

ADCOCK'S ACRE SUBDIVISION

295 N 200 E
09:102:0012
SANTAQUIN, UTAH COUNTY, UTAH

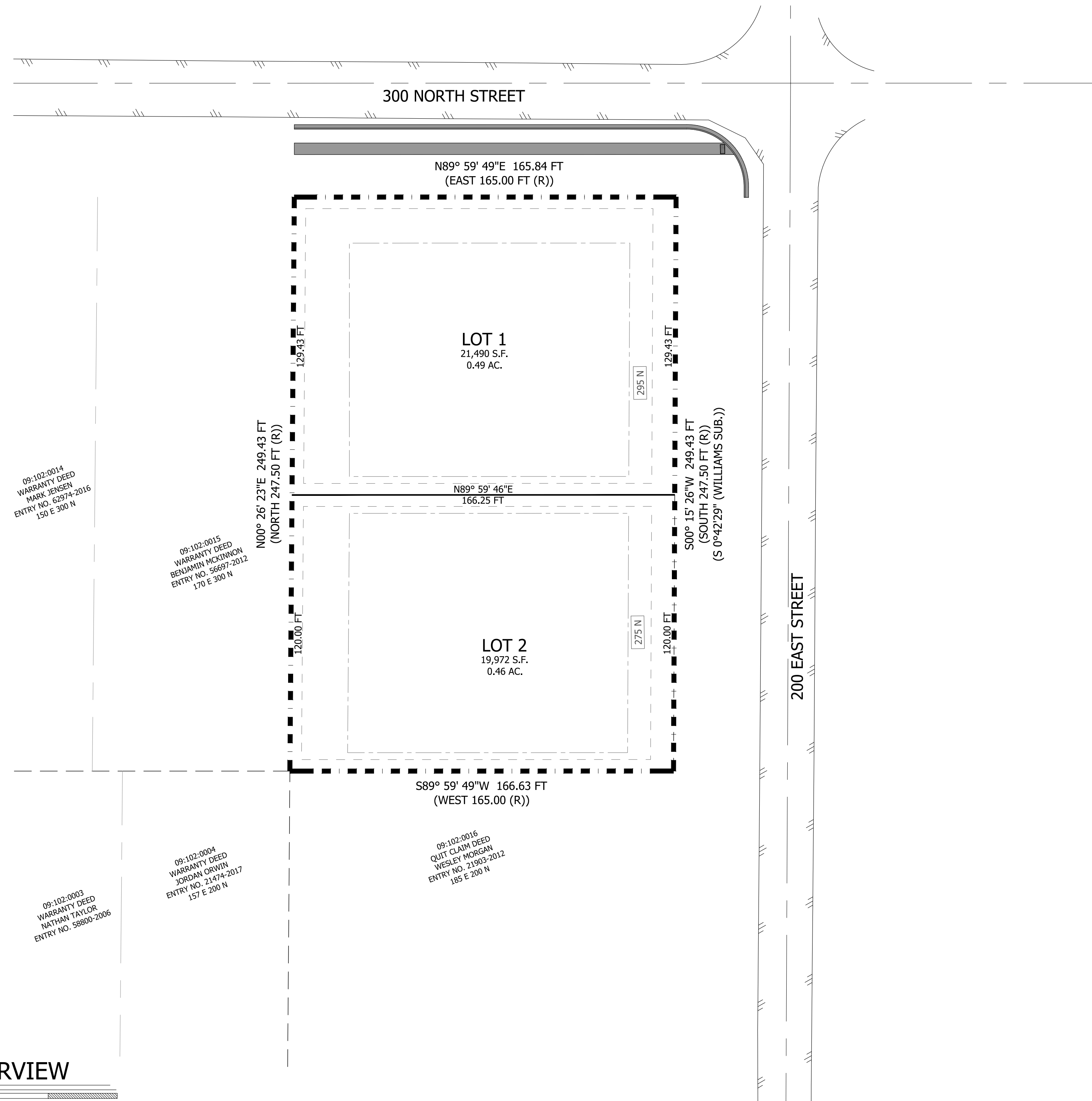
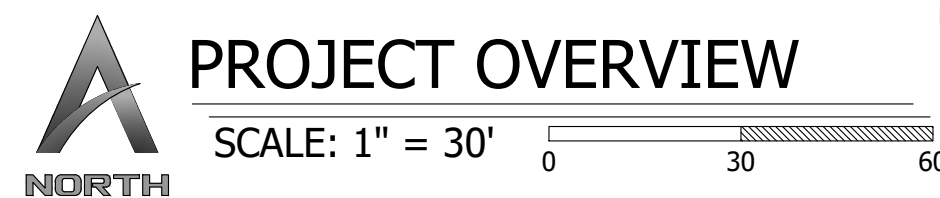


SHEET INDEX

- C-1 COVER SHEET
- C-2 DEMOLITION PLAN
- C-3 UTILITY PLAN
- C-4 GRADING & DRAINAGE PLAN
- D-1 DETAIL SHEET
- D-2 DETAIL SHEET
- D-3 DETAIL SHEET
- EX-1 PLAT SHEET

DENSITY TABLE	
ZONING CLASSIFICATION	R-8
TOTAL NUMBER OF LOTS	2
TOTAL ACREAGE	0.95 AC
TOTAL ACREAGE IN LOTS	0.95 AC
TOTAL R.O.W. ACREAGE	0 AC
TOTAL OPEN SPACE ACREAGE	0 AC
TOTAL UNBUILDABLE ACREAGE	0 AC
GROSS DENSITY	2.105 UNITS/AC

NOTE:
1) THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM THE FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.



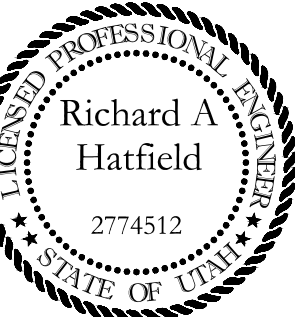
ENGINEER
RICHARD HATFIELD, P.E.
APEX ENGINEERING INC.
TEL: 801-796-2277
EMAIL: RICHARDH@APEX20.COM

SURVEYOR:
SPENCER MCCUTCHEON, P.L.S.
APEX ENGINEERING INC.
TEL: 801-796-2277
EMAIL: SPENCERM@APEX20.COM

DEVELOPER:
BART GIBB
TEL: 801-836-0745
EMAIL: BARTGIBB@GMAIL.COM



REVISIONS	DATE	BY	REMARKS



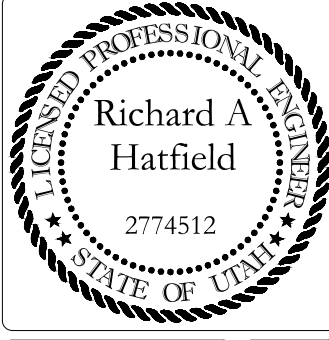
ADCOCK'S ACRE
COVER SHEET
 DATE: 3-24-2022
 LOCATION: SANTAQUIN, UT
 DRAWING: C-1

PRELIMINARY- NOT FOR CONSTRUCTION

LEGEND

- PROPERTY BOUNDARY
- - - EASEMENT LINE
- - - SETBACK LINE
- - - SS - - - EXISTING SANITARY SEWER LINE
- - - WTR - - - EXISTING WATER LINE
- - - PI - - - EXISTING PI LINE
- - - OHP - - - EXISTING POWER LINE
- - - EXISTING CONTOUR LINE
- ⊙ EXISTING SEWER MANHOLE
- SEWER CLEANOUT
- ⊕ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ WATER METER

REVISIONS	DATE	BY	REMARKS



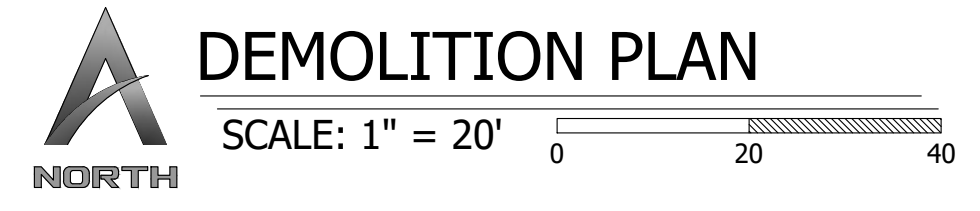
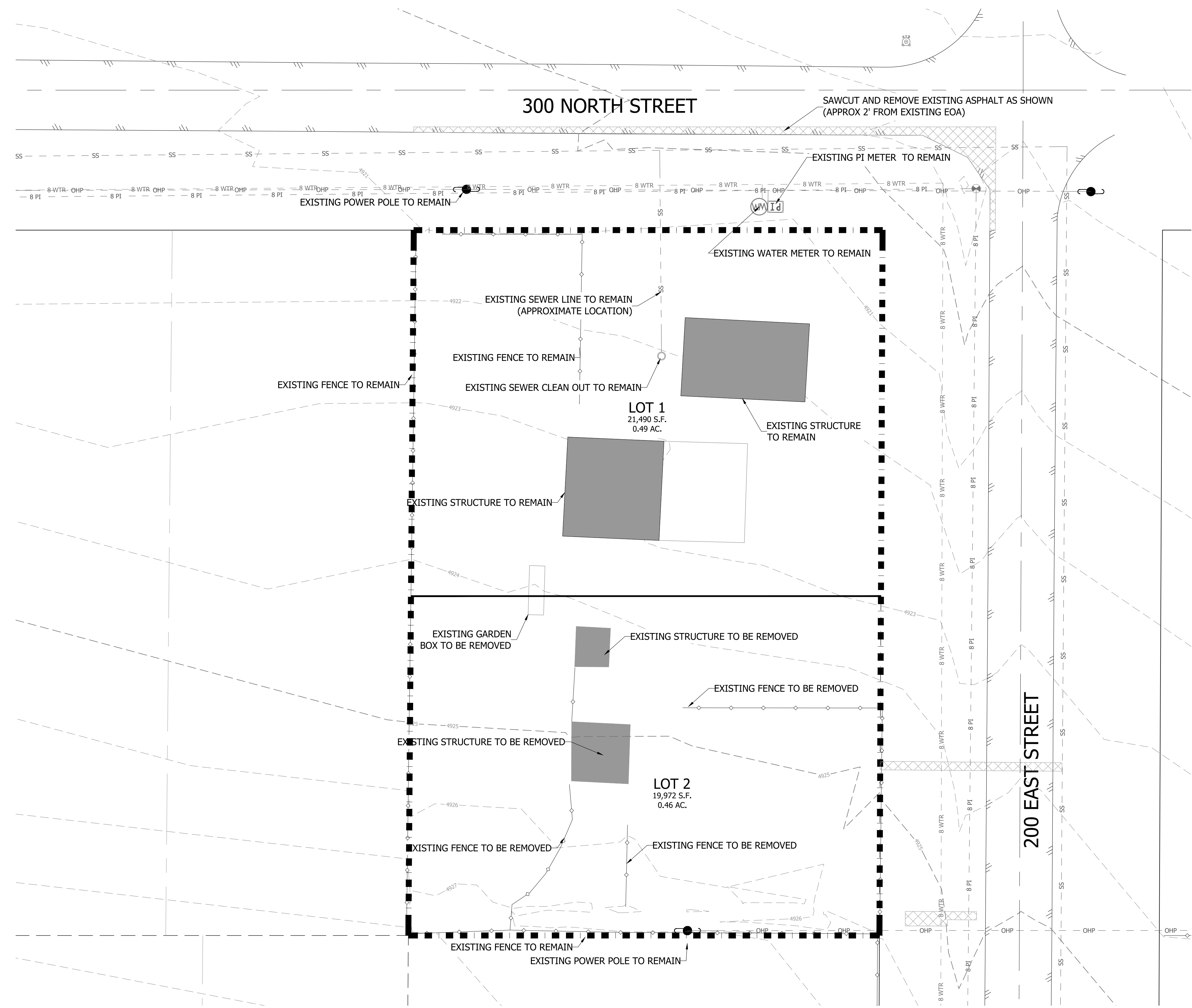
**ADCOCK'S ACRE
DEMOLITION PLAN**

