



# LES SCHWAB TIRE CENTER CONSTRUCTION PLANS

## 98 N 500 E MAIN STREET SANTAQUIN, UTAH COUNTY, UTAH

### DEVELOPER/OWNER CONTACT

OWNER/DEVELOPER  
SFP-E, LLC  
GEORGE BUNTING  
PO BOX 5350  
20900 COOLEY RD.  
BEND, OR 97701

### UTILITY COMPANY

SANITARY SEWER  
JON LUNDELL  
CITY OF SANTAQUIN  
(801) 754-1974

GAS  
DAVE CHRISTENSEN  
DOMINION ENGERGY  
(801) 853-6586

WATER  
JON LUNDELL  
CITY OF SANTAQUIN  
(801) 754-1974

POWER  
ROCKY MOUNTAIN POWER  
(888) 221-7070

PHONE/CABLE  
CENTURYLINK  
(801) 974-8130

### LEGAL DESCRIPTION

LOT 10 OF RIDLEY'S SUBDIVISION, PLAT C, BEING A PART OF PARCEL A, RIDLEY'S SUBDIVISION RECORDED AS ENTRY NO. 111268:2020 AND AS MAP NO. 17189, OFFICIAL RECORDS OF UTAH COUNTY, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY IN SANTAQUIN, UTAH COUNTY, UTAH

### BASIS OF BEARINGS

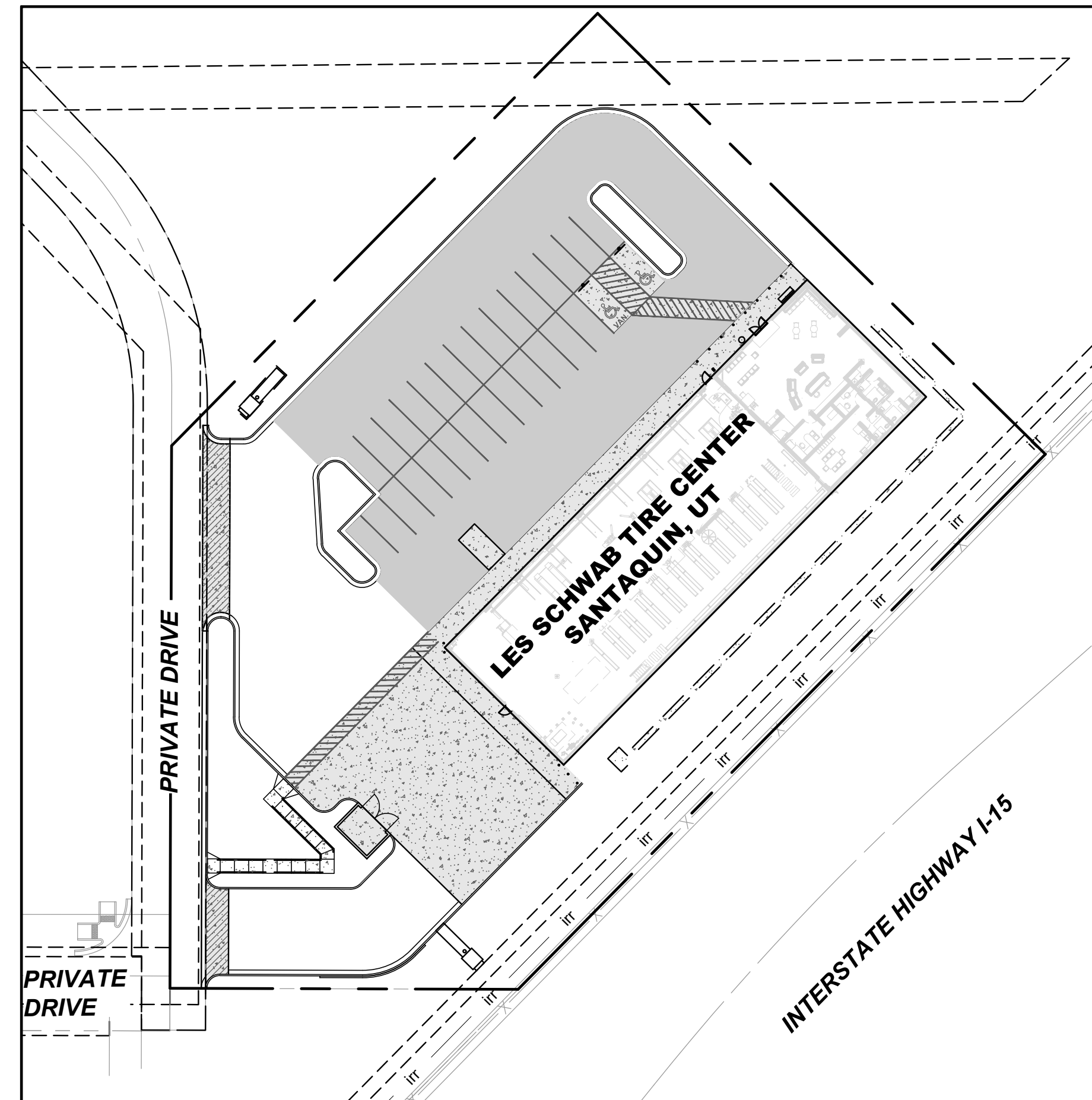
BASIS OF BEARING IS: A LINE BETWEEN MONUMENTS FOUND FOR NORTH QUARTER CORNER AND THE NORTHEAST CORNER OF SECTION 1 WAS ASSIGNED THE UCS BEARING OF NORTH 89°42'20" EAST.

### PROJECT ZONING

ZONING C-1: GENERAL COMMERCIAL



VICINITY MAP



SITE MAP  
1" = 40'  
NORTH

CIVIL SHEET INDEX	
Sheet Number	Sheet Title
C000	COVER SHEET
SHEET 1 OF 2	11277-0003-ALTA
SHEET 2 OF 2	11277-0003-ALTA
C001	GENERAL NOTES SHEET
C002	DEMOLITION PLAN
C010	INITIAL ESCP
C011	INTERMEDIATE/FINAL ESCP
C012	EROSION AND SEDIMENT CONTROL DETAILS
C100	SITE PLAN
C200	GRADING AND DRAINAGE PLAN
C300	OVERALL UTILITY PLAN
C400	CIVIL DETAILS
C401	CIVIL DETAILS
C402	CIVIL DETAILS

ARCHITECT  
CUSHING TERRELL  
CORY NELSON  
800 W MAIN ST. STE 800  
BOISE, ID 83702  
(208) 336-4900

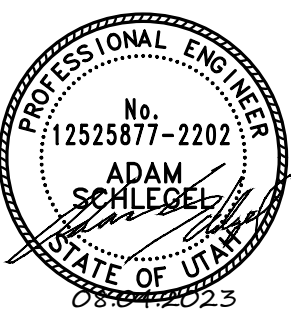
CIVIL ENGINEER  
CUSHING TERRELL  
ADAM SCHLEGEL, PE  
411 E MAIN STREET SUITE 101  
BOZEMAN, MT 59715  
(406) 922-7111

ELECTRICAL ENGINEER  
CUSHING TERRELL  
MIKE BECLINGER, PE  
800 W MAIN ST. STE 800  
BOISE, ID 83702  
(208) 577-5618

LANDSCAPE ARCHITECT  
CUSHING TERRELL  
ANGELA HANSEN  
800 W MAIN ST. STE 800  
BOISE, ID 83702  
(208) 577-5618

GEOTECHNICAL ENGINEER  
GORDON GEOTECHNICAL, INC  
4428 SOUTH CENTURY DRIVE  
SUITE 100  
SALT LAKE CITY, UT 84123  
(801) 327-9600

98 N 500 E MAIN STREET  
SANTAQUIN, UT 84655  
**LES SCHWAB TIRE CENTER - SANTAQUIN, UT**



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PERMIT SET

2023.08.04  
PROJECT #LSUT\_21SANTA  
DRAWN BY | MOODRY  
CHECKED BY | SCHLEGEL  
REVISIONS



COVER SHEET

C000





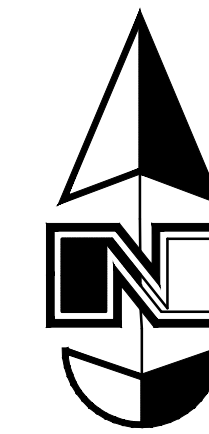


Basis of Bearings  
N 89°42'20" E UCS

2654.61' measured

36  
31  
1  
6

North East Corner Section 1,  
T10S, R1E, SL&M, U.S. Survey  
(Found Brass Cap Monument)



Scale: 1" = 20'



North Quarter Corner Section 1,  
T10S, R1E, SL&M, U.S. Survey  
Benchmark Elevation = 4876.80 feet

Street

East

East

400

(Public Street)

South Quarter Corner Section 1,  
T10S, R1E, SL&M, U.S. Survey  
(Found Brass Cap Monument)

Ridley's Subdivision  
Remainder Parcel A  
CJM Limited Liability Limited Partnership  
51:649:0009

Lot 10  
64,225 sq. ft.  
or 1.474 acre

No Buildings or  
Improved Parking Stalls

CJM Limited Liability  
Limited Partnership  
51:761:0011  
Ridley's  
Subdivision,  
Plat C  
Lot 11

Ridley's Subdivision, Plat B  
Lot 9

CJM Limited Liability  
Limited Partnership  
51:717:0009

Legend

- Property Line
- - - Easement Line
- - - Adjoiner Line
- - - Overhead Power
- - - Telephone Line
- - - Fence Line
- - - Section Line
- - - Fiber Optic Line
- ◆ Section Corner
- CB Catch Basin
- PP Power Pole Sign
- Asphalt
- Concrete
- Contour

Designed by: DH  
Drafted by: TC  
Client Name:  
Les Schwab

22-192as

2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-8529 - ANMAEngineering.net

ALTA / NSPS Land Title Survey  
**Les Schwab Santaquin**  
98 North 500 East  
Santaquin City, Utah County, Utah  
A Part of the Northeast Quarter of Section 1, T10S, R1E, SL&M, U.S. Survey

DATE OF SURVEY  
6 Dec, 2023

4 Dec, 2023

SHEET NO.  
**2**

of 2



## ABBREVIATIONS

@	AT	LT	LEFT
AB	ABANDONED	MEG	MATCH EXISTING GRADE
AHJ	AUTHORITIES HAVING JURISDICTION	MH	MANHOLE
APPROX	APPROXIMATE	MTR	METER
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS	NTS	NOT TO SCALE
BC	BACK OF CURB	OC	ON CENTER
BCR	BACK OF CURB RADIUS	OH, OHP	OVERHEAD, OVERHEAD POWER
BM	BENCHMARK	OHU	OVERHEAD UTILITIES
BOT	BOTTOM	PB	PULL BOX
BP	BURIED POWER	PC	POINT OF CURVATURE
BT	BURIED TELEPHONE	PIP	PROTECT IN PLACE
BW	BOTTOM OF WALL	PL	PROPERTY LINE
C&G	CURB & GUTTER	PP	POWER POLE
CATV, TV	CABLE TELEVISION	PRC	POINT OF REVERSE CURVE
CI	CAST IRON	PT	POINT OF TANGENCY
CIPP	CURED IN PLACE PIPE	PVC	POLYVINYL CHLORIDE PIPE
CL	CENTERLINE	RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE	RIM	RIM OF MANHOLE LID OR GRATE
CO	CLEANOUT	ROW	RIGHT OF WAY
D, DIA	DIAMETER	SF	SQUARE FOOT, SQUARE FEET
DG	DECOMPOSED GRANITE	SP	SPECIAL PROVISIONS
DI	DUCTILE IRON	SS	SANITARY SEWER
DIP	DUCTILE IRON PIPE	SSMH	SANITARY SEWER MANHOLE
DOM	DOMESTIC WATER	ST	STORM DRAIN
DW	DRIVEWAY	STA	STATION
DWG	DRAWING	STCB	STORM CATCH BASIN
EG	EXISTING GRADE	STCI	STORM CURB INLET
ELEC, E	ELECTRIC	STD	STANDARD
EL, ELEV	ELEVATION	STMH	STORM MANHOLE
EOP, EP	EDGE OF PAVEMENT	STYD	STORM YARD DRAIN
ESCP	EROSION AND SEDIMENT CONTROL PLAN	SW	SIDEWALK
EX	EXISTING	SWPPP	STORMWATER POLLUTION PREVENTION PLAN
FC	FACE OF CURB	SY	SQUARE YARD
FG	FINISHED GRADE	T, TEL	TELEPHONE
FH, HYD	FIRE HYDRANT	TA	TOP OF ASPHALT
FL	FLOW LINE	TBC	TOP BACK OF CURB
FT	FOOT, FEET	TC	TOP OF CONCRETE
G	GAS	TEMP	TEMPORARY
GM	GAS METER	TRANS	TRANSITION
GV	GAS VALVE	TW	TOP OF WALL
GW	GUY WIRE	TYP	TYPICAL
HP	HIGH PRESSURE	VCP	VITRIFIED CLAY PIPE
IE	INVERT ELEVATION	WM	WATER MAIN
INT	INTERSECTION	WV	WATER VALVE
IRR	IRRIGATION	W/	WITH
L	LENGTH	Δ	DELTA
LS	LINEAL FOOT, LINEAR FEET		
	LANDSCAPING		

## LEGEND

EXISTING	PROPOSED	
		ASPHALT
		CONCRETE
		HEAVY DUTY CONCRETE
		REINFORCED CONCRETE
		GRAVEL
		LANDSCAPE
		LANDSCAPE
		WATER MAIN
		FIRE SERVICE
		DOMESTIC WATER SERVICE
		STORM DRAIN
		SANITARY SEWER
		BURIED POWER
		OVERHEAD POWER
		BURIED TELEPHONE
		BURIED GAS
		BURIED FIBER OPTIC
		FENCE - CHAINLINK
		FENCE - WOODEN
		FENCE - BARBED WIRE
		BUILDING
		BUILDING ROOF OVERHANG
		VERTICAL CURB
		CURB AND GUTTER
		CURB AND GUTTER - CATCH
		CURB AND GUTTER - SPILL
		VEGETATION EXTENTS
		PROPERTY LINE - SUBJECT
		PROPERTY LINE - ADJACENT
		EASEMENT
		CONTROL POINT
		FOUND PROPERTY CORNER AS NOTED
		FIRE HYDRANT/ CONTROL POINT HYDRANT
		WATER VALVE
		WATER SHUTOFF
		WATER WELL
		STORM DRAIN MANHOLE
		STORM DRAIN INLET STRUCTURE
		STORM DRAIN CURB INLET
		STORM DRAIN OUTLET STRUCTURE
		STORM DRAIN ROOF DOWNSPOUT
		STORM DRAIN CLEANOUT
		SANITARY SEWER MANHOLE
		SANITARY SEWER CLEANOUT
		UTILITY POLE
		GUY WIRE
		LIGHT POLE (ONE LIGHT AND DIRECTION)
		LIGHT POLE
		TRANSFORMER
		POWER METER OR POWER HANDHOLE
		GAS METER
		TELEPHONE PEDESTAL
		IRRIGATION CONTROL VALVE
		POLE SIGN AND DOUBLE POLE SIGN
		BOLLARD (OR AS NOTED)
		PARKING STALL COUNT
		DECIDUOUS TREE
		CONIFEROUS TREE
		BUSH

NOTE: ALL EXISTING LAYERS SUBJECT TO DEMOLITION TO BE SHOWN DARKER THAN INDICATED IN THIS LEGEND.

## GENERAL NOTES

- ALL WORK, MATERIALS AND DETAILS PERTAINING TO CONSTRUCTION SHALL BE IN COMPLETE ACCORDANCE WITH THE CITY OF SANTAQUIN STANDARDS AND DETAILS. PROJECT SPECIFICATIONS, AND ALL OTHER GOVERNING AGENCIES' STANDARDS. REFER TO THE PROJECT SPECIFICATIONS FOR COMPLETE WORK COVERAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR STORM WATER QUALITY DURING CONSTRUCTION. CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL CURRENT REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES), AND LOCAL MSA REQUIREMENTS WHERE APPLICABLE. THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION AND MAINTENANCE OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THROUGHOUT THE DURATION OF THE PROJECT.
- THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES, PUBLIC AND PRIVATE, AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL CONTROL DUST IN ACCORDANCE WITH REGULATIONS OF LOCAL AIR POLLUTION CONTROL AUTHORITY.
- CONTRACTOR TO PROTECT ALL EXISTING UTILITIES, SIGNS AND EXISTING STRUCTURES. THE CONTRACTOR IS RESPONSIBLE TO REPAIR BACK TO ORIGINAL OR BETTER CONDITION IF DAMAGE HAS OCCURRED DURING CONSTRUCTION.
- CONTRACTOR SHALL REVIEW EXISTING CONDITIONS AND COORDINATE WITH OWNER, CITY OF SANTAQUIN, AND ENGINEER / ARCHITECT PRIOR TO DEMOLITION ACTIVITIES.
- TRAFFIC, BOTH VEHICULAR AND PEDESTRIAN SHALL BE PROTECTED BY EFFECTIVE BARRICADES AND SIGNS IN ACCORDANCE WITH CITY OF SANTAQUIN GUIDANCE. EFFECTIVE LIGHTING OF OBSTRUCTIONS SHALL BE PROVIDED AT NIGHT.
- OWNER WILL SECURE ALL NECESSARY UTILITY PERMITS REQUIRED FOR THE COMPLETION OF THE PROJECT. CONTRACTOR SHALL PERFORM ALL WORK IN STRICT ACCORDANCE WITH PERMIT REQUIREMENTS.
- UNLESS OTHERWISE INDICATED, ALL CONSTRUCTION STAKING SHALL BE PERFORMED UNDER THE RESPONSIBLE CHARGE OF A UTAH LICENSED LAND SURVEYOR.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF APPROVED DRAWINGS ON THE CONSTRUCTION SITE AT ALL TIMES. ANY APPROVED DEVIATIONS IN CONSTRUCTION FROM THE APPROVED DRAWINGS SHALL BE NOTED ON THIS SET. THE LOCATION AND DEPTH OF ALL UTILITIES ENCOUNTERED SHALL BE RECORDED AND KEPT UP TO DATE AT ALL TIMES AND AVAILABLE FOR INSPECTION BY THE OWNER'S REPRESENTATIVE UPON REQUEST. FAILURE TO COMPLY MAY RESULT IN DELAY IN PAYMENT AND/OR FINAL ACCEPTANCE OF THE PROJECT.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A CLEAN SET OF FIELD DRAWINGS CONTAINING ALL AS-BUILT INFORMATION TO THE ENGINEER. *(Only if required in contract with owner)*
- IF WITHIN ONE YEAR OF THE FINAL ACCEPTANCE BY THE OWNER, ANY WORK IS FOUND TO BE DEFECTIVE OR NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND/OR DRAWINGS, AND UPON WRITTEN NOTICE FROM THE ENGINEER OR OWNER, THE CONTRACTOR SHALL CORRECT ANY WORK BEGINNING WITHIN SEVEN (7) CALENDAR DAYS OF RECEIPT OF NOTICE. SHOULD THE CONTRACTOR FAIL TO RESPOND TO THE WRITTEN NOTICE, THE OWNER MAY CORRECT THE WORK AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING AND/OR EXPORTING ALL MATERIAL AS REQUIRED TO PROPERLY GRADE THIS SITE TO THE FINISHED ELEVATIONS SHOWN HEREON AS WELL AS THE LEGAL DISPOSAL OF WASTE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL SITE WORK WITH ALL OTHER TRADES.
- SAFETY - NEITHER THE OWNER NOR THE ENGINEER WILL BE RESPONSIBLE FOR COMPLIANCE WITH SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
- ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- THE CONTRACTOR IS RESPONSIBLE TO CALL 1-800-424-5555 (OR 811) AT LEAST 2 WORKING DAYS PRIOR TO ANY EARTH DISTURBING ACTIVITIES OR UTILITY EXCAVATIONS.

## SHOP AND FABRICATION NOTES

- THE CONTRACTOR SHALL PREPARE AND SUBMIT FABRICATION DRAWINGS, DESIGN MIX INFORMATION, MATERIAL TESTING COMPLIANCE DATA, AND ANY OTHER PERTINENT DATA TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF MATERIALS. FOLLOWING REVIEW, THE CONTRACTOR SHALL RESUBMIT COPIES OF ANY DRAWINGS WHICH REQUIRE REVISION OR CORRECTIONS.
- ANY REVIEW BY THE ENGINEER WILL NOT RELIEVE THE CONTRACTOR FOR RESPONSIBILITY FOR ERRORS OR OMISSIONS, OR SCHEDULE REQUIREMENTS. THE CONTRACTOR SHALL REMAIN SOLELY RESPONSIBLE FOR FULL AND COMPLETE PERFORMANCE IN ACCORDANCE WITH THE TERMS, CONDITIONS, PROVISIONS, DRAWINGS, AND SPECIFICATIONS.

## ACCESS NOTES

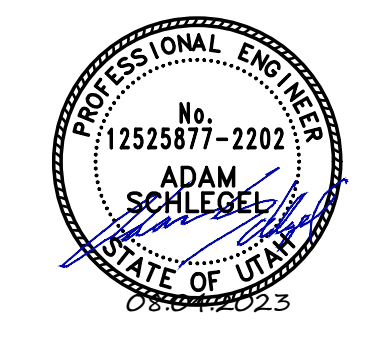
- CONTRACTOR SHALL COORDINATE ACCESS, STAGING AND STOCKPILE LOCATIONS WITH OWNER.
- CONTRACTOR SHALL RESTORE DISTURBED AREAS TO PRE-CONSTRUCTION OR BETTER CONDITIONS.

## EXISTING UTILITY NOTES

- EXISTING UNDERGROUND INSTALLATIONS AND PUBLIC UTILITIES SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER AND DEPICTED ON THESE PLANS TO A LEVEL OF QUALITY IN ACCORDANCE WITH ASCE 38-02.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING AND VERIFYING MATERIAL TYPES OF ALL EXISTING UTILITY INSTALLATIONS ABOVE AND BELOW GROUND IN ADVANCE OF THE PROJECT BY CONTACTING THEIR RESPECTIVE OWNERS. ALL COSTS RELATED TO LOCATING EXISTING UTILITIES ARE INCIDENTAL AND SHALL NOT BE PAID SEPARATELY. NOT ALL UTILITIES ARE IDENTIFIED ON THE PLANS. NOTIFY ENGINEER OF POTENTIAL CONFLICTS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY OF SANTAQUIN A MINIMUM OF 5 BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION.

## GEOTECHNICAL REPORT

- ALL GEOTECHNICAL RECOMMENDATIONS ARE TAKEN FROM THE REPORT TITLED "GEOTECHNICAL STUDY PROPOSED LES SCHWAB TIRE CENTER, APPROXIMATELY 500 EAST MAIN STREET, SANTAQUIN, UTAH" BY GORDON GEOTECHNICAL ENGINEERING, INC. DATED 12/14/2022.
- ALL REFERENCES MADE TO THE GEOTECHNICAL REPORT IN THIS PLAN SET SHALL CONSULT THE AFOREMENTIONED REPORT.



## PERMIT SET

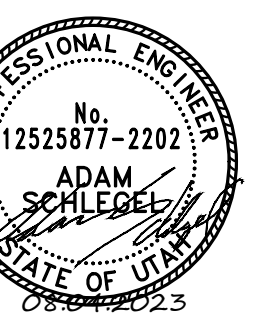
2023.08.04  
PROJECT #|LSUT\_21SANTA  
DRAWN BY | MOODRY  
CHECKED BY | SCHLEGEL  
REVISIONS



## GENERAL NOTES

C001





**PROJECT CONDITIONS**

- STRUCTURES TO BE DEMOLISHED WILL BE DISCONTINUED IN USE AND VACATED PRIOR TO THE START OF WORK.
- THE OWNER ASSUMES NO RESPONSIBILITY FOR CONDITION OF STRUCTURES TO BE DEMOLISHED.
- CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER AS PRACTICABLE. VARIATIONS WITHIN STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK. UNLESS OTHERWISE INDICATED IN CONTRACT DOCUMENTS OR SPECIFIED BY THE OWNER, ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR SHALL BE REMOVED FROM SITE AND STRUCTURES. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED AND SHALL NOT INTERFERE WITH OTHER WORK SPECIFIED IN CONTRACT DOCUMENTS.
- EXPLOSIVES SHALL NOT BE BROUGHT TO SITE OR USED WITHOUT WRITTEN CONSENT OF AUTHORITIES HAVING JURISDICTION. SUCH WRITTEN CONSENT WILL NOT RELIEVE CONTRACTOR OF TOTAL RESPONSIBILITY FOR INJURY TO PERSONS OR FOR DAMAGE TO PROPERTY DUE TO BLASTING OPERATIONS. PERFORMANCE OF REQUIRED BLASTING SHALL COMPLY WITH GOVERNING REGULATIONS.

**SITE PREPARATION**

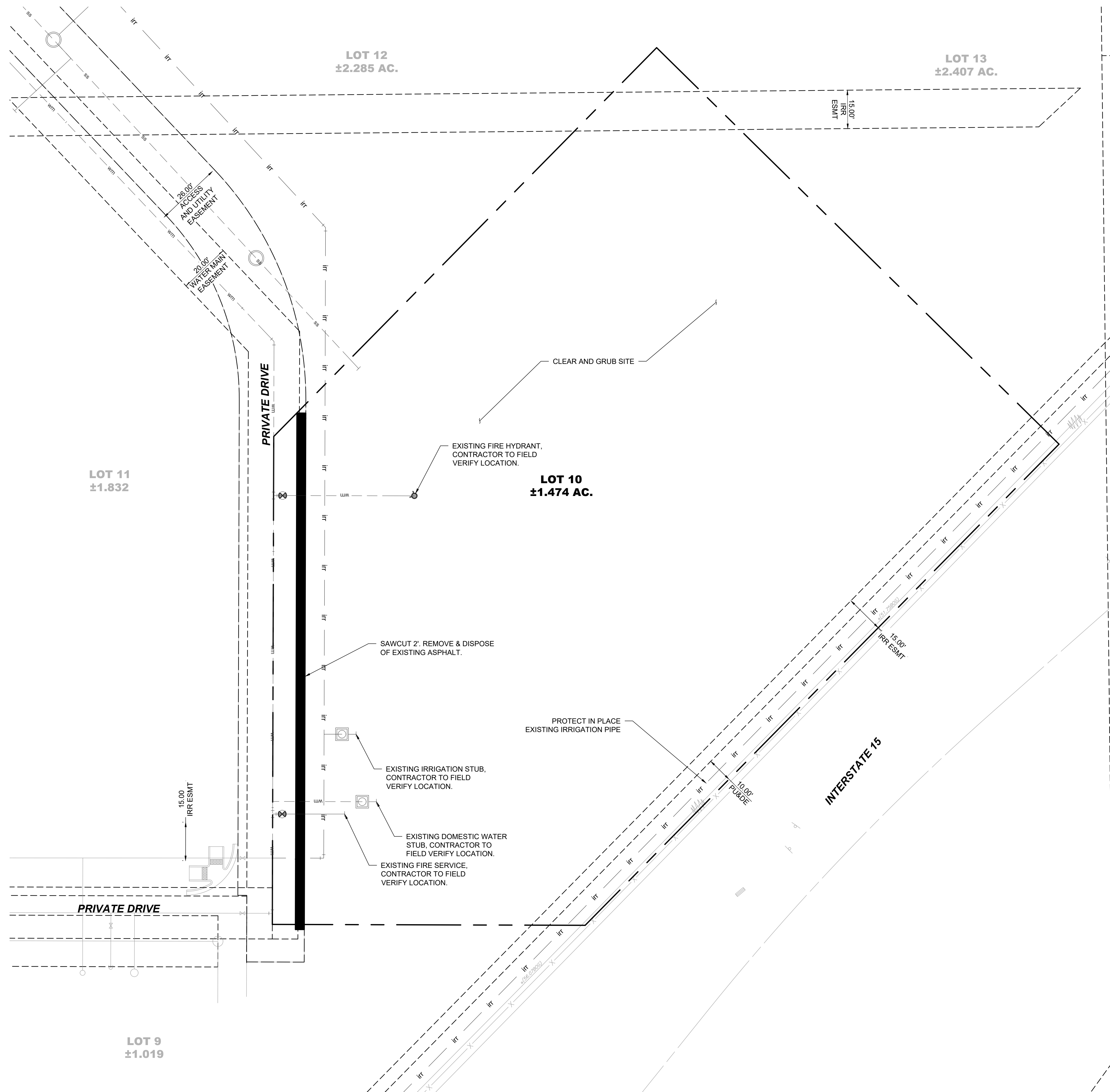
- PROVIDE, ERECT, AND MAINTAIN EROSION CONTROL DEVICES, TEMPORARY BARRIERS, AND SECURITY DEVICES PRIOR TO THE START OF DEMOLITION.
- PROTECT EXISTING LANDSCAPING MATERIALS, APPURTENANCES, AND STRUCTURES WHICH ARE NOT TO BE DEMOLISHED. REPAIR DAMAGE CAUSED BY DEMOLITION OPERATIONS AT NO COST TO OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING AS NEEDED.
- MARK LOCATION OF UTILITIES. PROTECT AND MAINTAIN IN SAFE AND OPERABLE CONDITION UTILITIES THAT ARE TO REMAIN. PREVENT INTERRUPTION OF EXISTING UTILITY SERVICE TO OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES AND OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO CALL 1-800-424-5555 (OR 811) AT LEAST 2 WORKING DAYS PRIOR TO ANY DEMOLITION ACTIVITIES.

**DEMOLITION NOTES**

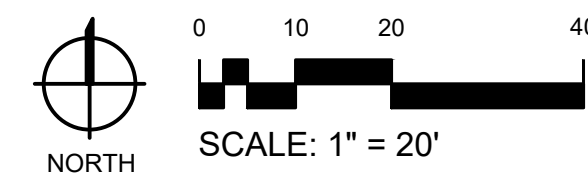
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND PINS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED, FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE PUBLIC DURING DEMOLITION, WHICH INCLUDES BUT IS NOT LIMITED TO CONSTRUCTION FENCING, BARRICADES, SIGNAGE, ETC.
- THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT OWNER AS TO SPECIFIC DETAILS REGARDING REMOVAL OF EXISTING BUILDINGS, CONTENTS AND ASSOCIATED APPURTENANCES.
- THE CONTRACTOR IS RESPONSIBLE TO INSPECT THE SITE PRIOR TO BIDDING AND INCLUDE IN THE BID ANY AND ALL ITEMS TO BE REMOVED, DEMOLISHED, OR MAINTAINED AS NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT WHETHER THEY ARE SHOWN ON THIS PLAN OR NOT.
- ALL MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE AT THE CONTRACTORS EXPENSE UNLESS OTHERWISE INDICATED BY THE OWNER. AN APPROPRIATE DUMP SITE SHALL BE NOMINATED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY LOCATIONS AND MATERIAL TYPES OF ALL UTILITIES PRIOR TO THE START OF DEMOLITION.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREA. DO NOT ALLOW WATER TO POND IN EXCAVATION AREAS, AND MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
- TRAFFIC, BOTH VEHICULAR AND PEDESTRIAN SHALL BE PROTECTED BY EFFECTIVE BARRICADES AND SIGNS IN ACCORDANCE WITH MUTCD GUIDANCE AND AS REQUIRED BY THE JURISDICTION HAVING AUTHORITY. EFFECTIVE LIGHTING OF OBSTRUCTIONS SHALL BE PROVIDED AT NIGHT.
- PROTECTION OF PROPERTY - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PUBLIC AND PRIVATE PROPERTY ADJACENT TO HIS WORK, AND SHALL EXERCISE DUE CAUTION TO AVOID DAMAGE TO SUCH PROPERTY. THE CONTRACTOR SHALL REPLACE OR REPAIR TO THEIR ORIGINAL CONDITION, ALL IMPROVEMENTS WITHIN OR ADJACENT TO THE WORK AREA WHICH ARE NOT DESIGNATED FOR REMOVAL, AND WHICH ARE DAMAGED OR REMOVED AS A RESULT OF OPERATIONS.

