET 5/8" IRON PIN TO BE SET AT ALL LOT CORNERS
- ⊙ FOUND CLASS 1 STREET MONUMENT
- ⊙ SET STREET MONUMENT
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- PUBLIC UTILITY EASEMENT
- SECTION LINE

**NOTES TO CONTRACTOR:**

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



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Engineering & Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com



**THE VISTAS WEST @ SUMMIT RIDGE**  
**PHASE 3**  
LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022

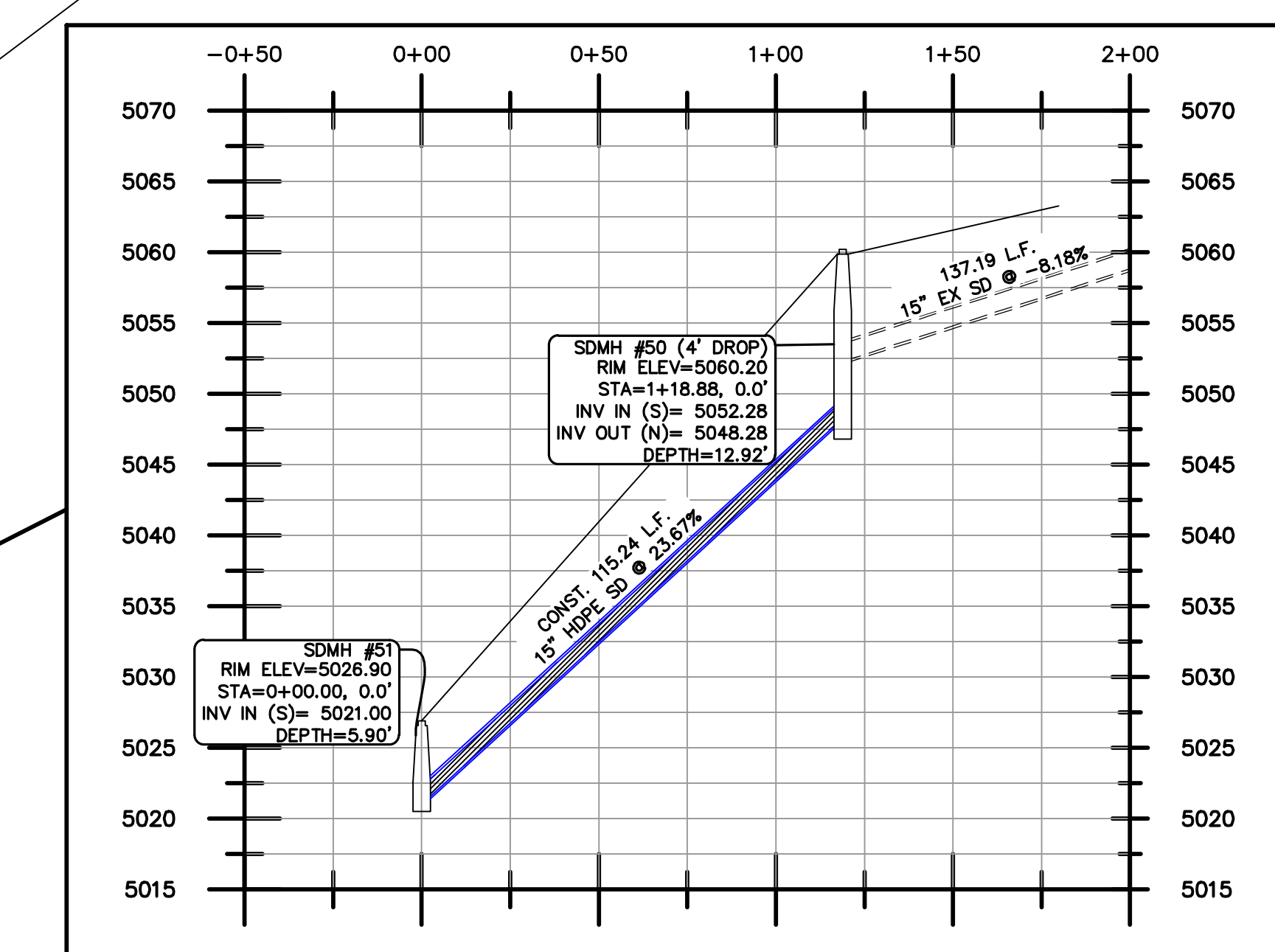
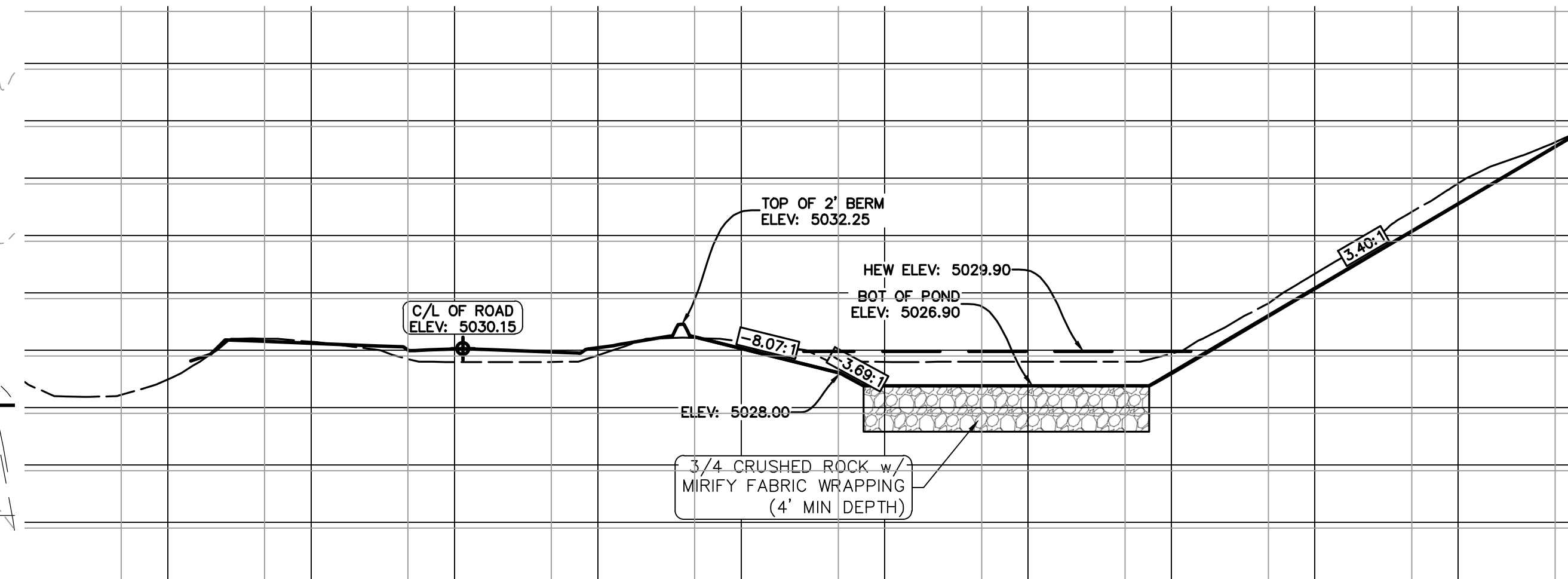
PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
UTILITY PLANS  
SHEET:  
UP-01





1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
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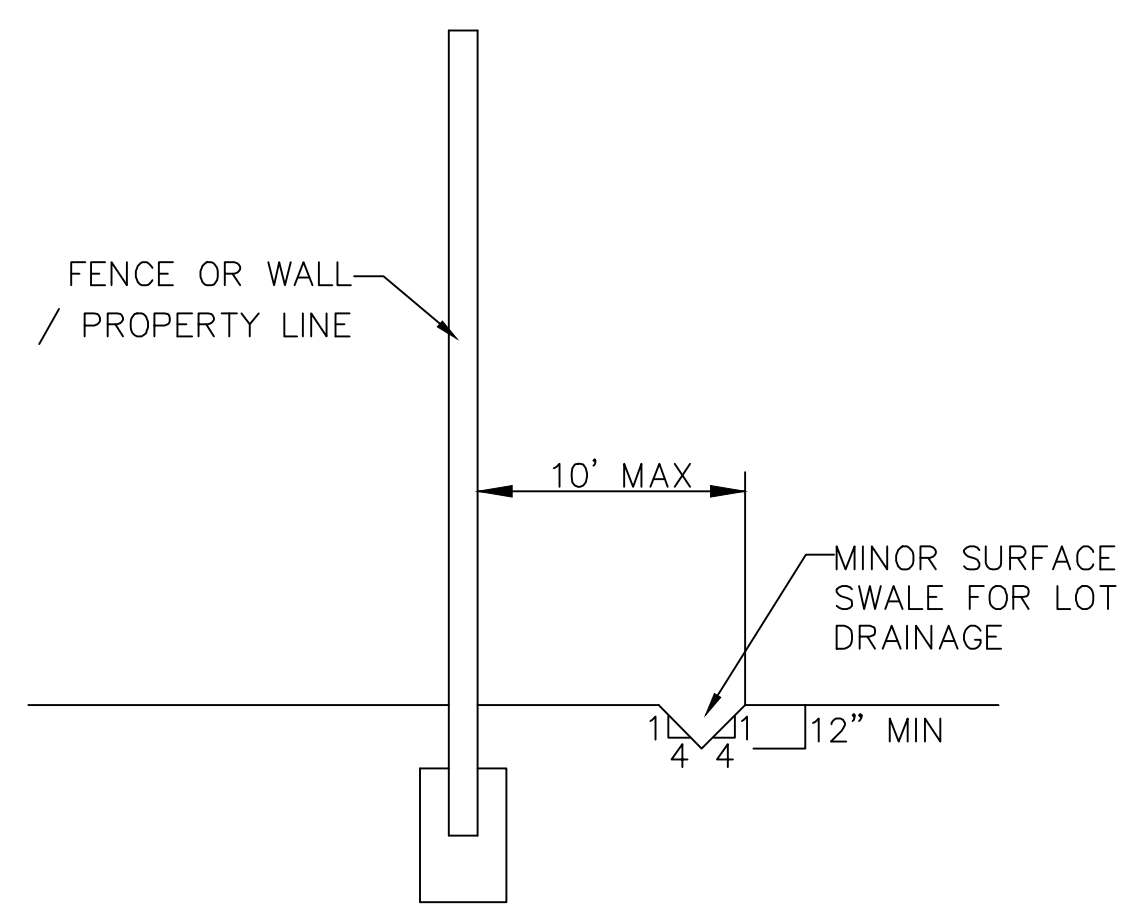
**THE VISTAS WEST @ SUMMIT RIDGE**  
**PHASE 3**  
LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

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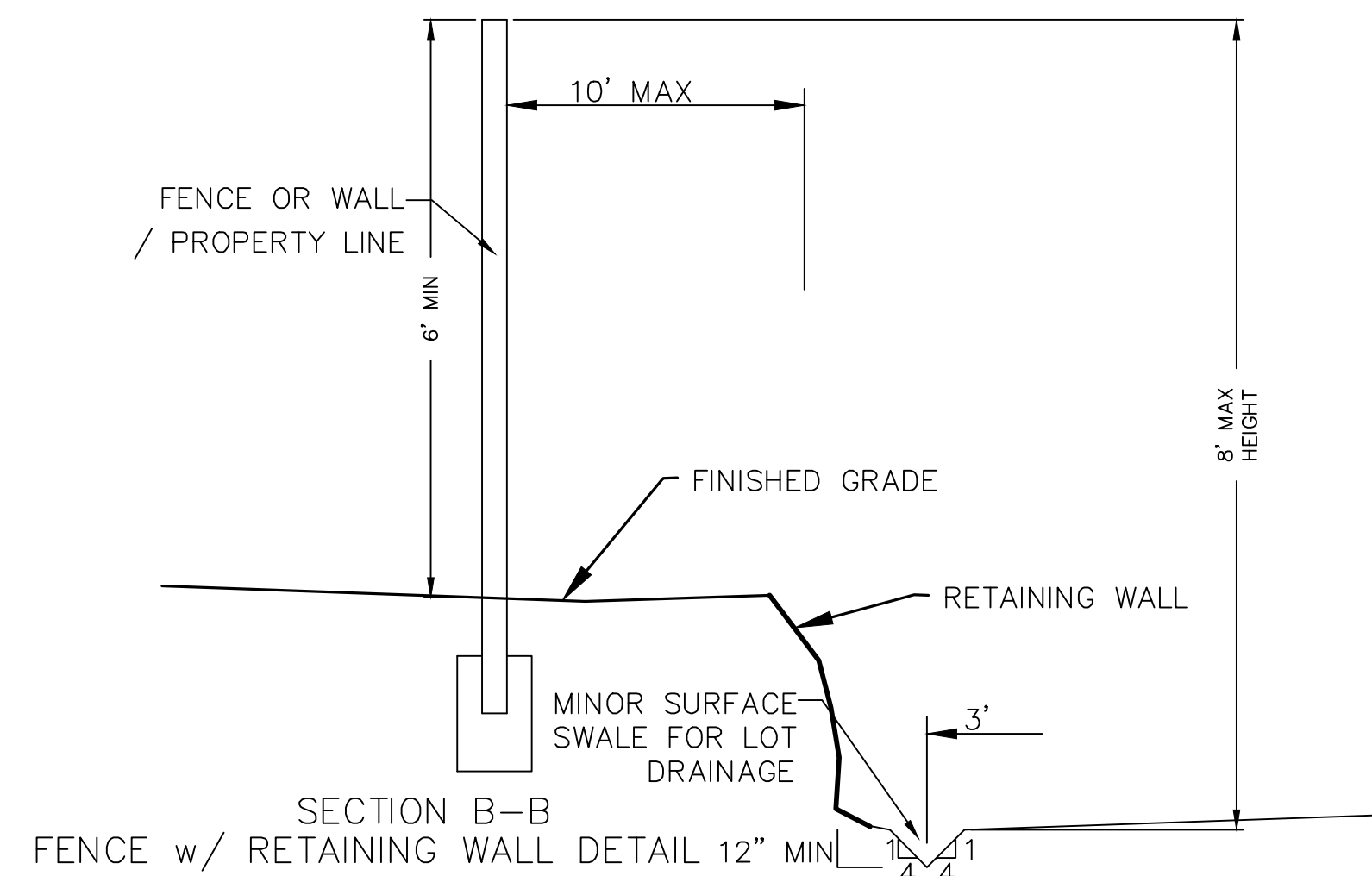
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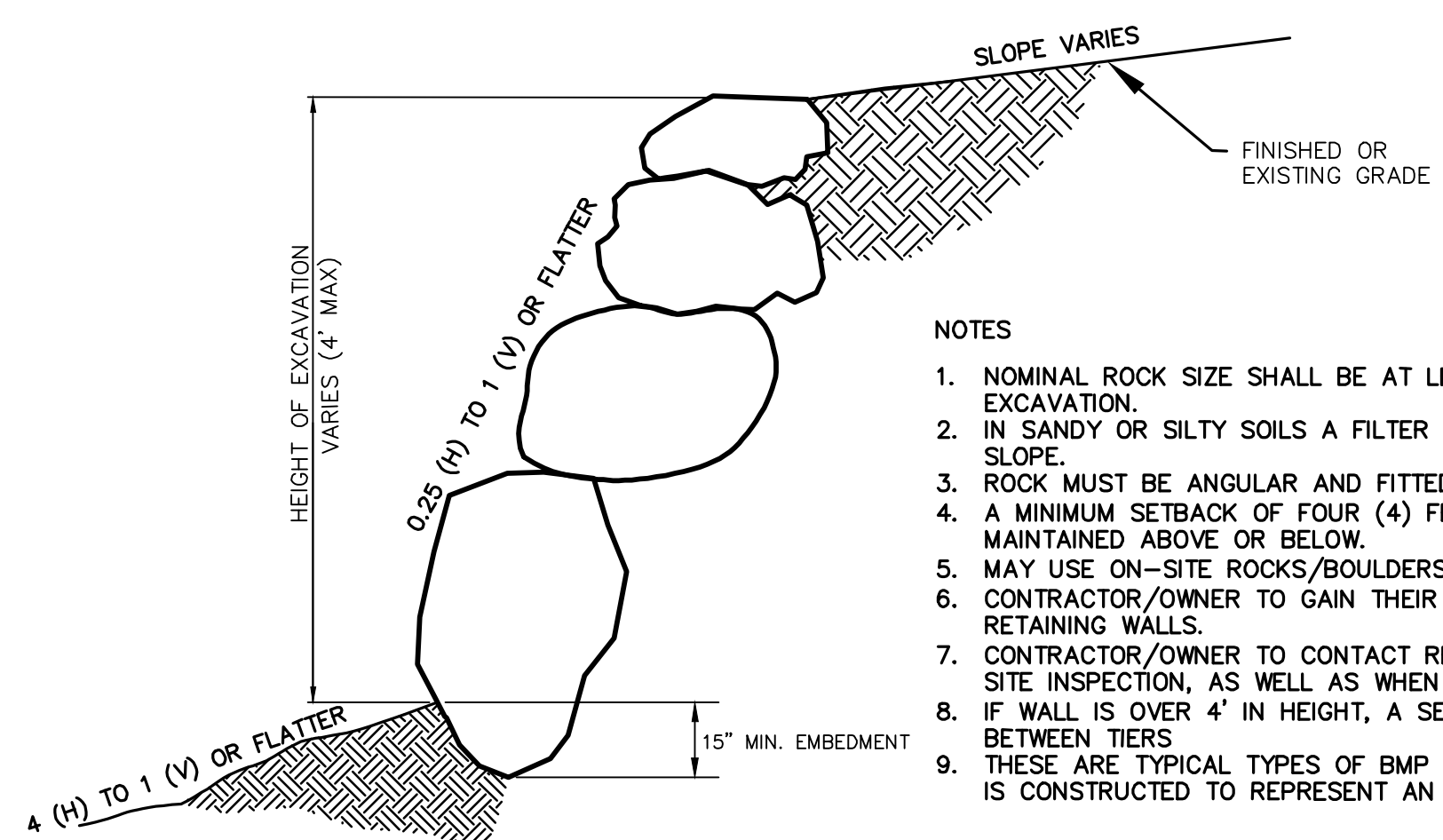
SHEET NAME:  
GRADING PLANS  
SHEET:  
**GR-01**



SECTION C-C  
FENCE DETAIL



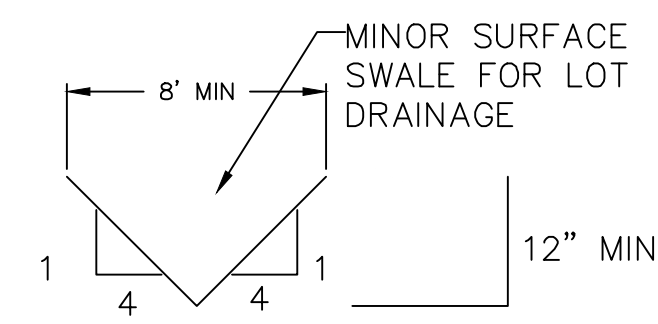
SECTION B-B  
FENCE w/ RETAINING WALL DETAIL 12" MIN



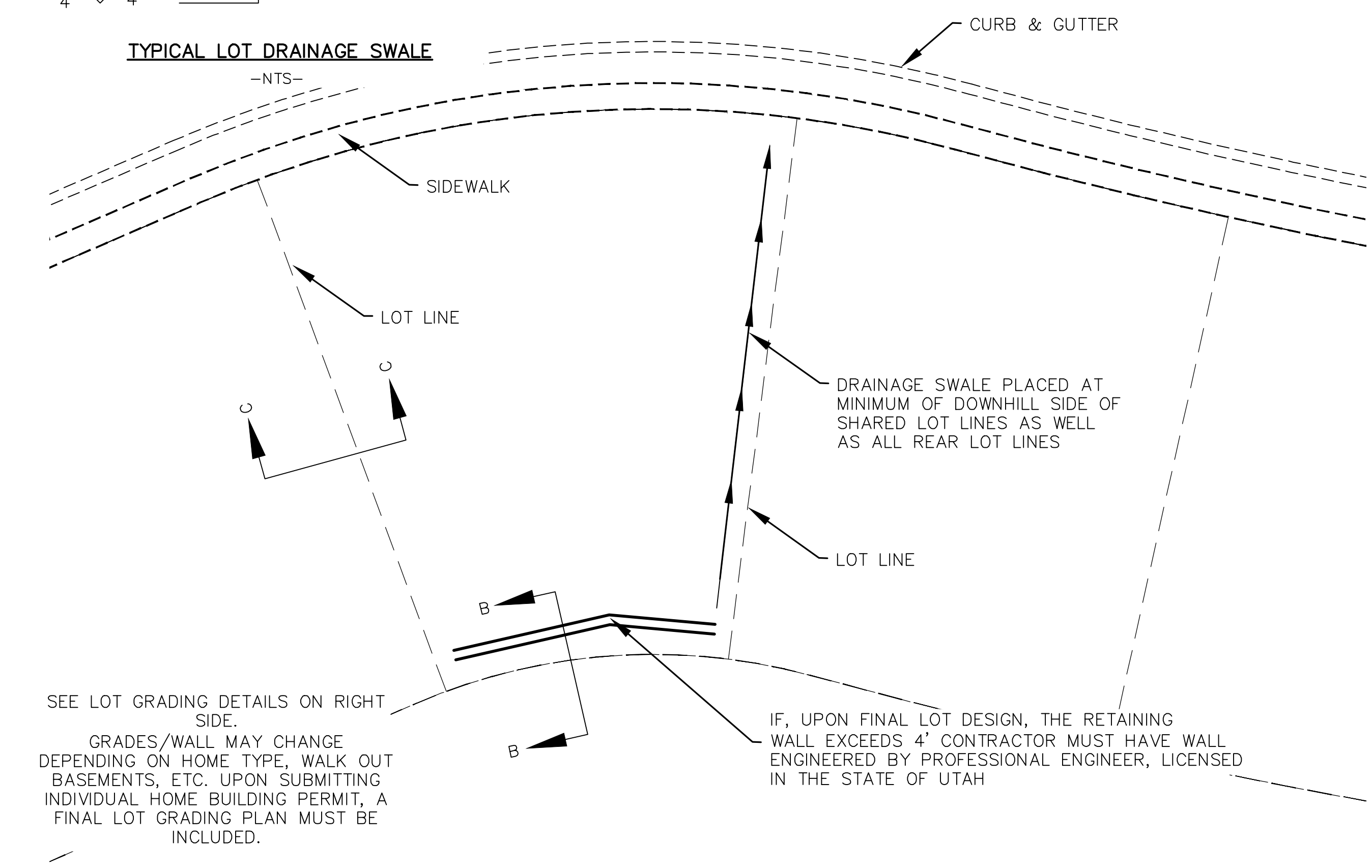
ROCK FACED SLOPE GUIDELINES  
EXCAVATION  
-NTS-

NOTES

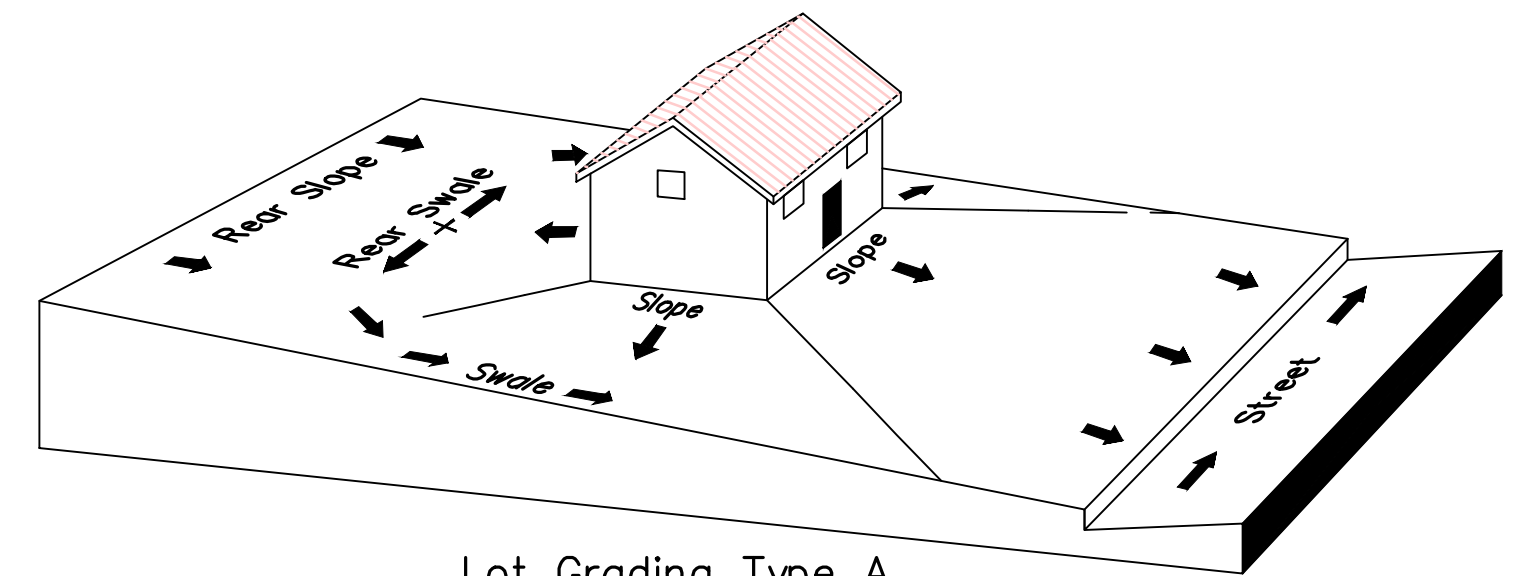
1. NOMINAL ROCK SIZE SHALL BE AT LEAST ONE THIRD (1/3) THE HEIGHT OF THE EXCAVATION.
2. IN SANDY OR SILTY SOILS A FILTER FABRIC SHALL BE PLACED BEHIND THE ROCK FACED SLOPE.
3. ROCK MUST BE ANGULAR AND FITTED TOGETHER TO INTERACT WITH THE ADJACENT ROCK.
4. A MINIMUM SETBACK OF FOUR (4) FEET FROM BUILDINGS OR STRUCTURES SHALL BE MAINTAINED ABOVE OR BELOW.
5. MAY USE ON-SITE ROCKS/BOULDERS IF CONDITION APPLYS
6. CONTRACTOR/OWNER TO GAIN THEIR OWN STRUCTURAL ENGINEER AND DESIGN FOR ALL RETAINING WALLS.
7. CONTRACTOR/OWNER TO CONTACT REGION ENGINEERING AFTER FIRST WALL IS PLACED FOR SITE INSPECTION, AS WELL AS WHEN FINAL PRODUCT IS COMPLETED
8. IF WALL IS OVER 4' IN HEIGHT, A SECOND TIER MUST BE PLACED WITH A 5' LANDING IN BETWEEN TIERS
9. THESE ARE TYPICAL TYPES OF BMP STORM DRAINAGE MEASURES. NOTHING ON THIS SHEET IS CONSTRUCTED TO REPRESENT AN APPROVED INDIVIDUAL LOT GRADING PLAN.



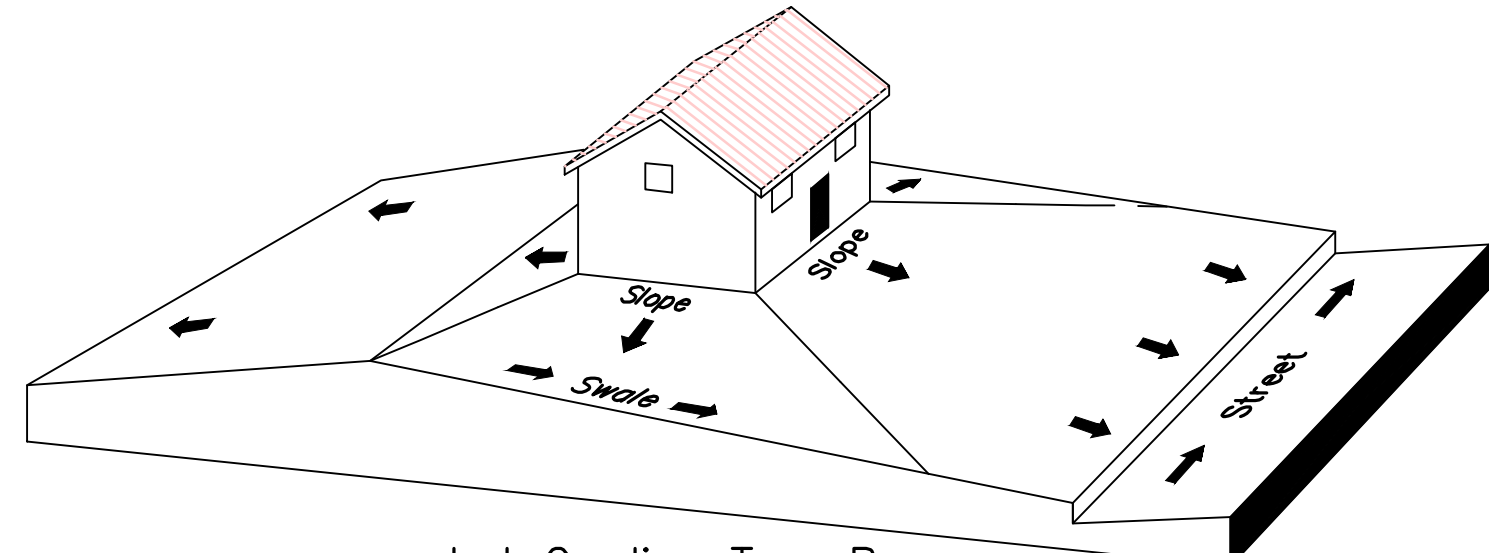
TYPICAL LOT DRAINAGE SWALE  
-NTS-



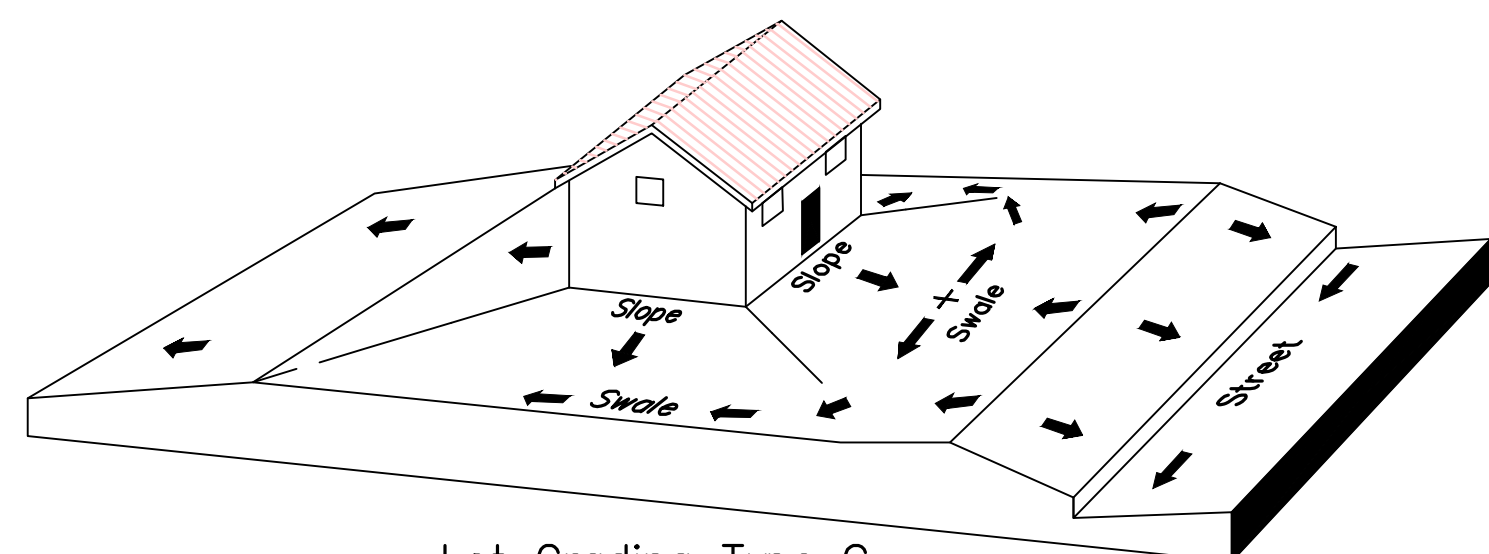
TYPICAL LOT GRADING  
-NTS-



Lot Grading Type A  
Drainage Directed Toward Front of Building



Lot Grading Type B  
Drainage Directed Toward Front and Rear of Building



Lot Grading Type C  
Drainage Directed Toward Rear of Building

**\*\* ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR \*\***

Lot Drainage -

- At minimum, 50% of roof drains shall drain towards the street.
- All side downspouts are to be diverted toward the front or rear of the lot.
- Yards to be positively graded away from all window wells
- HOA's &/or homeowners are responsible for maintaining lot line drainage pathways through their properties per drainage plan.
- All lot lines are to be maintained as drainage pathways for accumulating runoff from adjoining lots.
- All lots shall meet the International Building Code standards and drain away from the structure.