LOCATION: SANTAQUIN, UT

DATE: 3-24-2022

FOR: BART GIBB

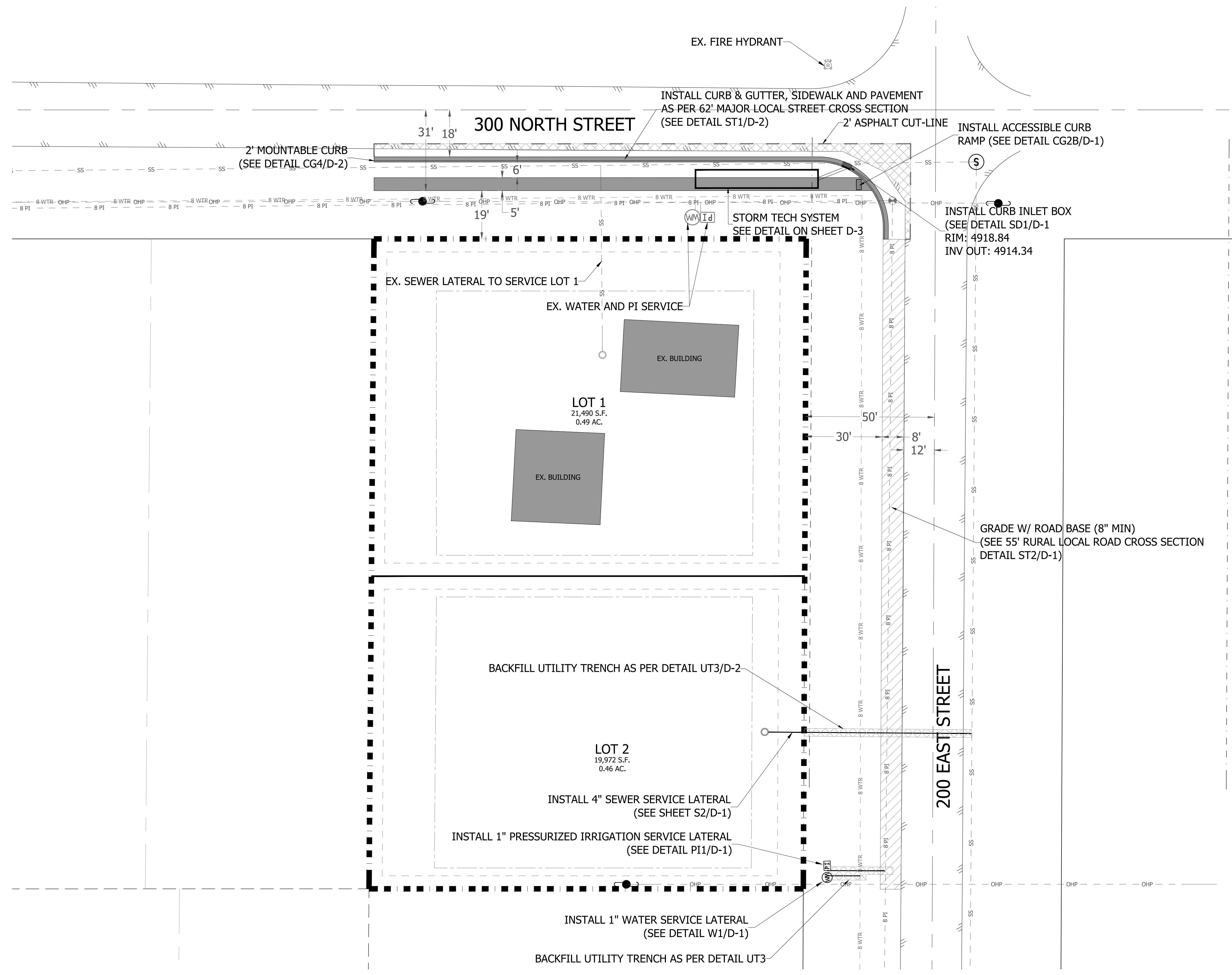
DRAWING: C-2



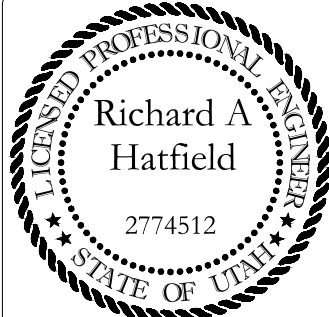
PRELIMINARY- NOT FOR CONSTRUCTION

LEGEND

- PROPERTY BOUNDARY
- EASEMENT LINE
- SETBACK LINE
- SS --- EXISTING SANITARY SEWER LINE
- WTR --- EXISTING WATER LINE
- PI --- EXISTING PI LINE
- UGP --- EXISTING POWER LINE
- EXISTING CONTOUR LINE
- ⊙ EXISTING SEWER MANHOLE
- SEWER CLEANOUT
- ⊕ FIRE HYDRANT
- ⊖ WATER VALVE
- ⊗ WATER METER
- ▨ PROPOSED 2" EDGE MILL AND ASPHALT OVERLAY



REVISIONS	DATE	BY	REMARKS



**ADCOCK'S ACRE
UTILITY PLAN**

LOCATION: SANTAQUIN, UT

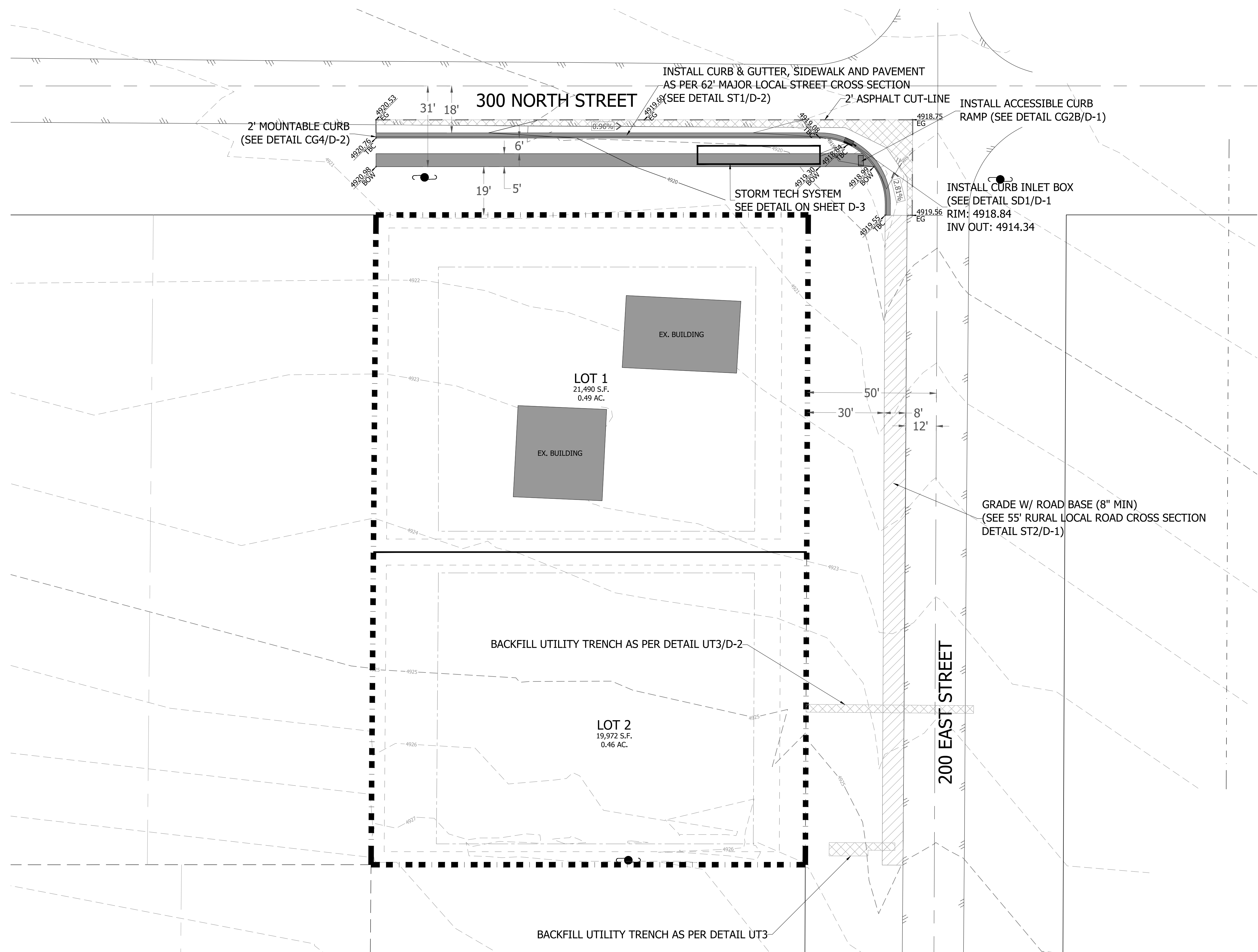
DATE: 3-24-2022

DRAWING: BART GIBB

C-3

UTILITY PLAN
SCALE: 1" = 20'