**GENERAL NOTES**

- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES, AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES, AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES, AND STANDARDS.
- ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS



1 DEMOLITION PLAN



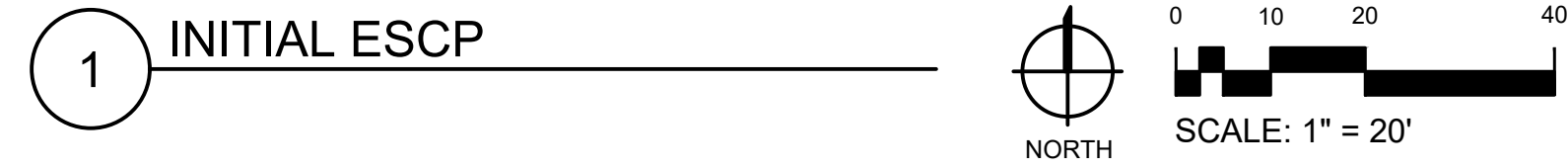
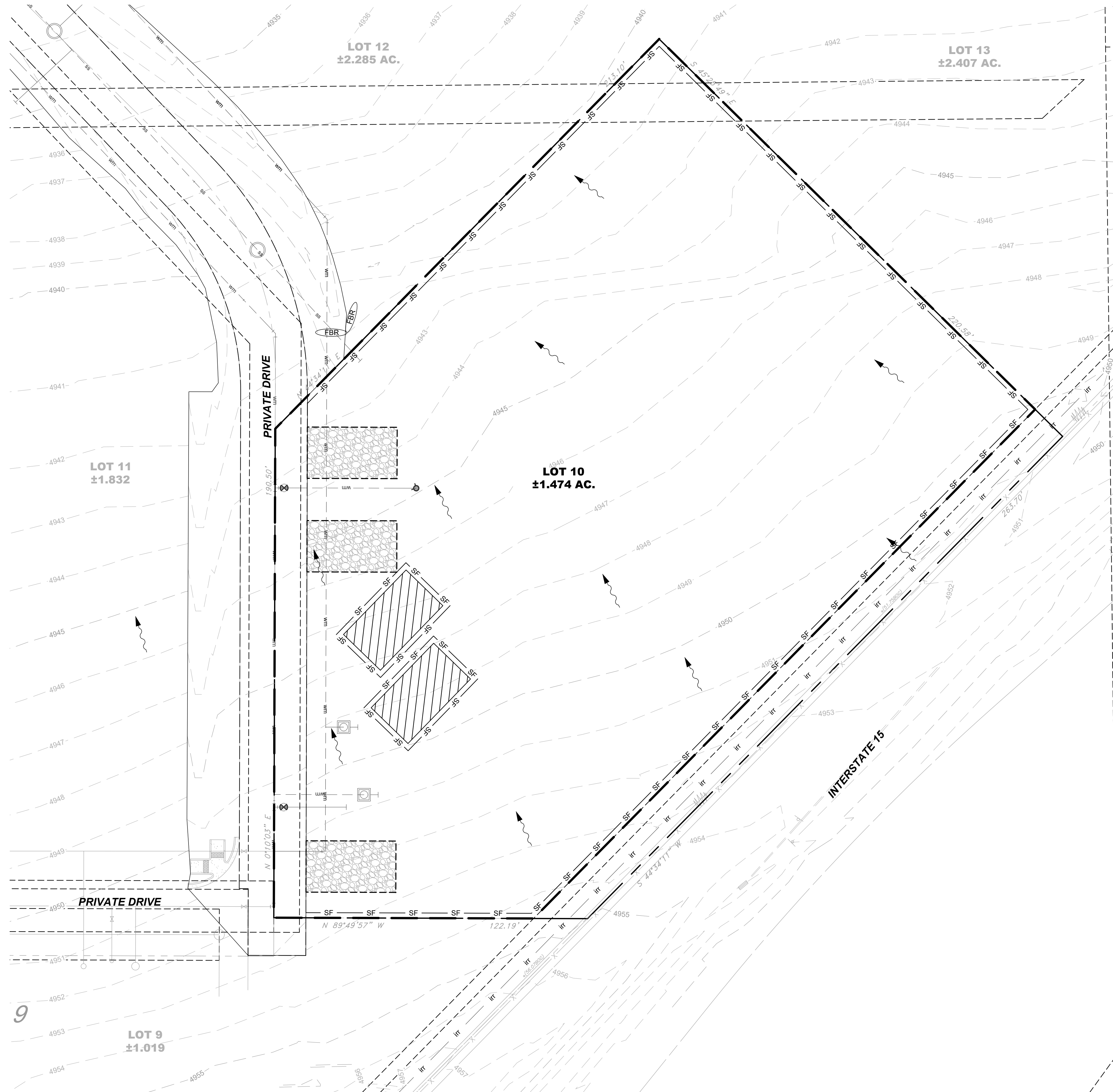




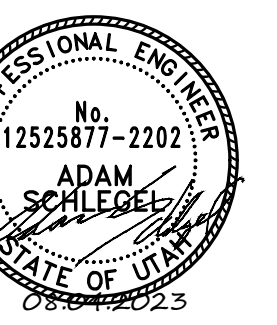
EROSION CONTROL PLAN LEGEND

- FLOW ARROW
- LIMITS OF DISTURBANCE
- SILT FENCE SEE DETAIL 1/C012
- CONSTRUCTION ENTRANCE SEE DETAIL 2/C012
- FIBER ROLL BARRIER SEE DETAIL 3/C012
- INLET PROTECTION SEE DETAIL 4/C012
- SOIL STOCKPILE AND STAGING AREA

- NOTES:
1. STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS THE FOLLOWING ARE PROHIBITED TO BE DISCHARGED FROM THE SITE:
    - 2.1. WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, RELEASE OILS, CURING COMPOUNDS, AND OTHER CONSTRUCTION MATERIALS
    - 2.2. FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE
    - 2.3. SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING



98 N 500 E MAIN STREET  
 SANTAQUIN, UT 84655  
**LES SCHWAB TIRE CENTER - SANTAQUIN, UT**



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2023.08.04  
 PROJECT #LSUT\_21SANTA  
 DRAWN BY | MOODRY  
 CHECKED BY | SCHLEGEL  
 REVISIONS



INITIAL ESCP

**C010**



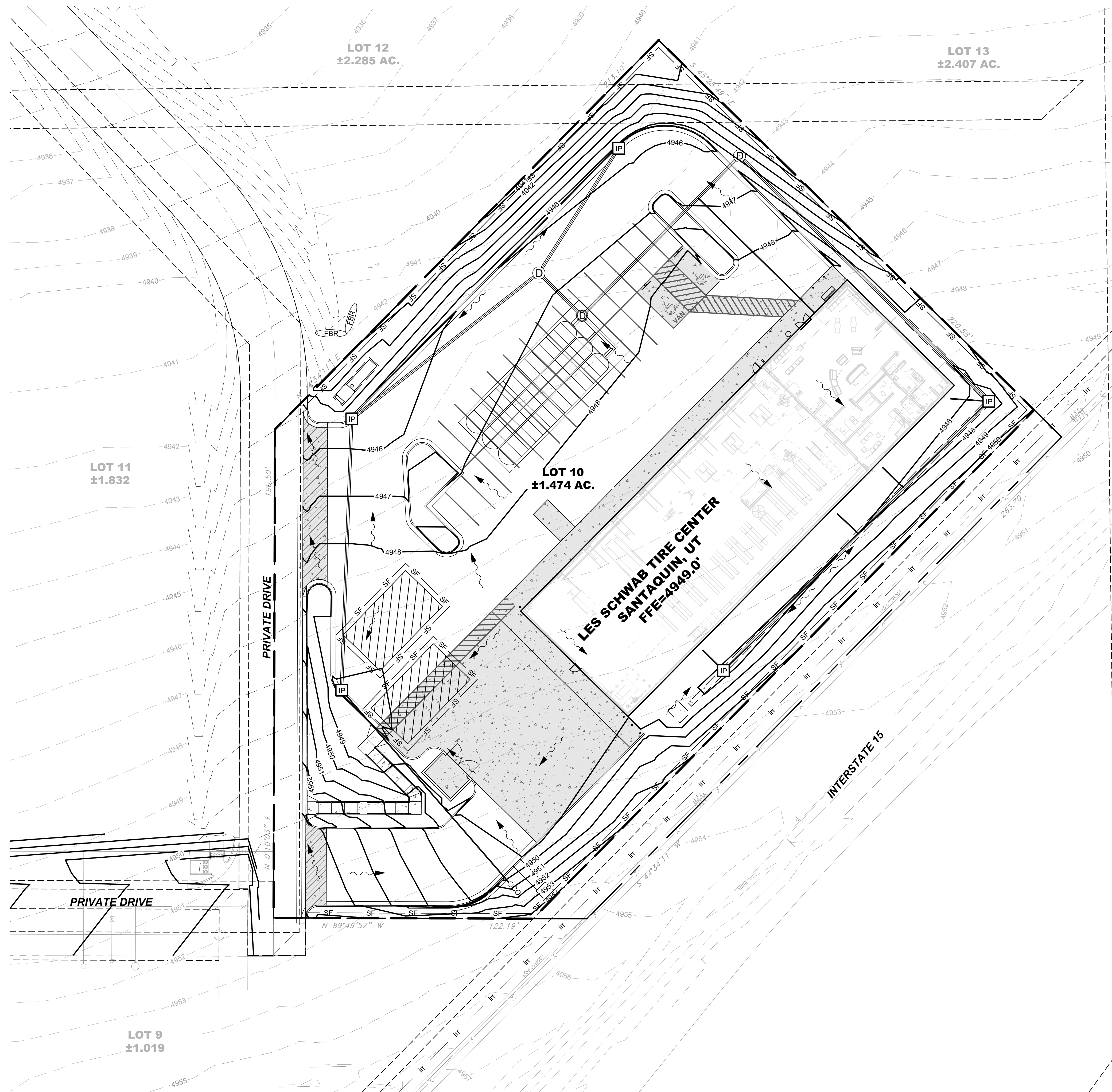


**EROSION CONTROL PLAN LEGEND**

	FLOW ARROW
	LIMITS OF DISTURBANCE
	SILT FENCE SEE DETAIL 1/C012
	CONSTRUCTION ENTRANCE SEE DETAIL 2/C012
	FIBER ROLL BARRIER SEE DETAIL 3/C012
	INLET PROTECTION SEE DETAIL 4/C012
	SOIL STOCKPILE AND STAGING AREA

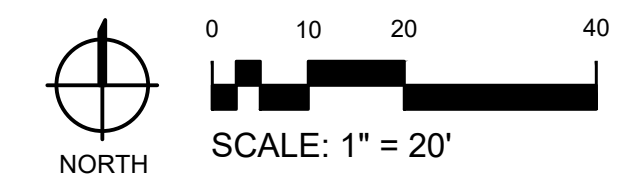
**NOTES:**

1. STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS
2. THE FOLLOWING ARE PROHIBITED TO BE DISCHARGED FROM THE SITE:
  - 2.1. WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, RELEASE OILS, CURING COMPOUNDS, AND OTHER CONSTRUCTION MATERIALS
  - 2.2. FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE
  - 2.3. SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING

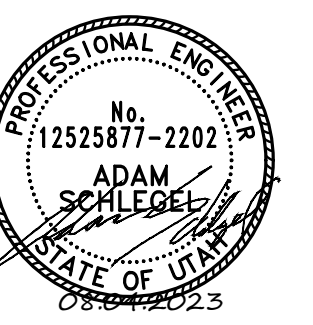


**LES SCHWAB TIRE CENTER  
SANTAQUIN, UT  
FFE=4949.0'**

1 INTERMEDIATE/FINAL ESCP



98 N 500 E MAIN STREET  
 SANTAQUIN, UT 84655  
**LES SCHWAB TIRE CENTER - SANTAQUIN, UT**



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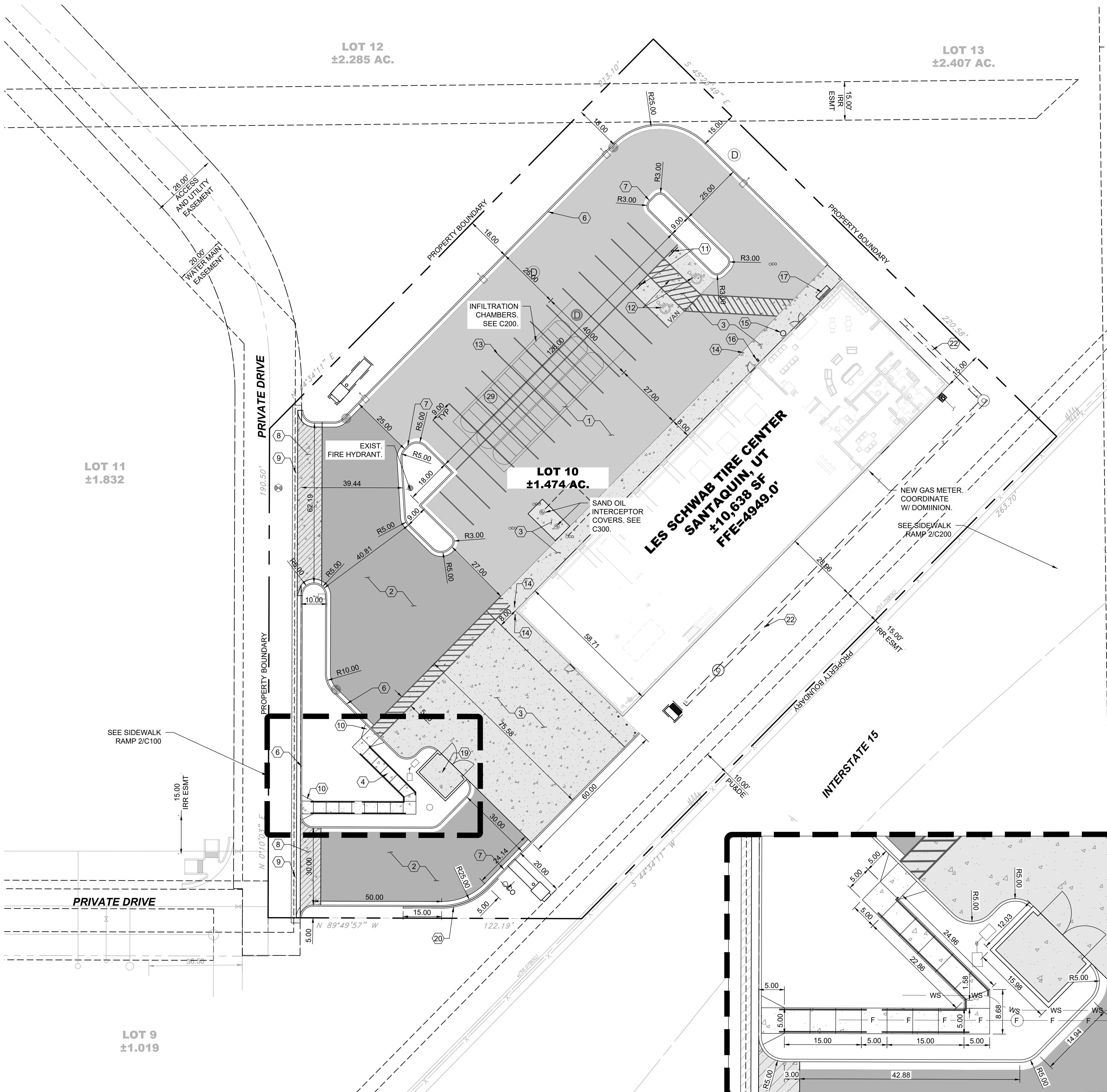
INTERMEDIATE/  
FINAL ESCP

**C011**









**CONSTRUCTION NOTES**

1. THE CONTRACTOR SHALL REFER TO BUILDING PLANS FOR LOCATION AND DIMENSIONS OF SLOPED PAVING, EXIT PORCHES, TRUCK DOCKS, BUILDING DIMENSIONS, BUILDING ENTRANCE LOCATIONS, TOTAL NUMBER, LOCATIONS AND SIZES OF ROOF DOWNSPOUTS.
2. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM CONTROL DEVICES FOR STREETS AND HIGHWAYS EXCEPT AS NOTED ON THE PLANS.
3. ALL CURB RADI SHOWN ARE TO FACE OF CURB.
4. ALL PAVING DIMENSIONS ARE TO FACE OF CURB, WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
5. ALL COORDINATES SHOWN ARE TO FACE OF CURB OR OUTSIDE OF WALL.
6. THE CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
7. THE CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS, UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
9. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

**PAVING NOTES**

1. PAVEMENT SHALL BE PLACED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
2. PAVEMENT SECTION RECOMMENDATIONS WERE TAKEN FROM THE GEOTECHNICAL REPORT.

**GENERAL NOTES**

SITE OFFSETS, PARKING, AND LAND DEVELOPMENT REQUIREMENTS DEVELOPED PER SANTAQUIN, UT MUNICIPAL CODE (M.C.).

CURRENT ZONING: GENERAL COMMERCIAL

SITE OFFSETS: SANTAQUIN, UT - M.C. 10.20.120  
SITE PARKING: SANTAQUIN, UT - M.C. 10.48.040  
LANDSCAPING: SANTAQUIN, UT - M.C. 10.52.030

EXISTING BOUNDARIES, PAVEMENTS, AND LAND FEATURES WERE IMPORTED WITH EXTERNAL SURVEY RECEIVED FROM AWA ENGINEERING.

EXISTING SURVEY DWG ID: SANTAQUIN - PHASE 2 (7-26-21)

**GENERAL NOTES**

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES, AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES, AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES, AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

**# KEYNOTES**

1. LIGHT DUTY ASPHALT PAVEMENT. SEE DETAIL 1/C400.
2. HEAVY DUTY ASPHALT PAVEMENT. SEE DETAIL 2/C400.
3. HEAVY DUTY CONCRETE PAVEMENT. SEE DETAIL 3/C400.
4. SIDEWALK CONCRETE. SEE DETAIL 7/C400.
5. CONCRETE JOINTING. SEE 7/C401.
6. CURB AND GUTTER CATCH. SEE DETAIL 9/C400.
7. CURB AND GUTTER SPILL. SEE DETAIL 10/C400.
8. CONCRETE DRIVEWAY. SEE DETAIL 8/C400.
9. REPLACE AC PAVEMENT. MATCH EXISTING SECTION, GRADE, AND MATERIAL.
10. ACCESSIBLE SIDEWALK RAMP. SEE DETAIL 5/C400.
11. ACCESSIBLE PARKING SIGNAGE. SEE DETAIL 6/C401.
12. ACCESSIBLE PARKING SYMBOL AND STRIPING. SEE DETAIL 4/C401.
13. 4" WIDE STRIPING. PAINT TWO (2) COATS TRAFFIC WHITE W/ 7 MIL DFT PER COAT.
14. 6" BOLLARD. SEE DETAIL 4/C400.
15. TRASH RECEPTACLE. SEE DETAIL 3/C401.
16. KEYKEEPER WITH STAND SEE DETAIL 1/C401.
17. BENCH SEE DETAIL 2/C401.
18. MAILBOX.
19. TRASH ENCLOSURE. SEE ARCH.
20. RETAINING WALL SEE DETAIL 11/C400.
21. SIDEWALK RAMP HAND RAIL SEE LANDSCAPE PLANS
22. 2" WIDE X 6" THICK CONCRETE TRICKLE CHANNEL.

**PARKING TABLE**

BUILDING	STALL MINIMUM	PROVIDED STALLS	ADA REQUIRED SPACES
TIRE CENTER	22	29	2

1. PARKING REQUIREMENTS: 2 PER 1,000 SF GFA. (5) PER SECTION 10.48.040 = 5 SPACES

**CODE DEVELOPMENT STANDARDS**

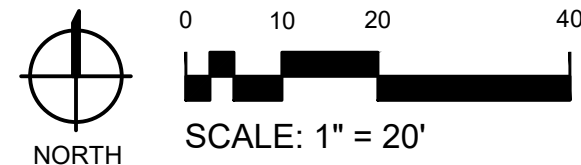
FRONT	10 FT
SIDE	10 FT
INTERIOR SIDE	10 FT
REAR	10 FT
MAX HEIGHT	48 FT

REQUIRED 90° PARKING SPACE SIZE: 9' X 20'  
MINIMUM AISLE WIDTH: 24'

**SITE DATA**

CURRENT ZONING:	GENERAL COMMERCIAL (C-1)
TOTAL AREA OF PROPERTY:	1.474 AC (64,225 SF)
BUILDING SQUARE FOOTAGE:	10,638 SF
PARKING LOT AREA:	20,550 SF
LANDSCAPING AREA:	20,412 SF
CONCRETE WALK AREA:	405 SF
CONCRETE DRIVE AREA:	7,326 SF

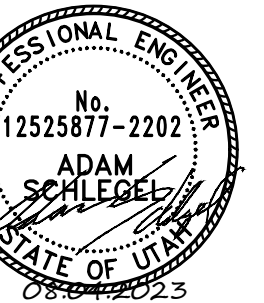
1 SITE PLAN



2 SIDEWALK RAMP





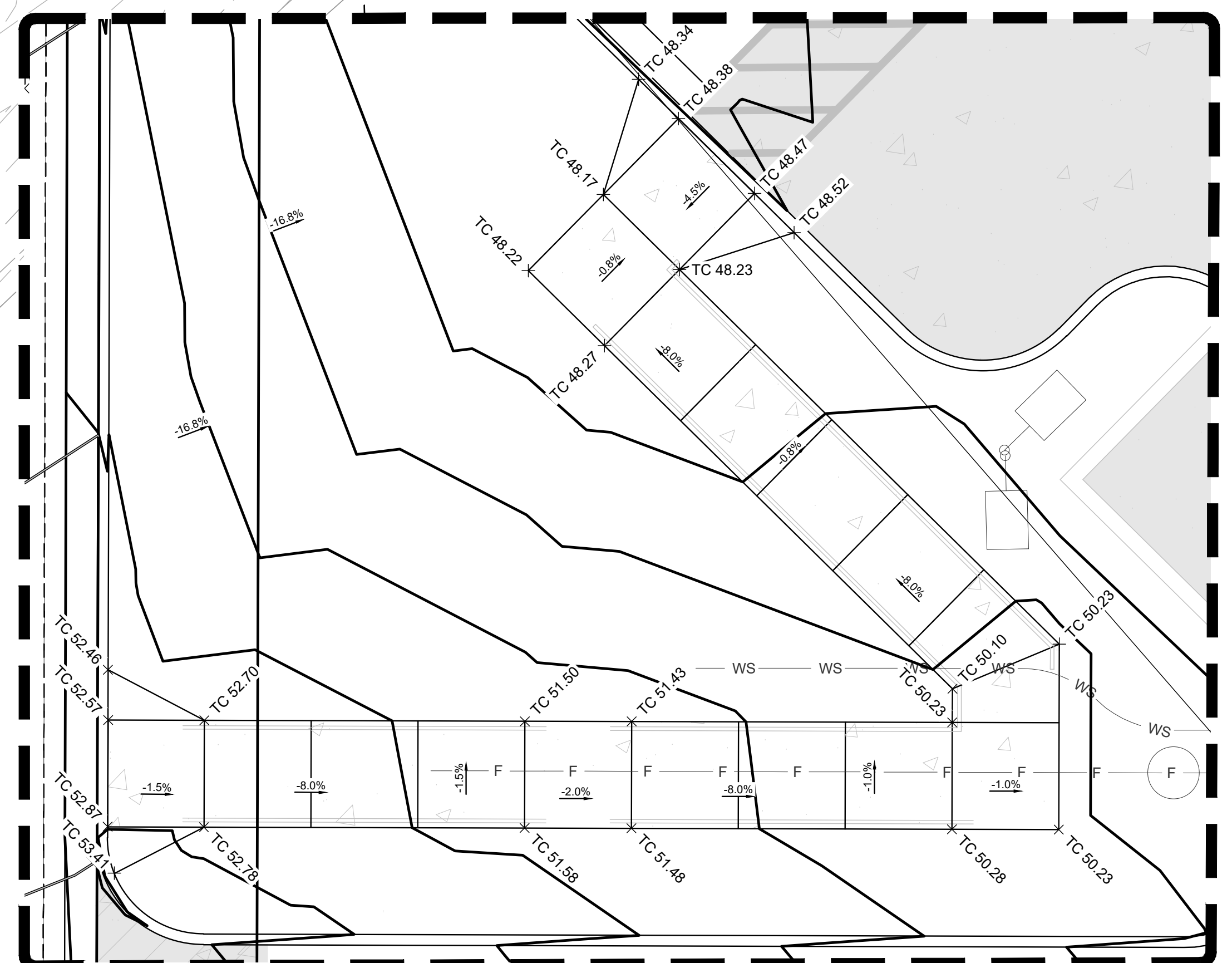
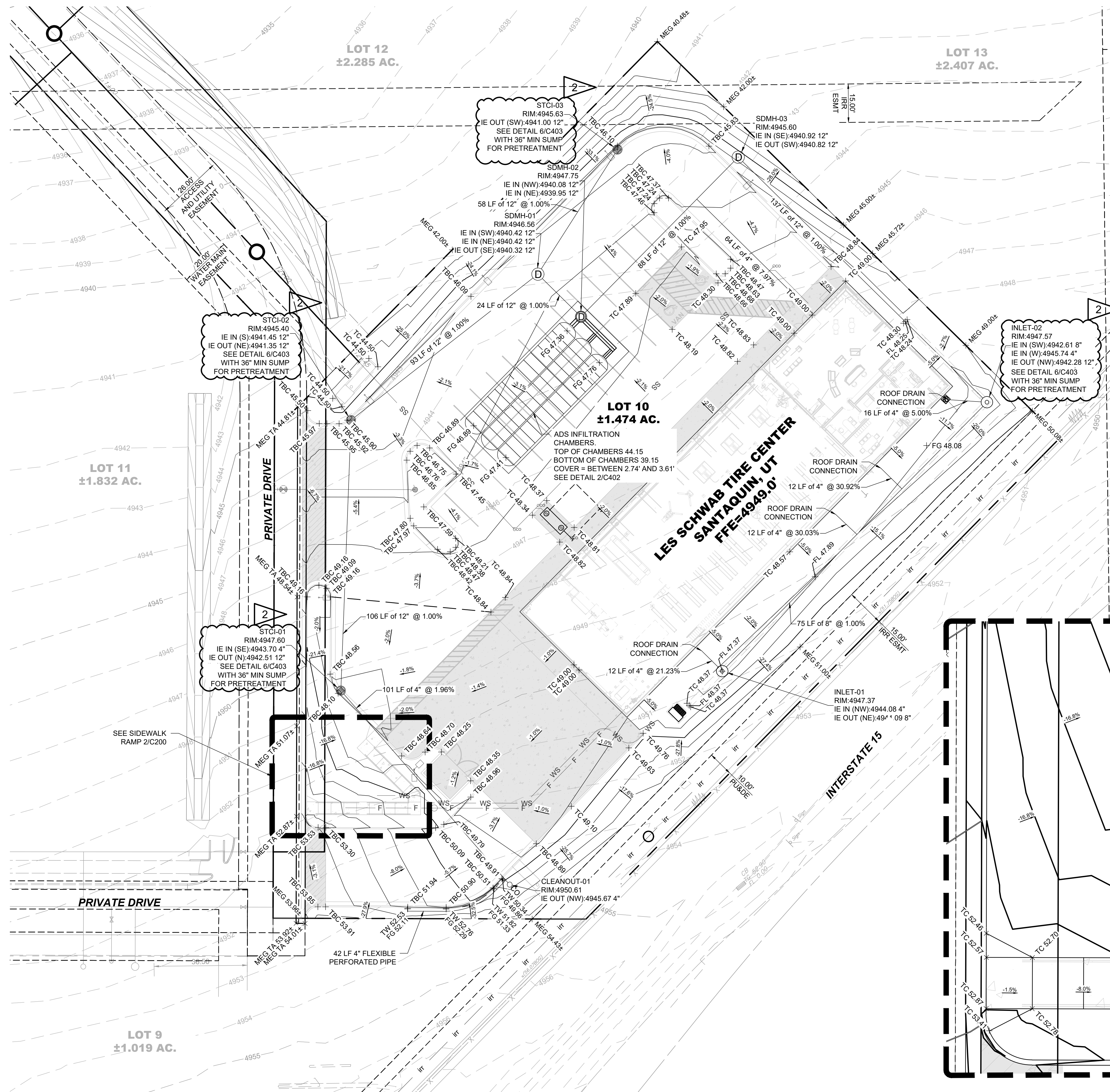


**GRADING NOTES**

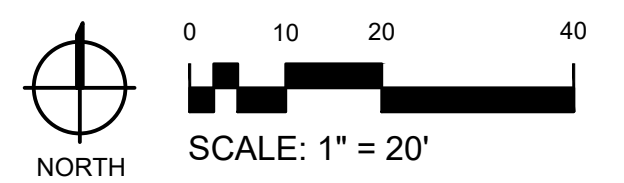
1. SITE GRADING SHALL NOT PROCEED UNTIL THE SWPPP HAS BEEN IMPLEMENTED.
2. ALL EARTHWORK AND GRADING SHALL PROCEED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
3. NO MATERIAL SHALL BE EXCAVATED, MOVED, OR COMPACTED WITHOUT THE PRESENCE OR AUTHORIZATION OF THE OWNER'S REPRESENTATIVE.
4. THE CONTRACTOR IS RESPONSIBLE TO VERIFY EXISTING CONDITIONS AND LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCING EARTH. NOTIFY ENGINEER OF ANY UNFORESEEN CONDITIONS.
5. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES, SIGNS AND EXISTING STRUCTURES AND REPAIR BACK TO ORIGINAL CONDITION IF DAMAGE HAS OCCURRED DURING CONSTRUCTION.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
7. GRADES SHOWN REPRESENT FINISH GRADES UNLESS OTHERWISE NOTED.
8. SPOT ELEVATIONS INDICATE TOP OF ASPHALT, UNLESS OTHERWISE INDICATED.
9. FINISHED GRADE SPOT ELEVATIONS HAVE BEEN TRUNCATED. ADD 4900 FOR ACTUAL ELEVATION.
10. LONGITUDINAL SLOPES OF ALL SIDEWALKS SHALL NOT EXCEED 5%, EXCEPT FOR ON INDICATED RAMPS.
11. CROSS SLOPES OF ALL SIDEWALKS SHALL NOT EXCEED 2%. 1.5% IS PREFERRED.
12. PEDESTRIAN RAMPS SHALL NOT EXCEED 12H:1V IN ANY DIRECTION.
13. ADA PARKING AND ADA UNLOADING/LOADING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION. CONTRACTOR TO VERIFY GRADES OF BASE MATERIAL AND FORMS BEFORE PAVING INSTALLATION.
14. EXTERIOR CONCRETE FLATWORK ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDING AND NOT EXCEED 2%. 1% IS THE MINIMUM.
15. PROPOSED GRADE CONTOUR INTERVAL SHOWN AT ONE FOOT (1').
16. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING.
17. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH BUILDING PLANS AND SPECIFICATIONS.
18. THE CONTRACTOR IS RESPONSIBLE TO CALL 1-800-424-5555 (OR 811) AT LEAST 2 WORKING DAYS PRIOR TO ANY EARTH DISTURBING ACTIVITIES OR UTILITY EXCAVATIONS.

**STORMWATER NOTES**

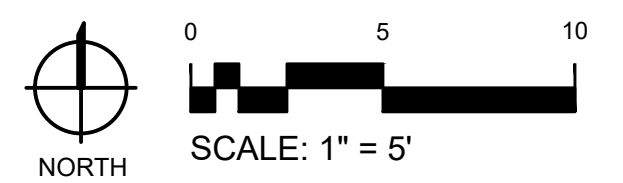
1. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (HS20) LOADING AND BE INSTALLED ACCORDINGLY.
2. TRENCHES SHALL BE PREPARED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
3. ALL PIPE MATERIAL, FITTINGS AND STRUCTURES SHALL FOLLOW THE CONSTRUCTION DRAWINGS AND CITY REQUIREMENTS. ALL STORMWATER PIPING SHALL BE ADS N-12 OR APPROVED EQUAL.
4. ALL STORMWATER TRENCHING, BEDDING AND PIPE LAYING, SHALL FOLLOW THE CURRENT CITY REQUIREMENTS.
5. ALL JOINTS SHALL BE "WATERTIGHT".
6. PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL FLUSH AND CLEAN ALL STORM DRAINS AND REMOVE ALL FOREIGN MATERIAL FROM THE PIPING, MANHOLES, AND DRAINAGE INLETS.
7. CONTRACTOR SHALL SUPPLY ALL MATERIALS, EQUIPMENT AND FACILITIES REQUIRED FOR TESTING ALL UTILITY PIPES IN ACCORDANCE WITH CITY CONSTRUCTION SPECIFICATIONS. COST OF ALL TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. STORM SEWER PIPE AND MANHOLES SHALL BE TESTED FOR LEAKAGE PER CURRENT CITY STANDARDS.