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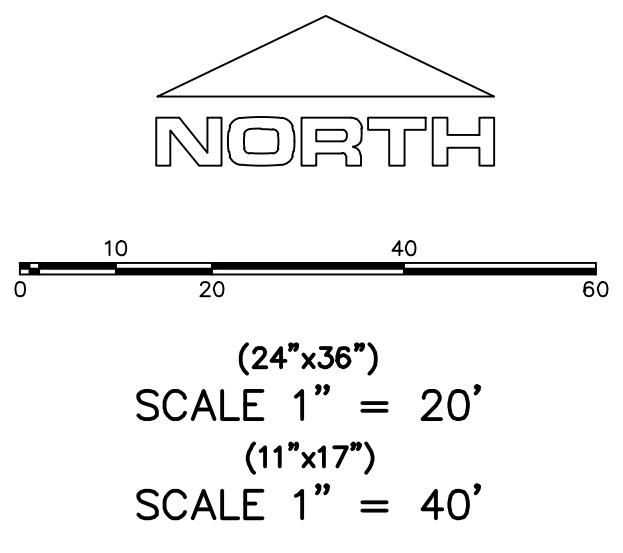
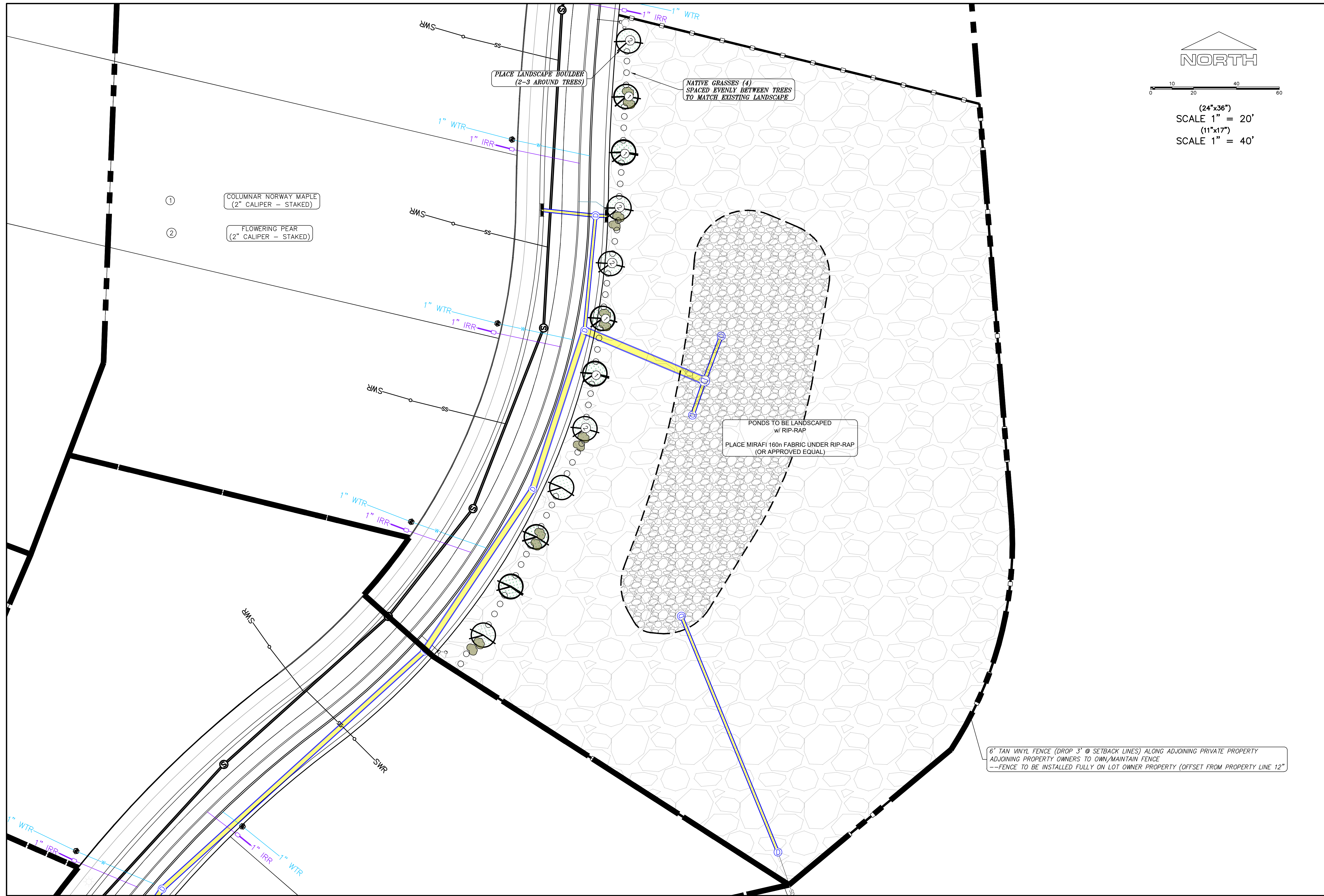


**THE VISTAS WEST @ SUMMIT RIDGE**  
**PHASE 3**  
LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022
PROJECT #
REVISIONS:
1
2
3

SHEET NAME:  
GRADING PLANS  
SHEET:  
GR-02





- ① COLUMNAR NORWAY MAPLE (2\"/>
- ② FLOWERING PEAR (2\"/>

PLACE LANDSCAPE BOULDER (2-3 AROUND TREES)

NATIVE GRASSES (4) SPACED EVENLY BETWEEN TREES TO MATCH EXISTING LANDSCAPE

PONDS TO BE LANDSCAPED w/ RIP-RAP  
PLACE MIRAFI 180n FABRIC UNDER RIP-RAP (OR APPROVED EQUAL)

6' TAN VINYL FENCE (DROP 3' @ SETBACK LINES) ALONG ADJOINING PRIVATE PROPERTY  
ADJOINING PROPERTY OWNERS TO OWN/MAINTAIN FENCE  
--FENCE TO BE INSTALLED FULLY ON LOT OWNER PROPERTY (OFFSET FROM PROPERTY LINE 12")

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**THE VISTAS WEST @ SUMMIT RIDGE  
PHASE 3**  
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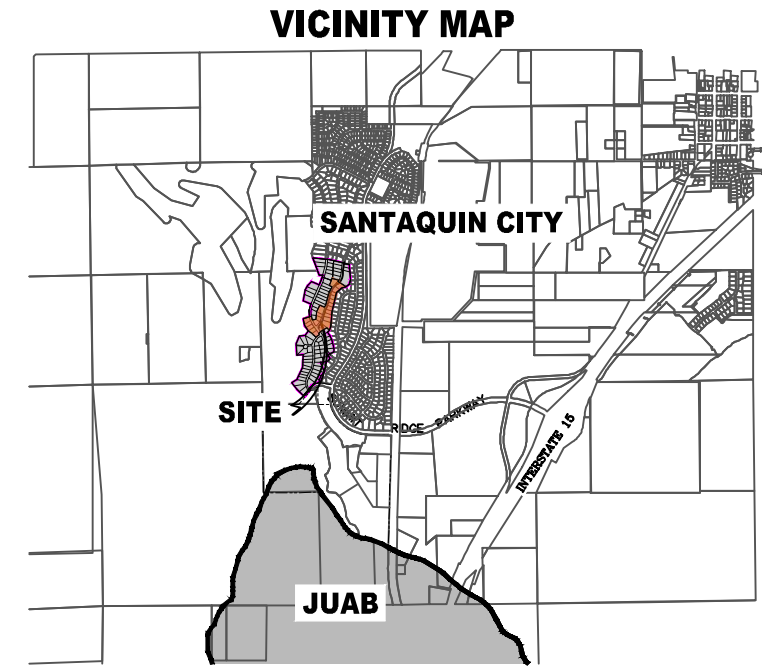
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SHEET NAME:  
LANDSCAPE PLANS  
SHEET:  
LS-01

# THE VISTAS WEST @ SUMMIT RIDGE PHASE 4

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	98.88'	475.50'	98.70'	S161°4'46"E	115°4'52"
C2	185.40'	478.50'	184.24'	N17°02'28"E	221°1'57"
C3	298.76'	521.50'	294.69'	N22°21'12"E	32°49'25"
C4	33.92'	278.50'	33.90'	S38°17'38"W	6°58'44"
C5	23.65'	15.00'	21.28'	S92°03'00"W	90°21'00"
C6	43.40'	296.50'	43.36'	S50°19'24"W	82°3'13"
C7	222.92'	500.00'	221.08'	S23°03'40"E	25°32'40"
C8	236.05'	300.00'	230.01'	N31°37'31"E	45°04'57"
C9	332.60'	1000.00'	331.07'	N18°36'45"E	19°03'24"
C10	193.73'	500.00'	192.52'	N17°02'28"E	221°1'57"
C11	411.07'	500.00'	399.59'	N29°29'38"E	47°06'17"
C12	58.97'	300.00'	58.88'	N47°24'53"E	11°15'46"
C13	90.10'	978.50'	90.07'	S15°57'33"W	5°16'33"
C14	90.16'	978.50'	90.13'	S21°14'12"W	5°16'45"
C15	72.83'	978.50'	72.81'	S26°00'31"W	41°5'52"
C16	18.09'	521.50'	18.09'	S27°08'50"W	1°59'13"
C17	90.24'	521.50'	90.12'	S21°11'48"W	9°54'50"
C18	90.78'	521.50'	90.66'	S11°15'10"W	9°58'25"
C19	2.95'	521.50'	2.95'	S6°06'14"W	0°19'29"
C20	87.89'	478.50'	87.76'	S11°12'12"W	10°31'25"
C21	90.32'	478.50'	90.19'	S21°52'21"W	10°48'54"
C22	151.81'	478.50'	151.17'	S36°22'07"W	18°10'38"
C23	63.38'	478.50'	63.33'	S49°15'06"W	7°35'20"
C24	63.20'	321.50'	63.10'	S47°24'53"W	11°15'46"
C25	54.75'	278.50'	54.66'	N47°24'53"E	11°15'46"
C26	129.99'	521.50'	129.65'	N45°54'20"E	14°16'53"
C27	177.38'	1021.50'	177.16'	N20°30'08"E	9°56'57"
C28	86.76'	1021.50'	86.73'	N13°05'40"E	4°51'59"
C29	28.12'	1021.50'	28.12'	N8°52'22"E	1°34'38"
C30	83.32'	278.50'	83.01'	N17°39'18"E	17°08'29"
C31	119.53'	278.50'	118.62'	N38°31'16"E	24°35'28"
C32	24.44'	15.00'	21.82'	S82°30'30"E	93°21'00"
C33	113.12'	475.50'	112.85'	S29°01'06"E	13°37'48"
C34	103.79'	524.50'	103.62'	N15°57'28"W	11°20'17"
C35	76.15'	524.50'	76.09'	N25°47'11"W	8°19'08"
C36	53.89'	524.50'	53.87'	N32°53'23"W	5°53'15"
C37	22.38'	15.00'	20.36'	S6°55'01"W	85°30'02"
C38	124.74'	321.50'	123.95'	S38°33'09"W	22°13'46"
C39	84.64'	321.50'	84.39'	S19°53'46"W	15°05'00"
C40	18.35'	321.50'	18.35'	S10°43'09"W	3°16'13"
C41	72.36'	978.50'	72.35'	S11°21'10"W	4°14'14"

LINE TABLE		
LINE	LENGTH	DIRECTION
L1	83.00'	S35°50'00"E
L2	24.10'	N54°10'00"E
L3	147.96'	S35°50'00"E



**Surveyor's Certificate**  
I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

**Boundary Description**  
VISTAS WEST - PHASE 4  
BEGINNING AT A POINT ON A LINE THAT IS S 89°05'23"W, A DISTANCE OF 236.39 FEET ALONG THE SECTION LINE AND NORTH 1205.38 FEET FROM THE SOUTHWEST CORNER OF SECTION 10, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN;

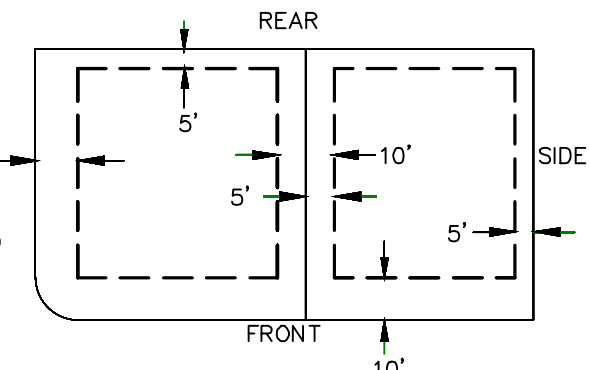
AREA BREAKDOWN	
TOTAL PLAT ACREAGE	10.22 ACRES
TOTAL LOT ACREAGE	8.46 ACRES
TOTAL ROW ACREAGE	1.76 ACRES
TOTAL OPEN SPACE	1.76 ACRES
ZONE	PC - PLANNED COMMUNITY
DENSITY	2.15 / DUU
NUMBER OF LOTS	22 LOTS

**PROJECT DEVELOPER**  
David Simpson  
801-376-1966 |  
Woodspine@msi.com  
407 N Main Street, Springville, UT 84663

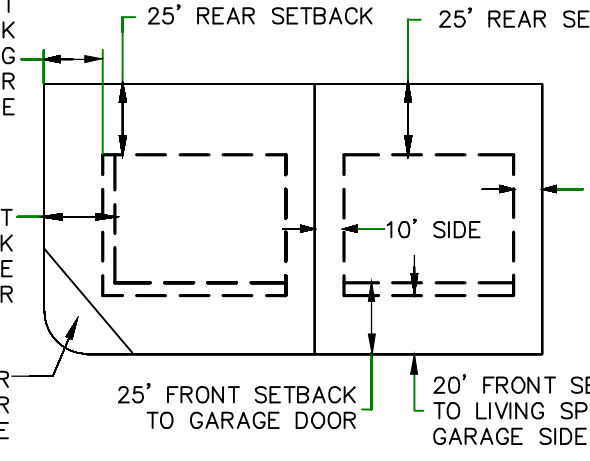
**PROJECT ENGINEER & SURVEYOR**  
REGION ENGINEERING & SURVEYING  
1776 NORTH STATE STREET #110  
OREM, UTAH 84057  
PH - 801.376.2245

**LEGEND**

**PUBLIC UTILITY EASEMENTS**

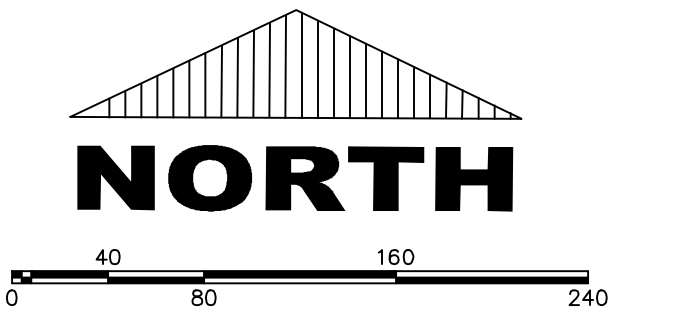


**BUILDING SETBACKS (MINIMUM)**



**BASIS OF BEARING**

THE BASIS OF BEARING FOR THE VISTAS @ SUMMIT RIDGE IS ON THE SECTION LINE BETWEEN THE SW CORNER OF SECTION 10 AND THE S 1/4 CORNER OF SECTION 19, T10S, R1E, S.L.B.&M. WITH THE BEARING BEING S89°05'23"W ALONG SAID LINE.



**DOMINION ENERGY ACCEPTANCE**

DOMINION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION'S RIGHT OF WAY DEPARTMENT AT 1-800-366-8532.

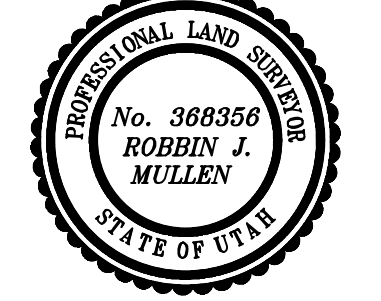
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
DOMINION ENERGY COMPANY  
BY- \_\_\_\_\_  
TITLE- \_\_\_\_\_

- NOTES:**
- ① TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET.
  - #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS, NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
  - XXXXX PROPOSED RESIDENTIAL ADDRESS.
  - (XXXX SF) AREA IN PARENTHESIS DENOTES BUILDABLE AREA.
  - THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

**UTILITIES APPROVAL**  
UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MTN POWER \_\_\_\_\_  
CENTRACOM \_\_\_\_\_  
CENTURY LINK \_\_\_\_\_

THENCE, N 35° 29' 00" W FOR A DISTANCE OF 168.34 FEET TO A POINT ON A LINE.  
THENCE, N 11° 13' 00" W FOR A DISTANCE OF 167.42 FEET TO A POINT ON A LINE.  
THENCE, N 72° 16' 35" E FOR A DISTANCE OF 156.40 FEET TO A POINT ON A LINE.  
THENCE, N 79° 42' 40" E FOR A DISTANCE OF 49.00 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.  
THENCE, N 24° 29' 08" E FOR A DISTANCE OF 173.45 FEET TO A POINT ON A LINE.  
CHORD BEARS S 16° 14' 46" E FOR A DISTANCE OF 98.70 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE.  
THENCE, N 83° 16' 45" E FOR A DISTANCE OF 89.45 FEET TO A POINT ON A LINE.  
THENCE, N 03° 10' 35" E FOR A DISTANCE OF 194.78 FEET TO A POINT ON A LINE.  
THENCE, N 24° 29' 08" E FOR A DISTANCE OF 173.45 FEET TO A POINT ON A LINE.  
THENCE, S 66° 15' 00" E FOR A DISTANCE OF 128.25 FEET TO A POINT ON A LINE.  
THENCE, N 26° 48' 32" E FOR A DISTANCE OF 47.49 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.  
THENCE, N 17° 02' 28" E FOR A DISTANCE OF 173.45 FEET TO A POINT ON A LINE.  
THENCE, N 17° 02' 28" E FOR A DISTANCE OF 173.45 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.  
THENCE, N 23° 13' 09" E FOR A DISTANCE OF 124.82 FEET TO A POINT ON A LINE.  
THENCE, N 20° 47' 28" E FOR A DISTANCE OF 49.54 FEET TO A POINT ON A LINE.  
THENCE, S 76° 21' 01" E FOR A DISTANCE OF 163.42 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, AND WHOSE LONG CHORD BEARS N 17° 02' 28" E FOR A DISTANCE OF 184.24 FEET TO A POINT ON A LINE.  
THENCE, N 23° 13' 09" E FOR A DISTANCE OF 124.82 FEET TO A POINT ON A LINE.  
THENCE, N 20° 47' 28" E FOR A DISTANCE OF 49.54 FEET TO A POINT ON A LINE.  
THENCE, S 76° 21' 01" E FOR A DISTANCE OF 163.42 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, AND WHOSE LONG CHORD BEARS N 17° 02' 28" E FOR A DISTANCE OF 184.24 FEET TO A POINT ON A LINE.  
THENCE, S 47° 28' 27" W FOR A DISTANCE OF 151.76 FEET TO A POINT ON A LINE.  
THENCE, S 14° 32' 00" W FOR A DISTANCE OF 483.46 FEET TO A POINT ON A LINE.  
THENCE, S 04° 00' 00" W FOR A DISTANCE OF 349.19 FEET TO A POINT ON A LINE.  
THENCE, S 15° 39' 00" W FOR A DISTANCE OF 95.30 FEET TO A POINT ON A LINE.  
THENCE, N 48° 33' 10" W FOR A DISTANCE OF 97.14 FEET TO A POINT ON A LINE.  
THENCE, S 54° 10' 00" W FOR A DISTANCE OF 173.44 FEET TO A POINT ON A LINE.  
THENCE, S 54° 10' 00" W FOR A DISTANCE OF 60.00 FEET TO A POINT ON A LINE.  
THENCE, S 35° 50' 00" E FOR A DISTANCE OF 23.05 FEET TO THE BEGINNING OF A CURVE, SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 90° 21' 00", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS S 09° 20' 30" W FOR A DISTANCE OF 21.28 FEET.  
THENCE, S 54° 31' 00" W FOR A DISTANCE OF 57.85 FEET TO THE BEGINNING OF A CURVE, SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 08° 23' 13", HAVING A RADIUS OF 296.50 FEET, AND WHOSE LONG CHORD BEARS S 50° 19' 24" W FOR A DISTANCE OF 43.36 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE.  
THENCE, N 44° 32' 11" W FOR A DISTANCE OF 127.68 FEET TO A POINT ON A LINE.  
THENCE, N 53° 58' 06" W, A DISTANCE OF 104.81 FEET TO THE POINT OF BEGINNING.



**OWNERS DEDICATION**  
DATE \_\_\_\_\_ SURVEYOR (See Seal Below)

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HERON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREOF FOR PERPETUAL USE OF THE PUBLIC.  
IN WITNESS WHEREOF WE HAVE HERUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

**LIMITED COMPANY ACKNOWLEDGEMENT**

STATE OF UTAH \_\_\_\_\_  
COUNTY OF UTAH \_\_\_\_\_ S.S.  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE \_\_\_\_\_ OF \_\_\_\_\_ A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

MY COMMISSION EXPIRES \_\_\_\_\_ A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY ADDRESS \_\_\_\_\_ PRINTED FULL NAME OF NOTARY \_\_\_\_\_

**ACCEPTANCE BY LEGISLATIVE BODY**

THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

APPROVED MAYOR OF SANTAQUIN \_\_\_\_\_

ATTEST \_\_\_\_\_ CLERK-RECORDER (See Seal Below)

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NOTARY PUBLIC SEAL \_\_\_\_\_ CITY-COUNTY ENGINEER SEAL \_\_\_\_\_ COUNTY-RECORDER SEAL \_\_\_\_\_

SCALE: 1" = 80 FEET

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NOTARY PUBLIC SEAL \_\_\_\_\_ CITY-COUNTY ENGINEER SEAL \_\_\_\_\_ COUNTY-RECORDER SEAL \_\_\_\_\_

SCALE: 1" = 80 FEET

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NOTARY PUBLIC SEAL \_\_\_\_\_ CITY-COUNTY ENGINEER SEAL \_\_\_\_\_ COUNTY-RECORDER SEAL \_\_\_\_\_

SCALE: 1" = 80 FEET

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NOTARY PUBLIC SEAL \_\_\_\_\_ CITY-COUNTY ENGINEER SEAL \_\_\_\_\_ COUNTY-RECORDER SEAL \_\_\_\_\_

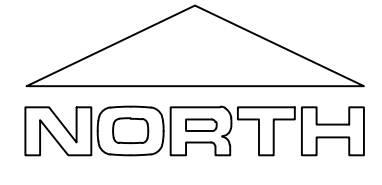
SCALE: 1" = 80 FEET

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NOTARY PUBLIC SEAL \_\_\_\_\_ CITY-COUNTY ENGINEER SEAL \_\_\_\_\_ COUNTY-RECORDER SEAL \_\_\_\_\_

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P.I. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

- 1 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- 2 STOP/STREET SIGN
- 3 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 4 CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 5 P.I. SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 6 PROVIDE 12" MINUS RIP-RAP AT END OF CURBING - APPROX 10'
- 7 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- 8 STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- 9 NDCBU (3 BOXES)
- 10 10' TRAIL
- 11 SPLIT RAIL (2 RAIL) FENCING ALONG OPEN SPACE - TO BE PLACED AT PROPERTY LINE



0 20 40 80 120

(24"x36")  
SCALE 1" = 40'  
(11"x17")  
SCALE 1" = 80'

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

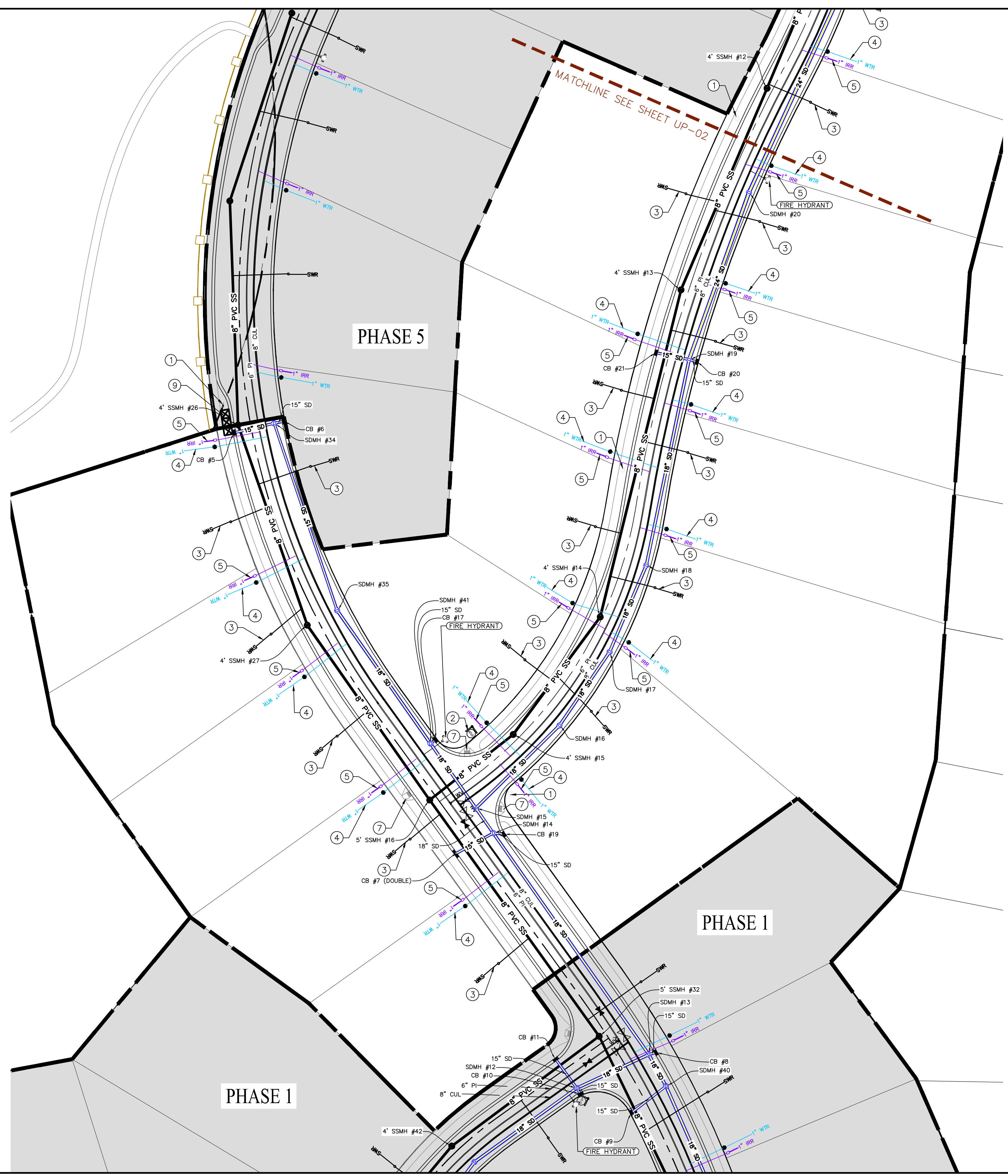
**LEGEND**

- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- SD- EXISTING STORM MAIN
- SS- EXISTING SEWER MAIN
- WM- EXISTING WATER MAIN
- PM- EXISTING P.I. MAIN
- PC- EXISTING CONCRETE
- PL- PROPOSED ASPHALT
- PC- PROPOSED CONCRETE
- CG- PROPOSED CURB & GUTTER
- LO- PROPOSED LOT LINE
- BL- BOUNDARY LINE
- RW- RIGHT OF WAY LINE
- SD- PROPOSED STORM MAIN
- SS- PROPOSED SEWER MAIN
- WM- PROPOSED WATER MAIN
- PL- PROPOSED P.I. MAIN
- PL- PROPOSED P.I./SEWER SERVICE LATERALS
- ⊙ RESIDENTIAL STREET LIGHT
- ⊙ PROPOSED VALVE (WAT./PI)
- ⊙ PROPOSED SEWER MANHOLE
- ⊙ PROPOSED STORM INLET/MANHOLE
- ⊙ PROPOSED ADA RAMP
- ⊙ PROPOSED STOP/STREET SIGN
- ⊙ PROPOSED FIRE HYDRANT
- ⊙ FOUND SECTION COR. AS NOTED
- ⊙ SET 5/8" IRON PIN TO BE SET AT ALL LOT CORNERS
- ⊙ FOUND CLASS I STREET MONUMENT
- ⊙ SET STREET MONUMENT
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- PUBLIC UTILITY EASEMENT
- SECTION LINE