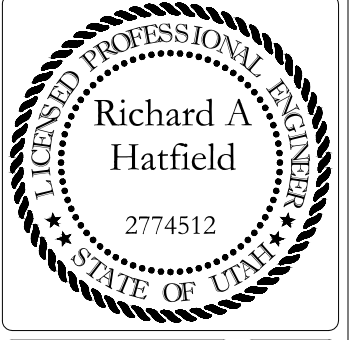
PRELIMINARY- NOT FOR CONSTRUCTION



- LEGEND**
- PROPERTY BOUNDARY
 - - - EASEMENT LINE
 - - - SETBACK LINE
 - SS --- EXISTING SANITARY SEWER LINE
 - WTR --- EXISTING WATER LINE
 - PI --- EXISTING PI LINE
 - UGP --- EXISTING POWER LINE
 - UGS --- EXISTING GAS LINE
 - ⊙ EXISTING SEWER MANHOLE
 - SEWER CLEANOUT
 - ⊕ FIRE HYDRANT
 - ⊕ WATER VALVE
 - ⊕ WATER METER



DATE	BY	REVISIONS	REMARKS



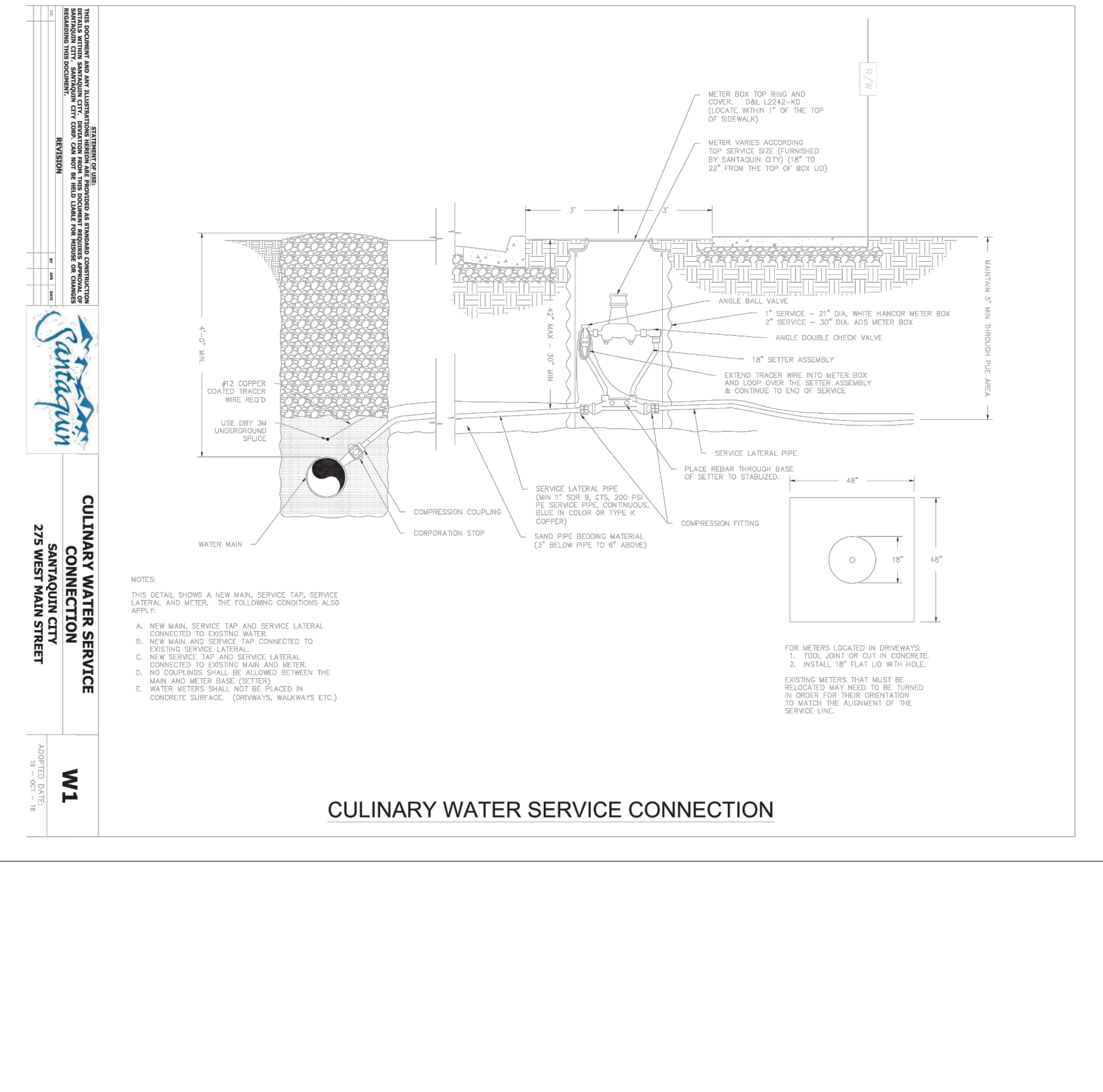
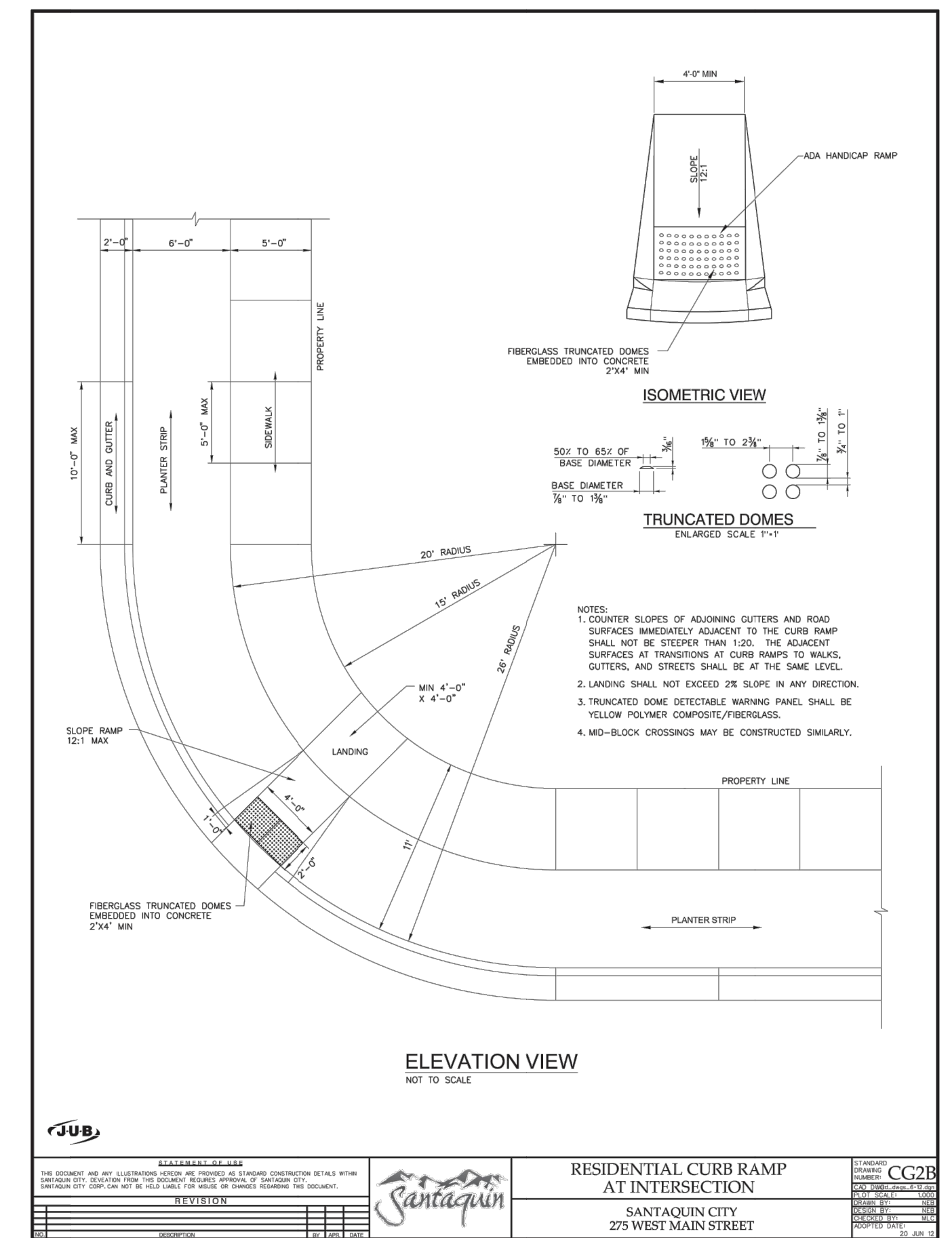
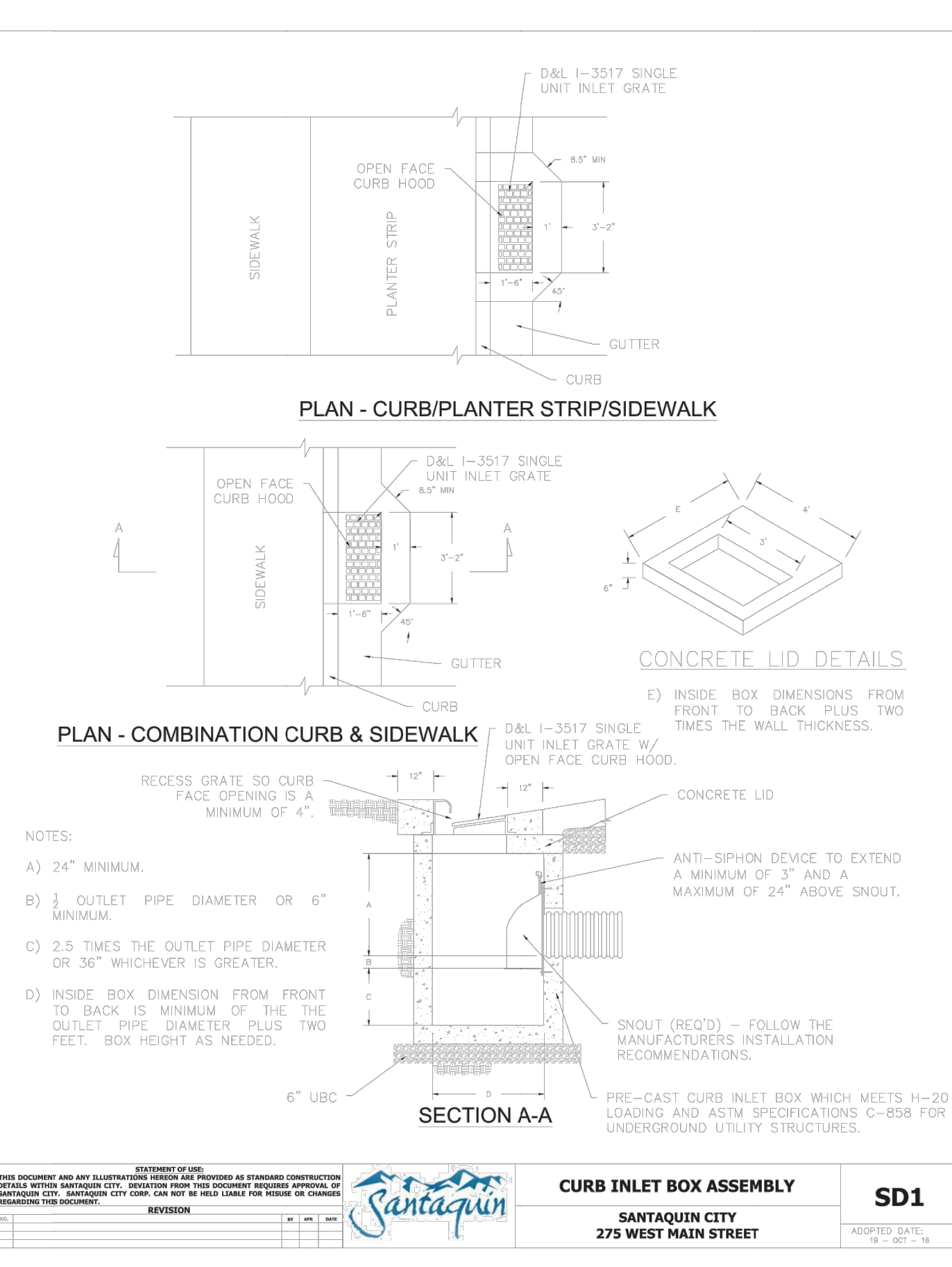
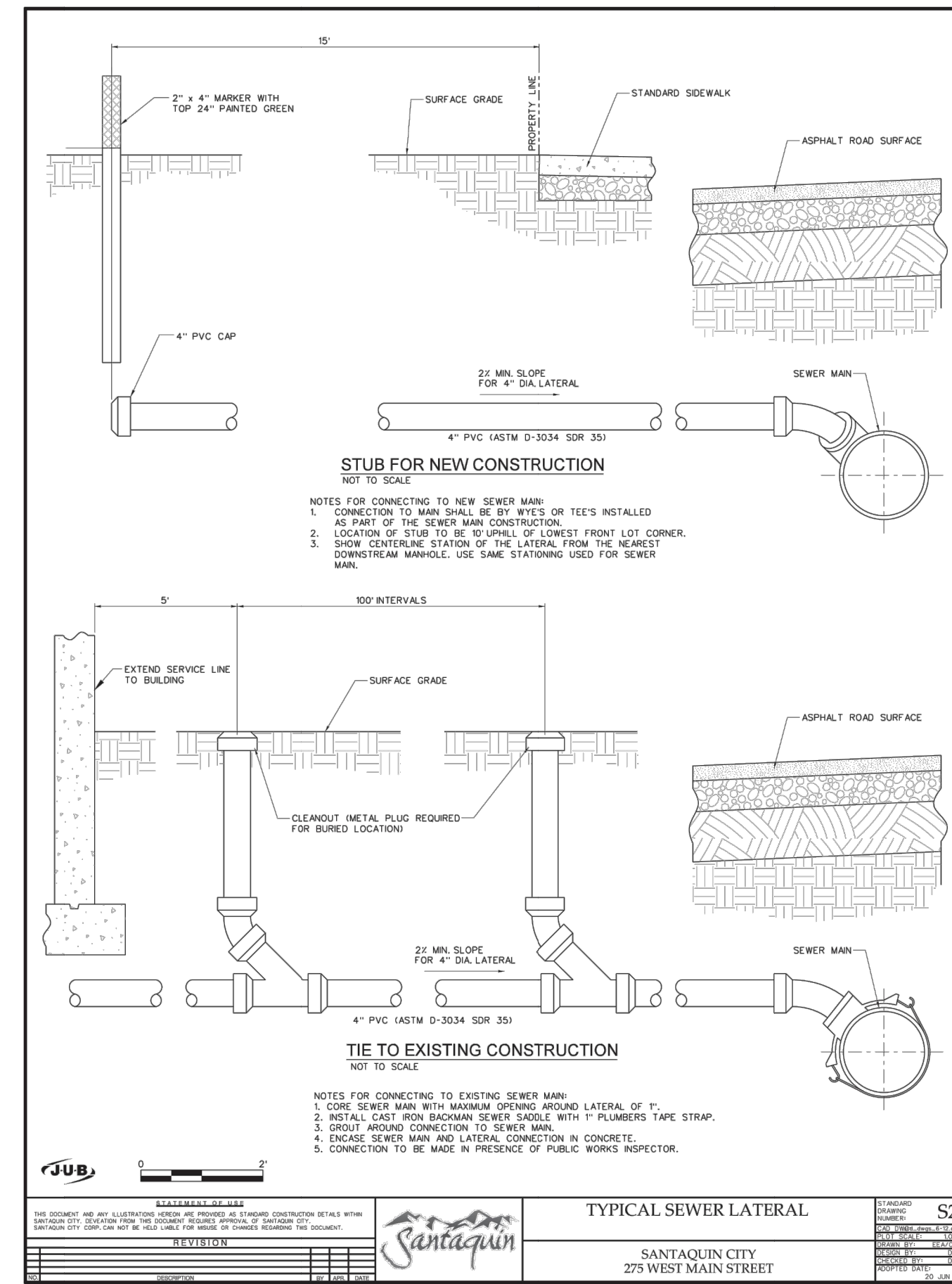
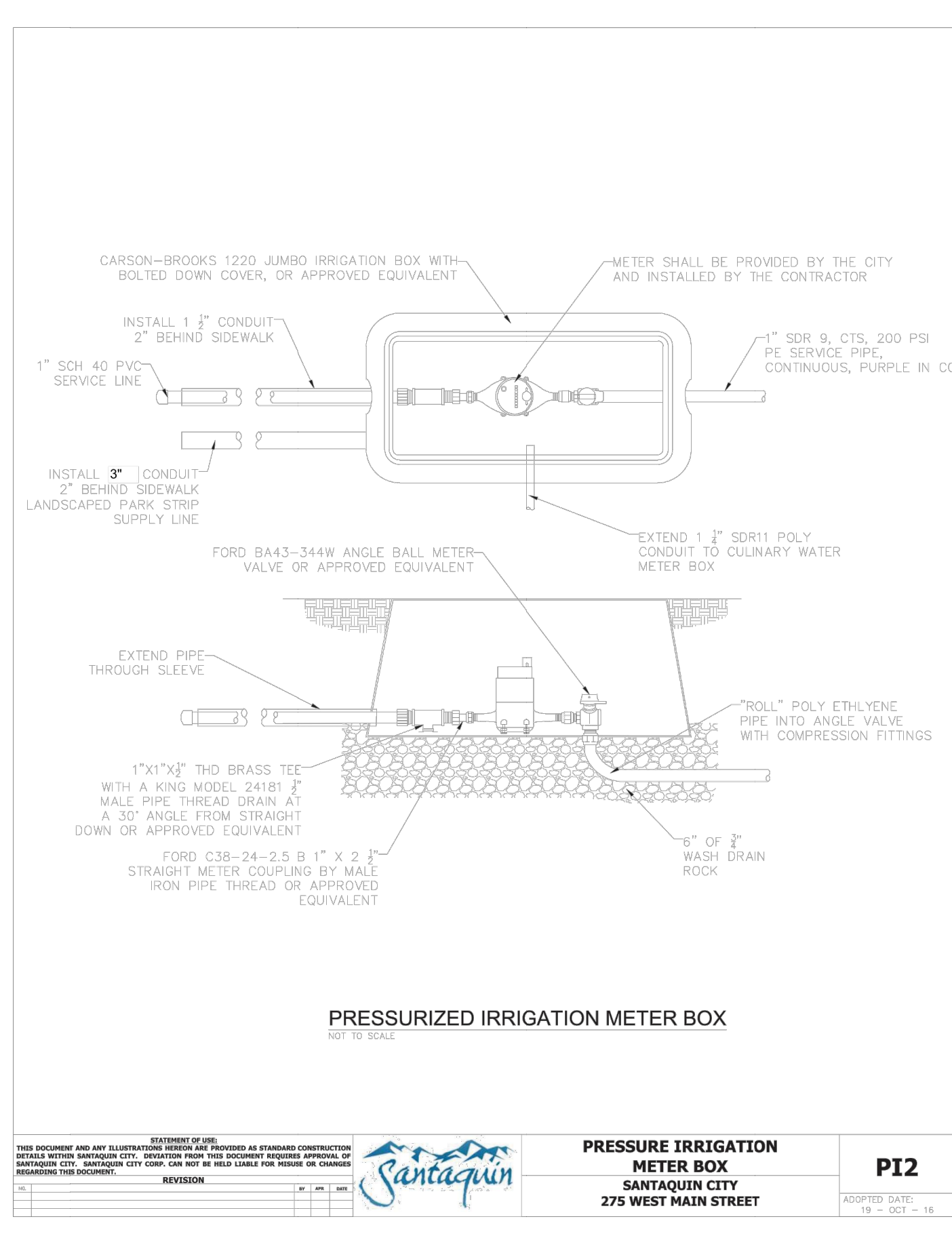
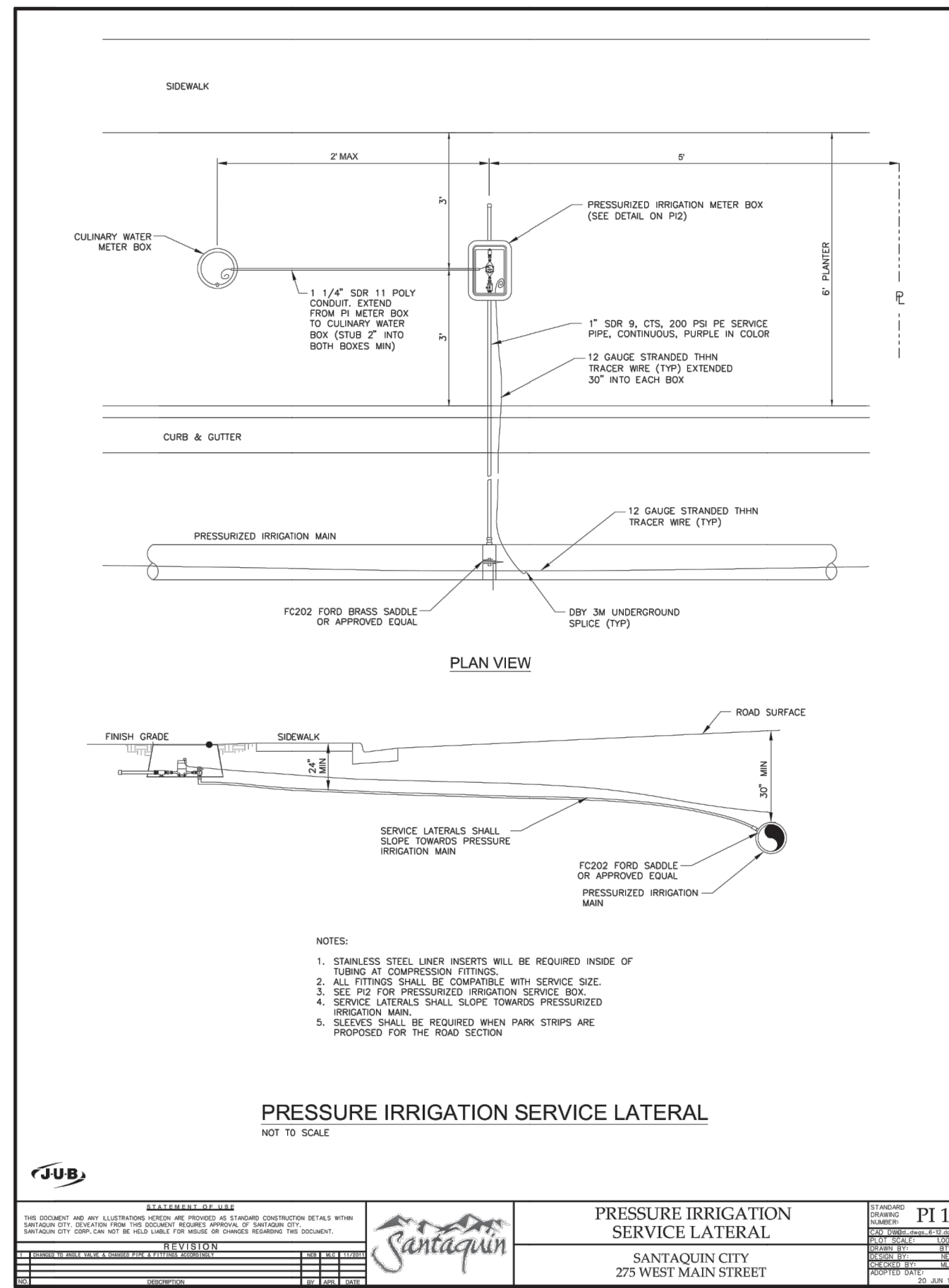
ADCOCK'S ACRE
GRADING & DRAINAGE PLAN