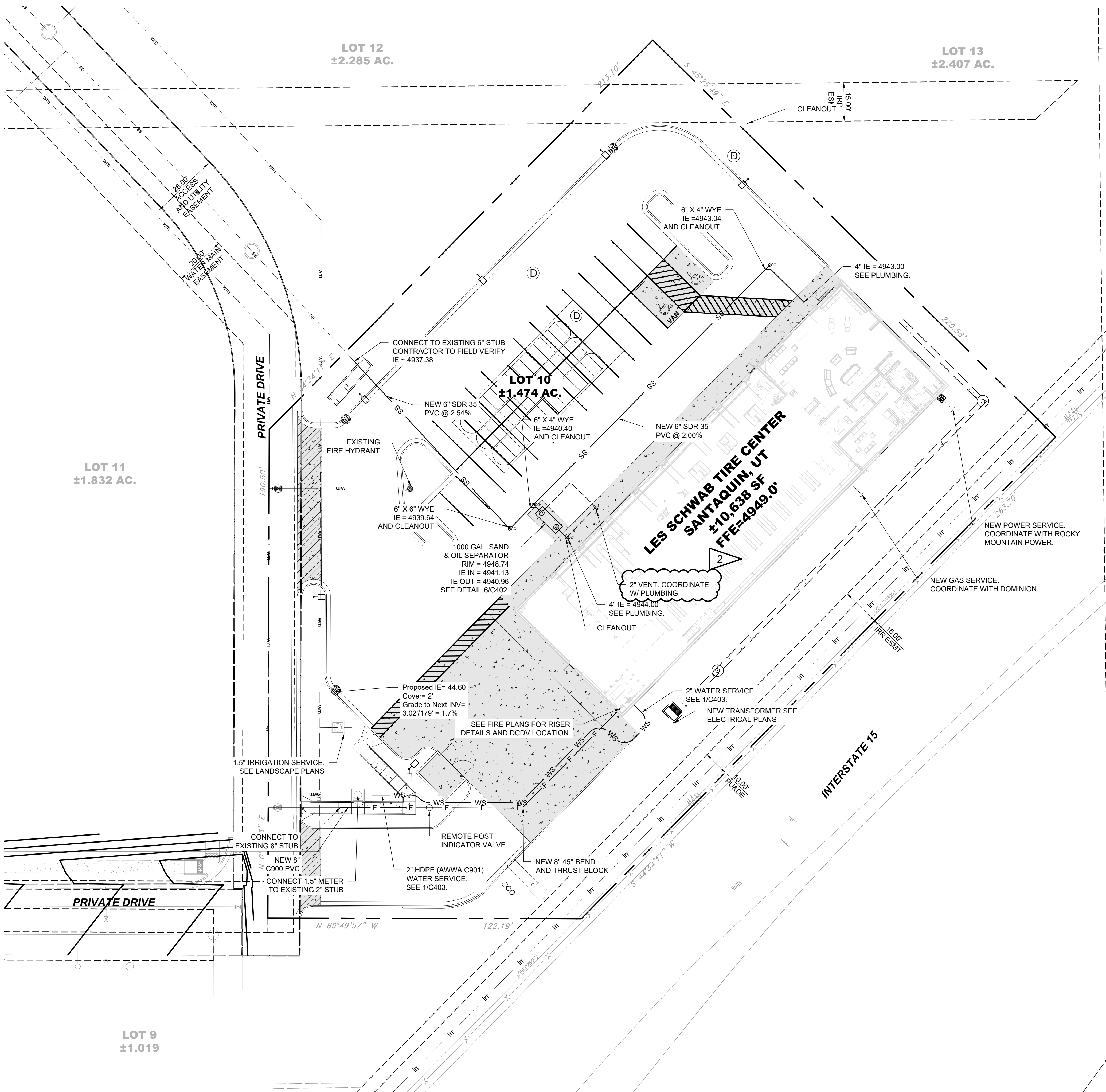
1 GRADING AND DRAINAGE PLAN



2 SIDEWALK RAMP







**WATER NOTES**

- UNLESS OTHERWISE NOTED, ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CURRENT SANTAQUIN STANDARD SPECIFICATIONS.
- UNLESS OTHERWISE SPECIFIED, WATER LINES SHALL BE PVC C900 IN CONFORMANCE WITH AWWA C900. ALL SERVICES AND CONNECTIONS SHALL BE HDPE WITH A PRESSURE RATING OF 200 PSI AND CONFORM TO THE SANTAQUIN STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY ALL NECESSARY FITTINGS, COUPLING, AND SPOOL PIECES FOR CONNECTING NEW UTILITIES TO EXISTING UTILITIES. THESE PLANS MAY NOT SHOW ALL REQUIRED COMPONENTS FOR MAKING THE CONNECTIONS.
- THE MINIMUM DEPTH OF BURY TO THE TOP OF PIPE FOR WATER LINES IS 6.0 FT. WHERE AT LEAST 6.0 FT OF COVER CANNOT BE MAINTAINED, INSTALL RIGID INSULATION BOARD ABOVE PIPING AS INDICATED ON PLANS.
- THE CONTRACTOR MUST ENSURE THAT A MINIMUM OF 10 FEET (OUTSIDE PIPE WALL TO OUTSIDE PIPE WALL) OF CLEARANCE IS MAINTAINED ON THE HORIZONTAL PLANE BETWEEN ALL WATER AND SEWER MAINS. ADDITIONALLY, THE CONTRACTOR MUST ALSO ENSURE THAT 18 INCHES OF VERTICAL CLEARANCE IS MAINTAINED BETWEEN WATER AND SEWER MAINS THAT CROSS. IMMEDIATELY NOTIFY ENGINEER OF CONFLICTS.
- LOCATIONS OF FITTINGS, BENDS, VALVES, AND OTHER APPURTENANCE ARE APPROXIMATE. PROVIDE ADEQUATE SPACING BETWEEN FIXTURES TO MAINTAIN PIPE INTEGRITY. PROVIDE AS BUILT LOCATIONS FOR ALL FIXTURES.
- ANY EXISTING OR NEW VALVES THAT CONTROL THE SANTAQUIN WATER SUPPLY SHALL BE OPERATED BY CITY PERSONNEL ONLY.
- PRESSURE TEST AND DISINFECT ALL WATER LINES IN ACCORDANCE WITH THE SANTAQUIN STANDARD SPECIFICATIONS AND ALL OTHER GOVERNING AGENCIES' STANDARDS.
- ALL FITTINGS SHALL BE MECHANICAL JOINT WITH CONCRETE THRUST BLOCKS MEETING SANTAQUIN STANDARD SPECIFICATIONS AND ALL OTHER GOVERNING AGENCIES' STANDARDS.
- ALL DUCTILE IRON FITTINGS TO BE WRAPPED IN POLYWRAP.
- PER THE CURRENT STATE OF UTAH ENVIRONMENTAL AGENCY REQUIREMENTS, THE CONTRACTOR SHALL HAVE THE WATER MAIN WORK (i.e. CUT, GATE VALVES & PIPE INSTALLATION) INSPECTED AND TESTED PER CURRENT ENVIRONMENTAL QUALITY PROCEDURES AND OBSERVED BY A DESIGNATED OWNERS INSPECTOR.

**SEWER NOTES**

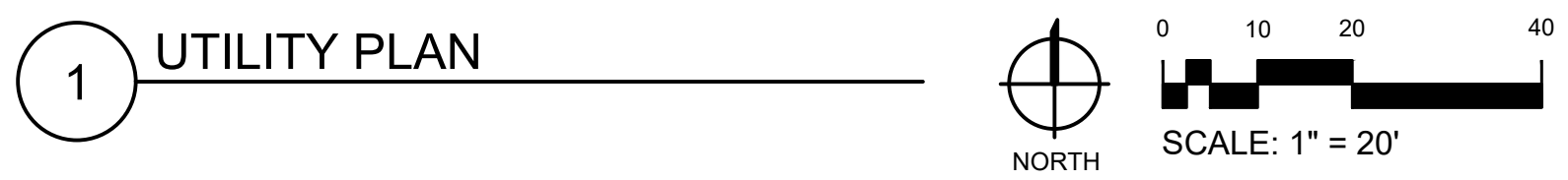
- UNLESS OTHERWISE NOTED, ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF SANTAQUIN AND UTAH COUNTY MASTER SPECIFICATION.
- UNLESS OTHERWISE SPECIFIED, SANITARY SEWER PIPE SHALL BE PVC IN CONFORMANCE WITH ASTM D-3034, SDR 26. ALL SERVICES AND CONNECTIONS SHALL CONFORM TO THE CITY OF SANTAQUIN AND UTAH COUNTY MASTER SPECIFICATIONS.
- ALL PIPES SHALL BE BEDDED WITH TYPE 1 BEDDING PER CURRENT MPWSS & ANY APPLICABLE CITY OF SANTAQUIN MODIFICATIONS.
- PER CURRENT STATE OF UTAH ENVIRONMENTAL QUALITY REQUIREMENTS, THE CONTRACTOR SHALL HAVE THE SEWER WORK INSPECTED AND TESTED PER DEQ PROCEDURES AND OBSERVED BY A DESIGNATED OWNERS INSPECTOR. MANHOLE TESTING SHALL BE PERFORMED PRIOR TO FINAL SURFACE RESTORATION.
- CONTRACTOR SHALL SUPPLY ALL MATERIALS, EQUIPMENT AND FACILITIES REQUIRED FOR TESTING ALL UTILITY PIPES IN ACCORDANCE WITH CITY OF SANTAQUIN AND UTAH COUNTY MASTER SPECIFICATIONS. COST OF ALL TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SANITARY SEWER PIPE AND MANHOLES SHALL BE TESTED FOR LEAKAGE PER CURRENT CITY OF SANTAQUIN AND UTAH COUNTY MASTER SPECIFICATIONS.
- AT THE DISCRETION OF THE ENGINEER, THE CONTRACTOR SHALL CONDUCT DEFLECTION TESTING OF SANITARY SEWER PIPES BY PULLING AN APPROVED MANDREL THROUGH THE COMPLETED PIPE LINE FOLLOWING TRENCH COMPACTION. THE DIAMETER OF THE MANDREL SHALL BE 95% OF THE DESIGNED PIPE DIAMETER. TESTING SHALL BE CONDUCTED NO MORE THAN 7 DAYS AFTER THE TRENCH HAS BEEN BACKFILLED AND COMPACTED.
- PRIOR TO MANDREL TESTING AND/OR TV INSPECTION, THE CONTRACTOR SHALL FLUSH AND CLEAN ALL SEWER PIPE AND MANHOLES.
- CONTRACTOR SHALL FIELD VERIFY LINE AND GRADE OF ANY EXISTING AND PROPOSED UTILITY.

**DRY UTILITY NOTES**

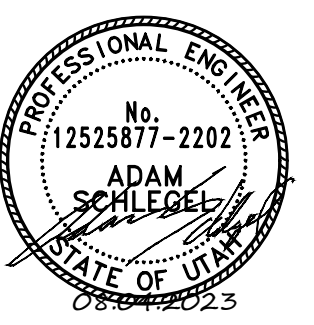
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL "DRY" UTILITIES (ELECTRIC, GAS, TELEPHONE) WITH SERVICE PROVIDERS.
- REFER TO ELECTRICAL PLANS FOR ADDITIONAL CONDUIT AND SITE LIGHTING REQUIREMENTS.
- REFER TO LANDSCAPE PLANS FOR IRRIGATION CONDUIT.
- THE CONTRACTOR IS RESPONSIBLE TO CALL 1-800-424-5555 (OR 811) AT LEAST 2 WORKING DAYS PRIOR TO ANY EARTH DISTURBING ACTIVITIES OR UTILITY EXCAVATIONS.

**GENERAL NOTES**

- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES, AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES, AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES, AND STANDARDS.
- ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.



1 UTILITY PLAN



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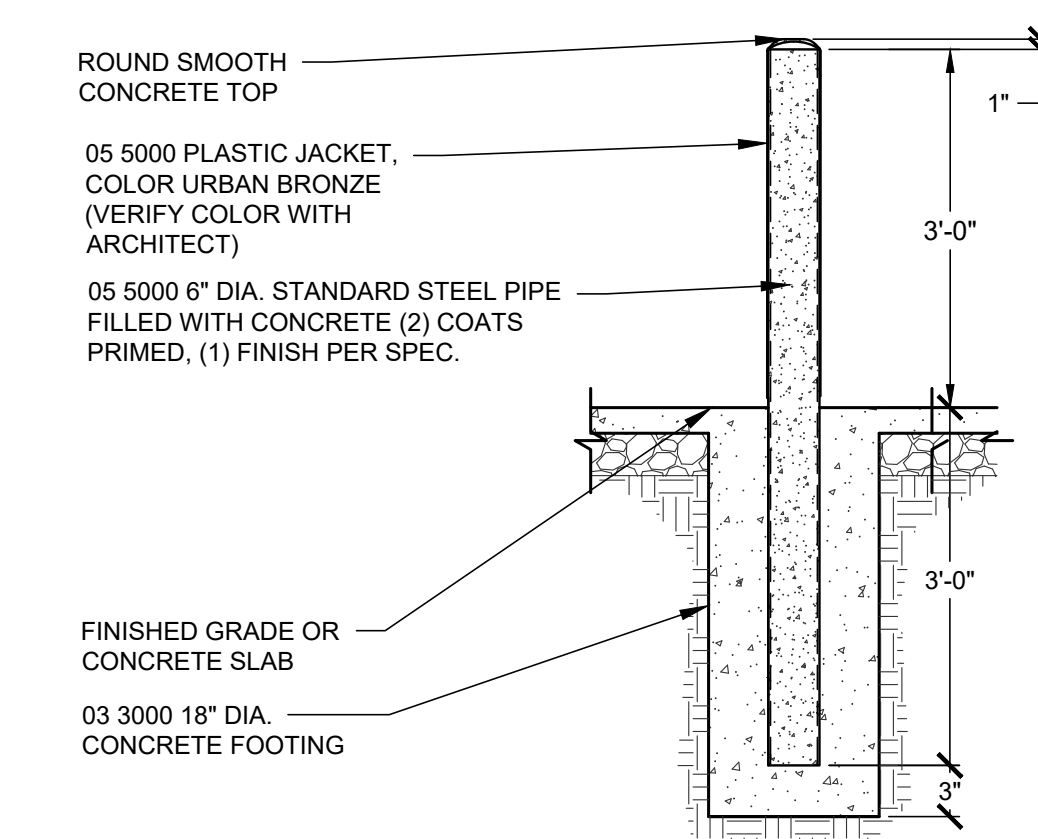
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PROJECT #LSUT\_21SANTA  
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CHECKED BY | SCHLEGEL  
REVISIONS  
2 09-13-2023 ADDENDUM 001



UTILITY PLAN

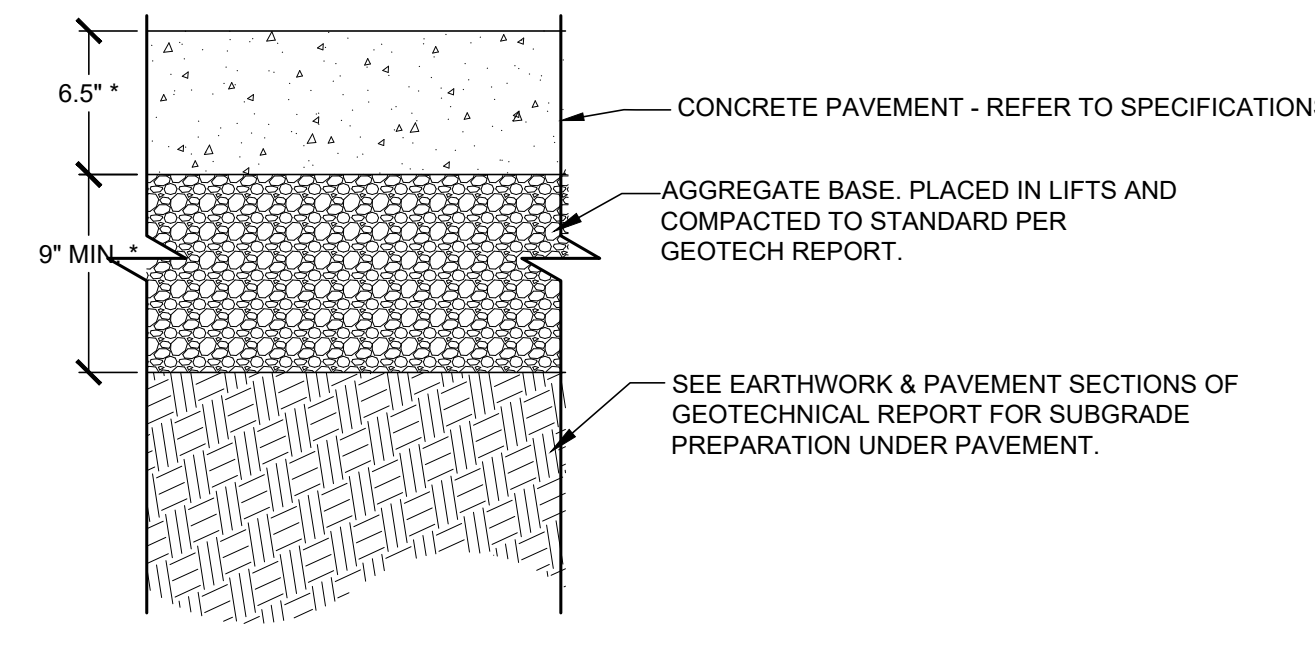
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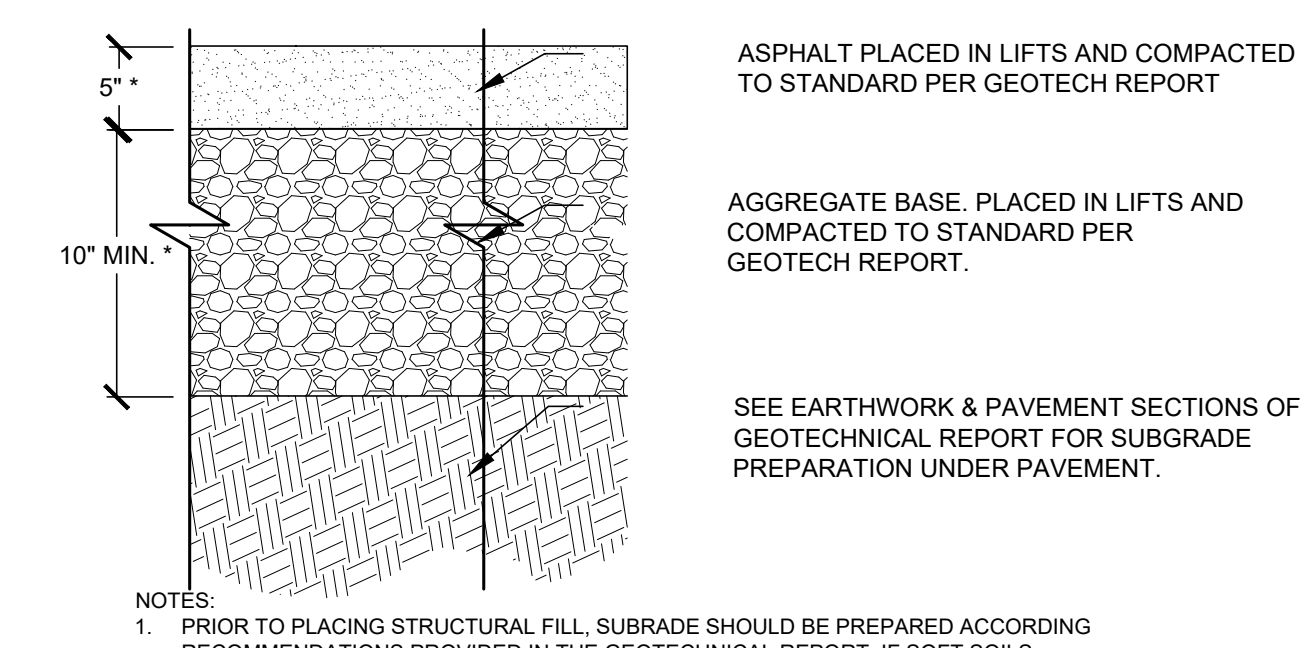
**EXTERIOR BOLLARD NOTES:**  
 1. 05 5000 PLASTIC JACKET, COLOR: URBAN BRONZE (VERIFY COLOR WITH ARCHITECT).  
 2. ROUND SMOOTH CONCRETE TOP  
 3. 05 5000 6" DIA. STANDARD STEEL PIPE FILLED WITH CONCRETE (2) COATS PRIMED. (1) FINISH PER SPEC.  
 4. TO EXTEND 3'-0" ABOVE FINISHED GRADE, UNLESS NOTED OTHERWISE ON PLANS.

4 6" DIA. BOLLARD



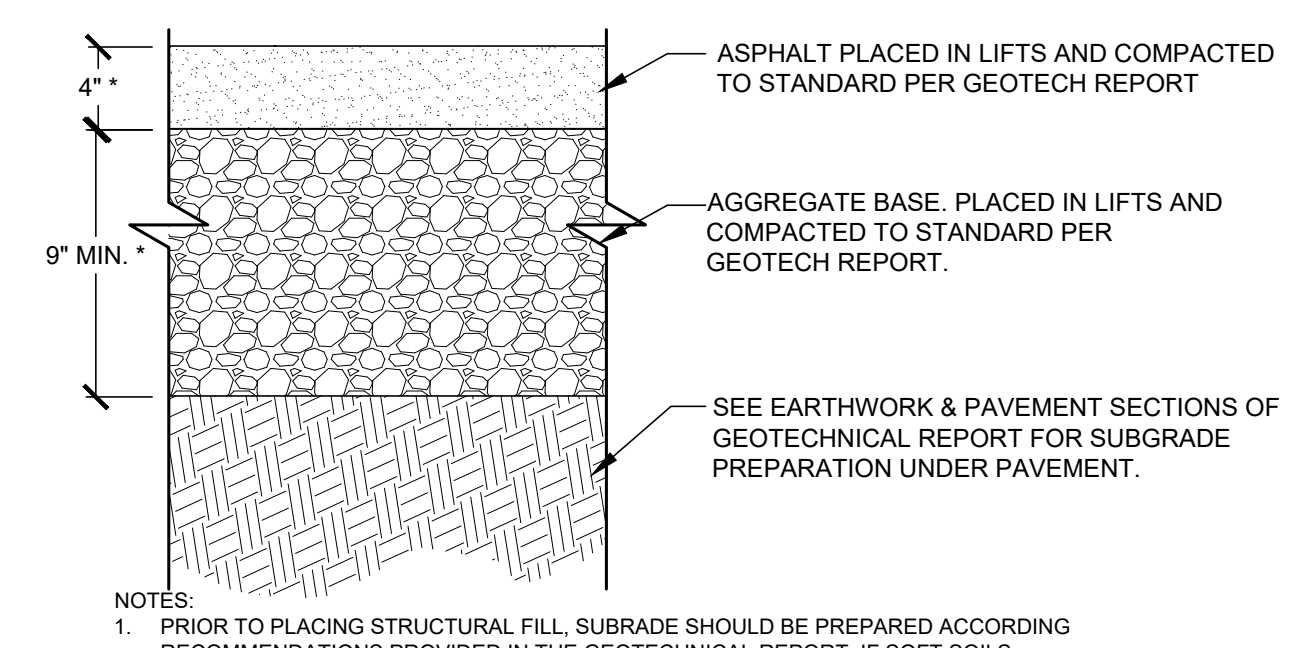
**NOTES:**  
 1. SEE C100 FOR FINISH & JOINTS  
 2. SUBGRADE SHOULD BE PREPARED ACCORDING TO RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT. IF SOFT SOILS ARE ENCOUNTERED, THEY SHOULD BE REMOVED AND REPLACE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.  
 \*REFER TO GEOTECHNICAL REPORT FOR ALL MATERIAL THICKNESS UNLESS DIRECTED OTHERWISE BY OWNER.

3 HEAVY DUTY CONCRETE PAVEMENT



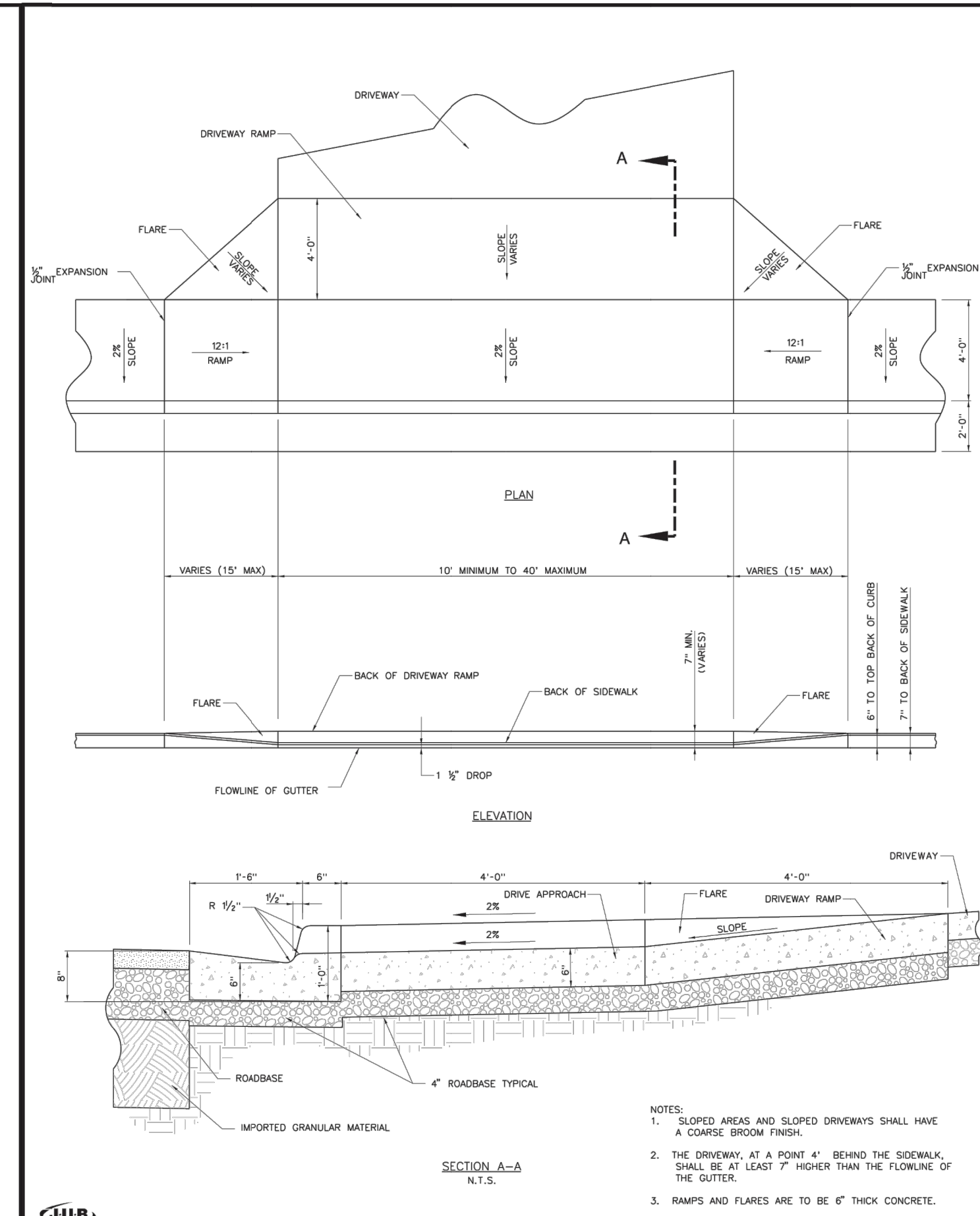
**NOTES:**  
 1. PRIOR TO PLACING STRUCTURAL FILL, SUBGRADE SHOULD BE PREPARED ACCORDING TO RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT. IF SOFT SOILS ARE ENCOUNTERED, THEY SHOULD BE REMOVED AND REPLACE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.  
 \*REFER TO GEOTECHNICAL REPORT FOR ALL MATERIAL THICKNESS UNLESS DIRECTED OTHERWISE BY OWNER.

2 ASPHALT PAVEMENT - HEAVY

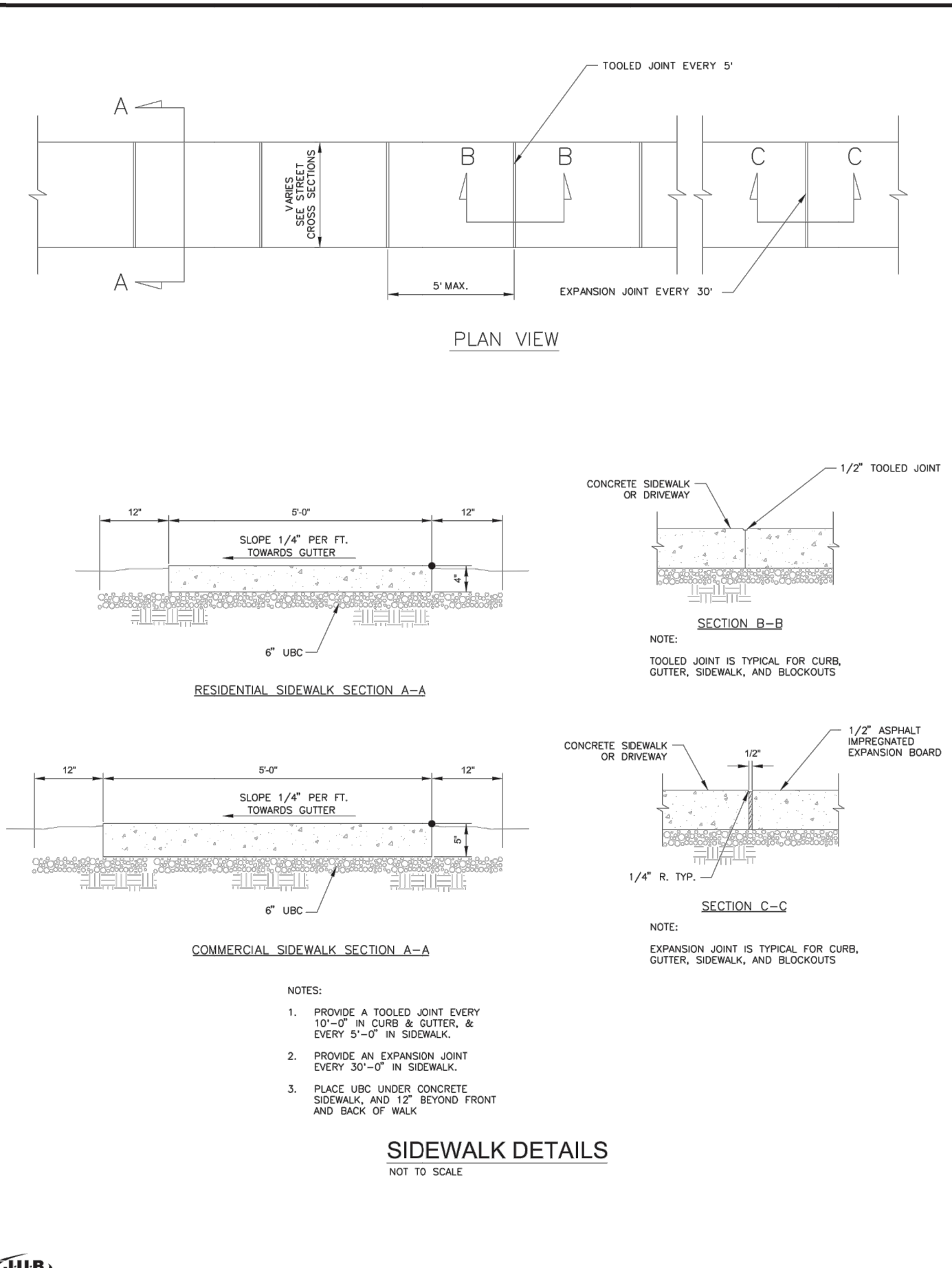


**NOTES:**  
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 \*REFER TO GEOTECHNICAL REPORT FOR ALL MATERIAL THICKNESS UNLESS DIRECTED OTHERWISE BY OWNER.