**NOTES TO CONTRACTOR:**

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



region  
Engineering  
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1776 N. State St. #110  
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regiondesignllc.com



**THE VISTAS WEST @ SUMMIT RIDGE**  
**PHASE 4**

LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022

PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
UTILITY PLANS

SHEET:  
UP-01

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
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3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P.I. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
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- 10 10' TRAIL
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NORTH

0 20 40 80 120

(24"x36")  
SCALE 1" = 40'  
(11"x17")  
SCALE 1" = 80'

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

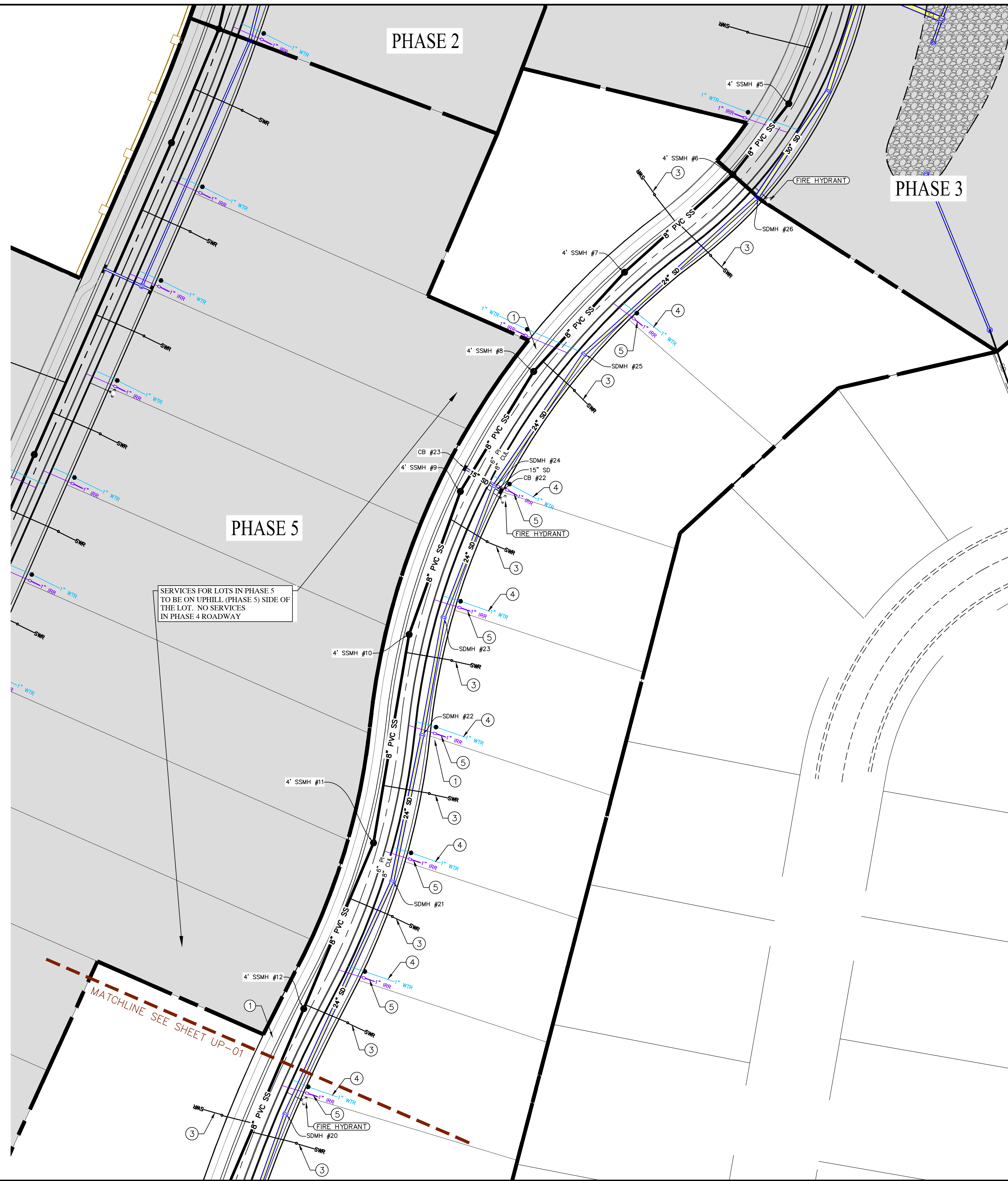
LEGEND

- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING DEED LINE
- EXISTING STORM MAIN
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING P.I. MAIN
- EXISTING CONCRETE
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED CURB & GUTTER
- PROPOSED LOT LINE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- PROPOSED STORM MAIN
- PROPOSED CUL MAIN
- PROPOSED P.I. MAIN
- PROPOSED SEWER MAIN
- PROPOSED WAT./PI/SEWER SERVICE LATERALS
- RESIDENTIAL STREET LIGHT
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SERVICES FOR LOTS IN PHASE 5 TO BE ON UPHILL (PHASE 5) SIDE OF THE LOT. NO SERVICES IN PHASE 4 ROADWAY

MATCHLINE SEE SHEET UP-01

region  
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**THE VISTAS WEST @ SUMMIT RIDGE**  
**PHASE 4**  
LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

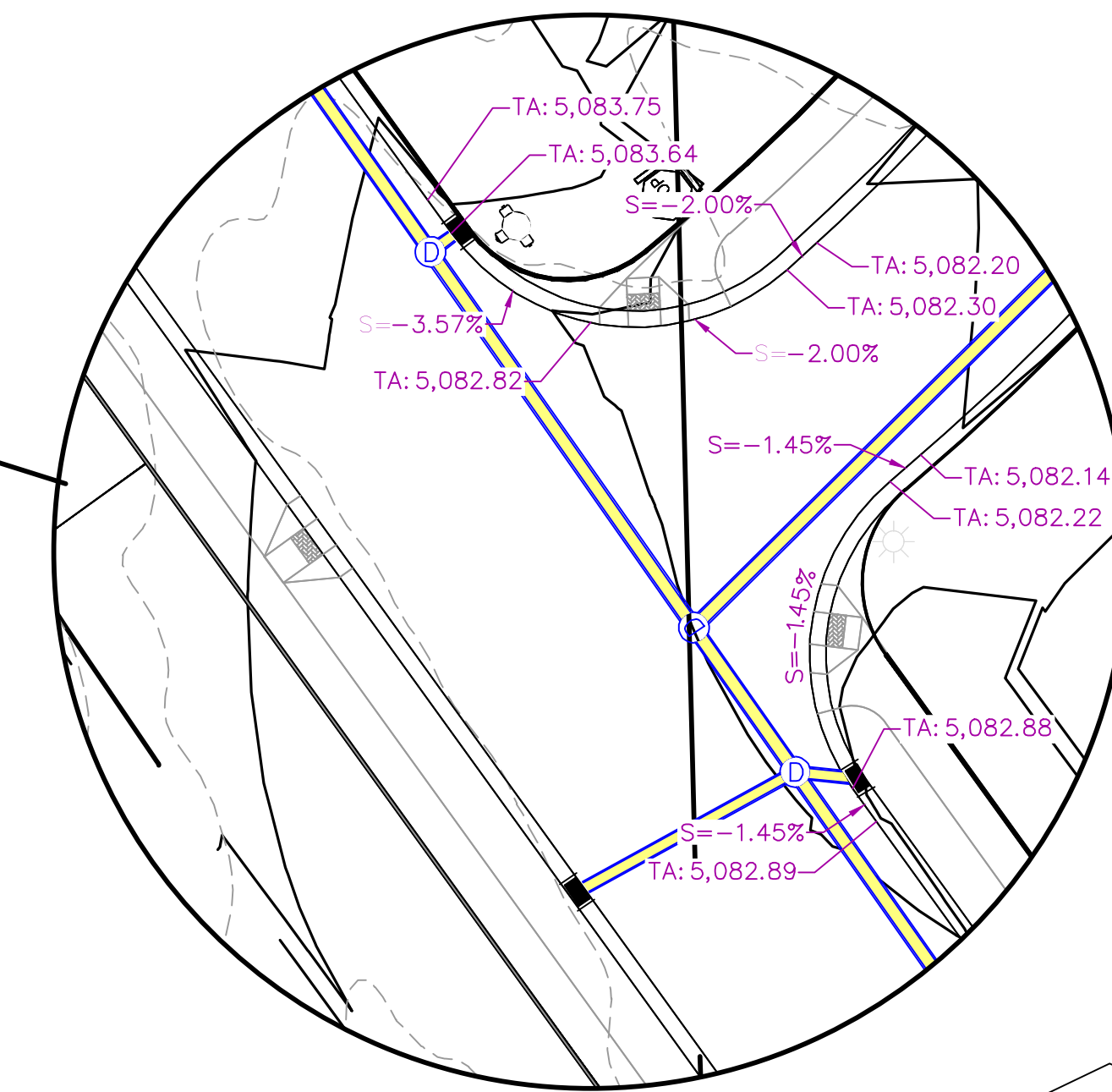
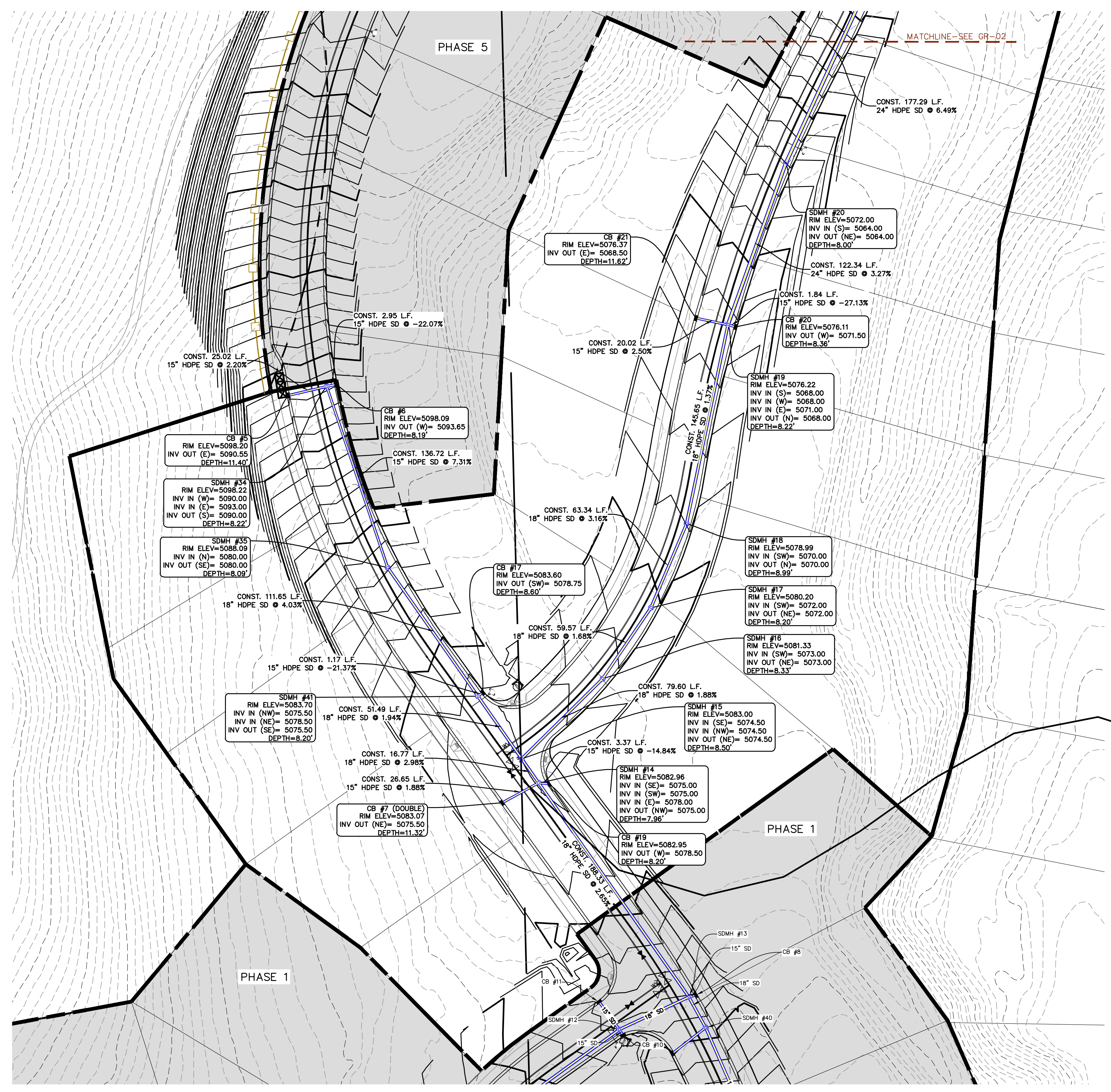
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PROJECT #

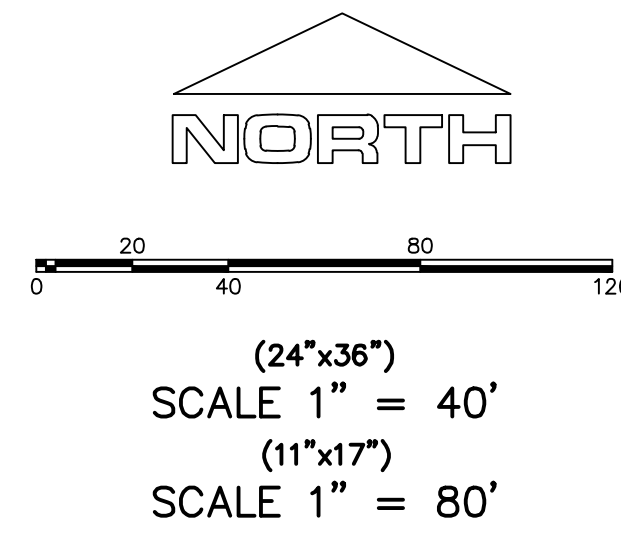
REVISIONS:

1	
2	
3	

SHEET NAME:  
UTILITY PLANS  
SHEET:  
UP-02



1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
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**THE VISTAS WEST @ SUMMIT RIDGE**  
**PHASE 4**  
LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022

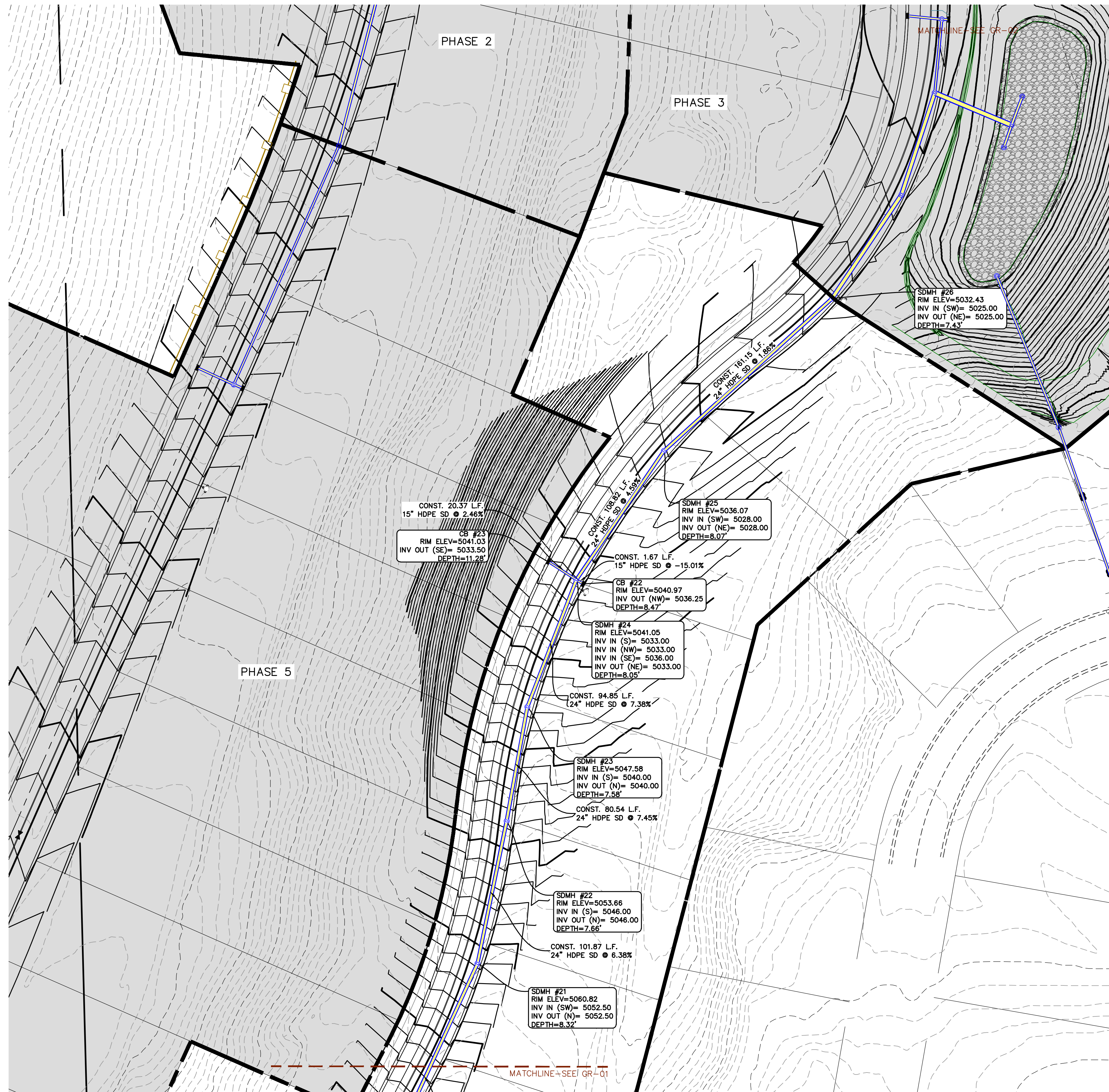
PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
GRADING PLANS  
SHEET:  
GR-01





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3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHRET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND FI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

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**THE VISTAS WEST @ SUMMIT RIDGE**  
**PHASE 4**

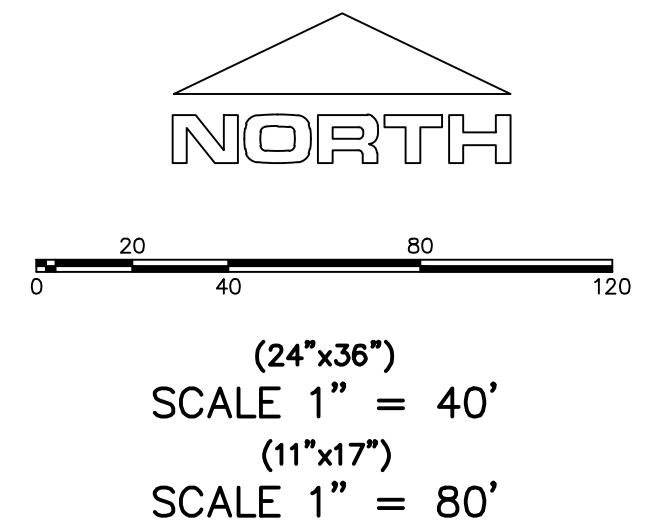
LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022

PROJECT #

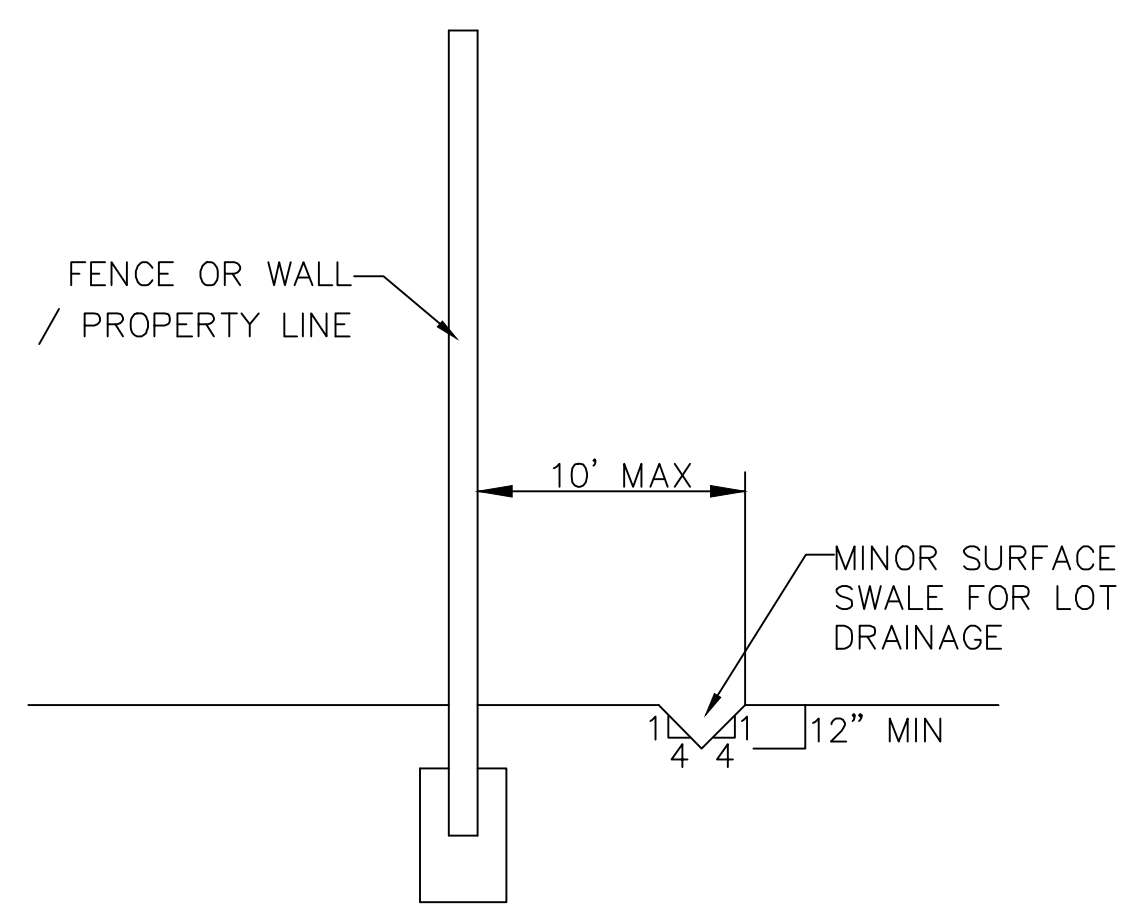
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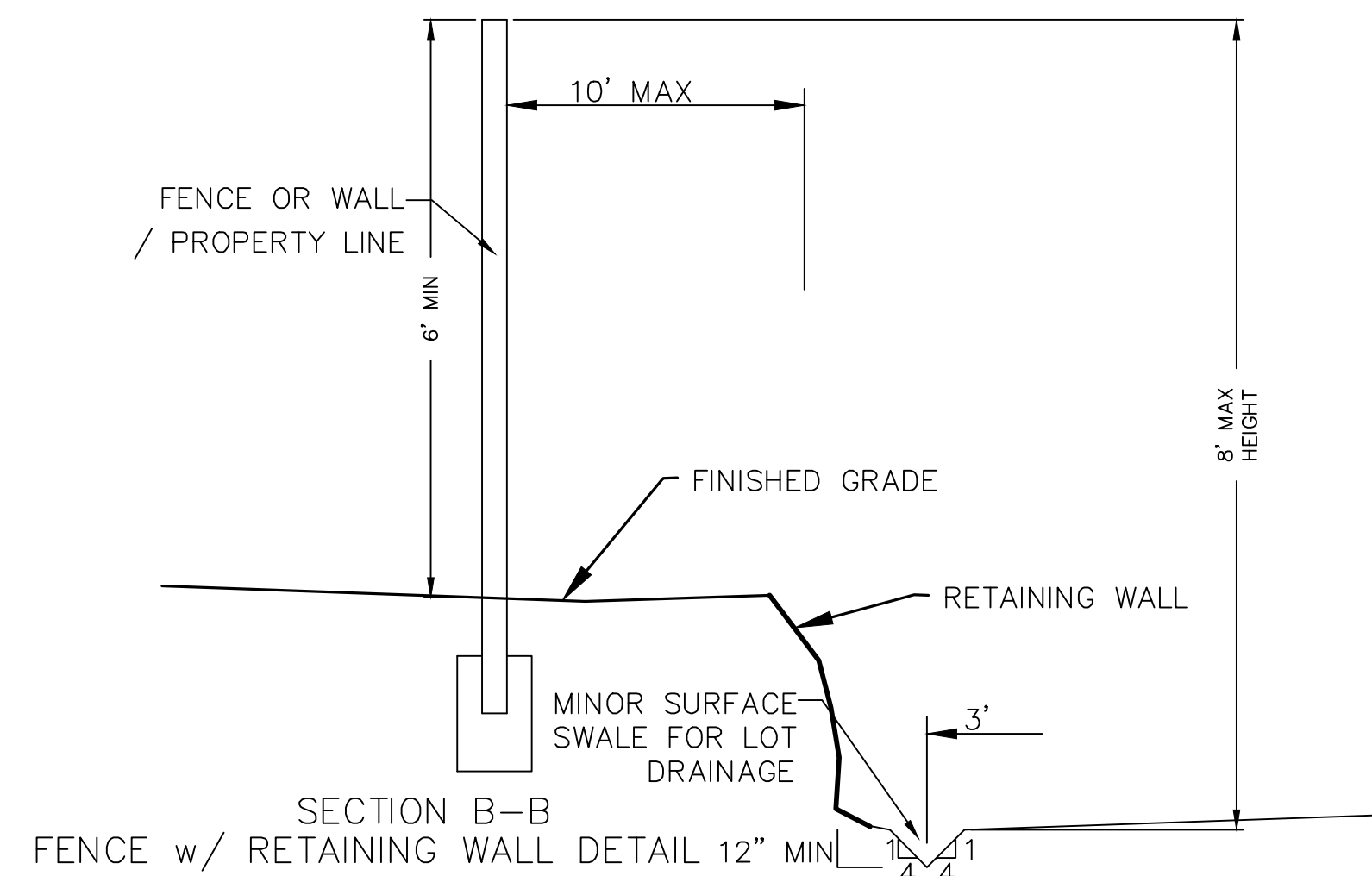


SHEET NAME:  
GRADING PLANS

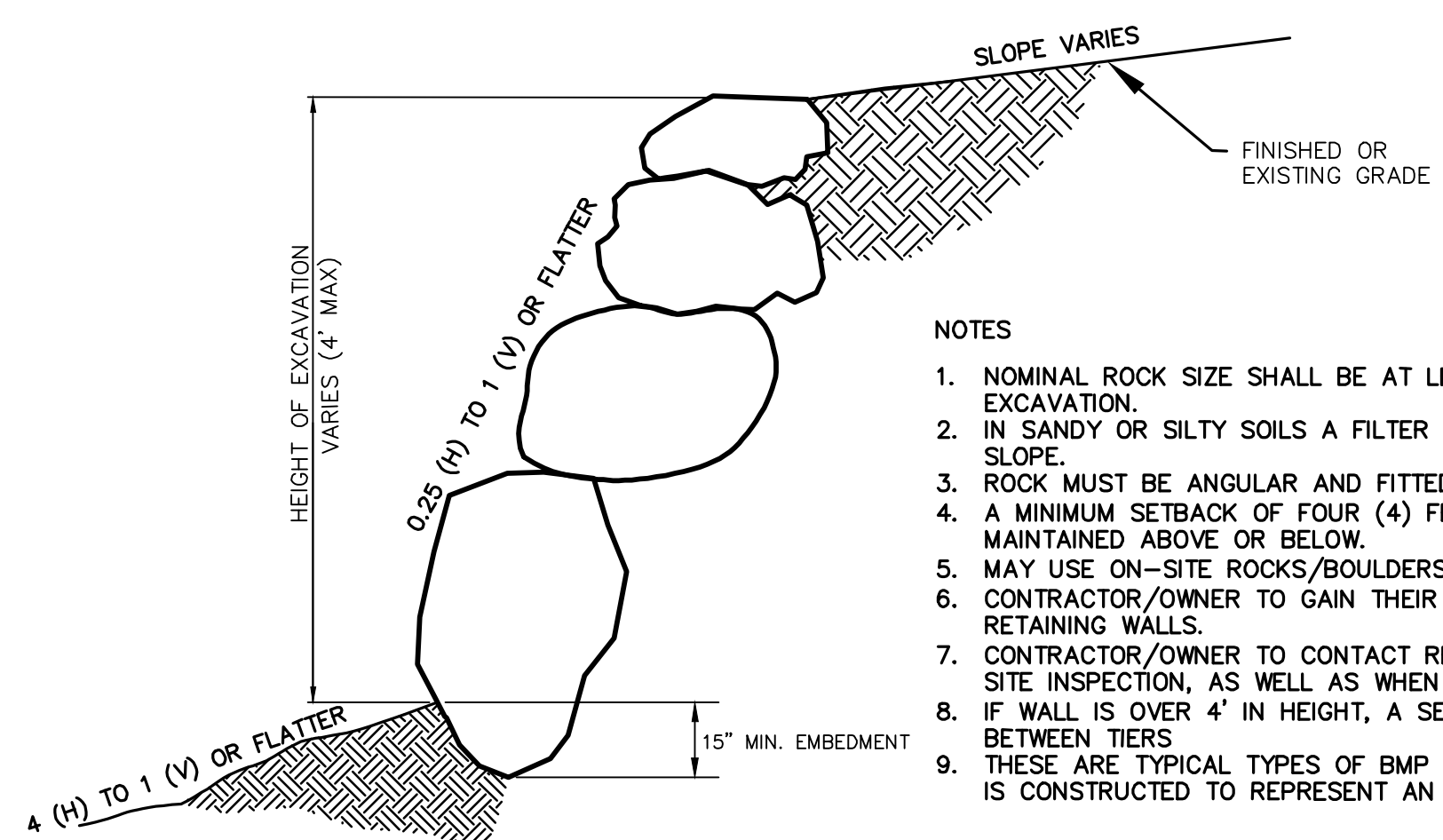
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**GR-02**