FOR: BART GIBB
LOCATION: SANTAQUIN, UT
DATE: 3-24-2022

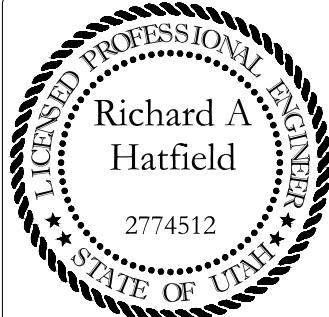
GRADING & DRAINAGE PLAN
SCALE: 1" = 20'

PRELIMINARY- NOT FOR CONSTRUCTION

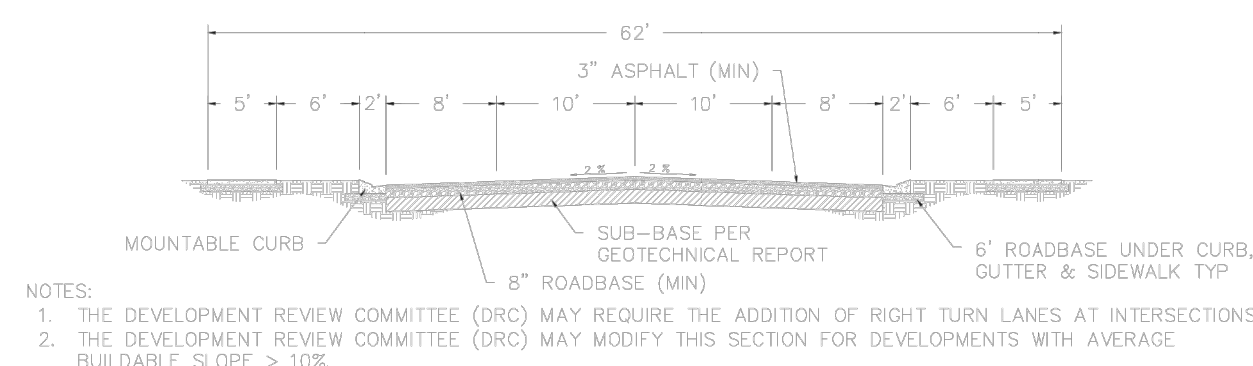
DRAWING: C-4



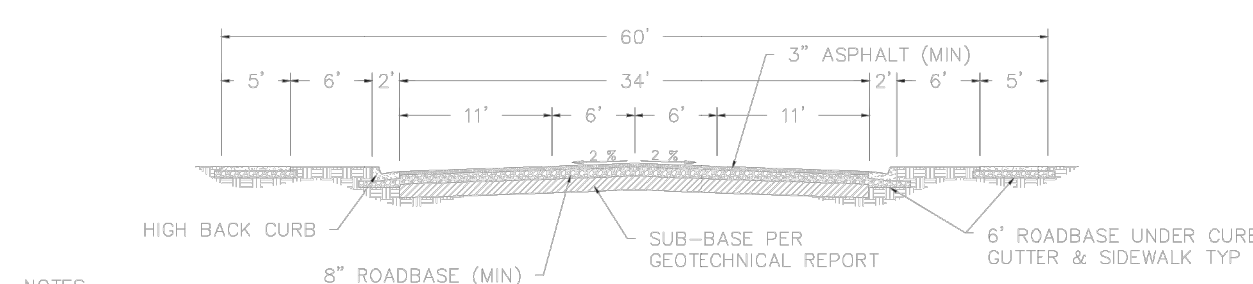
REVISIONS	DATE	BY	REMARKS



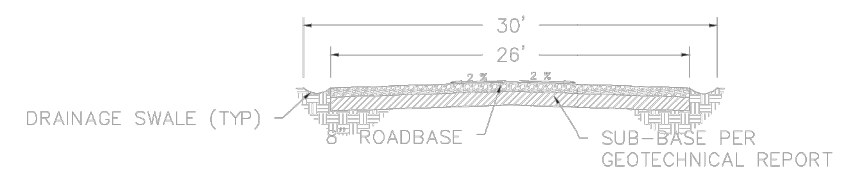
PRELIMINARY- NOT FOR CONSTRUCTION



**2-LANE/PARKING BOTH SIDES
62' MAJOR LOCAL**
NOT TO SCALE

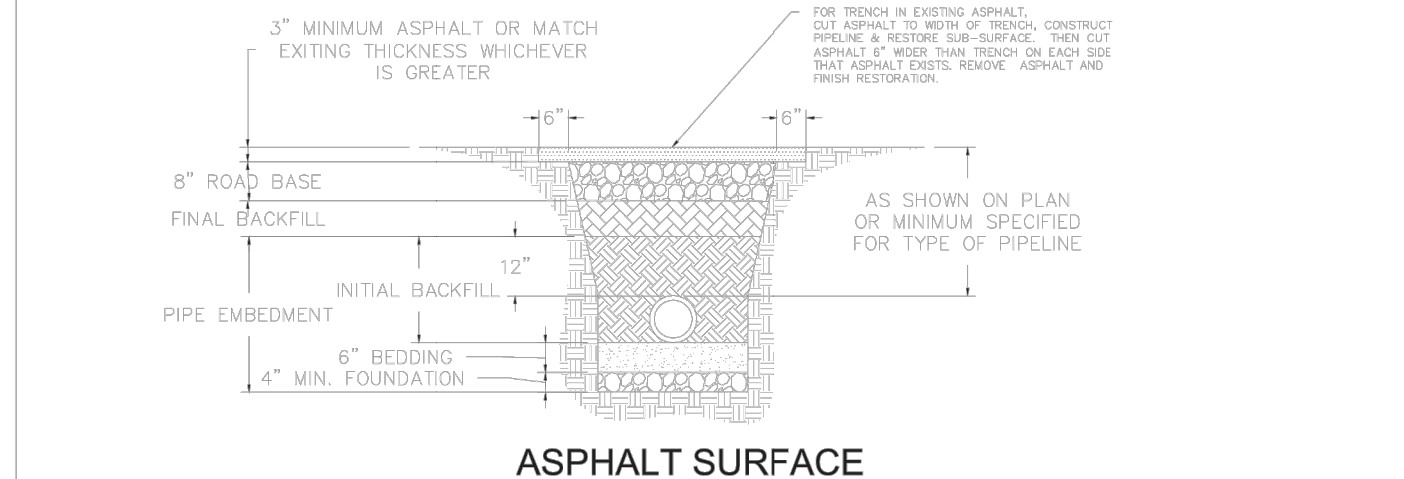


**3-LANE/NO PARKING
60' COLLECTOR**
NOT TO SCALE

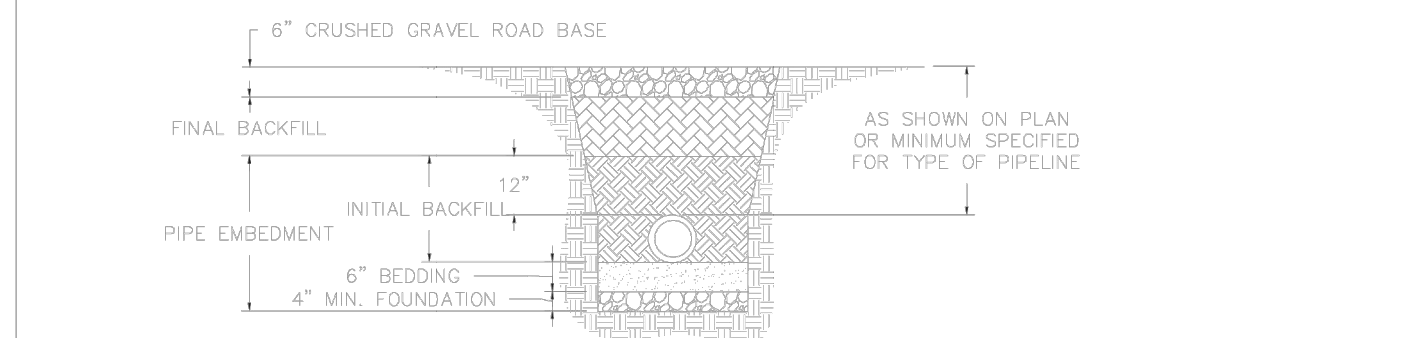


26' RURAL PRIVATE LANE CROSS SECTION
NOT TO SCALE

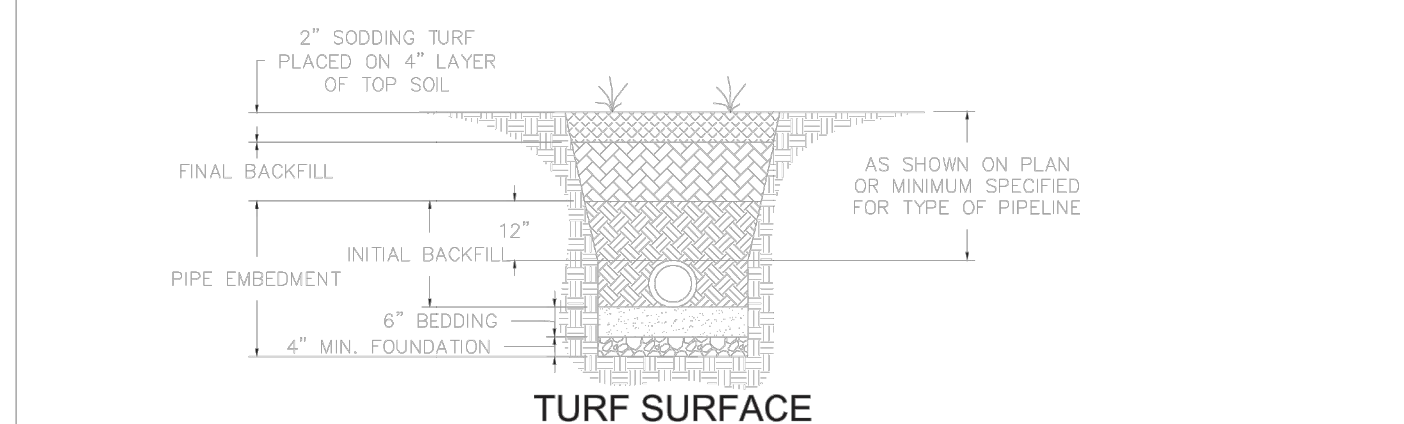
STATEMENT OF USE: THIS DOCUMENT AND ANY ILLUSTRATIONS HEREOF ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN SANTAQUIN CITY. SELECTION FROM THIS DOCUMENT REQUIRES APPROVAL OF SANTAQUIN CITY. SANTAQUIN CITY CANNOT BE HELD LIABLE FOR ERRORS OR OMISSIONS REGARDING THIS DOCUMENT.		STANDARD STREET CROSS SECTION SANTAQUIN CITY 275 WEST MAIN STREET	ST1 ADOPTED DATE: 19 - OCT - 18
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ASPHALT SURFACE



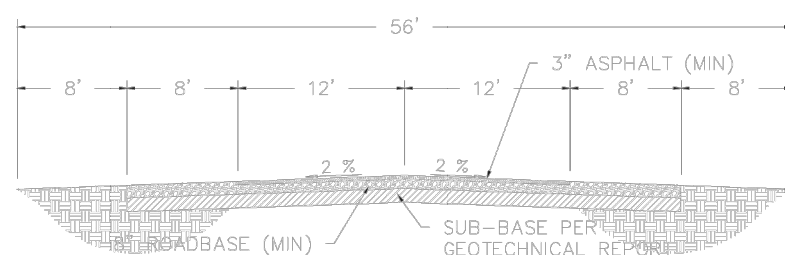
GRAVEL SURFACE



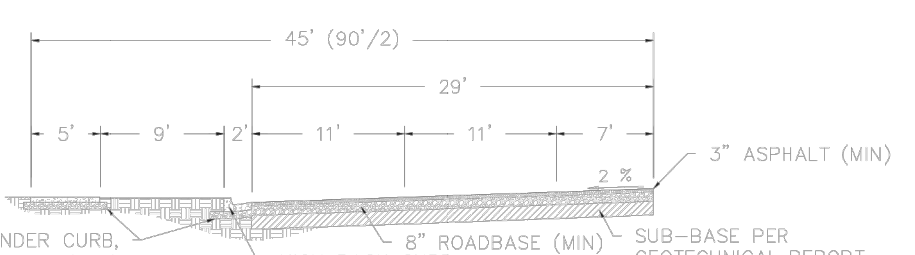
TURF SURFACE

1. SLOPE TRENCH SIDES TO MEET OSHA REQUIREMENTS (LATEST EDITION) OR USE TRENCH BOX.
2. FOUNDATION AND BEDDING MATERIAL AS REQUIRED. INSTALL PIPELINES ON STABLE FOUNDATION WITH UNIFORM BEARING FOR FULL LENGTH OF BARREL. EXCAVATE IN BEDDING FOR ALL PIPE JOINTS.