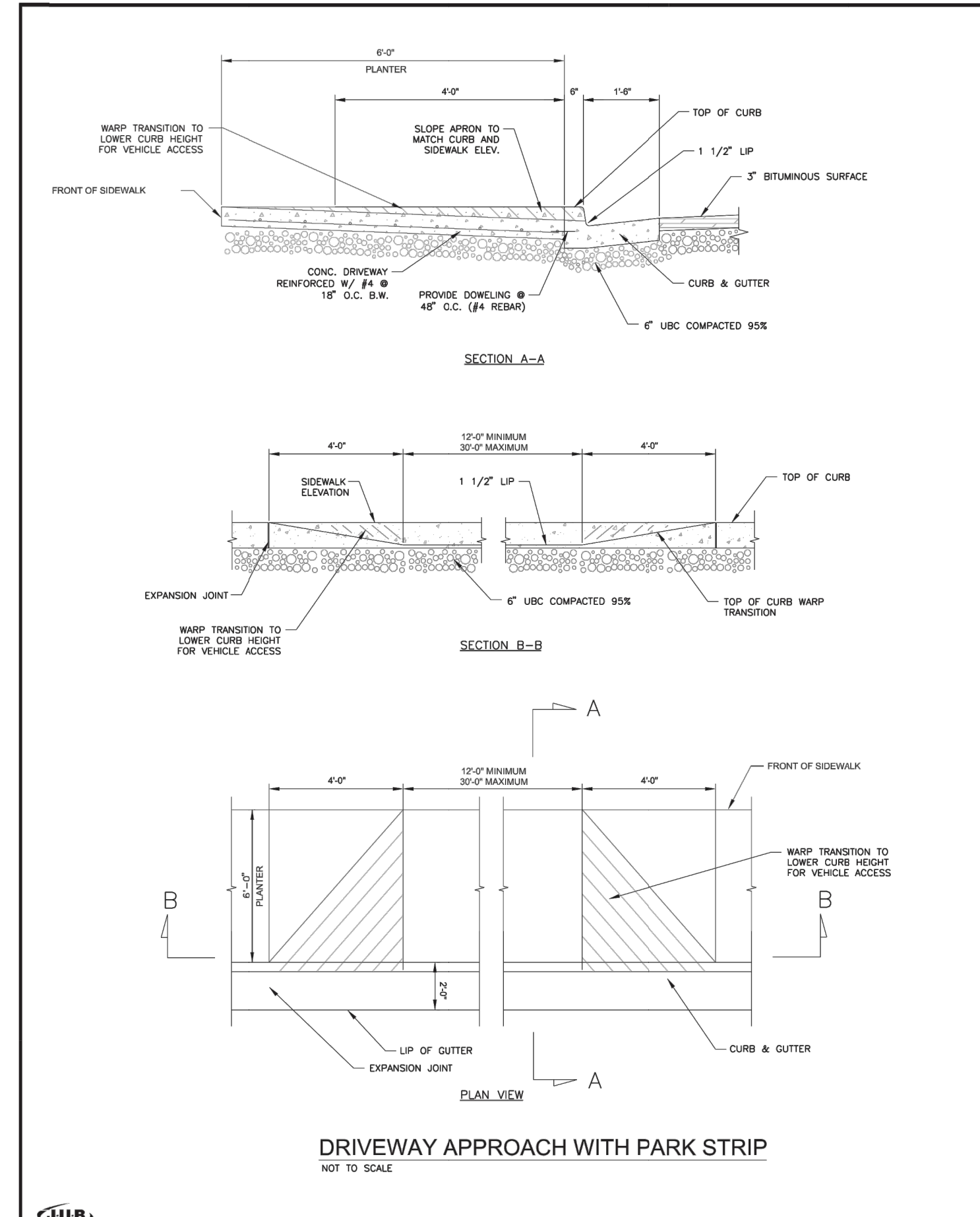
1 ASPHALT PAVEMENT - LIGHT



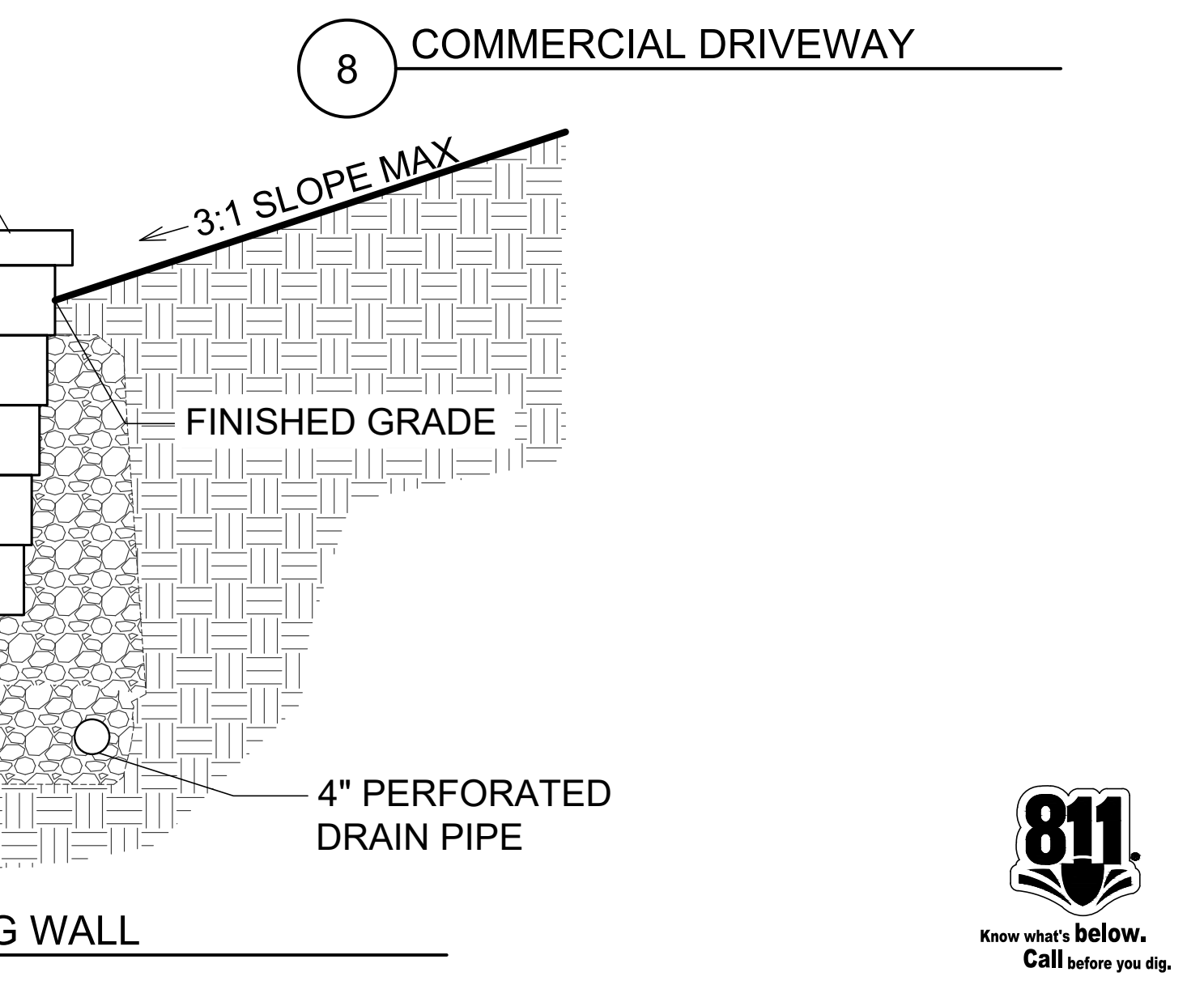
<p><b>DRIVEWAY APPROACH WITH PARK STRIP</b>                  SANTAQUIN CITY                  275 WEST MAIN STREET</p>	<p>CC6</p>
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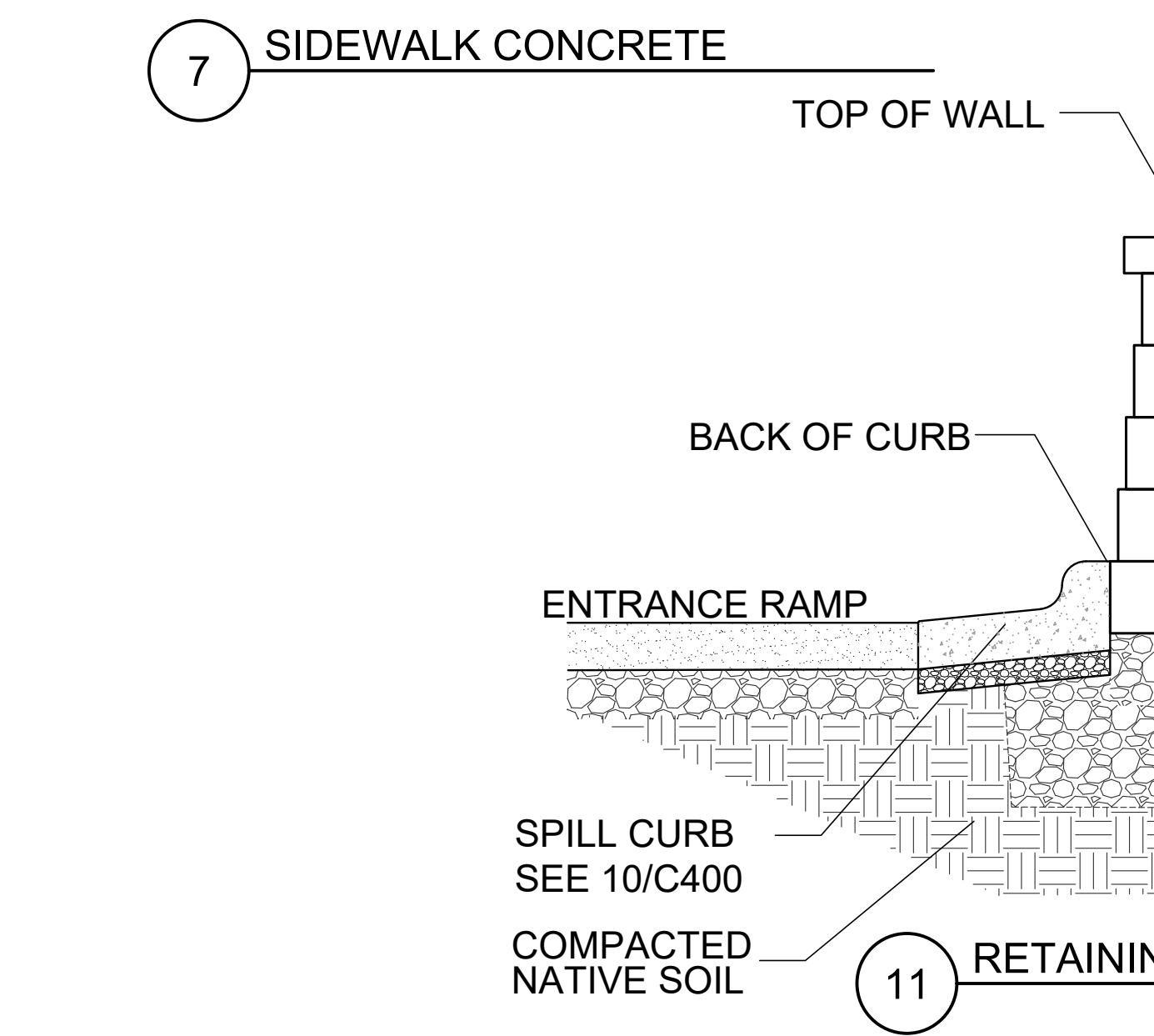
<p><b>SIDEWALK DETAILS</b>                  SANTAQUIN CITY                  275 WEST MAIN STREET</p>	<p>CC5</p>
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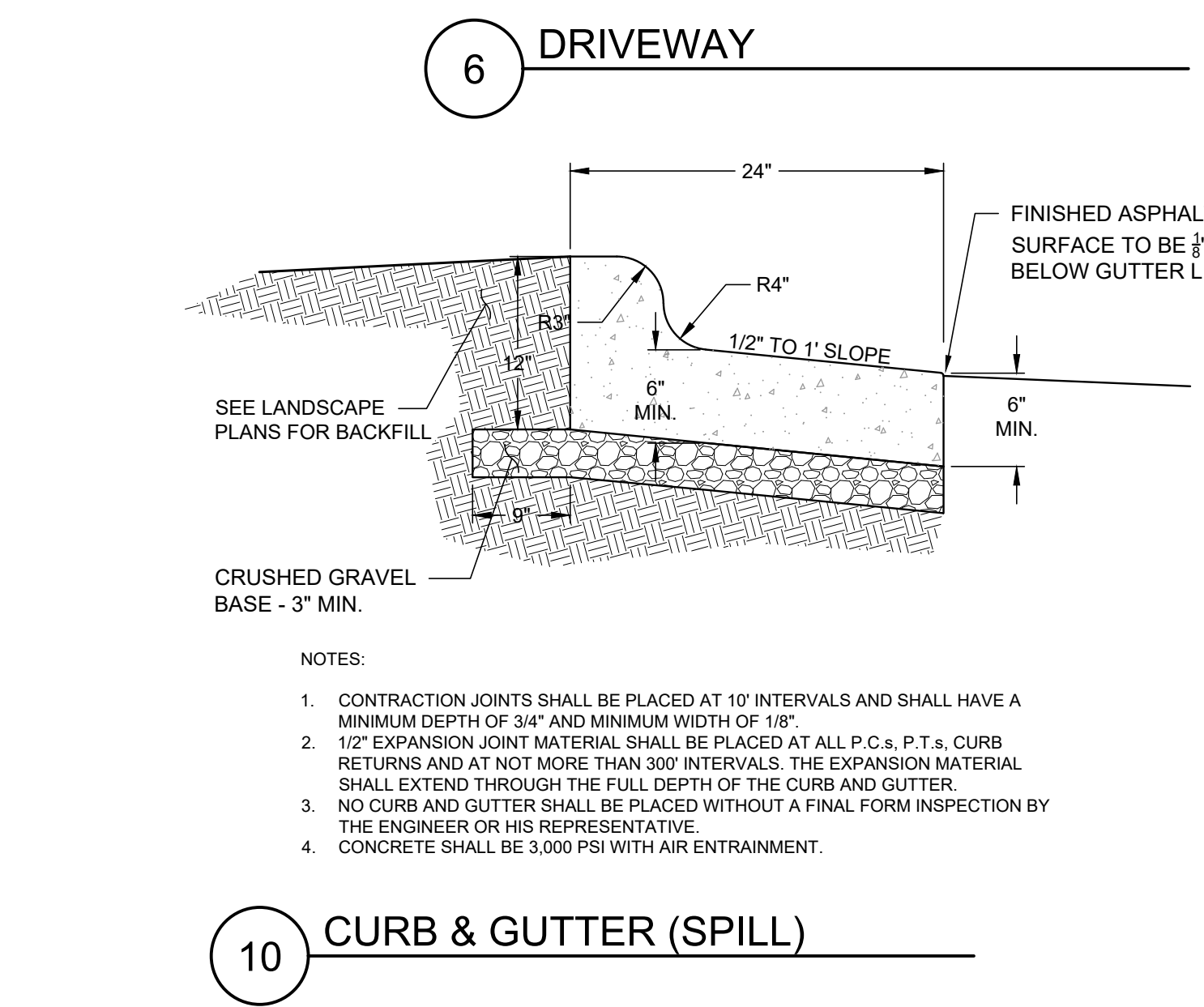
<p><b>DRIVEWAY APPROACH WITH PARK STRIP</b>                  SANTAQUIN CITY                  275 WEST MAIN STREET</p>	<p>CC3</p>
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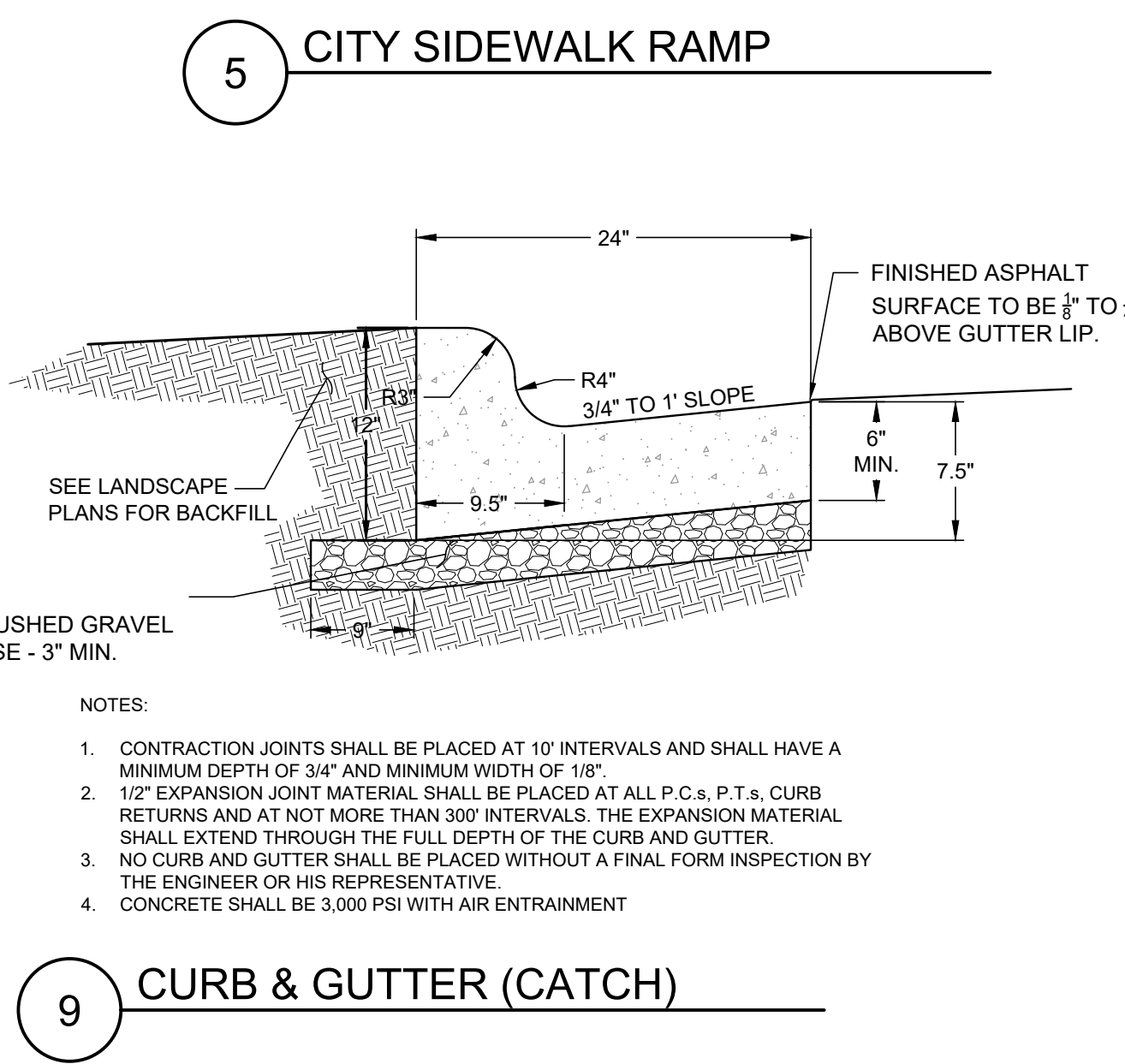
11 RETAINING WALL



10 CURB & GUTTER (SPILL)

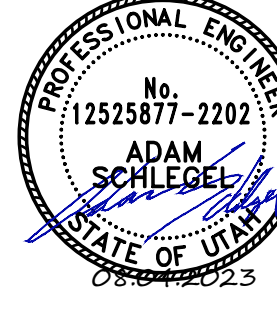


9 CURB & GUTTER (CATCH)



5 CITY SIDEWALK RAMP

98 N 500 E MAIN STREET  
 SANTAQUIN, UT 84655  
**LES SCHWAB TIRE CENTER - SANTAQUIN, UT**



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PERMIT SET

2023.08.04  
 PROJECT #LSUT\_21SANTA  
 DRAWN BY | MOODRY  
 CHECKED BY | SCHLEGEL  
 REVISIONS

DETAIL SHEET

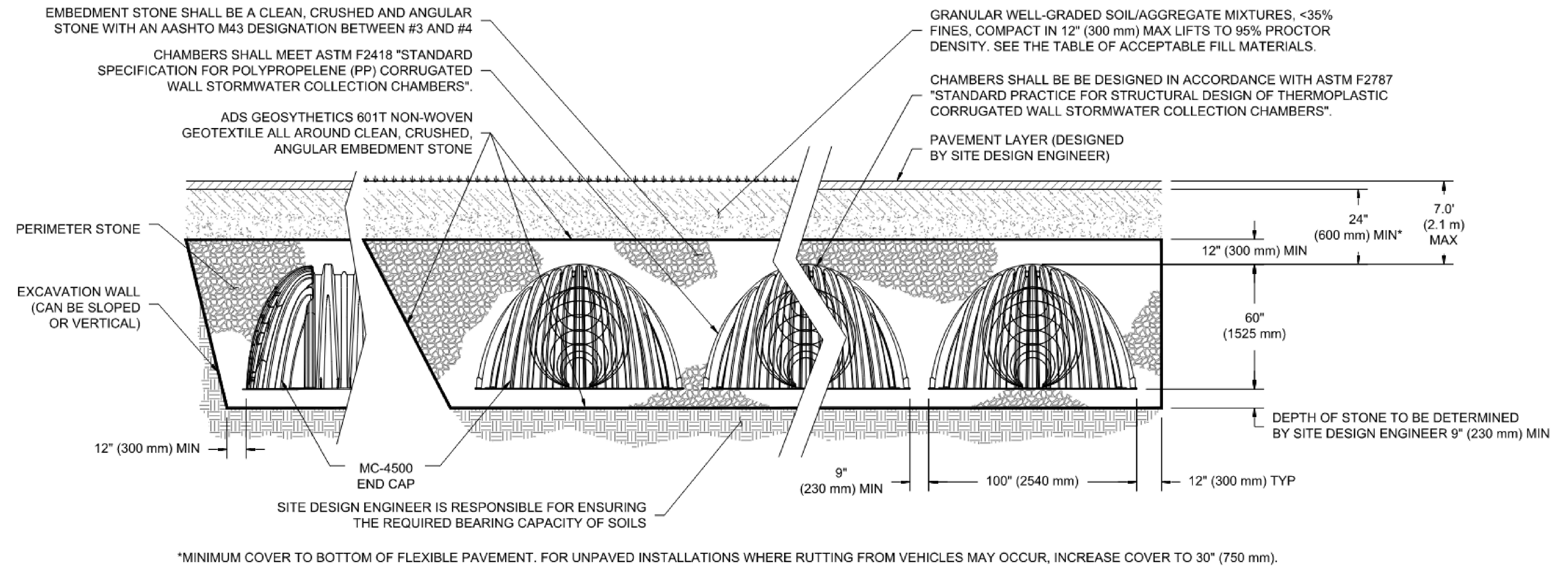
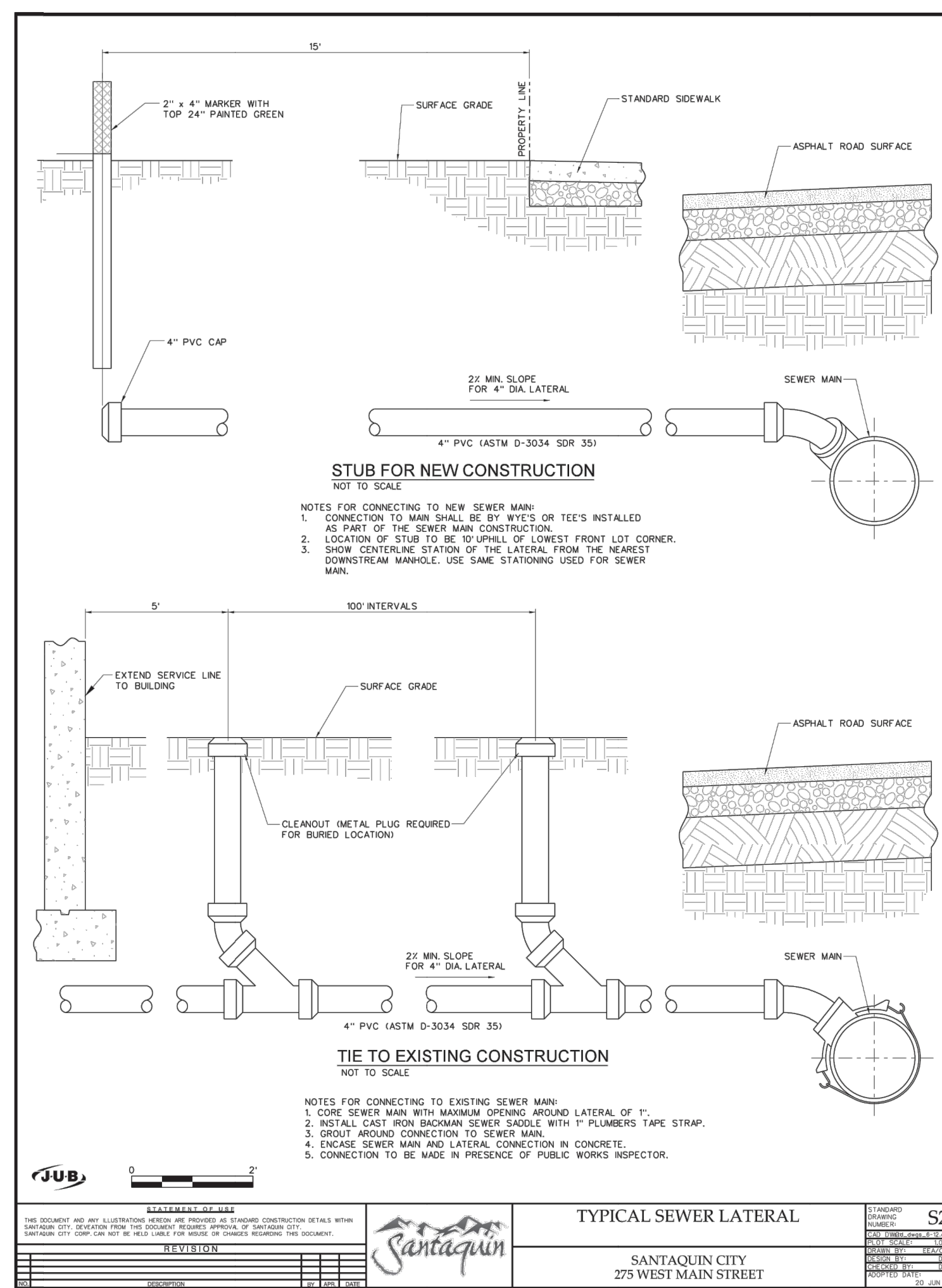
C400











**Water**

**Oldcastle Precast**

**Sand & Oil Interceptor**  
Model: SOI-Standard

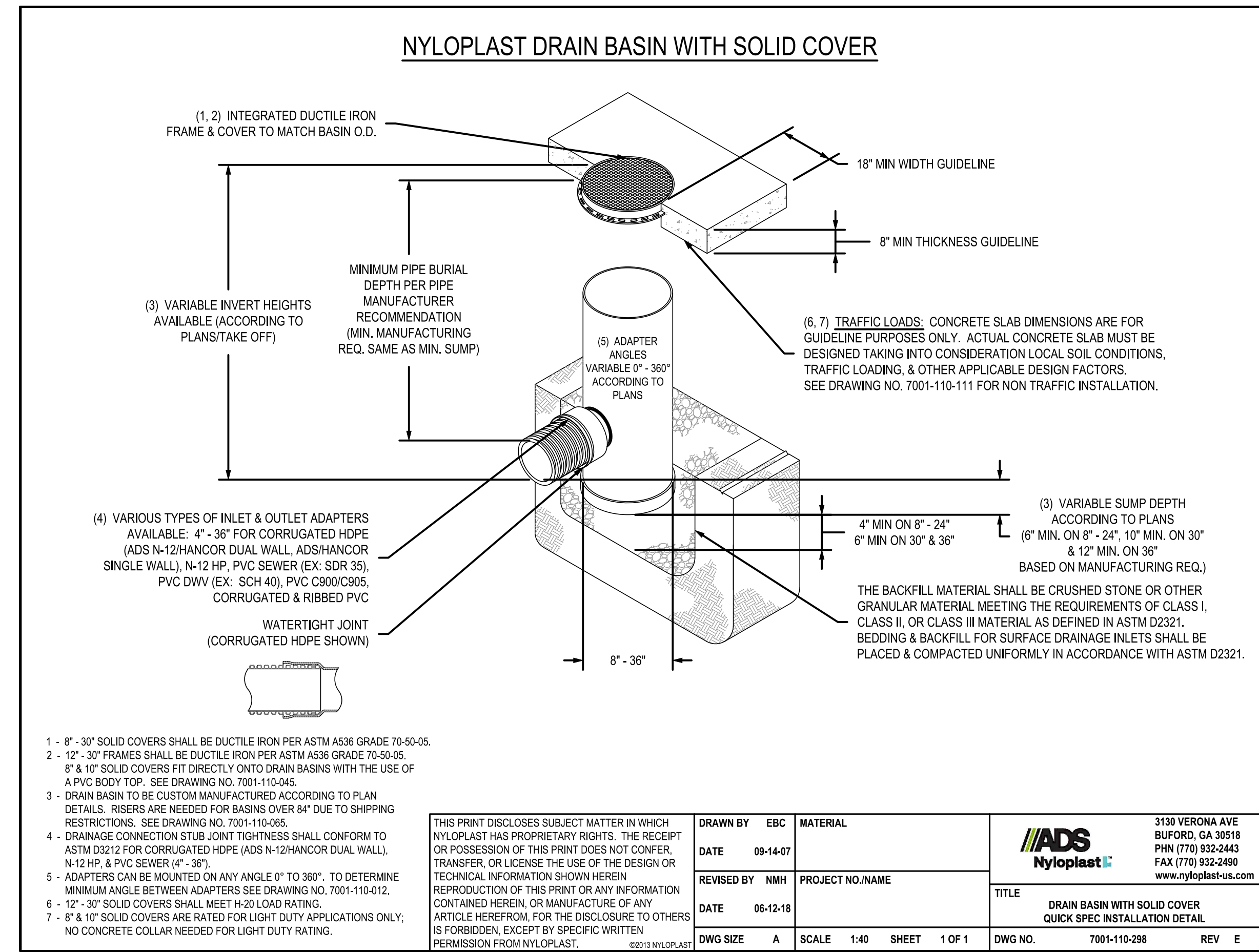
**Water**

**Oldcastle Precast**

**Sand & Oil Interceptor**  
Model: SOI-Standard

**1,000 GALLON SAND-OIL INTERCEPTOR**

GALLON CAPACITY	MODEL No.	Dim "A"	Dim "B"	WATER DEPTH DIM "C"	Dim "D"	Dim "E"	Dim "F"	HEIGHT
320	463-50	4'-0"	6'-0"	2'-0"	2'-2"	3'-0"	2'-10"	7.535
500	4113-50	4'-0"	11'-0"	2'-0"	2'-2"	3'-0"	2'-10"	11.631
1000	4116-50	4'-0"	11'-0"	3'-3"	3'-5"	4'-6"	4'-4"	16.231
1500	4116-50	4'-0"	11'-0"	5'-0"	5'-2"	6'-0"	5'-10"	18.831
1800	4116-50	4'-0"	11'-0"	5'-6"	5'-8"	6'-6"	6'-4"	20.031
2000	4116-50	4'-0"	11'-0"	6'-0"	6'-2"	7'-0"	6'-10"	21.231
2500	4116-50	4'-0"	11'-0"	6'-6"	6'-8"	6'-0"	5'-10"	24.529
3000	4116-50	4'-0"	11'-0"	7'-0"	7'-2"	6'-0"	6'-10"	27.464
3500	4116-50	4'-0"	11'-0"	7'-6"	7'-8"	3'-8"	3'-10"	29.521
4000	4116-50	4'-0"	11'-0"	8'-0"	8'-2"	3'-10"	3'-0"	31.702
5500	1119-50	11'-0"	17'-0"	4'-0"	4'-2"	5'-9"	5'-7"	40.964
6000	1119-50	11'-0"	19'-0"	4'-0"	4'-2"	5'-9"	5'-7"	44.462
7000	1122-50	11'-0"	22'-0"	4'-0"	4'-2"	5'-0"	4'-10"	45.883
8000	1126-50	11'-0"	22'-0"	4'-6"	4'-8"	5'-9"	5'-7"	49.708
9000	1126-50	11'-0"	27'-0"	4'-0"	4'-2"	5'-9"	5'-7"	58.451
10000	1126-50	11'-0"	29'-0"	4'-6"	4'-8"	5'-9"	5'-7"	61.949
11000	1138-50	11'-0"	34'-0"	4'-0"	4'-2"	5'-9"	5'-7"	70.692