SECTION C-C  
FENCE DETAIL



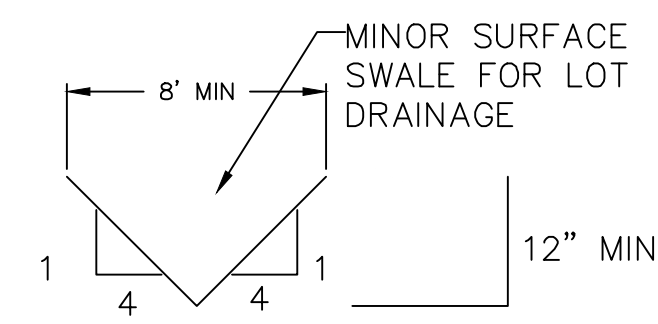
SECTION B-B  
FENCE w/ RETAINING WALL DETAIL 12\"/>



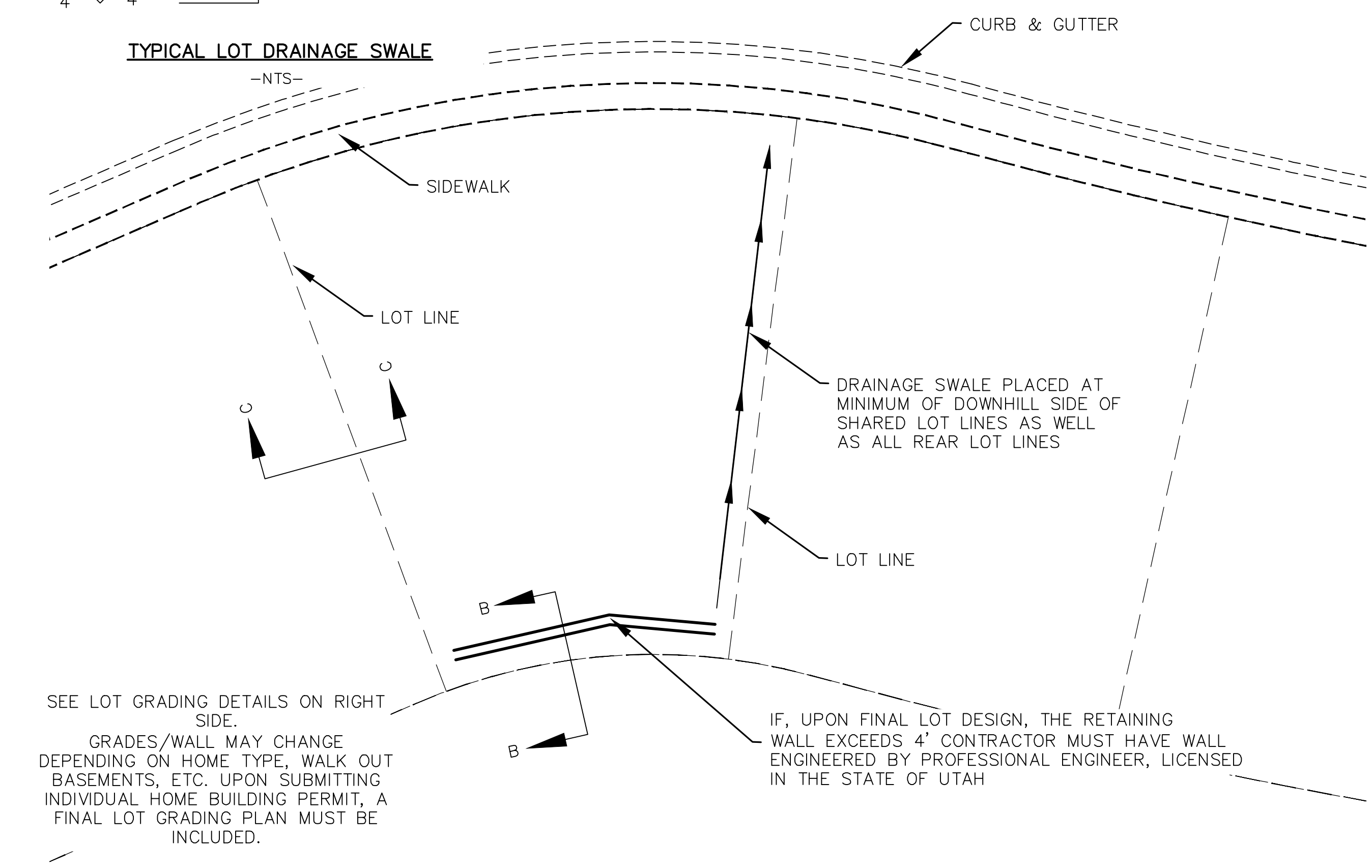
ROCK FACED SLOPE GUIDELINES  
EXCAVATION  
-NTS-

NOTES

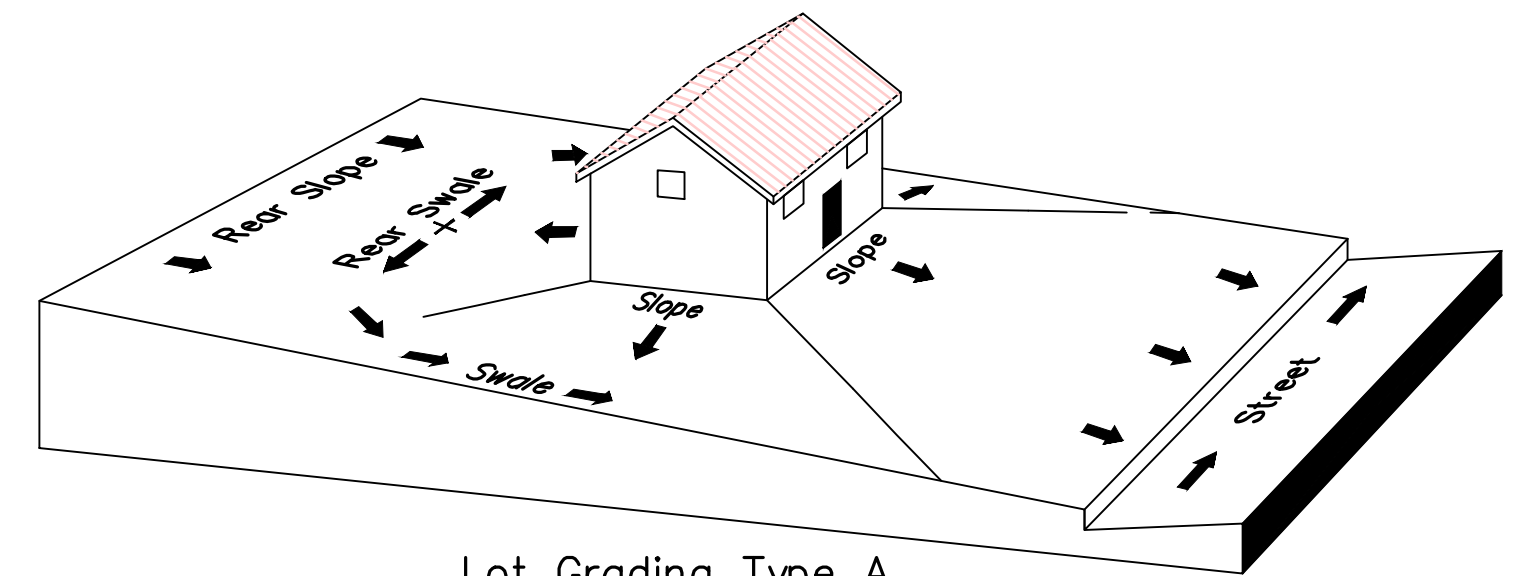
1. NOMINAL ROCK SIZE SHALL BE AT LEAST ONE THIRD (1/3) THE HEIGHT OF THE EXCAVATION.
2. IN SANDY OR SILTY SOILS A FILTER FABRIC SHALL BE PLACED BEHIND THE ROCK FACED SLOPE.
3. ROCK MUST BE ANGULAR AND FITTED TOGETHER TO INTERACT WITH THE ADJACENT ROCK.
4. A MINIMUM SETBACK OF FOUR (4) FEET FROM BUILDINGS OR STRUCTURES SHALL BE MAINTAINED ABOVE OR BELOW.
5. MAY USE ON-SITE ROCKS/BOULDERS IF CONDITION APPLYS
6. CONTRACTOR/OWNER TO GAIN THEIR OWN STRUCTURAL ENGINEER AND DESIGN FOR ALL RETAINING WALLS.
7. CONTRACTOR/OWNER TO CONTACT REGION ENGINEERING AFTER FIRST WALL IS PLACED FOR SITE INSPECTION, AS WELL AS WHEN FINAL PRODUCT IS COMPLETED
8. IF WALL IS OVER 4' IN HEIGHT, A SECOND TIER MUST BE PLACED WITH A 5' LANDING IN BETWEEN TIERS
9. THESE ARE TYPICAL TYPES OF BMP STORM DRAINAGE MEASURES. NOTHING ON THIS SHEET IS CONSTRUCTED TO REPRESENT AN APPROVED INDIVIDUAL LOT GRADING PLAN.



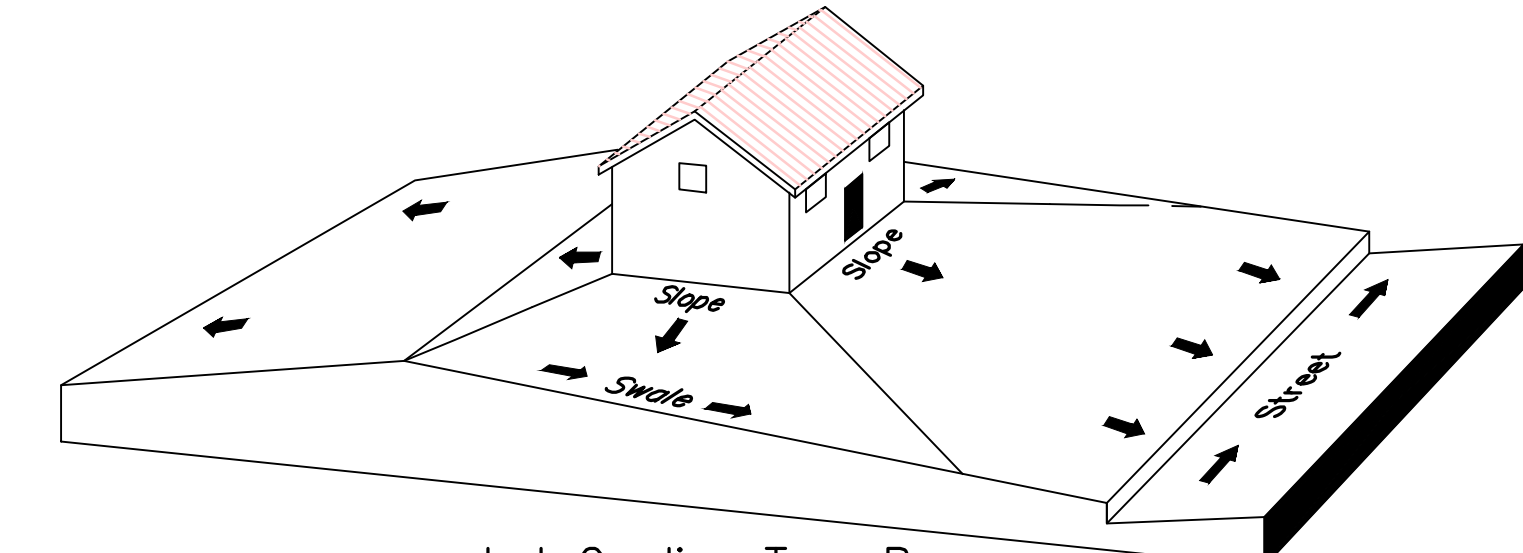
TYPICAL LOT DRAINAGE SWALE  
-NTS-



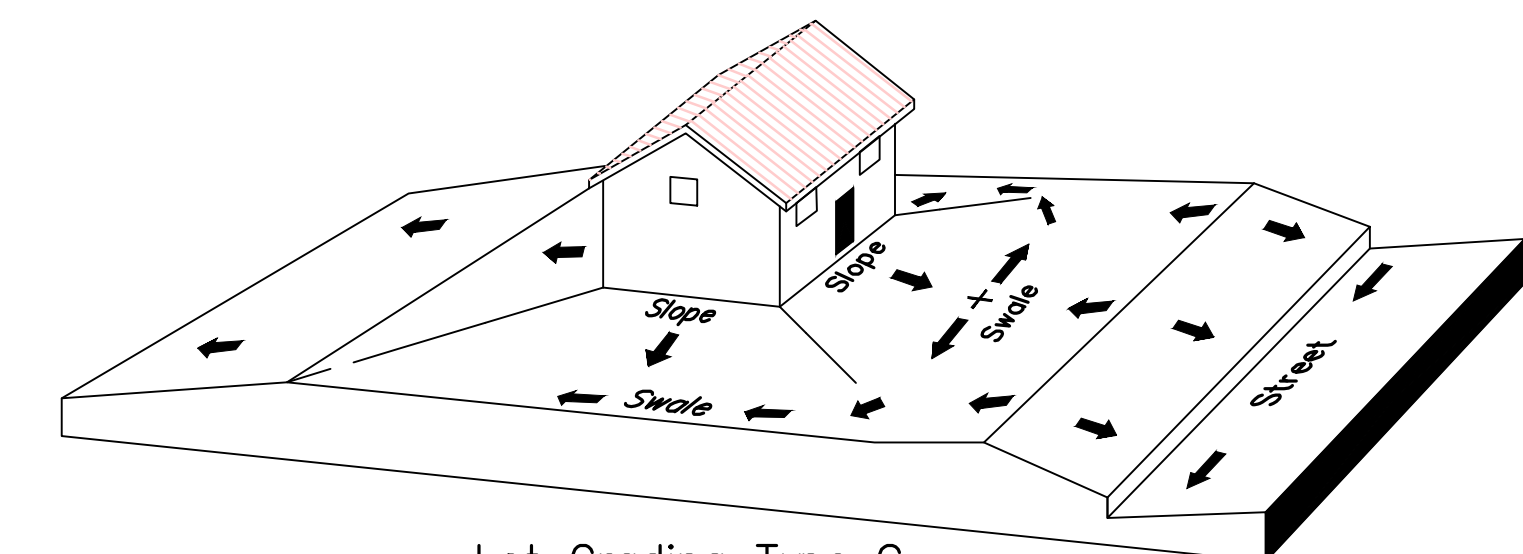
TYPICAL LOT GRADING  
-NTS-



Lot Grading Type A  
Drainage Directed Toward Front of Building



Lot Grading Type B  
Drainage Directed Toward Front and Rear of Building



Lot Grading Type C  
Drainage Directed Toward Rear of Building

**\*\* ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR \*\***

Lot Drainage -

- At minimum, 50% of roof drains shall drain towards the street.
- All side downspouts are to be diverted toward the front or rear of the lot.
- Yards to be positively graded away from all window wells
- HOA's &/or homeowners are responsible for maintaining lot line drainage pathways through their properties per drainage plan.
- All lot lines are to be maintained as drainage pathways for accumulating runoff from adjoining lots.
- All lots shall meet the International Building Code standards and drain away from the structure.

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2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL 2, SHEET 5 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P.I. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
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**THE VISTAS WEST @ SUMMIT RIDGE**  
**PHASE 4**  
LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022

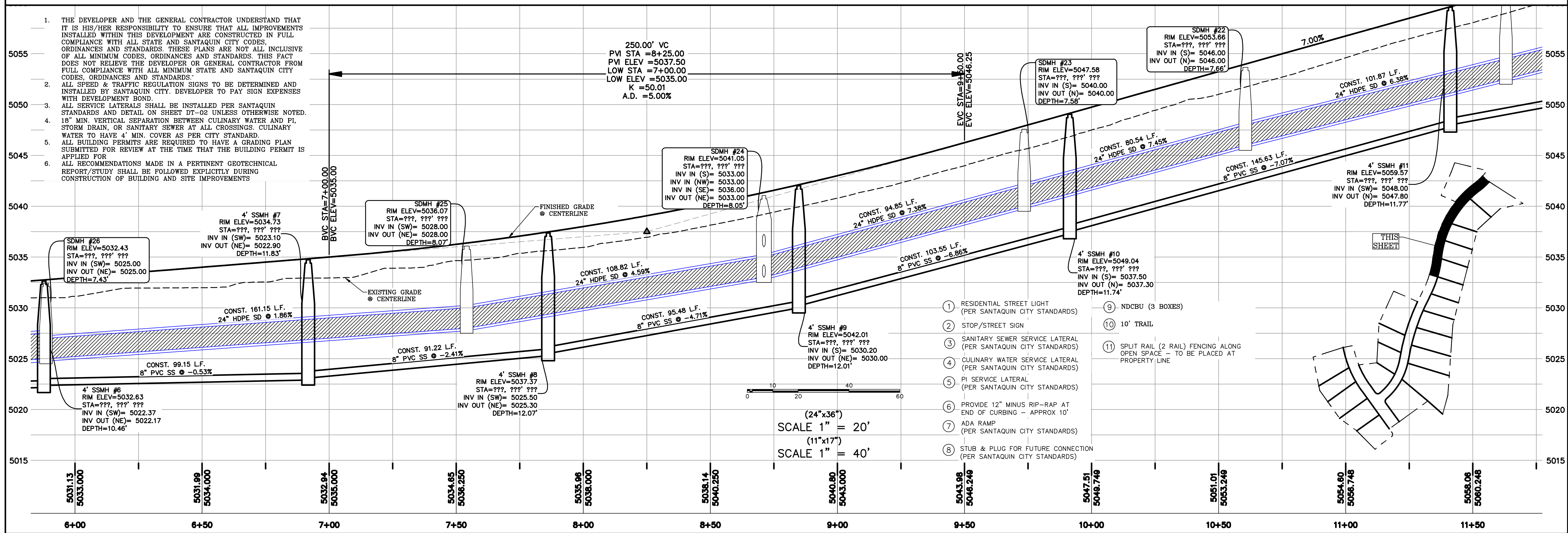
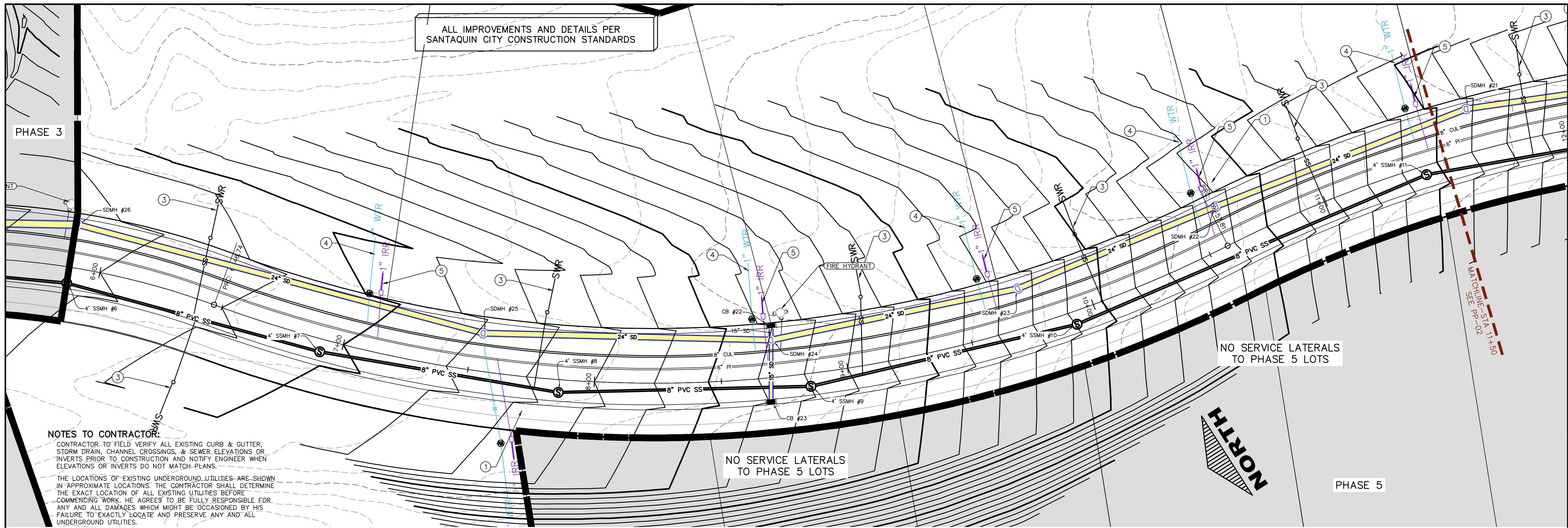
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GRADING PLANS

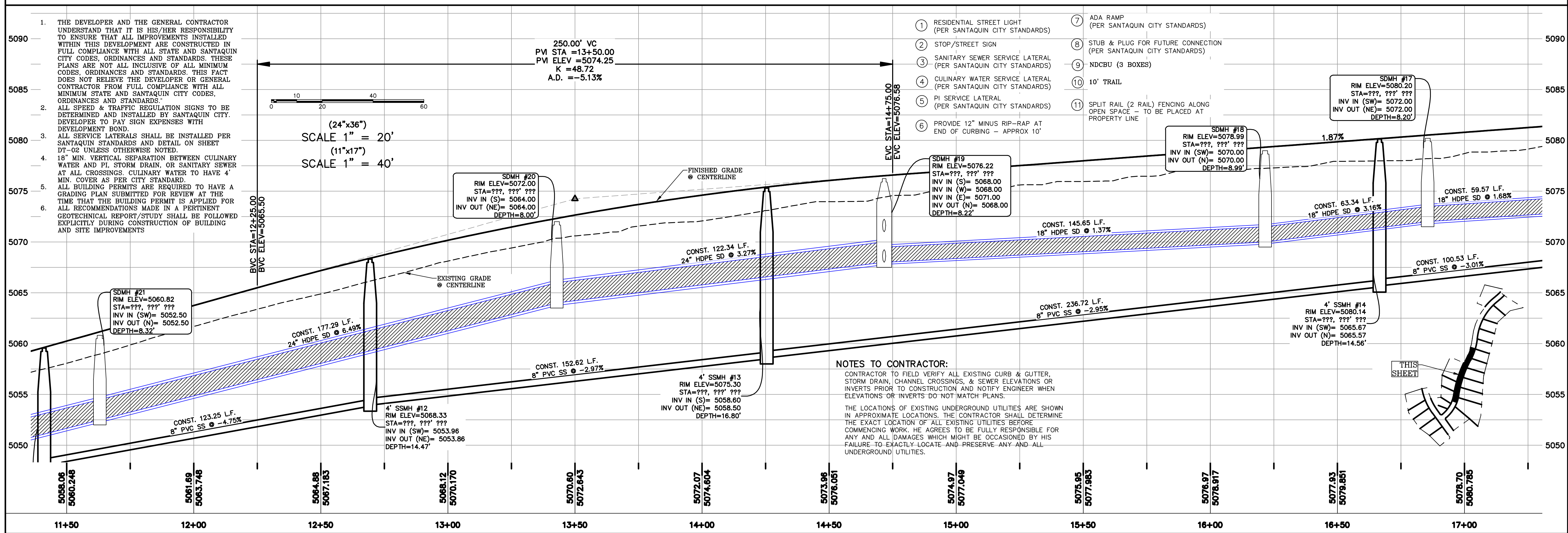
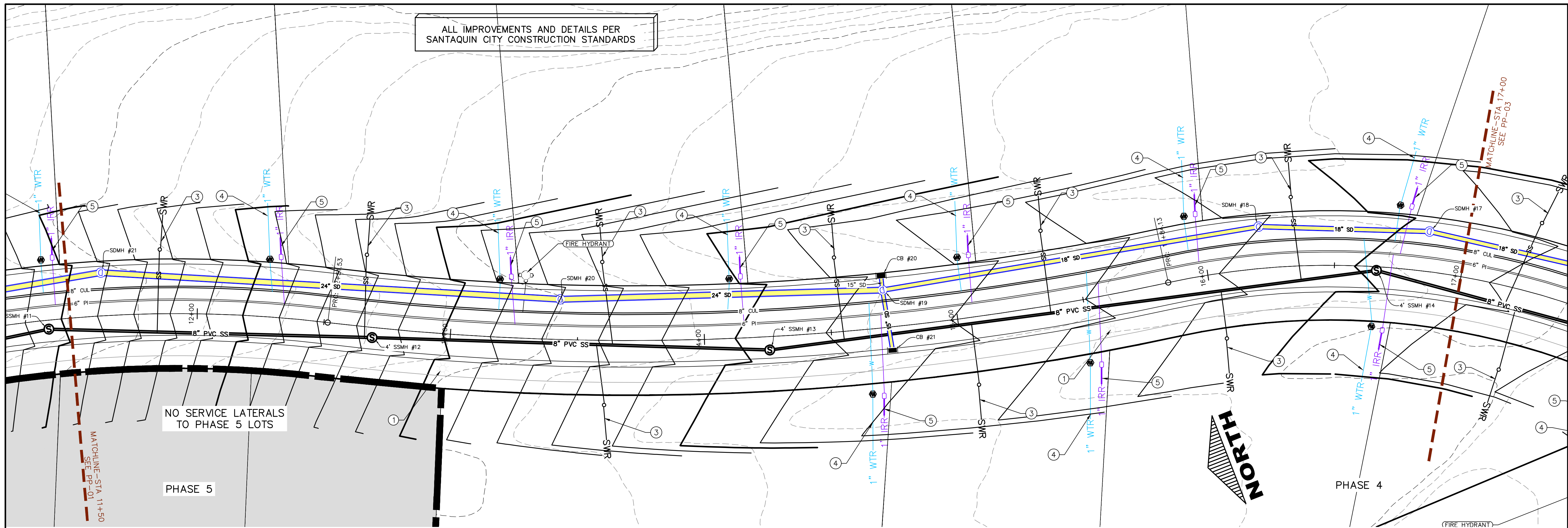
SHEET:  
GR-03



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THE VISTAS WEST @ SUMMIT RIDGE  
 PHASE 4  
 LOCATED IN SW PORTION SECTION 10,  
 TOWNSHIP 6 SOUTH  
 RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022  
 PROJECT #  
 REVISIONS:  
 SHEET NAME: PLAN & PROFILE  
 SHEET: PP-01



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THE VISTAS WEST @ SUMMIT RIDGE  
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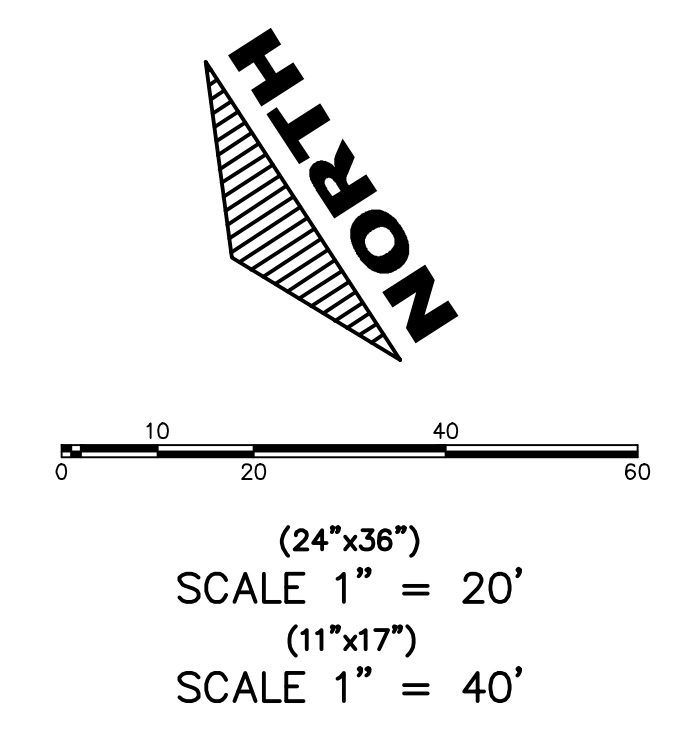
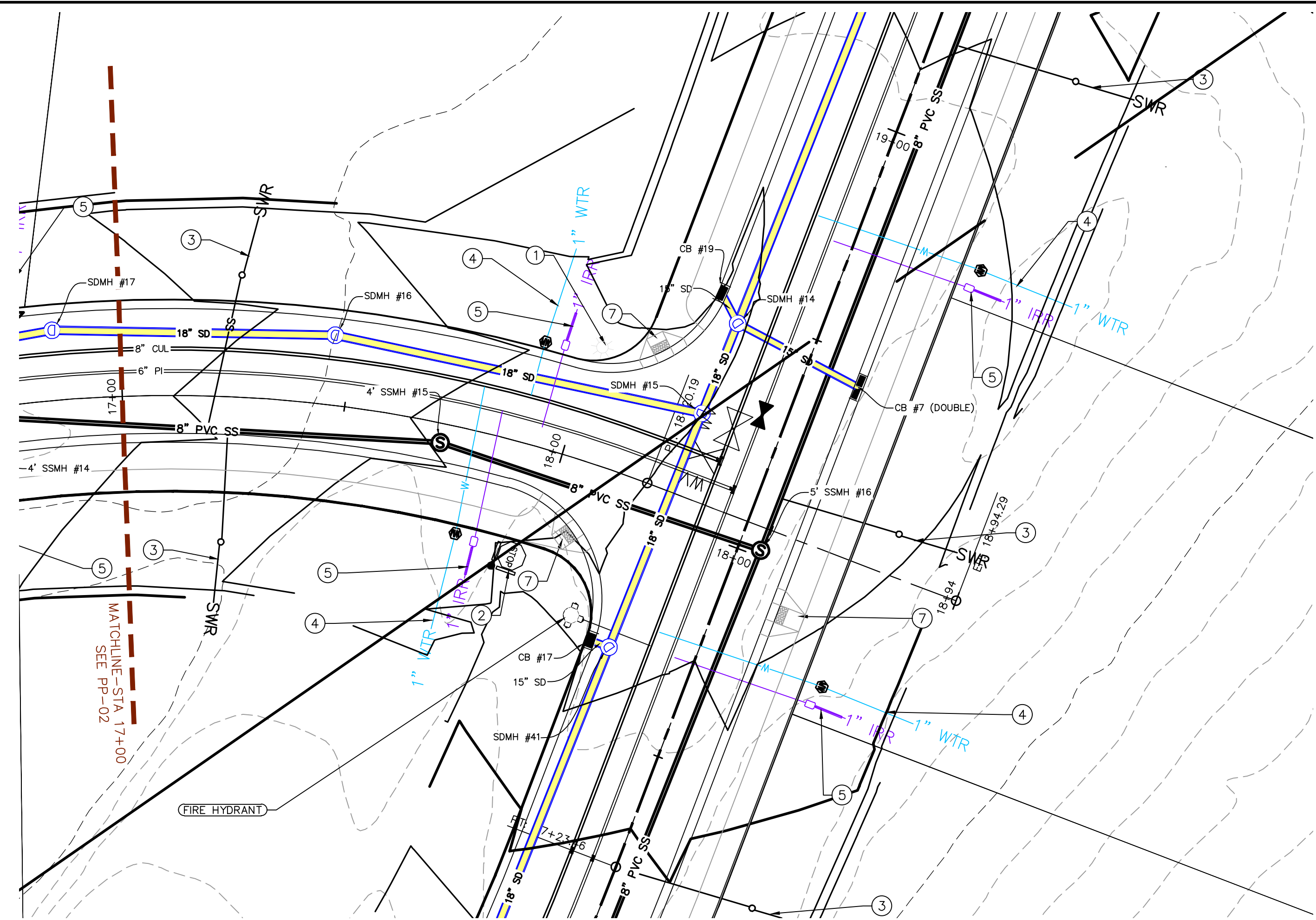
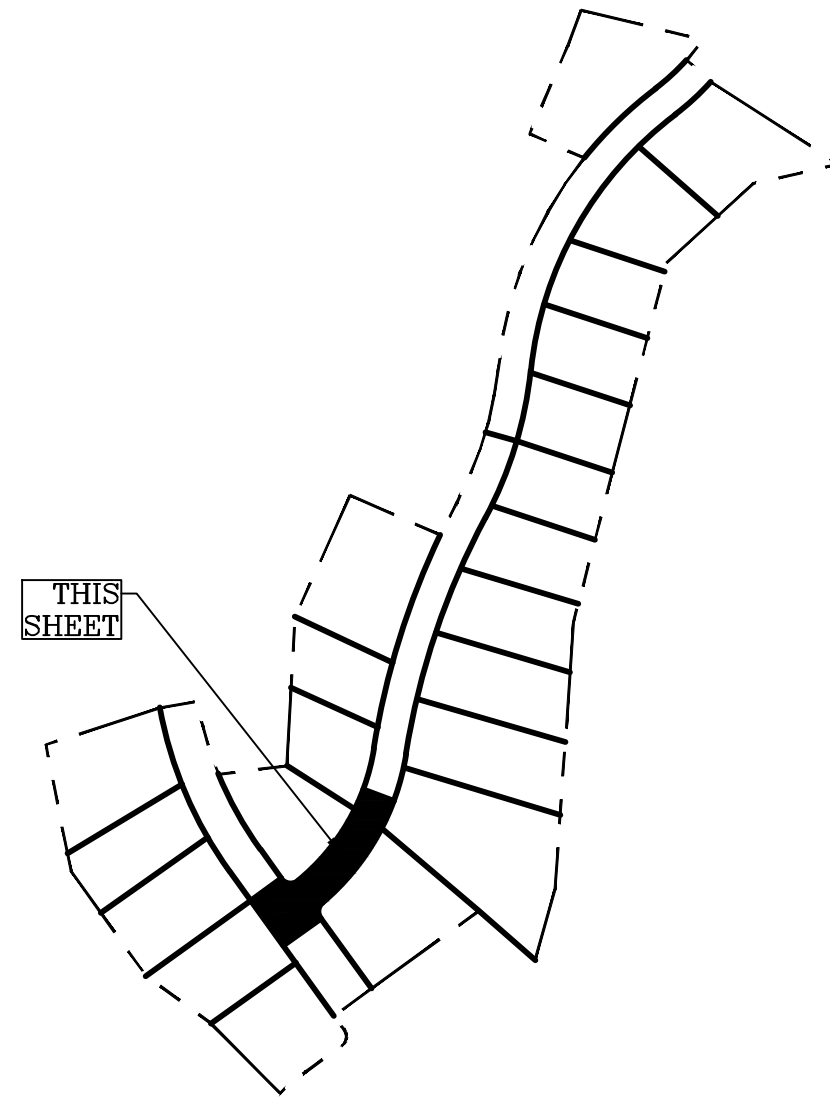
DATE: 3.25.2022