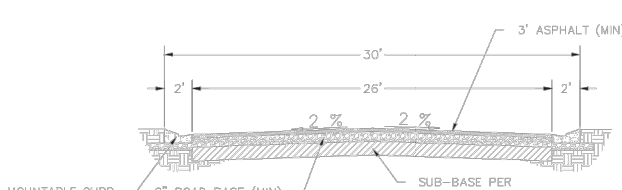
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55' RURAL LOCAL ROAD CROSS SECTION
NOT TO SCALE

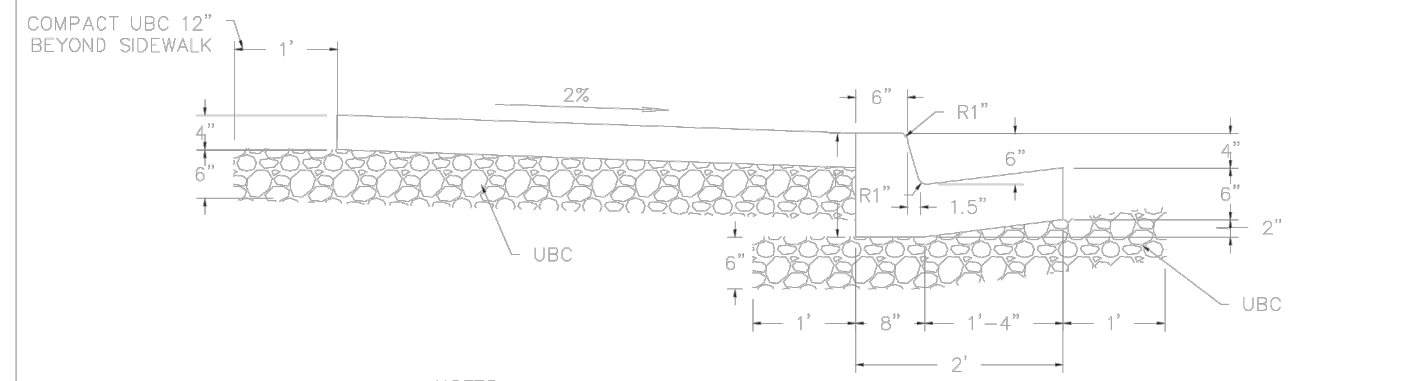


**5-LANE/NO PARKING
90' ARTERIAL**
NOT TO SCALE

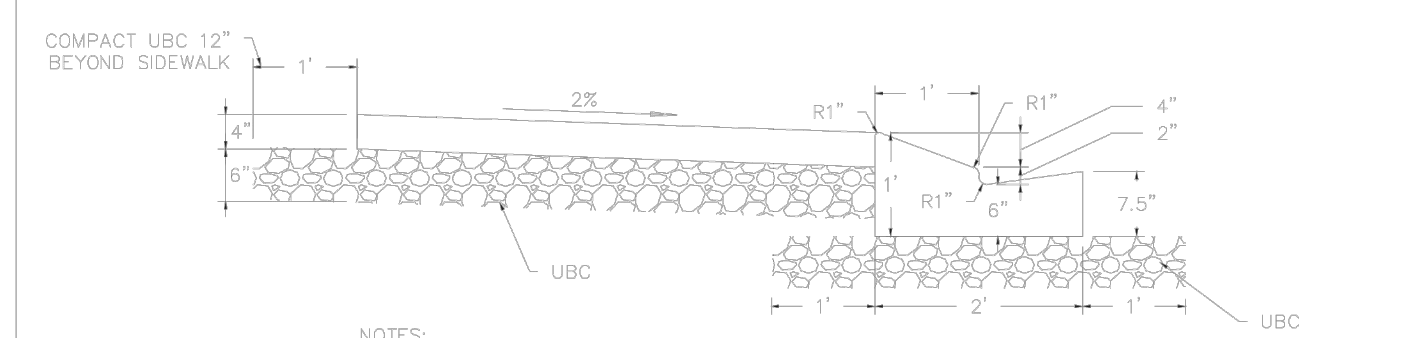


26' PRIVATE STREET CROSS SECTION
NOT TO SCALE

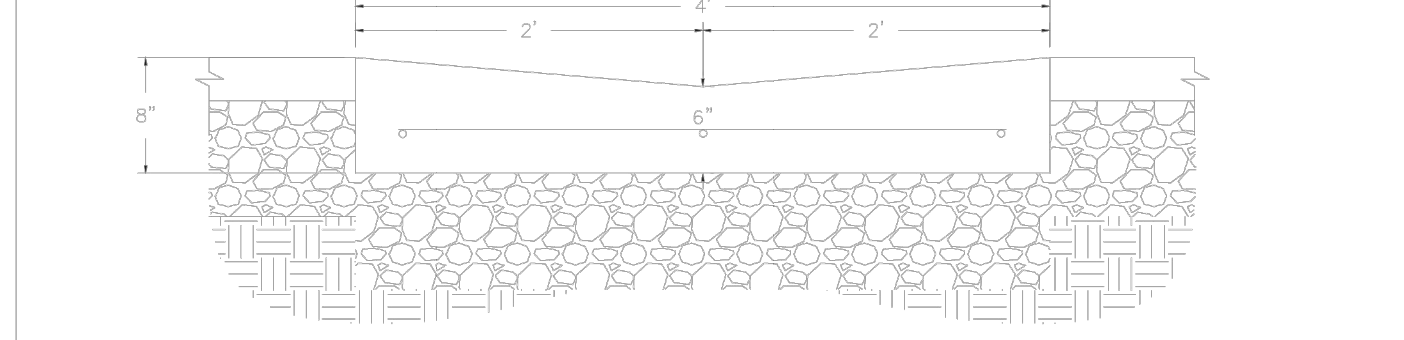
STATEMENT OF USE: THIS DOCUMENT AND ANY ILLUSTRATIONS HEREOF ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN SANTAQUIN CITY. SELECTION FROM THIS DOCUMENT REQUIRES APPROVAL OF SANTAQUIN CITY. SANTAQUIN CITY CANNOT BE HELD LIABLE FOR ERRORS OR OMISSIONS REGARDING THIS DOCUMENT.		STANDARD STREET CROSS SECTION SANTAQUIN CITY 275 WEST MAIN STREET	ST2 ADOPTED DATE: 19 - OCT - 18
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TYPICAL HIGH BACK CURB AND GUTTER



MODIFIED CURB AND GUTTER



CROSS GUTTER

STATEMENT OF USE: THIS DOCUMENT AND ANY ILLUSTRATIONS HEREOF ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN SANTAQUIN CITY. SELECTION FROM THIS DOCUMENT REQUIRES APPROVAL OF SANTAQUIN CITY. SANTAQUIN CITY CANNOT BE HELD LIABLE FOR ERRORS OR OMISSIONS REGARDING THIS DOCUMENT.		CURB & GUTTER AND CROSS GUTTER DETAILS SANTAQUIN CITY 275 WEST MAIN STREET	CG4 ADOPTED DATE: 19 - OCT - 18
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REVISIONS	DATE	BY	REMARKS