**Great Plains West Region**

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(888-965-3227)

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**3 SAND OIL SEPARATOR**  
NOT TO SCALE













**10.52.030 DEVELOPMENT PROJECT LANDSCAPING REQUIREMENTS**

**B. General Landscaping Standards:**

REQUIRED	PROVIDED
B.1. Site Landscaping: All areas not utilized in a building footprint or necessary for site access, parking, or vehicle and pedestrian circulation shall be planted with an effective combination of trees, ground cover, lawn, shrubbery, and/or approved dry landscape materials and mulches under the standards established by this section and in accordance with an approved landscape plan.	ALL AREAS NOT UTILIZED FOR STRUCTURES OR HARDSCAPE CONTAIN LANDSCAPE
B.3. Plant Selection: Developments should include a good combination of evergreen trees in addition to deciduous trees in order to achieve a nonbarren landscape design during winter months when there are no leaves on the trees. Preference shall be given to those species listed in the city approved tree species list provided in the city's construction standards. Sod shall not be permitted in landscape areas less than four feet (4') in width.	PROPOSED TREE SPECIES ARE ON APPROVED TREE LIST OR CULTIVAR. NO SOD IS PROPOSED ON SITE.
B.7. Curbing: All landscape yards and areas abutting driveways, drive aisles, parking stalls and property lines shall be protected by a concrete curb, which shall be four inches wide and six inches deep (4" x 6").	CURBS PROVIDED AT LANDSCAPE

**C. Landscape Yards And Screening:**

REQUIRED	PROVIDED
C.1. Required Landscape Yards: Landscape yards within these zones shall be established in relationship to required setbacks for buildings and parking areas. 10.20.120 COMMERCIAL ZONES F.2.b. Setback Requirements: FRONT SETBACK (From private frontage): <b>0 FT</b> SIDE SETBACK (Minimum from adjacent property to building/ parking): <b>0 or 10FT/0 if shared or 5 FT</b> REAR SETBACK (Minimum from adjacent property to building/ parking): 10 FT/0 if shared or 5 FT 0 FT SIDE YARD AT SHARED WEST BOUNDARY, DRIVE AISLE AND ACCESS EASEMENT ONLY, NO SHARED BOUNDARY PRESENT, NO LANDSCAPE REQUIRED 0 FT FRONT YARD AT NORTHWEST BOUNDARY, NO LANDSCAPE REQUIRED <b>10 FT SIDE YARD REQUIRED AT SHARED NORTHEAST BOUNDARY WITH ADJACENT PARKING</b> 0 FT REAR YARD AT SOUTHEAST BOUNDARY, NO ADJACENT PROPERTY, NO LANDSCAPE REQUIRED 0 FT SIDE YARD AT SOUTH BOUNDARY, ACCESS DRIVE ONLY, NO BUILDING OR PARKING PRESENT, NO LANDSCAPE REQUIRED  Minimum Percentage Of Landscape Area: 10% TOTAL PROPERTY AREA: 64,255 SF 64,225 SF X 10% = <b>6,422 SF REQUIRED LANDSCAPE</b>	10 FOOT WIDE SIDEYARD PROVIDED AT NORTHEAST BOUNDARY  7,684 SF LANDSCAPE PROVIDED, SEE PLANT COVERAGE CALCULATIONS TABLE
C.2. Required Landscaping Amounts Within Landscape Yards: b. Side and rear landscape yards abutting a nonresidential development or property zoned for such shall include a minimum of one tree and four (4) shrubs for each forty (40) linear feet or fraction thereof of the landscape yard area (as measured along the property line). SIDE YARD AT SHARED WEST BOUNDARY: DRIVE AISLE AND 0 YARD REQUIRED FRONT YARD AT NORTHWEST BOUNDARY: 0 YARD REQUIRED SIDE YARD AT NORTHEAST BOUNDARY: 205.58 FT / 40 FT = <b>5.14 = 5 TREES AND 20 SHRUBS REQ.</b> REAR YARD AT SOUTHEAST BOUNDARY: NOT ABUTTING AN ADJACENT PROPERTY SIDE YARD AT SOUTH BOUNDARY: 0 YARD REQUIRED	5 TREES AND 20 SHRUBS PROVIDED AT NORTHEAST BOUNDARY
C.2. Required Landscaping Amounts Within Landscape Yards: c. Front and street side landscape areas shall include a minimum of one tree for each forty (40) linear feet or fraction thereof of the landscape yard area (as measured along the property line). FRONT YARD: NO LANDSCAPE REQUIREMENT WHEN SETBACK IS AT 0 FT	NORTHWEST FRONT SETBACK IS AT 0 FT, NO LANDSCAPE IS REQUIRED
C.2. Required Landscaping Amounts Within Landscape Yards: d. In addition to the above, ground cover shall be provided over all landscape areas.	MULCH GROUNDCOVER PROVIDED OVER ALL LANDSCAPE AREAS
C.5. Utility Screening: All aboveground utility equipment (e.g., power, phone, cable boxes, etc.) as well as ground mounted HVAC equipment, etc., shall be screened from public view by a wall or plantings equal to or greater than the equipment height.	TRANSFORMER WILL BE SCREENED BY BERM, HVAC ROOF MOUNTED
C.6. Fencing And Property Line Screening: a. In addition to the required landscaping, screening along rear or side property lines should incorporate bermed open construction barriers, low maintenance fencing materials or decorative walls constructed of stone, masonry or decorative iron.	EXISTING BERM TO REMAIN ALONG REAR OF BUILDING
C.7. Decorative Materials: Materials such as crushed rock, redwood chips, pebbles, pavers, or stamped concrete and stones may not cover more than fifty percent (50%) of the areas required to be landscaped. Artificial plants are not acceptable. 6,422 SF REQUIRED LANDSCAPE X 50% = <b>3,211 SF REQUIRED COVERAGE</b>	7,684 SF LANDSCAPE COVERAGE PROVIDED, SEE PLANT COVERAGE TABLE FOR CALCULATIONS

**D. Building Landscaping:**

REQUIRED	PROVIDED
D.1. Except within MBD areas, exposed sections of building walls that are in high visibility areas along arterial and collector streets as well as on site, general public access areas, shall have planting beds approximately six feet (6') wide placed directly along at least fifty percent (50%) of such walls. These planting areas may overlap required landscape yards.	6 FOOT WIDE PLANTING BED AND SHRUBS PLACED ALONG 50% OF BUILDING FACE IN HIGH VISIBILITY AREA ALONG HIGHWAY OFF RAMP ON SOUTHEAST FACADE
D.2. Trash enclosures and other accessory structures shall have a minimum five foot (5') wide planting area along three (3) sides and a minimum of four (4) shrubs per landscaped side. These planting areas may overlap required landscape yards.	4 SHRUBS PROVIDED ON 3 SIDES OF THE TRASH ENCLOSURE
D.3. Except within MBD areas, a group of four (4) shrubs and one tree shall be provided in a landscape area or grade adjacent to the front and side elevations of a building per fifty (50) linear feet or fraction thereof, of elevation where the building exceeds one hundred feet (100') in length (e.g., 110 feet of building face would require 3 of the above groupings) (Ord. 07-01-2016, 7-6-2016, eff. 7-7-2016) FRONT FACADE, NOT ADJACENT TO LANDSCAPE AREA OR OPEN GRADE NORTHEAST FACE, 59 FEET = <b>2 TREES AND 8 SHRUBS REQUIRED</b> SOUTHWEST FACE, 59 FEET = <b>2 TREES AND 8 SHRUBS REQUIRED</b>	2 TREES AND 8 SHRUBS PROVIDED FOR EACH SIDE ELEVATION

**E. Parking Area Landscaping:**

REQUIRED	PROVIDED
1. Landscape Areas: Landscaping shall be provided in the amount of six percent (6%) of the interior space of parking lots with less than one hundred (100) spaces, and ten percent (10%) of the interior space of all parking lots with one hundred (100) spaces or more. For single developments on less than two (2) acres, this percentage will count toward the minimum landscape requirement provided in paragraph C.1. 21,488 SF INTERIOR PARKING LOT X 6% = <b>1,290 SF REQUIRED PARKING LOT LANDSCAPE</b>	2,292 SF PARKING LOT LANDSCAPE PROVIDED
E.2. Screening: Screening from the street and all nonresidential uses shall be of sufficient height and opacity to continuously block the lowest three feet (3') of the cross section view of the parking area from the street or adjacent use. These screening standards may be met in any number of different ways, including, but not limited to, a garden wall, earthen berm, constructed planter, dense hedge, or combination of ways. Landscape plans submitted for review shall include a graphic depiction of the parking lot screening as viewed from the street. Plant material used for the required screening shall achieve required capacity in its winter seasonal condition within three (3) years of construction of the vehicular use area.	3 FOOT TALL HEDGE PLANTED ALONG PARKING PERIMETER, SEE SCREENING SECTION DETAIL 2L301
E.4. Planter Islands: Landscaped islands shall be provided at the end of parking aisles and appropriately spaced at intermediate locations along parking aisles.	ISLANDS PROVIDED AT END OF PARKING AISLES
E.4. Planter Islands: a. Dimensions: Islands at the end of single stall width parking aisles shall be at least six feet (6') in width and eighteen feet (18') in length. Islands at the end of dual stall width parking aisles shall be at least six feet (6') in width and thirty six feet (36') in length, with at least one hundred sixty (160) square feet of ground area per shade tree or one hundred (100) square feet of ground per ornamental tree to allow for root aeration.	PLANTER ISLANDS ARE AT LEAST 6 FT WIDE, AT LEAST 160 SF PROVIDED PER SHADE TREE
E.4. Planter Islands: b. Vegetation: Islands shall include one or more canopy shade trees and four (4) or more shrubs per eighty (80) square feet of planter area. Additionally, ground cover shall be provided over the entire landscape area.	1 TREE MINIMUM PROVIDED PER ISLAND, 10 SHRUBS PROVIDED
775 SF OF PLANTER / 80 SF = <b>10 REQUIRED SHRUBS</b>	GROUNDCOVER PROVIDED OVER ENTIRE LANDSCAPE AREA

**F. Species Diversity And Minimum Standards:**

REQUIRED	PROVIDED
1. Diversity: To prevent uniform insect or disease susceptibility and eventual uniform maturity and agedness on a development site or in the adjacent area or the district, species diversity is required and extensive monocultures are prohibited. The following requirements shall apply to site development plans: Number Of Trees On Site: 10 - 19 Maximum Percentage Of Any One Species: 75%	14 TREES REQUIRED, NO MORE THAN 10 OF ONE SPECIES PROVIDED



**PLANT COVERAGE CALCULATIONS**

**TOTAL LANDSCAPING**

ABBR	QUANTITY	AREA	TOTAL SF
CAC	16	7.07	113.12
EPV	32	7.07	226.24
FAP	77	12.57	967.89
RHT	20	28.27	565.40
SYC	10	19.63	196.30
PLANTING AREA SEEDED AREA			2068.95
<b>TOTAL PROVIDED COVERAGE</b>			<b>7683.95</b>
<b>TOTAL REQUIRED COVERAGE</b>			<b>3211.00</b>

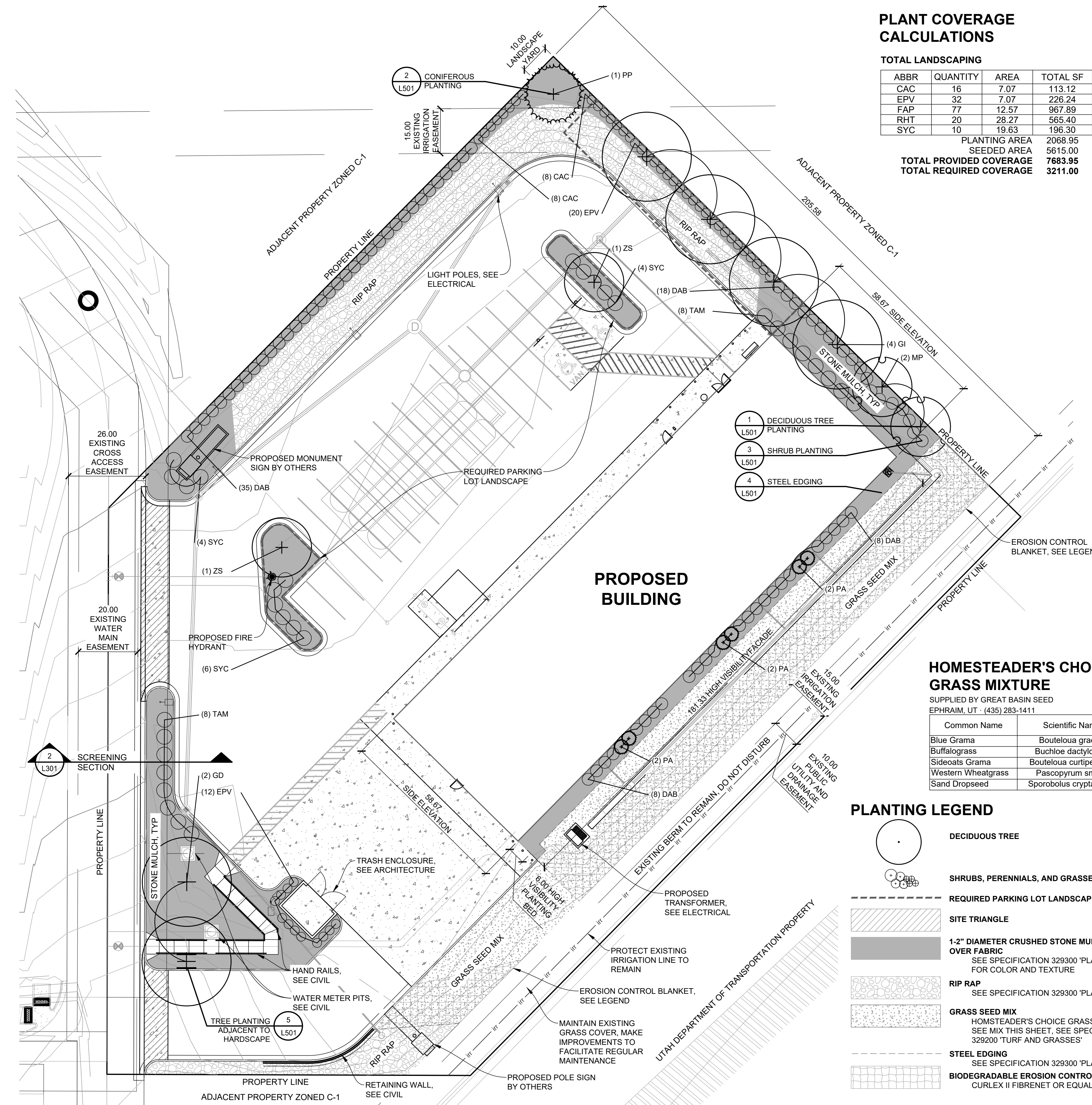
**HOMESTEADER'S CHOICE GRASS MIXTURE**

SUPPLIED BY GREAT BASIN SEED  
EPHRAIM, UT - (435) 283-1411

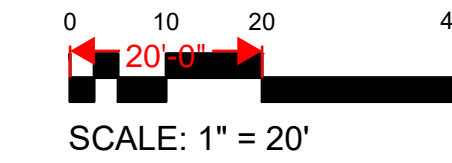
Common Name	Scientific Name
Blue Grama	Bouteloua gracilis
Buffalograss	Buchloe dactyloides
Sideoats Grama	Bouteloua curtipendula
Western Wheatgrass	Pascopyrum smithii
Sand Dropseed	Sporobolus cryptandrus

**PLANTING LEGEND**

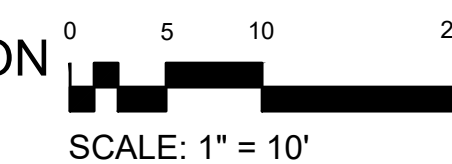
- DECIDUOUS TREE
- SHRUBS, PERENNIALS, AND GRASSES
- REQUIRED PARKING LOT LANDSCAPING
- SITE TRIANGLE
- 1-2" DIAMETER CRUSHED STONE MULCH OVER FABRIC  
SEE SPECIFICATION 329300 "PLANTS" FOR COLOR AND TEXTURE
- RIP RAP  
SEE SPECIFICATION 329300 "PLANTS"
- GRASS SEED MIX  
HOMESTEADER'S CHOICE GRASS MIXTURE, SEE MIX THIS SHEET, SEE SPECIFICATION 329200 "TURF AND GRASSES"
- STEEL EDGING  
SEE SPECIFICATION 329300 "PLANTS"
- BIODEGRADABLE EROSION CONTROL BLANKET  
CURLEX II FIBRENET OR EQUAL



**1 PLANTING PLAN**



**2 SCREENING SECTION**



**PLANT SCHEDULE**

CONFEROUS TREES	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	PKG.	MATURE SIZE	
PA	6	PICEA ABIES 'CUPRESSINA'	COLUMNAR NORWAY SPRUCE	8' HT.	B&B	20-25' H X 5-6' W	
PP	1	PICEA PUNGENS 'FAT ALBERT'	FAT ALBERT BLUE SPRUCE	4' HT.	B&B	40-45' H X 20-25' W	
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	PKG.	MATURE SIZE	
GI	4	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE THORNLESS HONEY LOCUST	2" CAL.	B&B	35-45' H X 25-35' W	
GD	2	GYMNOCLADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	2" CAL.	B&B	50' H X 35' W	
ZS	2	ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO SAWLEAF ZELKOVA	2" CAL.	B&B	40' H X 15-20' W	
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	PKG.	MATURE SIZE	
MP	2	MALUS X 'PRAIRIFIRE'	PRAIRIFIRE CRABAPPLE	1.5" CAL.	B&B	15-20' H X 15-20' W	
DECIDUOUS SHRUB	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	PKG.	MATURE SIZE	SPACING
CAC	16	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	BLUE MIST BLUEBEARD	1 GAL.	POT	2.5' H X 2.5' W	36" o.c.
DAB	77	DAPHNE X BURKWOODII 'CAROL MACKIE'	CAROL MACKIE DAPHNE	5 GAL.	POT	3-4' H X 3-5' W	48" o.c.
EPV	32	EPHEDRA VIRIDIS	MORMON TEA	1 GAL.	POT	3-4' H X 3-4' W	36" o.c.
SYC	14	SYMPHORICARPOS X CHENAULTII 'HANCOCK'	HANCOCK CHENAULT CORALBERRY	1 GAL.	POT	2' H X 6-8' W	60" o.c.
TAM	16	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	5 GAL.	POT	3-4' H X 4-6' W	60" o.c.





PERMIT SET

2023.08.04  
PROJECT #LSUT\_21SANTA  
DRAWN BY | DONOVAN  
CHECKED BY | HANSEN  
REVISIONS

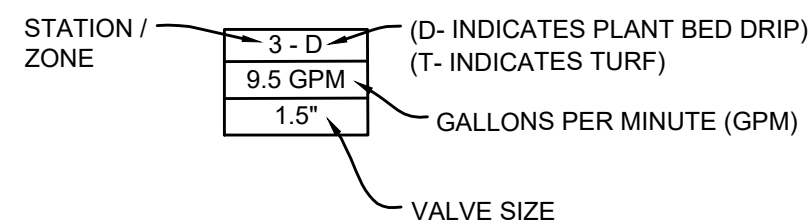
IRRIGATION  
PLAN

L401

**IRRIGATION LEGEND**

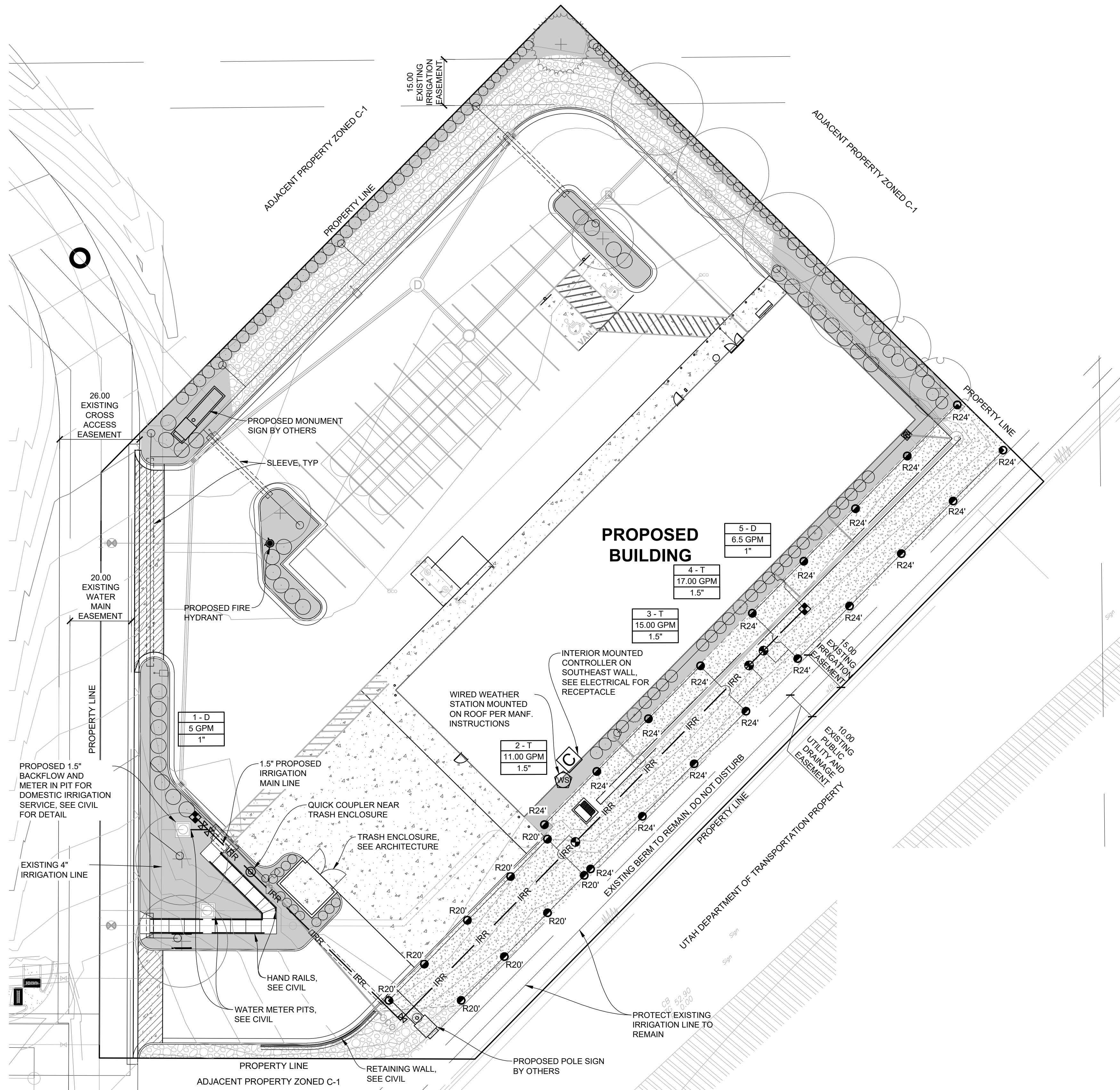
SYMBOL	DESCRIPTION	DETAIL	SHEET
	WATER POINT OF CONNECTION BY DEVELOPER	1	C403
	NEW MAIN LINE, 1.5" SCH 40 PVC	2	L502
	LATERAL LINE, CLASS 200 PVC IPS PLASTIC PIPE	2	L502
	SLEEVE SCH 40 PVC	3	L502
	ISOLATION VALVE AS SPECIFIED	5	L502
	DRIP CONTROL VALVE AS SPECIFIED	7	L502
	ELECTRIC CONTROL VALVE AS SPECIFIED	16	L502
	QUICK COUPLER AS SPECIFIED	9	L502
	DRIP ZONE, INLINE DRIP TUBING OR DRIP TUBING WITH POINT SOURCE EMITTERS, AS SPECIFIED FLOW: 6 GPH TREES 2 GPH SHRUBS	11	L401
	EMITTER SPACING: PER PLANT LAYOUT ROW SPACING: PER PLANT LAYOUT		
	SPRINKLER HEADS BODIES: RAINBIRD 5006-SAM-R-SS NOZZLES: RAINBIRD MPR NOZZLES	12	L502
	TRADITIONAL CONTROLLER AS SPECIFIED	14	L502
	WEATHER STATION AS SPECIFIED	15	L502

**ZONE CALLOUT:**

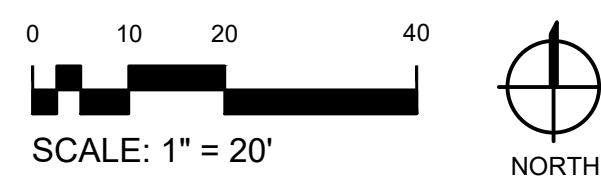


**IRRIGATION NOTES**

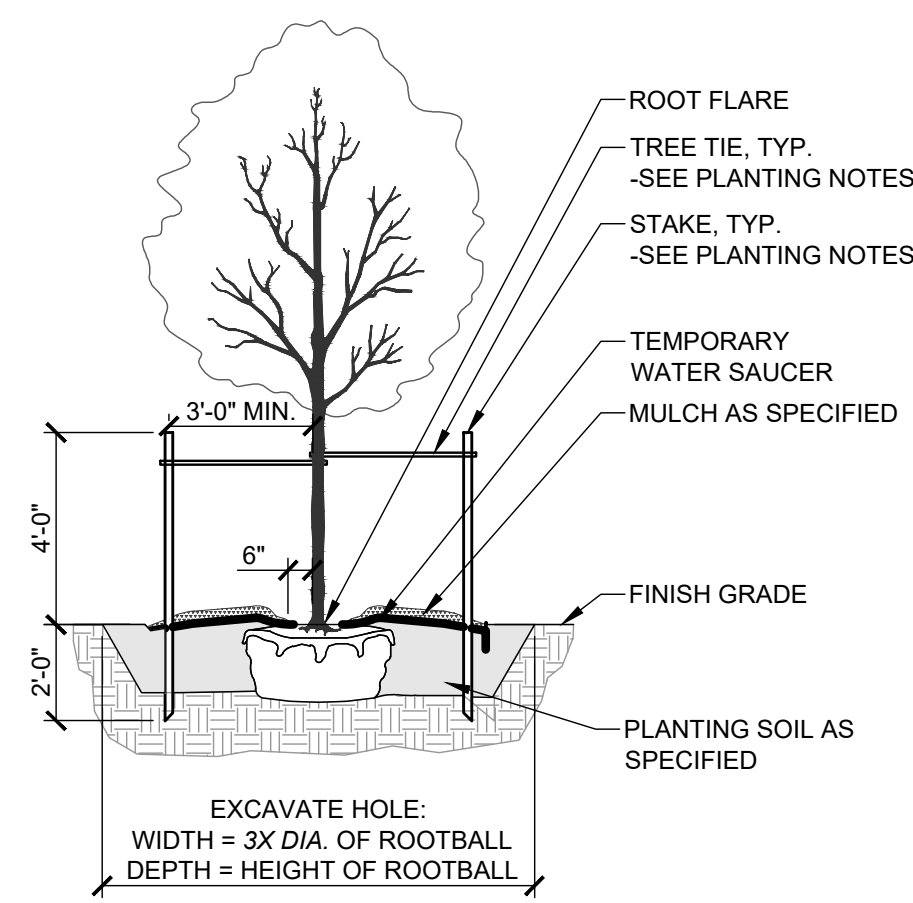
- SEE SPECIFICATION 328400 'PLANTING IRRIGATION' FOR MORE INFORMATION.
- CONTRACTOR TO DESIGN IRRIGATION SYSTEM PER SCHEMATIC LAYOUT AND INSTALL UNDERGROUND AUTOMATIC IRRIGATION SYSTEM TO PROVIDE ADEQUATE WATER FOR ALL PLANT MATERIAL AS SHOWN ON DRAWINGS. INSTALL MANUAL DRAINS AT LOW POINTS AND AIR RELIEF VALVES AT HIGH POINTS ALONG MAINLINE. INSTALL QUICK COUPLERS AT END OF MAINLINE AND ISOLATION VALVES DOWNSTREAM OF MAINLINE TEES.
- IRRIGATION SYSTEM TO BE INSTALLED TO PREVENT OVER-SPRAY ONTO BUILDING AND PAVED SURFACES.
- THE PLAN IS DIAGRAMMATIC FOR PIPING. ADJUST PIPE LOCATION AS NECESSARY. ALL VALVES & PIPING ARE TO BE INSTALLED IN PLANTING OR MULCH AREAS.
- DO NOT INSTALL THE IRRIGATION SYSTEM WHEN OBVIOUS OBSTRUCTIONS, GRADE CHANGES OR OTHER DETRIMENTAL SITE GEOMETRY EXISTS.
- ALL INFORMATION SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION THROUGH SUBMITTALS.
- IN THE EVENT OF ANY DISCREPANCIES, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR TO VERIFY AVAILABLE GALLONAGE, PRESSURE, POWER, AND PROTECTION OF WATER SOURCE AS DESIGNED BEFORE INSTALLATION OF SYSTEM.
- PROPOSED TREES, SHRUBS, AND PERENNIALS SHALL BE WATERED BY POINT SOURCE DRIFLINE WITH DRIP ZONE CONTROL KIT AS DETAILED AND NOTED ON LEGEND. PROVIDE PVC LATERALS TO BEDS AND CONNECT TO PE PIPE AS DETAILED, SPECIFIED AND SHOWN ON PLAN.
- CONTRACTOR SHALL PROVIDE SLEEVING FOR PIPE BELOW PAVEMENT. SLEEVE AS SPECIFIED. SUPPLY ONE EXTRA SLEEVE WITH EACH MAINLINE SLEEVE FOR CONTROL WIRES. COORDINATE SLEEVE INSTALLATION WITH OTHER TRADES AND OTHER PROJECTS. BORE UNDER EXISTING PAVED AREAS AS REQUIRED USING DRILL, AUGER, WATER JET, OR ANY OTHER INSTRUMENT APPROVED BY OWNER'S REPRESENTATIVE CAPABLE OF PRODUCING A PRECISE HOLE. BORING SHALL NOT DISTURB OVERLAYING STRUCTURES OR CAUSE SETTLEMENT AND DAMAGE TO THOSE STRUCTURES. IF DEMOLISHING EXISTING PAVEMENT FOR SLEEVE INSTALLATION, PATCH EXISTING ASPHALT AS REQUIRED.
- IRRIGATION SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL PERTINENT CODES AND REGULATIONS, THE REFERENCED STANDARDS, AND THE MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE ALL COMPONENTS REQUIRED FOR PROPER WINTERIZATION OF SYSTEM.
- LINE SIZE WINTERIZATION BLOW-OUT ADAPTER SHALL BE INSTALLED IMMEDIATELY DOWN STREAM OF POINT OF CONNECTION.
- LATERAL LINES SHALL BE SOLVENT WELDED CL200 PVC PIPE.
- ELECTRICAL & MANUAL GATE VALVES SHALL BE INSTALLED IN VALVE BOXES OR APPROVED EQUAL. USE A 12" STANDARD BOX FOR ALL CONTROL VALVES. 10" ROUND FOR ALL OTHERS.
- PROVIDE VALVE BOX EXTENSIONS AS REQUIRED.
- ALL WIRES SHALL BE INSTALLED UNDER A MINIMUM OF 12" COVER AND MAY BE INSTALLED IN TRENCHES WITH PIPE AS LONG AS THE WIRES ARE INSTALLED UNDER THE PIPE.
- DBY DRY SPLICE WIRE CONNECTORS SHALL BE USED FOR ALL ELECTRICAL CONNECTIONS.
- ADD AIR RELIEF VALVE PER DETAIL AT HIGHEST POINT IN THE IRRIGATION SYSTEM.
- ALL IRRIGATION LINES SHALL BE SURVEYED, AND SHOWN ON AS-BUILT DRAWINGS, IN THREE DIMENSIONS AT EACH END AND ALL ANGLE POINTS. TOP OF WATER PIPE SHALL ALSO BE AS-BUILT.