PROJECT #

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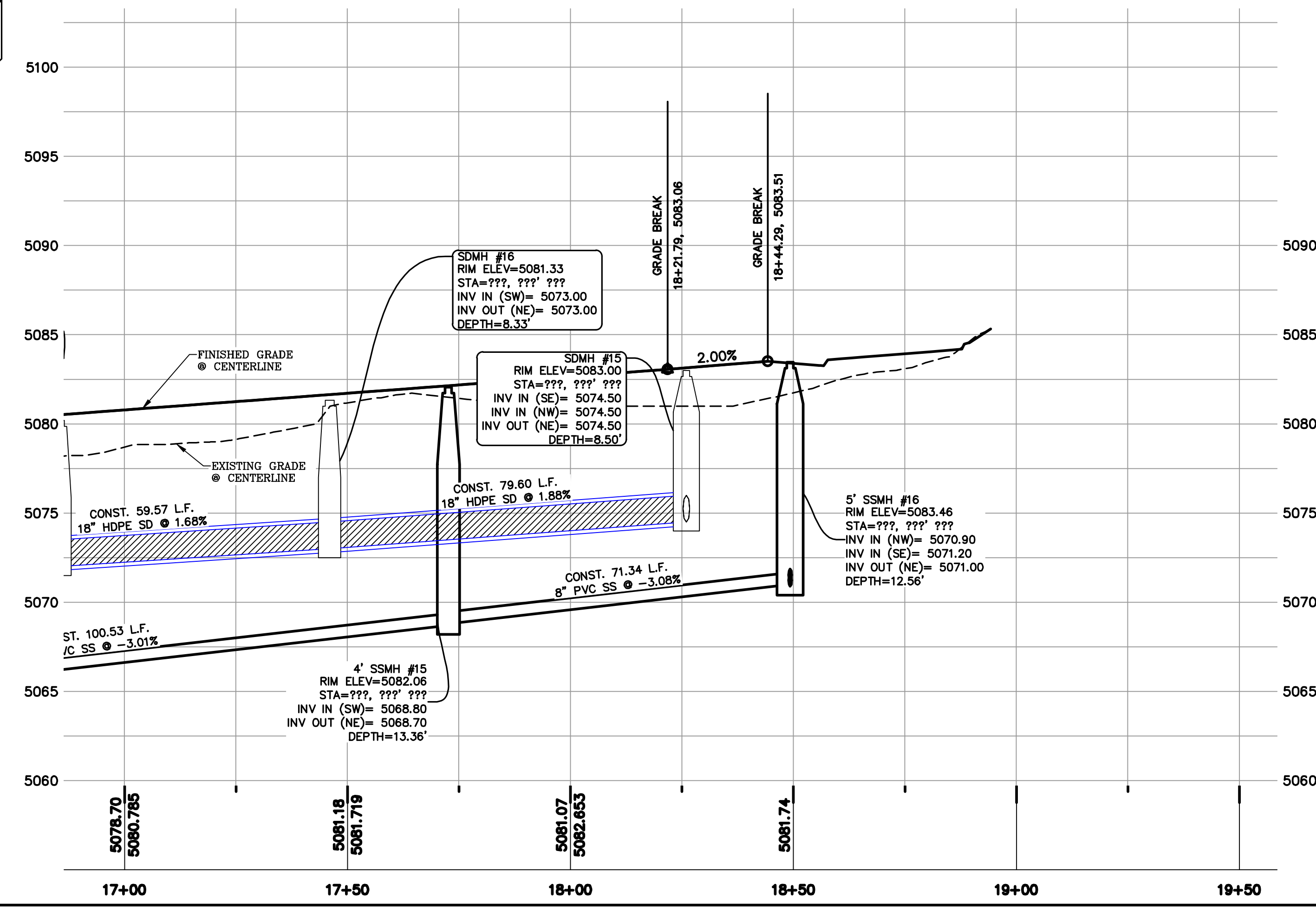
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SHEET NAME:  
PLAN & PROFILE  
SHEET:  
PP-02



1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
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3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-02 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS



- 1 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- 2 STOP/STREET SIGN
- 3 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 4 CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 5 PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 6 PROVIDE 12" MINUS RIP-RAP AT END OF CURBING - APPROX 10'
- 7 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- 8 STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- 9 NDCBU (3 BOXES)
- 10 10' TRAIL
- 11 SPLIT RAIL (2 RAIL) FENCING ALONG OPEN SPACE - TO BE PLACED AT PROPERTY LINE

**NOTES TO CONTRACTOR:**  
 CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.  
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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**THE VISTAS WEST @ SUMMIT RIDGE**  
**PHASE 4**  
 LOCATED IN SW PORTION SECTION 10,  
 TOWNSHIP 6 SOUTH  
 RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

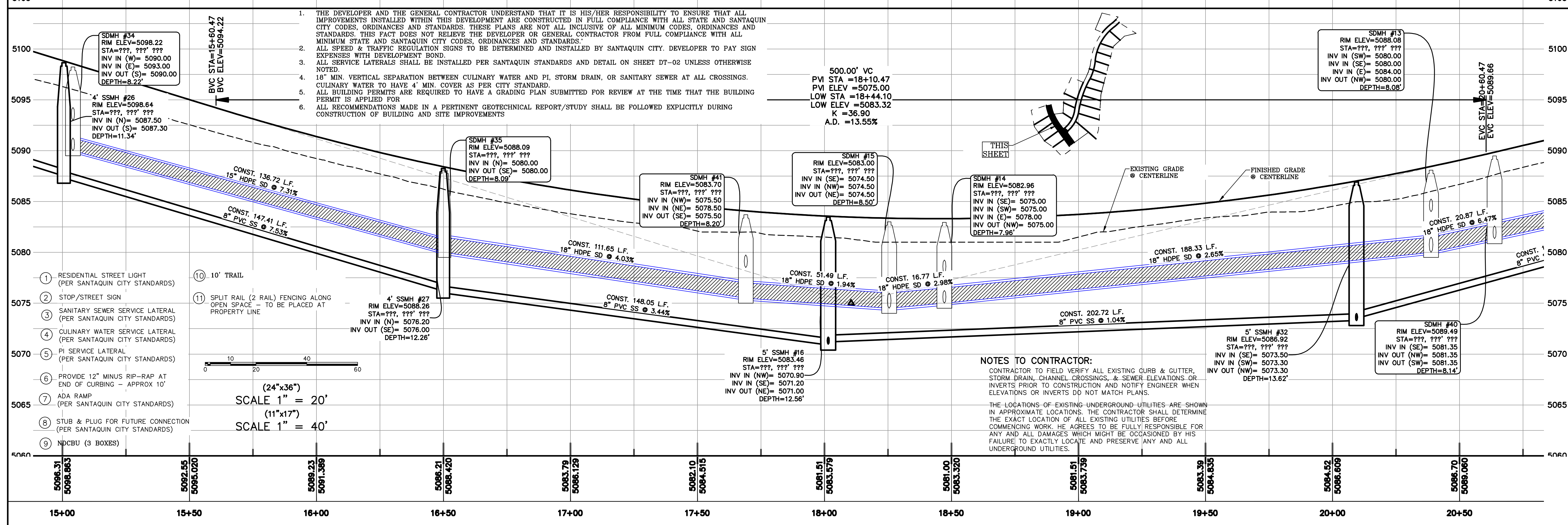
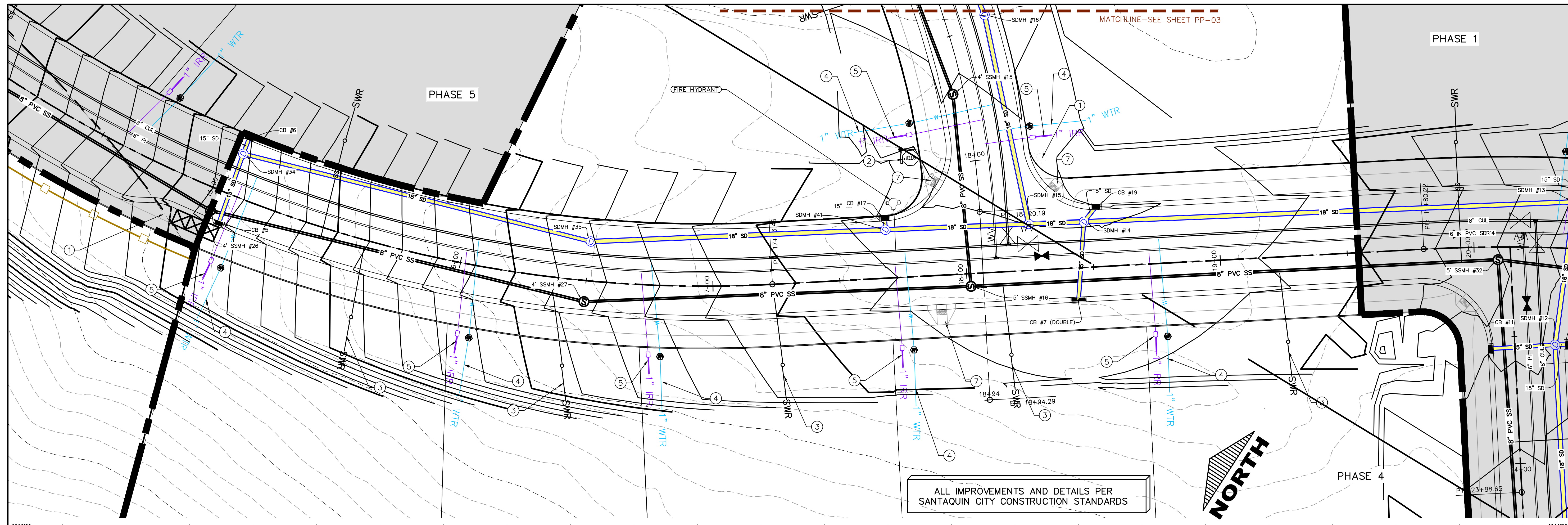
DATE: 3.25.2022

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 PLAN & PROFILE  
 SHEET:  
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- 7 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- 8 STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- 9 NDCBU (3 BOXES)

SCALE 1" = 20'  
 SCALE 1" = 40'  
 (24"x36")  
 (11"x17")

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**THE VISTAS WEST @ SUMMIT RIDGE**  
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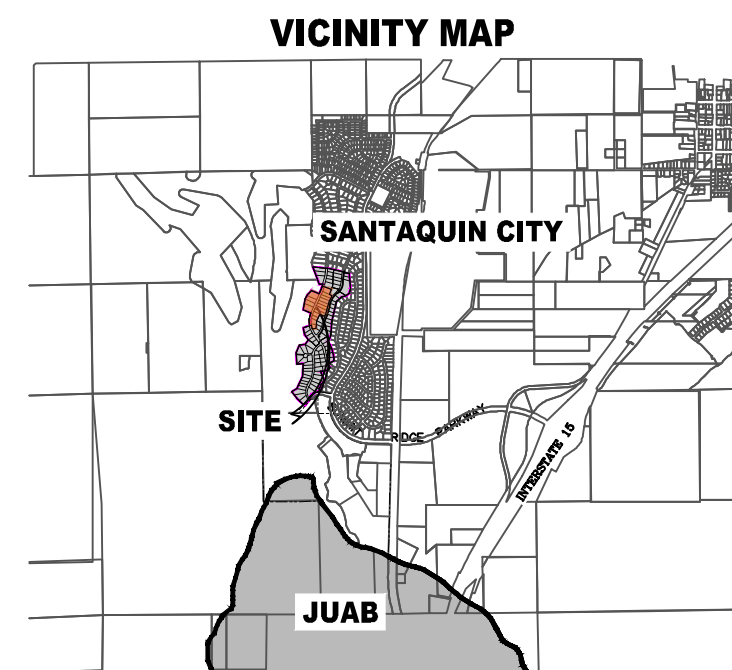
DATE: 3.25.2022  
 PROJECT #  
 REVISIONS:

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SHEET NAME: PLAN & PROFILE  
 SHEET: PP-04

# THE VISTAS WEST @ SUMMIT RIDGE PHASE 5

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	298.76'	521.50'	294.69'	S22°21'12"W	32°49'25"
C2	185.40'	478.50'	184.24'	S17°02'28"W	22°11'57"
C3	98.88'	475.50'	98.70'	N16°14'46"W	11°54'52"
C4	308.59'	524.50'	304.16'	N6°33'58"E	33°42'36"
C5	89.10'	1195.50'	89.08'	N21°36'54"E	4°16'13"
C6	87.43'	1220.00'	87.41'	S21°41'49"W	4°06'21"
C7	297.04'	500.00'	292.70'	S6°43'50"W	34°02'20"
C8	27.61'	478.50'	27.61'	S26°29'16"W	3°18'22"
C9	75.21'	478.50'	75.13'	S20°19'54"W	9°00'21"
C10	76.91'	478.50'	76.83'	S11°3'27"W	9°12'34"
C11	5.66'	478.50'	5.66'	S6°16'50"W	0°40'40"
C12	71.75'	521.50'	71.69'	S9°52'58"W	7°52'57"
C13	75.45'	521.50'	75.38'	S17°58'07"W	8°17'22"
C14	75.14'	521.50'	75.07'	S26°14'27"W	8°15'18"
C15	76.43'	521.50'	76.36'	S34°34'00"W	8°23'48"
C16	3.01'	524.50'	3.01'	N23°35'08"E	0°19'43"
C17	36.17'	475.50'	36.16'	S8°06'35"E	4°21'29"
C18	134.68'	475.50'	134.23'	S21°1'00"W	16°13'41"
C19	86.01'	475.50'	85.89'	S15°28'46"W	10°21'50"
C20	25.63'	475.50'	25.63'	S22°2'20"W	3°05'19"
C21	88.76'	1244.48'	88.74'	S21°42'24"W	4°05'12"



**Surveyor's Certificate**  
I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

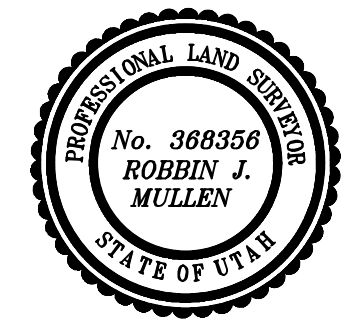
**Bounded Description**  
VISTAS WEST - PHASE 5  
BEGINNING AT A POINT ON A LINE THAT IS S 88°46'03"E A DISTANCE OF 312.59 FEET ALONG THE SECTION LINE AND NORTH 2419.54 FEET FROM THE SOUTHWEST CORNER OF SECTION 10, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN;  
THENCE S 23°13'09" W FOR A DISTANCE OF 124.82 FEET TO A POINT ON A LINE.  
THENCE S 66°15'00" E FOR A DISTANCE OF 77.83 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.  
SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 22°11'57", HAVING A RADIUS OF 478.50 FEET, AND WHOSE LONG CHORD BEARS S 22°21'12" W FOR A DISTANCE OF 294.69 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.  
SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 22°11'57", HAVING A RADIUS OF 478.50 FEET, AND WHOSE LONG CHORD BEARS S 17°02'28" W FOR A DISTANCE OF 184.24 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE.  
THENCE S 26°48'32" W FOR A DISTANCE OF 47.49 FEET TO A POINT ON A LINE.  
THENCE N 66°15'00" W FOR A DISTANCE OF 128.25 FEET TO A POINT ON A LINE.  
THENCE S 24°29'08" W FOR A DISTANCE OF 173.45 FEET TO A POINT ON A LINE.  
THENCE S 03°10'35" W FOR A DISTANCE OF 194.78 FEET TO A POINT ON A LINE.  
THENCE S 83°16'45" W FOR A DISTANCE OF 89.45 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.  
SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 11°54'52", HAVING A RADIUS OF 475.50 FEET, AND WHOSE LONG CHORD BEARS N 16°14'46" W FOR A DISTANCE OF 98.70 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE.  
THENCE S 79°42'40" W FOR A DISTANCE OF 49.00 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.  
SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 33°42'36", HAVING A RADIUS OF 524.50 FEET, AND WHOSE LONG CHORD BEARS N 6°33'58" E FOR A DISTANCE OF 304.16 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE.  
THENCE N 12°19'23" E FOR A DISTANCE OF 255.06 FEET TO A POINT ON A LINE.  
THENCE N 27°19'22" E FOR A DISTANCE OF 120.23 FEET TO A POINT ON A LINE.  
THENCE N 41°38'48" E FOR A DISTANCE OF 136.61 FEET TO A POINT ON A LINE.  
THENCE S 66°15'00" E FOR A DISTANCE OF 200.87 FEET TO A POINT ON A LINE.  
THENCE N 23°45'00" E FOR A DISTANCE OF 110.52 FEET TO THE BEGINNING OF A CURVE.  
SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 04°16'13", HAVING A RADIUS OF 1195.50 FEET, AND WHOSE LONG CHORD BEARS N 21°36'54" E FOR A DISTANCE OF 89.08 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE.  
THENCE S 69°22'18" E A DISTANCE OF 232.67 FEET TO THE POINT OF BEGINNING  
CONTAINING 8.67 ACRES OF LAND AND 16 LOTS

**AREA BREAKDOWN**

TOTAL PLAT ACREAGE	8.67 ACRES
TOTAL LOT ACREAGE	7.55 ACRES
TOTAL ROW ACREAGE	1.12 ACRES
TOTAL OPEN SPACE	PC - PLANNED COMMUNITY
DENSITY	1.85 / du/g
NUMBER OF LOTS	16 LOTS

**PROJECT DEVELOPER**  
David Simpson  
801-376-1966 |  
woodsprings@gmail.com  
407 N Main Street Springville, UT 84663

**PROJECT ENGINEER & SURVEYOR**  
REGION ENGINEERING & SURVEYING  
1776 NORTH STATE STREET #110  
OREM, UTAH 84057  
PH - 801.376.2245



**OWNERS DEDICATION**  
DATE \_\_\_\_\_ SURVEYOR (See Seal Below)

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HERON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HERON FOR PERPETUAL USE OF THE PUBLIC.  
IN WITNESS WHEREOF WE HAVE HERUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

**LIMITED COMPANY ACKNOWLEDGEMENT**  
STATE OF UTAH \_\_\_\_\_  
COUNTY OF UTAH \_\_\_\_\_ S.S.  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE \_\_\_\_\_ OF \_\_\_\_\_ A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

MY COMMISSION EXPIRES \_\_\_\_\_ A NOTARY PUBLIC COMMISSIONED IN UTAH  
NOTARY ADDRESS \_\_\_\_\_ PRINTED FULL NAME OF NOTARY \_\_\_\_\_

**ACCEPTANCE BY LEGISLATIVE BODY**  
THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

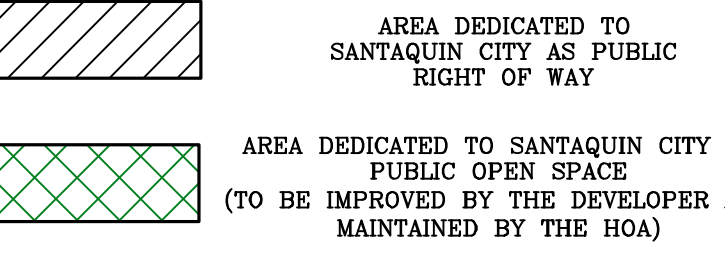
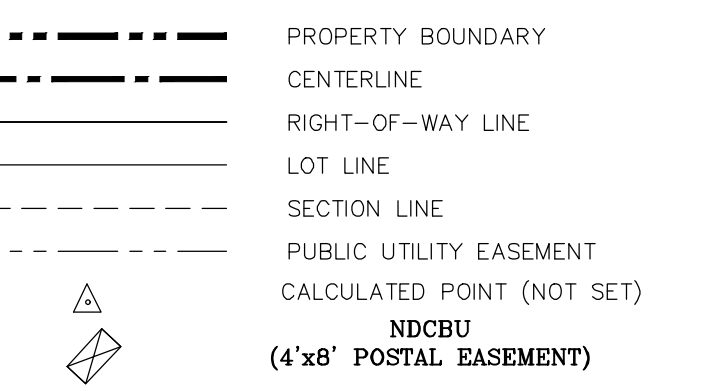
APPROVED MAYOR OF SANTAQUIN \_\_\_\_\_  
ATTEST \_\_\_\_\_  
ENGINEER (See Seal Below) \_\_\_\_\_ CLERK-RECORDER (See Seal Below) \_\_\_\_\_

# THE VISTAS WEST @ SUMMIT RIDGE PHASE 5

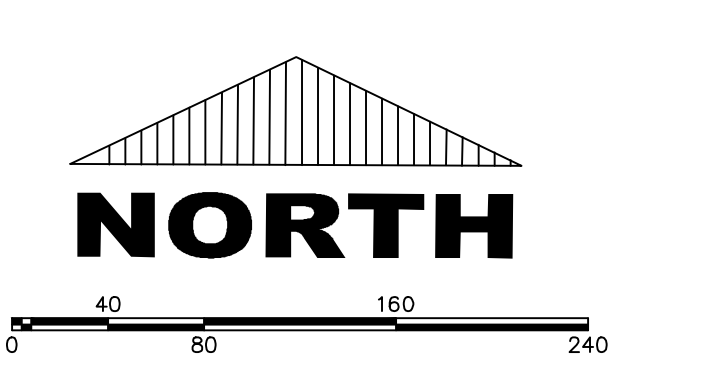
UTAH COUNTY, UTAH  
SCALE: 1" = 80 FEET

NOTARY PUBLIC SEAL \_\_\_\_\_ CITY-COUNTY ENGINEER SEAL \_\_\_\_\_ COUNTY-RECORDER SEAL \_\_\_\_\_

**LEGEND**  
FOUND SECTION COR. AS NOTED  
SET 5/8" IRON PIN  
TO BE SET AT ALL LOT CORNERS  
FOUND CLASS I STREET MONUMENT  
SET STREET MONUMENT



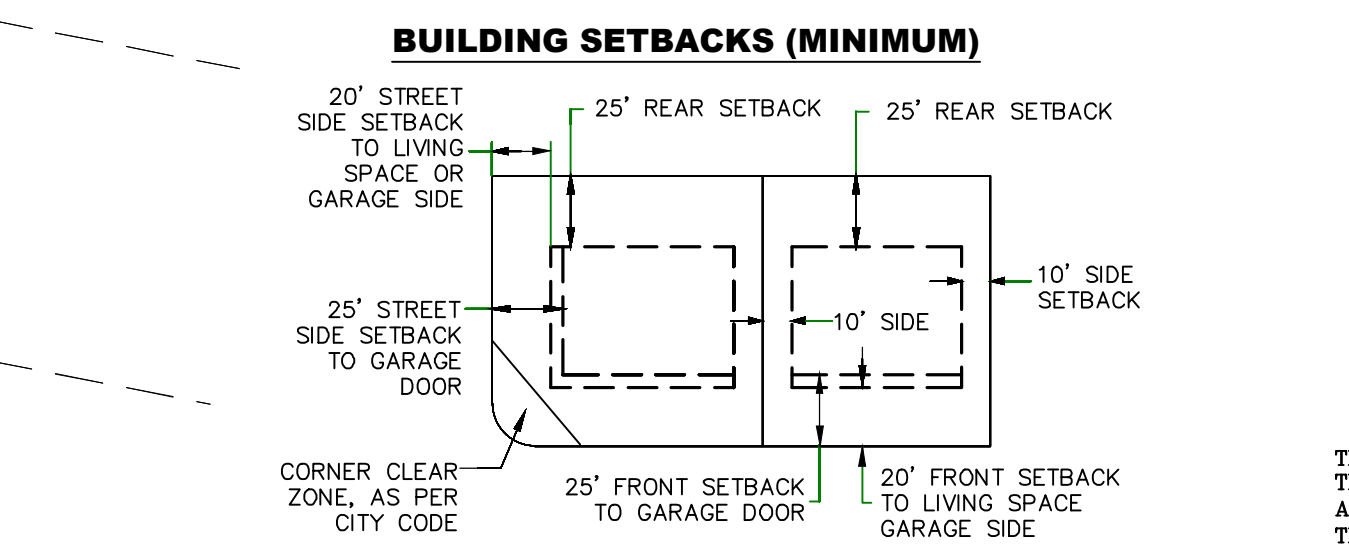
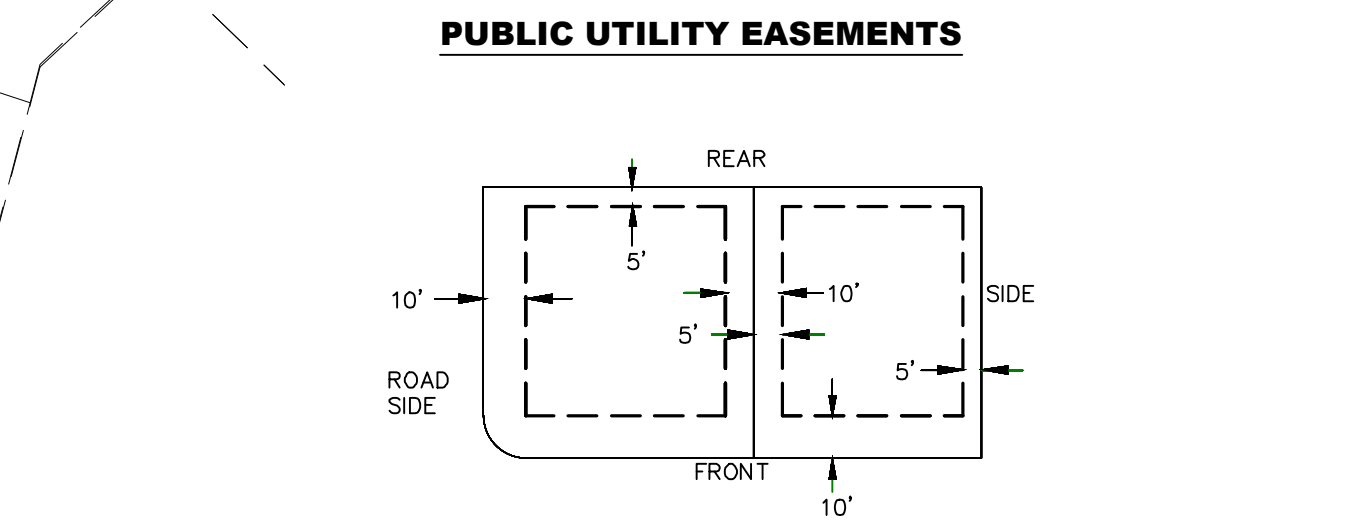
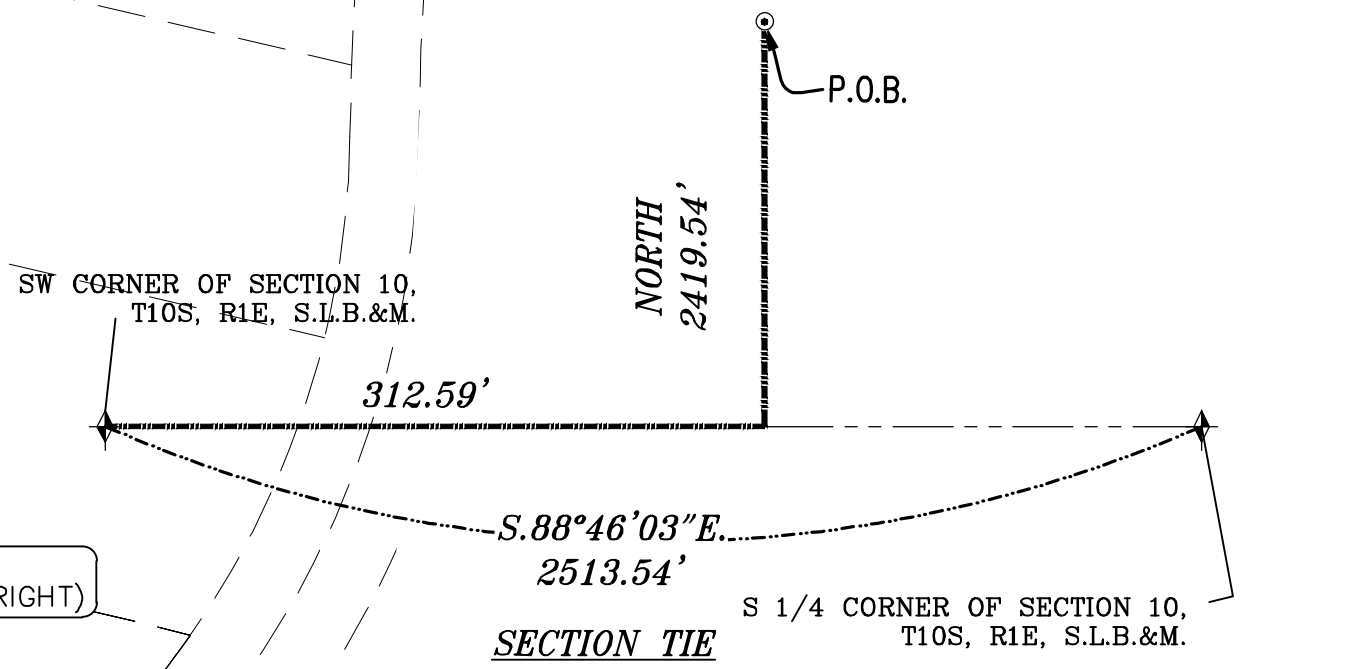
**BASIS OF BEARING**  
THE BASIS OF BEARING FOR THE VISTAS @ SUMMIT RIDGE IS ON THE SECTION LINE BETWEEN THE SW CORNER OF SECTION 10 AND THE S 1/4 CORNER OF SECTION 10, T10S, R1E, SLB&M WITH THE BEARING BEING S89°05'23"W ALONG SAID LINE.