ADCOCK'S ACRE
DETAIL SHEET

FOR: BART GIBB

LOCATION: SANTAQUIN, UT

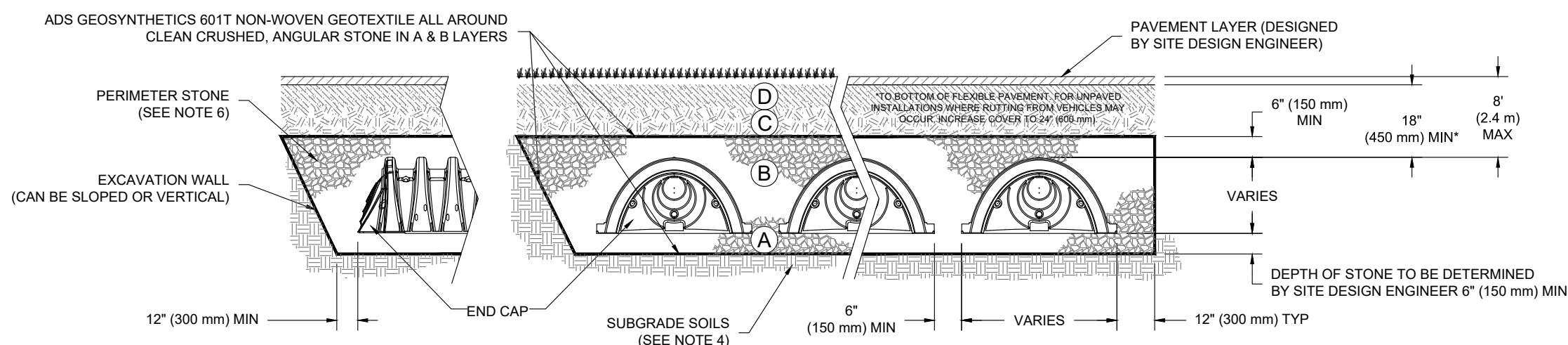
DATE: 3-24-2022

PRELIMINARY- NOT FOR CONSTRUCTION

ACCEPTABLE FILL MATERIALS: STORMTECH CHAMBER SYSTEMS

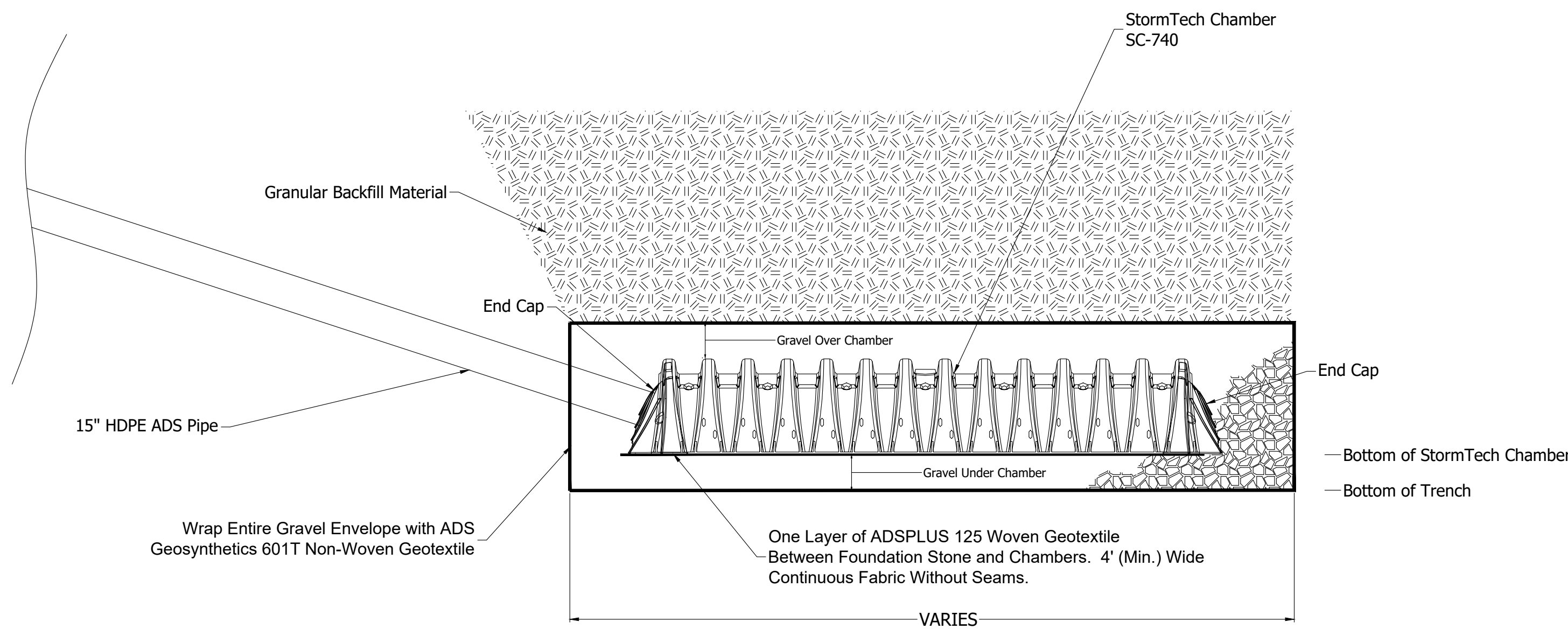
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145' A-1, A-2.4, A-3 OR AASHTO M43' 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43' 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43' 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. 2)

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE"
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

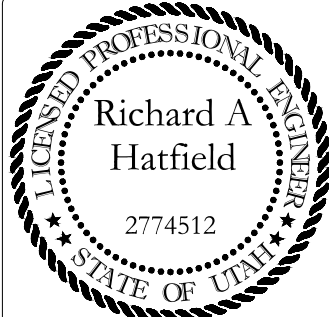
- CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"; OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



	Excavation Width (ft)	Excavation Length (ft)	Excavation Depth (ft)	Bottom of Trench Elevation	Model of Storm Tech	# of Units (Length)	# of Units (Width)	Length of Storm Tech (ft)	Gravel Above	Gravel Below
SD-1	7.00	47.00	7.00	4912.00	SC-740	6	1	~ 43	12"	12"