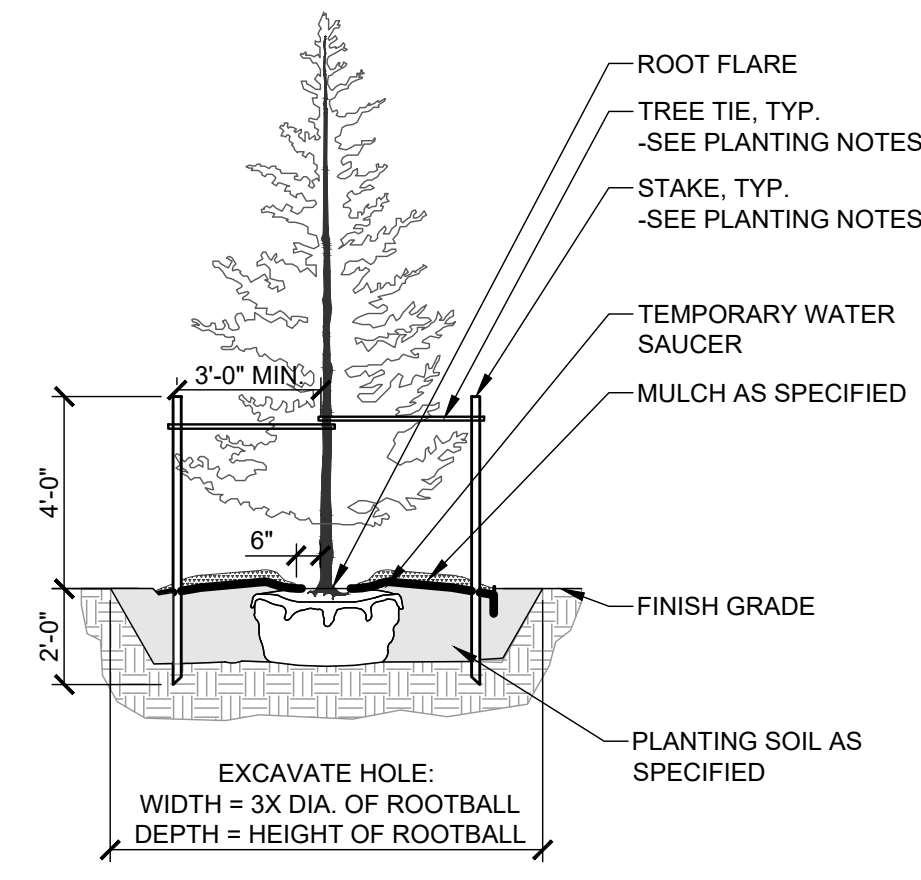
**1 IRRIGATION PLAN**



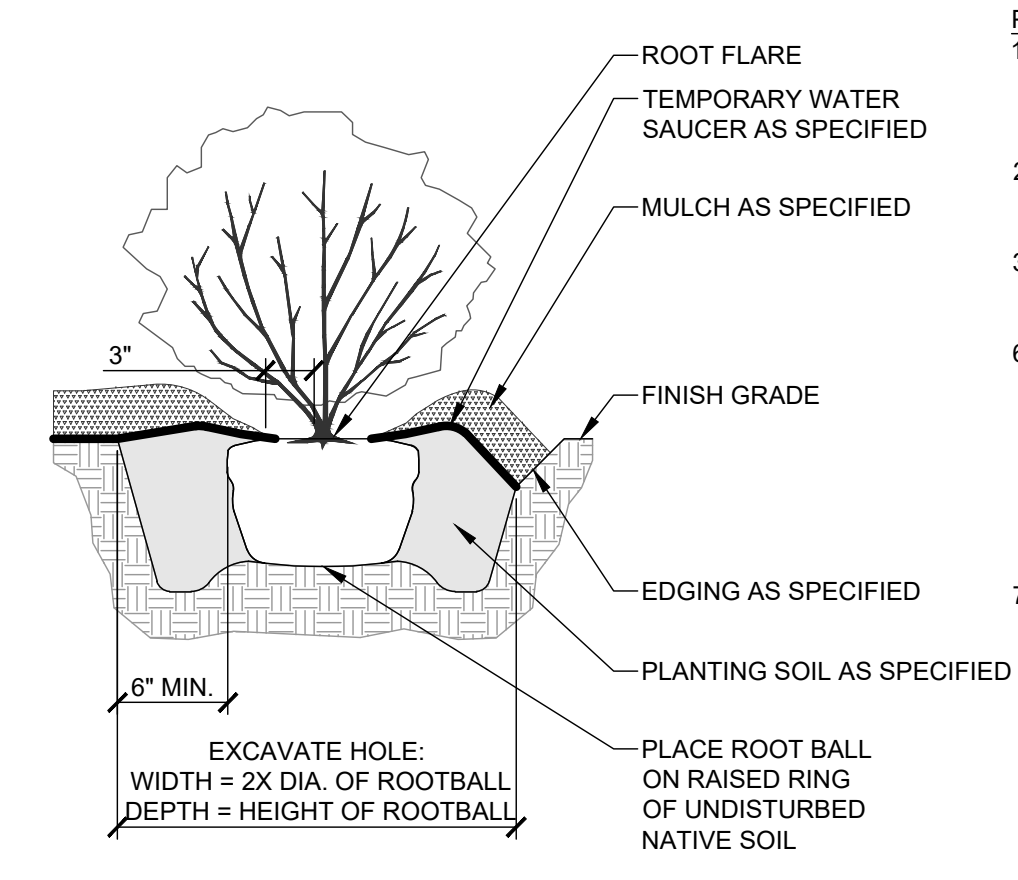




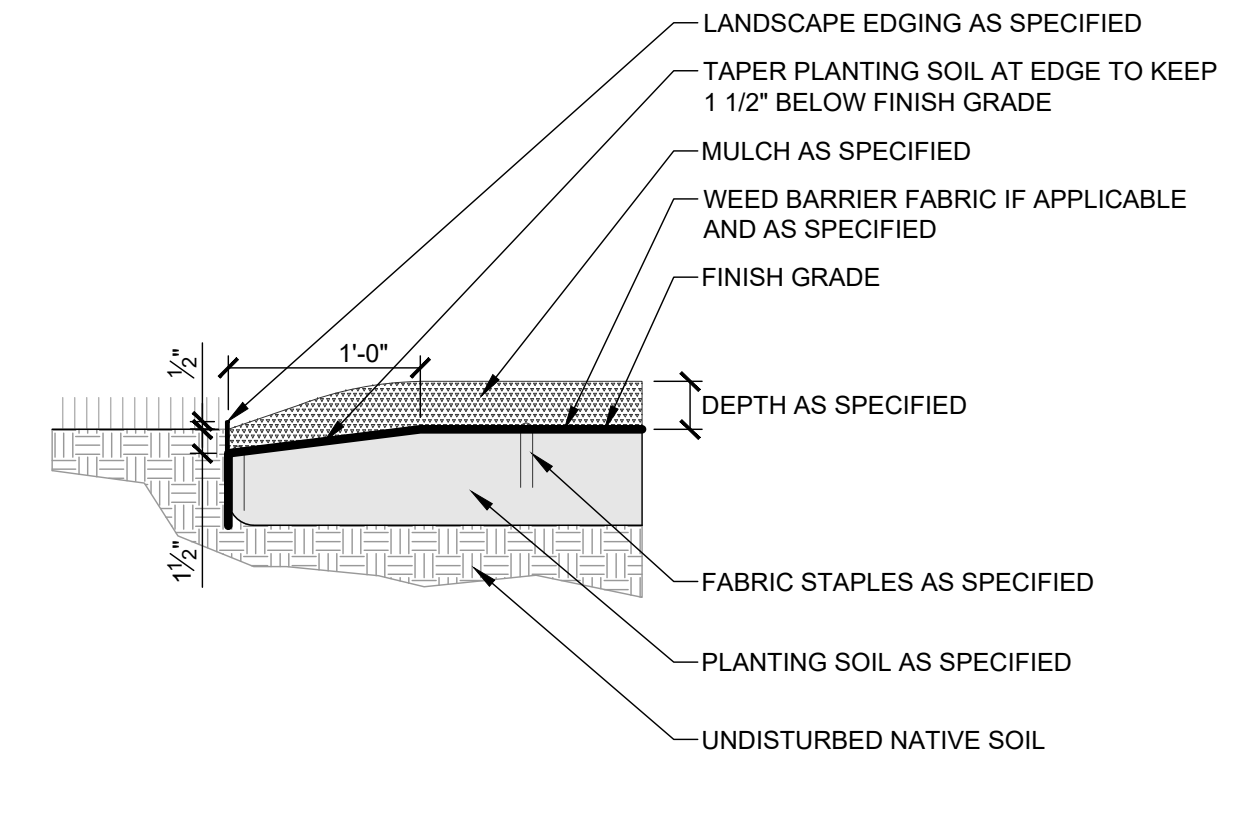
- PLANTING NOTES:**
- FOR MORE INFORMATION SEE PLANTING NOTES ON L501 AND SPECIFICATION 329300 'PLANTS.'
  - REMOVE ALL TWINE, STRING, AND WIRE FROM ROOTBALL. REMOVE BURLAP ENTIRELY FROM ROOT BALL. THE ROOT FLARE OF ALL TREES SHALL BE LEVEL WITH OR UP TO 1" ABOVE GRADE.
  - ALL TREES SHALL BE INSTALLED WITH A TEMPORARY SAUCER OF RAISED SOIL AT THE EDGE OF ROOT BALL TO CONTAIN WATER. REMOVE OR BREACH WATER SAUCER BEFORE THE FIRST FROST.
  - PULL MULCH AWAY FROM TRUNK A MINIMUM OF 6".



- PLANTING NOTES:**
- FOR MORE INFORMATION SEE PLANTING NOTES ON L501 AND SPECIFICATION 329300 'PLANTS.'
  - REMOVE ALL TWINE, STRING, AND WIRE FROM ROOTBALL. REMOVE BURLAP ENTIRELY FROM THE ROOT FLARE OF ALL TREES SHALL BE LEVEL WITH OR UP TO 1" ABOVE GRADE.
  - ALL TREES SHALL BE INSTALLED WITH A TEMPORARY SAUCER OF RAISED SOIL AT THE EDGE OF ROOT BALL TO CONTAIN WATER. REMOVE OR BREACH WATER SAUCER BEFORE THE FIRST FROST.
  - PULL MULCH AWAY FROM TRUNK A MINIMUM OF 6".



- PLANTING NOTES:**
- FOR MORE INFORMATION SEE PLANTING NOTES ON L501 AND SPECIFICATION 329300 'PLANTS.'
  - REMOVE ALL ROOT CONTAINMENT MATERIALS FROM ROOTBALL.
  - THE ROOT FLARE OF ALL SHRUBS SHALL BE LEVEL WITH OR UP TO 1" ABOVE GRADE.
  - ALL SHRUBS SHALL BE INSTALLED WITH A TEMPORARY SAUCER OF RAISED SOIL AT THE EDGE OF ROOT BALL TO CONTAIN WATER. REMOVE OR BREACH WATER SAUCER BEFORE THE FIRST FROST.
  - PULL MULCH AWAY FROM ROOT FLARE 3".



**1 DECIDUOUS TREE PLANTING**

1/4"=1'-0"

**2 CONIFEROUS TREE PLANTING**

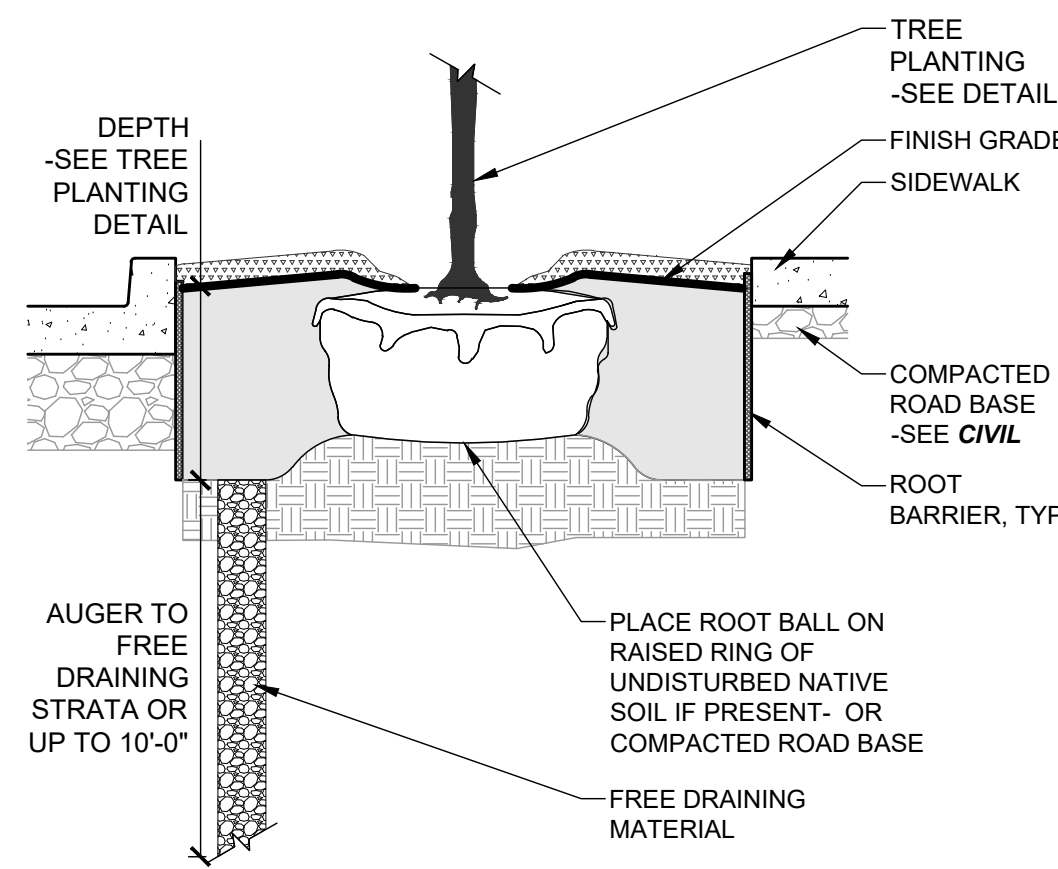
1/4"=1'-0"

**3 SHRUB PLANTING**

1"=1'-0"

**4 STEEL EDGING**

1"=1'-0"



- NOTES:**
- CONTRACTOR SHALL INSTALL ROOT BARRIER IN ALL PLANTING BEDS THAT ARE WITHIN FIVE FEET OF ANY SIDEWALK, CURB, MEDIAN/ISLAND OR AS DENOTED ON THE LANDSCAPE PLAN. THE ROOT BARRIER SHALL BE BLACK, MADE OF HIGH DENSITY RECYCLED POLYSTYRENE RUBBER, MODIFIED WITH THE 90° RIBS EVERY 6 INCHES.
  - BARRIER THICKNESS SHALL BE .065 OR .080 MILS.
  - CONTRACTOR TO INSTALL THE ROOT BARRIER WITH THE RAISED ROOT GUIDING RIBS TOWARDS THE TREE ROOTS.
  - THE TOP OF THE ROOT BARRIER MUST BE NO GREATER OR LESS THAN 1 INCH ABOVE FINISH GRADE.
  - INSTALL DRAINAGE FOR EACH TREE WITHIN ALL COMPACTED OR HARDPAN AREAS.
  - PLACE HOLE WITHIN EXCAVATED AREA AT LOWEST POINT- NOT UNDER ROOT BALL.
  - AUGER 6" MIN. DIAMETER HOLE INTO FREE DRAINING STRATA OR UP TO A DEPTH OF 10 FT. FOR MULTIPLE HOLES SPACE A MIN. OF 2 FT APART IN A GRID LAYOUT.
  - FILL HOLE WITH WATER AND ALLOW TO PERCOLATE AWAY BEFORE POSITIONING TREES AND SHRUBS.
  - NOTIFY LANDSCAPE ARCHITECT IF WATER DOES NOT PERCOLATE WITHIN 24 HOURS.

**5 TREE PLANTING ADJACENT TO HARDSCAPE**

**PLANTING NOTES**

- SEE SPECIFICATIONS 329113 SOIL PREPARATION AND 329300 PLANTS.
- EVALUATE EXISTING SITE CONDITIONS AND REMEDY AS REQUIRED TO PROVIDE FOR HEALTHY PLANT GROWTH AND MITIGATE UNSIGHTLY CONDITIONS.
- RE-GRADE, PREPARE SOIL AND PLANT ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY. PLANT PER PLANTING PLAN. FOR DISTURBANCES BEYOND PLAN, MATCH EXISTING PLANTS AND ACCESSORIES. A DISTURBED AREA SHALL BE WHERE CONSTRUCTION ACTIVITIES INCLUDING TRENCHING, DEMOLITION, EARTHWORK, MATERIAL STORAGE, STAGING AND PARKING OR ANY OTHER FORM OF EXCAVATION, COMPACTION, OR TRAFFIC RESULTS IN THE REMOVAL OR DISPLACEMENT OF EXISTING GROUND COVER OR GRADE. PROVIDE SMOOTH AND CLEAN TRANSITION BETWEEN EXISTING AND DISTURBANCES. IRRIGATION DISTURBANCE AREAS ARE CONCEPTUAL, COORDINATE ACTUAL.
- PERFORM SOIL SAMPLING AND TESTING AS SPECIFIED.
- PREPARE SUBGRADE AND PLACE SOIL PER SPECIFICATION 329113 'SOIL PREPARATION' FOR PLANTING SOIL. COORDINATE TOPSOIL INSTALLATION WITH OTHER TRADES. IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER SEEPAGE OR RETENTION NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY AND MITIGATE AS REQUIRED.
- AMEND PLANTING SOIL AS SPECIFIED. SEE SPEC 329113 SOIL PREPARATION. FOR COMPACTED AREAS (PREVIOUSLY PAVED/HARDPAN AREAS), SCARIFY SOILS AS SPECIFIED AND MODIFY PLANTING PIT AS SPECIFIED & DETAILED.
- ALL PLANT MATERIAL SHALL RECEIVE AN ADEQUATE AMOUNT OF WATER TO MEET ITS WATERING REQUIREMENTS AND SHALL BE SUPPLIED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SEE SPEC 328400 PLANTING IRRIGATION AND IRRIGATION PLAN.
- PRIOR TO PLANTING, IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND PLANTING AREAS SHALL BE HAVE APPROPRIATE MOISTURE FOR INSTALLING PLANTS.
- INSTALL PLANTINGS AND ACCESSORIES AS DETAILED AND PER PROJECT MANUAL SPECIFICATIONS.
- MAINTAIN PLANTS AS SPECIFIED.

**TREE, SHRUB, AND PERENNIAL NOTES**

- PRIOR TO PLANTING INSTALLATION, CONTRACTOR TO CONFIRM CONTACT LANDSCAPE ARCHITECT FOR PLANT INSPECTION AND REVIEW OF PLANT LAYOUT PRIOR TO DIGGING PLANTING HOLES.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS DETAILED AND SPECIFIED AND CONFORM TO THE CURRENT AMERICAN NURSERY AND LANDSCAPE ASSOCIATION STANDARD FOR NURSERY STOCK.
- CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES. THE ILLUSTRATED LOCATION SHALL DICTATE COUNT.
- NO PLANT SUBSTITUTIONS WILL BE ALLOWED WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE ARCHITECT.
- WARRANTY PLANT MATERIAL AS SPECIFIED.

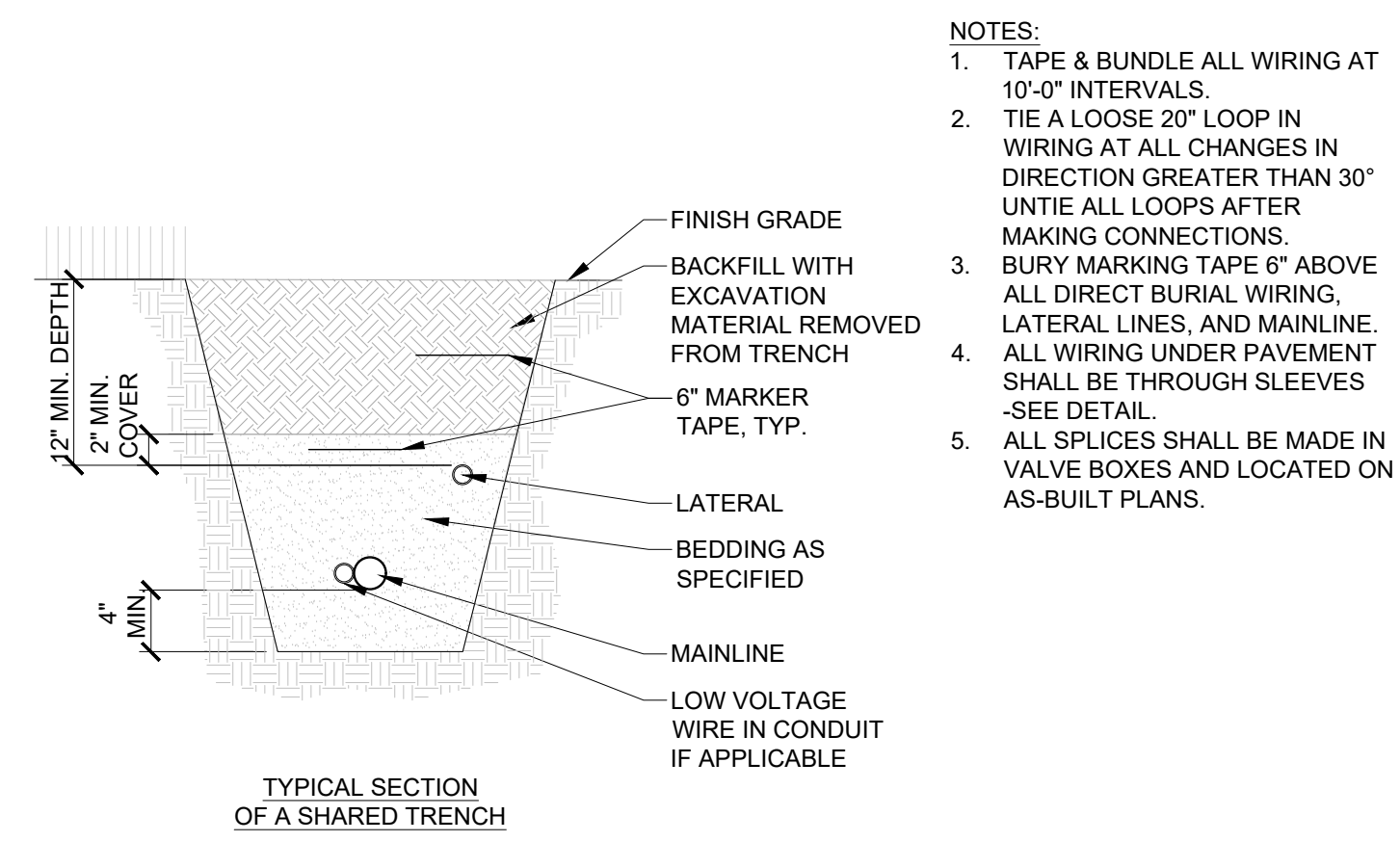
**MULCH NOTES**

- ALL LANDSCAPE BEDS WITH CONTAINER PLANTS ARE TO RECEIVE FABRIC AND MULCH AS SPECIFIED. MODIFY FINISH GRADE ADJACENT TO WALKING SURFACES TO PREVENT MULCH FROM MIGRATING OR WASHING ONTO SUCH SURFACES DURING RAIN EVENTS.
- SUBMIT SAMPLE OF MULCHES TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
- EDGING LOCATION AS NOTED ON DRAWINGS AND DETAILS. EDGING TO BE INSTALLED BETWEEN MULCHES AND AT NEIGHBORING PROPERTY.

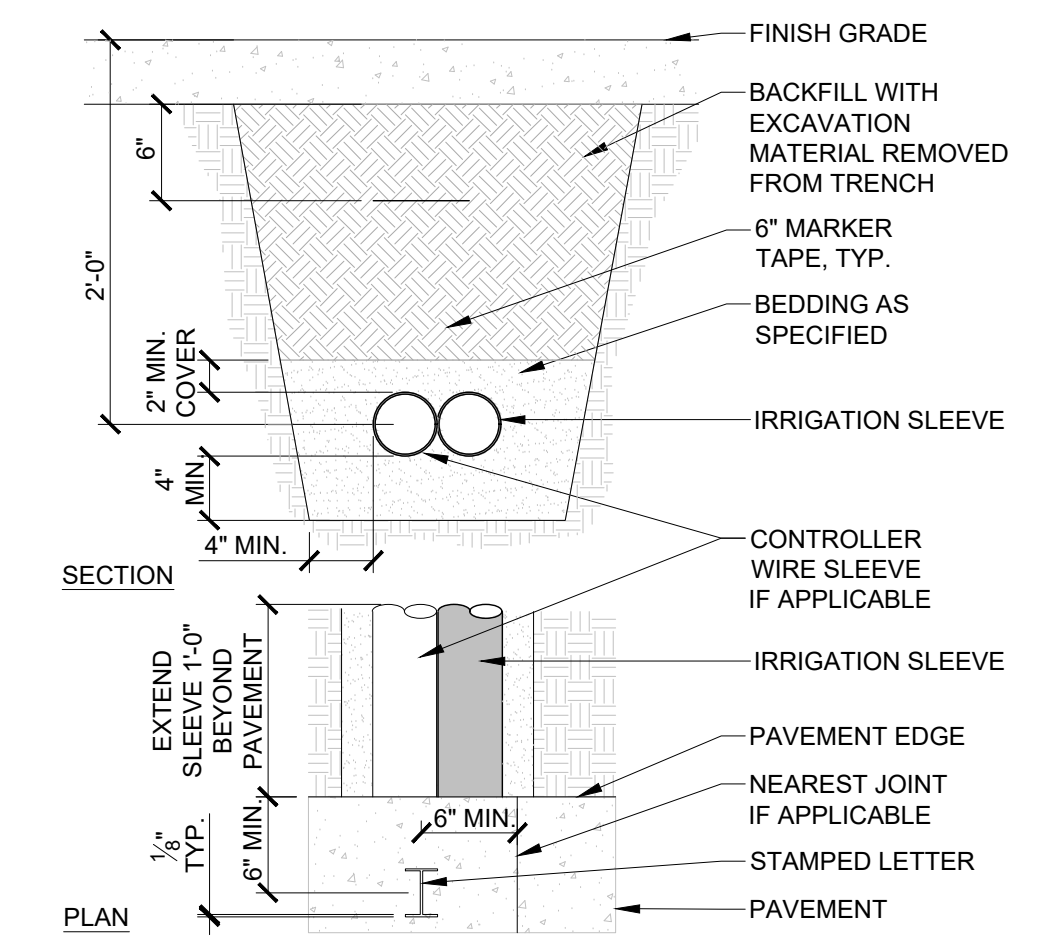
**SOIL NOTES**

- PLANTING SOIL AS SPECIFIED IN 329113 'SOIL PREPARATION'
- PROVIDE 12" DEPTH OF PLANTING SOIL FOR ALL PLANTING BEDS.
- PROVIDE 6" DEPTH OF PLANTING SOIL FOR ALL SEEDING AREAS.

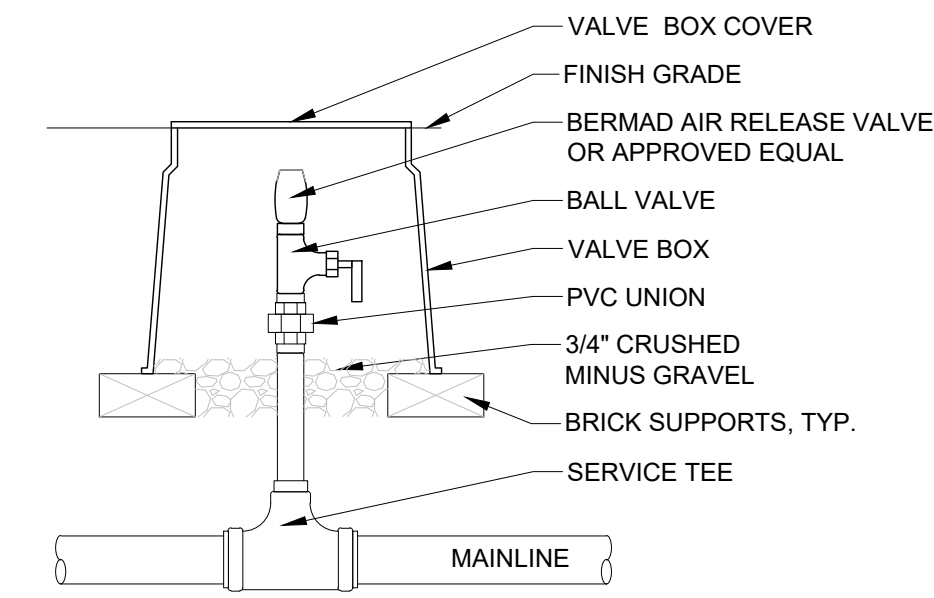




- NOTES:
1. TAPE & BUNDLE ALL WIRING AT 10'-0" INTERVALS.
  2. TIE A LOOSE 20' LOOP IN WIRING AT ALL CHANGES IN DIRECTION GREATER THAN 30°. UNTIE ALL LOOPS AFTER MAKING CONNECTIONS.
  3. BURY MARKING TAPE 6" ABOVE ALL DIRECT BURIAL WIRINGS, LATERAL LINES, AND MAINLINE.
  4. ALL WIRING UNDER PAVEMENT SHALL BE THROUGH SLEEVES -SEE DETAIL.
  5. ALL SPLICES SHALL BE MADE IN VALVE BOXES AND LOCATED ON AS-BUILT PLANS.



- NOTES:
1. ALL IRRIGATION SLEEVING SHALL BE (2) SIZES LARGER THAN PIPE OR COMBINATION OF PIPES THEREIN ENCLOSED, WITH MINIMUM SIZE TO BE 4" SCHEDULE 40 PVC.
  2. SUPPLY (1) EXTRA SLEEVE WITH EACH IRRIGATION SLEEVE FOR CONTROL WIRES. BORE UNDER EXISTING PAVING WHERE REQUIRED. BORE SEPARATELY FOR CONTROL WIRES.
  3. BURY MARKING TAPE ABOVE ALL SLEEVES 6" BELOW PAVEMENT.
  4. INSTALL 3" HT IRRIGATION "I" STAMP IN PAVEMENT WHERE SLEEVES ARE LOCATED UNDER NEW PAVEMENT.
  5. WHEN TRENCHING PROVIDE A 4" CLEARANCE AROUND SIDES OF TRENCH PER OSHA SPECIFICATIONS.