(24"x36")  
SCALE 1" = 80'  
(11"x17")  
SCALE 1" = 160'

**DOMINION ENERGY ACCEPTANCE**  
DOMINION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION'S RIGHT OF WAY DEPARTMENT AT 1-800-366-8532.

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
DOMINION ENERGY COMPANY  
BY \_\_\_\_\_  
TITLE \_\_\_\_\_



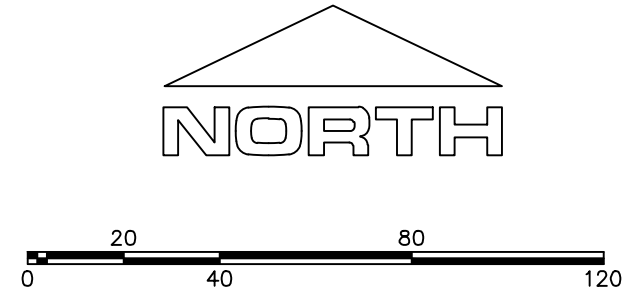
**NOTES:**  
1. ... TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET.  
#5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.  
2. XXXXX - PROPOSED RESIDENTIAL ADDRESS  
3. (XXXX S.F.) AREA IN PARENTHESIS DENOTES BUILDABLE AREA  
4. THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

**UTILITIES APPROVAL**  
UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MTN POWER \_\_\_\_\_  
CENTRACOM \_\_\_\_\_  
CENTURY LINK \_\_\_\_\_

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P1. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

- ① RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- ② STOP/STREET SIGN
- ③ SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ④ CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ⑤ P1 SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ⑥ PROVIDE 12" MINUS RIP-RAP AT END OF CURBING - APPROX 10'
- ⑦ ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- ⑧ STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- ⑨ NDCBU (3 BOXES)
- ⑩ 10' TRAIL
- ⑪ SPLIT RAIL (2 RAIL) FENCING ALONG OPEN SPACE - TO BE PLACED AT PROPERTY LINE



ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

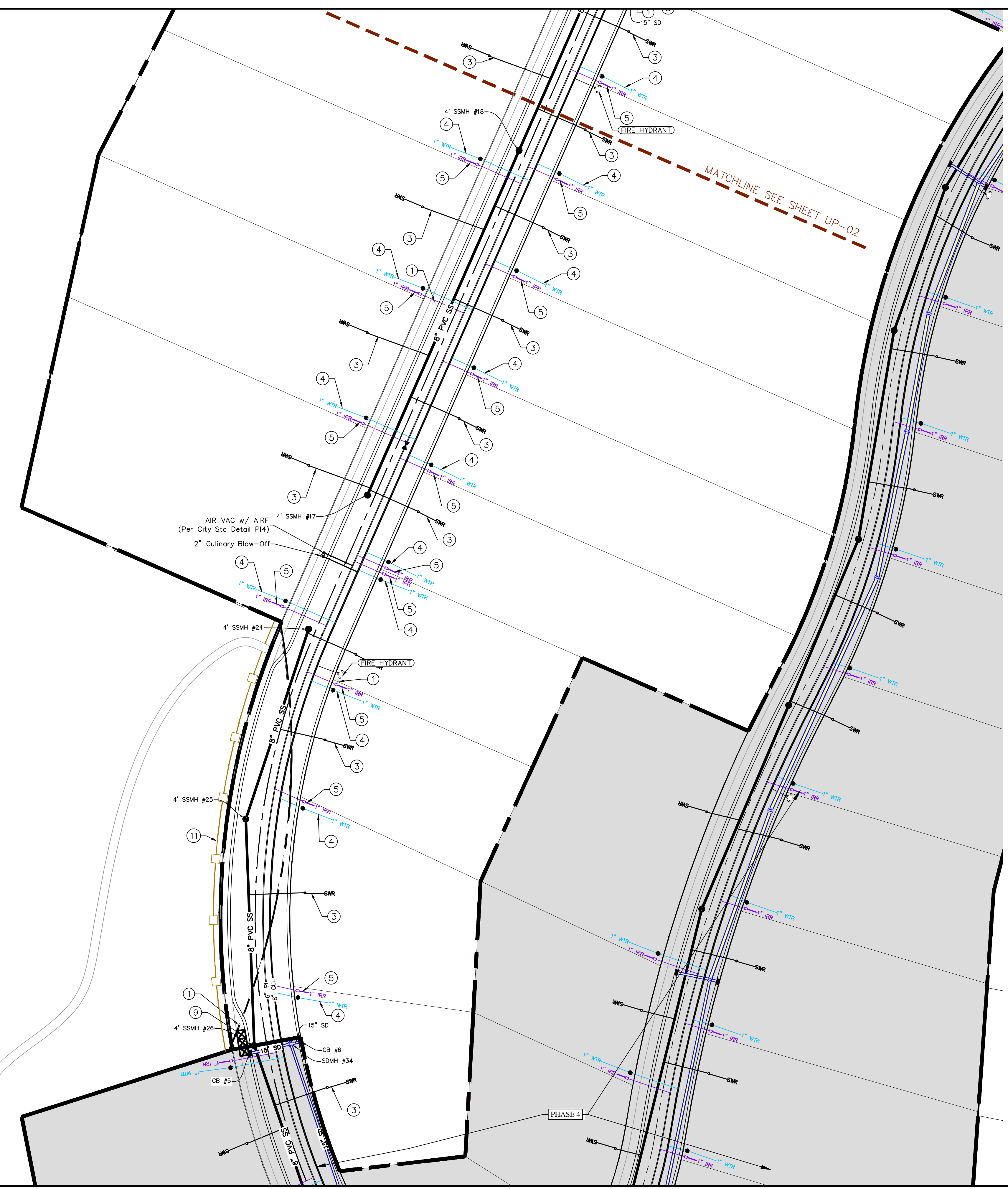
**LEGEND**

- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- - - EXISTING DEED LINE
- SD- EXISTING STORM MAIN
- SS- EXISTING SEWER MAIN
- - - EXISTING WATER MAIN
- - - EXISTING PI MAIN
- - - EXISTING CONCRETE
- - - PI/WAT/SEWER LATERAL
- ▭ PROPOSED ASPHALT
- ▭ PROPOSED CONCRETE
- ▭ PROPOSED CURB & GUTTER
- ▭ PROPOSED LOT LINE
- ▭ BOUNDARY LINE
- ▭ RIGHT OF WAY LINE
- ▭ PROPOSED STORM MAIN
- ▭ PROPOSED CUL MAIN
- ▭ PROPOSED PI MAIN
- ▭ PROPOSED SEWER MAIN
- ▭ PROPOSED WAT/PI/SEWER SERVICE LATERALS
- ⊙ RESIDENTIAL STREET LIGHT
- ⊙ PROPOSED VALVE (WAT/PI)
- ⊙ PROPOSED SEWER MANHOLE
- ⊙ PROPOSED STORM INLET/MANHOLE
- ⊙ PROPOSED ADA RAMP
- ⊙ PROPOSED STOP/STREET SIGN
- ⊙ PROPOSED FIRE HYDRANT
- ⊙ FOUND SECTION COR. AS NOTED
- ⊙ SET 5/8" IRON PIN TO BE SET AT ALL LOT CORNERS
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- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- PUBLIC UTILITY EASEMENT
- SECTION LINE

**NOTES TO CONTRACTOR:**

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

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region  
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regiondesignllc.com

**THE VISTAS WEST @ SUMMIT RIDGE**  
**PHASE 5**  
LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022

PROJECT #

REVISIONS:

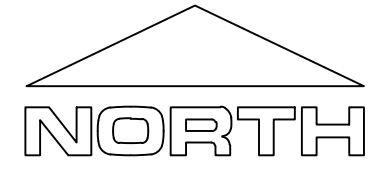
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3	

SHEET NAME:  
UTILITY PLANS  
SHEET:  
UP-01



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(24"x36")  
SCALE 1" = 40'  
(11"x17")  
SCALE 1" = 80'

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

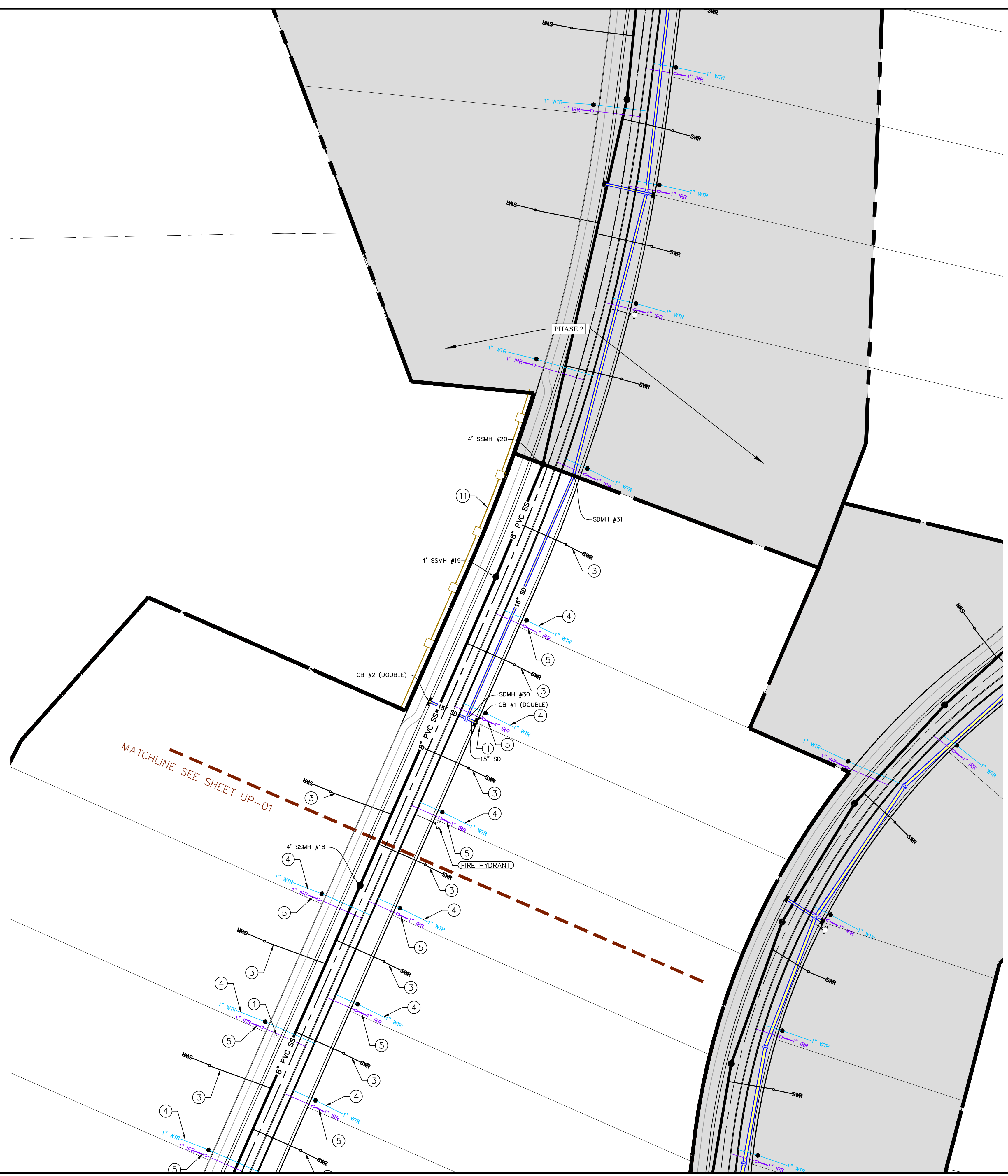
**LEGEND**

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**THE VISTAS WEST @ SUMMIT RIDGE**  
**PHASE 5**  
LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022

PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
UTILITY PLANS  
SHEET:  
UP-02

INV IN (NW)= 5096.00  
 INV IN (SE)= 5098.00  
 INV OUT (NE)= 5096.00  
 DEPTH=8.27

MATCHLINE-SEE GR-02

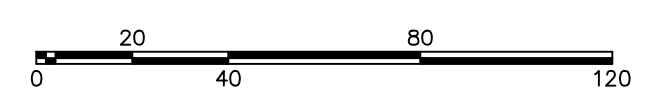
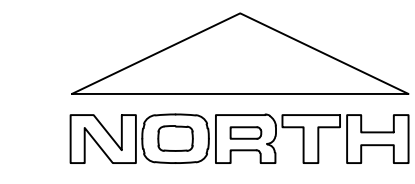
CONST. 25.02 L.F.  
 15" HDPE SD @ 2.20%

CONST. 2.95 L.F.  
 15" HDPE SD @ -22.07%

CB #5 (PHASE 4)  
 RIM ELEV=5098.20  
 INV OUT (E)= 5090.55  
 DEPTH=11.40'

CB #6 (PHASE 4)  
 RIM ELEV=5098.09  
 INV OUT (W)= 5093.65  
 DEPTH=8.19'

SDMH #34 (PHASE 4)  
 RIM ELEV=5098.22  
 INV IN (W)= 5090.00  
 INV IN (E)= 5093.00  
 INV OUT (S)= 5090.00  
 DEPTH=8.22'



(24"x36")  
 SCALE 1" = 40'  
 (11"x17")  
 SCALE 1" = 80'

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 PHASE 5**  
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 RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022

PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
 GRADING PLANS  
 SHEET:  
**GR-01**

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PHASE 5**

LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
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DATE: 3.25.2022

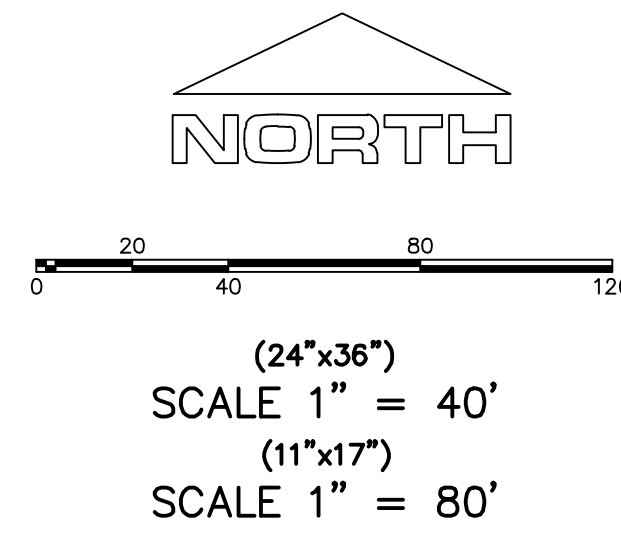
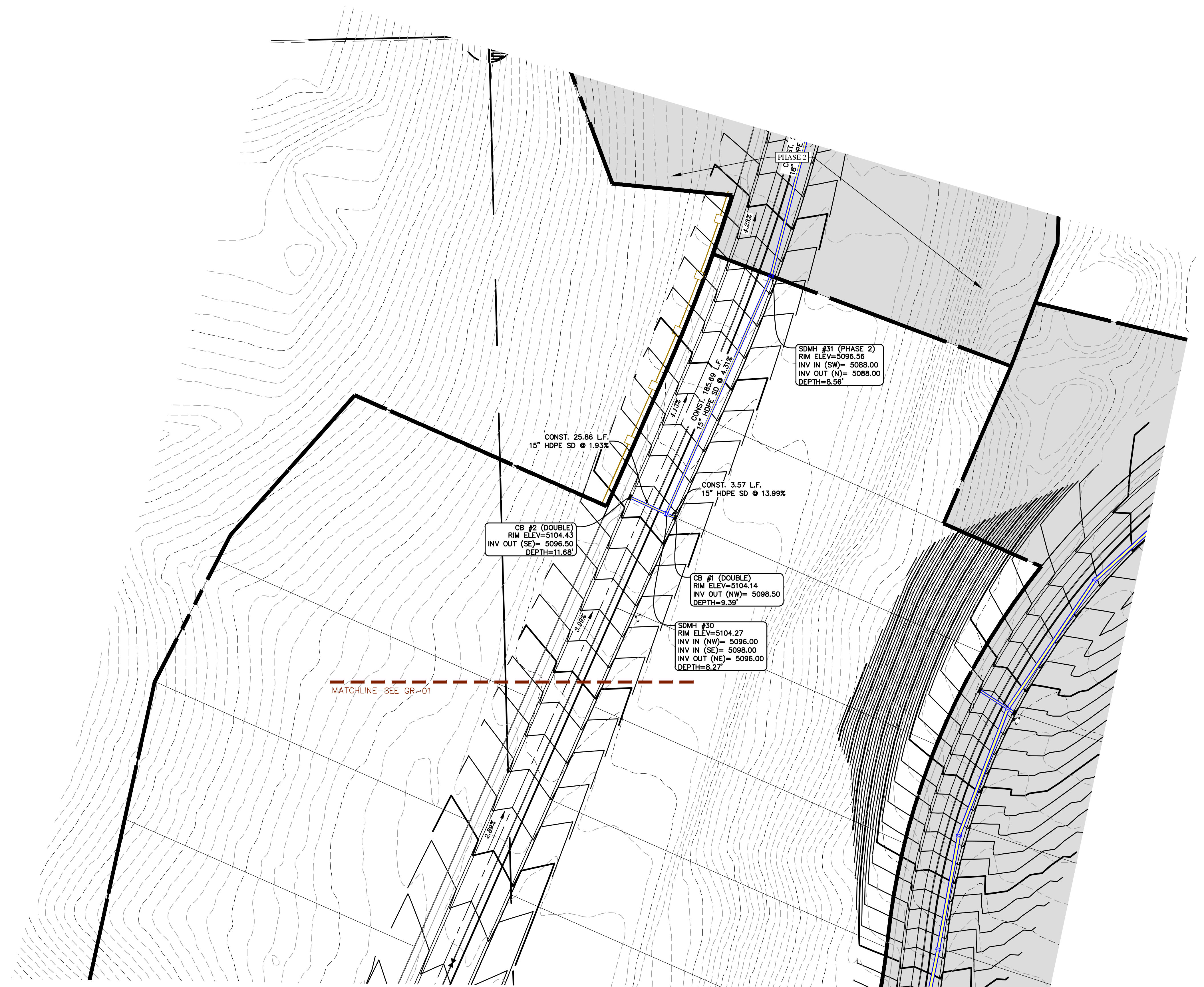
PROJECT #

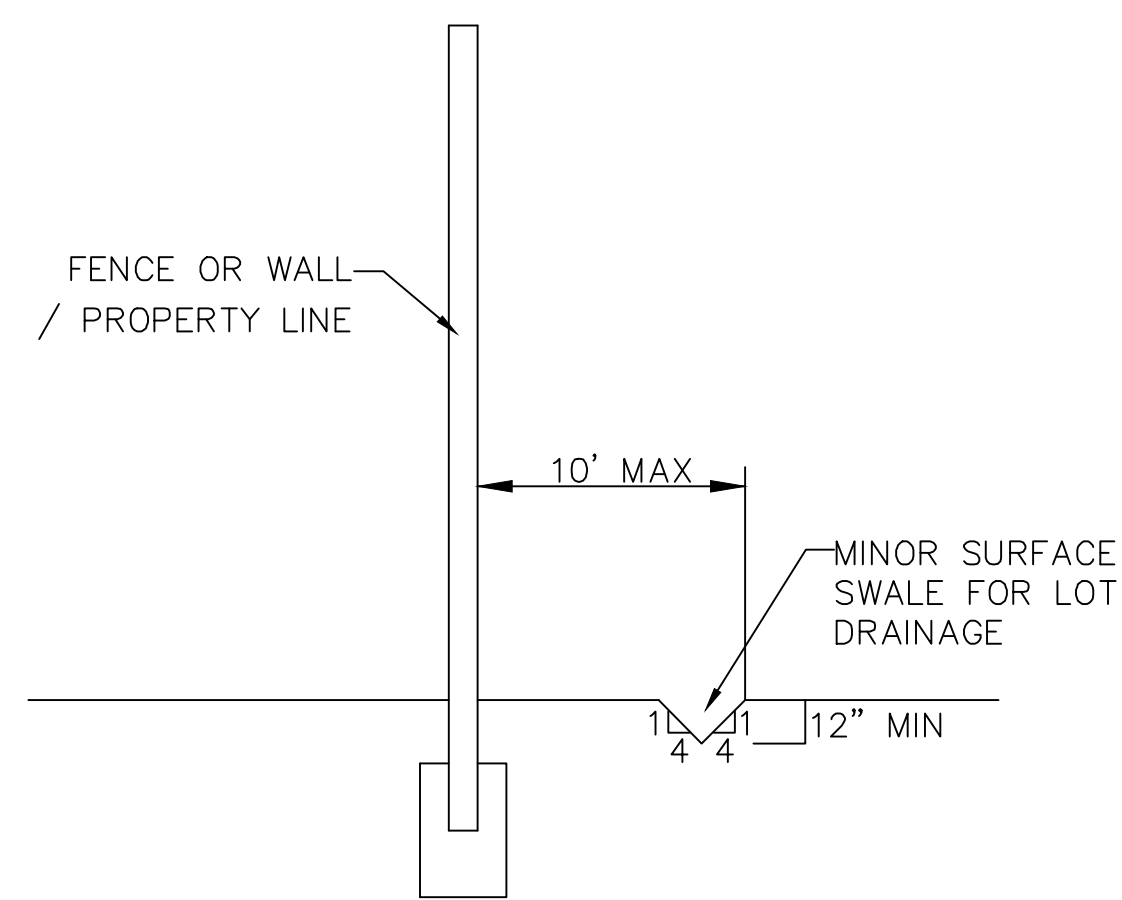
REVISIONS:

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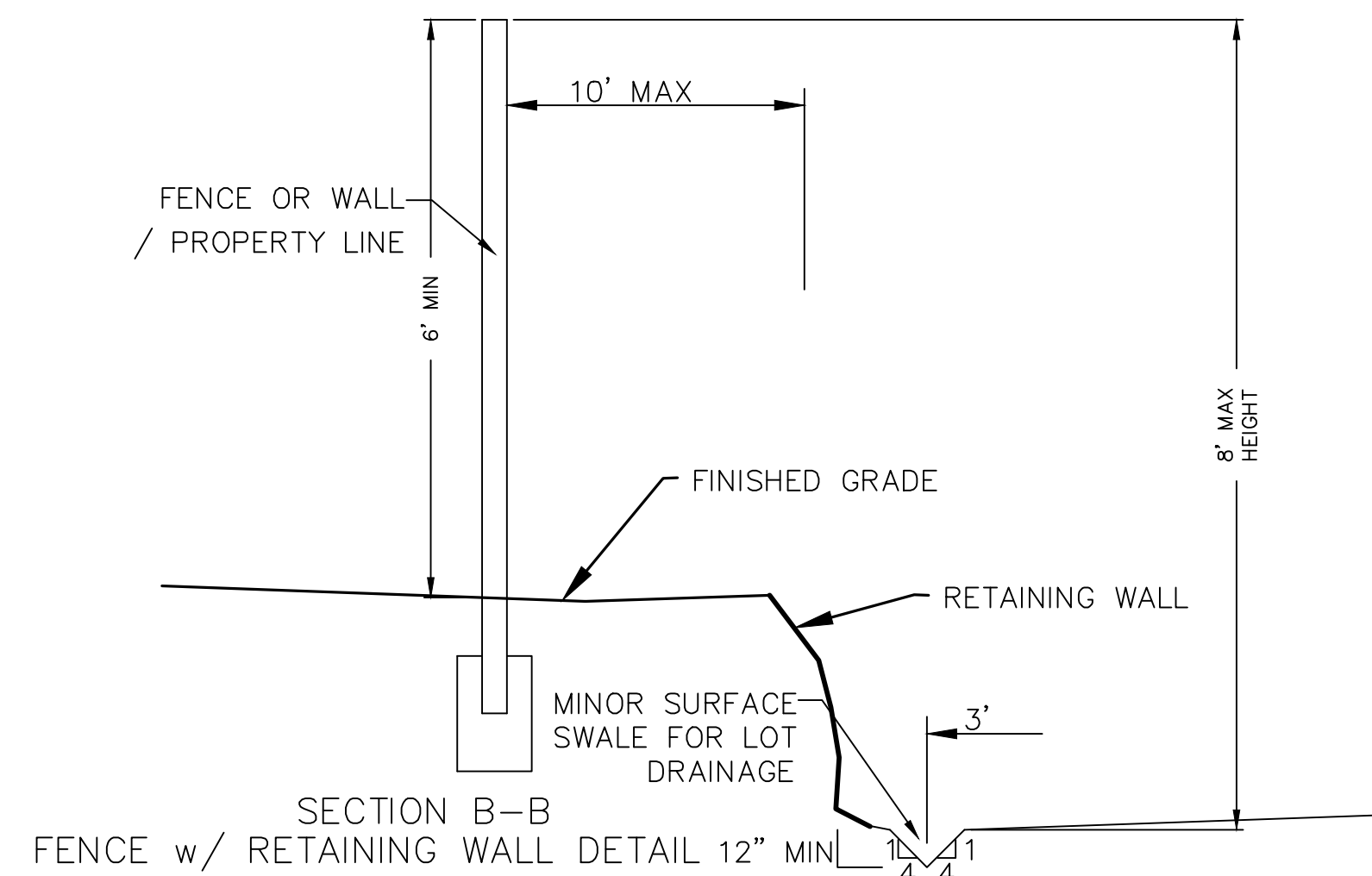
SHEET NAME:  
GRADING PLANS

SHEET:  
GR-02

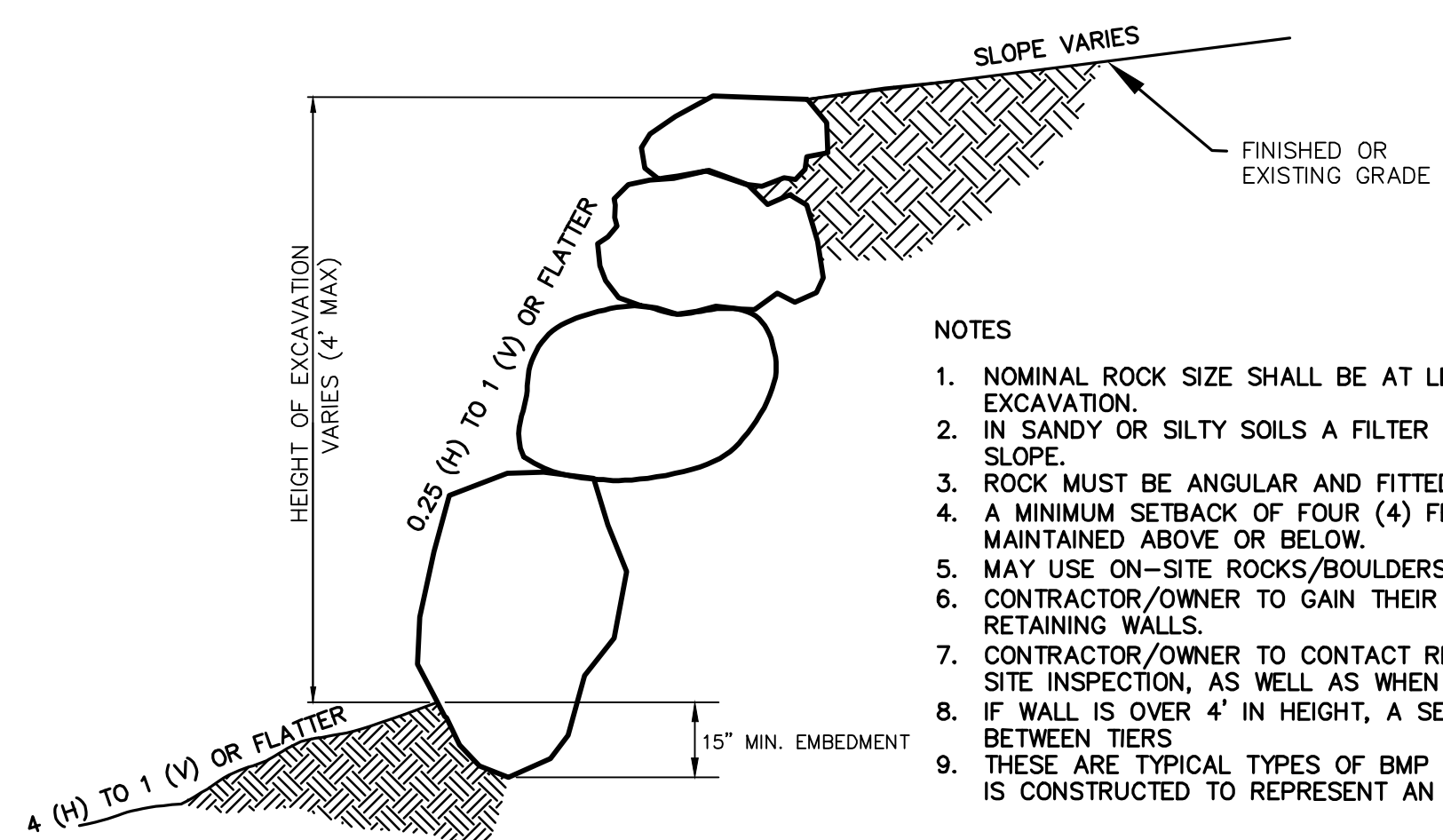




SECTION C-C  
FENCE DETAIL



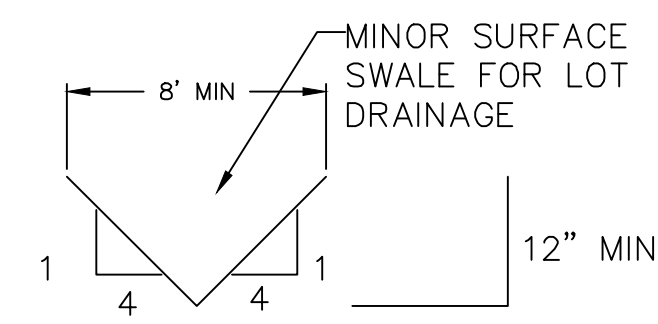
SECTION B-B  
FENCE w/ RETAINING WALL DETAIL 12\"/>