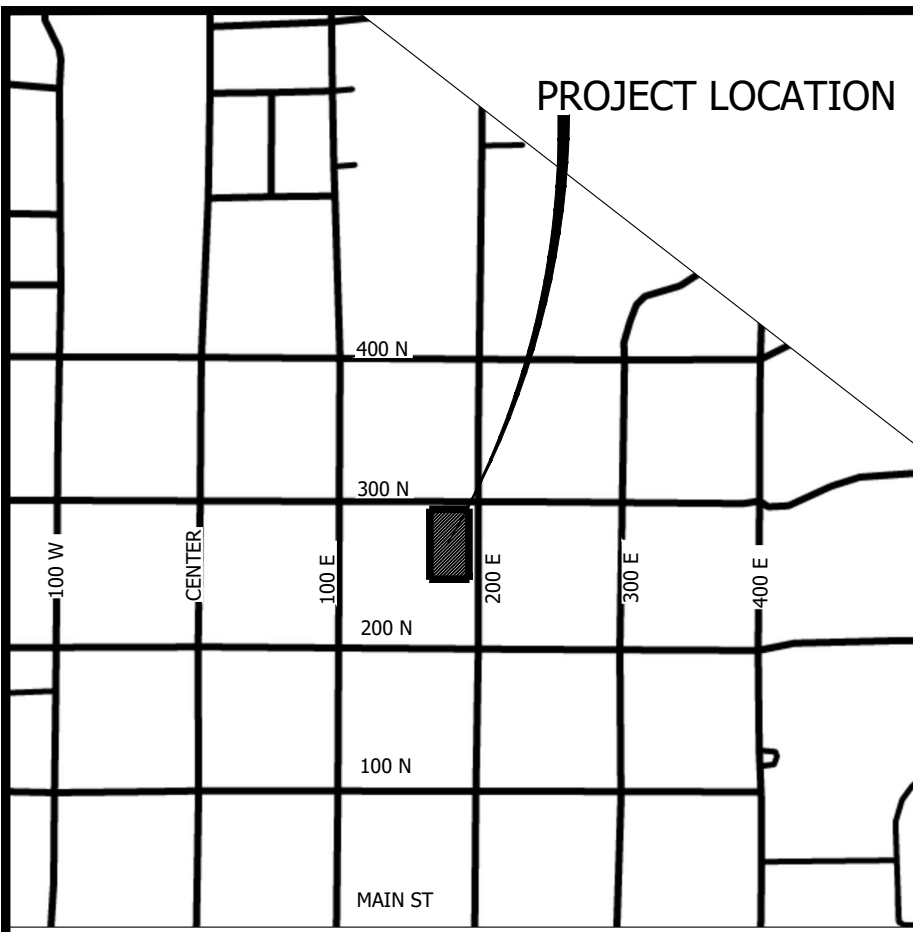


REVISIONS	REMARKS	DATE	BY



ADCOCK'S ACRE
 DETAIL SHEET
 LOCATION: SANTAQUIN, UT
 DATE: 3-24-2022
 FOR: BART GIBB

PRELIMINARY- NOT FOR CONSTRUCTION



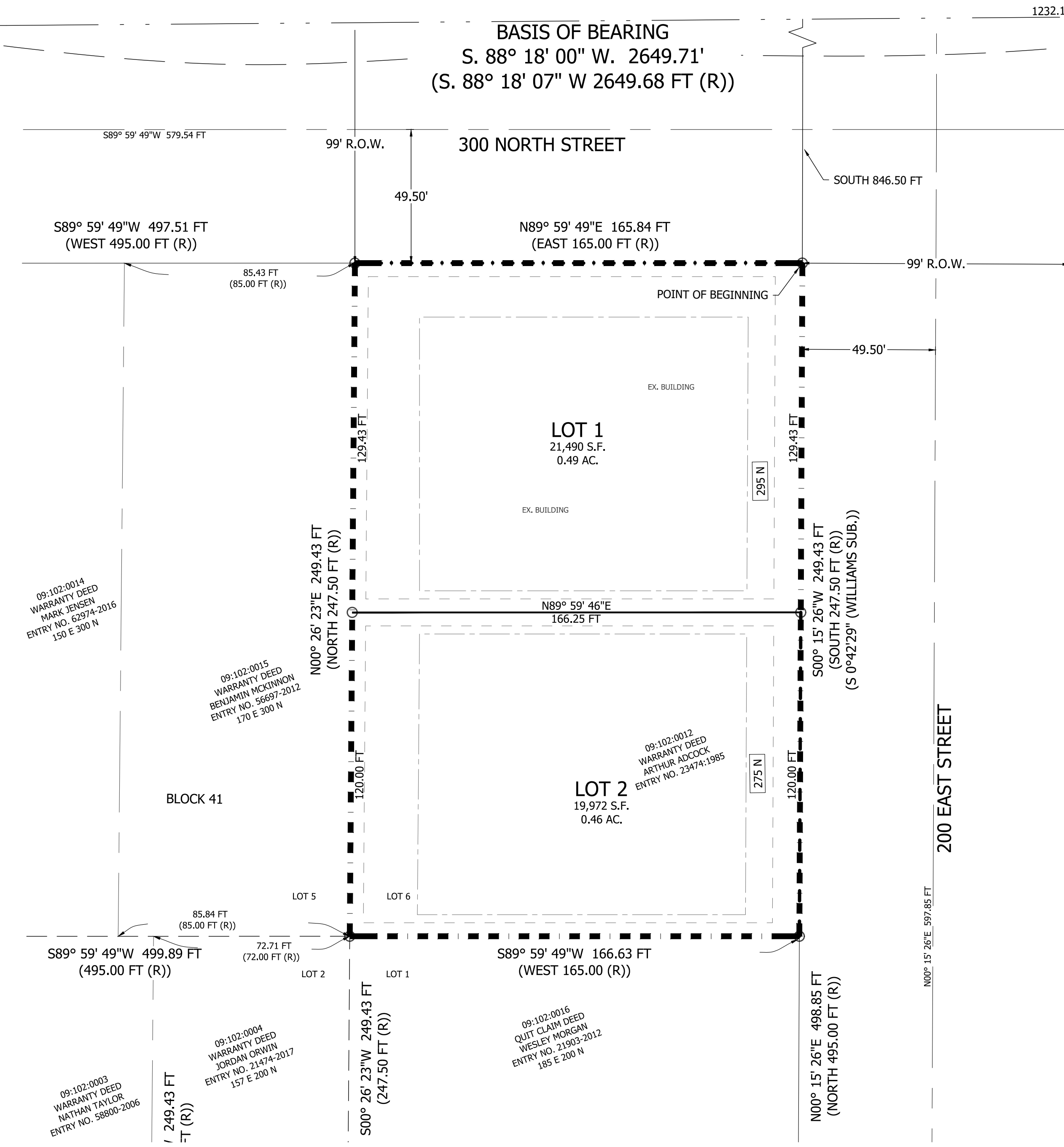
ADCOCK'S ACRE SUBDIVISION, PLAT "A"

NW 1/4 OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN

BLOCK 41, PLAT "B", SANTAQUIN TOWNSITE SURVEY, SANTAQUIN, UTAH COUNTY, UTAH STATE

FOUND NORTHWEST QUARTER CORNER, 3"
UNDER GROUND MARKING SECTION 1,
TOWNSHIP 10 S, RANGE 1 E, SLB&M

FOUND NORTH QUARTER CORNER, FLUSH
WITH ASPHALT MARKING SECTION 1,
TOWNSHIP 10 S, RANGE 1 E, SLB&M



09-102-0014
WARRANTY DEED
MARK JENSEN
ENTRY NO. 6374-2016
150 E 300 N

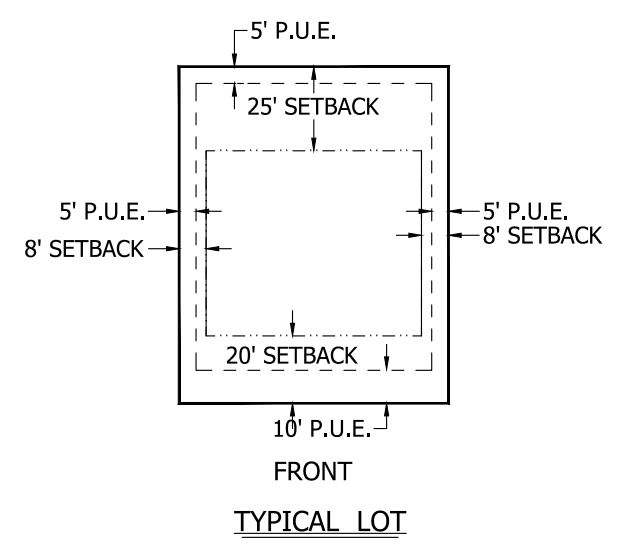
09-102-0015
WARRANTY DEED
BENJAMIN WICKHAM
ENTRY NO. 56697-2012
170 E 300 N

09-102-0012
WARRANTY DEED
ARTHUR ADCOCK
ENTRY NO. 23474-1985

09-102-0003
WARRANTY DEED
NATHAN TAYLOR
ENTRY NO. 58800-2006

09-102-0004
WARRANTY DEED
JORDAN GRWIN
ENTRY NO. 21474-2017
157 E 200 N

09-102-0016
QUIT CLAIM DEED
WESLEY MORGAN
ENTRY NO. 21903-2012
185 E 200 N



SETBACK AND EASEMENT DETAIL
ZONE R-8

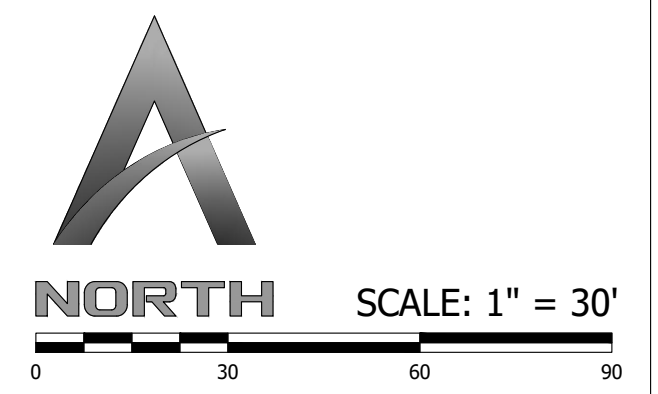
- LEGEND**
- SET 3/8" REBAR & PLASTIC CAP MARKED "APEX 10719099" OR AS NOTED
 - FOUND SURVEY MONUMENT
 - BOUNDARY LINE
 - - - PROPOSED PROPERTY LINE
 - EXISTING PROPERTY LINE
 - - - EASEMENT LINE
 - BUILDING SETBACK
 - ⊕ FOUND GOVERNMENT MONUMENT



ENGINEER
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EMAIL: RICHARDH@APEX20.COM

SURVEYOR:
SPENCER MCCUTCHEON, P.L.S.
APEX ENGINEERING INC.
TEL: 801-796-2277
EMAIL: SPENCERM@APEX20.COM

DEVELOPER:
BART GIBB
TEL: 801-836-0745
EMAIL: BARTGIBB@GMAIL.COM



PLOT DATE: 22 FEBRUARY 2022

UTILITIES APPROVAL

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE, AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MOUNTAIN POWER _____ DATE _____

CENTRACOM _____ DATE _____

CENTURYLINK ACCEPTANCE

CENTURYLINK SHALL HAVE THE RIGHT TO A FIVE FOOT NON-EXCLUSIVE UTILITY EASEMENT TO INSTALL, MAINTAIN AND OPERATE ITS EQUIPMENT ABOVE AND BELOW GROUND AS IDENTIFIED ON THE PLAT MAP AND AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES UPON RECORDING OF THE PLAT MAP. CENTURYLINK VACATES, TERMINATES, RELEASES AND DISCLAIMS ANY AND ALL EASEMENTS, RIGHTS-OF-WAY, AND ANY OTHER PROPERTY RIGHTS AND INTERESTS CENTURYLINK MAY OWN, HOLD, BENEFIT FROM, OR POSSESS IN RELATION TO THAT CERTAIN RIGHT OF WAY EASEMENT IN FAVOR OF THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY DATED JANUARY 8, 1929 AND RECORDED ON JANUARY 9, 1929, AS ENTRY NO. 215, IN BOOK 269, AT PAGE 468, TO THE EXTENT THAT SUCH RIGHT OF WAY EASEMENT PERTAINS TO OR EFFECTS ANY OF THE REAL PROPERTY THAT IS DESCRIBED ON AND IS SUBJECT TO THIS PLAT.

CENTURYLINK _____ DATE _____

DOMINION ENERGY ACCEPTANCE

DOMINION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THE DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION'S RIGHT OF WAY DEPARTMENT AT 1-800-366-5632.

APPROVED THIS _____ DAY OF _____, 20____

DOMINION ENERGY COMPANY

BY: _____

TITLE: _____

SURVEYOR'S CERTIFICATE

I, SPENCER J MCCUTCHEON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 10719099, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED THEREON, AND HAVE SUPERVISED A SURVEY OF THE PARCELS OF LAND REPRESENTED HEREON AND HAVE HAD STAKED ON THE GROUND THE BOUNDARY CORNERS AS SHOWN ON THIS PLAT.

(SEE SEAL BELOW)

BOUNDARY DESCRIPTION

ALL OF LOT 6, BLOCK 41, PLAT "B", SANTAQUIN TOWNSITE SURVEY.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREAFTER KNOWN AS ADCOCK'S ACRE SUBDIVISION PLAT "A", AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL ROADS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL NON EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENT SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY ANY OTHER EASEMENTS AS SHOWN ON THIS PLAT TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN HEREON. THIS DAY OF _____, 2022.

ARTHUR LEE ADCOCK, OWNER _____ DATE _____

SHERRY DIANE ADCOCK, OWNER _____ DATE _____

ACKNOWLEDGMENT

STATE OF UTAH §
COUNTY OF UTAH §

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, A.D. 2022, BY ARTHUR LEE ADCOCK AND SHERRY DIANE ADCOCK, HUSBAND AND WIFE, AS JOINT TENANT WITH FULL RIGHTS OF SURVIVORSHIP, AND HAS AUTHORITY TO EXECUTE THIS INSTRUMENT.

MY COMMISSION NUMBER: _____ MY COMMISSION EXPIRES: _____

SIGNED (TO NOTARY PUBLIC COMMISSIONED IN UTAH) _____ PRINTED FULL NAME OF NOTARY _____

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 2022 BY THE SANTAQUIN CITY PLANNING COMMISSION.

CHAIRPERSON, PLANNING COMMISSION _____ DATE _____

DIRECTOR-SECRETARY _____ DATE _____

**ADCOCK'S ACRE SUBDIVISION
PLAT "A"
A RESIDENTIAL SUBDIVISION**

NW 1/4 OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
BLOCK 41, PLAT "B", SANTAQUIN TOWNSITE SURVEY, SANTAQUIN, UTAH COUNTY, UTAH STATE

RECORDER SEAL _____ ENGINEER SEAL _____ SURVEYOR SEAL _____

PRELIMINARY

No. 10719099
Spencer J. McCutcheon
STATE OF UTAH

UTAH COUNTY RECORDING CERTIFICATE