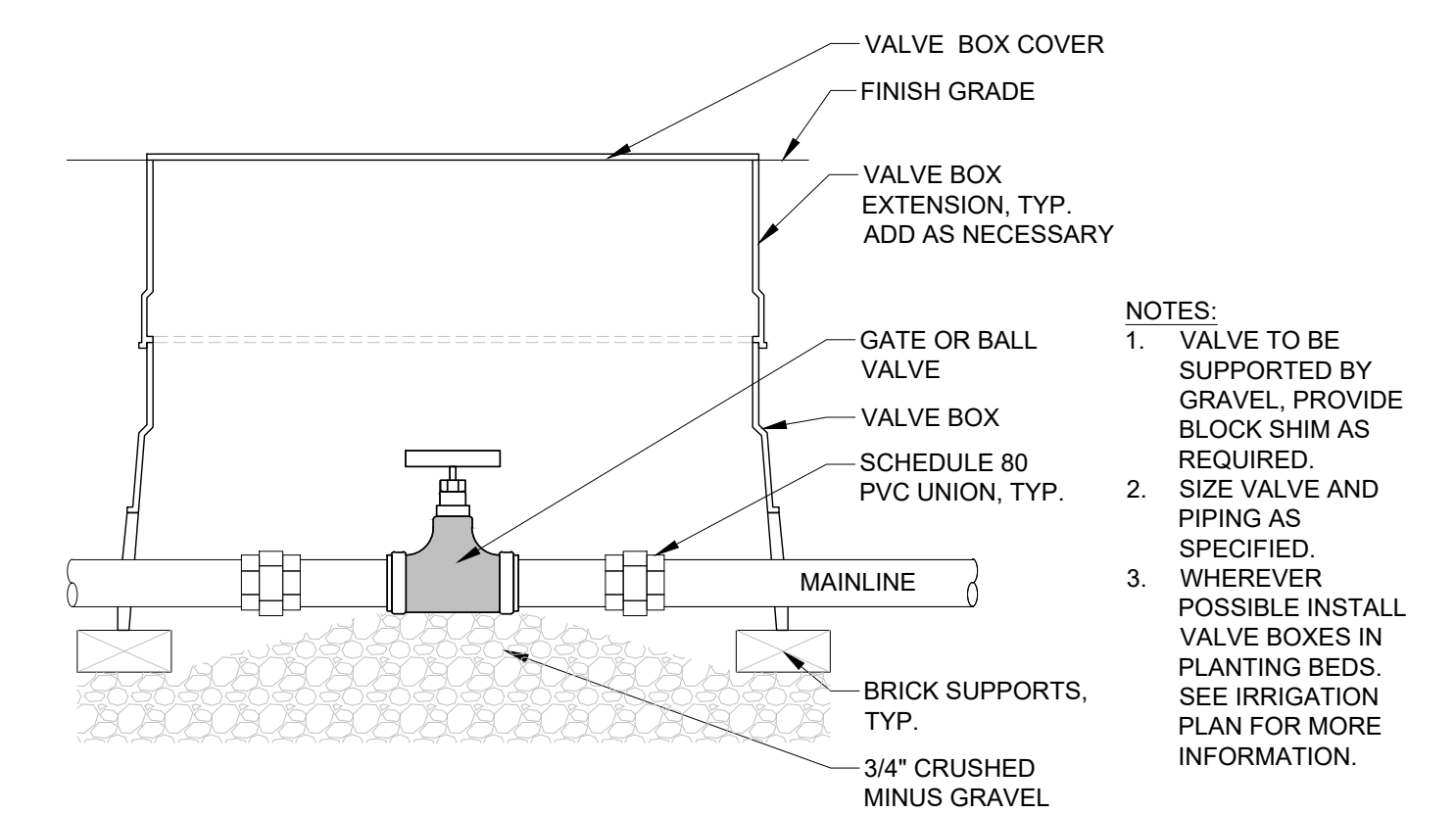
- NOTES:
1. INSTALL VALVE AT HIGHEST POINT ON MAINLINE.
  2. VALVE TO BE BRACED BY GRAVEL. PROVIDE REBAR STAKING AS REQUIRED.
  3. SIZE VALVE AND PIPING AS SPECIFIED.
  4. WHEREVER POSSIBLE INSTALL VALVE BOXES IN PLANTING BEDS. SEE IRRIGATION PLAN FOR MORE INFORMATION.

1 NOT USED

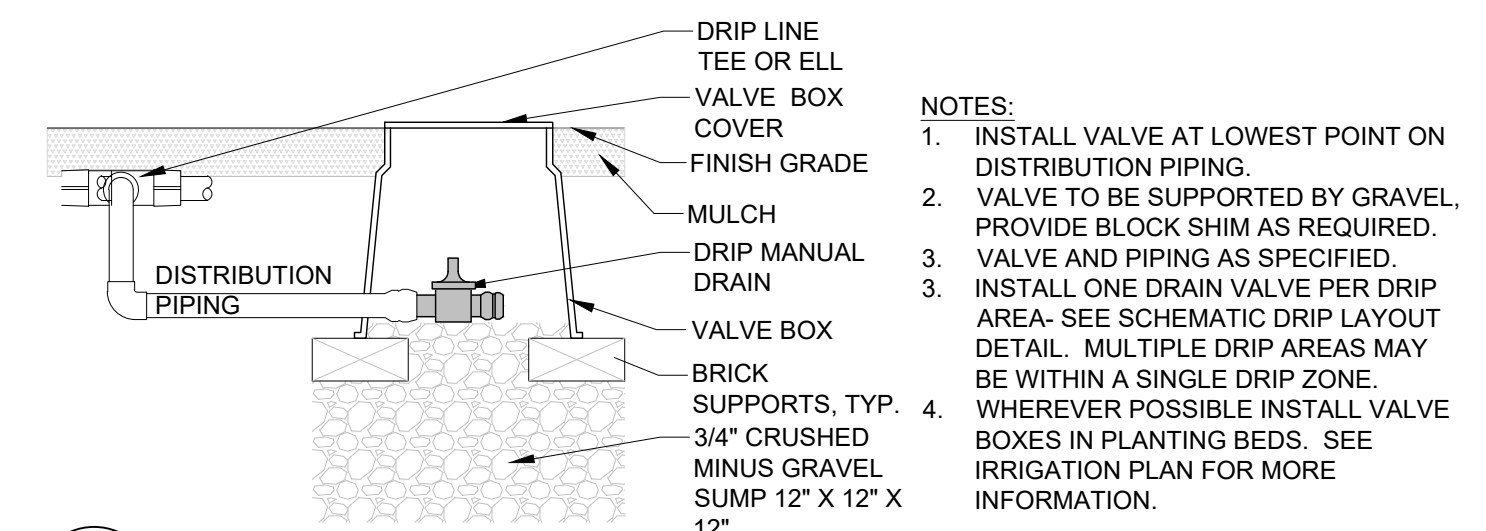
2 IRRIGATION TRENCH

3 IRRIGATION SLEEVE

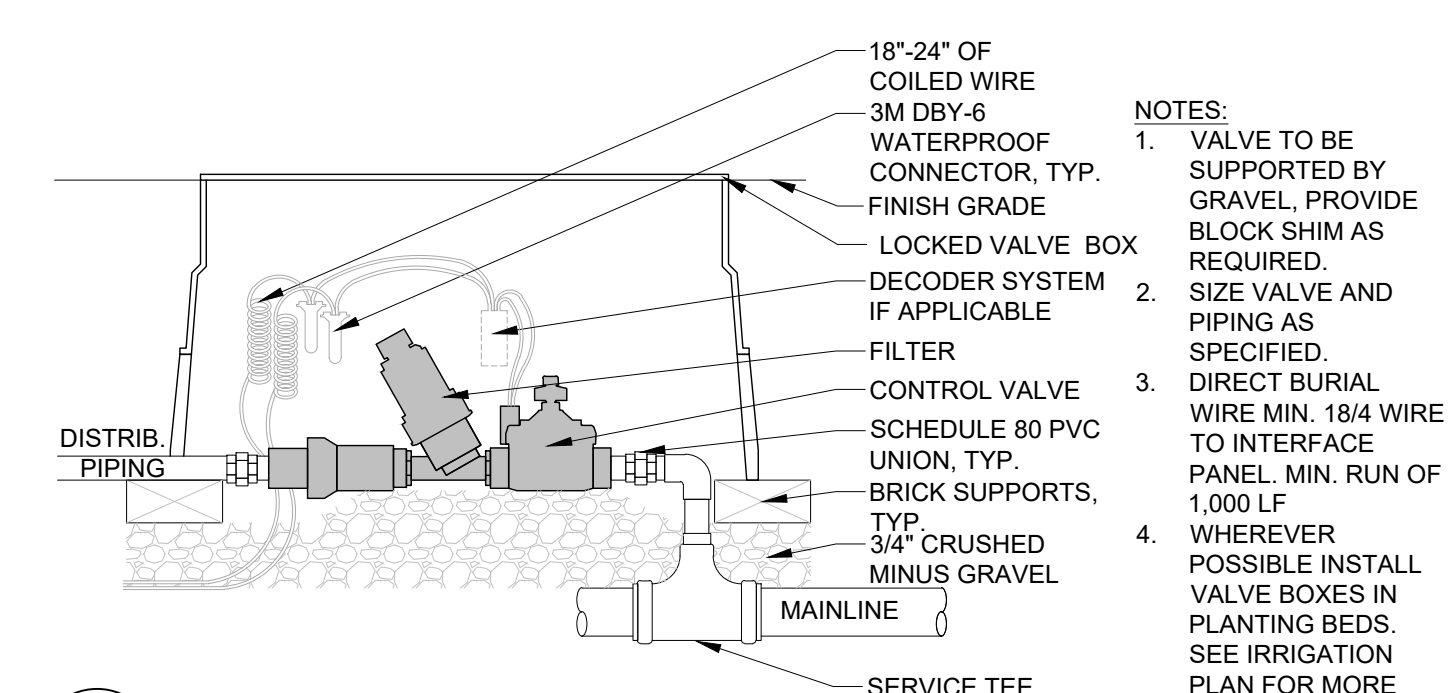
4 AIR RELIEF VALVE



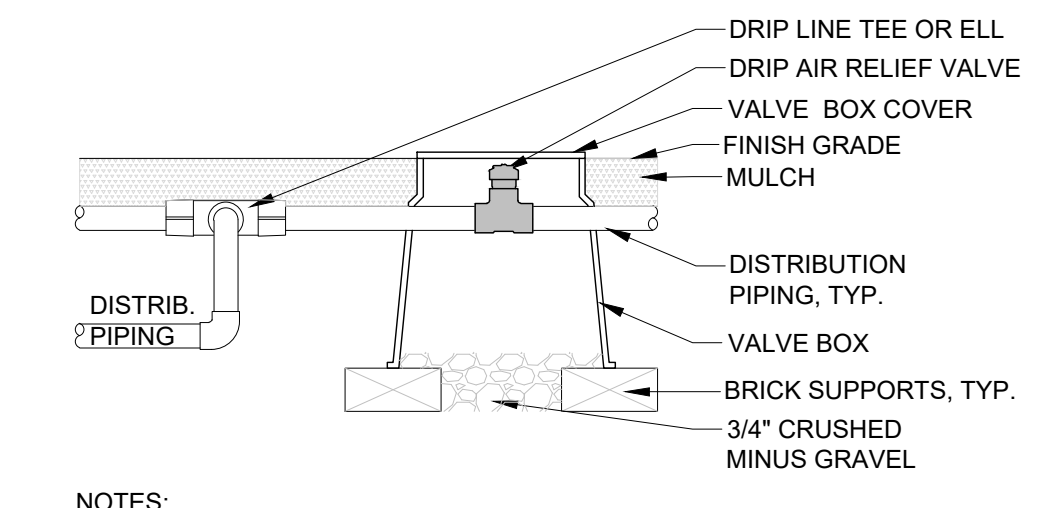
- NOTES:
1. VALVE TO BE SUPPORTED BY GRAVEL, PROVIDE BLOCK SHIM AS REQUIRED.
  2. SIZE VALVE AND PIPING AS SPECIFIED. WHEREVER POSSIBLE INSTALL VALVE BOXES IN PLANTING BEDS. SEE IRRIGATION PLAN FOR MORE INFORMATION.



- NOTES:
1. INSTALL VALVE AT LOWEST POINT ON DISTRIBUTION PIPING.
  2. VALVE TO BE SUPPORTED BY GRAVEL, PROVIDE BLOCK SHIM AS REQUIRED.
  3. VALVE AND PIPING AS SPECIFIED.
  4. WHEREVER POSSIBLE INSTALL VALVE BOXES IN PLANTING BEDS. SEE IRRIGATION PLAN FOR MORE INFORMATION.



- NOTES:
1. VALVE TO BE SUPPORTED BY GRAVEL, PROVIDE BLOCK SHIM AS REQUIRED.
  2. SIZE VALVE AND PIPING AS SPECIFIED.
  3. DIRECT BURIAL WIRE MIN. 18/4 WIRE TO INTERFACE PANEL. MIN. RUN OF 1,000 LF.
  4. WHEREVER POSSIBLE INSTALL VALVE BOXES IN PLANTING BEDS. SEE IRRIGATION PLAN FOR MORE INFORMATION.



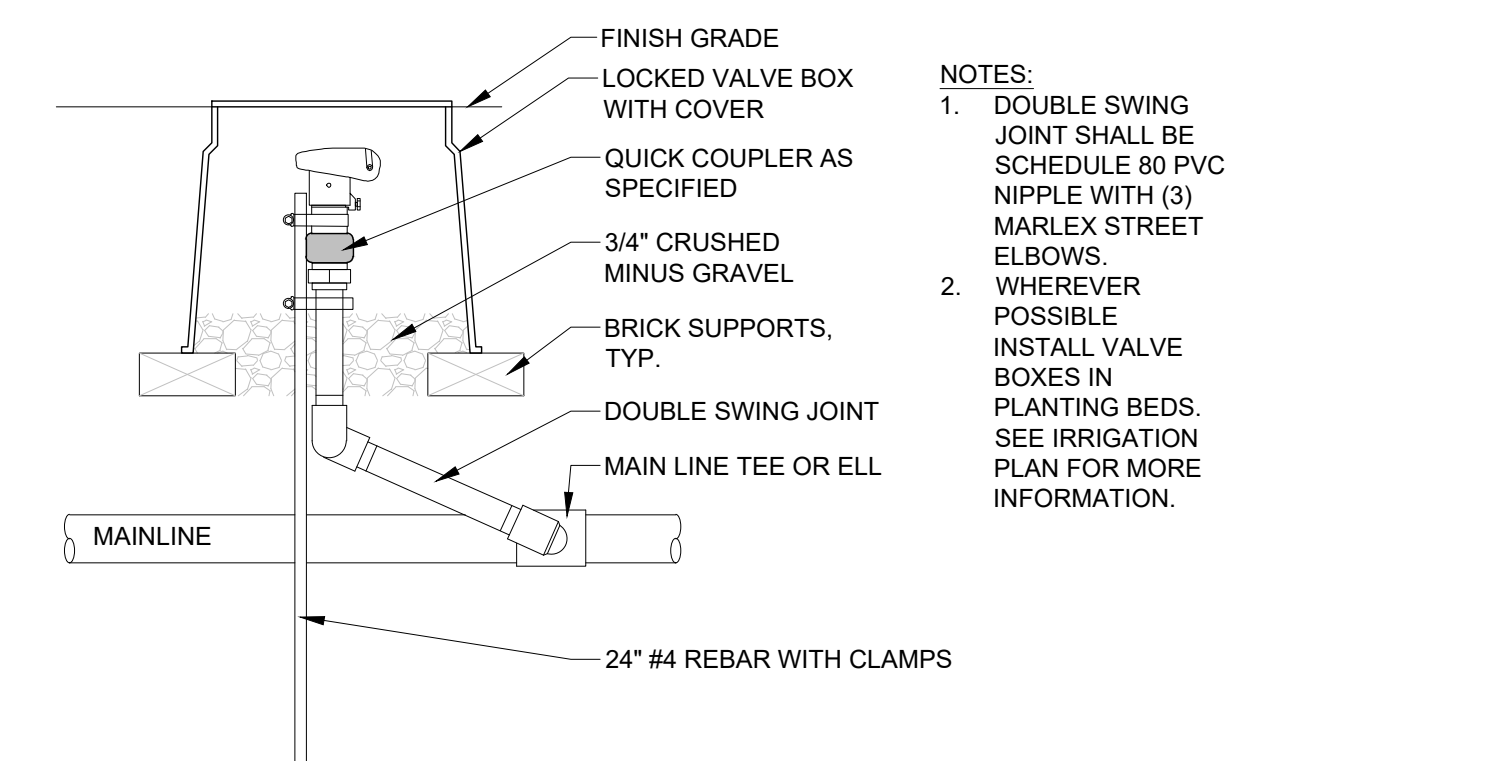
- NOTES:
1. INSTALL VALVE AT HIGHEST POINT ON DISTRIBUTION PIPING.
  2. VALVE AND PIPING AS SPECIFIED.
  3. INSTALL ONE DRIP AIR RELIEF VALVE PER DRIP AREA- SEE SCHEMATIC DRIP LAYOUT DETAIL. MULTIPLE DRIP AREAS MAY BE WITHIN A SINGLE DRIP ZONE.
  4. WHEREVER POSSIBLE INSTALL VALVE BOXES IN PLANTING BEDS. SEE IRRIGATION PLAN FOR MORE INFORMATION.

5 ISOLATION VALVE

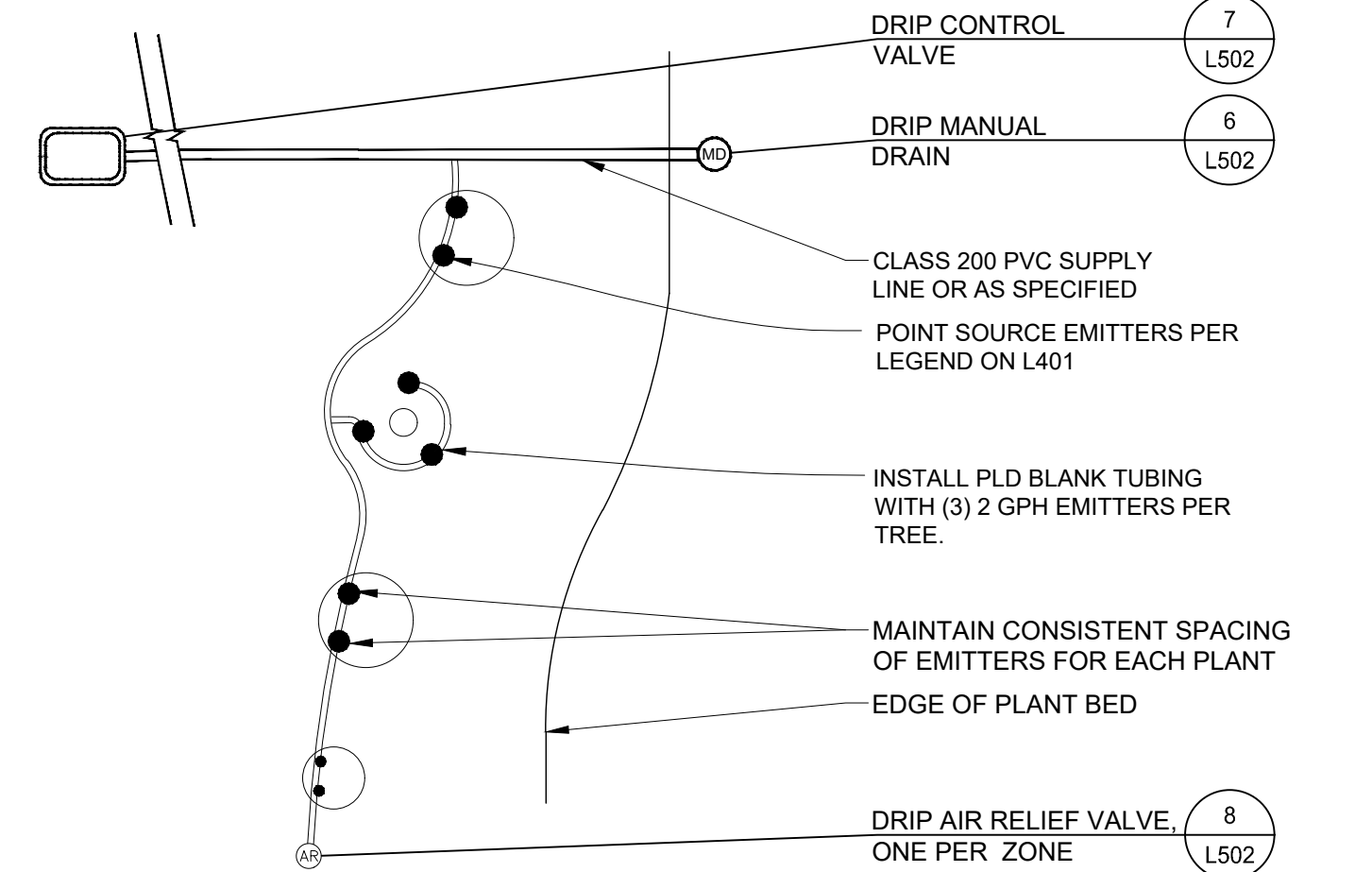
6 DRIP MANUAL DRAIN

7 DRIP CONTROL VALVE

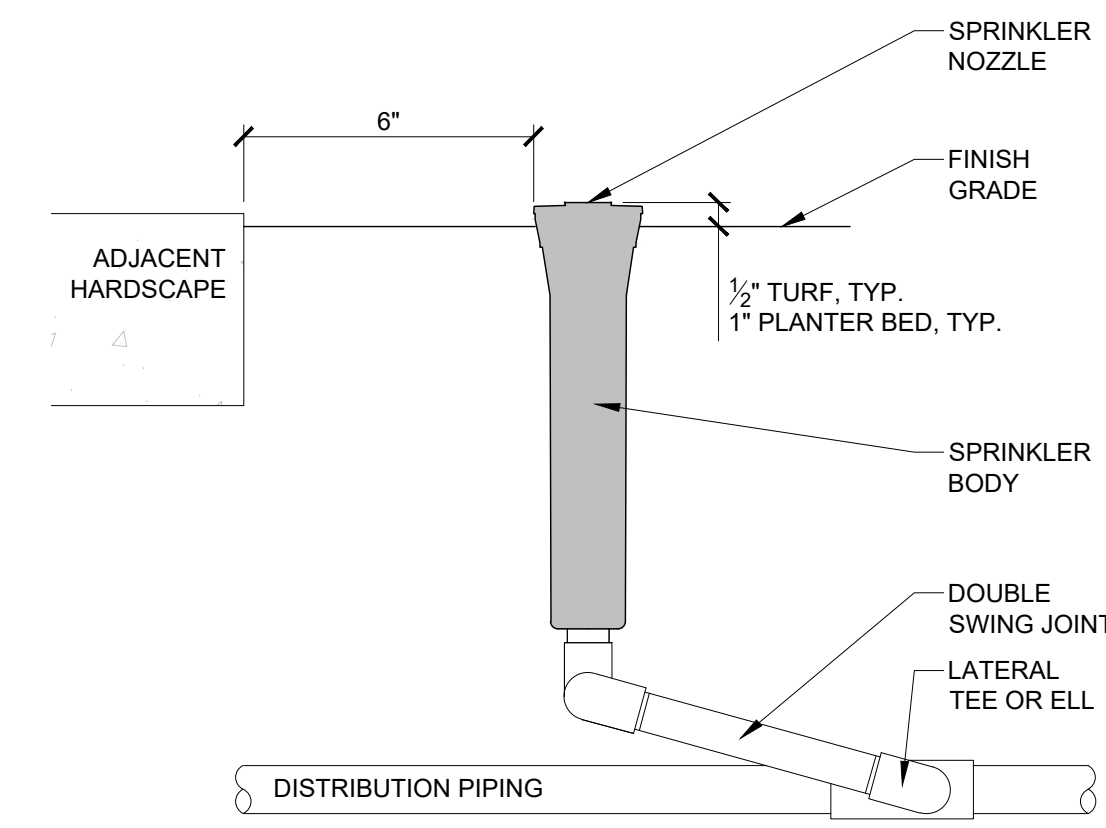
8 DRIP AIR RELIEF VALVE



- NOTES:
1. DOUBLE SWING JOINT SHALL BE SCHEDULE 80 PVC NIPPLE WITH (3) MARLEX STREET ELBOWS.
  2. WHEREVER POSSIBLE INSTALL VALVE BOXES IN PLANTING BEDS. SEE IRRIGATION PLAN FOR MORE INFORMATION.

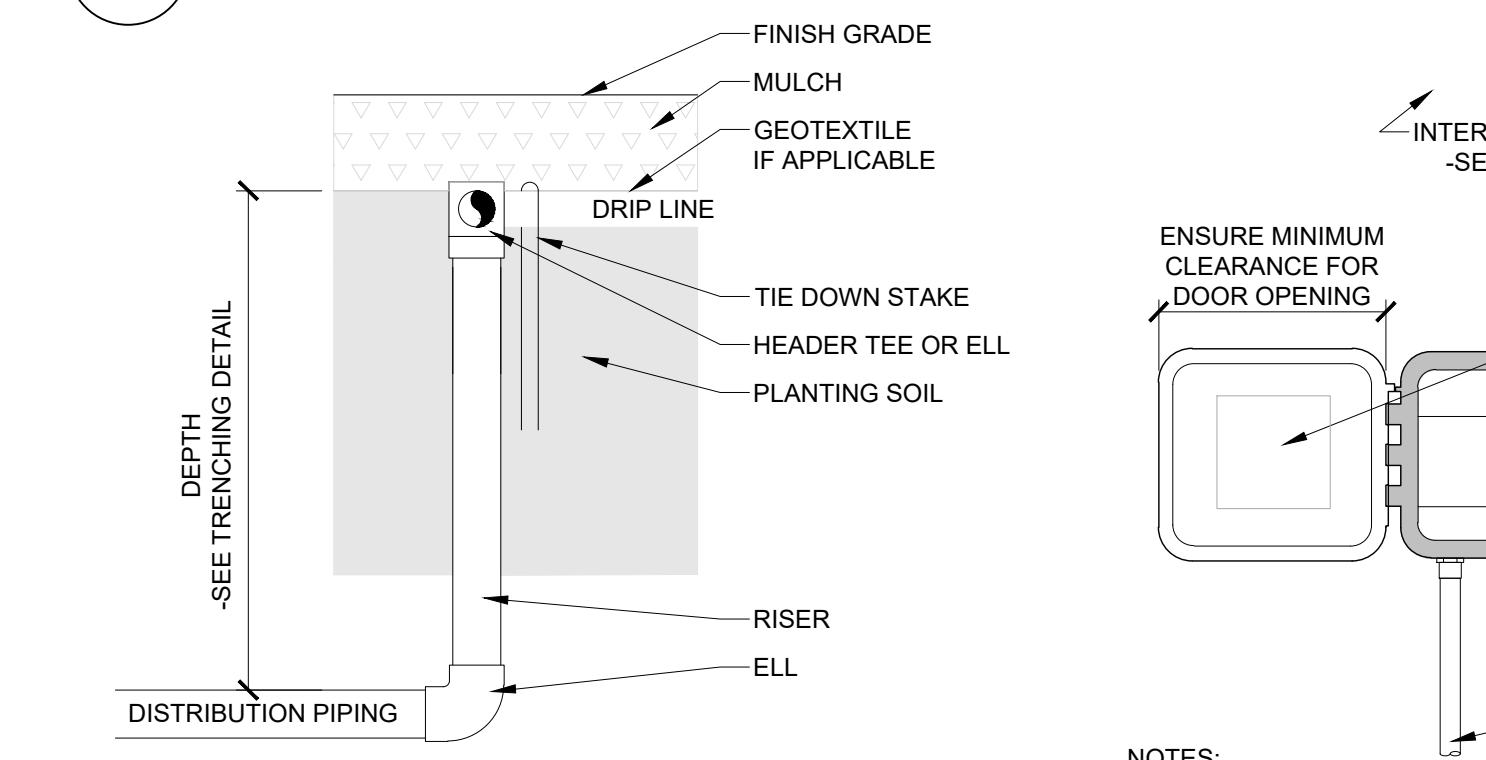


11 DRIP LAYOUT



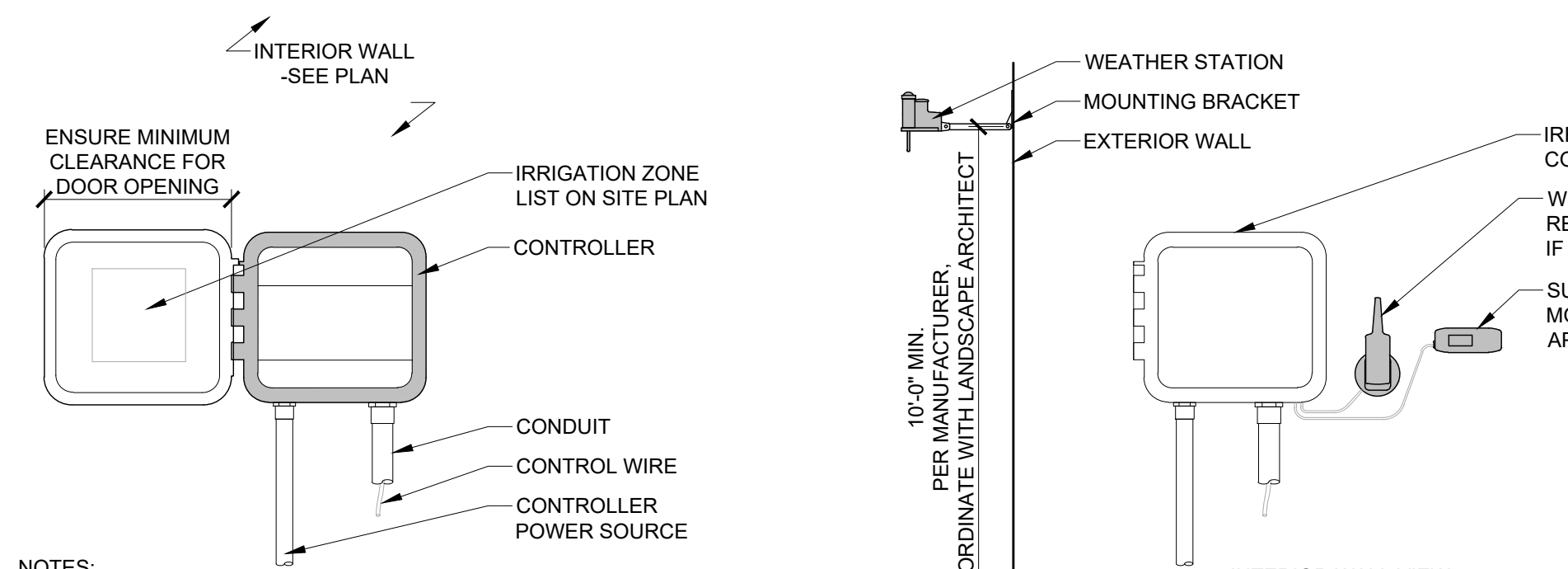
- NOTES:
1. DOUBLE SWING JOINT SHALL BE SCHEDULE 80 PVC NIPPLE WITH (3) MARLEX STREET ELBOWS.
  2. SPRINKLER NOZZLE, BODY AS SPECIFIED.
  3. INSTALL SPRINKLERS A MINIMUM 12" FROM BUILDINGS AND WALLS.