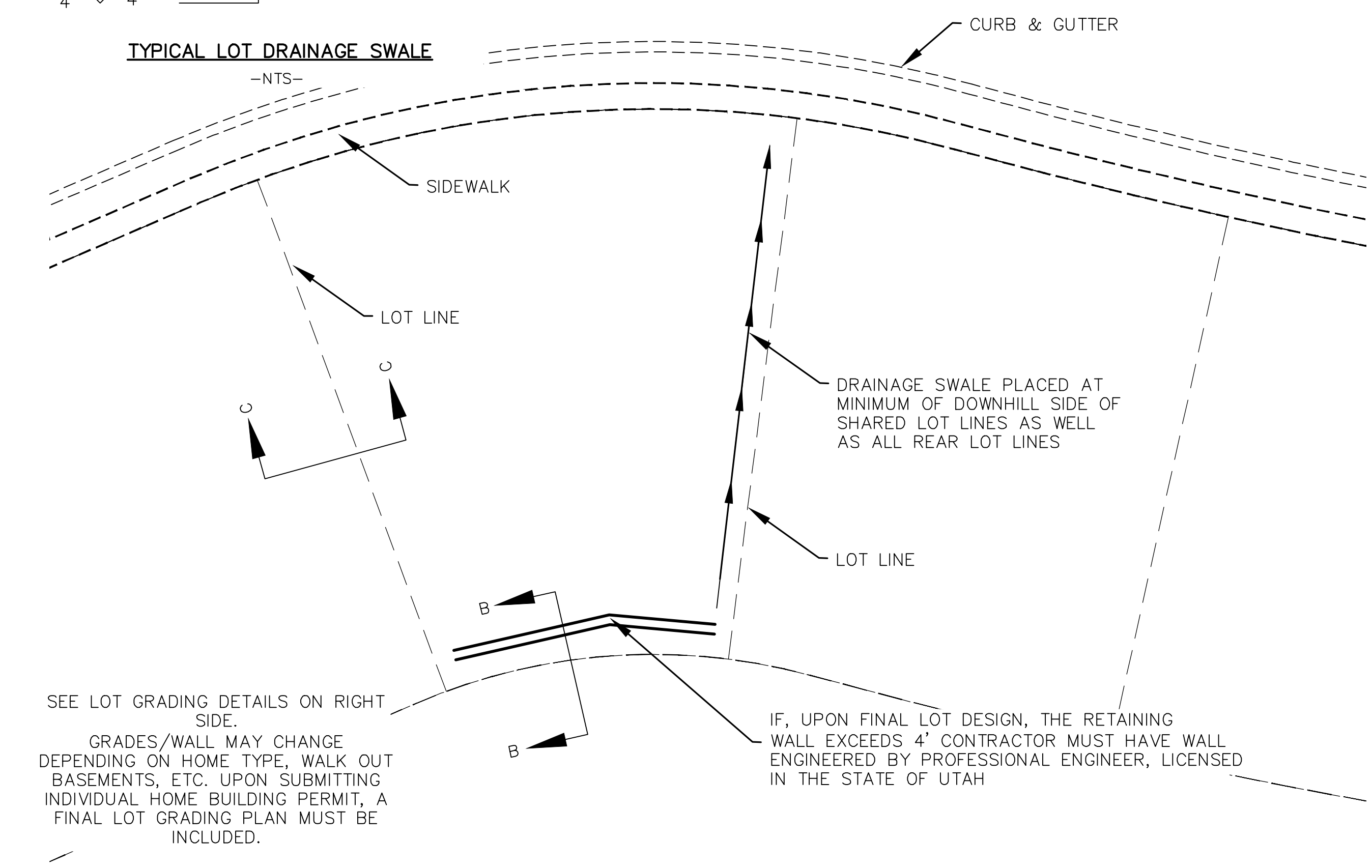
ROCK FACED SLOPE GUIDELINES  
EXCAVATION  
-NTS-

NOTES

1. NOMINAL ROCK SIZE SHALL BE AT LEAST ONE THIRD (1/3) THE HEIGHT OF THE EXCAVATION.
2. IN SANDY OR SILTY SOILS A FILTER FABRIC SHALL BE PLACED BEHIND THE ROCK FACED SLOPE.
3. ROCK MUST BE ANGULAR AND FITTED TOGETHER TO INTERACT WITH THE ADJACENT ROCK.
4. A MINIMUM SETBACK OF FOUR (4) FEET FROM BUILDINGS OR STRUCTURES SHALL BE MAINTAINED ABOVE OR BELOW.
5. MAY USE ON-SITE ROCKS/BOULDERS IF CONDITION APPLYS
6. CONTRACTOR/OWNER TO GAIN THEIR OWN STRUCTURAL ENGINEER AND DESIGN FOR ALL RETAINING WALLS.
7. CONTRACTOR/OWNER TO CONTACT REGION ENGINEERING AFTER FIRST WALL IS PLACED FOR SITE INSPECTION, AS WELL AS WHEN FINAL PRODUCT IS COMPLETED
8. IF WALL IS OVER 4' IN HEIGHT, A SECOND TIER MUST BE PLACED WITH A 5' LANDING IN BETWEEN TIERS
9. THESE ARE TYPICAL TYPES OF BMP STORM DRAINAGE MEASURES. NOTHING ON THIS SHEET IS CONSTRUCTED TO REPRESENT AN APPROVED INDIVIDUAL LOT GRADING PLAN.



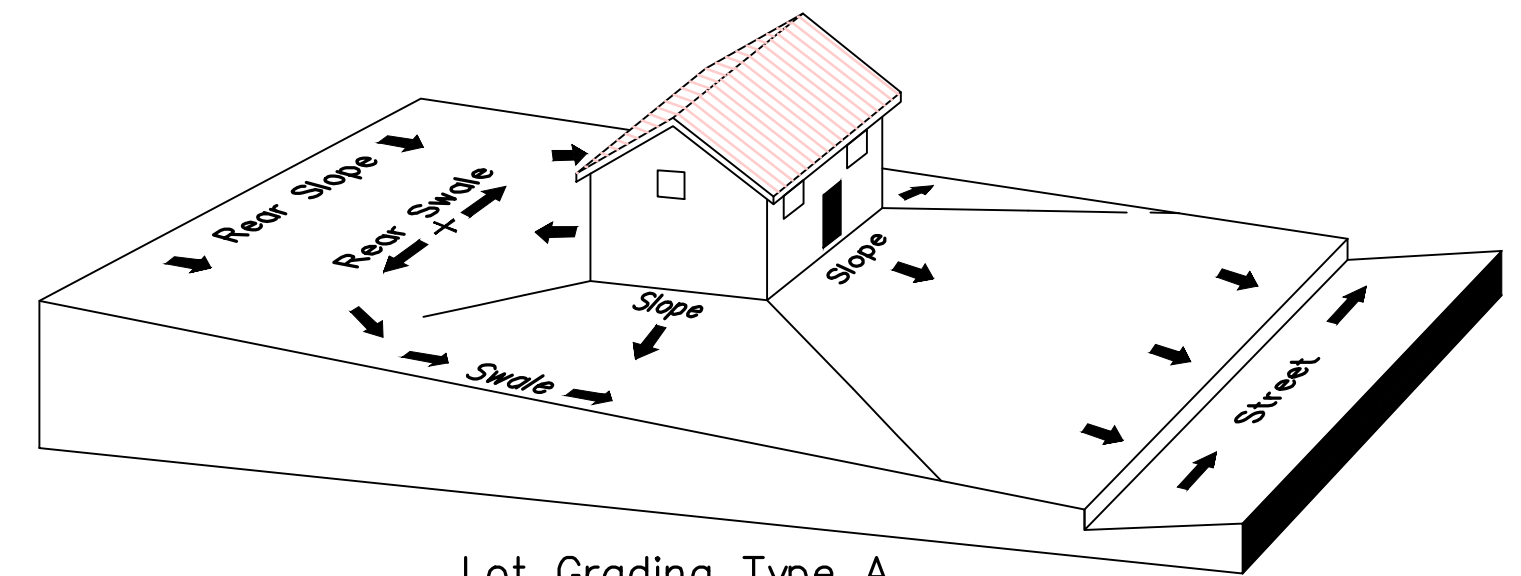
TYPICAL LOT DRAINAGE SWALE  
-NTS-



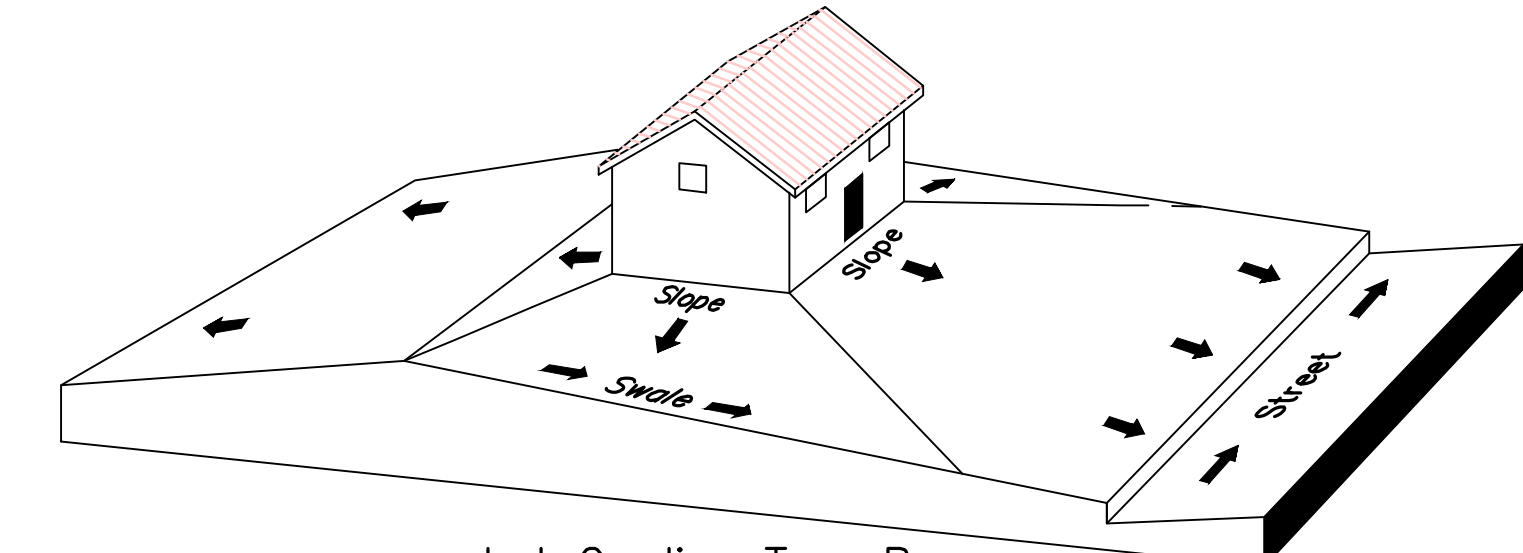
TYPICAL LOT GRADING  
-NTS-

SEE LOT GRADING DETAILS ON RIGHT SIDE.  
GRADES/WALL MAY CHANGE DEPENDING ON HOME TYPE, WALK OUT BASEMENTS, ETC. UPON SUBMITTING INDIVIDUAL HOME BUILDING PERMIT, A FINAL LOT GRADING PLAN MUST BE INCLUDED.

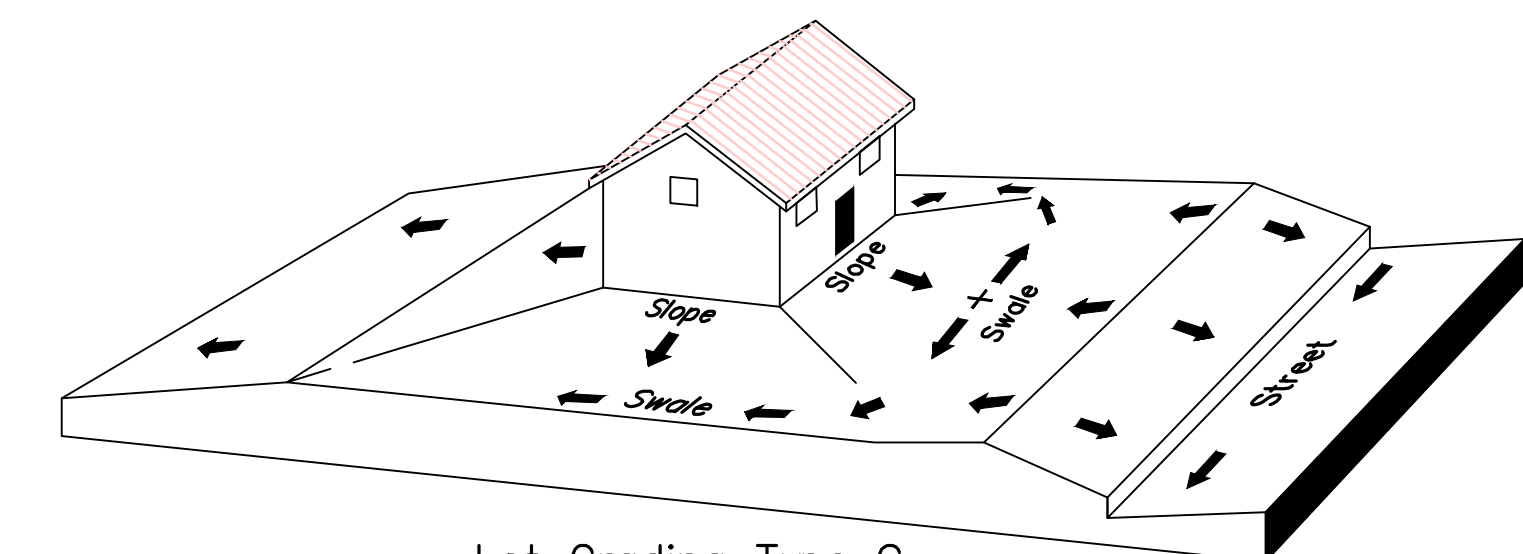
IF, UPON FINAL LOT DESIGN, THE RETAINING WALL EXCEEDS 4' CONTRACTOR MUST HAVE WALL ENGINEERED BY PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF UTAH



Lot Grading Type A  
Drainage Directed Toward Front of Building



Lot Grading Type B  
Drainage Directed Toward Front and Rear of Building



Lot Grading Type C  
Drainage Directed Toward Rear of Building

\*\* ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR \*\*

Lot Drainage -

- At minimum, 50% of roof drains shall drain towards the street.
- All side downspouts are to be diverted toward the front or rear of the lot.
- Yards to be positively graded away from all window wells
- HOA's &/or homeowners are responsible for maintaining lot line drainage pathways through their properties per drainage plan.
- All lot lines are to be maintained as drainage pathways for accumulating runoff from adjoining lots.
- All lots shall meet the International Building Code standards and drain away from the structure.

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL 2, SHEET 5 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P.I. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS

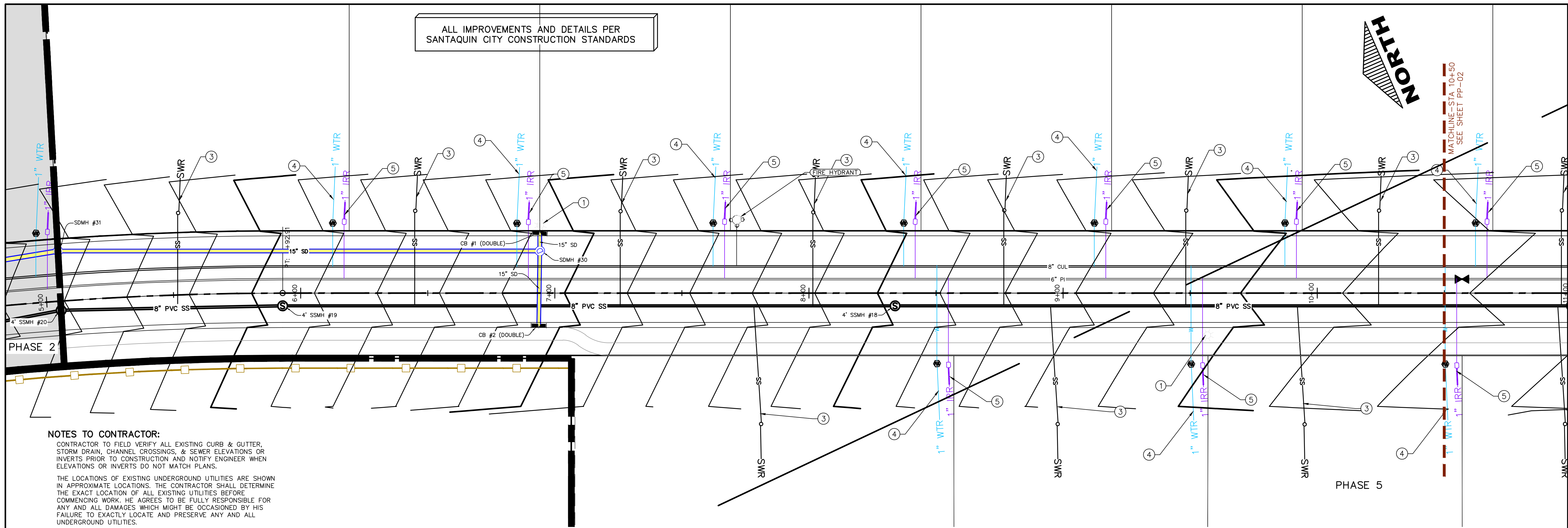
region  
Engineering & Surveying  
1776 N. State St. #110  
Orem, UT 84057  
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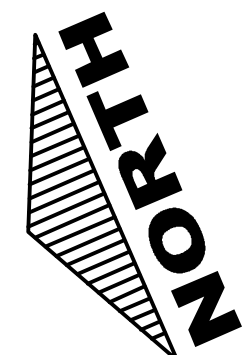
THE VISTAS WEST @ SUMMIT RIDGE  
PHASE 5  
LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022
PROJECT #
REVISIONS:
1
2
3

SHEET NAME:  
GRADING PLANS  
SHEET:  
GR-03



ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

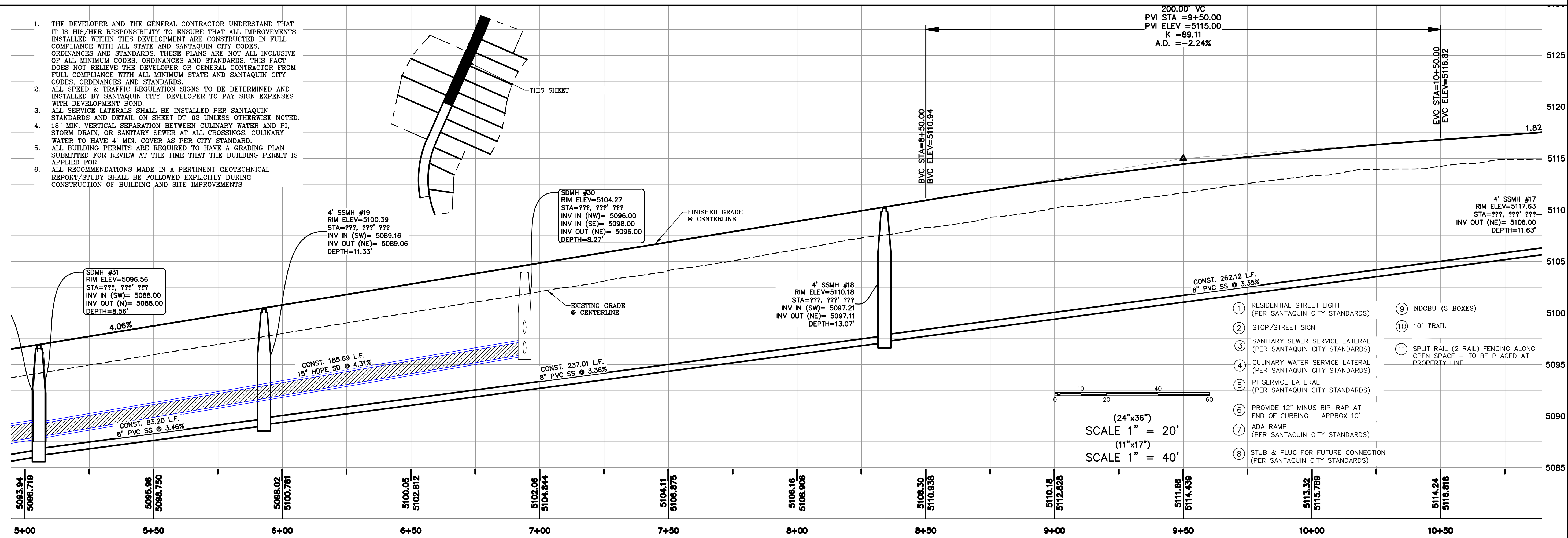
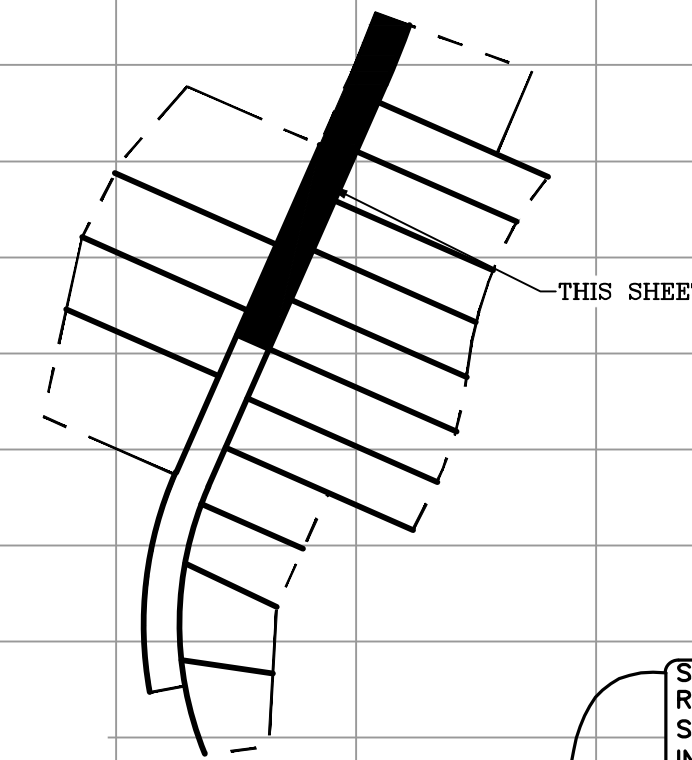


**NOTES TO CONTRACTOR:**

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-02 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND FL. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
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6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS



- |  |   |
|--|---|
| 1 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)          | 9 NDCBU (3 BOXES)   |
| 2 STOP/STREET SIGN   | 10 10' TRAIL  |
| 3 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)    | 11 SPLIT RAIL (2 RAIL) FENCING ALONG OPEN SPACE TO BE PLACED AT PROPERTY LINE |
| 4 CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)    |   |
| 5 PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)                |   |
| 6 PROVIDE 12" MINUS RIP-RAP AT END OF CURBING - APPROX 10'         |   |
| 7 ADA RAMP (PER SANTAQUIN CITY STANDARDS)                          |   |
| 8 STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS) |   |

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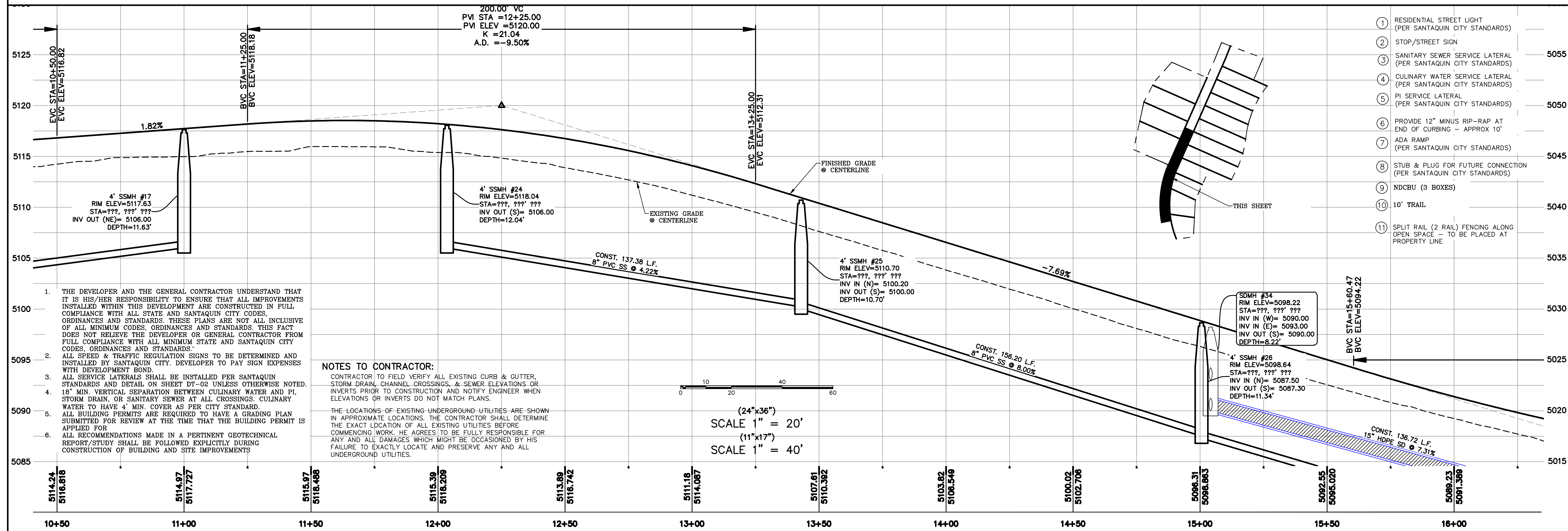
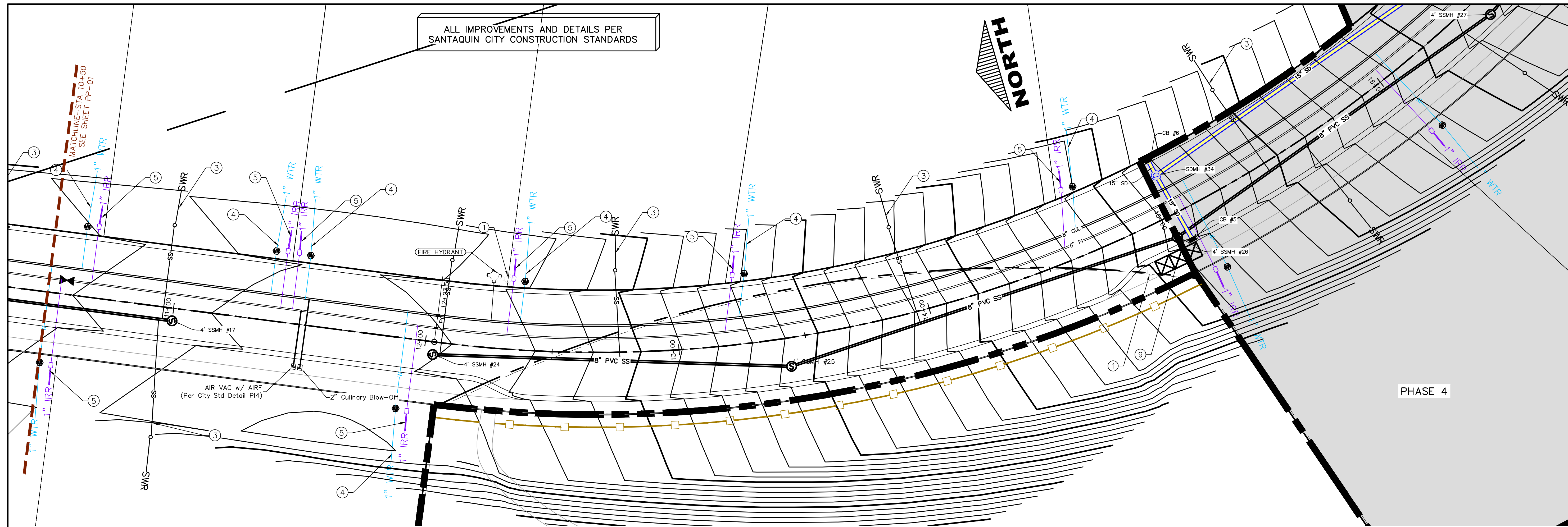


**THE VISTAS WEST @ SUMMIT RIDGE PHASE 5**  
LOCATED IN SW PORTION SECTION 10,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 3.25.2022  
PROJECT #  
REVISIONS:

1	
2	
3	

SHEET NAME:  
PLAN & PROFILE  
SHEET:  
PP-01



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**THE VISTAS WEST @ SUMMIT RIDGE**  
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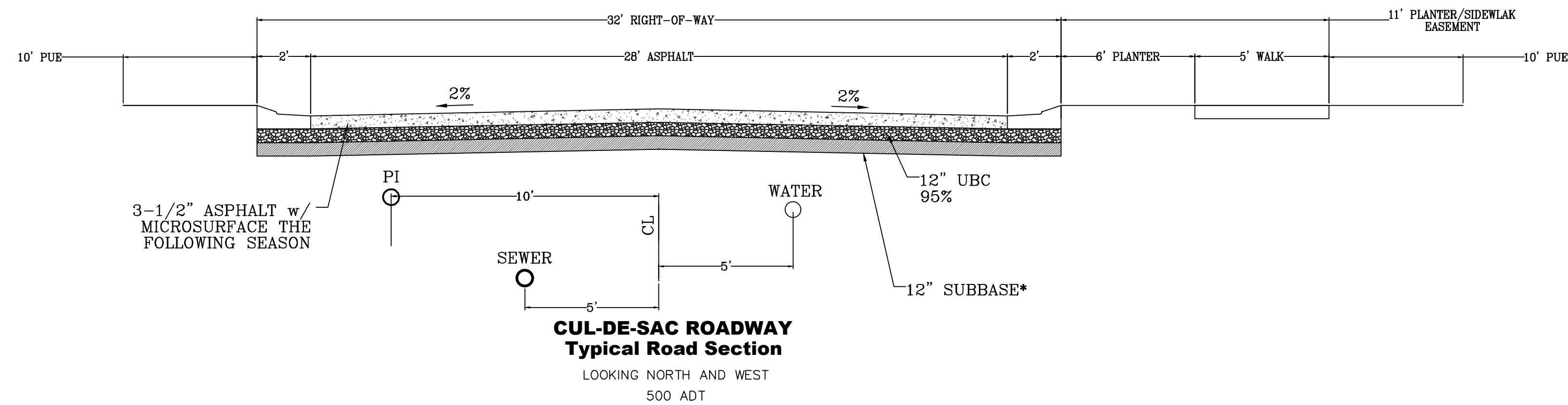
DATE: 3.25.2022

PROJECT #

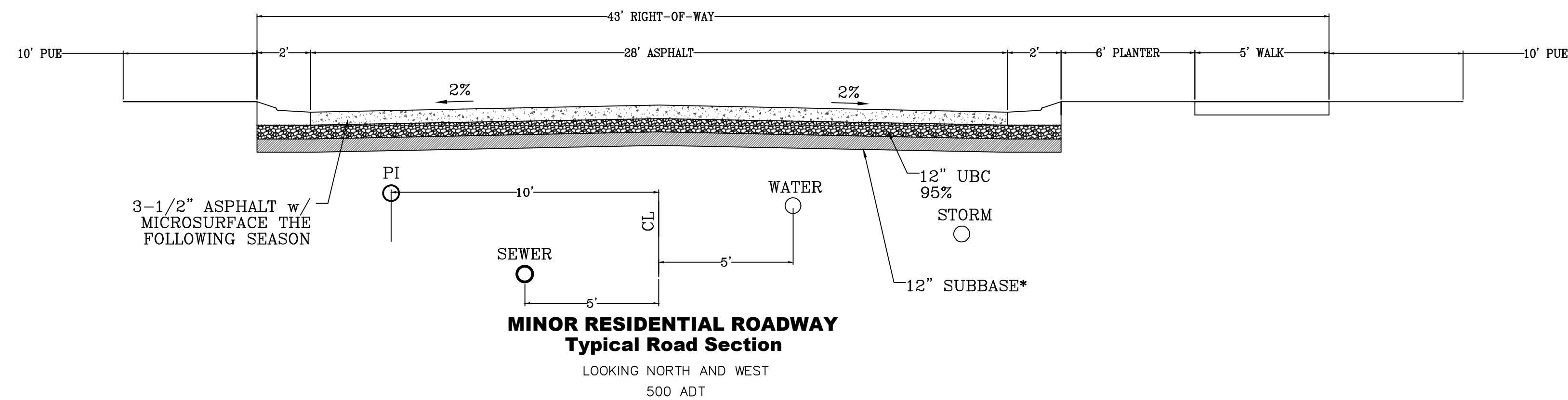
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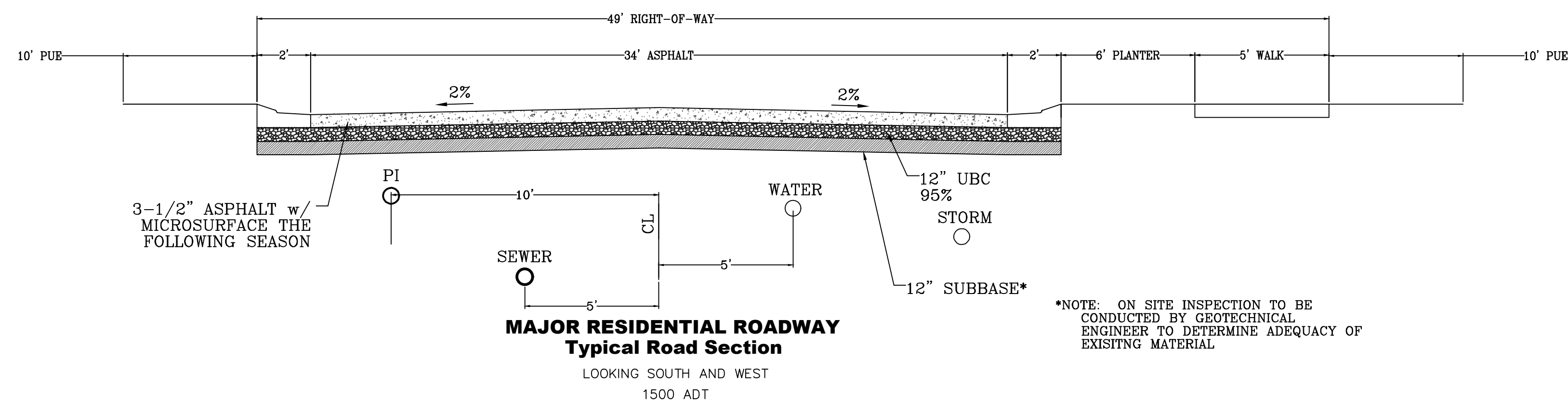
SHEET NAME:  
 PLAN & PROFILE  
 SHEET:  
 PP-02



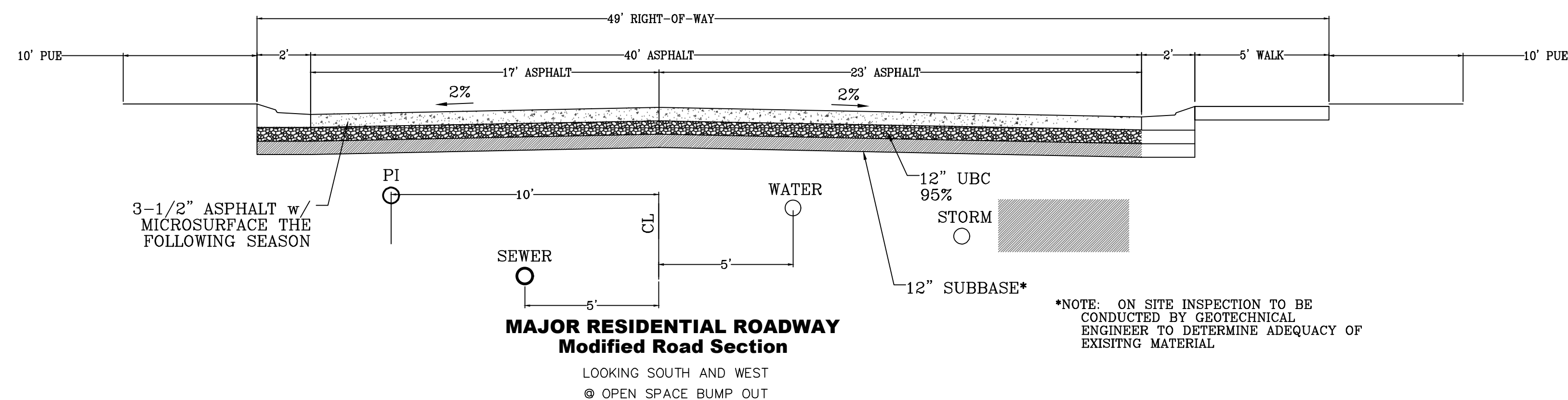
**CUL-DE-SAC ROADWAY**  
Typical Road Section  
LOOKING NORTH AND WEST  
500 ADT



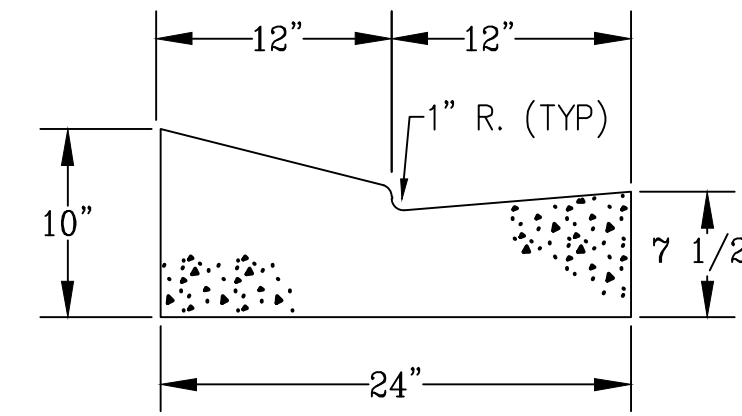
**MINOR RESIDENTIAL ROADWAY**  
Typical Road Section  
LOOKING NORTH AND WEST  
500 ADT



**MAJOR RESIDENTIAL ROADWAY**  
Typical Road Section  
LOOKING SOUTH AND WEST  
1500 ADT



**MAJOR RESIDENTIAL ROADWAY**  
Modified Road Section  
LOOKING SOUTH AND WEST  
⊙ OPEN SPACE BUMP OUT



**MODIFIED HIGH BACK CURB**

\*NOTE: ON SITE INSPECTION TO BE CONDUCTED BY GEOTECHNICAL ENGINEER TO DETERMINE ADEQUACY OF EXISTING MATERIAL

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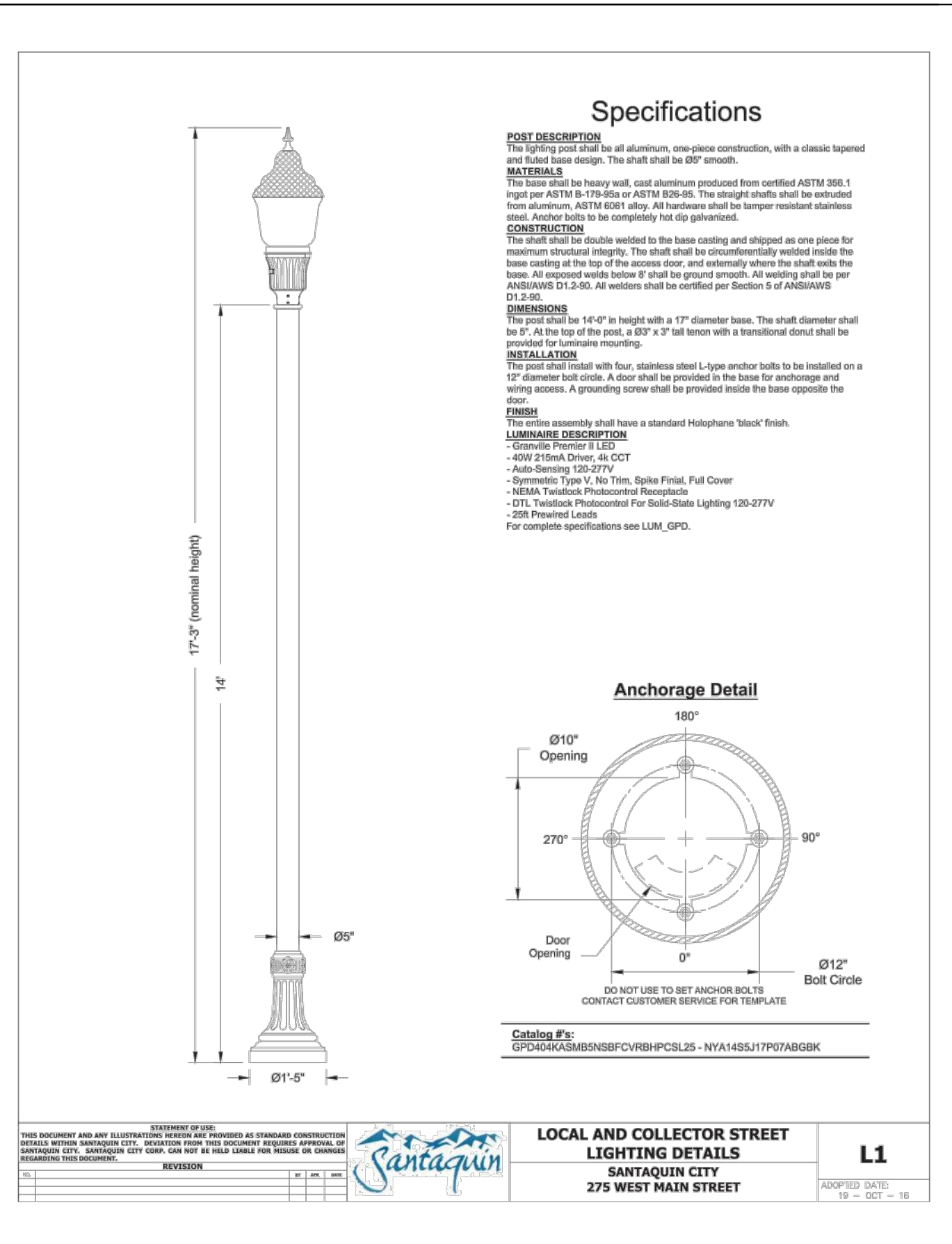
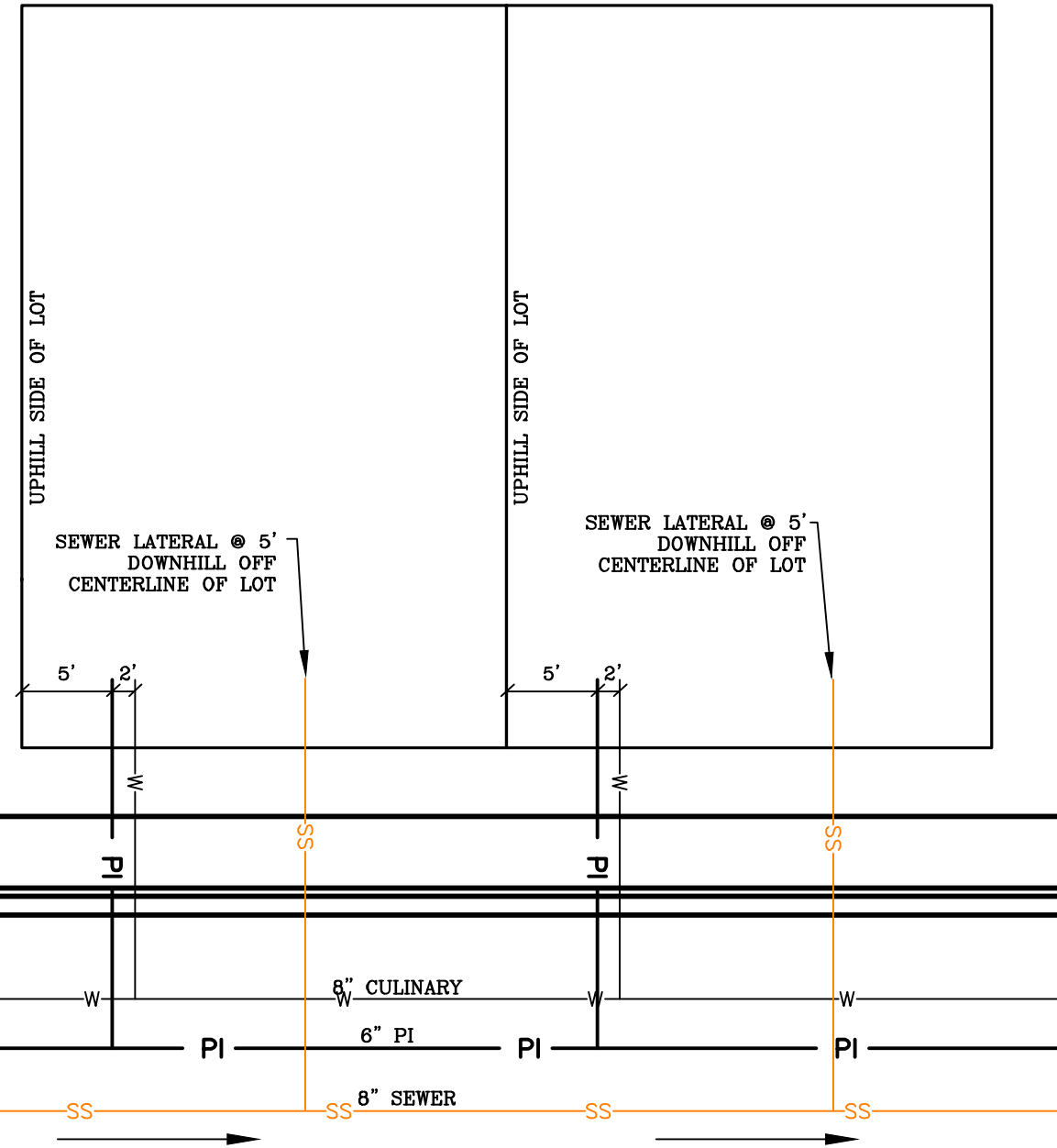
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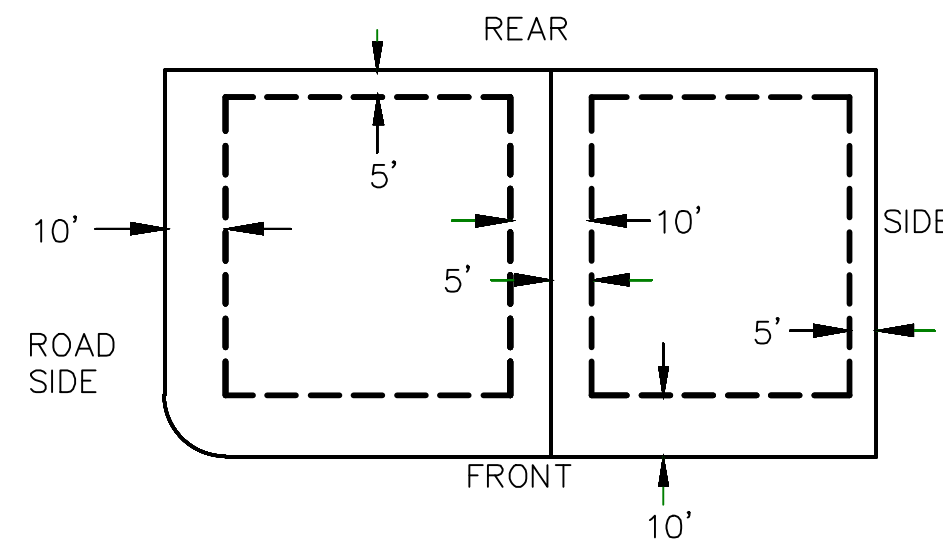
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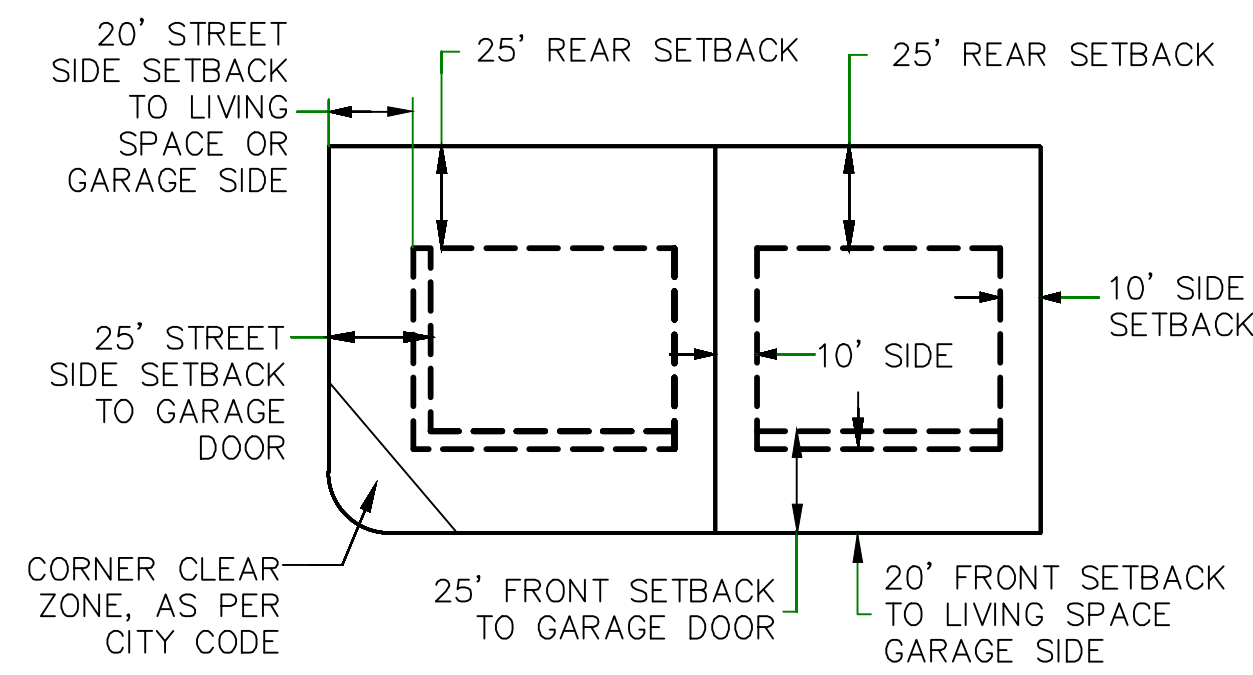
SHEET NAME:  
TYPICAL DETAILS  
SHEET:  
DT-01



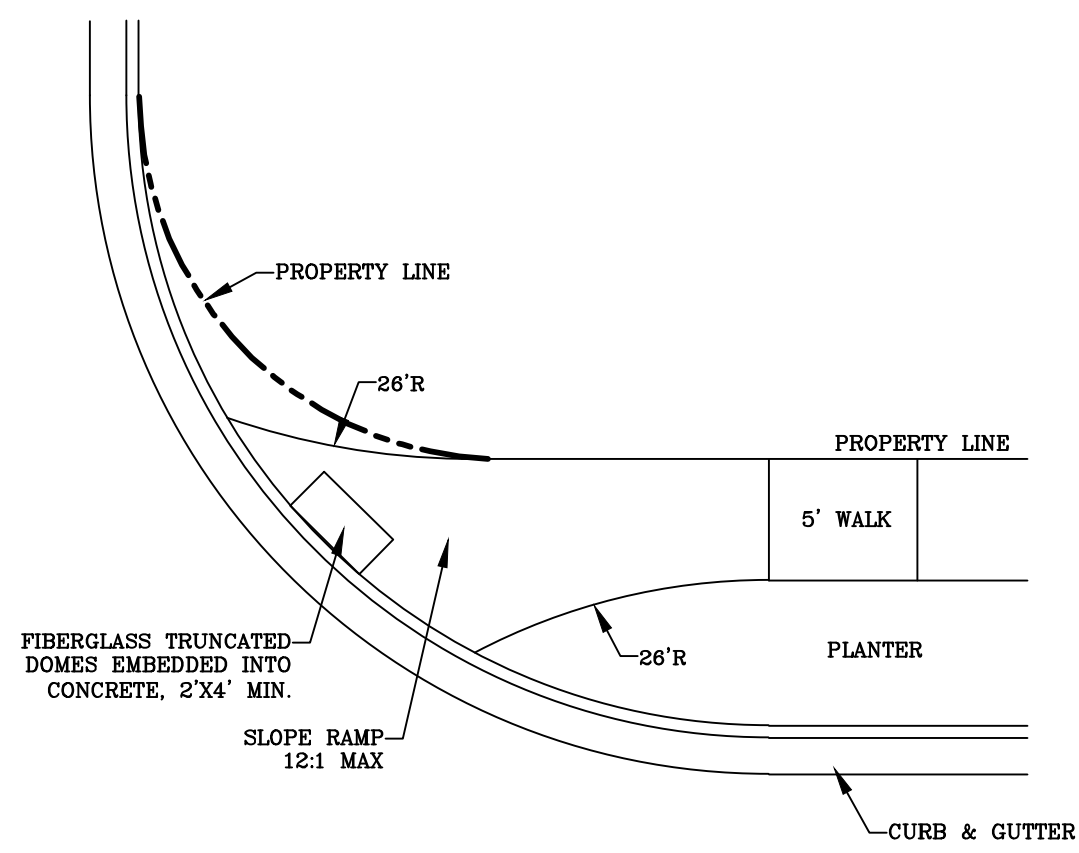
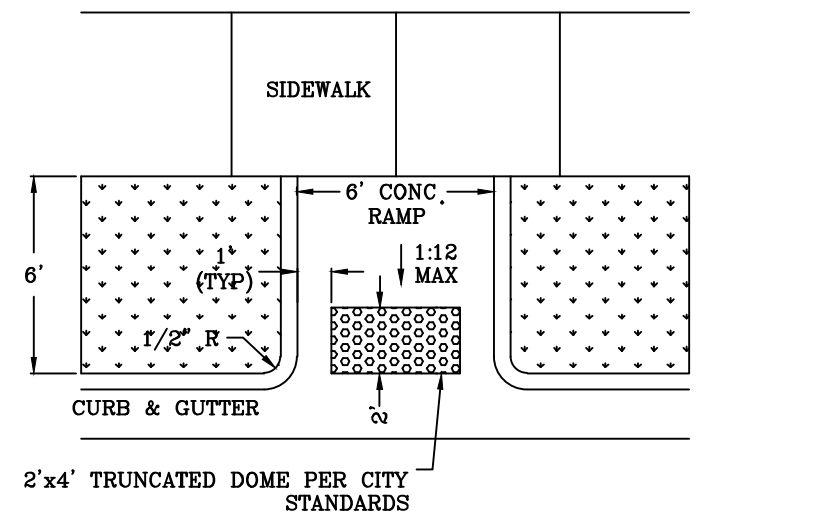
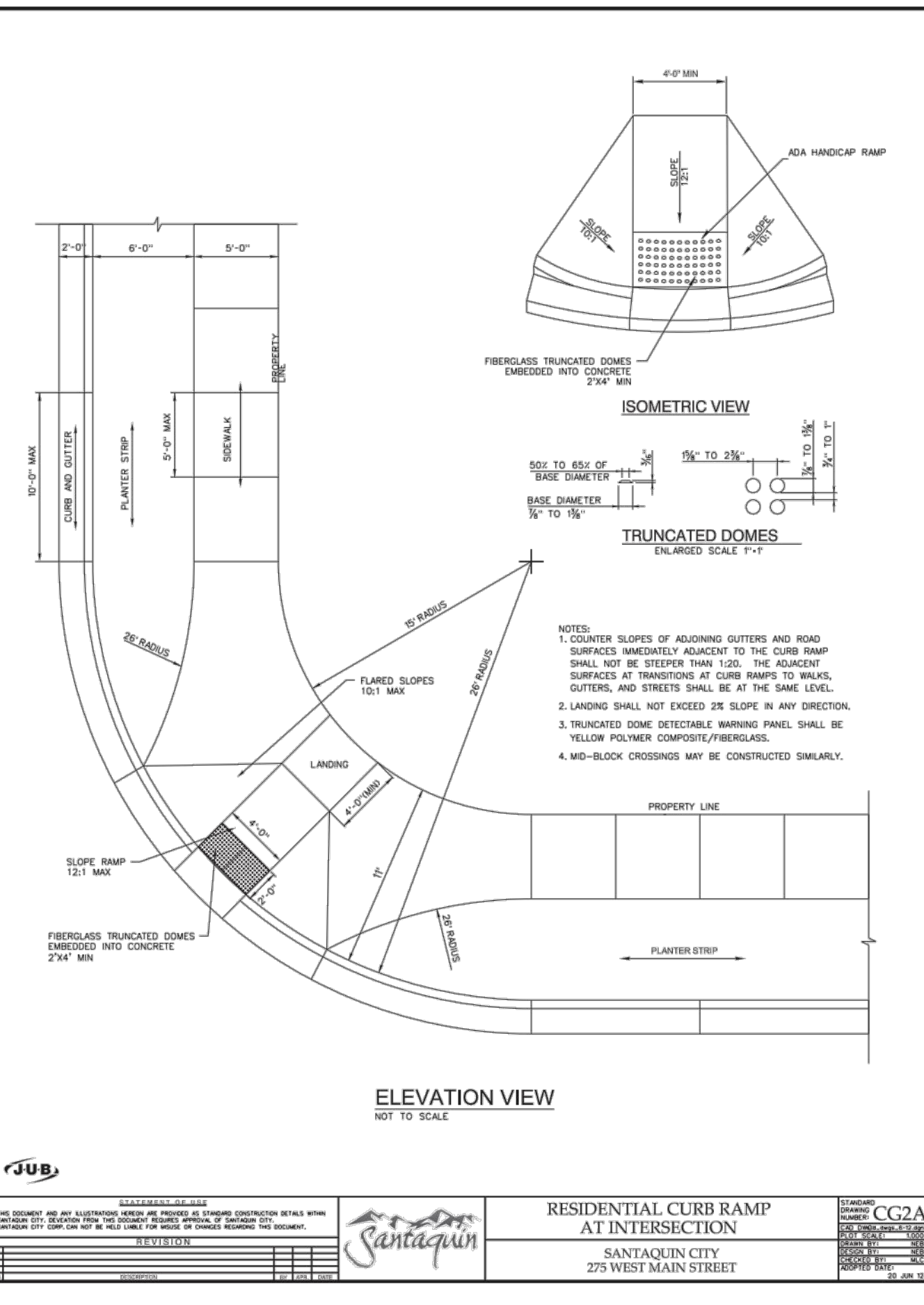
### PUBLIC UTILITY EASEMENTS



### BUILDING SETBACKS (MINIMUM)



ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS



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SHEET NAME:  
TYPICAL DETAILS  
SHEET:  
DT-02