12 SPRINKLER HEAD



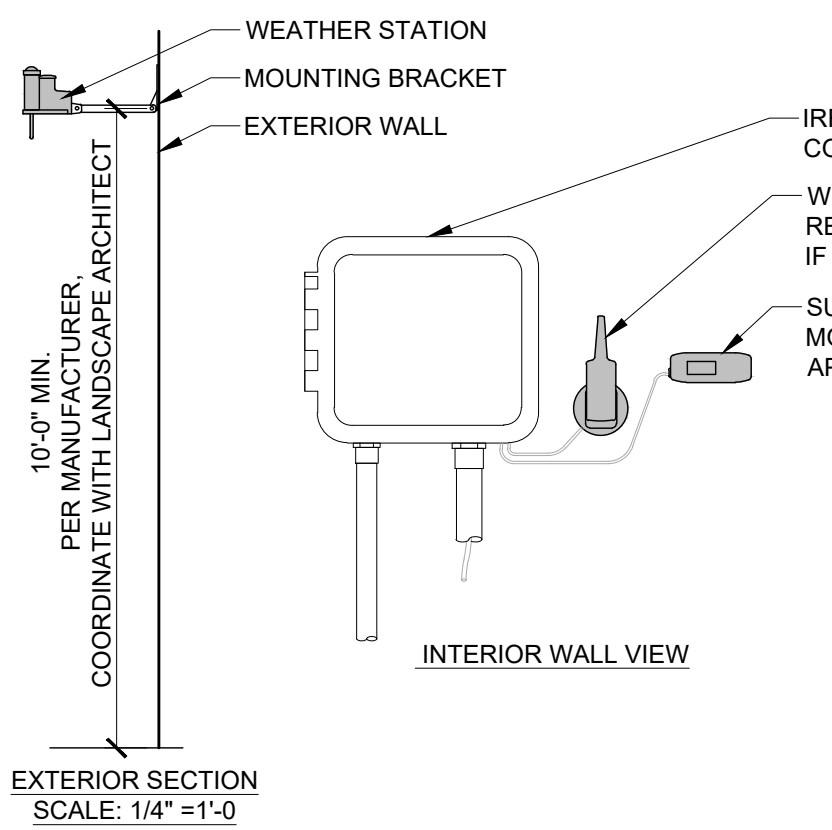
- NOTES:
1. RISER, HEADER, TEES, AND ELLS TO MATCH DISTRIBUTION PIPING MATERIAL.
  2. PLACE TIE DOWN STAKES EVERY 3'-0" IN SAND, 4'-0" IN LOAM, 5'-0" IN CLAY ON DRIP LINE.
  3. AT FITTINGS WHERE THERE IS A CHANGE IN DIRECTION USE TIE DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

13 DRIP MANIFOLD



- NOTES:
1. SEE IRRIGATION SPECIFICATION AND LEGEND FOR MORE INFORMATION.
  2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  3. MOUNT CONTROLLER AT EYE LEVEL UNLESS OTHERWISE NOTED.
  4. CONTROLLER SHALL BE HARD-WIRED TO GROUNDED 110 VAC SOURCE UNLESS OTHERWISE NOTED. COORDINATE INSTALLATION WITH ELECTRICAL.
  5. PROVIDE IRRIGATION ZONE LIST AS SPECIFIED.

14 CONTROLLER

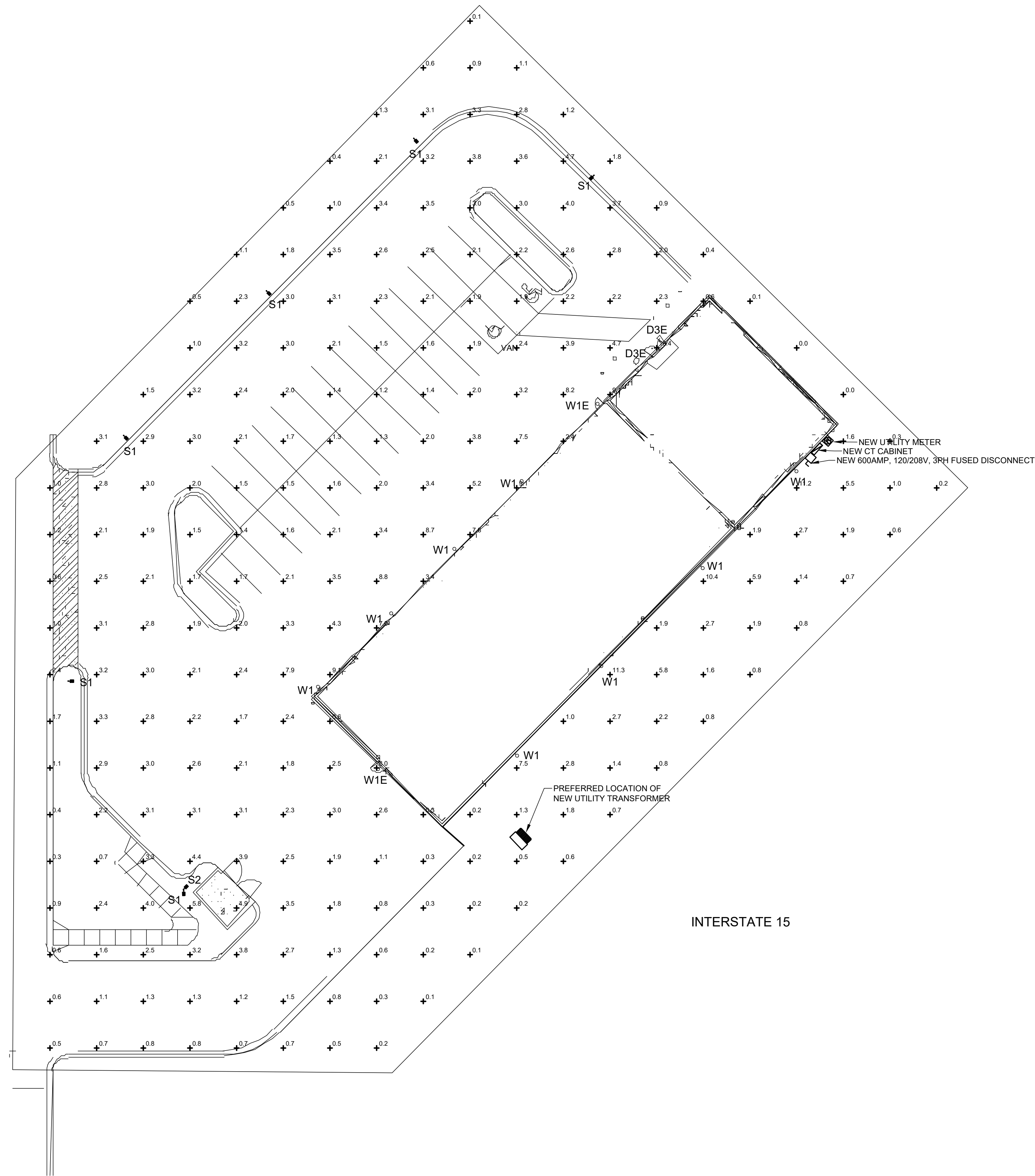


15 WEATHER STATION

- NOTES:
1. SEE IRRIGATION SPECIFICATION AND LEGEND FOR MORE INFORMATION.
  2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  3. MOUNT WEATHER STATION WITH CLEAR EXPOSURE TO WEATHER IN LOCATION SHOWN ON PLANS. MOUNT WITH COMMON SENSE SO AS TO NOT VISUALLY DETRACT FROM ITS SURROUNDINGS.
  4. MOUNT RECEIVER IF APPLICABLE ON WALL NEXT TO CONTROLLER.
  5. MOUNT MODULE IF APPLICABLE WITHIN 6'-0" OF CONTROLLER ON WALL.

11 DRIP LAYOUT





**GENERAL NOTES**

- A. PHOTOMETRIC CALCULATIONS DO NOT INCLUDE CONTRIBUTION FROM STREET LIGHTING OR LIGHTING FROM ADJACENT PROPERTY.
- B. ALL FIXTURES SHALL BE FULL CUT-OFF AND MOUNTED IN FULL CUT-OFF POSITION. ALL SITE POLES SHALL BE ROUND AND PAINTED IN A DARK, NON-REFLECTIVE COLOR.

**LEGEND**

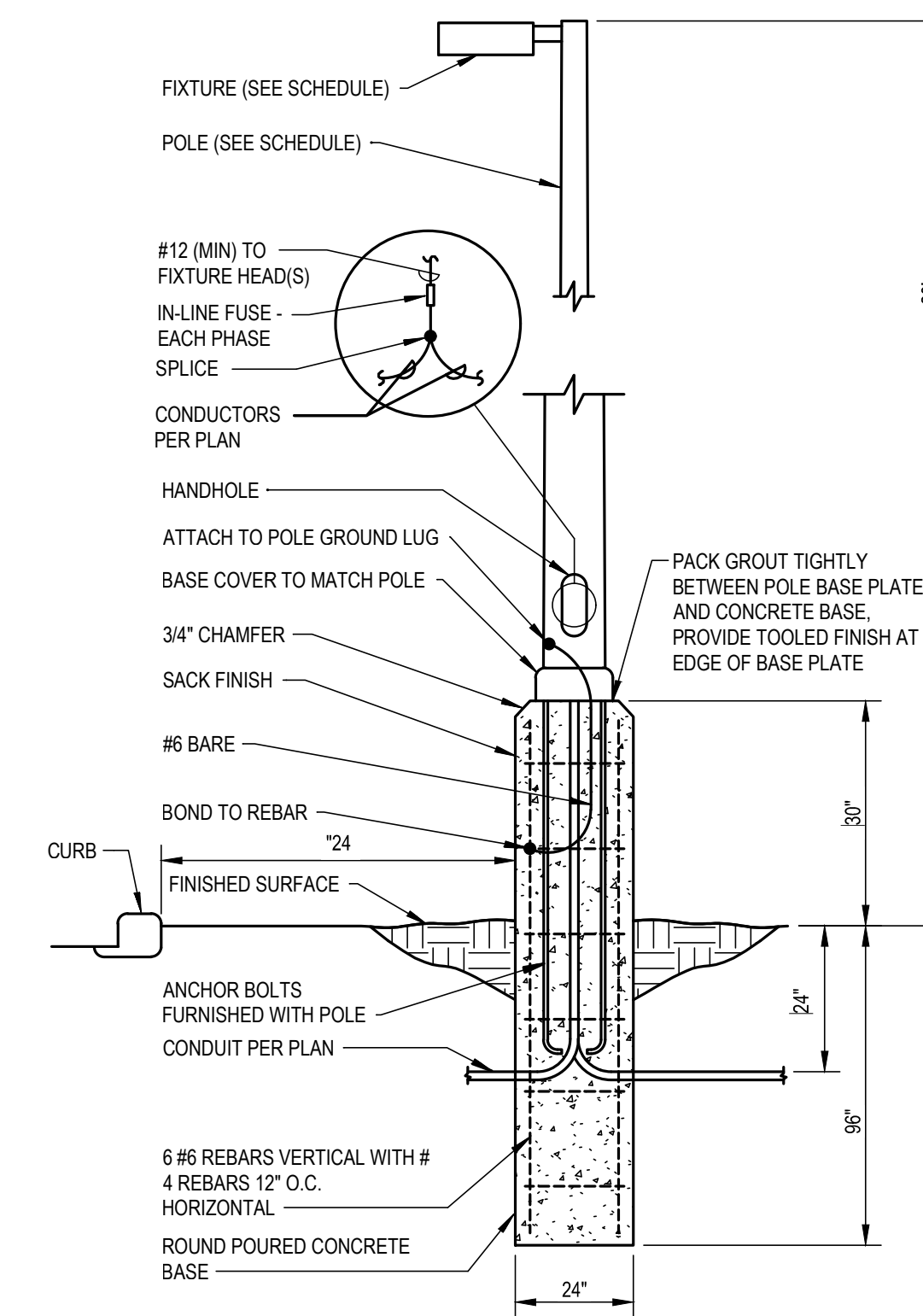
- POLE MOUNTED LIGHT
- WALL MOUNTED LIGHT
- RECESSED CAN LIGHT

SITE LIGHTING SCHEDULE									
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	NOTES	VOLTS	LUMENS	WATT	MOUNTING TYPE	HAIR
D3	5.2" WET LOCATION RECESSED DOWNLIGHT WITH REMOTE EMERGENCY BATTERY	ZUMTOBEL	PANOS-DN-150-RL-11W-435-C5-W-FE-150DL-9-119-0A-11-8000E-831TC2T1U	2	120	1,848	11	RECESSED	12'
S1	LED POLE MOUNTED FIXTURE, SINGLE HEAD, TYPE 4 FORWARD THROW DISTRIBUTION WITH MOTION SENSOR CONTROLLED DIMMING	MCGRAW-EDISON	SLEON-SA2B-74D-U-T4W-8Z-FF-MS-DM-L40W	1, 2, 3	208	11,760	85	POLE	20'
S2	LED POLE MOUNTED FIXTURE, SINGLE HEAD, TYPE 4 WIDE DISTRIBUTION, MOTION SENSOR CONTROLLED DIMMING	MCGRAW-EDISON	SLEON-SA2B-74D-U-T4W-8Z-FF-MS-DM-L40W	1, 2, 3	208	11,610	85	POLE	20'
S-POLE	ROUND STRAIGHT STEEL POLE, DARK BRONZE, 20' MOUNTING HEIGHT	MCGRAW-EDISON	RSS-6M-20-S-F-A1-X-G	1, 4					
W1/W1E	LED WALL MOUNTED FIXTURE, FULL CUT-OFF, DARK BRONZE FINISH WITH MOTION SENSOR AND DIMMING, PROVIDE BATTERY BACKUP WHERE LABELED 'W1E'	LUMARK	XTORRB-W-8Z-MS-DM-L20	1, 2	120	5,338	58	WALL	14'

- NOTES:
1. COLOR SHALL BE DARK BRONZE. VERIFY FIXTURES AND POLES HAVE MATCHING FINISH.
  2. FIXTURE SHALL BE CONTROLLED BY PROGRAMMABLE LIGHTING PANEL, TO DISABLE OPERATION BETWEEN 11:00 PM AND 6:00 AM OR AS REQUIRED BY AHJ.
  3. INSTALL FIXTURE HEAD WITH 0.1% TO PROVIDE FULL CUT-OFF DISTRIBUTION AND LIGHT OUTPUT BATTERED ABOVE 90 DEGREES AT ANY LATERAL ANGLE AROUND THE FIXTURE.
  4. COORDINATE OVERALL POLE LENGTH WITH FACTORY TO PROVIDE 20' FIXTURE MOUNTING HEIGHT WITH 4" CONCRETE BASE. PROVIDE POLE MFR'S RECOMMENDED ANCHOR BOLTS.

**PHOTOMETRIC STATISTICS - ILLUMINANCE IN FOOT-CANDELES**

DESCRIPTION	SYMBOL	AVG	MAX	MIN	AVG/MIN
OVERALL AREA	+	25 fc	164 fc	0.0 fc	N/A



2 POLE LIGHT DETAIL





Project	Category #	Type
Prepared by	Notes	Date

**McGraw-Edison**  
**GLEON Galleon**  
Area / Site Luminaire

**Product Features**

- Interactive Menu
  - Ordering Information page 2
  - Mounting Details page 3
  - Optical Distributions page 4
  - Product Specifications page 4
  - Energy and Performance Data page 4
  - Control Options page 5
- WaveLinx
  - Enlighted

**Product Certifications**

**Quick Facts**

- Lumen packages range from 4,200 - 80,800 (34W - 540W)
- Efficiency up to 156 lumens per watt
- Options to meet Buy American and other domestic preference requirements

**Dimensional Details**

**Connected Systems**

- WaveLinx
- Enlighted

**Product Certifications**

**Quick Facts**

- Lumen packages range from 4,200 - 80,800 (34W - 540W)
- Efficiency up to 156 lumens per watt
- Options to meet Buy American and other domestic preference requirements

**Dimensional Details**

Number of Light Sources	1" x 1" (10mm)	1" x 1" (10mm)	1" x 1" (10mm)	1" x 1" (10mm)	1" x 1" (10mm)
1-4	15-1/2"	7"	10"	10-5/8"	16-5/16"
5-6	21-5/8"	7"	10"	10-5/8"	16-5/16"
7-8	27-5/8"	7"	13"	10-5/8"	-
9-10	33-3/4"	7"	10"	-	-

**COOPER** Lighting Solutions

**DESCRIPTION**

The patented Lumark Crosstour™ MAXX LED wall pack series of luminaires provides low profile architectural style with super bright, energy efficient LEDs. The rugged die-cast aluminum construction back box with secure lock hinges, stainless steel hardware along with a sealed and gasketed optical compartment make Crosstour impervious to contaminants. The Crosstour MAXX wall luminaire is ideal for wall surface, inverted mount for floodlighting illumination, perimeter and site lighting. Typical applications include parking areas, building entrances, multi-use facilities, industrial facilities, perimeter parking areas, storage facilities, institutions, artwork and loading docks.

**Specifications**

Category #	Type
Project	Date
Comments	
Prepared by	

**CONSTRUCTION**

Low profile LED design with rugged one piece, die-cast aluminum back box and integral removable hood. Mounting/hanging styles incorporate both a full gasket and reflective lens design. Full gasket die reflective lens models are available in 50W, 80W and 100W. Patent pending secure lock hinge feature allows for safe and easy tool free electrical connections with the auxiliary connector push-in terminals. Back box includes four 1/2" NPT threaded conduit entry points. The back box is secured by four lag bolts. High impact polycarbonate lens design extends heat from the future surface. One-piece silicone gasket seals door and back box. Not recommended for car wash applications.

**Optical**

Slitless sealed optical LED chamber incorporates a custom engineered reflector providing high efficiency illumination. Full cut-off models integrate an impact resistant molded reflective prism optical lens assembly meeting requirements for Dark Sky compliance. Reflective lens models incorporate a molded lens

**Emergency Egress**

Optional integral cut weather battery emergency egress includes emergency operation test switch (available in 50W and 80W models only), an AC DIN indicator light and a premium reinforced steel sealed maintenance free sealed lead acid emergency lighting LED's are wired to provide redundant emergency lighting. Listed to UL Standard 924, Emergency Lighting.

**Finish**

Crosstour MAXX is protected with a super TGIC carbon bronze or superb white polyester powder coat paint. Super TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of installed life. Options to meet Buy American and other domestic preference requirements.

**Warranty**

Five-year warranty.

**XTOR CROSSTOUR MAXX LED**

**APPLICATIONS: WALL, SURFACE, INVERTED LIGHTING**

**Dimensions**

**Full Cut-Off** | **Deep Back Box** | **Reflective Lens** | **Deep Back Box**

**SECTION CUT PLATES**

**COOPER** Lighting Solutions

**McGraw-Edison GLEON Galleon**

**Ordering Information**

**Sample Number: GLEON-SAC-240-10-T4FT-DM**

Product Family	Light Output	Color	Temp	Voltage	Distribution	Mounting	Finish
GLEON-SAC-240-10-T4FT-DM	24000	5000K	3000K	120V	DR	Surface	Carbon Bronze

**Options (Add as Suffix)**

**Controls and System Options (Add as Suffix)**

**Accessories (Order Separately)**

**Notes**

**LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)**

Product Family	Camera Type	Data Protocol
GLEON-SAC-240-10-T4FT-DM	IP Camera	ONVIF, RTSP

**COOPER** Lighting Solutions

**XTOR CROSSTOUR MAXX LED**

**ORDERING INFORMATION**

Domestic Preference	Series	LED Module Color	Mounting Color	Options (Add as Suffix)
AA-American Made	XTORB-50W	Standard 5000K	Black (Standard)	48V/24V/12V/6V
AA-American Made	XTORB-80W	Standard 5000K	Black (Standard)	48V/24V/12V/6V
AA-American Made	XTORB-100W	Standard 5000K	Black (Standard)	48V/24V/12V/6V

**Notes**

**Stock Ordering Information**

Domestic Preference	50W Series	80W Series	100W Series
AA-American Made	XTORB-50W-500K, Carbon Bronze	XTORB-80W-500K, Carbon Bronze	XTORB-100W-500K, Carbon Bronze
AA-American Made	XTORB-50W-3000K, Carbon Bronze	XTORB-80W-3000K, Carbon Bronze	XTORB-100W-3000K, Carbon Bronze

**Notes**

**COOPER** Lighting Solutions

**ZUMTOBEL**

**QUICK SHIP PANOS 5.25" Round Downlight**

Round 5.25" (134mm)

**DELIVERED LUMENS**

Color Temperature	Color Rendering	Watts	CR
2700K	CR 90+	11W	>90
3000K	CR 90+	25W	>90
4000K	CR 90+	25W	>90

**Order Code**

**Notes**

**COOPER** Lighting Solutions

**ZUMTOBEL**

**QUICK SHIP PANOS 5.25" Round Downlight**

Round 5.25" (134mm)

**DELIVERED LUMENS**

Color Temperature	Color Rendering	Watts	CR
2700K	CR 90+	11W	>90
3000K	CR 90+	25W	>90
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**Order Code**

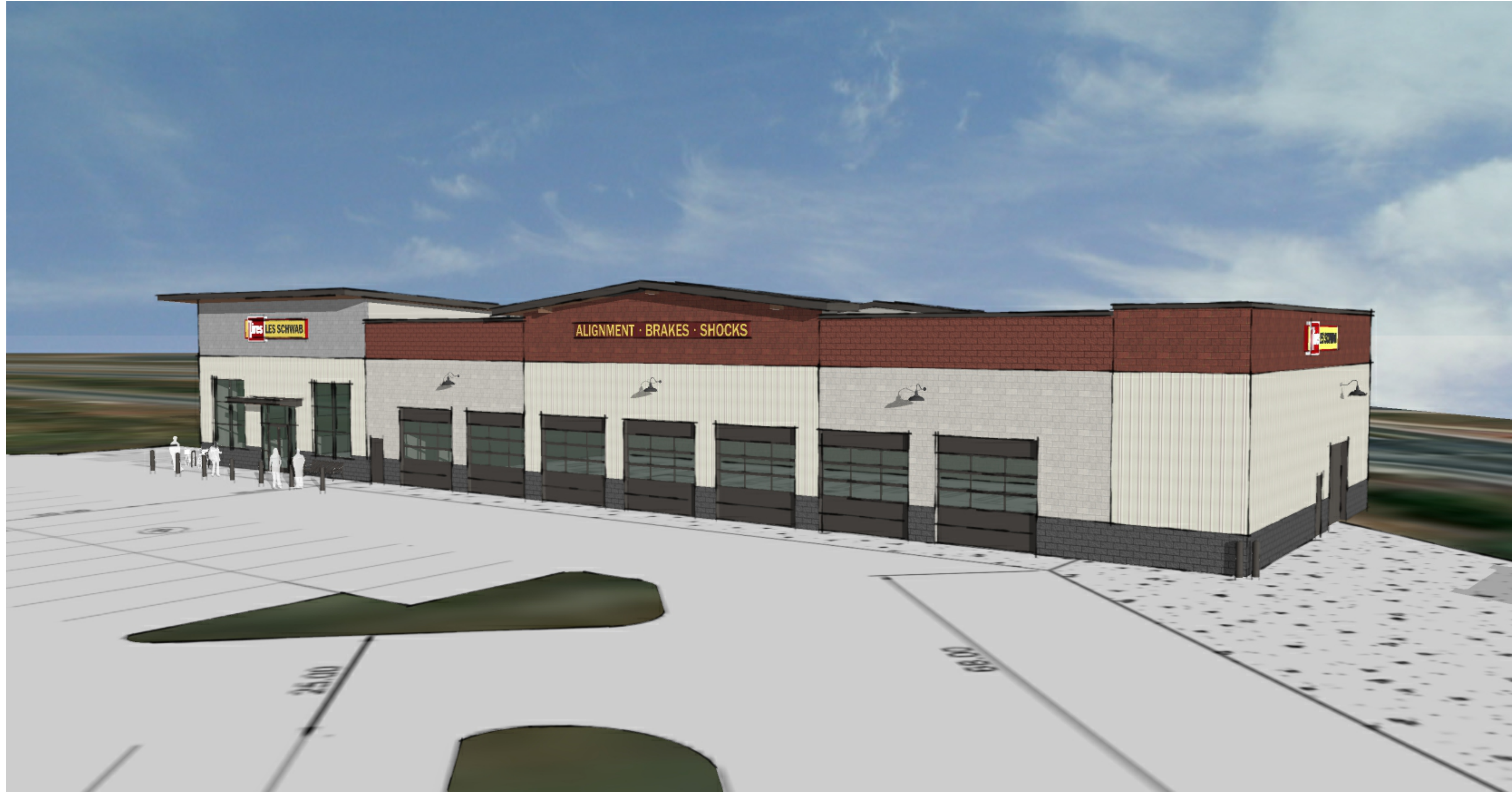
**Notes**

**COOPER** Lighting Solutions



Know what's below.  
Call before you dig.





1 EXTERIOR PLANNING VIEW 01  
A2.0 NO SCALE



2 EXTERIOR PLANNING VIEW 02  
A2.0 NO SCALE



3 EXTERIOR PLANNING VIEW 03  
A2.0 NO SCALE

LOT 10 OF RIDLEYS SUBDIVISION, PLAT C  
SANTAQUIN, UT 84655  
6 BAY LINEAR STORE  
**LES SCHWAB TIRE CENTER - SANTAQUIN, UT**

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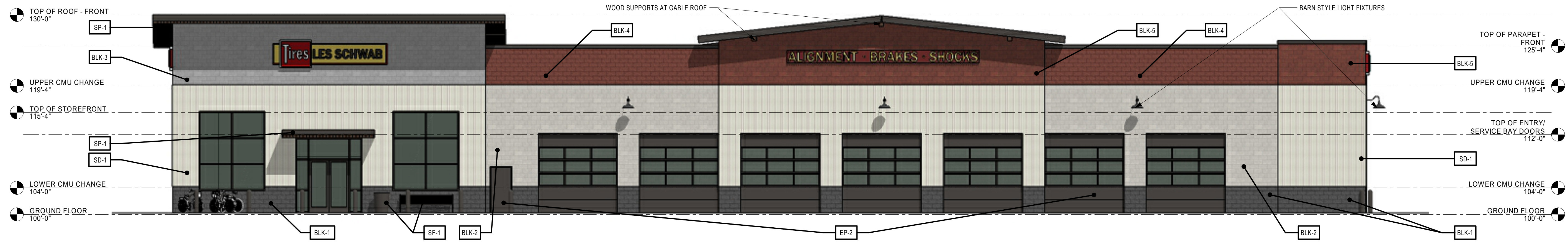
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05.08.2023  
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DRAWN BY | PULIDO  
REVISIONS

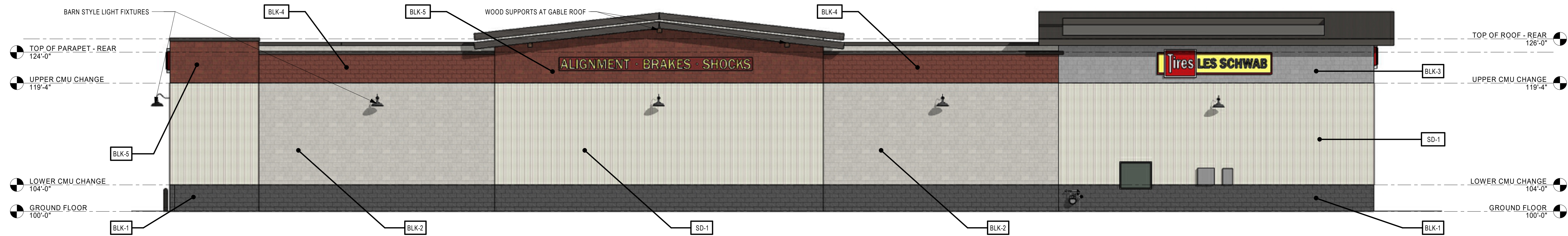
EXTERIOR VIEWS

A2.0A





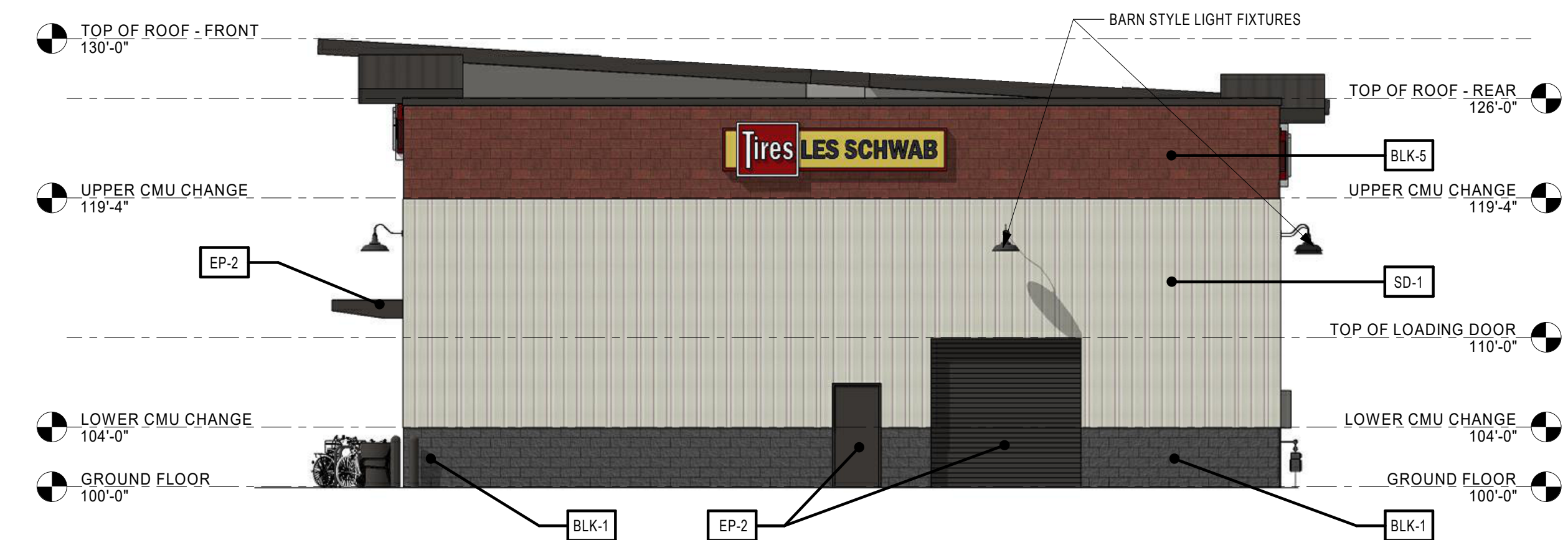
**1 FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 SHOWROOM ELEVATION**  
SCALE: 1/8" = 1'-0"



**4 LOADING ELEVATION**  
SCALE: 1/8" = 1'-0"

**ELEVATION GENERAL NOTES:**

- A. ANY SIGNAGE DEPICTED ON ELEVATIONS IS TO BE PERMITTED SEPARATELY, BY OWNER.
- B. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR.
- C. REF CIVIL AND STRUCTURAL DRAWINGS FOR GRADE CHANGES AND RETAINING WALL DIMENSIONS AND LOCATIONS.
- D. CONNECT ALL ROOF DRAINS AND DOWNSPOUTS TO SUBGRADE DRAINAGE SYSTEM. REF CIVIL DRAWINGS
- E. COORDINATE WITH SIGNAGE PLANS REQUIRED STRUCTURAL BACKING IN METAL PANEL SYSTEM AND REQUIRED ELECTRICAL ROUGH-IN LOCATIONS
- F. PROVIDE BACKING AT LOCATIONS WHERE EXTERIOR LIGHTS ARE SHOWN ON METAL PANEL SYSTEM. COORDINATE WITH LIGHT MANUFACTURERS SPECIFICATIONS AND REQUIREMENTS.
- G. EXPOSED STEM CONCRETE WALLS IN LANDSCAPED AREAS ARE TO HAVE MULCH OR GROUND COVER AGAINST EXPOSED CONCRETE TO HIDE FOOTING
- H. REFER TO SHEET E501 LIGHTING FIXTURE SCHEDULE FOR EXTERIOR LIGHT FIXTURE MOUNTING HEIGHTS
- I. VERIFY LOCAL FIRE DEPARTMENT REQUIREMENTS FOR ADDRESS NUMBER LOCATION

**MATERIAL LEGEND:**

- BLK-1 SUNROC CMU SPLIT FACE, (BLACK)
- BLK-2 SUNROC CMU HONED, (WHITE)
- BLK-3 SUNROC CMU SMOOTH, (CHARCOAL)
- BLK-4 SUNROC CMU SPLIT FACE, (SONOMA)
- BLK-5 SUNROC CMU SMOOTH, (SONOMA)
- SD-1 CEMENTITIOUS BOARD & BATTEN SIDING (WHITE)
- SP-1 SOFFIT PANEL PAC-CLAD FLUSH SOLID W/ PVDF WOOD GRAIN FINISH (COPPER)
- SF-1 SITE FURNISHINGS IN BLACK, TRASH RECEPTACLE AND BENCH
- EP-2 EXTERIOR PAINT SUPERPAINT EXTERIOR ACRYLIC LATEX SATIN A89W01151 (MATCH KAWNEER #40 DARK BRONZE), REF SPEC